



# CITY OF DELRAY BEACH

## DEPARTMENT OF DEVELOPMENT SERVICES

100 N.W. 1<sup>ST</sup> AVENUE • DELRAY BEACH • FLORIDA 33444 • (561) 243-7040



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### HISTORIC PRESERVATION BOARD STAFF REPORT

#### 49 Palm Square

#### Meeting

July 2, 2025

#### File No.

2025-176

#### Application Type

Certificate of Appropriateness

#### REQUEST

The item before the Board is consideration of a Certificate of Appropriateness (2025-176) for an after-the-fact siding replacement on a contributing single-family structure located at **49 Palm Square, Marina Historic District**.

#### GENERAL DATA

**Owner:** Noel Smith

**Location:** 49 Palm Square

**PCN:** 12-43-46-16-34-000-0641

**Property Size:** 0.23 Acres

**Zoning:** RM (Medium Density Residential)

**LUM Designation:** MD, Medium Density, 5-12 DU/Acre

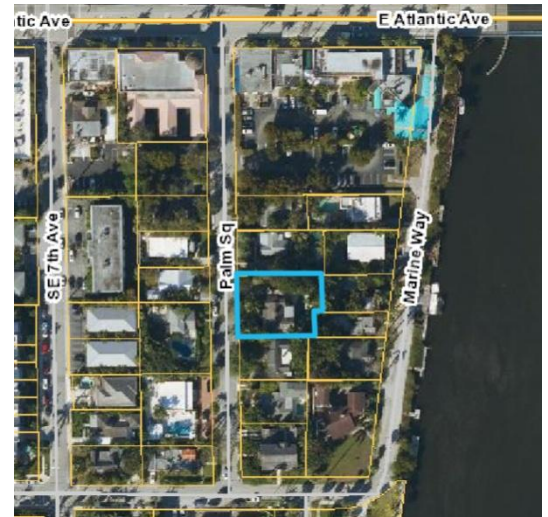
**Historic District:** Marina Historic District

**Adjacent Zoning:**

- RM (Medium Density Residential) (North)
- RM (Medium Density Residential) (West)
- RM (Medium Density Residential) (South)
- RM (Medium Density Residential) (East)

**Existing Land Use:** Residential

**Proposed Land Use:** Residential



#### BACKGROUND AND PROJECT DESCRIPTION

The property is located within the RM (Multi-Family Residential) zoning district and the Marina Historic District, a Nationally and Locally Registered Historic District. The one-story, historic, Minimal Traditional, wood frame residence was built in 1940.

The original one-story residence contained 1,024 square feet, had front facing cross gabled roofs covered in asphalt shingle, horizontal clapboard siding, operable wood louver shutters and an irregular floor plan. There was a brick chimney located towards the rear (West) side of the residence and the height of the residence is approximately 14' (grade to peak).

In 2015, the Historic Preservation Board approved a Certificate of Appropriateness (2015-250) for the hydraulic lifting of the structure in place by approximately 2' foot higher than it is was originally situated, which was below the flood plain at 6' (NGVD) and not meeting FEMA floor height level requirements. The lifting of the structure to 8'-0" (NGVD) allowed it to slightly exceed the FEMA required minimum floor elevations. The property is one block west from the Intracoastal Waterway and flooding has occurred on the site as well as on adjacent properties. The proposal also included:

#### Project Planner:

Michelle Hewett, Historic Planner, hewettm@mydelraybeach.com

#### Review Dates:

HPB: July 2, 2025

#### Attachments:

1. Approved Elevation
2. Photographs
3. Justification Statements

- Creation of two additions on the South side of the existing structure. One is an extension of the bath and guest closet and the other is an extension of the master bedroom;
- An 1,490 square foot addition on the North side of the existing structure for a new kitchen, pantry, laundry;
- A new attached open-air carport at the North side of the existing structure to contain a cabana bath and storage area situated to the rear (East) of the carport and equaling 627 square feet; and,

Alteration of existing window and door openings, as well as the rear porch.

At its meeting of July 19, 2017, the HPB approved a COA (2017-167) to allow a material change for the approved brick chimney to natural coquina stone, to eliminate the proposed trellis feature on the West (front) elevation, to revise the roofline of the front porch, construction of a new covered entrance on the North elevation and revision to the style of the front door.

A code enforcement violation (24-8146) was recently issued for the replacement of existing siding without a building permit nor Certificate of Appropriateness application. A Certificate of Appropriateness application was subsequently submitted on April 28, 2025, for the replacement of the existing clapboard siding with synthetic Azek bevel siding on the existing structure.

At its June 4 meeting, the Historic Preservation Board continued the request for the siding replacement for clarification on the amount of siding that was replaced. The request is for the replacement of all of the existing clapboard siding with synthetic Azek bevel siding on the existing structure.

#### **REVIEW AND ANALYSIS**

Pursuant to Land Development Regulation (LDR) Section 2.4.12(A)(5), prior to approval, a finding must be made that any Certificate of Appropriateness is consistent with Historic Preservation purposes pursuant to Objective HPE 1.4 of the Historic Preservation Element of the Comprehensive Plan; the provisions of Section 4.5.1; the Delray Beach Historic Preservation Design Guidelines; and, the Secretary of the Interior's Standards for Rehabilitation.

#### **ZONING AND USE REVIEW**

##### **Pursuant to LDR Section 4.4.6(B) – Medium Density Residential (RM) Principal Uses and Structures Permitted**

The use of single family residential is a permitted use within the RM zoning district. No changes to the use are proposed with this request.

#### **LDR SECTION 4.5.1**

##### **HISTORIC PRESERVATION: DESIGNATED DISTRICTS, SITES, AND BUILDINGS**

Pursuant to LDR Section 4.5.1(E), Development Standards, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

**Pursuant to LDR Section 4.5.1(E)(4) – Alterations:** in considering proposals for alterations to the exterior of historic buildings and structures and in applying development and preservation standards, the documented, original design of the building may be considered, among other factors.

The subject request is for the after-the-fact replacement of the existing wood siding with synthetic Azek siding on the entirety of the contributing structure.

Pursuant to LDR Section 4.5.1(E)(5) - Standards and Guidelines: a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

## **SECRETARY OF THE INTERIOR'S STANDARDS**

### **Standard 1**

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

### **Standard 2**

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

### **Standard 3**

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

### **Standard 4**

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

### **Standard 5**

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

### **Standard 6**

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

### **Standard 7**

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

### **Standard 8**

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

### **Standard 9**

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

### **Standard 10**

**New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

Standard 2, 5, 6, and 9 are applicable. The existing Minimal Traditional style structure contained horizontal wood siding and the proposal involves replacement of the existing siding with synthetic Azek bevel siding on the entirety of the existing structure. It is noted that the existing wood siding was removed and the new siding has been installed. At their June meeting, the board requested clarification on the extent of the siding replaced, and it has been confirmed that all of the siding has been replaced.

There are concerns with the installed material, as the use of synthetic materials is strongly discouraged on structures within Historic Districts and Individually designated structures. Synthetic siding a modern approach to replicating the appearance of wood siding and while it is a material that could be considered by the board for use on additions such type of material is not regularly utilized on historic structures within Delray Beach historic districts. The structures' wood siding is considered a **distinctive feature, finish, construction technique, and example of craftsmanship that helps to characterize the historic property and they shall be preserved**. However, there has been a recent update to the National Park Services (NPS) Preservation Briefs for "The Use of Substitute Materials on Historic Building Exteriors", which provides information on preserving, rehabilitating, and restoring historic buildings. According to page 5 of the brief, *"Today's available commercial supplies of lumber no longer provide the denser, more decay resistant wood of old-growth forests, so even careful matching to species, which is not always possible, will not yield a replacement equal in performance to the historic material"*. The applicant has stated that the wood siding required frequent maintenance, primarily due to its proximity to intracoastal, which caused faster decay on wood. The NPS Preservation Brief also mentions *"when features with severe exposure need to be replaced or reproduced, substitute materials that are less susceptible to decay can have a longer life, and when the feature is painted, as exterior wood features generally are, the visual effect of a substitute material can be minimal"*. The overall finish of the Azek does not incorporate a wood grain appearance, rather brush strokes are apparent; see the images below. Consideration could be given to a finish that resembles the appearance of wood. The board will need to make a determination that the request is appropriate for the contributing Minimal Traditional structure.



Wood grain on 3 NE 1<sup>st</sup> Avenue



Smooth paint finish on 49 Palm Square

## Secretary of the Interior's Guidelines for Rehabilitation:

### WOOD: CLAPBOARD, WEATHERBOARD, SHINGLES, AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

RECOMMENDED	NOT RECOMMENDED
<b>Identifying, retaining, and preserving</b> wood features that are important in defining the overall historic character of the building (such as siding, cornices, brackets, window and door surrounds, and steps) and their paints, finishes, and colors.	<p>Altering wood features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.</p> <p>Replacing historic wood features instead of repairing or replacing only the deteriorated wood.</p> <p>Changing the type of finish, coating, or historic color of wood features</p>

### WOOD: CLAPBOARD, WEATHERBOARD, SHINGLES, AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

RECOMMENDED	NOT RECOMMENDED
<b>Repairing</b> wood by patching, splicing, consolidating, or otherwise reinforcing the wood using recognized conservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated or missing components of wood features when there are surviving prototypes, such as brackets, molding, or sections of siding.	<p>Removing wood that could be stabilized, repaired, and conserved, or using untested consolidants and unskilled personnel, potentially causing further damage to historic materials.</p> <p>Replacing an entire wood feature, such as a cornice or balustrade, when repair of the wood and limited replacement of deteriorated or missing components is feasible.</p>
<b>Replacing</b> in kind an entire wood feature that is too deteriorated to repair (if the overall form and detailing are still evident) using physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. Examples of such wood features include a cornice, entablature, or a balustrade. If using wood is not feasible, then a compatible substitute material may be considered.	<p>Removing a wood feature that is unrepairable and not replacing it, or replacing it with a new feature that does not match.</p> <p>Using substitute material for the replacement that does not convey the same appearance of the surviving components of the wood feature.</p>
Replacing a deteriorated wood feature or wood siding on a <i>primary</i> or other <i>highly-visible</i> elevation with a new matching wood feature.	Replacing a deteriorated wood feature or wood siding on a <i>primary</i> or other <i>highly-visible</i> elevation with a composite substitute material.

**Pursuant to LDR Section 4.5.1(E)(7) – Visual Compatibility Standards:** new construction and all improvements to both contributing and noncontributing buildings, structures, and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(2) shall be determined by utilizing criteria contained in (a)-(m) below.

- a. **Height:** The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.1(2)(a), shall also be determined through application of the Building Height Plane.



- b. **Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- c. **Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- d. **Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- e. **Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- f. **Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- g. **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- h. **Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- i. **Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
- j. **Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:
  - a. For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line:
  - b. For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line:
- k. **Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
- l. **Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.

**m. Additions to individually designated properties and contributing structures in all historic districts: Visual compatibility shall be accomplished as follows:**

- 1. Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.**
- 2. Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.**
- 3. Characteristic features of the original building shall not be destroyed or obscured.**
- 4. Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.**
- 5. Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design but shall be coherent in design with the existing building.**
- 6. Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.**

With respect to **Relationship of Materials and Color** the subject proposal consists of the use of synthetic Azek bevel siding to replace existing wood siding on the existing contributing single-family residence. As previously mentioned, the Board requested clarification on the amount of siding replaced, which was confirmed to be a complete replacement for the entire structure. Recent renovations included approval for the use of authentic wood siding replacement, seen in the image below, all of which has been removed:



Given the Secretary of the Interior's Standards and Guidelines, the recommended approach for the replacement and repairing of siding, the use of synthetic materials is discouraged for use on a historic structure. As previously mentioned, however, there have been updates to NPS Preservation Briefs which recommend alternate solutions with regard to modern requirements. Composite materials such as Hardie-board, have been approved by the board on a case-by-case basis for use on non-contributing structures or additions to historic buildings when not visible from a public right-of-way. A common aspect of composite material that has been deemed appropriate for use on non-contributing additions or structures within historic districts is the appearance of a wood grain texture, which aids in emulating the appearance of wood siding. The subject structure now contains composite Azek material that has a smooth painted finish rather than a wood grain texture. The Visual Compatibility Standards

recommended approach for siding is **that the relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.** The Delray Beach Historic Preservation Design Guidelines **do not recommend removal of major portions of wood from a façade instead of replacing or repairing the deteriorated wood.** There is concern, as the entirety of the wood siding has been removed.

**Not Recommended:**

- Unnecessarily removing a major portion of wood from a façade instead of replacing or repairing the deteriorated wood.
- Stripping painted surfaces to bare wood to achieve a “natural” effect.
- Failing to identify the underlying cause(s) of wood deterioration. Conditions such as faulty flashing, leaking gutters, cracks and holes in the siding, deteriorated caulking in joints and seams, plant material and weeds, insect and fungus infestation are some root causes of wood deterioration. Without the treatment of the cause, the destruction will continue.
- Creating a false architectural appearance by adding or eliminating detail(s).
- Applying synthetic materials that conceal building materials. Sidings, such as vinyl or aluminum, can mask the advance of termite infestation or wood rot. Severe moisture problems may occur because siding traps moisture in the wall cavity.
- Painting surfaces that were originally natural.



*An example of weatherboard siding*



*Board and batten siding*

Consideration could be given to the utilization of a non-authentic alternatives on portions of the building not visible from the public right-of-way along with the overall finish of the siding. Typically, a request for siding replacement is reviewed by staff at the administrative level. However, since the project has already been completed and the non-authentic material has been utilized, the application must be reviewed by the board in order to make a determination that the request is appropriate for the contributing structure and compatible to the Marina Historic District. Additionally, a further complication of the Azek material that has been utilized is that it does not have a current Notice of Acceptance (NOA). Either a NOA or letter, provided and signed by a licensed professional, indicating that the installed material meets the Florida Building Code is required and necessary for building permit approval in order to comply with engineering and Florida Building Code hurricane wind load requirements. Such will need to be provided for building permit approval.

The board will need to make a determination that the material is appropriate for use on the historic, contributing structure.

## COMPREHENSIVE PLAN

**Pursuant to the Historic Preservation Element (HPE), Objective 1.4, Historic Preservation Planning: Implement appropriate and compatible design and planning strategies for historic sites and properties within historic districts.**

The objective shall be met through continued adherence to the City’s Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

**HPE Policy 1.4.1 - Continue to require that the Historic Preservation Board make findings that any land use or development application for a historic structure, site or within a historic district,**



is consistent with the provisions of the Secretary of the Interior's Standards for Rehabilitation, the Land Development Regulations, and Delray Beach Historic Preservation Design Guidelines. The proposal is for an after-the-fact installation of Azek siding. The board will need to make a determination that the request can be found to be consistent with the provisions of LDR Section 4.5.1 relating to historic sites and districts as well as the Secretary of the Interior's Standards and the Delray Beach Historic Preservation Design Guidelines.

<b>ALTERNATIVE ACTIONS</b>
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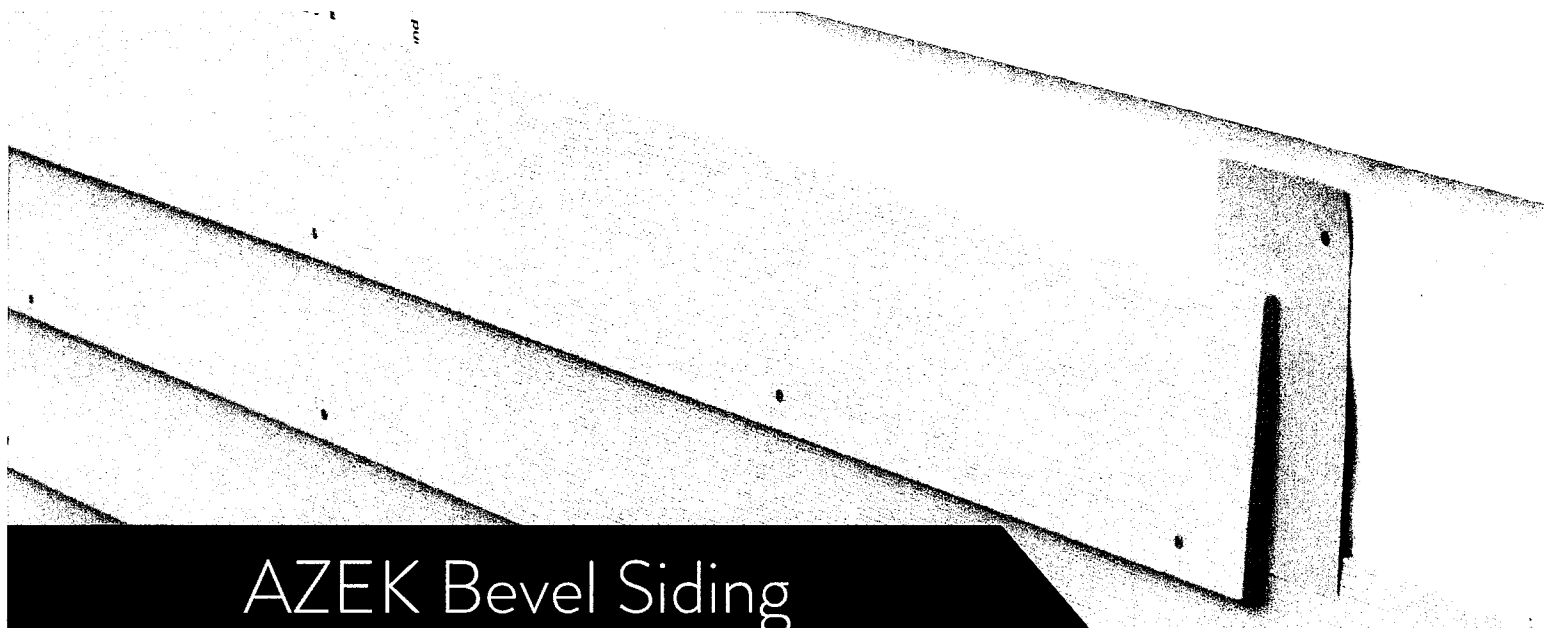
- A. Move to continue with direction.
- B. Approve Certificate of Appropriateness (2025-176), for the property located at **49 Palm Square, Marina Historic District**, by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations.
- C. Approve Certificate of Appropriateness (2025-176), for the property located at **49 Palm Square, Marina Historic District**, by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations, subject to the following conditions:
- D. Deny Certificate of Appropriateness (2025-176), for the property located at **49 Palm Square, Marina Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

<b>PUBLIC AND COURTESY NOTICES</b>
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<input checked="" type="checkbox"/> Courtesy Notices were provided to the following, at least 5 working days prior to the meeting:  Marina Historic District Homeowners Association	<input checked="" type="checkbox"/> Public Notices are not required for this request. <input checked="" type="checkbox"/> Agenda was posted on (6/25/25), 5 working days prior to the meeting.
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<b>TAC Timeline Table</b>
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Review No.	Submittal Date	TAC Comments Transmitted	Fee Due with Next Submittal?:
1	4/28/2025	N/A Board Ready 4/28/2025	No <u>  X  </u> Yes <u>      </u> Amount: <u>      </u>



## AZEK Bevel Siding Install Guide

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AZEK Bevel Siding must be installed using the same good building principles used to install traditional siding products and in accordance with the local building codes and the installation guidelines included below. AZEK Building Products accepts no liability or responsibility for the improper installation of this product.

Applications outlined in this install guide are the only applications that are currently recommended for this product. Do not install this product in applications not outlined in this install guide.

AZEK Bevel Siding may not be suitable for every application, and it is the sole responsibility of the installer to be sure AZEK products are fit for the intended use. Since all installations are unique, it is also the installer's responsibility to determine specific requirements for each application.

AZEK Building Products recommends that all applications be reviewed by a licensed architect, engineer or local building official prior to installation. If you have any questions or need further assistance, please call AZEK Customer Service at 1-800-910-3545 or visit our website at [AZEKexteriors.com](http://AZEKexteriors.com)

**CARE AND CLEANING**

- Use warm water and a brush, or power wash with a fan tip, to clean off any loose dirt or debris. Make sure to test the pressure of the power washer prior to using it on AZEK Bevel Siding products to ensure it will not damage the surface.
- DO NOT USE any chemical cleaners on the product prior to painting as they may affect the paint adhesion and paint performance over time.
- For PAINTED siding, please refer to the paint manufacturer's recommendations for cleaning.
- IMPORTANT: DO NOT USE SOLVENT BASED CLEANERS AS THEY CAN DAMAGE THE FINISH OF AZEK BEVEL SIDING PRODUCTS.
- WARNING: KEEP CHILDREN AND PETS AWAY FROM CLEANING PRODUCTS AND THE CLEANED MATERIAL UNTIL IT IS COMPLETELY DRY.
- For any other questions on AZEK Bevel Siding, call us at 1-800-910-3545.

AZEK Exteriors  
1330 West Fulton St. Suite #350  
Chicago, Illinois 60607  
AZEKexteriors.com • 1-800-910-3545

**IMPORTANT**

The building structure and outside wall must be built to code, be weather-tight and waterproof, and have proper horizontal flashing and kick-out flashing prior to installing AZEK Bevel Siding. AZEK Bevel Siding will not solely protect against moisture penetration to the building or structure. Refer to your local building codes for wall construction, house wrap waterproofing, flashing and other wall preparations prior to installing AZEK Bevel Siding.

**ENVIRONMENTAL CONSIDERATIONS**

AZEK Bevel Siding will experience expansion and contraction with changes in temperature, unlike wood and other products whose size will fluctuate with moisture changes. Fastening the boards according to the Installation Guidelines will help to minimize the effects of expansion and contraction.

- Expansion/contraction is most significant where extreme temperature changes may exist
- Prior to and during installation, keep product at a mild temperature. In warm installation, keep product as cool as possible by keeping them covered and out of direct sunlight
- **EXTREME COLD:** use extra care when handling and installing the product. Do not install product when temperatures are below 25 degrees Fahrenheit

**EXTREME HEAT WARNING**

Be aware of excessive heat on the surface of AZEK Bevel Siding from external sources, such as (but not limited to) fire or reflection of sunlight from energy-efficient window products. Low-emissivity (Low-E) glass can potentially harm AZEK products. Low-E glass is designed to prevent passive heat gain within a structure and can cause unusual heat build-up on exterior surfaces from sunlight reflection. This extreme elevation of surface temperatures, which can exceed that of normal exposure, can possibly cause AZEK products to melt, sag, warp, discolor, increase expansion/contraction, and accelerate weathering.

**PAINT WARNING**

AZEK Bevel Siding can be painted any color, however the proper type of paint **MUST** be used to limit heat build. Using the incorrect paint may cause severe damage to the product and void the warranty.

See page 4 for more details

## STORAGE & HANDLING

Store AZEK Bevel Siding laying down on a flat and level surface that fully supports the product.

DO NOT store AZEK Bevel Siding in areas of excessive heat, such as on asphalt, directly on a asphalt roof, in direct sunlight, or under dark tarps or coverings.

Always leave the manufacturer's protective wrap on the product until installation. If removed, replace the protective wrap, or use a different non-translucent cover, to keep the product free from dust and construction debris. DO NOT cover with a dark covering or tarp.

If banding is used, place protective corners between the product and banding to prevent indents.

Always remove job site dust, clay, dirt, mud, debris and other job site contaminants and products from AZEK Bevel Siding right away.

**IMPORTANT:** Do not allow airborne dust from concrete, landscape blocks, or any masonry product to accumulate on AZEK Bevel Siding as they may damage the surface.

## TOOLS REQUIRED

AZEK Bevel Siding can be installed with a minimum number of readily available tools. Many other tools are available that can be used for installation. All tools should be used in accordance with the manufacturer's instructions.

Some of the basic tools required for installation:

Safety Glasses	Pencil or Marker
Ear Protection	Hammer
Chalk Line	Coil Siding Nailer
Tape Measure	Miter Saw or Circular Saw
Square	Jig Saw
Level	Caulking Gun

## CUTTING RECOMMENDATION

For best cutting results, use a miter saw or a circular saw with a fine-toothed, carbide tipped finish trim blade. To cut around obstructions, use a jigsaw with a fine-toothed blade.

When working with AZEK products, be sure to wear proper clothing and safety equipment. Safety glasses should be used during the entire installation process.



### PAINTING REQUIREMENTS

If your desired color does not meet a Light Reflective Value (LRV) of 55 or higher you must either choose a pre-set color from a paint designed for vinyl or have the color matched using a specialty paint with solar reflective pigments. Paints formulated for vinyl and paints with solar reflective pigments are designed to limit heat build and ensure the long term performance of your PaintPro<sup>®</sup> products. Always make sure your paint is suitable for exterior application.

- AZEK Bevel siding must be painted within 180 days of installation
- To maximize paint performance, the product should be kept covered and away from sunlight before installation at a job site
- The surface must be clean, dry, and void of any foreign material such as dirt, oil, grease or other contaminants that may come from normal handling, storage and/or installation prior to painting. Refer to the storage and handling guidelines on page 2 for more details
- Paints used on AZEK Bevel siding will dry to the touch quickly. As with any product, ensure the panels are properly cured before handling and stacking
- **DISCLAIMER:** The Lifetime Limited Warranty on AZEK Bevel Siding does not cover the performance of painted finishes or coating applied to the product by the original purchaser or any third party

### Paint Type Requirements

COLOR RANGE	KEY COLOR SELECTION CRITERIA	PAINT TYPE
Lighter paint colors only	Must have a light reflective value (LRV) above 55	Exterior 100% acrylic latex
Light, medium, and some darker colors	Only use colors that are from a paint manufacturer's approved color list for vinyl siding. No custom colors.	Exterior 100% acrylic latex made for vinyl siding
Dark colors & custom colors	Available via Special Order only. Visit our custom colors and special-order paint page. Never custom color match in local paint stores.	Exterior 100% acrylic latex with solar reflective pigments

**REMEMBER:** Always make sure your paint is 100% water-based (acrylic) and suitable for exterior application.



#### WARNING

Do not adjust or customize colors at local paint stores, home centers, big box stores, or other paint providers. These have not been tested for use on AZEK products and may lead to defects. For info on custom colors visit: [azekexteriors.com/painting/custom-colors](http://azekexteriors.com/painting/custom-colors)



CUSTOM COLOR &  
SPECIAL-ORDER



PAINT GUIDELINES

### GENERAL REQUIREMENTS

The building structure and outside wall must be built to code, be weather-tight and waterproof, and have proper horizontal flashing and kick-out flashing prior to installing AZEK Bevel Siding. AZEK Bevel Siding will not solely protect against moisture penetration to the building or structure. Refer to your local building codes for wall construction, house wrap waterproofing, flashing and other wall preparations prior to installing AZEK Bevel Siding.

#### SHEATHING / SUBSTRATE

- ENSURE wall is flat, even and in plane prior to installation. AZEK Bevel Siding will contour to undulation in the substructure
- Minimum 7/16" OSB installed over 16" on-center studs

#### WEATHER-RESISTANT BARRIER

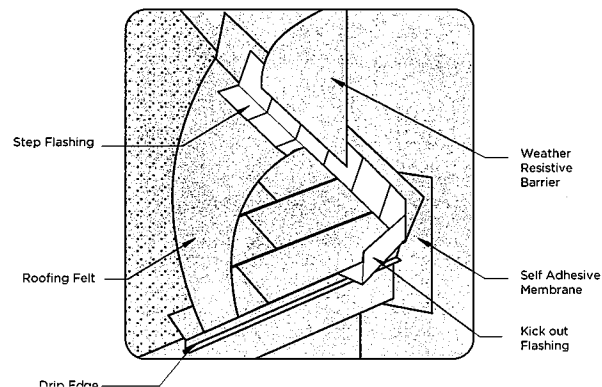
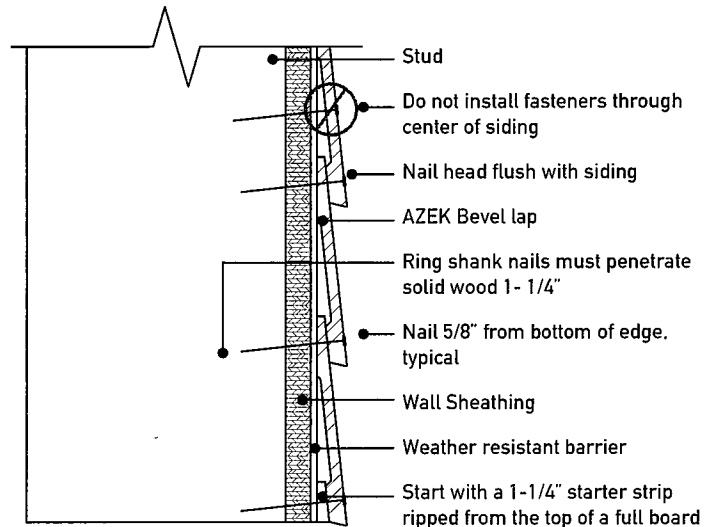
- Install WRB in accordance with the local building code
- For best results, use a drainable WRB

#### FLASHING

- Install kick-out flashing in accordance with the local building code
- Install all other horizontal flashings in accordance with the local building code

#### FASTENERS

- Use 0.092" diameter with a minimum 2" length hot-dipped galvanized or stainless-steel ring shank nail
- Starter strips can be installed with 15- or 16-gauge exterior grade finish nails
- Fasteners should be snug or flush; do not over driven



do not  
over drive  
siding nails

do not  
under drive  
siding nails



DO NOT  
STAPLE

### INSTALLATION METHOD

A.

#### EXPOSURE

- AZEK Bevel Siding is a 5.25" wide board designed for a 4" exposure

B.

#### SETBACKS

- 32" setbacks are recommended to offset seams

C.

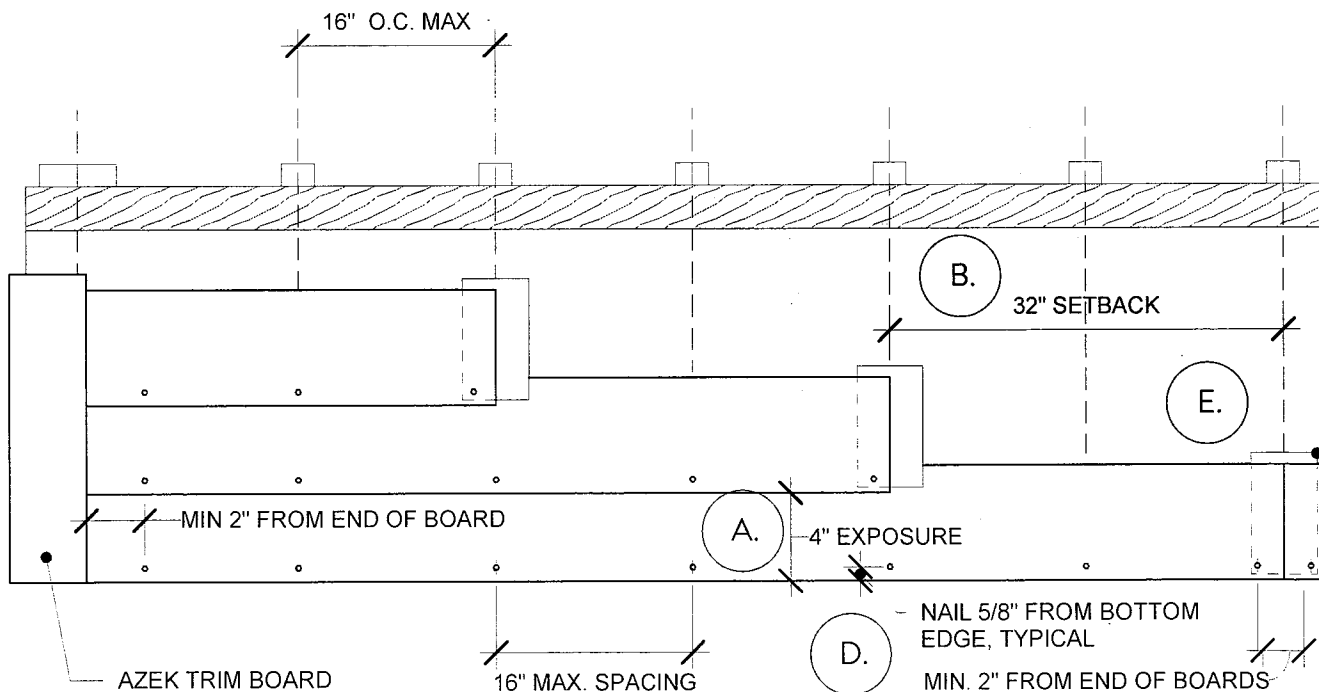
#### STARTER STRIPS

- Rip 1-1/4" starter strips from the top of AZEK Bevel Siding boards
- Fasten every 8" along the bottom of the install area using 15- or 16-gauge exterior grade finish nails

D.

#### SIDING FASTENER LOCATIONS

- Fasten with the recommended fastener with a maximum spacing of 16" between fasteners
- For high wind zone areas, and for best results, fasten into studs
- Fasteners must be 5/8" up from the bottom of the board. High or low fasteners may cause cracks
- DO NOT fasten within 2" of from ends of the board



E.

### GAPPING

- Install all butt joints with moderate contact. DO NOT force boards into place
- Leave a 1/4" gap above all horizontal flashings. DO NOT caulk gap between siding and horizontal trims
- For face-caulking, leave an 1/8" gap between the siding and trims, then caulk
- For back-caulking, siding can be installed tight to the trims

F.

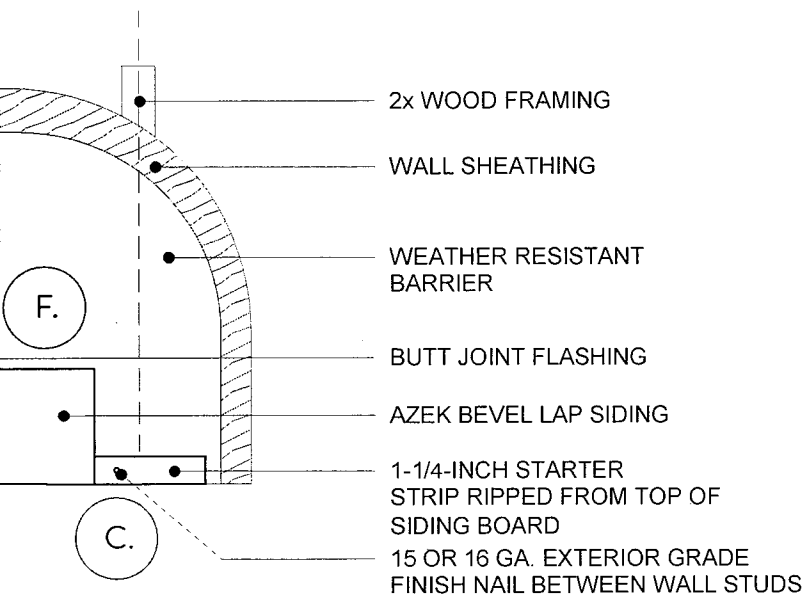
### JOINT FLASHING

- Use a joint flashing wherever 2 boards butt together

## IMPORTANT

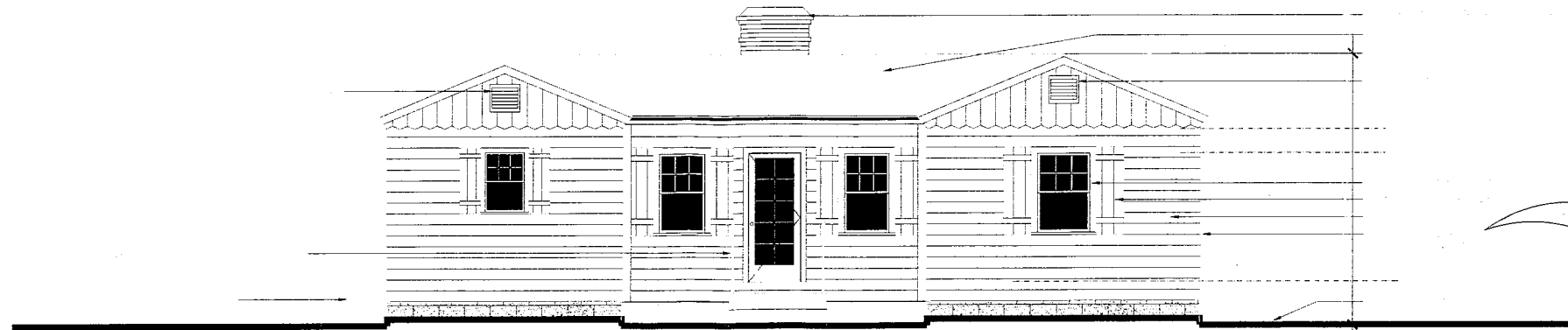
### ENSURE SOLID BACKING

- If the exposure of the last course of siding is 3-1/2" or less it will require the space between the previous course of siding and the frieze board / soffit, bottom window trim, or other break to be packed out to maintain the proper angles
- A 1-1/4" starter strip ripped from the top of a siding board is recommended



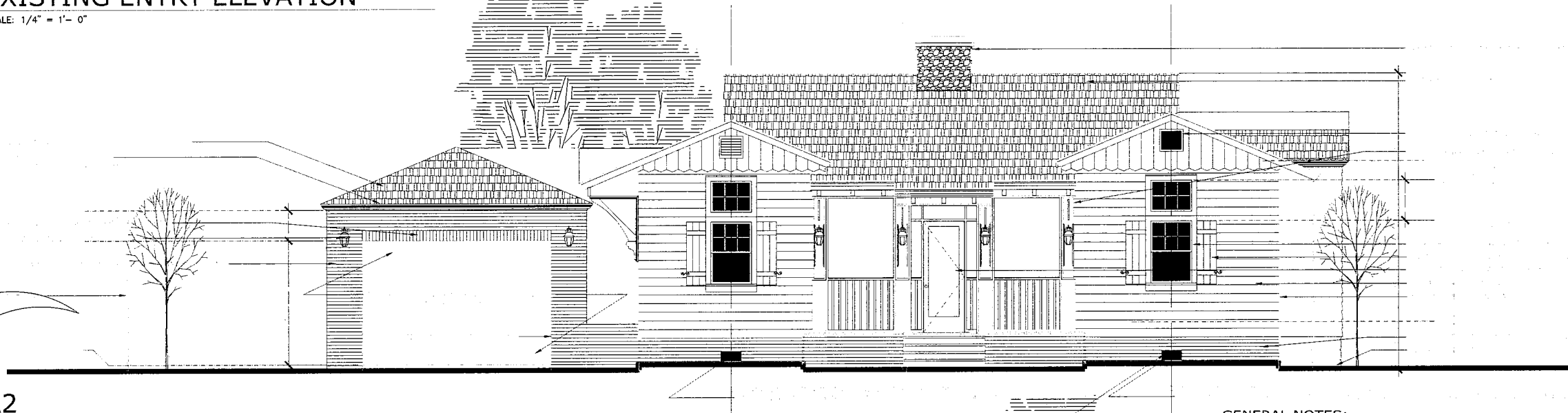
A1  
EXISTING ENTRY ELEVATION

SCALE: 1/4" = 1'- 0"



A2  
PROPOSED ENTRY ELEVATION

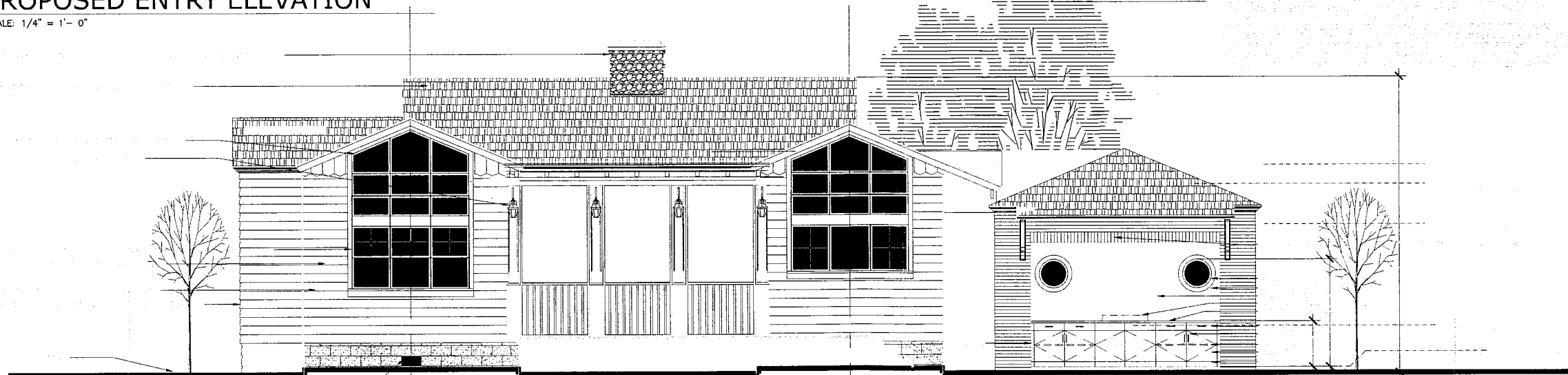
SCALE: 1/4" = 1'- 0"



GENERAL NOTES:

A3  
PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'- 0"



"PALM SQUARE RESIDENCE"  
MARINA HISTORIC DISTRICT  
DELRAY BEACH, FLORIDA 33483

COPE ARCHITECTS, INC.  
114 1/2 NE 1ST AVENUE  
DELRAY BEACH, FLORIDA 33444-3713  
ARCHITECTURE - PLANNING - INTERIORS  
CELL 561 789-3793 EMAIL copearchitects@bellsouth.net

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THE PALM SQUARE RESIDENCE

49 PALM SQUARE  
DELRAY BEACH, FLORIDA

EXISTING/NEW ELEVATIONS

COPE ARCHITECTS, INC.  
114 1/2 NE 1ST AVENUE  
DELRAY BEACH, FLORIDA 33444-3713  
ARCHITECTURE - PLANNING - INTERIORS  
PHD 361 274-6706 FAX 361 274-6707

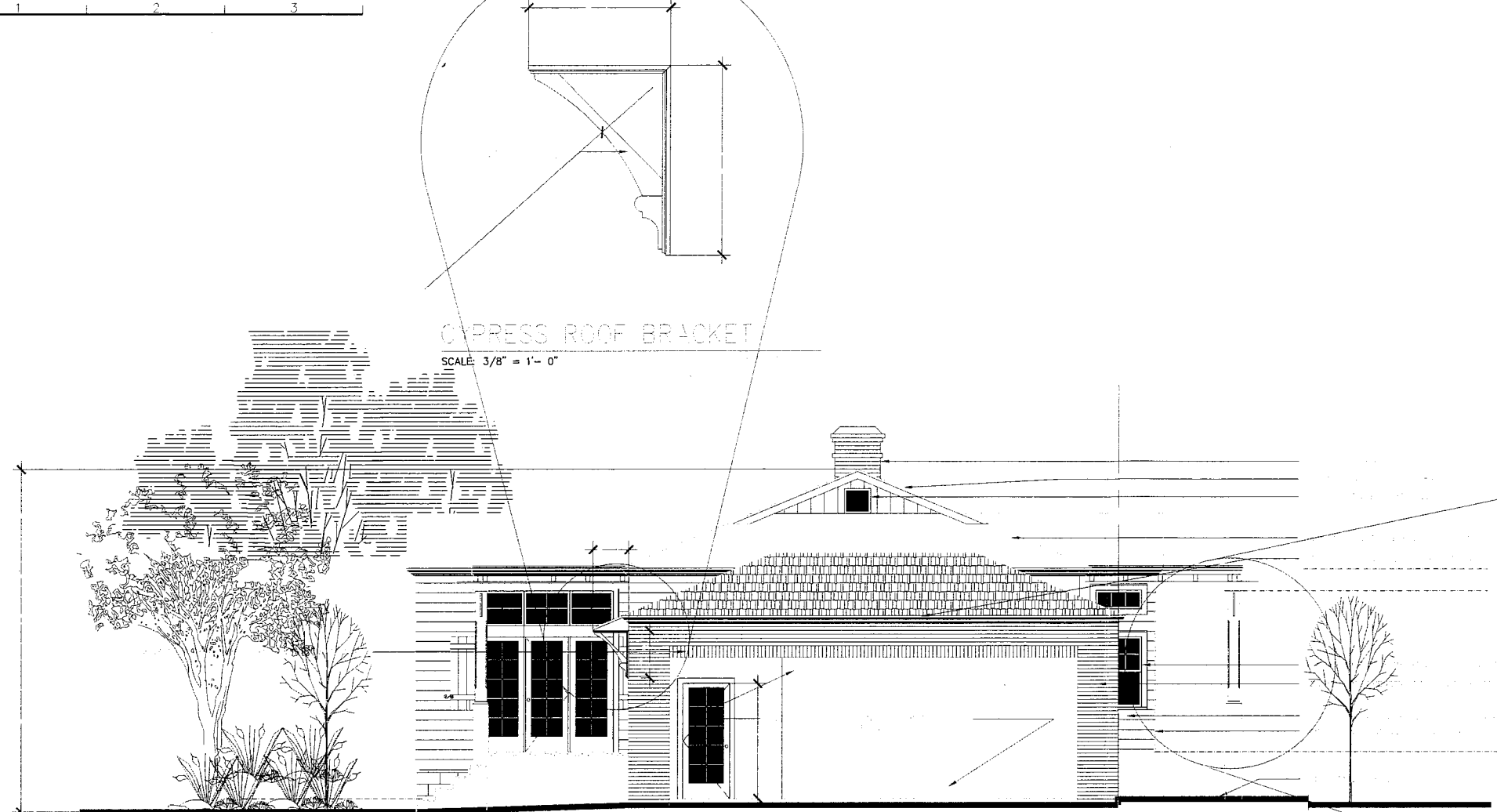
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Florida License No.  
AR001552

Drawn  
RW COPE  
Project No.  
2015.01SMITH  
CAD File No.  
EXIST'G./NEW ENTRY  
Date  
FEBRUARY 23, 2017  
Drawing No.

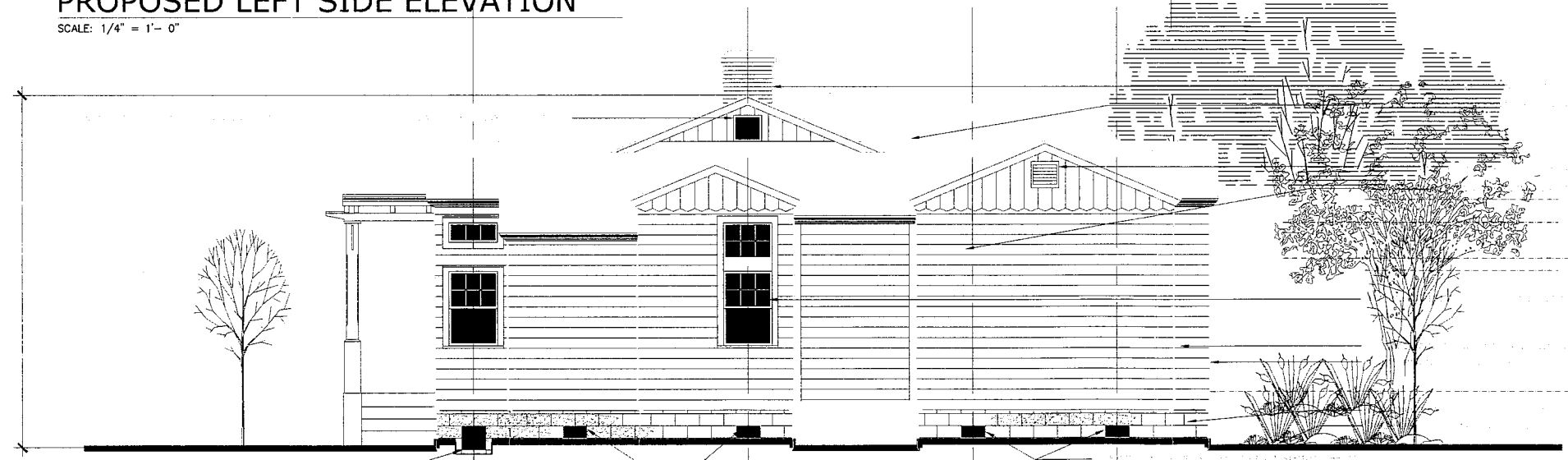
A5.0

of





A4  
PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



A5  
PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

**"PALM SQUARE RESIDENCE"**  
MARINA HISTORIC DISTRICT  
DELRAY BEACH, FLORIDA 33483

COPE ARCHITECTS, INC.  
114 1/2 NE 1ST AVENUE  
DELRAY BEACH, FLORIDA 33444-3713  
ARCHITECTURE • PLANNING • INTERIORS  
CELL 561 789-3792 EMAIL copearchitects@bellsouth.net

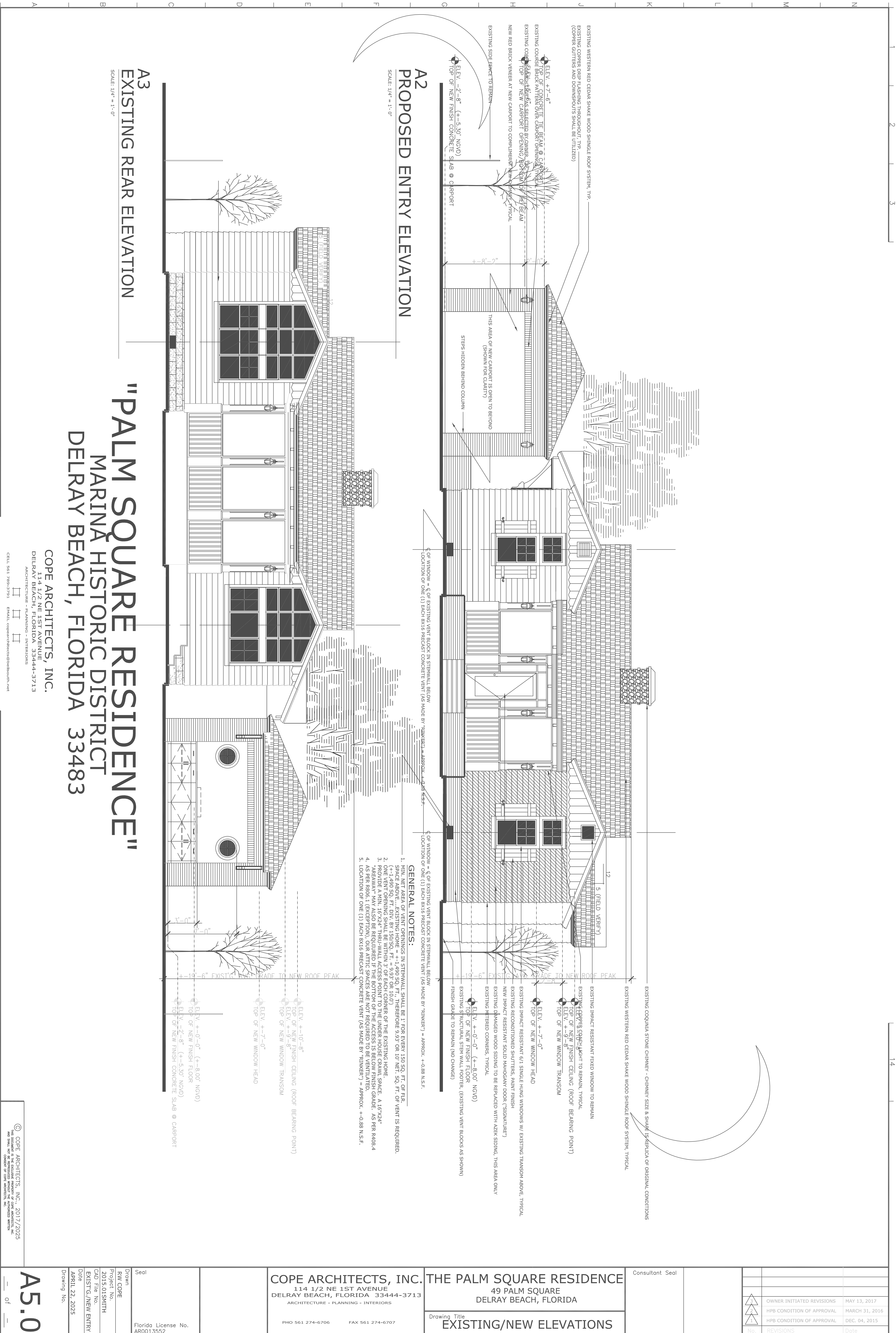
COLUMN WRAP DETAIL  
SCALE: 3/8" = 1'-0"

COPE ARCHITECTS, INC. THE PALM SQUARE RESIDENCE  
114 1/2 NE 1ST AVENUE 49 PALM SQUARE  
DELRAY BEACH, FLORIDA 33444-3713 DELRAY BEACH, FLORIDA  
ARCHITECTURE • PLANNING • INTERIORS  
PHO 561 274-5705 FAX 561 274-5707  
NEW ELEVATIONS

Seal  
Drawn  
RW COPE  
Project No.  
2015.01SMITH  
CAD File No.  
NEW SIDE ELEV'NS.  
Date  
FEBRUARY 19, 2016  
Drawing No.

A6.0  
of

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No.	REVISIONS	Date
1	OWNER INITIATED REVISIONS	MAY 13, 2017
2	HPB CONDITION OF APPROVAL	MARCH 31, 2016
3	HPB CONDITION OF APPROVAL	DEC. 04, 2015

Consultant Seal

THE PALM SQUARE RESIDENCE  
49 PALM SQUARE  
DELRAY BEACH, FLORIDA

Drawing Title  
**EXISTING/NEW ELEVATIONS**

COPE ARCHITECTS, INC.  
114 1/2 NE 1ST AVENUE  
DELRAY BEACH, FLORIDA 33444-3713  
ARCHITECTURE - PLANNING - INTERIORS

PHO 561 274-6706 FAX 561 274-6707

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CAD File No.  
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Date  
APRIL 22, 2025  
Drawing No.

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Florida License No.  
AR0013552

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of

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“EXHIBIT A”

**SECRETARY OF THE INTERIOR STANDARDS:**

**Standard #1: “A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.”**

*Response: We are not changing the use of the property: it shall remain a private single-family residence.*

**Standard #2: “The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.”**

*Response: The existing historic structure shall have it's character retained and preserved.*

**Standard #3: “Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.”**

*Response: We are not proposing to do anything conjectural.*

**Standard #4: “Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.”**

*Response: We agree, we have gone to great lengths to preserve the existing structure, the anchor of the property.*

**Standard #5: “Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize(s) a property shall be preserved.”**

*Response: We agree and are preserving such.*

**Standard #6: “Deteriorated historic features shall be repaired rather than replaced. Where the severity of the deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.”**

*Response: We shall work in a collaborative effort with HPB Staff and the Chief Building Official. Should we experience any examples of deterioration so severe it requires replacement rather than repair, all shall be well documented with City Staff participation.*

**Standard #7: “Chemical or physical treatments, such as sandblasting, that causes damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.”**

*Response: Sandblasting or any chemical or any other physical treatment that causes harm to historic materials shall not be allowed on this Project.*

**Standard #8: “Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.”**

*Response: Not applicable.*

**Standard #9: “New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and Architectural features to protect the historic integrity of the property and it’s environment.”**

*Response: Not applicable.*

**Standard #10: “New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and it’s environment would be unimpaired.”**

*Response: Not applicable.*

April 15, 2025

City of Delray Beach  
100 NW 1st Avenue  
Delray Beach, Florida 33444

Attn.: Michelle Hoyland – Senior Historic Preservation Planner, Development Services (P&Z)

Re: Letter of Justification: COA

Project: The Noel Smith Residence, 49 Palm Square – National Marina Historic District

Mrs. Hoyland:

I hope all is well.

As the Architect-Of-Record for the above referenced Project, please accept this letter of justification associated with the COA processing of our Project.

I am focusing on LDR Section 4.5.1(7) Visual Compatibility Standards & the Secretary of the Interiors Standards for Rehabilitation.

#### **JUSTIFICATION**

**“Pursuant to LDR Section 4.5.1(7)(a) – Height”**

*Response: Not applicable, we are not proposing any change in height.*

**“Pursuant to LDR Section 4.5.1(7)(b) – Front Façade Proportion”**

*Response: Not applicable, we are not proposing any change to our front façade proportion.*

**“Pursuant to LDR Section 4.5.1(7)(c) – Proportion of Openings (Windows & Doors)”**

*Response: Not applicable, we are not proposing any change to the proportion of openings.*

**“Pursuant to LDR Section 4.5.1(7)(d) – Rhythm of Solids to Voids”**

*Response: Not applicable, we are not proposing any change to the rhythm of solids to voids.*

**“Pursuant to LDR Section 4.5.1 (7)(e) – Rhythm of Building on Streets”**

*Response: Not applicable, we are not proposing any change to the rhythm of the building.*

**“Pursuant to LDR Section 4.5.1(7)(f) – Rhythm of Entrance and/or Porch Projection(s)”**

*Response: Not applicable, we are not proposing any change to the rhythm of the entrance nor porch.*

**“Pursuant to LDR Section 4.5.1(7)(g) – Relationship of Materials, Texture & Color”**

*Response: Applicable – we are proposing to make necessary siding repairs where real wood siding (installed in +-2018) has deteriorated beyond the point of reasonable repair. We are proposing to repair with a man-made siding product “Azek” – which has been approved by HPB Staff and the HPB Board before. For repairs not as new.*

**“Pursuant to LDR Section 4.5.1(7)(h) – Roof Shapes”**

*Response: Not applicable, we are not proposing any change to the roof shapes.*



**“Pursuant to LDR Section 4.5.1(7)(i) – Walls of Continuity”**

*Response: Not applicable, we are not proposing any change to the walls of continuity.*

**“Pursuant to LDR Section 4.5.1(7)(j) – Scale of a Building”**

*Response: Not applicable, we are not proposing any change to the scale of our building.*

**“Pursuant to LDR Section 4.5.1(7)(k) – Directional Expression of Front Elevation”**

*Response: Not applicable, we are not proposing any change to the directional expression of our front elevation.*

**“Pursuant to LDR Section 4.5.1(7)(l) – Architectural Style”**

*Response: Not applicable, we are not proposing any change to the architectural style.*

**“Pursuant to LDR Section 4.5.1(7)(m) – Additions to Individually Designated Properties & Contributing Structures in all Historic Districts”**

*Response: Not applicable, we are not proposing any additions to the Project.*

*Please see Exhibit “A”, hereby attached, that addresses The Secretary of the Interior Standards.*

Finally, in my humble opinion, our proposal is an excellent example of renovating and rehabilitating an existing historic residence as outlined in the Secretary of the Interiors Standards for Rehabilitation, an electronic copy of which is hereby included in our Flash drive associated with this COA application.

This concludes our justification letter. Please do not hesitate to call should you require anything further. We look forward to being scheduled before the next appropriate HPB Board hearing. Thank you in advance.

Sincerely:

Roger Cope  
Principal  
RWC/jad

Cc Noel Smith & Linda Harper-Smith, Clients  
Dana Stearn, General Contractor















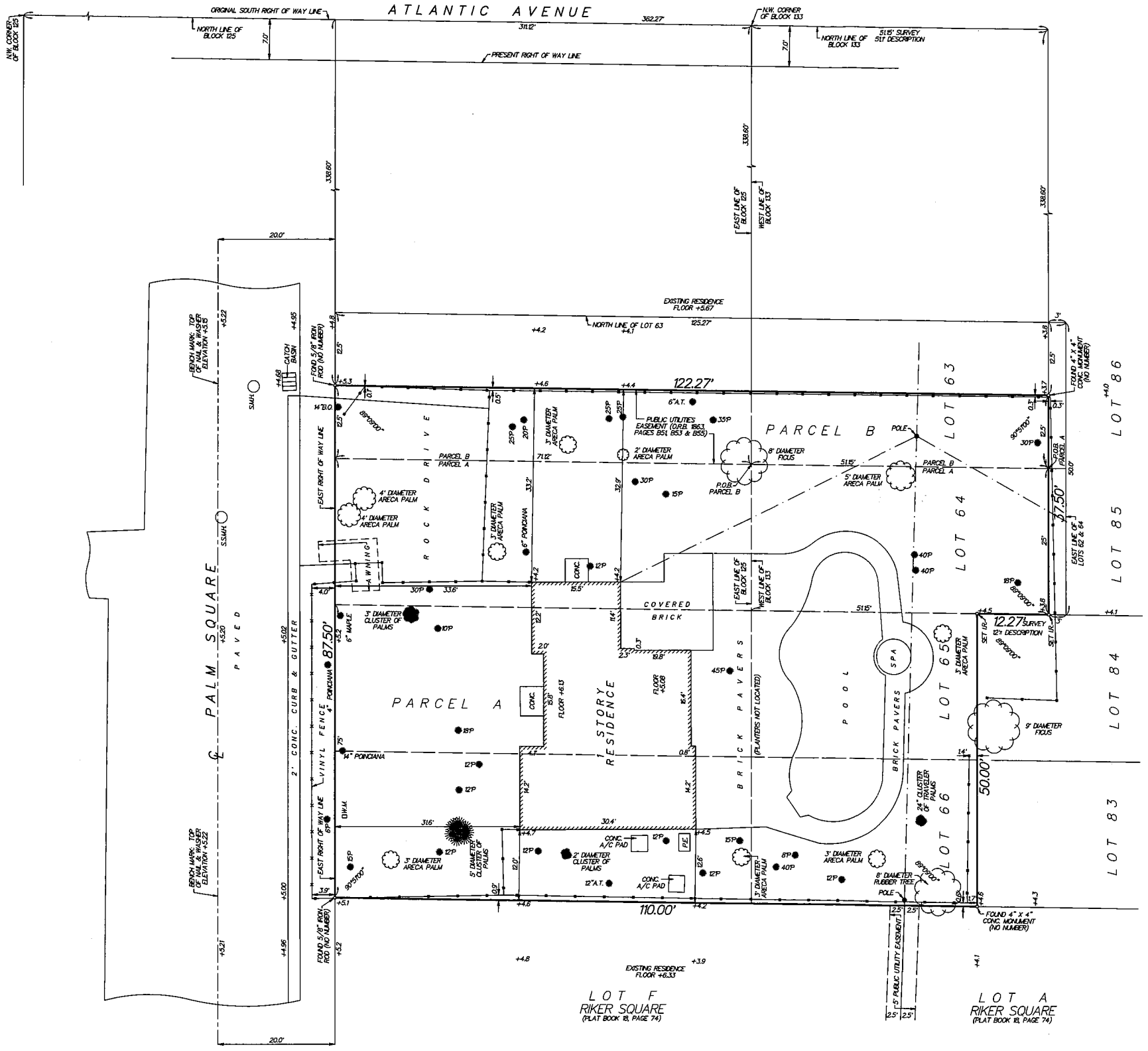












**LEGEND:**  
C = CENTERLINE  
CONC. = CONCRETE  
I.R. = 5/8" IRON ROD WITH CAP #LB 353  
P.E. = CONC. PAD FOR POOL EQUIPMENT  
S.S.M.H. = SANITARY SEWER MANHOLE  
S.M.H. = STORM SEWER MANHOLE  
O.R.B. = OFFICIAL RECORDS BOOK  
P.O.B. = POINT OF BEGINNING  
— = WOOD FENCE  
— = OVERHEAD UTILITY LINES  
LOT 64 = REFERS TO LOT IN THE UNRECORDED PLAT OF PALM SQUARE  
+5.15 = ELEVATION BASED ON NATIONAL GEODETIC VERTICAL DATUM 1929. SOURCE: STATE ROAD DEPARTMENT BENCH MARK IN ATLANTIC AVENUE BRIDGE OVER THE INTRACOASTAL  
FLOOD ZONE: AE (EL. 7)

**TREE LEGEND:**  
B.O. = BLACK OLIVE  
P = PALM  
A.T. = ALMOND TREE

**DESCRIPTION:**  
PARCEL A:  
COMMENCING AT THE NORTHWEST CORNER OF BLOCK 125, TOWN OF LINTON, FLORIDA (NOW KNOWN AS DELRAY BEACH), ACCORDING TO THE PLAT THEREOF, ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 1, PAGE 3; THENCE EASTERLY ALONG THE NORTH LINE OF SAID BLOCK 125, A DISTANCE OF 362.27 FEET TO A POINT, SAID POINT BEING 511 FEET EAST OF THE NORTHWEST CORNER OF BLOCK 133 OF SAID PLAT; THENCE SOUTHERLY PARALLEL TO THE WEST LINE OF SAID BLOCK 133, A DISTANCE OF 338.60 FEET TO THE POINT OF BEGINNING; THENCE WESTERLY PARALLEL TO THE NORTH LINE OF SAID BLOCK 133 TO THE EAST RIGHT OF WAY LINE OF PALM STREET; THENCE SOUTHERLY ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 75 FEET; THENCE EASTERLY PARALLEL TO THE NORTH LINE OF SAID BLOCK 133, A DISTANCE OF 110 FEET; THENCE NORTHERLY PARALLEL TO THE EAST RIGHT OF WAY LINE OF PALM STREET, A DISTANCE OF 50 FEET; THENCE EASTERLY PARALLEL TO THE NORTH LINE OF SAID BLOCK 133, A DISTANCE OF 12 FEET, MORE OR LESS, TO A POINT, SAID POINT BEING 515 FEET EAST OF THE WEST LINE OF SAID BLOCK 133; THENCE NORTHERLY PARALLEL TO THE EAST RIGHT OF WAY OF PALM STREET, 25 FEET TO THE POINT OF BEGINNING.  
ALSO KNOWN AS LOT 64 (LESS THE EAST 3 FEET) AND ALL OF LOTS 65 AND 66, PALM SQUARE, UNRECORDED.  
PARCEL B:  
A PARCEL OF LAND IN BLOCK 125 AND BLOCK 133, TOWN OF LINTON, FLORIDA (NOW KNOWN AS DELRAY BEACH), ACCORDING TO THE PLAT THEREOF, ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 1, PAGE 3, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE NORTHWEST CORNER OF SAID BLOCK 125; THENCE EASTERLY, ALONG THE NORTH LINE OF SAID BLOCK 125, A DISTANCE OF 311.12 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 133; THENCE SOUTHERLY, ALONG THE WEST LINE OF BLOCK 133 (ALSO BEING THE EAST LINE OF BLOCK 125), A DISTANCE OF 338.60 FEET TO THE POINT OF BEGINNING; THENCE EASTERLY PARALLEL WITH THE NORTH LINE OF SAID BLOCK 133, A DISTANCE OF 51.15 FEET TO A POINT; THENCE NORTHERLY ALONG A LINE PARALLEL WITH THE SAID WEST LINE OF BLOCK 133, A DISTANCE OF 12.5 FEET TO A POINT; THENCE WESTERLY, ALONG A LINE PARALLEL WITH THE SAID NORTH LINE OF BLOCKS 133 AND 125, A DISTANCE OF 122.27 FEET TO THE EAST RIGHT OF WAY LINE OF PALM WAY; THENCE SOUTHERLY, ALONG THE SAID EAST RIGHT OF WAY LINE OF PALM WAY, BEING PARALLEL WITH THE SAID EAST LINE OF BLOCK 125, A DISTANCE OF 12.5 FEET TO A POINT; THENCE EASTERLY, ALONG A LINE PARALLEL WITH THE SAID NORTH LINE OF BLOCK 125, A DISTANCE 71.12 FEET TO THE POINT OF BEGINNING.  
ALSO KNOWN AS THE SOUTH ONE HALF OF LOT 63, LESS THE EAST THREE FEET, PALM SQUARE, UNRECORDED.

**MAP OF BOUNDARY SURVEY**

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 34-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

*Paul D. Engle*

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL MAILED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.  
PAUL D. ENGLE  
SURVEYOR & MAPPER #5708

**O'BRIEN, SUITER & O'BRIEN, INC.**  
LAND SURVEYORS  
CERTIFICATE OF AUTHORIZATION #LB353  
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE  
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445  
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY: FEBRUARY 26, 2015	SCALE: 1" = 10'
FIELD BOOK: PAGE NO. D.309 27	ORDER NO.: 76-539db