

GENERAL NOTES

- SEE SHEET A601 FOR ALL WINDOW AND DOOR SCHEDULES AND DETAILS.
- SEE FFE PACKAGE FOR INTERIOR FINISHES, FURNITURE, AND INTERIOR ELEVATIONS.
- SEE ID DRAWINGS FOR FURNITURE AND FIXTURE SPECIFICATIONS. SEE A106 FOR FIXTURE OVERALL DIMENSIONS.
- TAPE SEALANT AT ALL ANCHOR LOCATIONS.
- DIMENSIONS INDICATED ON THE FLOOR PLAN ARE FROM FACE OF STUD TO FACE OF STUD UNLESS SPECIFICALLY NOTED OTHERWISE.
- LAYOUT NEW CONSTRUCTION IN ACCORDANCE WITH THE PLANS AND APPLICABLE CODES. ANY DISCREPANCIES DUE TO EXISTING CONDITIONS OR WITH THE PROPOSED LAYOUT AS DIMENSIONED SHALL BE COORDINATED IMMEDIATELY WITH THE ARCHITECT.
- COORDINATE STUD SIZE AND GAUGE NECESSARY FOR HEIGHT OF PARTITION, AS WELL AS FOR STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL CLEARANCE PRIOR TO START OF CONSTRUCTION.
- REINFORCE METAL STUD CONSTRUCTION WITH FIRE RETARDANT TREATED WOOD BLOCKING AT ALL LOCATIONS WHERE WALL CABINETS, SHELVING, GRAB BARS, ACCESSORIES, SIGNS, ETC. ARE INDICATED.
- PROVIDE 1'-0" CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR; PROVIDE 1'-6" CLEAR AT THE PULL SIDE OF EVERY DOOR.
- INSTALL DOORS WITH JAMB SIDE 6" FROM INTERIOR FACE OF PERPENDICULAR PARTITION UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THESE PLANS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS AND FEES THAT MAY BE REQUIRED BY THE GOVERNING MUNICIPALITY.
- ANY WOOD BLOCKING, SHEATHING, FRAMING OR BRACING, AS ALLOWED BY CODE, SHALL BE FIRE RETARDANT TREATED.
- IT IS THE INTENT OF THE ARCHITECT AND OWNER THAT ALL BUILDING MATERIALS USED IN AND DURING CONSTRUCTION SHALL BE FREE OF HAZARDOUS MATERIALS. SHOULD ANY NEW MATERIAL BE FOUND TO CONTAIN HAZARDOUS MATERIALS, THE CONTRACTOR SHALL NOTIFY THE LOCAL AUTHORITY HAVING JURISDICTION AND PROCEED PER THEIR DIRECTIVES.
- REFER TO THE MECHANICAL PLUMBING AND ELECTRICAL PLANS FOR FULL EXTENT OF THIS WORK.
- LOCATE FIRE EXTINGUISHERS AS DIRECTED BY FIRE MARSHAL.
- EXTEND FRP TO 4" ABOVE CEILING, TY. UNO

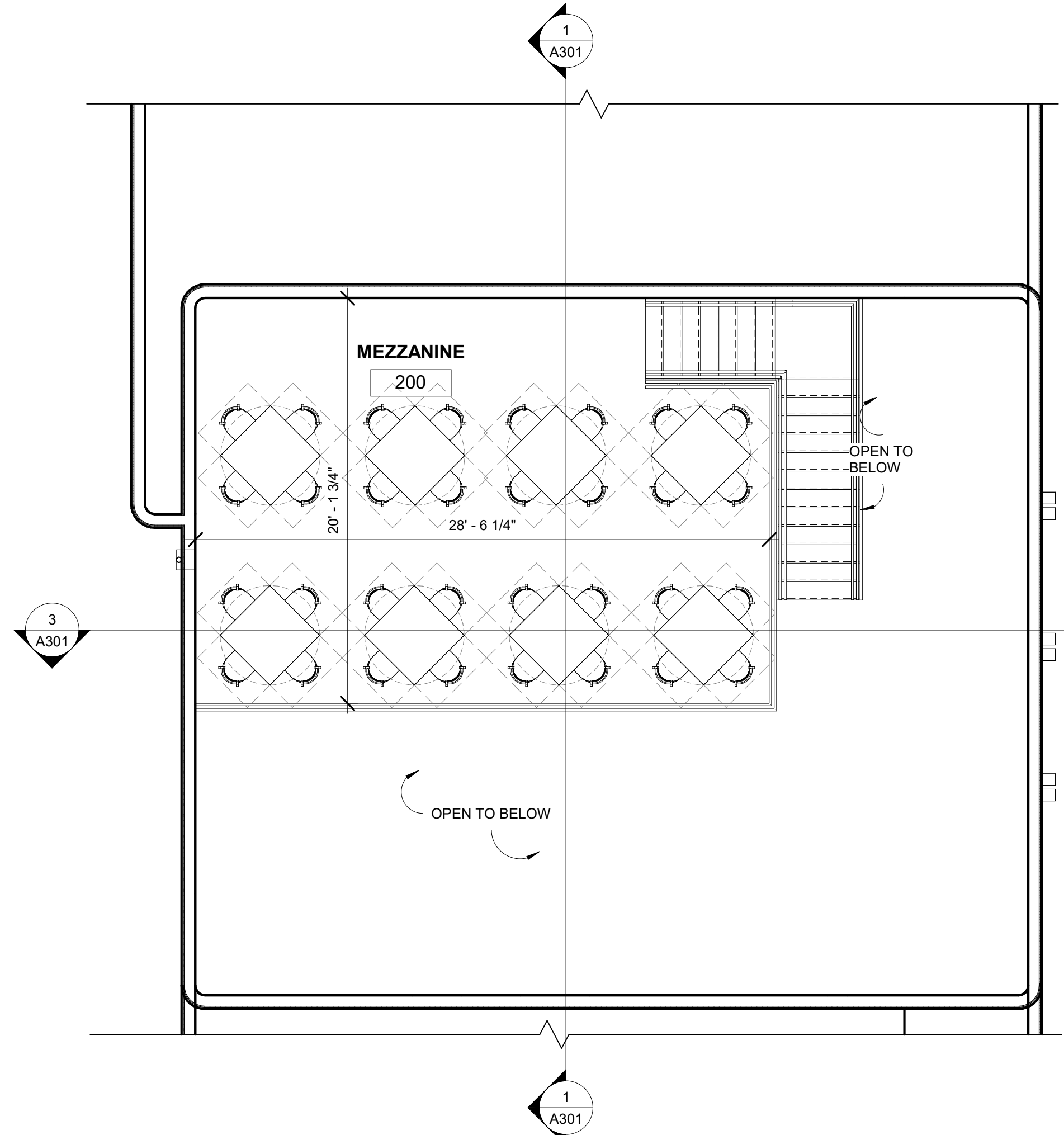
- # KEYNOTES**
- ADA ACCESSIBLE BAR SEATING. MAX COUNTER HEIGHT 34".
 - DASH LINE REPRESENTS BAR DIE WALL EXTENTS BELOW COUNTERTOP.
 - SEE KITCHEN EQ DWGS FOR MORE INFORMATION
 - OUTLINE OF CANOPY ABOVE.

STOREFRONT GLAZING
 FRONTAGE: 100'-6 1/4" LF
 STOREFRONT PROVIDED: 80'-5 1/2" LF
 NOTE: SEE EXTERIOR ELEVATIONS

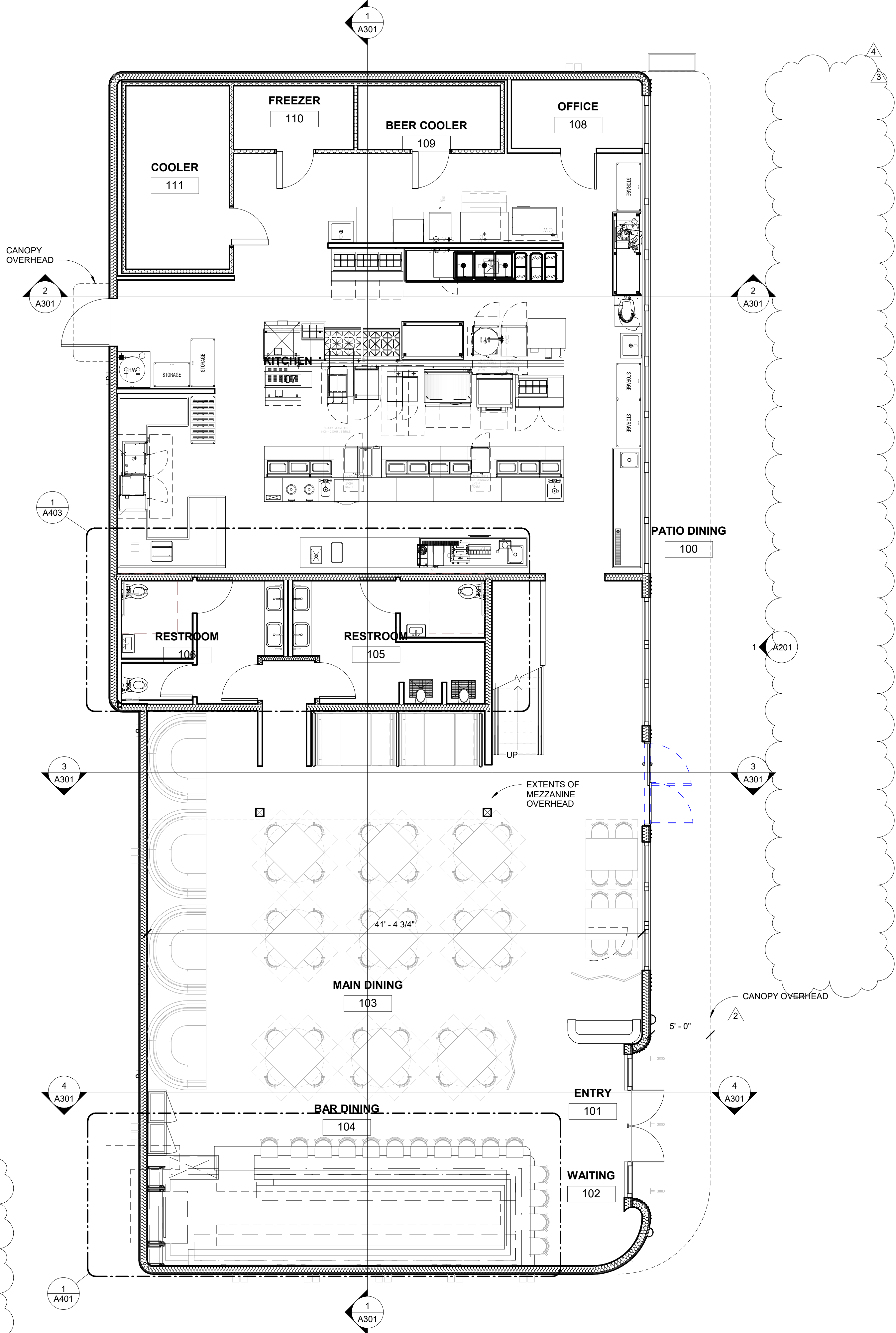
- WALL LEGEND**
- NON RATED WALL
 - 1HR RATED WALL
 - BATT INSULATION
 - NEW METAL FRAMED WALL

BUILDING AREAS

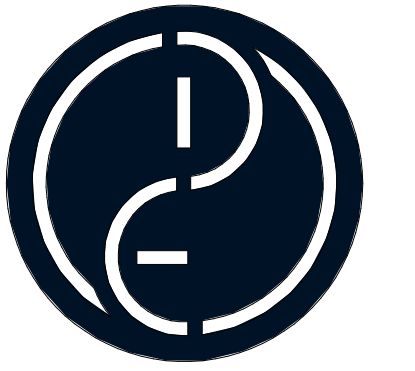
GROSS BUILDING AREA: 4,420 SQFT WITH 580 SQFT MEZZANINE
 NET BUILDING AREA 3,815 SQFT WITH 547 SQFT MEZZANINE (FINISH FLOOR AREA)



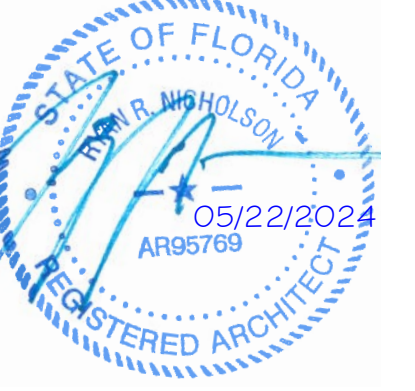
2 Depictive Mezzanine Floor Plan
 SCALE 3/16" = 1'-0"



1 Depictive Floor Plan
 SCALE 3/16" = 1'-0"



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PROJECT NUMBER
670234

BRICKTOP'S
 12 NE 5TH AVENUE
 DELRAY BEACH, FL 33483

DRAWING ISSUE		TBD	DATE
PERMIT SET	REVISION DESCRIPTION		05/22/2024
NO 4	City Comments		9/07/2023
NO 3	City Comments		5/12/2023
NO 2	City Comments		

Drawing Title
DEPICTIVE FLOOR PLAN

A101