



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Delray Beach Yacht Club (2019-113)

Project Location: 100 Macfarlane Drive

Request: Class II Site Plan Modification

Board: Site Plan Review and Appearance Board

Meeting Date: April 24, 2019

Board Action:

Approved (5-0) the site plan modification and architectural elevation changes.

Project Description:

The subject property, known as the Delray Beach Yacht Club, is located on the west side of MacFarlane Drive, just south of Miramar Drive. The property is located in the Multiple Family Residential (RM) District and has a Medium Density (MD) Future Land Use Map (FLUM) designation. The property is described as Lot 2 of the Delray Beach Yacht Club subdivision according to the plat recorded in 1994 in the Plat Book 78 Page 11-12 of the Palm Beach County. The four-story, 49,330 sf building was constructed in 1996 and includes 12 units and a parking garage on the first floor. The proposed site plan modification is associated with the addition of balconies to the existing building at the rear of the property facing the Intracoastal.

Board Comments:

The Board comments were supportive.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions:

No associated actions.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD

STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: April 24, 2019

File No. 2019-113

Application Type: Class II Site Plan Modification

General Data:

Agent: Steve Siebert

Location: 100 MacFarlane Drive

PCN: 12-43-46-16-D2-000-0044

Property Size: 0.81 Acres (35,405 sf)

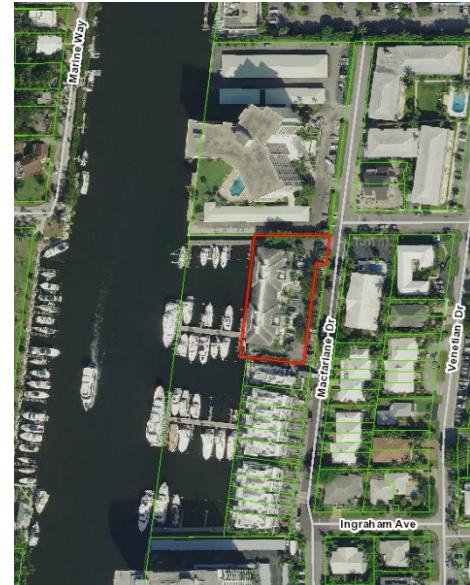
FLUM: Medium Density (MD)

Zoning: Multiple Family Residential (RM)

Adjacent Zoning:

- North: RM
- West: RM
- South: RM
- East: RM

Existing Land Use: Residential Condominium



Item before the Board:

Consideration of a Class II Site Plan Modification associated with site plan and architectural elevation changes for the addition of balconies to the existing building at the rear of the property to face the Intracoastal.

Recommendation:

By Separate Motions:

Site Plan:

Move approval of the proposed site plan modifications associated with a Class II Site Plan Modification application for the **Delray Beach Yacht Club (2019-133)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan meets criteria set forth in LDR Section 2.4.5(G)(1)(b).

Architectural Elevations:

Move approval of the proposed architectural elevations associated with a Class II Site Plan Modification application for the **Delray Beach Yacht Club (2019-133)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan meets criteria set forth in LDR Section 4.6.18(E).

Background:

The subject property, known as the Delray Beach Yacht Club, is located on the west side of MacFarlane Drive, just south of Miramar Drive. The property is located in the Multiple Family Residential (RM) District and has a Medium Density (MD) Future Land Use Map (FLUM) designation. The property is described as Lot 2 of the Delray Beach Yacht Club subdivision according to the plat recorded in 1994 in the Plat Book 78 Page 11-12 of the Palm Beach County. The four-story, 49,330 sf building was constructed in 1996 and includes 12 units and a parking garage on the first floor.

Project Description:

- Introduction of balconies to the existing building at the rear of the property facing the Intracoastal.

Project Planner: Debora Slaski; slaskid@mydelraybeach.com , 561-243-7348	Review Dates: <u>SPRAB Board 4/24/19</u>	Attachments: 1. Site Plan 2. Architectural Elevations 3. Floor Plan 4. Photos and Details
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Site Plan Analysis:

Pursuant to Section 2.4.5(G)(1)(b), approval of a modification to a site plan through a Class II application requires no review of Performance Standards found in Section 3.1.1, but requires action by the Board.

The proposed site plan modification is associated with the addition of balconies to the existing building at the rear of the property facing the Intracoastal. Per LDR Section 4.3.4(K), the rear setback for multifamily structures in the MR district is 25 feet. Balconies are allowed an overhang of three feet into the setback. The proposed balconies will overhang six feet eight inches from the building elevation. The proposed balconies setback is 25 feet from the rear property line (an overhang into the setback is not proposed); thus, the proposal complies with the minimum rear setback.

LDR Section 4.6.18(E) – Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

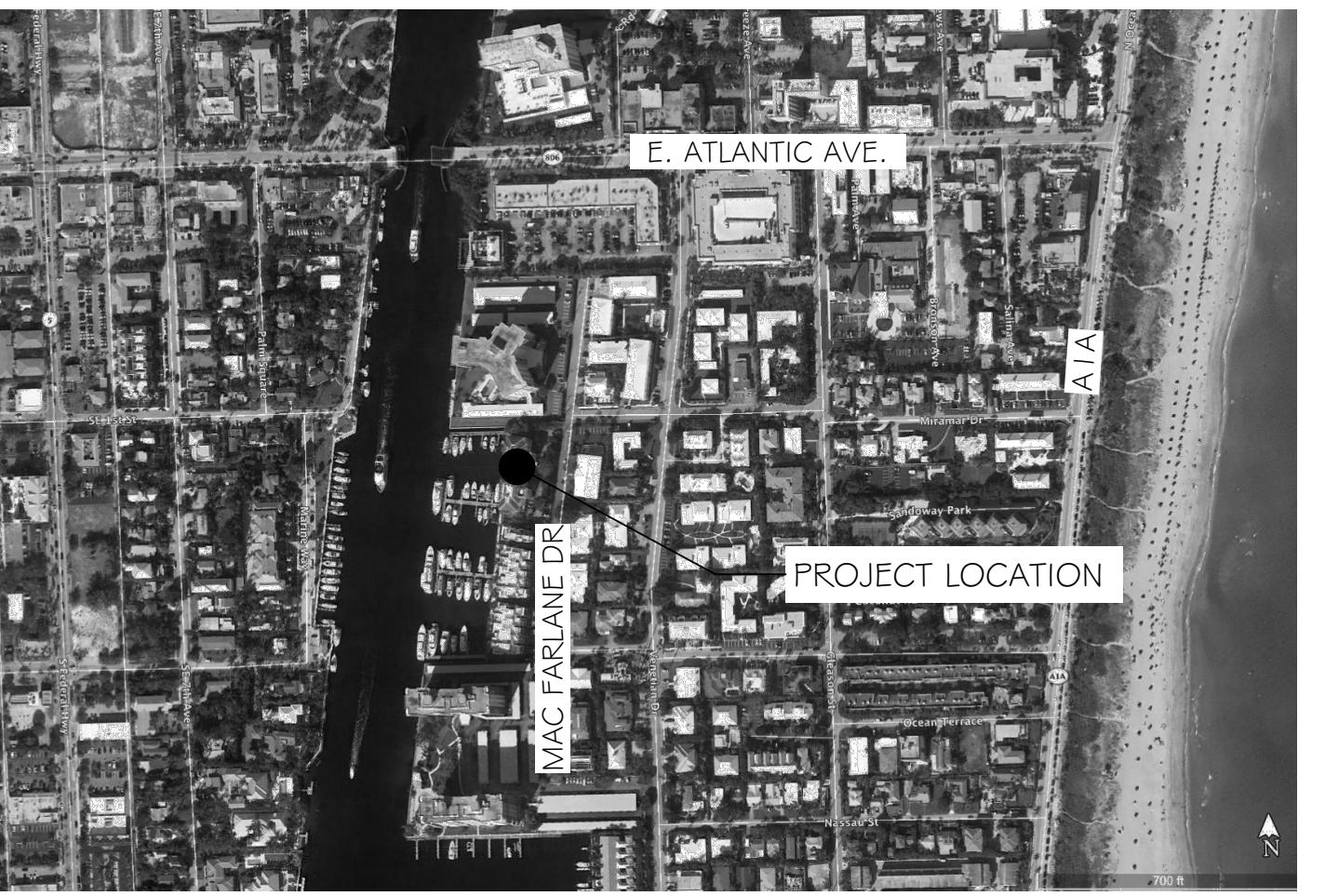
1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed balconies will overhang six feet eight inches from the rear elevation into the rear side of the property to face the Intracoastal. The fourth level (top) balconies will be covered by a roof. The proposed aluminum cable railings will be 42 inches high. The proposed structure will have a stucco finish to match the existing building finish and color. The proposed elevation change is in conformity and harmony with the surrounding area and is an enhancement to the existing property. Based upon the above, positive findings can be made about the criteria listed in LDR Section 4.6.18(E).

Alternative Actions:

- A. Continue with direction.
- B. Move approval of the request for a Class II Site Plan Modification, associated with site plan modifications and architectural elevation changes for the **Delay Beach Yacht Club (2019-113)**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 2.4.5(G)(1)(b) and Section 4.6.18 of the Land Development Regulations.
- C. Move denial of the request for a Class II Site Plan Modification associated with site plan modifications and architectural elevation changes for the **Delay Beach Yacht Club (2019-113)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 2.4.5(G)(1)(b) and Section 4.6.18 of the Land Development Regulations

LOCATION MAP:



LIST OF DRAWINGS:

CS.1	COVER SHEET
IOF.1	SURVEY
<hr/>	
SP.1	EXISTING SITE PLAN
A.1.1	GROUND & SECOND FLOOR PLAN
A.1.2	THIRD & FOURTH FLOOR PLAN
A.1.3	THIRD FLOOR PLAN
A.2.1	ELEVATIONS

GENERAL NOTES:

1. ALL IDEAS, DRAWINGS, PLANS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER OF RECORD. THEY WERE CREATED FOR AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. THE IDEAS, DESIGNS, DRAWINGS, PLANS AND ARRANGEMENTS OF THE SPECIFIED PROJECT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSONS, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND ENGINEER(S) OF RECORD.

2. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR THE ARCHITECT/ENGINEER OF RECORD'S REVIEW ONLY AFTER THEY HAVE BEEN THOROUGHLY REVIEWED BY THE GENERAL CONTRACTOR FOR CONSTRUCTION METHODS, DIMENSIONS, FIELD CONDITIONS, "AS-CONSTRUCTED" DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH THE CONTRACTOR'S APPROVAL STAMP.

3. ARCHITECT OF RECORD'S ARE NOT RESPONSIBLE FOR ANY SURVEY OR CIVIL DWGS. THAT ARE INSERTED INTO THIS SET AND/OR LACK OF. THIS INCLUDES BUT NOT LIMITED TO PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC.

DELRAY YACHT CLUB

100 MACFARLANE DRIVE

DELRAY BEACH, FLORIDA , 33483

ARCHITECTURAL RENDERING:



ABBREVIATIONS:

@	AT	H.C.	HOLLOW CORE
ACT	ACOUSTICAL TILE	H.M.	HOLLOW METAL
ADJ.	ADJUSTABLE	H.V.A.C.	HEATING, VENTILATION, & AIR CONDITIONING
A.B.	ANCHOR BOLT	INSUL.	INSULATION
A.C.	AIR CONDITIONING	INV.	INVERT
AFF	ABOVE FINISH FLOOR	LAM.	LAMINATED
ALUM.	ALUMINUM	MAT.	MATERIAL
ALT.	ALTERNATE	M.C.	MECHANICAL CONTRACTOR
BD.	BOARD	M.H.	MAN HOLE
BLDG.	BUILDING	MLDG.	MOLDING
B.M.	BENCH MARK	MTL. MET.	METAL
BRG.	BRIDGING OR BEARING	MIN.	MINIMUM
C/C	CENTER TO CENTER	M.T.	METAL THRESHOLD
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	NO.	NUMBER
C.B.	CATCH BASIN	NOM.	NOMINAL
C.I.	CAST IRON	O.C.	ON CENTER
CER.	CERAMIC	OPG.	OPENING
CLG.	CEILING	O.W.	OPEN WEB
C.O.	CLEAN OUT	P.C.	PLUMBING CONTRACTOR
CONC.	CONCRETE	PL.	PLATE
COORD.	COORDINATE	PT.	PRESSURE TREADED
COL.	COLUMN	P.S.I.	POUNDS PER SQUARE INCH
CONT.	CONTINUOUS	R.A.	RETURN AIR
DET.	DETAIL	RM.	ROOM
DN.	DOWN	REQ'D	REQUIRED
DK.	DECK	REIN.	REINFORCING
D.S.	DOWN SPOUT	S.B.	SPLASH BLOCK
D.W.	DRY WALL	SCH.	SCHEDULE
DWG.	DRAWING	SEC.	SECTION
E.C.	ELECTRICAL CONTRACTOR	S.C.	SOLID CORE
EL. ELEV.	ELEVATION	S.S.	STAINLESS STEEL
ELEC.	ELECTRICAL	S.V.B.	STRAIGHT VINYL BASE
EX./EXIST.	EXISTING	SPEC.	SPECIFICATION
EXP.	EXPOSED OR EXPANSION	T.O.	TOP OF
F.E.	FIRE EXTINGUISHER	T.O.F.	TOP OF FOOTING
F.F.	FINISHED FLOOR	T.O.P.	TOP OF PLATE
FIN.	FINISH	T.O.S.	TOP OF STEEL
FLR.	FLOOR	TYP.	TYPICAL
F.S.	FULL SIZE	THK.	THICK OR THICKNESS
F.T.	FOOT OR FEET	T&G	TONGUE AND GROOVE
FTG.	FOOTING	V.C.T.	VINYL COMPOSITION TILE
G.C.	GENERAL CONTRACTOR	V.C.B.	VINYL COVE BASE
GL.	GLASS OR GLAZING	VIF	VERIFY IN FIELD
G.P.T.	GLAZED PAINT	W/	WITH
GYP.	GYPSUM	W.I.	WROUGHT IRON
H.B.	HOSE BIB	WD.	WOOD
HGT.	HEIGHT	W.W.F.	WELDED WIRE FABRIC
HRD'R	HARDENER		

WALL LEGEND:

	EXISTING CMU WALL
	EXISTING INTERIOR WALL
	EXISTING FIRE RATED PARTITION WALL
	CMU WALL
	CMU WALL, W/ ONE SIDE 1x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 2x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 1-5/8" MTL. STUD & GYPSUM BOARD
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 1-5/8" MTL. STUD & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 2x PT FURRING & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL
	INTERIOR WALL
	INTERIOR FIRE RATED PARTITION WALL

ARCHITECTURAL SYMBOLS:



PROJECT DATA:

PROJECT DESCRIPTION:

THE PROPOSED PROJECT IS PROVIDING BALCONIES TO THE THIRD AND FOURTH FLOOR. THE FOURTH FLOOR WILL ALSO HAVE A COVERED STRUCTURE OVER THEIR NEW BALCONIES. FIRST FLOOR EXTERIOR WALL TO REMAIN - NO WORK.

PROJECT INFORMATION:

OWNER: DELRAY YACHT CLUB CONDO ASSOCIATION

ADDRESS: 100 MACFARLANE DRIVE
DELRAY BEACH, FLORIDA , 33483

FOLIO: 12-43-46-16-D2-000-0044

LEGAL: DELRAY BEACH YACHT CLUB COND

ZONING AND CODE INFORMATION:

ZONING: RM, MULTIPLE FAMILY RESIDENTIAL (MEDIUM DENSITY)

OCCUPANCY: GROUP R-2

CONSTRUCTION TYPE: II-B (EXIST. SPRINKLERED)

CURRENT USE: DWELLING UNITS

PROPOSED USE: BALCONIES ADDITION

FLORIDA BUILDING CODE:

FBC-2017 BUILDING CODE & FBC-2017 BUILDING CODE - RESIDENTIAL

FBC-2017 BUILDING CODE - EXISTING BUILDING

FBC EC=FLORIDA BUILDING CODE ENERGY CONSERVATION 2017

FLORIDA FIRE PREVENTION CODE, 5TH EDITION

NEC NFPA 70 2014 EDITION, NATIONAL ELECTRICAL CODE

F5= FLORIDA STATUES

NFPA 13R

BUILDING DATA:

EXISTING 12 UNITS EACH @ 2,242 SF EACH
(1 UNIT IS 3 BEDROOM & 1 UNIT IS A 2 BEDROOM)

NEW COVERED LOGGIA: 2,316 SF
EXIST. COVERED GARAGE: 10,184 SF
EXIST. STORAGE AREA: 768 SF
EXIST. LOBBYS: 296 SF
TOTAL SF 51,646 SF

SITE/LAND DATA:

REQUIRED	EXISTING TO REMAIN
TOTAL SITE AREA 15,331.6 SF (0.35 ACRE):	
1,250 SF	2,342 SF
35' MAX	±45'-3"
MAX. SITE COVERAGE(BLDG.): 40% (6,256 SF)	85.2% (13,066 SF)
HARDSCAPE (IMPERMEABLE): ---	94.2% (14,450 SF)
GREEN SPACE (PERMEABLE): 25% (3,910 SF)	7.7% (1,190 SF)

SETBACKS:

REQUIRED	EXISTING TO REMAIN
BUILDING:	
FRONT: 30'-0"	0'-0"
REAR: 15'-0"	0'-0"
SIDE(NORTH): 30'-0"	0'-0"
SIDE(SOUTH): 30'-0"	0'-0"
MAX. BUILDING HEIGHT: 35'-0" 38'-4"	

EXISTING GARAGE ENTRANCE TO REMAIN. -GARAGE HAVE MIN. 20' SETBACK WHEN THE ENTRANCE FACES A PUBLIC STREET OR ALLEY. LDR(sec. 4.4.G.F-3b)

PARKING DATA:

REQUIRED	EXISTING TO REMAIN
MULTIPLE FAMILY STRUCTURE (PER LDR 4.6.9):	
TWO OR MORE 24	24
BEDROOM D.U. = 2 SPACES PER UNIT:	
GUEST PARKING: 6	6
*HANDICAP: 2	2
TOTAL SP 30	30

* INCLUDED IN OVERALL PARKING SPACE COUNT

DESIGN TEAM:

OWNER:

DELRAY YACHT CLUB CONDO ASSOCIATION
100 MACFARLANE DRIVE
DELRAY BEACH, FLORIDA , 33483
brianjf@gmail.com

SURVEYOR:

RENNER BURGESS, INC 1150 E.
801 SE 6TH, SUITE 101
DELRAY BEACH, FL 33483
(561) 243-4624
hbureau@gate.net

ARCHITECT:

STEVE SIEBERT ARCHITECTURE
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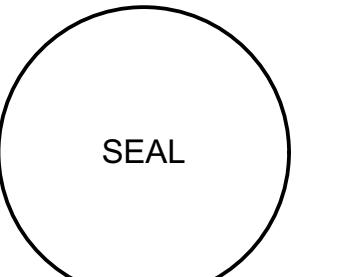
COVER SHEET

CS.1



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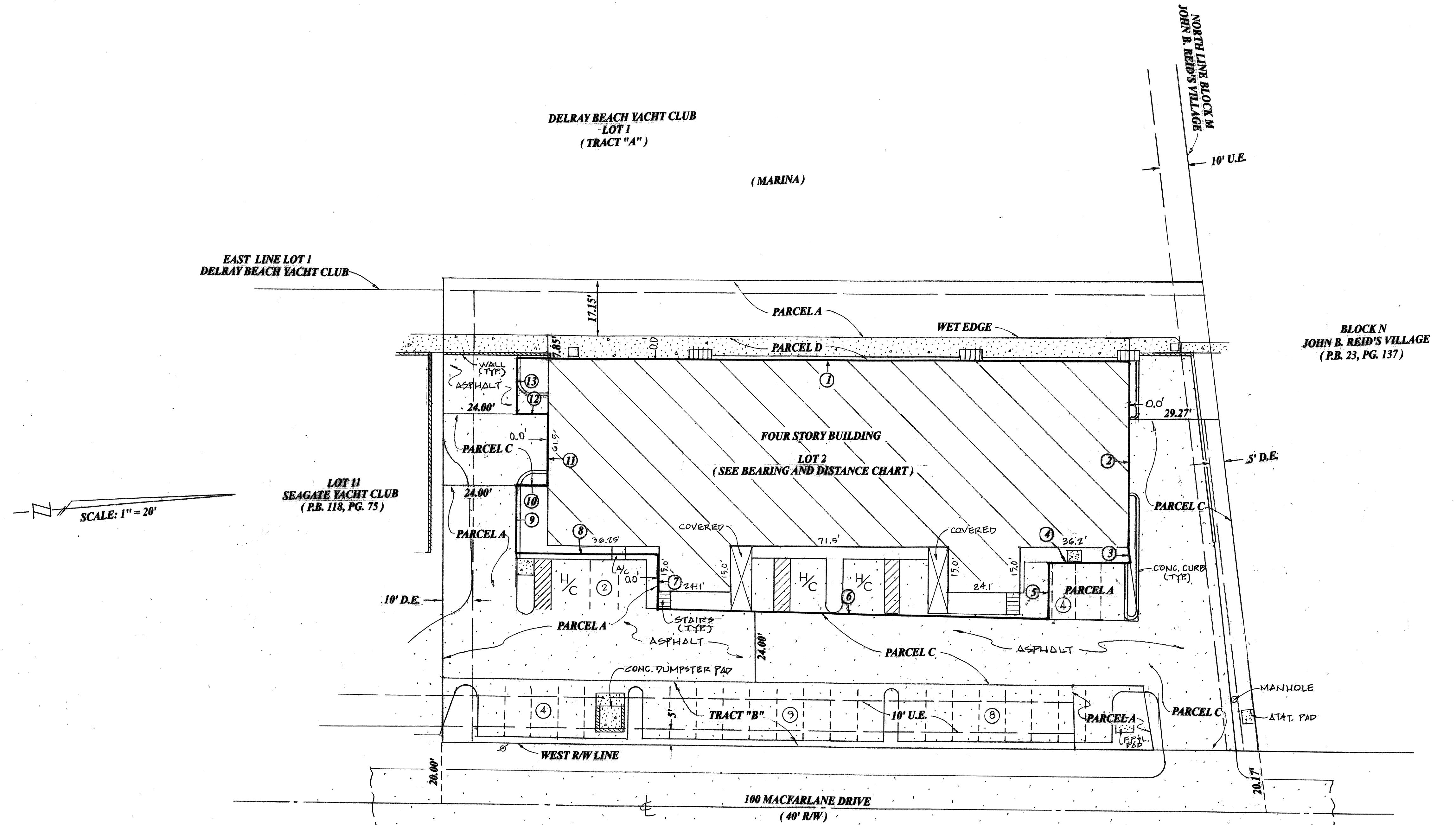
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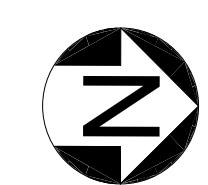


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SITE PLAN

NOT TO SCALE



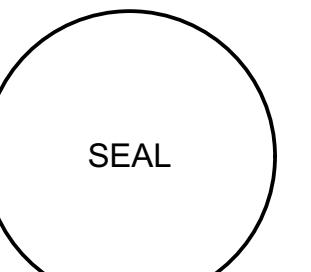
SITE PLAN

SP1.1



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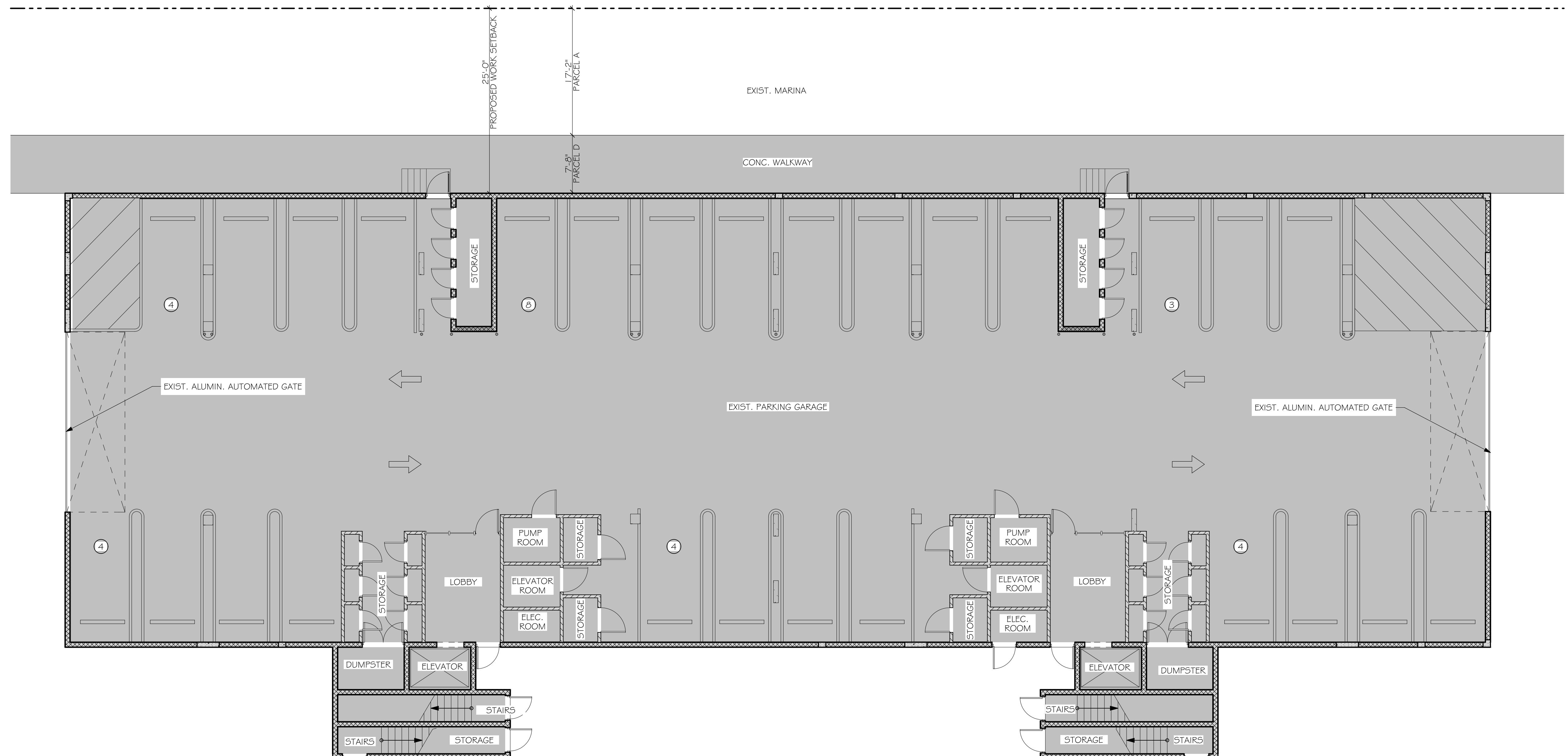
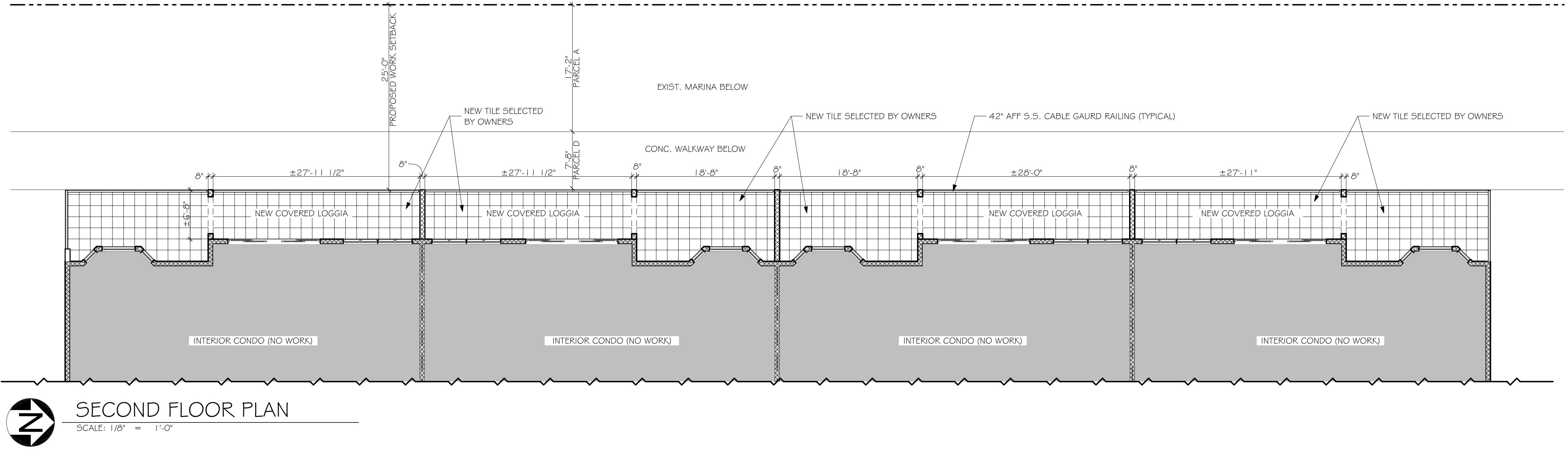
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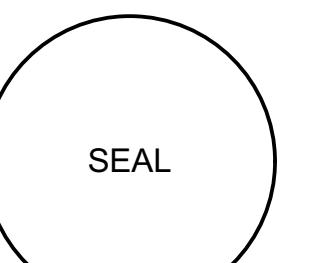


A1.1



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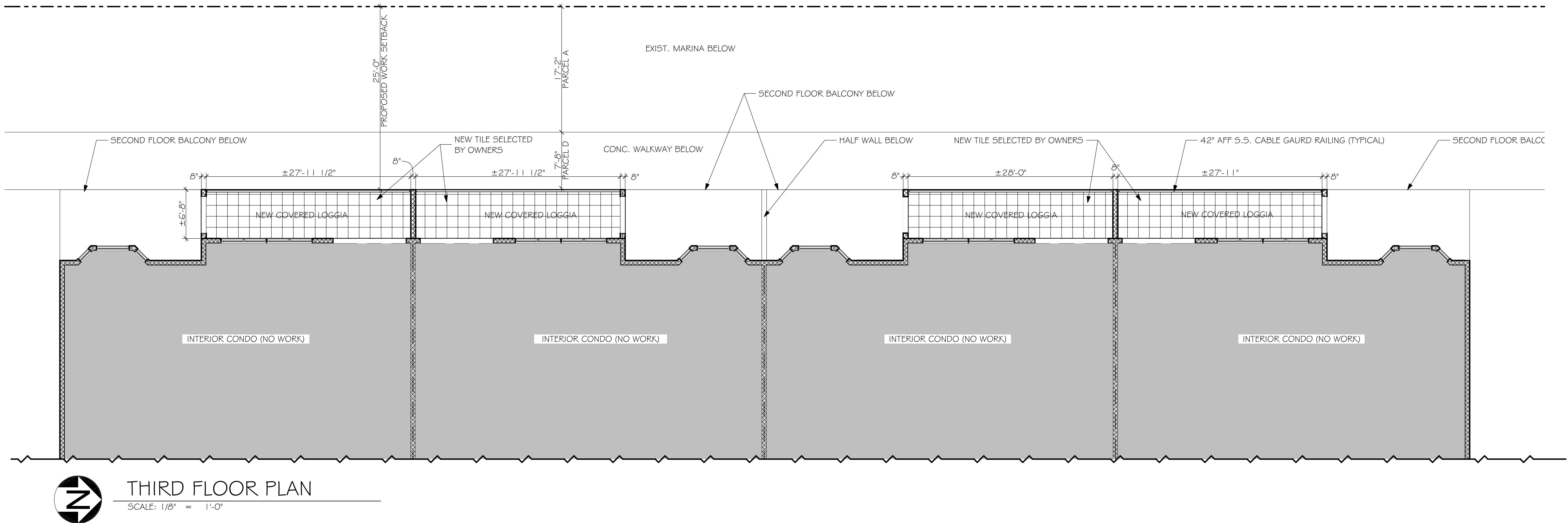
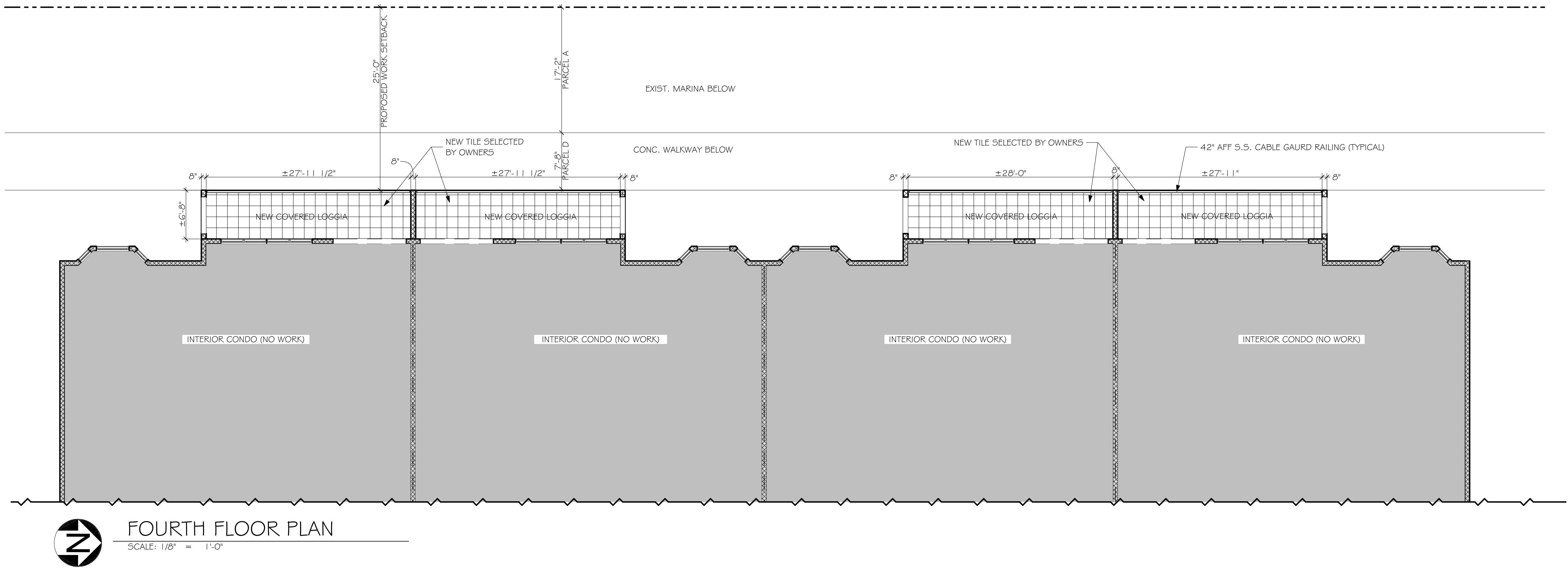
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THIRD & FOURTH FLOOR
PLAN

A1.2





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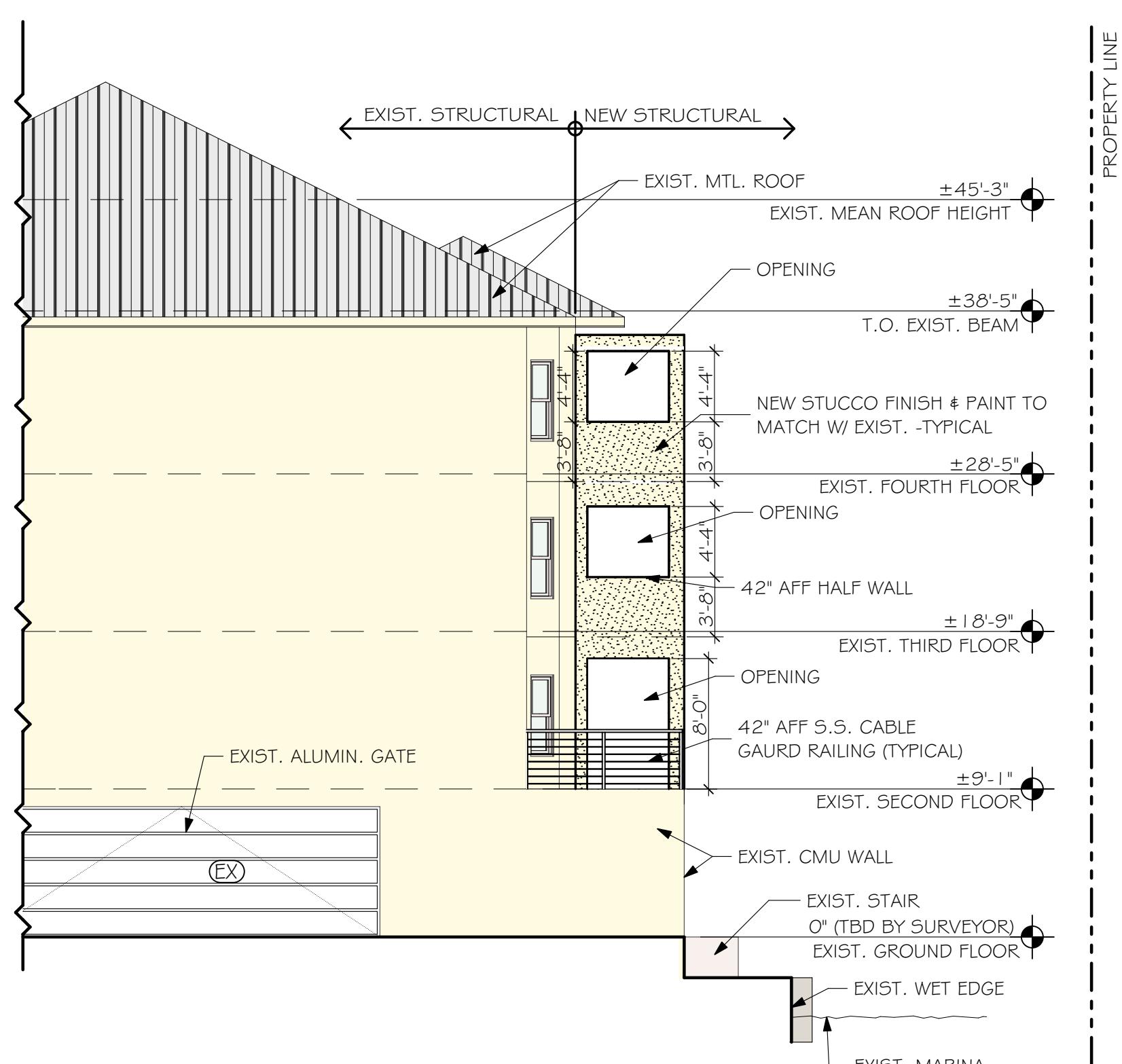
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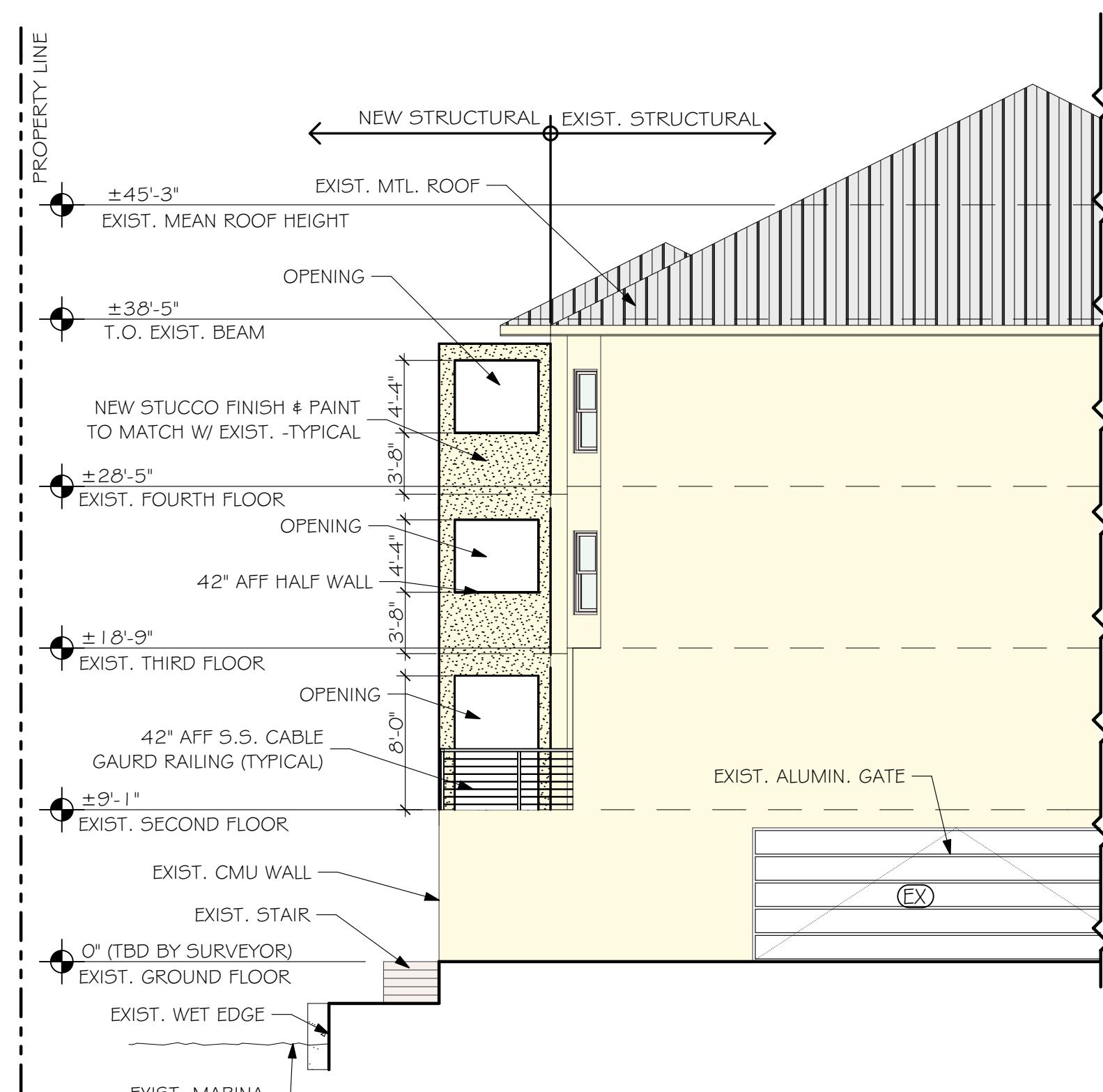
DELRAY YACHT CLUB

100 MACFARLANE DRIVE
DELRAY BEACH, FLORIDA 33483



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"

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ELEVATIONS

A2.1