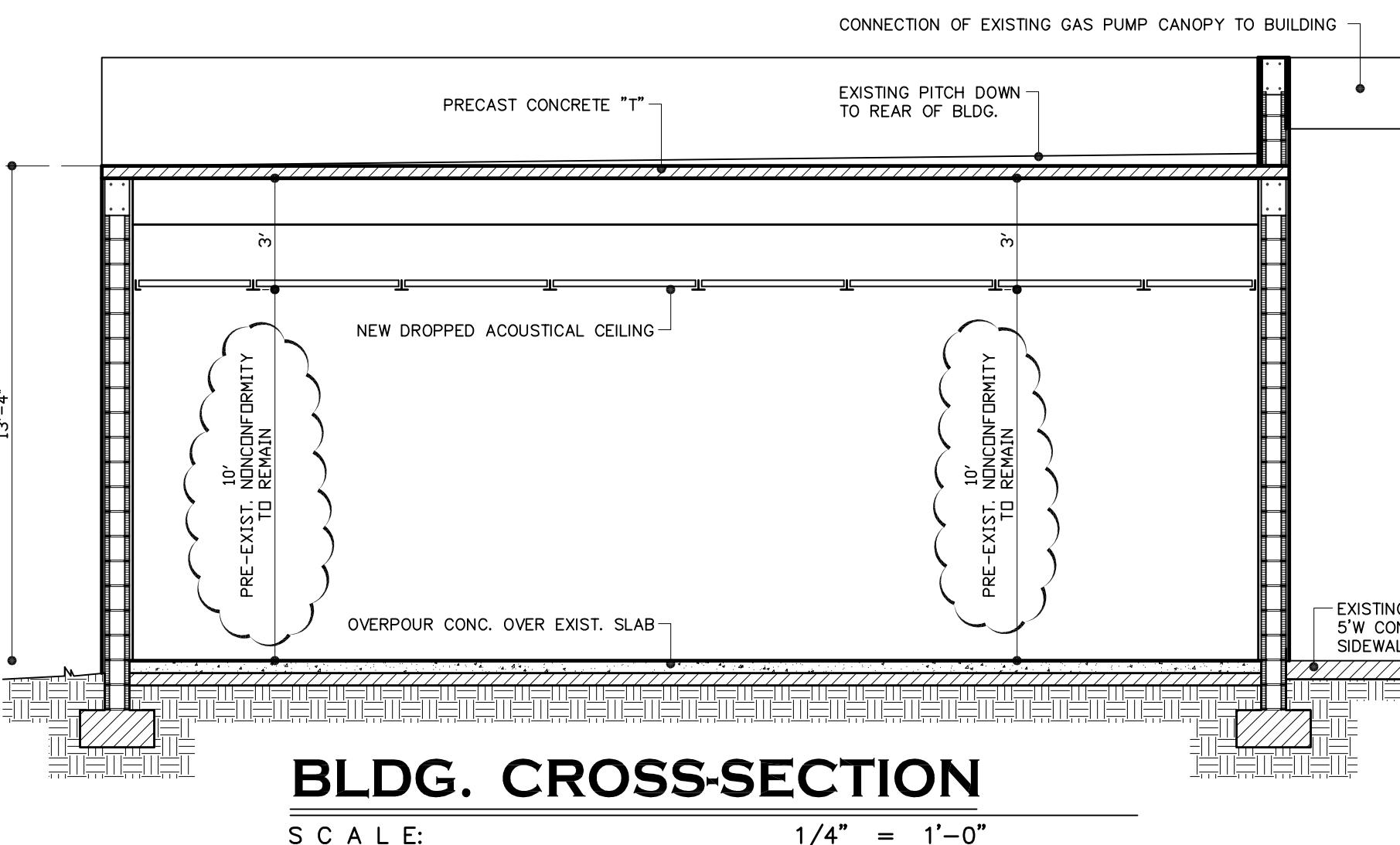
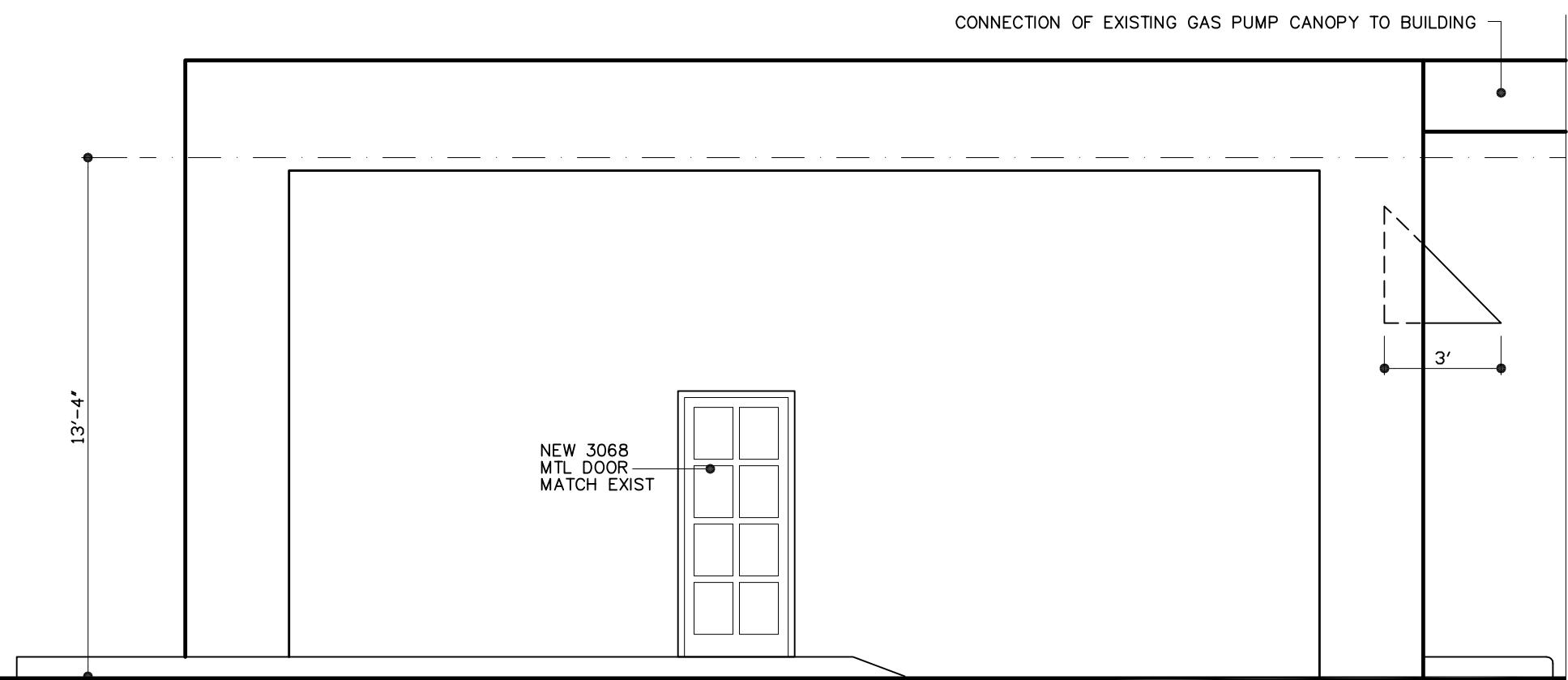


1. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION. THEY HAVE PRIORITY OVER ALL SCALED DIMENSIONS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES.
3. NO MATERIALS OR SYSTEMS ARE TO BE USED UNLESS APPROVED BY ARCHITECT.
4. ALL DIMENSIONS HAVE BEEN RESOLVED BY ARCHITECT.
5. NO MATERIALS HAVE BEEN APPROVED BY ARCHITECT.
6. CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION UNTIL ALL DIMENSIONS HAVE BEEN RESOLVED BY ARCHITECT.
7. NO MATERIALS OR SYSTEMS ARE TO BE USED UNLESS APPROVED BY ARCHITECT.
8. CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION UNTIL ALL DIMENSIONS HAVE BEEN RESOLVED BY ARCHITECT.
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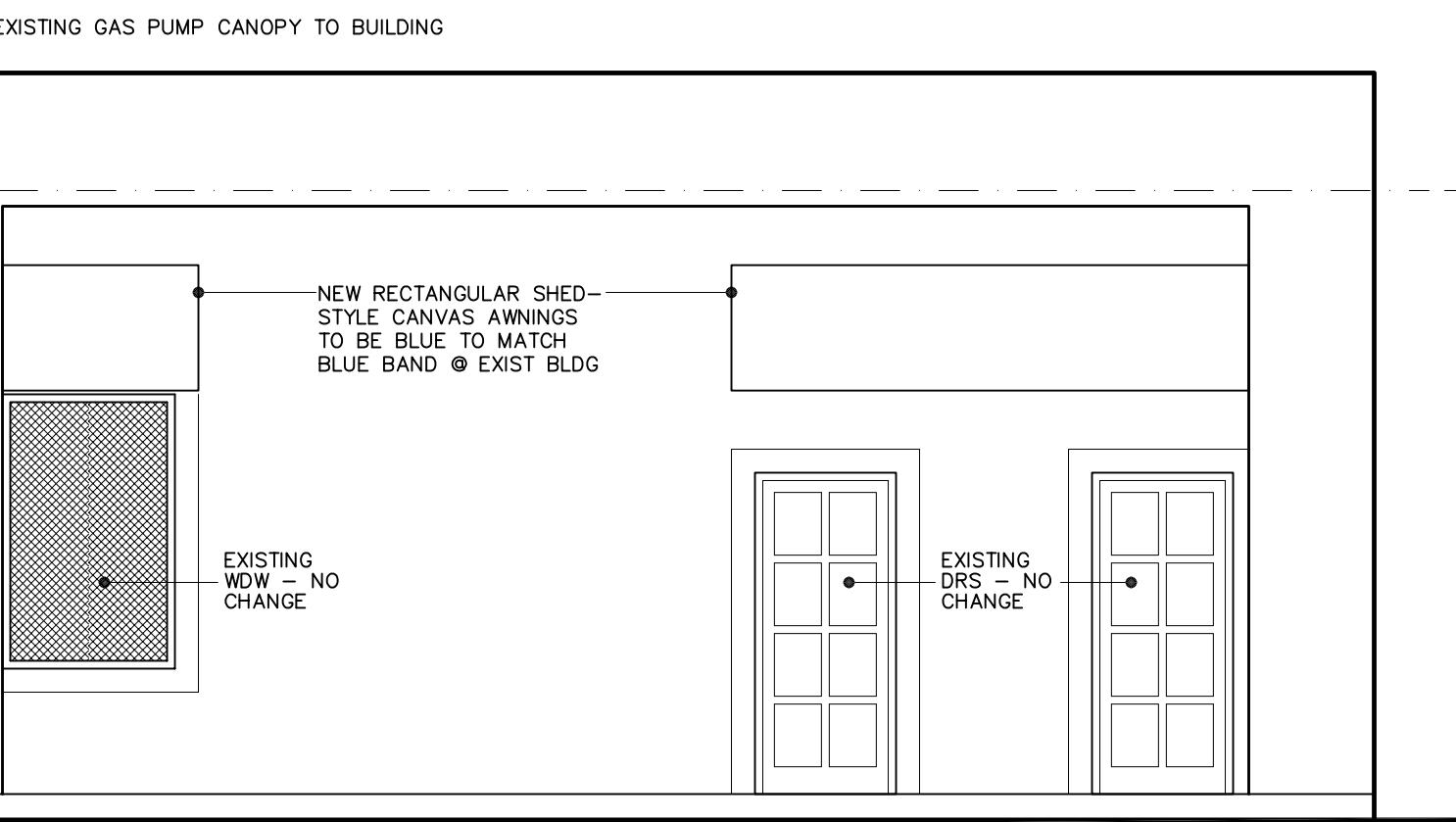


BLDG. CROSS-SECTION

SCALE: 1/4" = 1'-0"

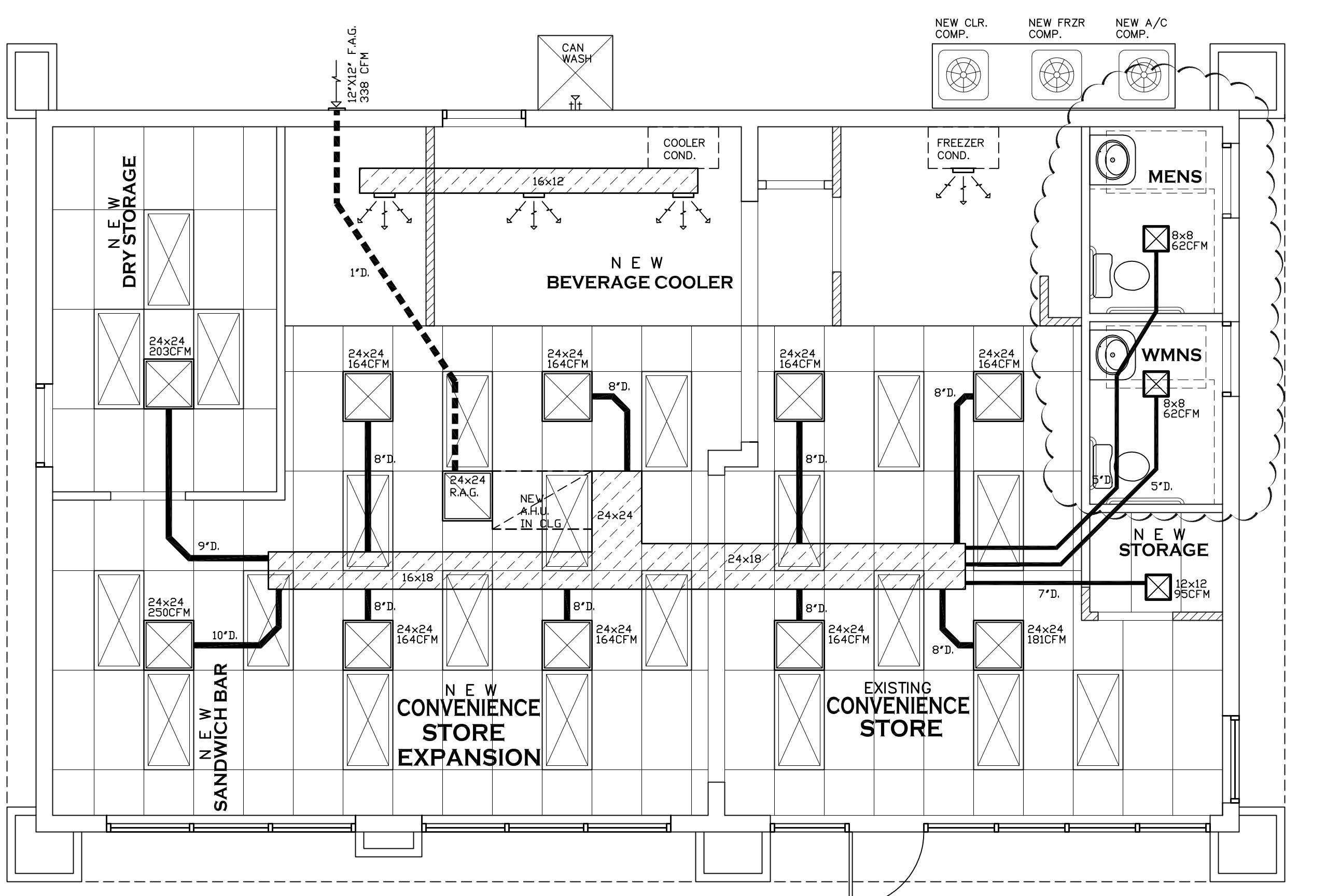


SOUTH ELEVATION



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



H. V. A. C. FLOOR PLAN

SCALE: 1/4" = 1'-0"

AIR CONDITIONING NOTES:

1. THE EXISTING AIR CONDITIONING SYSTEM CONSIST OF SEVERAL AIR HANDLER UNITS FOR THIS TENANT AREA. EXISTING 2X2 SUPPLY DIFFUSERS ARE TO BE RELOCATED IF REQUIRED AND CONNECTED TO EXISTING DUCTWORK ABOVE THE SUSPENDED ACROSTIC CEILING. 2. CONTRACTOR TO PROVIDE NEW AIR HANDLER UNITS AS SHOWN IN THE FLOOR PLAN LAYOUT. EXISTING RETURN AIR GRILLES TO BE RELOCATED IF REQUIRED BY NEW FLOOR PLAN LAYOUT. ALL DRAWINGS ARE DIAGRAMMATIC, DO NOT SCALE DRAWINGS FOR THE EXACT LOCATION OF EQUIPMENT, PIPELINE, DUCTWORK, ETC.
3. CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING A/C EQUIPMENT, CONTRACTOR TO PROVIDE ALL NECESSARY REPAIRS OF ALL EXISTING A/C EQUIPMENT AND MAKE NECESSARY REPAIRS.
4. THESE DRAWINGS ARE NOT INTENDED TO SHOW EVERY MINOR DETAIL, BUT THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE WORKING SYSTEM.
5. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR THE PROTECTION AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
6. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TEST. SUBMISSIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THE CONTRACTOR.
7. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE LATEST "ASME" GUIDE.
8. DUCTWORK DESIGN TO "SMACNA" STANDARDS. ALL DUCTWORK SIZES ARE NET CLEAR INSIDE DIMENSIONS. MAIN FEEDER DUCTING TO BE GALV. SHEET METAL AND SUB-FEEDER SUPPLY DUCTS OF 1" FIBERBOARD TYPE & ROUND DUCTS 1" LINED FIBERGLASS.
9. DUCTWORK SHALL BE NEV AND REAR UNDERPROTECTED IF APPLICABLE.
10. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE & ACCEPTABLE TO THE ENGINEER/ARCHITECT AS A CONDITION OF THE CONTRACT.
11. CONTRACTOR TO PROVIDE DRAWINGS OF EQUIPMENT FOR APPROVAL PRIOR TO INSTALLATION.
12. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCES WITH THE PROGRESS OF CONSTRUCTION.
13. AIR DISTRIBUTION ACCESSORIES SHALL BE "CARNE'S" OR APPROVED EQUAL.
14. AIR SUPPLY A/C DUCT ELBOWS MUST BE FURNISHED WITH APPROVED TURNING VAVES.
15. BRANCH TAKEDOFFS MUST BE PROVIDED WITH APPROVED, ADJUSTABLE, ACCESSIBLE AIR SUPPLY DUCTS.
16. RELOCATE EXISTING TEMPERATURE CONTROLS UNDER THIS CONTRACT TO ACCOMMODATE NEW FLOOR PLAN ADJUSTMENTS. MOUNT THERMOSTATS 5'0" ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
17. CONTRACTOR SHALL PROVIDE AND BALANCE ALL SYSTEMS.
18. ALL DUCT OR PIPE PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL HAVE FIRE DAMPERS AND BE SEALED BY "UL" APPROVED METHOD CONFORMING TO "ASTM" STD. E-841.

A/C EQUIPMENT:

UNIT #1
"RHEEM"
UNIT: 14AJM60
SEER: 14.0 SEER
COOLING: 59,100 BTUH
SENSIBLE: 44,300 BTU
LATENT: 14,800 BTUH
HEAT: 10.0 KW
DUCT: R-6 FIBERGLASS
LIQUID: 3/8"
SUCTION: 1 1/8"

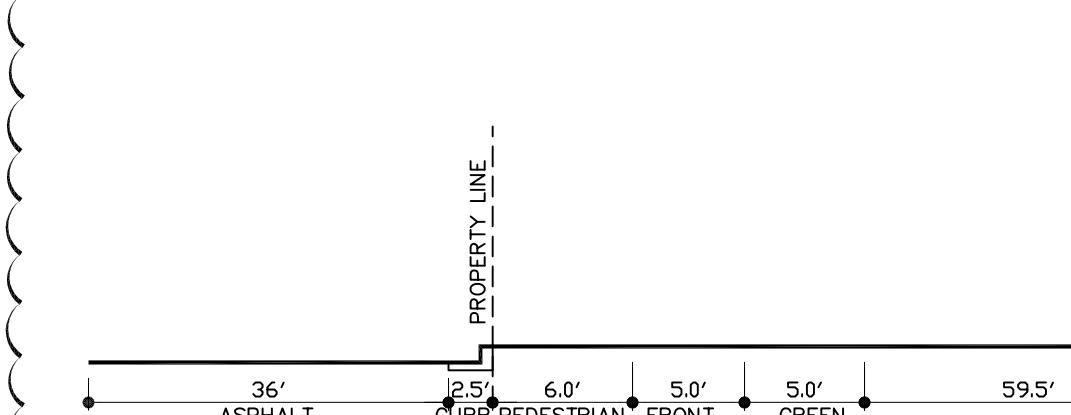
* WIND RESISTANCE CALC FOR A/C COMP: (-46.42)

FRESH AIR CALCULATIONS

FBC-M / TABLE 403.3 REQ'D OUTDOOR AIR
SALVE IS 1500000000 FT
940 SQ FT X 15' = 14,100 PERSONS
15 PERSONS X 15 CFM = 225 CFM (PEOPLE)
940 SQ FT X 0.12 = 113 CFM (AREA)
225 CFM + 113 CFM = 338 CFM TOTAL

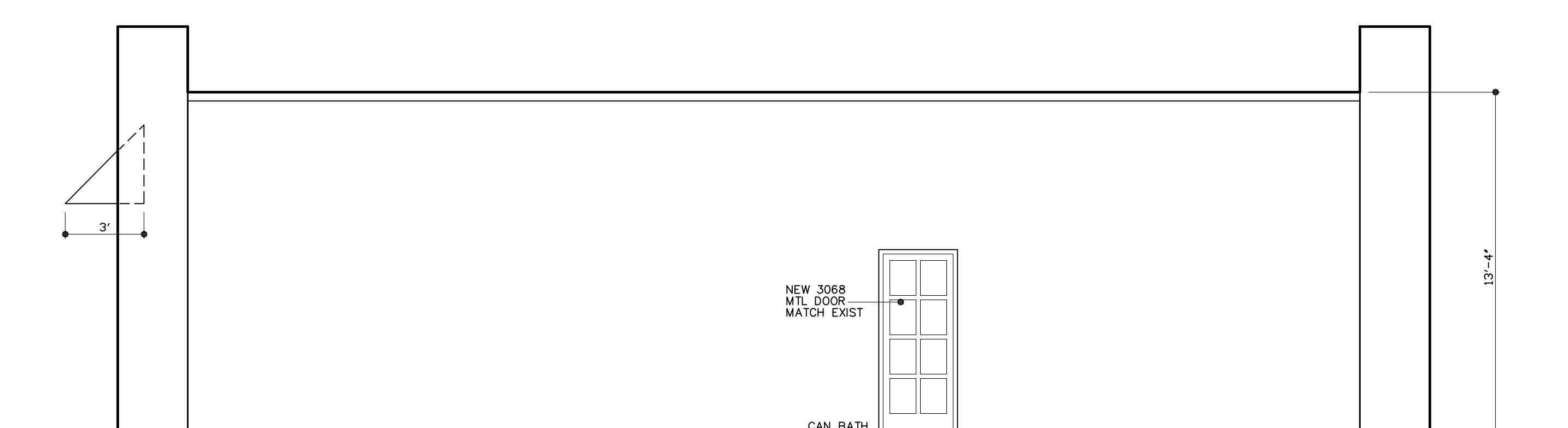
N.E. 5TH AVENUE / US1 COMMERCIAL USE STREETSCAPE

NOT TO SCALE / PRE-EXISTING NONCONFORMITY TO REMAIN



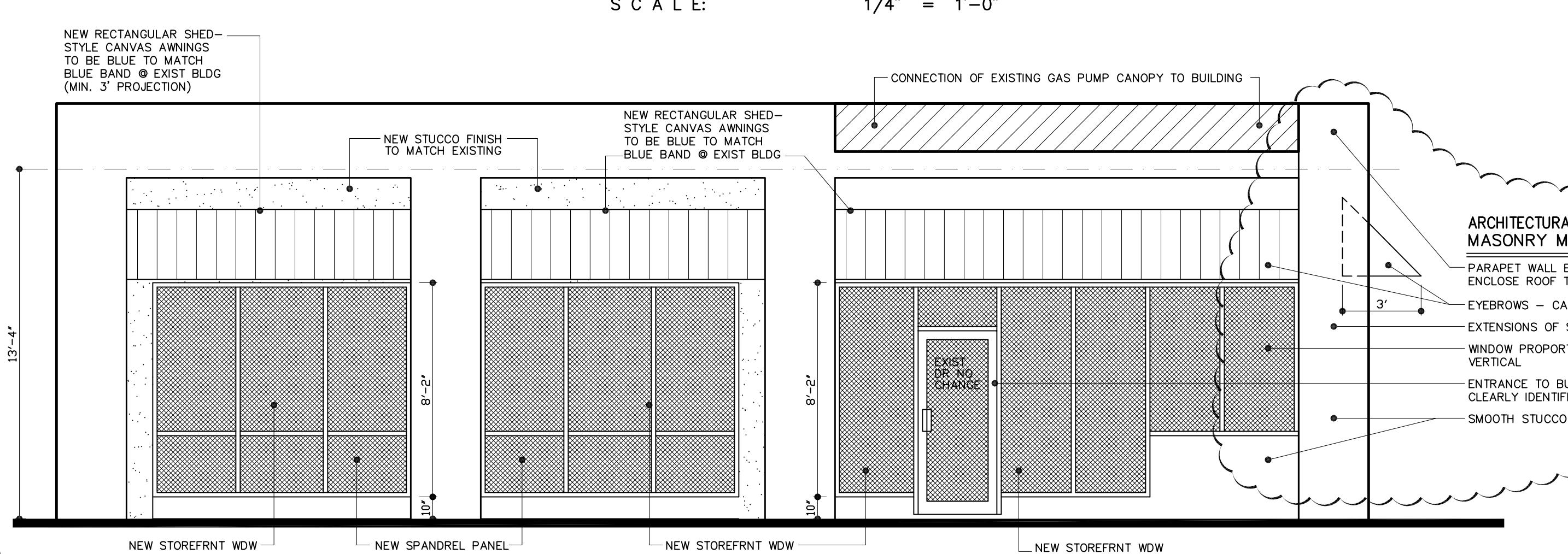
N.E. 4TH STREET COMMERCIAL USE STREETSCAPE

NOT TO SCALE / PRE-EXISTING NONCONFORMITY TO REMAIN



WEST ELEVATION

SCALE: 1/4" = 1'-0"

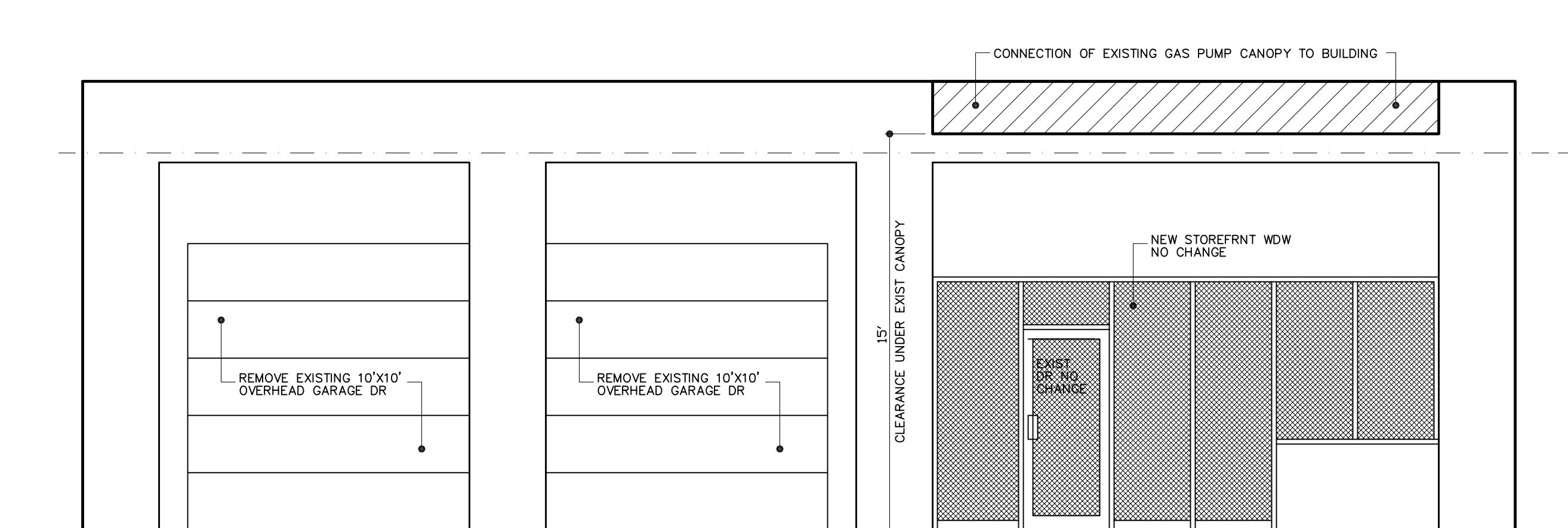


PROPOSED CONVENIENCE STORE EAST ELEVATION

SCALE: 1/4" = 1'-0"

GLASS CALCS:

EAST ELEVATION: 759 S.F. 100%
GLASS CALC: 337 S.F. 44.4%
NORTH ELEVATION: 504 S.F. 100%
GLASS CALC: 22 S.F. 4.4%



EXISTING GAS STATION EAST ELEVATION

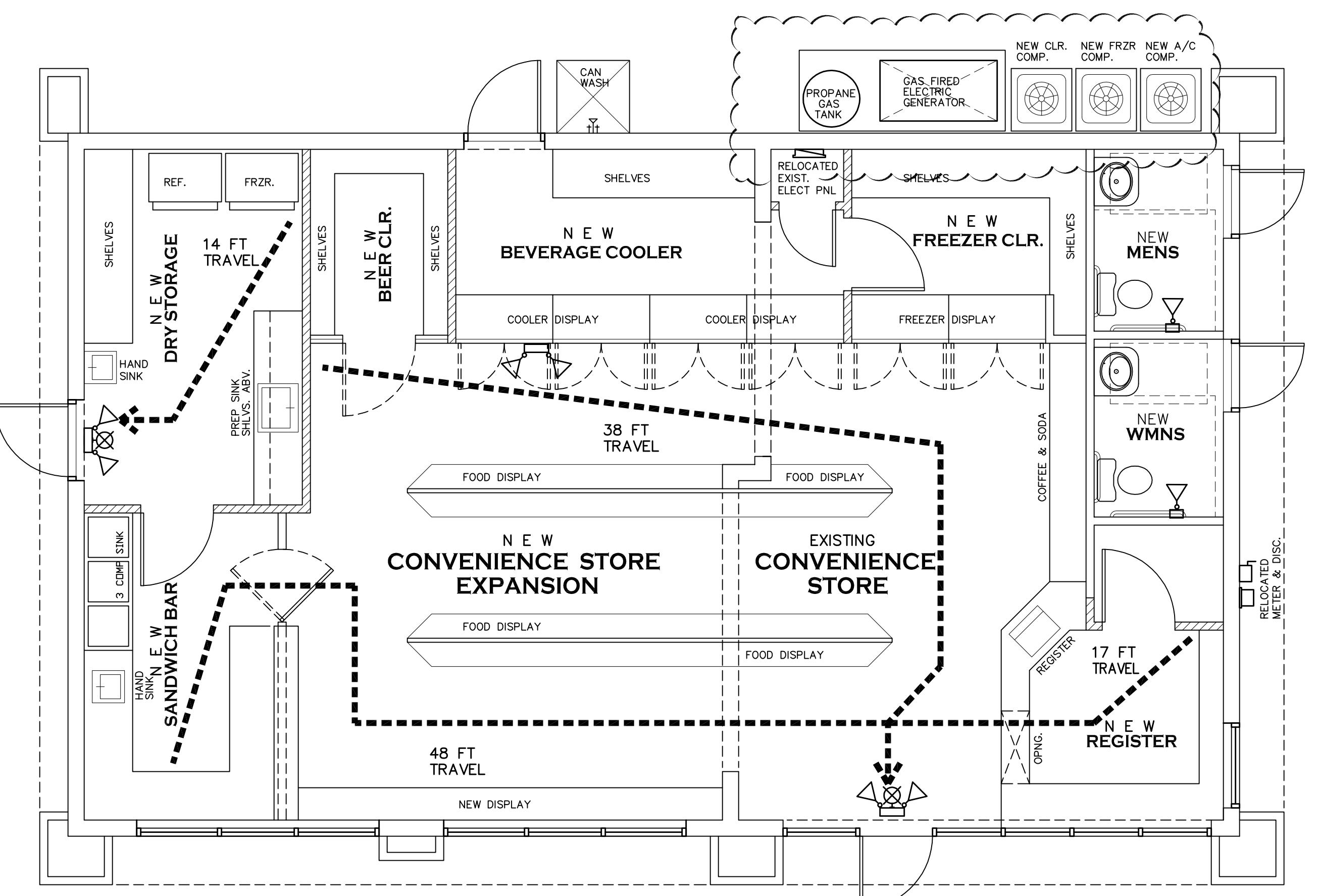
SCALE: 1/4" = 1'-0"

REVISIONS:
 REV: MAR. 8, 2018 AS PER P&Z DEPT.
 REV: APR. 6, 2018 AS PER P&Z DEPT.
 REV: JUN. 12, 2018 AS PER P&Z DEPT.

1. DRAWINGS ARE NOT TO BE CONSTRUED AS CONTRACT DOCUMENTS. THEY HAVE PRIORITY OVER ALL SCALED DIMENSIONS.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES.
 3. NO MATERIALS OR SYSTEMS ARE TO BE USED UNLESS APPROVED.
 4. ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR.
 5. ALL MATERIALS HAVE BEEN REVISED & ACCEPTED BY THE ARCHITECT.

GASLAND SERVICE STATION
 398 NORTHEAST 5TH AVENUE, HIGHLAND PARK - DELRAY BEACH, FLORIDA, PALM BEACH COUNTY,

DATE: 29 FEB '16
 PROJECT NO: 10 - B40
 SHEET: of 4 A3

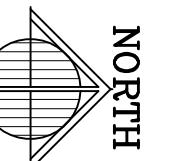


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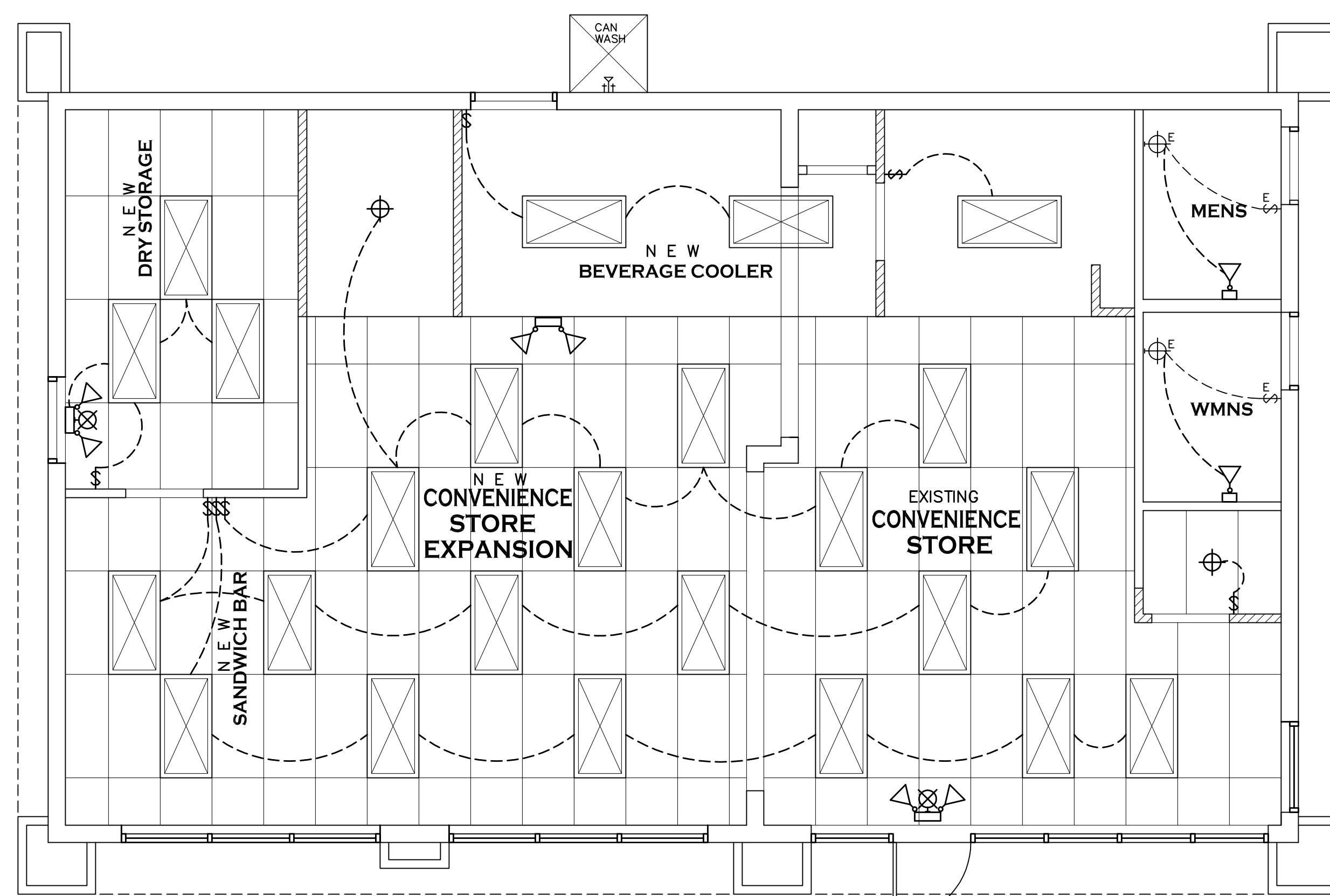
POST SYMBOLS ON BUILDING FOR LIGHT FRAME TRUSS TYPE CONSTRUCTION
 SHOW ADDRESS NUMBERS, NOT LESS THAN 6 INCHES IN HEIGHT ON A
 CONTRASTING BACKGROUND.

SCALE:

1/4" = 1'-0"



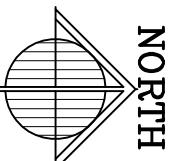
LIFE SAFETY FLOOR PLAN



REFLECTED CEILING / LIGHTING PLAN

SCALE:

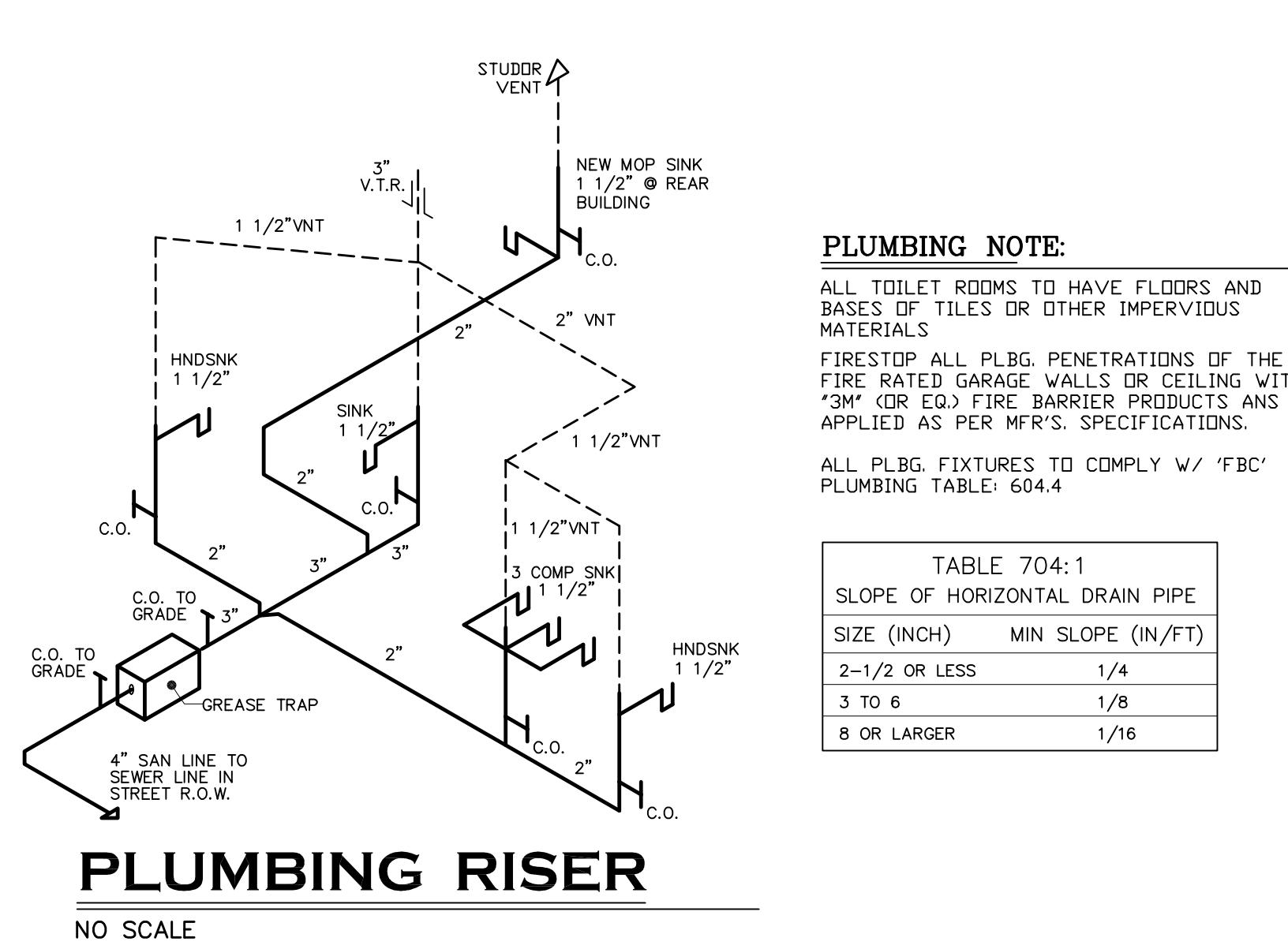
1/4" = 1'-0"



ELECTRICAL SPECIFICATIONS:

1. ALL DRAWINGS ARE DIAGRAMMATIC, DO NOT SCALE DRAWINGS FOR THE EXACT LOCATION OF EQUIPMENT, PIPE, DRAWDOWNS, ETC.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES.
 3. CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
 4. THESE DRAWINGS ARE NOT INTENDED TO SHOW EVERY MINOR DETAIL, BUT CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE WORKING INSTALLATION.
 5. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR THE PROTECTION AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
 6. CONTRACTOR SHALL PAY FOR ALL INSURANCE TESTS, SUBSTITUTIONS REQUESTED BY THE CONTRACTOR, SHALL BE PAID FOR BY THE CONTRACTOR.
 7. THE ELECTRICAL INSTALLATION MEET ALL STANDARDS OF FLORIDA POWER & LIGHT CO. AND SOUTHERN BELL TELEPHONE CO.
 8. UNLESS OTHERWISE NOTED, MINIMUM WIRE SIZE SHALL BE #12 "AWG", EXCLUDING CONTROL WIRING.
 9. ALL MATERIALS SHALL BE NEW AND BEAR "UNDERWRITER'S" LABEL, IF APPLICABLE.
 10. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMANSHIP. MATERIALS AND CONDUCTORS SHALL BE FULLY INSULATED.
 11. ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE CONDITION OF THE CONTRACT.
 12. UNLESS OTHERWISE NOTED, ALL CONDUCTORS TO BE COPPER WITH "THHN" INSULATION FOR SIZE #8 AND SMALLER, CONDUCTORS LARGER THAN #8 SHALL HAVE "THHN" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED.
 13. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCES WITH THE PROGRESS OF CONSTRUCTION.
 14. OUTLET BOXES SHALL BE PRESED STAINLESS STEEL IN DRY LOCATIONS, CAST ALUMINUM IN THREADED HUBS IN WET LOCATIONS AND CONCRETE OR OTHER CLASSIFIED AREAS.
 15. DISCONNECT SWITCHES SHALL BE H.P. RATED HEAVY DUTY, QUICK-MAKE, QUICK-BREAK WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
 16. THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED BY ARTICLE #250, NATIONAL ELECTRICAL CODE.
 17. E.G. CRITICAL LIGHTING REQUIRMENTS EXIST. ELECTRICAL PANELS ARE TO BE REUSED IN AREAS OF ADJUSTMENT IN THE FLOOR PLAN. THE CONTRACTOR SHALL PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
 18. EXISTING ELECTRICAL PANEL AND ELECTRICAL FIXTURES SHOULD BE REUSED IF IN GOOD WORKING ORDER, AND NOT VISUALLY DAMAGED.
 19. FURNISH AND INSTALL LIGHTING FIXTURES & LAMPS AS SCHEDULED ON PLANS OR AS SELECTED BY OWNER.
 20. CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE & CURRENT BEFORE CONNECTING TO THE ELECTRICAL SYSTEM.
 21. ALL ELECT. OUTLETS, SWITCHES AND PANELS IN FINISHED AREA TO BE RECESSED INTO THE WALLS OR FLOOR WITH THE FINISHED SURFACE. ALL CONDUIT IN FINISHED AREAS TO BE CONCEALED IN THE WALLS, FLOOR OR CEILING.
 22. RECEPTACLES, OUTLETS, LIGHTING FIXTURES, ETC. TO BE 120V, INTERMEDIATE GRADE, GROUNDING, FLUSH TYPE & COVER PLATES IVORY, MTD. AT 18" ABV. FINISHED FLR. (UNLESS NOTED OTHERWISE)
 23. SWITCHES TO BE 20A, 120V, INTERMEDIATE GRADE, QUIET TUMBLER TYPE AND COVER PLATES "IVORY", MTD. AT 48" ABOVE FINISH FLOOR.

EXISTING ELECTRICAL PANEL 120/208V 1PH 200 AMP. MLD. 21/42 POLES																			
POS.	FUNCTION	CIRCUIT BREAKER	POLES	WIRE SIZE	LOAD KVA	POS.	FUNCTION	CIRCUIT BREAKER	POLES	WIRE SIZE	LOAD KVA								
1	A/C UNIT #1	60A	2	#6	10.0	2	A/C UNIT #2	40A	2	#8	5.0								
3		60A	—	—	—	4		40A	—	—	—								
5	A/C COMP #1	50A	—	#6	6.0	6	A/C COMP #2	30A	2	#10	3.5								
7		50A	—	—	—	8		30A	—	—	—								
9	COOLER DISPLAY	20A	1	#12	1.5	10	A/C UNIT #3	40A	2	#8	5.0								
11	COOLER DISPLAY	20A	1	#12	1.5	12		30A	—	—	—								
13	COOLER DISPLAY	20A	1	#12	1.5	14	A/C COMP #3	30A	2	#10	3.5								
15	COOLER DISPLAY	20A	1	#12	1.5	16		30A	—	—	—								
17	FREEZER DISPLAY	20A	1	#12	1.5	18	EXIT LITES	20A	1	#12	1.5								
19	FREEZER DISPLAY	20A	1	#12	1.5	20	SIGN	20A	1	#12	1.5								
21	REFRIGERATOR	20A	1	#12	1.5	22	CASH REGISTER	20A	1	#12	0.2								
23	FREEZER	20A	1	#12	1.5	24	OFFICE RECEPTS.	20A	1	#12	1.0								
25	TLT LIGHTING	20A	1	#12	1.5	26	TLT GFI RECEPTS.	20A	1	#12	0.4								
27	LIGHTING	20A	1	#12	1.5	28	RECEPTACLES	20A	1	#12	1.0								
29	LIGHTING	20A	1	#12	1.5	30	GFI RECEPTACLES	20A	1	#12	1.5								
31	LIGHTING	20A	1	#12	1.5	32	GFI RECEPTACLES	20A	1	#12	1.5								
33	LIGHTING	20A	1	#12	1.5	34	GFI RECEPTACLES	20A	1	#12	1.5								
35	LIGHTING	20A	1	#12	1.5	36	GFI RECEPTACLES	20A	1	#12	1.5								
37	LIGHTING - CANOPY	20A	1	#12	1.5	38	SPARE	20A	1	#12	1.5								
39	SPARE	20A	1	#12	1.5	40	SPARE	20A	1	#12	1.5								
41	SPARE	20A	1	#12	1.5	42	SPARE	20A	1	#12	1.5								
ODD LOADS: 38.5				EVEN LOADS: 28.6				TOTAL LOADS: 67.1											
# NON-COINCIDENTIAL LOAD																			
EXIST 3" V.T.R. 54.100 VA = 151 AMPS.																			
TOTAL CONNECTED LOAD: 67.1																			
TOTAL DEMAND LOAD: 67.1 KVA																			
TOTAL DEMAND KVA: 54.1 KVA																			



PLUMBING NOTE:

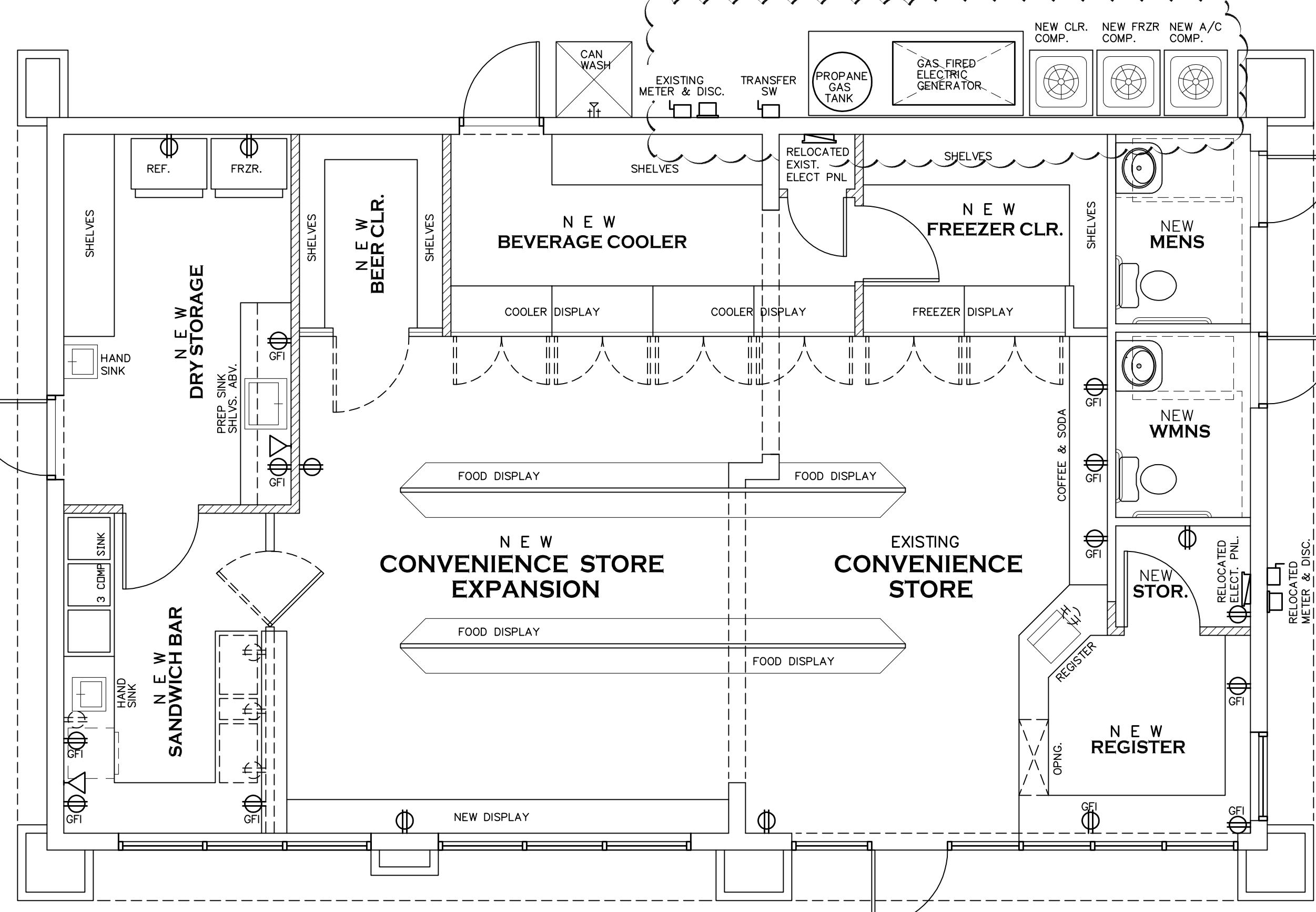
ALL TOILET ROOMS TO HAVE FLOORS AND BASES OF TILES OR OTHER IMPERVIOUS MATERIALS.
 FIRESTOP: ALL PLBG. PENETRATIONS OF THE FIRESTOPPED GARAGE WALLS OR CEILING WITH 3M (OR EQ.) FIRE BARRIER PRODUCTS AND APPLIED AS PER MFR'S. SPECIFICATIONS.
 ALL PLBG. FIXTURES TO COMPLY W/ 'FBC' PLUMBING TABLE: 604.4

TABLE 704:1 SLOPE OF HORIZONTAL DRAIN PIPE	
SIZE (INCH)	MIN SLOPE (IN/FT)
2-1/2 OR LESS	1/4
3 TO 6	1/8
8 OR LARGER	1/16

PLUMBING RISER

10A40-E

WALL MTD. RECEPTACLE	FIRE SPRINKLER HEADS
208V, RECEPTACLE SPECIAL PURPOSE	EMERGENCY LIGHTS & EXIT SIGN COMBO
WALL MTD. SWITCH	2X4 RECESS MTD. FLUORESCENT FIXTURE
PHONE JACK LOCATION	
FIRE EXTINGUISHER	JUNCTION BOX
MTD FIXTURE	E.F. EXHAUST FAN
ELECTRIC METER	ELECTRIC PANEL
DISCONNECT SWITCH	INCAND. LITE FIXTURE

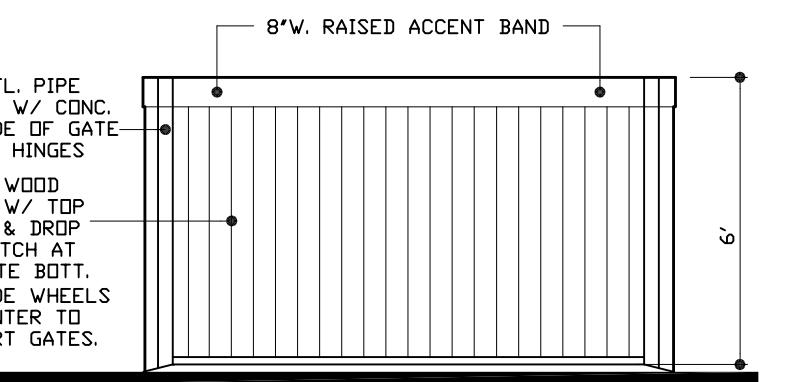


ELECTRICAL FLOOR PLAN

SCALE:

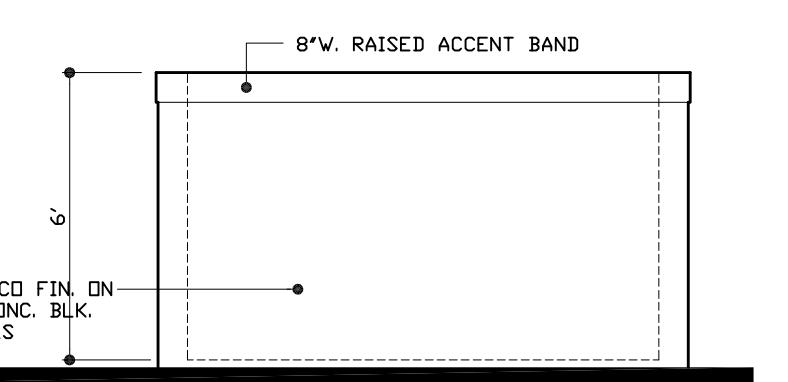
1/4" = 1'-0"





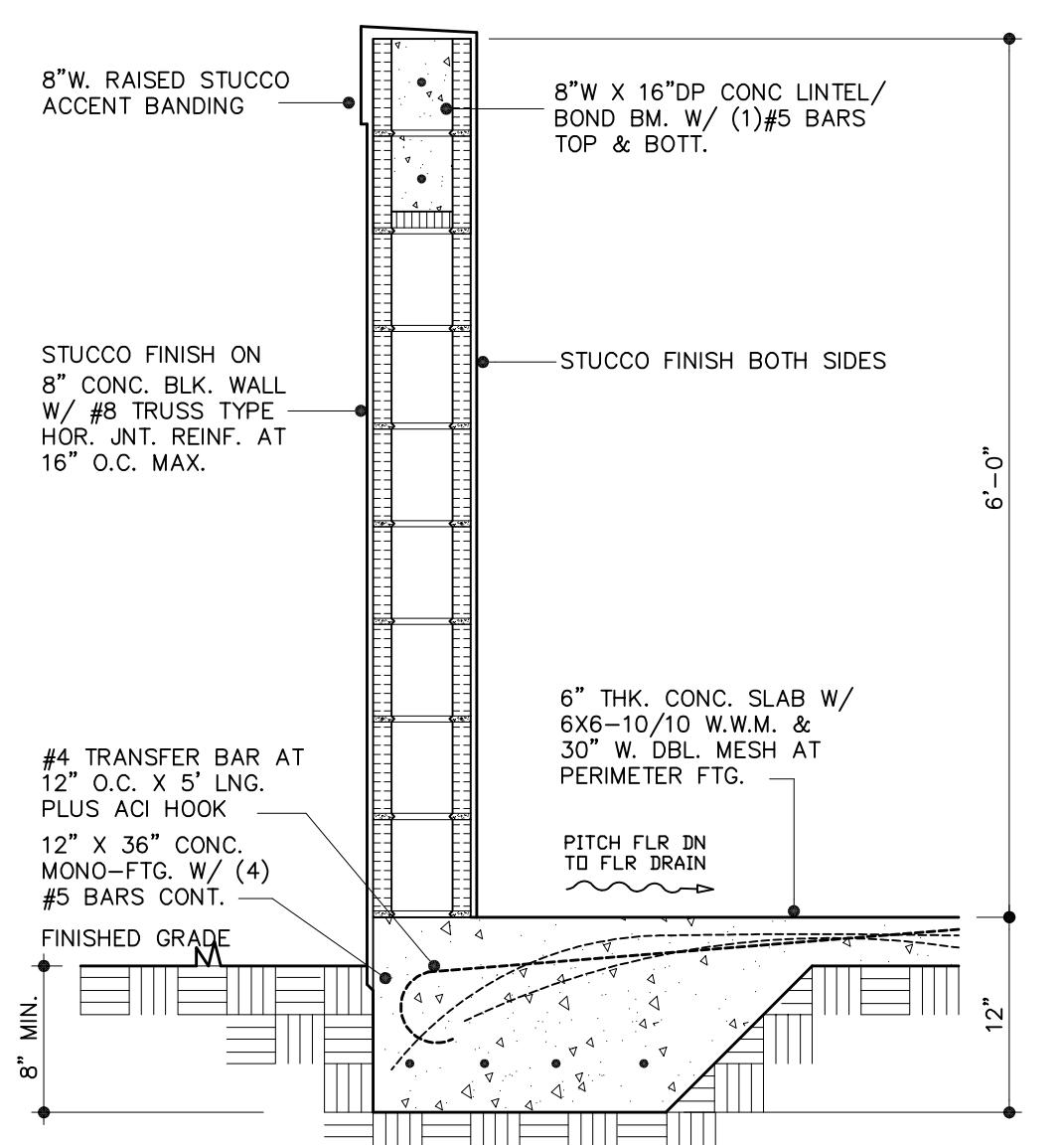
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR & SIDE ELEVATION

SCALE: 1/4" = 1'-0"

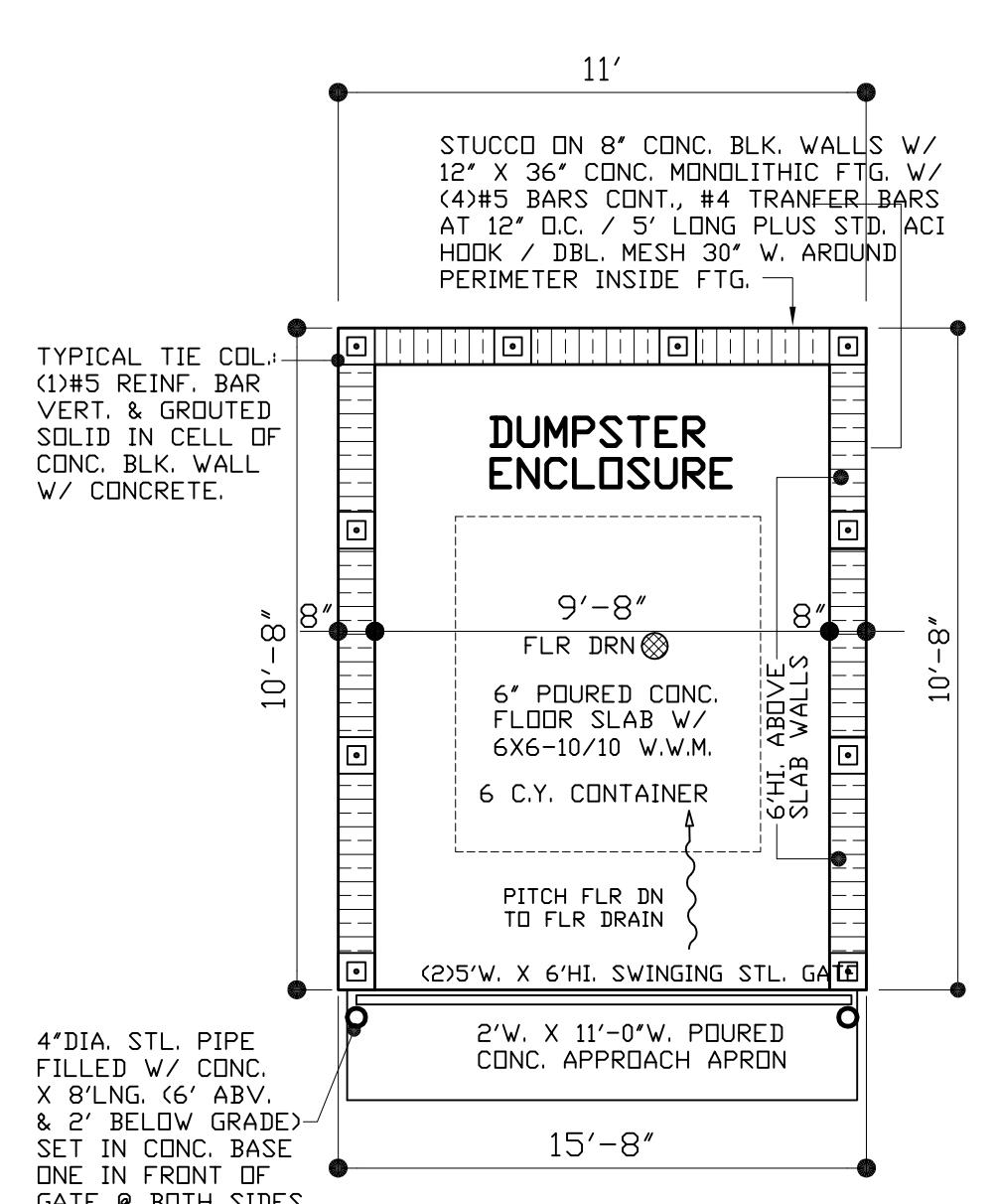


WALL SECTION

SCALE: 1" = 1'-0"

FOUNDATION NOTES:

FLOOR SLAB: 6" CONC. SLAB W/ 6X6-10/10 W.W.M. ON 6 MIL. POLYETH. VAPOR BARRIER ON COMPACTED TERMITE POISONED CLEAN FILL.
MIN. SOIL BEARING: 2500 P.S.F.
MIN. CONC. STRENGTH: 2500 P.S.I. AT 28 DAYS



**EXISTING
DUMPSTER ENCLOSURE
ARCHITECTURAL PLAN**

SCALE: 1/4" = 1'-0"



PITTSBURGH PAINTS

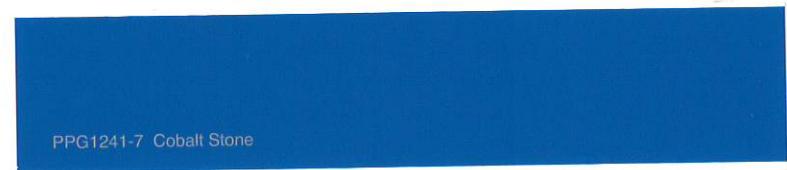
BODY



AWNING



CANOPY



BASE

