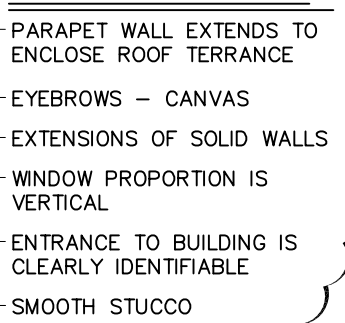
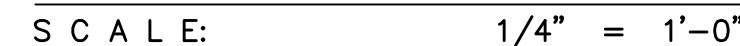


1. THE EXISTING AIR CONDITIONING SYSTEM CONSIST OF SEVERAL AIR HANDLER UNITS FOR THIS TENANT AREA. EXISTING 2X2 SUPPLY DIFFUSERS ARE TO BE RELOCATED IF REQUIRED AND CONNECTED TO EXISTING DUCTWORK ABOVE THE SUSPENDED CEILING.
2. ALL WORK IS TO ACCORD WITH THE LATEST "ASHRAE" RECOMMENDATIONS, PLAN LAYOUT, EXISTING RETURN AIR GRILLES TO BE RELOCATED IF REQUIRED BY NEW FLOOR PLAN LAYOUT, ALL DRAWINGS ARE GRAPHIMATIC, DO NOT SCALE. DRAWINGS ARE TO BE USED AS A GUIDE ONLY. ALL PIPING TO BE INSTALLED IN ACCORDANCE WITH THE LATEST "ASHRAE" RECOMMENDATIONS.
3. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES.
4. CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. CONTRACTOR TO VERIFY CONDITION AND PERFORMANCE OF ALL EXISTING EQUIPMENT.
5. THESE DRAWINGS ARE NOT INTENDED TO SHOW EYED MINOR DETAIL, BUT THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE INSTALLATION.
6. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR THE PROTECTION AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
7. CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS AND ALL OTHER FEES. SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THE CONTRACTOR.
8. CONTRACTOR SHALL BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE LATEST "ASHRAE" GUIDE.
9. ALL DUCTWORK SHALL CONFORM TO "SMACNA" STANDARDS. ALL DUCTWORK SIZES SHALL BE 18" MINIMUM. MINIMUM FIBERBOARD DUCT TO BE GALV. SHEET METAL AND SUB-FEEDER SUPPLY DUCTS OF 1" FIBERBOARD TYPE & ROUND DUCTS 1" LINED FIBERGLASS.
10. ALL DUCTWORK SHALL BE IN NEW AND BEAR "UNDERWRITER'S" LABEL, IF APPLICABLE.
11. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKSMANSHIP MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CONTRACT.
13. SUBMIT SHOP DRAWINGS OF NEW EQUIPMENT FOR APPROVAL PRIOR TO INSTALLATION.
14. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCES.
15. AIR DISTRIBUTION ACCESSORIES SHALL BE "CARNES" OR APPROVED EQUAL.
16. ALL SUPPLY A/C DUCT ELBOWS MUST BE FURNISHED WITH APPROVED TURNING VANES.
17. BRANCH TAKEOFFS MUST BE PROVIDED WITH APPROVED, ADJUSTABLE, ACCESSIBLE AIR SLICER DIFFUSERS FOR AIR EXTRACTION.
18. RELIEF OF EXISTING THERMOSTAT CONTROLS UNDER THIS CONTRACT TO ACCOMMODATE NEW FLOOR PLAN ADJUSTMENTS. MOUNT THERMOSTATS 5'0" ABOVE FINISHED FLOOR. UNLESS NOTED OTHERWISE.
19. CONTRACTOR SHALL ADJUST THE SYSTEM BALANCE ALL SYSTEMS.
20. ALL DUCT OR PIPE PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL HAVE APPROVED DAMPERS.
21. ALL PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL BE "ASTM" STD. E-841.

UNIT #1	
"RHEEM"	
UNIT:	14AJM60
SEER:	14.0 SEER
COOLING:	59,100 BTUH
SENSIBLE:	44,300 BTU
ILATENT:	14,800 BTUH
HEAT:	10.0 KW.
DUCT:	R-6 FIBERGLASS
LIQUID:	3/8"
SUCTION:	1 1/8"

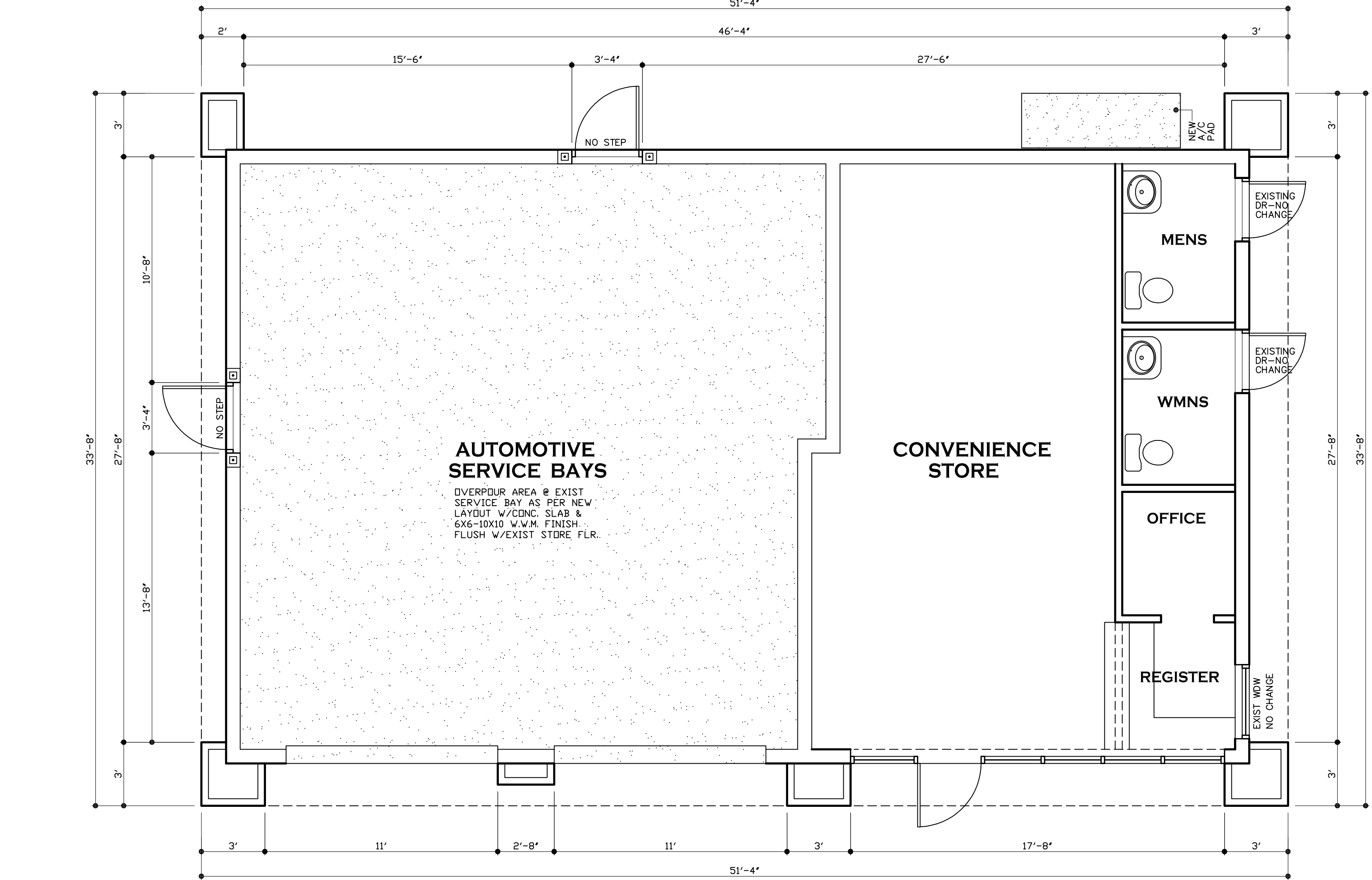
FBC-M / TABLE 403.3 REQ'D OUTDOOR AIR  
SALES: 15 OCCUPANTS PER 1000 SQ FT  
940 SQ FT / 1000 X 15 = 15 PERSONS  
15 PERSONS X 15 CFM = 225 CFM (PEOPLE)  
940 SQ FT X 0.12 = 113 CFM (AREA OUTDOOR)  
225 CFM + 113 CFM = 338 CFM TOTAL



SCALE:  $1/4" = 1'-0"$

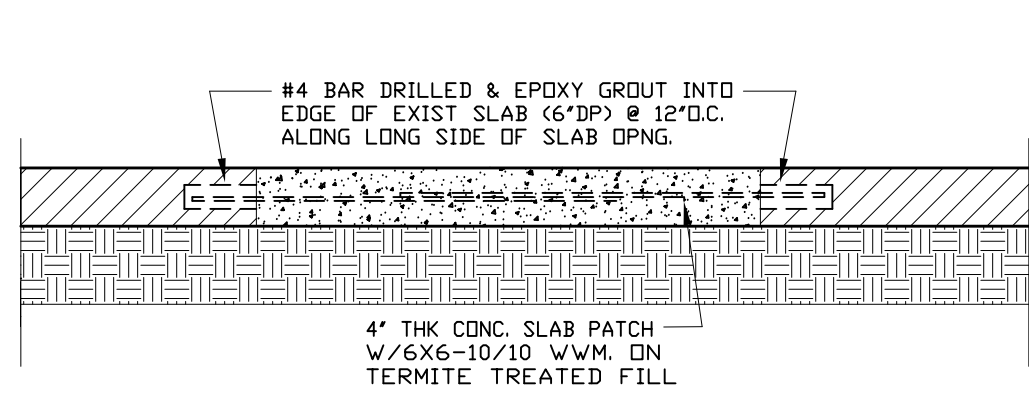
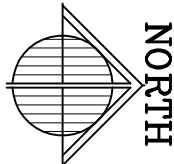
EAST ELEVATION:	759 S.F.	100%
GLASS CALC:	337 S.F.	44.4%
NORTH ELEVATION:	504 S.F.	100%
GLASS CALC:	22 S.F.	4.4%





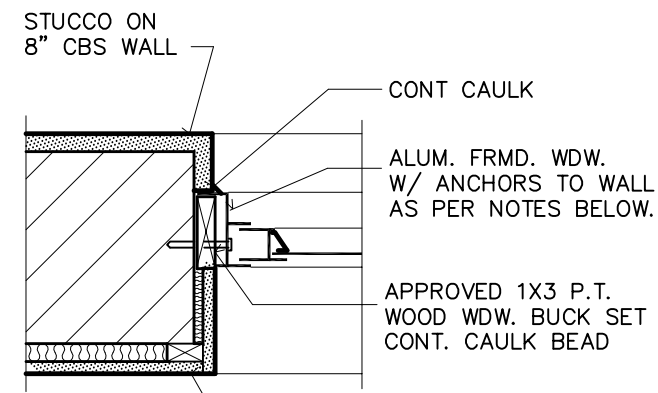
## FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



## FLOOR SLAB PATCH DETAIL

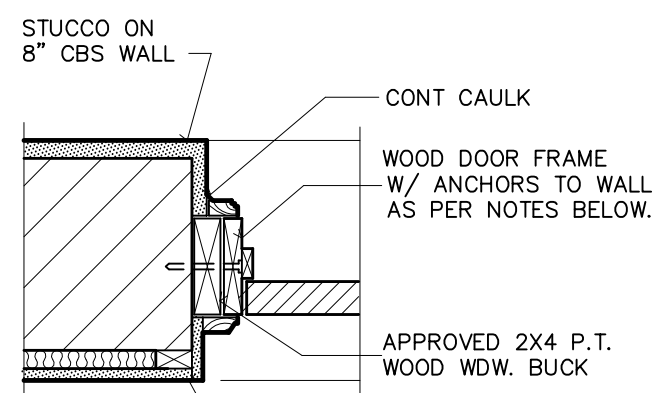
SCALE 1 1/2" = 1'-0"



## CONC BLK ANCHORAGE DTL WDW DETAIL

SCALE: 1 1/2" = 1'-0"

AT MASONRY WALL: 3/16" TAPCON ANCHOR THRU WOOD BUCK WITH MIN. 3/4" PENETRATION INTO CONCRETE.  
AT WOOD FRMD. WALL: #10 SMS SCREWS WITH MIN. 3/4" PENETRATION OF THE WOOD FRAMING MEMBER.



## CONC BLK ANCHORAGE DTL DOOR DETAIL

SCALE: 1 1/2" = 1'-0"

ALL ANCHORAGE TO BE WITHIN 6" FROM EACH CORNER AND AS MAXIMUM OR 16" BETWEEN CENTERS. SHIMS TO BE USED TO FILL THE VOIDS AT ALL ANCHORAGE POINTS.

## EXISTING AREA CALCS:

EXIST OFFICE: 68 S.F.  
EXIST. RESTRMS: 78 S.F.  
EXIST CASHIER: 32 S.F.  
EXIST CONVENIENCE: 414 S.F.  
SERVICE BAYS: 808 S.F.

TOTAL: 1400 S.F.

## NEW AREA CALCS:

NEW OFFICE: 53 S.F.  
EXIST. RESTRMS: 78 S.F.  
NEW CASHIER: 84 S.F.  
EXIST CONVENIENCE: 271 S.F.  
NEW BEVERAGE CLR: 280 S.F.  
NEW SANDWICH BAR: 120 S.F.  
NEW DRY STORAGE: 157 S.F.

TOTAL: 1400 S.F.

## DEMOLITION NOTES:

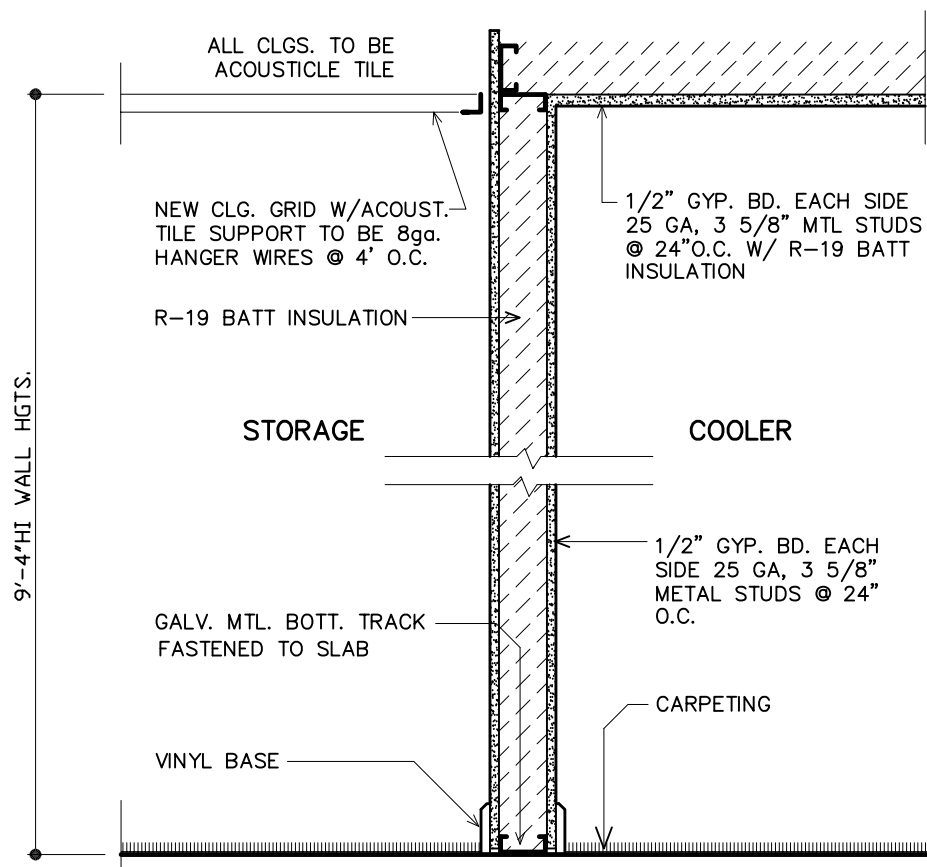
1. PROTECT ALL EXISTING BUILDING AREAS WHICH ARE NOT TO BE AFFECTED BY THE CONSTRUCTION. PROTECT ALL EXISTING STRUCTURAL ELEMENTS OF THE BUILDING FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
2. CLEAN UP ALL TRASH AND DEMOLISHED MATERIALS DAILY.
3. REMOVE ALL EXIST. WALLS, FLOORING FINISHES, CEILINGS, MECHANICAL AND ELECTRICAL COMPONENTS NOT TO BE REUSED IN THE AREA AS INDICATED ON THE DEMOLITION PLAN.
4. REMOVE, STORE, & PROTECT FROM DAMAGE ALL CONSTRUCTION MATERIALS, EQUIPMENT AND FIXTURES TO BE REUSED DURING CONSTRUCTION.

## CODE SUMMARY INFO:

EXISTING ONE STORY TYPE III BUILDING  
OCCUPANCY: "B" BUSINESS  
ALTERATION LEVEL: LEVEL 2 (RECONFIG SPACE)  
CONSTRUCTION TYPE: TYPE III  
EXITS REQUIRED: 1 REMOTE EXITS  
EXITS PROVIDED: 2 REMOTE EXITS  
TRAVEL DISTANCE REQUIRED: 200 FT  
TRAVEL DISTANCE PROVIDED: 75 FT

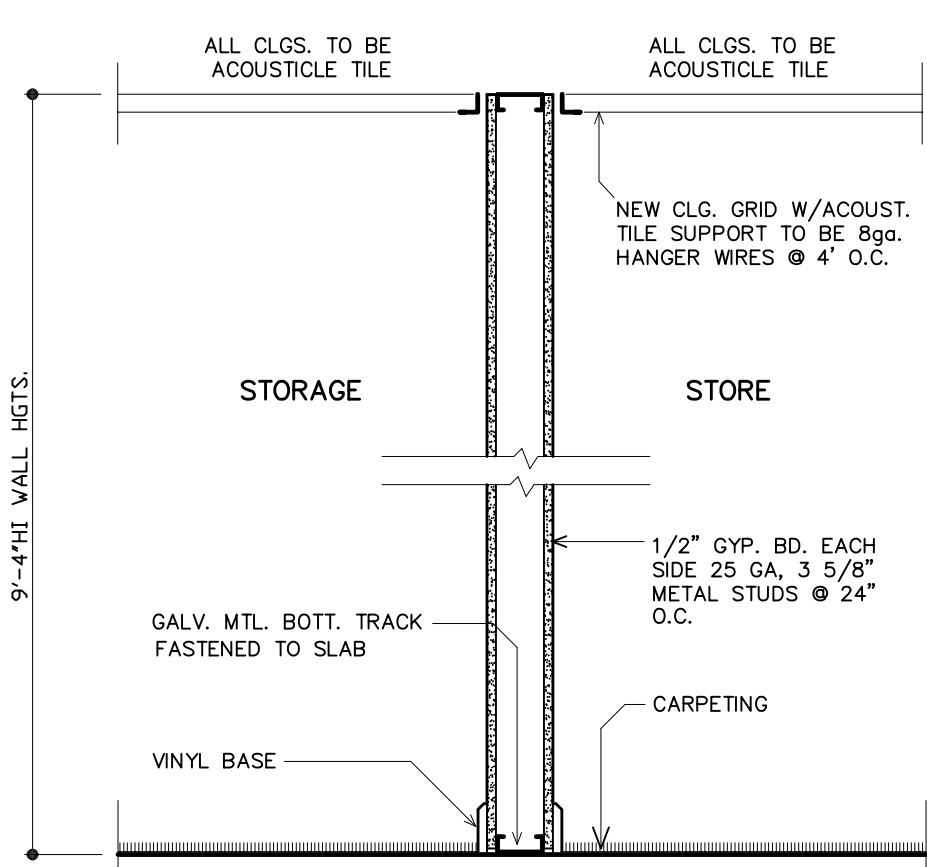
## WIND DESIGN INFORMATION:

ARCHITECT: JAMES E. GILGENBACH (FL AR7457)  
WIND DESIGN STANDARD: ASCE 7-10  
BUILDING CODE: FL BLDG CODE 2010  
DESIGN WIND SPEED: 170 MPH  
DESIGN WIND VELOCITY PRESSURE: 41.1 PSF  
IMPORTANCE FACTOR: 1.0  
BUILDING OCCUPANCY CATEGORY: "B"  
BUILDING WIND EXPOSURE CLASS: "B"  
INTERNAL PRESSURE COEFFICIENT: +/- .18  
TYPE OF CONSTRUCTION: CONC BLK  
BUILDING DESIGNED: CONC ENCLD  
IMPACT PROTECTION: IMPACT  
OCCUPANCY CLASSIFICATION: "R3"  
TYPE OF CONSTRUCTION: "III"



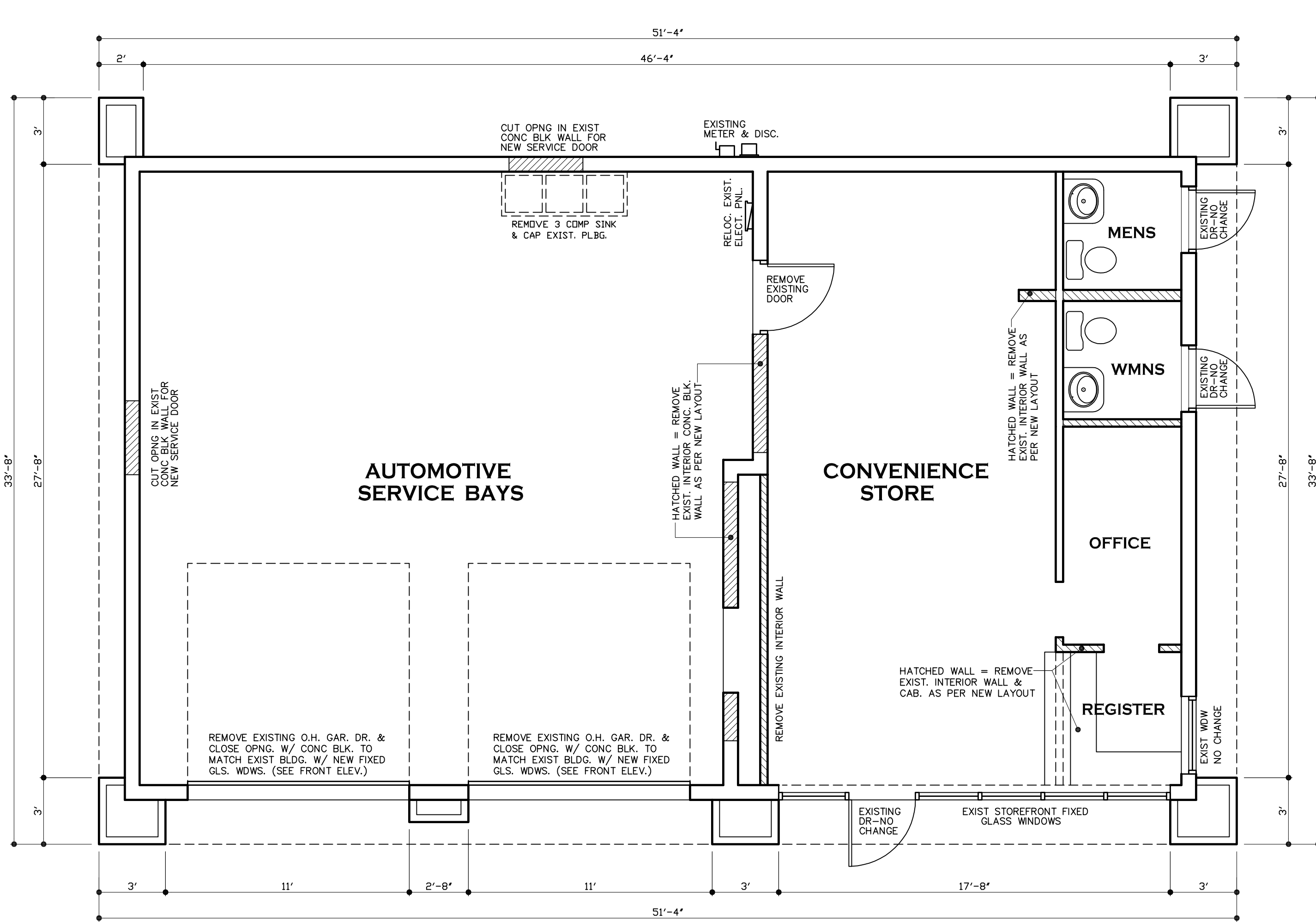
## 9'-4" HEIGHT TYP. INTERIOR WALL

SCALE: 3/4" = 1'-0"



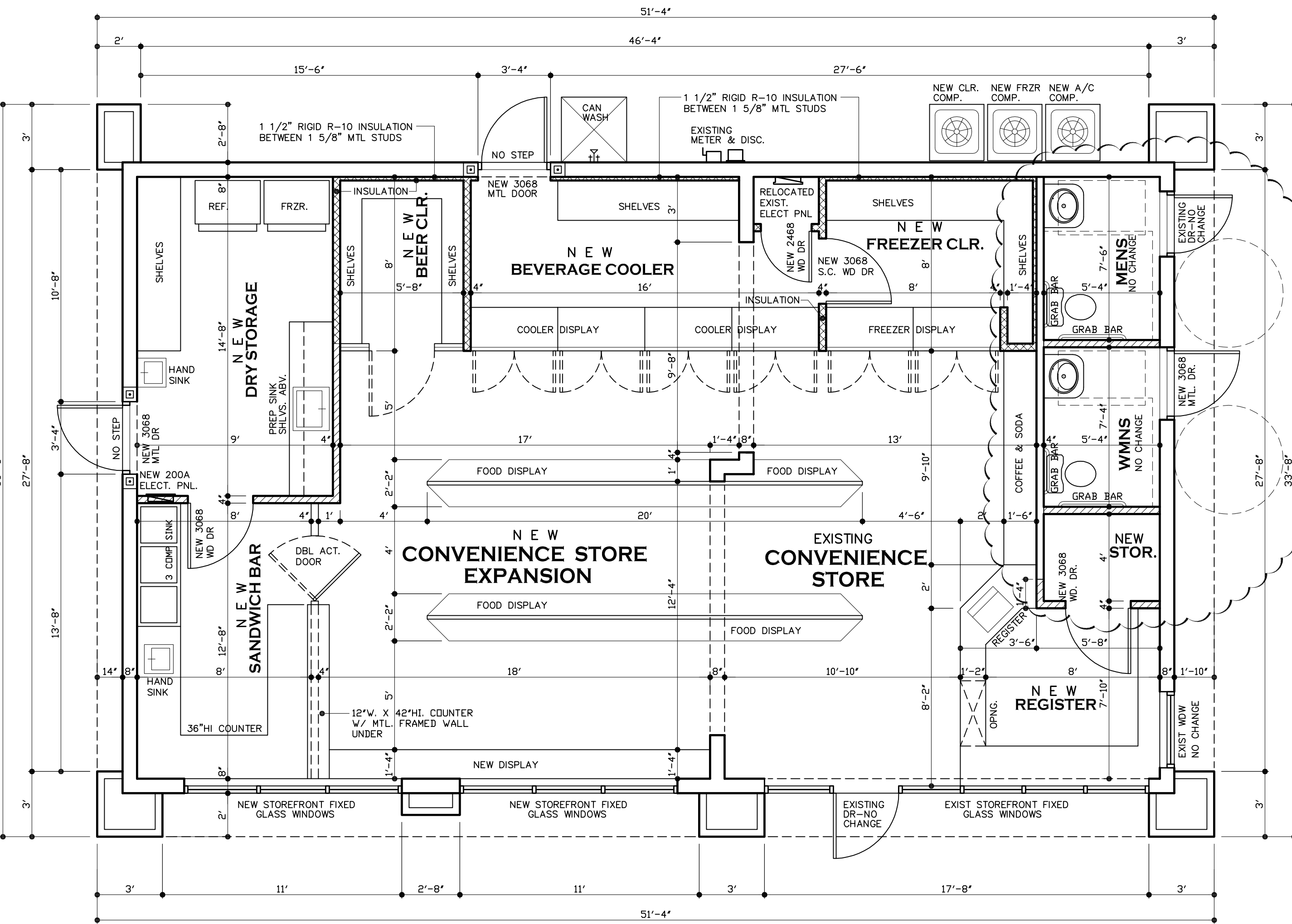
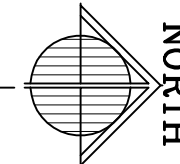
## 9'-4" HEIGHT TYP. INTERIOR WALL

SCALE: 3/4" = 1'-0"



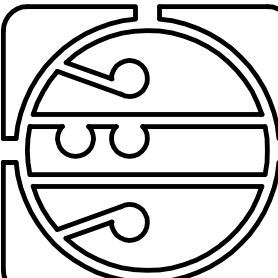
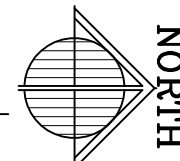
## EXISTING / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



## ARCHITECTURAL FLOOR PLAN

SCALE: 1/4" = 1'-0"



**JAMES E. GILGENBACH**  
**ARCHITECTURE & PLANNING**  
SUITE 107  
1239 E NEWPORT CENTER DR  
NEWPORT CENTER  
DEERFIELD BEACH  
FLORIDA 33442  
(954) 426 - 1652

ARCHITECT  
AR-7457

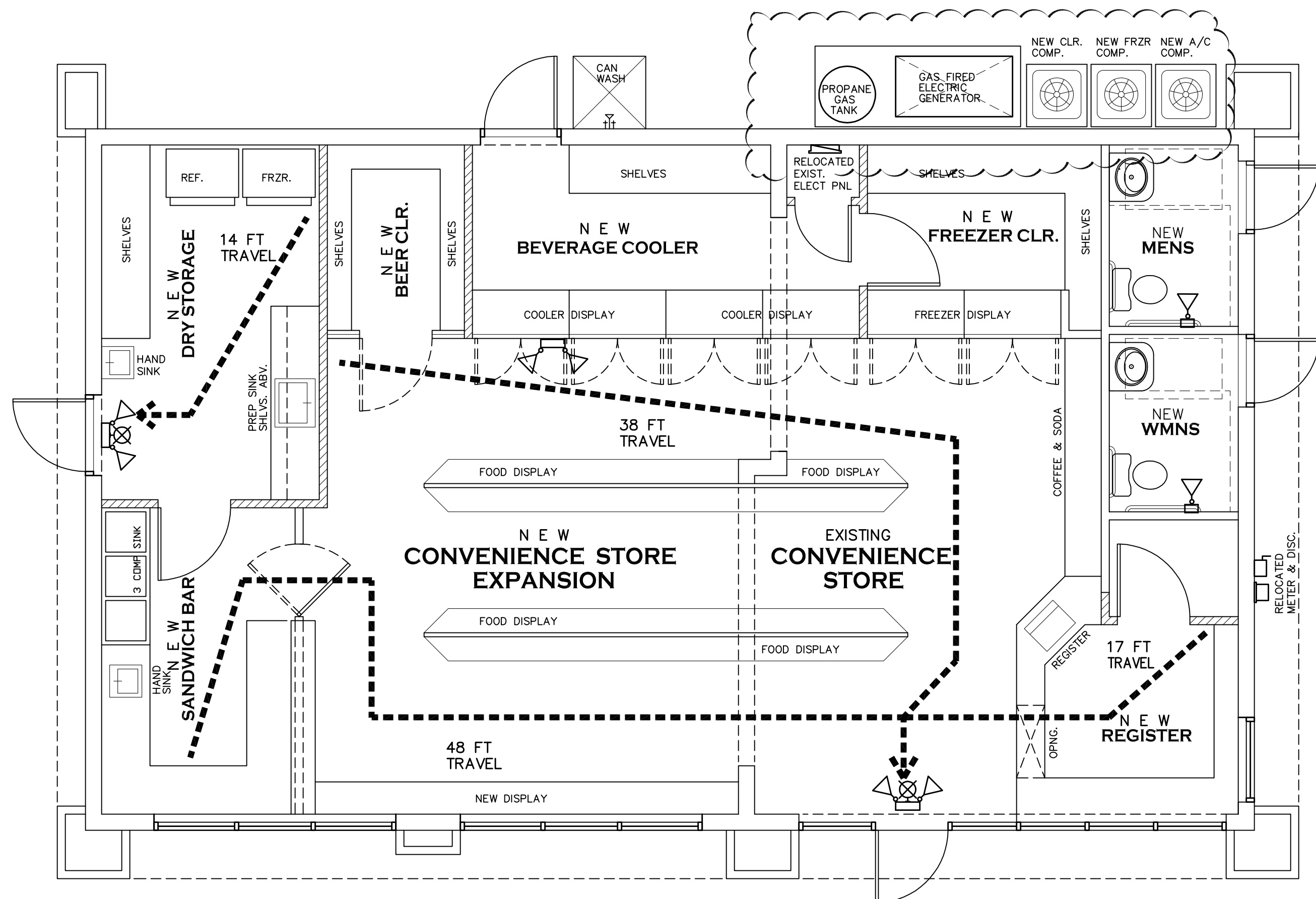
REVISIONS:  
REV. 1/4/2016  
AS PER BLDG DEPT

1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.  
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES.  
3. CONSTRUCTION SHALL NOT PROCEED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.  
4. ALL DIMENSIONS HAVE BEEN REVIEWED BY THE CONTRACTOR.  
5. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

CONVENIENCE STORE RENOVATION FOR THE  
**GASLAND SERVICE STATION**  
388 NORTHEAST 5TH AVENUE, DELRAY BEACH, FLORIDA  
HIGHLAND PARK - DELRAY BEACH COUNTY, FLORIDA

DATE: 29 FEB '16  
PROJECT NO: 10 - 540  
SHEET: 4 of 4  
**A2**





## LIFE SAFETY FLOOR PLAN

SCALE: 1/4" = 1'-0"

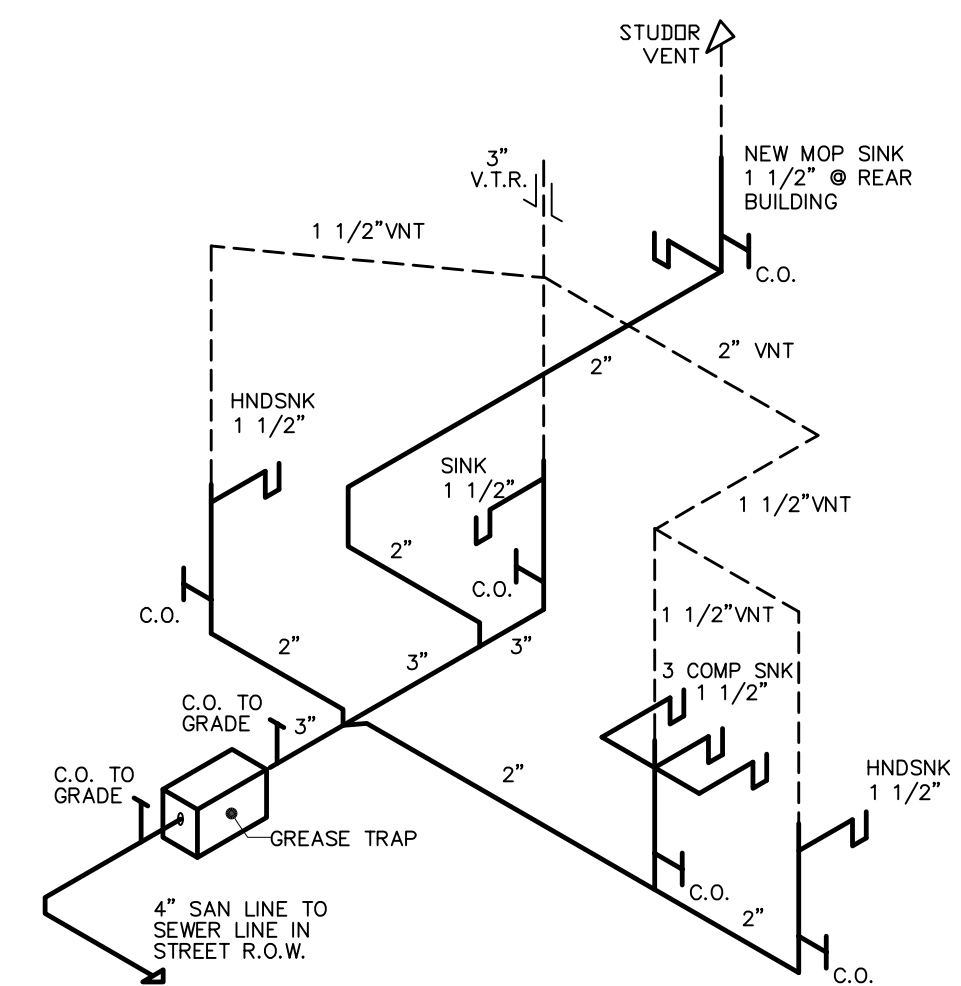


### NOTES:

POST SYMBOLS ON BUILDING FOR LIGHT FRAME TRUSS TYPE CONSTRUCTION  
SHOW ADDRESS NUMBERS, NOT LESS THAN 6 INCHES IN HEIGHT ON A  
CONTRASTING BACKGROUND.

EXISTING ELECTRICAL PANEL									
PDS.	FUNCTION	CIRC. BRKR.	POLES	WIRE SIZE	LOAD KVA	PDS.	FUNCTION	CIRC. BRKR.	POLES
1	A/C UNIT #1	60A	2	#6	10.0	2	A/C UNIT #2	40A	2
3		60A	2	#6	10.0	4		40A	2
5	A/C COMP #1	50A	2	#6	6.0	6	A/C COMP #2	30A	2
7		50A	2	#6	6.0	8		30A	2
9	COOLER DISPLAY	20A	1	#12	1.5	10	A/C UNIT #3	40A	2
11	COOLER DISPLAY	20A	1	#12	1.5	12		40A	2
13	COOLER DISPLAY	20A	1	#12	1.5	14	A/C COMP #3	30A	2
15	COOLER DISPLAY	20A	1	#12	1.5	16		30A	2
17	FREEZER DISPLAY	20A	1	#12	1.5	18	EXIT LITES	20A	1
19	FREEZER DISPLAY	20A	1	#12	1.5	20	SIGN	20A	1
21	REFRIGERATOR	20A	1	#12	1.5	22	CASH REGISTER	20A	1
23	FREEZER	20A	1	#12	1.5	24	OFFICE RECEP.TS.	20A	1
25	TLT LIGHTING	20A	1	#12	1.5	26	TLT GFI RECEP.TS.	20A	1
27	LIGHTING	20A	1	#12	1.5	28	RECEP.TACLES	20A	1
29	LIGHTING	20A	1	#12	1.5	30	GFI RECEP.TACLES	20A	1
31	LIGHTING	20A	1	#12	1.5	32	GFI RECEP.TACLES	20A	1
33	LIGHTING	20A	1	#12	1.5	34	GFI RECEP.TACLES	20A	1
35	LIGHTING	20A	1	#12	1.5	36	GFI RECEP.TACLES	20A	1
37	LIGHTING - CANDPY	20A	1	#12	1.5	38	SPARE		
39	SPARE					40	SPARE		
41	SPARE					42	SPARE		

# NON-COINCIDENTAL LOAD EXIST 54,100 VA 3" V.T.R. (1.73X208V) = 151 AMPS. TOTAL CONNECTED LOAD: 671 KVA TOTAL DEMAND LOAD: 341 KVA



## PLUMBING RISER

NO SCALE

### PLUMBING NOTE:

ALL TOILET ROOMS TO HAVE FLOORS AND BASES OF TILES OR OTHER IMPERVIOUS MATERIALS  
FIRESTOP ALL PLBG. PENETRATIONS OF THE FIRE RATED GARAGE WALLS OR CEILING WITH "3M" OR E.Q. FIRE BARRIER PRODUCTS AND APPLIED AS PER MFR'S. SPECIFICATIONS.  
ALL PLBG. FIXTURES TO COMPLY W/ 'FBC' PLUMBING TABLE 604.4

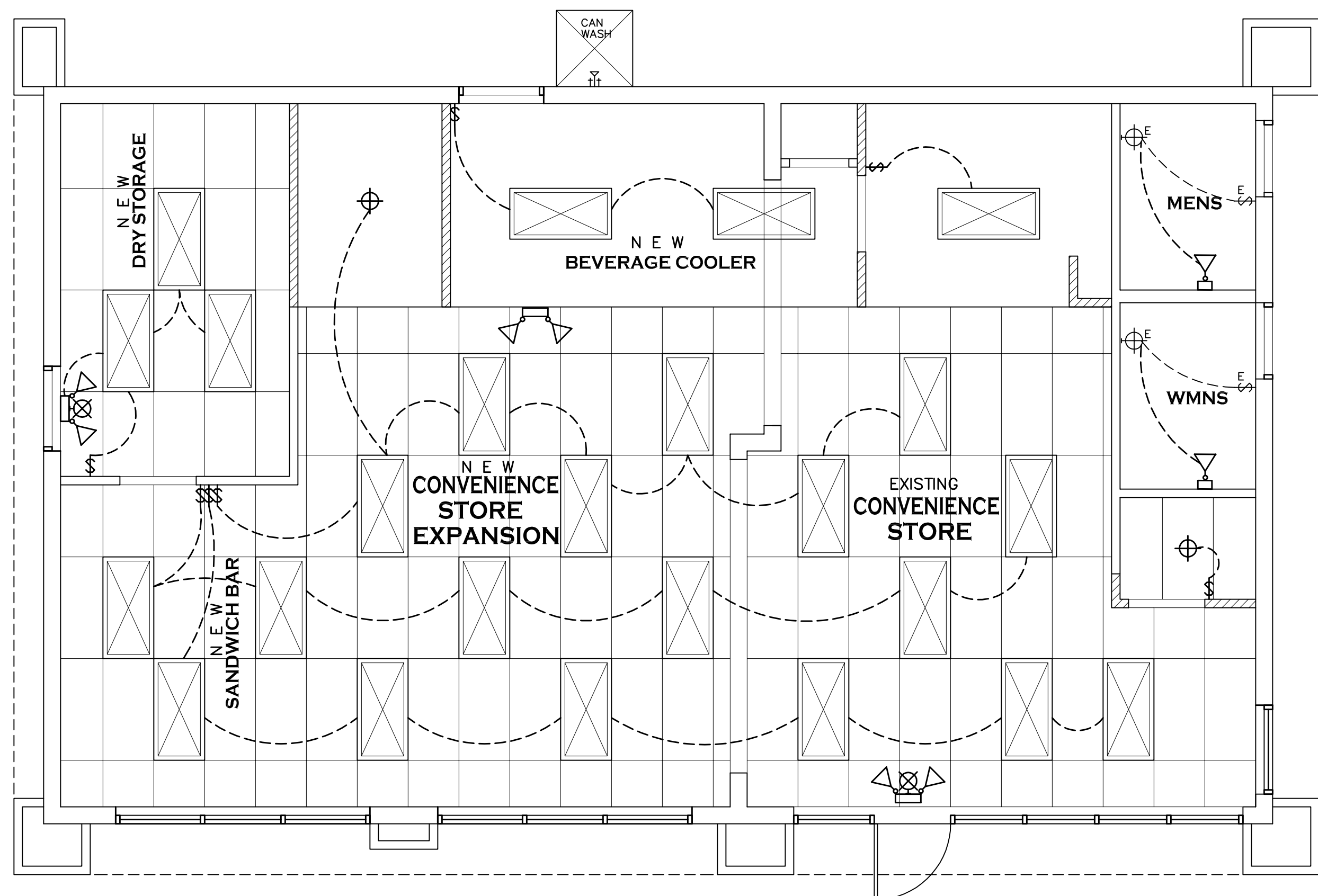
TABLE 704.1 SLOPE OF HORIZONTAL DRAIN PIPE		
SIZE (INCH)	MIN SLOPE (IN/FT)	
2-1/2 OR LESS	1/4	
3 TO 6	1/8	
8 OR LARGER	1/16	

### ELECTICAL SPECIFICATIONS:

- ALL DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS FOR THE EXACT LOCATION OF EQUIPMENT, PIPING, DUCTWORK, ETC.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES, RULES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- THESE DRAWINGS ARE NOT INTENDED TO SHOW EVERY MINOR DETAIL, BUT CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE WORKING INSTALLATION.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR THE PROTECTION AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TEST. SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THE CONTRACTOR.
- THE ELECTRICAL INSTALLATION MEET ALL STANDARDS OF FLORIDA POWER & LIGHT CO. AND SOUTHERN BELL TELEPHONE CO.
- UNLESS OTHERWISE NOTED, MINIMUM WIRE SIZE SHALL BE #12 "AWG", EXCLUDING CONTROL WIRING.
- ALL MATERIALS SHALL BE NEW AND BEAR "UNDERWRITER'S" LABEL, IF APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE & ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE CONTRACT.
- UNLESS OTHERWISE NOTED, ALL CONDUCTORS TO BE COPPER WITH "THHN" INSULATION FOR SIZE #8 AND SMALLER. CONDUCTORS LARGER THAN #8 SHALL HAVE "THHN" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCES WITH THE PROGRESS OF CONSTRUCTION.
- OUTLET BOXES SHALL BE PRESSED STL. IN DRY LOCATIONS, CAST ALLOY W/ THREADED HUBS IN WET LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE H.P. RATED HEAVY DUTY, QUICK-MAKE, QUICK-BREAK WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
- THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE #250, NATIONAL ELECTRICAL CODE.
- EXIST. CRNTS FOR LIGHTING AND RECEP.TS. IN EXIST. ELECTRICAL PANELS ARE TO BE REUSED IN AREAS OF THE ADJUSTMENT IN THE FLOOR PLAN. THE CONTRACTOR SHALL PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
- EXISTING ELECTRICAL PANEL AND ELECTRICAL FIXTURES SHOULD BE REUSED IF IN GOOD WORKING SHAPE AND NOT VISUALLY DAMAGED.
- FURNISH AND INSTALL LIGHTING FIXTURES & LAMPS AS SCHEDULED ON PLANS OR AS SELECTED BY OWNER.
- CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE & CURRENT BEFORE CONNECTING TO ELECTRICAL CIRCUITS.
- ALL ELECT. OUTLETS, SWITCHES AND PANELS IN FINISHED AREA TO BE RECESSED INTO THE WALLS OR FLOOR WITH FACE FLUSH WITH THE FINISHED SURFACE. ALL CONDUIT IN FINISHED AREAS TO BE CONCEALED IN THE WALLS, FLOOR OR CEILING.
- RECEP.TACLES TO BE DUPLEX (UNLESS NOTED OTHERWISE) 20A, 120V, INTERMEDIATE GRADE, GROUNDING, FLUSH TYPE & COVER PLATES IVORY, MTD. AT 18" ABV. FINISHED FLR. (UNLESS NOTED OTHERWISE)
- SWITCHES TO BE 20A, 120V INTERMEDIATE GRADE, QUIET TUMBLER TYPE AND COVER PLATES "IVORY", MTD. AT 48" ABOVE FINISH FLOOR.

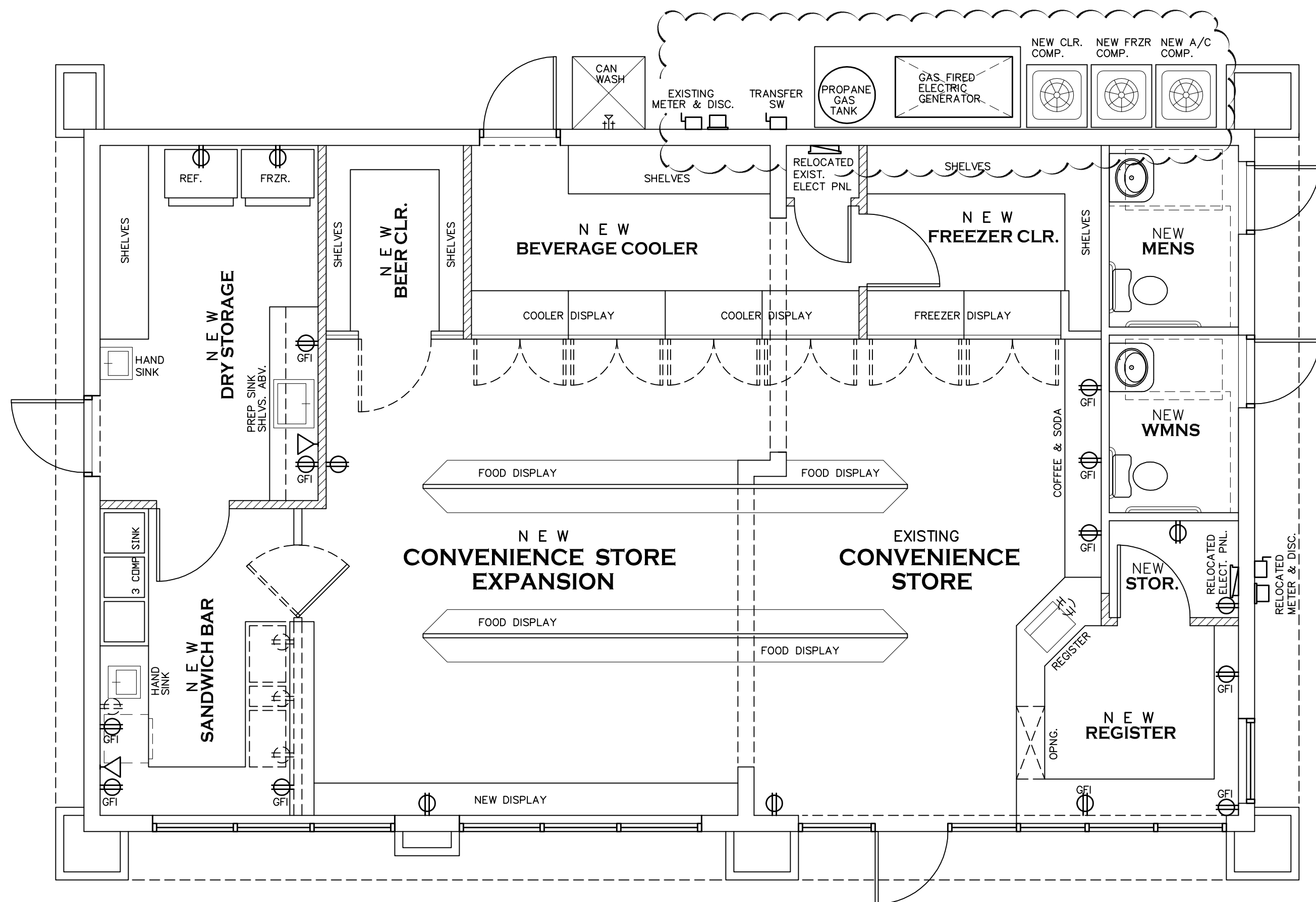
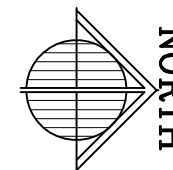
### ELECTRIC SYMBOLS

WALL MTD. RECEPTACLE	FIRE SPRINKLER HEADS
208V. RECEPTACLE SPECIAL PURPOSE	EMERGENCY LIGHTS & EXIT SIGN COMBO
WALL MTD. SWITCH	2X4 RECESS MTD. FLUORESCENT FIXTURE
PHONE JACK LOCATION	JUNCTION BOX
FIRE EXTINGUISHER	E.F. EXHAUST FAN
MTD FIXTURE	ELECTRIC PANEL
ELECTRIC METER	INCAND. LITE FIXTURE
DISCONNECT SWITCH	



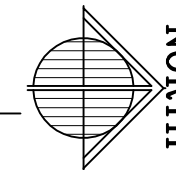
## REFLECTED CEILING / LIGHTING PLAN

SCALE: 1/4" = 1'-0"



## ELECTRICAL FLOOR PLAN

SCALE: 1/4" = 1'-0"



ARCHITECT  
AR-7457

### REVISIONS:

REV. MAR. 8, 2018  
AS PER P&Z DEPT.  
REV. APR. 6, 2018  
AS PER P&Z DEPT.  
REV. JULY 1, 2018  
AS PER P&Z DEPT.

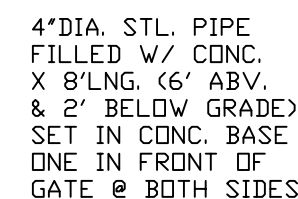
1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.  
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT OF ANY DISCREPANCIES. CONSTRUCTION SHALL NOT PROCEED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.  
3. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL THE WORKMANSHIP HAS BEEN VERIFIED BY THE CONTRACTOR.  
4. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.



SCALE:  $1/4" = 1'-0"$



SCALE:  $1/4" = 1'-0"$



# EXISTING DUMPSTER ENCLOSURE ARCHITECTURAL PLAN

SCALE:  $1/4" = 1'-0"$



SCALE: 1" = 1'-0"

**FOUNDATION NOTES:**

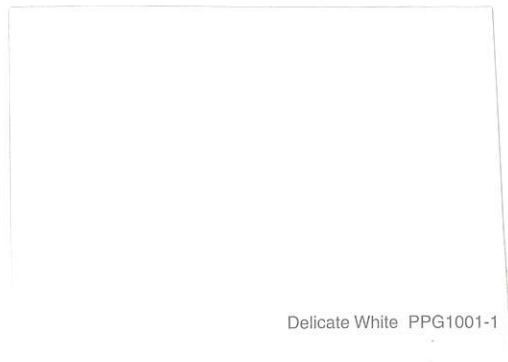
FLOOR SLAB: 6" CONC. SLAB W/ 6X6-10/10 W.W.M. ON 6 MIL. POLYETH.  
VAPOR BARRIER ON COMPACTED TERMITE POISONED CLEAN FILL  
MIN. SOIL BEARING: 2500 P.S.F.  
MIN. CONC. STRENGTH: 2500 P.S.I. AT 28 DAYS



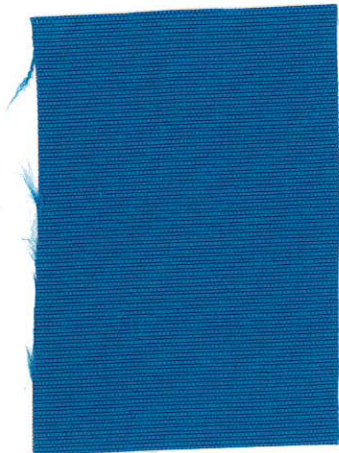


## PITTSBURGH PAINTS

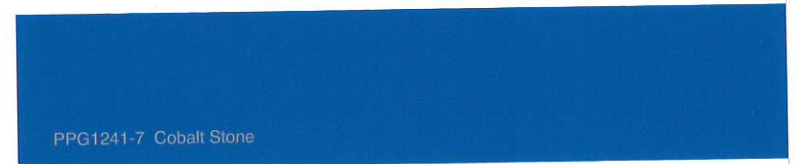
BODY



AWNING



CANOPY



BASE

