



**HISTORIC PRESERVATION BOARD STAFF REPORT**

**Sundy Village – Block 61 Landscape**

Meeting	File No.	Application Type
May 1, 2024	2024-093	Level 1 Site Plan and Certificate of Appropriateness

**REQUEST**

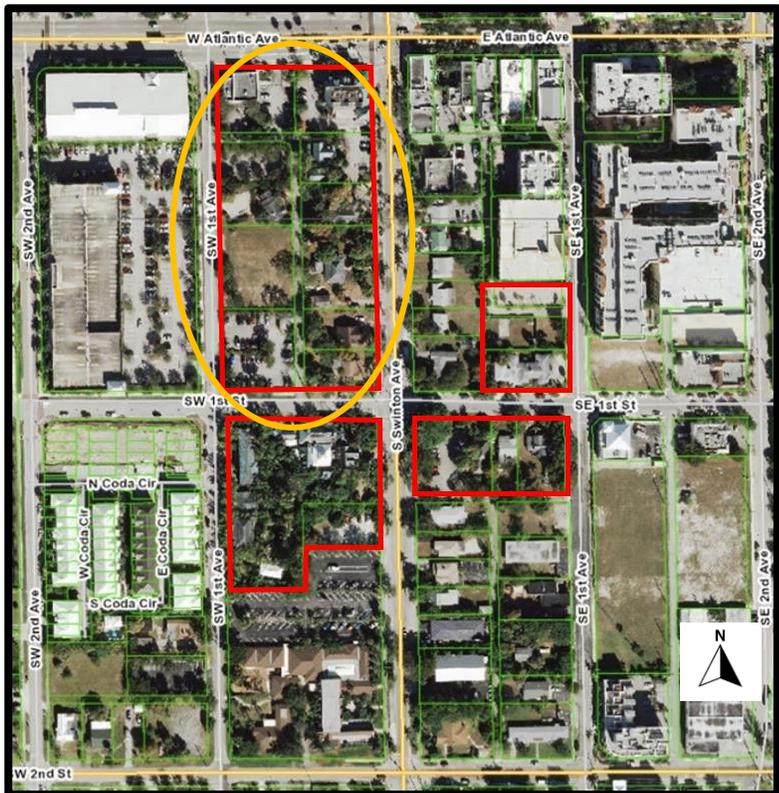
The item before the Board is consideration of a Level 1 Site Plan and Certificate of Appropriateness (2024-093) request for landscape and hardscape modifications to the **Block 61 portion of the Sundy Village project, Old School Square Historic District.**

**GENERAL DATA**

**Owner:** Sundy Village West, LLC  
**Agent:** Covelli Design Associates, Inc.  
**Location:** 25 SW 1<sup>st</sup> Avenue (yellow circle on aerial)  
**PCN:** 12-43-46-16-Q6-001-0020  
**Project Name:** Sundy Village  
**Project Size:** 6.902 Acres  
**Project Zoning:** OSSHAD, OSSHAD w/ CBD Overlay  
**LUM:** HMU (Historic Mixed Use)  
**Historic District:** Old School Square Historic District  
**Adjacent Zoning:**

- North: OSSHAD, OSSHAD w/ CBD Overlay
- East: OSSHAD, CBD
- South: CF
- West: CF

**Existing Land Use:** Commercial  
**Proposed Land Use:** Commercial



**BACKGROUND AND PROJECT DESCRIPTION**

The subject property includes all of Block 61, a portion of the Sundy and Cromer block, and portions of Blocks 69 & 70. The properties associated with the subject development proposal are zoned Old School Square Historic Arts District (OSSHAD) and are located within the locally and nationally designated Old School Square Historic District. That portion of the project that fronts on West Atlantic Avenue and the proposed hotels that front on SE 1<sup>st</sup> Avenue are subject to the development standards of the Central Business District (CBD). The Sundy House property contains several structures including the Sundy House, and several 2-story structures, the property is listed on the National Register of Historic Places. There are 7 contributing structures within Block 61 and several non-contributing structures, 4

<b>Project Planner:</b> Katherina Paliwoda, Historic Planner, paliwodak@mydelraybeach.com Michelle Hoyland, Principal Planner, hoylandm@mydelraybeach.com	<b>Review Dates:</b> HPB: May 1, 2024	<b>Attachments:</b> 1. Plans 2. Photographs 3. Color and Materials
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contributing structures within Block 70, and a contributing structure and accessory building within Block 69.

In 1998, a conditional use request was approved by the City Commission for Sundy House (Lots 1-3, Sundy Estates Subdivision) and included 11 Residential-Type Inn units. The Class V Site Plan for the Sundy House and Inn was approved by the HPB on March 18, 1998. Also approved by HPB in 1998, was relocation of a 1948 brick structure from the Sundy House and Inn property to a lot along 131 NW 4<sup>th</sup> Avenue in the West Settlers Historic District. The structure is occupied by the Williams family, Mr. Williams was a carpenter who worked on its original construction in 1948.

At its April 4, 2007, meeting, HPB considered a conditional use request to expand the residential-type inn use within the Sundy House property located on Block 62 and establish the residential-type inn use within Blocks 61 and 70, located to the north and east, respectively. The request would have placed a total of 87 units within the development. The City Commission approved the request at its meeting of May 1, 2007. However, the units were never built, and the approval expired.

At their meeting of October 17, 2016, the Planning & Zoning Board recommended approval of Alley Abandonments (2016-080) within Block 61.

At their meeting of June 26 & 27, 2017, the Historic Preservation Board reviewed & approved a Conditional Use (2016-102) request to allow 39 additional Residential-type Inn units (11 existing associated with the Sundy House). The board denied the Class V Site Plan, Certificate of Appropriateness, Landscape Plan, Architectural Elevations, & Waivers (2016-073) for Swinton Commons that included: 35,049 square feet of retail; 22,525 square feet of restaurant; 21,872 square feet of office; 44 dwelling units; 39 residential-type inn units; and 109 hotel rooms. Specifically, the Waiver relief requests were to allow an increase in the 60' maximum building width fronting a street to 163', 135', and 71'. The project also included the relocation of seven of the existing contributing buildings, reconstruction of one existing building, and demolition of nine buildings. The board approved relocation of 3 structures (21 SW 1st Avenue; 44 S. Swinton Avenue - Bldg. G; and, 6 SE 1st Street - Building H) and approved demolition of 7 structures (52 W. Atlantic Avenue - Building T; 20 W. Atlantic Avenue - Building U; 35½ SW 1st Avenue - Building V; 14 SE 1st Street - Building W; 18 SE 1st Street - Building X; 18½ SE 1st Street - Building Y; and, 48 SE 1st Avenue - Building Z). The board denied relocation of 5 structures (14 S. Swinton Avenue - Building A; 20 W. Atlantic Avenue; 22 S. Swinton Avenue; 38 S. Swinton Avenue - Building E; and, 40 S. Swinton Avenue - Building F) and denied demolition of 2 structures (44 S. Swinton Avenue - Building G-ACC and 38½ S. Swinton Avenue - Building E1).

At their meeting of July 17, 2017, the Planning & Zoning Board recommended approval of the Conditional Use (2016-101) request for the addition of 39 Residential-type Inn units (50 total on-site including the 11 existing on the Sundy House portion of the site) subject to conditions and of the abandonment of an alley within Block 69, subject to conditions.

Then, at their meeting of December 19, 2017, the Historic Preservation Board reviewed and denied a modified request for a Class V Site Plan, COA, Landscape Plan, Elevations, Waiver, Demolitions, & Relocations for the project, which was renamed Midtown Delray. The proposal included includes 39,396 square feet of retail; 11,117 square feet of restaurant; 55,218 square feet of office; 45 dwelling units; and 39 residential-type inn units. The proposal includes the relocation of seven of the existing contributing buildings & reconstruction of one existing building and demolition of 2 structures. Finally, the request also included waivers, to allow a reduced rear setback for Building 1 and to allow an increase to the maximum width of a building fronting a street for several structures.

Following HPB's December 2017 denial of the Midtown Delray requests, the applicant appealed the denials to the City Commission. The request was heard at the February 6, 2018, City Commission meeting and following a lengthy meeting the applicant requested a postponement in order to make modifications to the development proposal to address concerns including the elimination of requested waivers relating to building width and rear setbacks.

Then, at their meeting of March 6, 2018, the City Commission approved the modified Class V Site Plan, Certificate of Appropriateness, Landscape Plan, Architectural Elevations, Demolitions, Relocations, Waivers, Conditional Use, and alley abandonments within Block 69 and Block 61, subject to conditions. Specifically, the approval included the following:

- Conditional Use request to allow an additional 24 Residential-type Inn units in association with the Sundy House (1 additional unit at the Sundy House, 9 new units on Block 61, and 14 new units on Block 70 – overall project total of 35 residential-type inn units including the 11 existing units at the Sundy House);
- Construction of 38,160 square feet of retail; 11,117 square feet of restaurant; 70,597 gross square feet of office (60,594 net sq. ft.); 45 condominium dwelling units; and 24 additional residential-type inn units. Also, included in the approval are underground parking garages, the largest within the Block 61 portion of the site and a smaller garage within the Block 69 portion of the site.
- Waivers to LDR Section 4.4.24(F)(4) to allow building widths of 71' 6", and 81' 4", where a maximum width of 60' is permitted in the Old School Square Historic Arts District (OSSHAD) for Building 3 and the Building 6/7 within Block 70 (southeast corner of S. Swinton Avenue & SE 1<sup>st</sup> Street).
- Relocation of 7 existing contributing structures, with 6 of the relocations within Block 61 (along Swinton Avenue) and the 7<sup>th</sup> structure being moved from Block 61 to the Sundy House property:
  - 14 S. Swinton Avenue – Building A “The Rectory”
  - 20 W. Atlantic Avenue – Building B
  - 22 S. Swinton Avenue – Building C
  - 21 SW 1<sup>st</sup> Avenue – Building D
  - 38 S. Swinton Avenue – Building E “Cathcart House”
  - 40 S. Swinton Avenue – Building F “Peach House”
  - 44 S. Swinton Avenue – Building G “Yellow House”
- Demolition of 9 structures, including the reconstruction of one structure from Block 70 on the Sundy House portion of the site to the west:
  - 38 1/2 S. Swinton Avenue – Building E-1
  - 44 1/2 S. Swinton Avenue – Building G-ACC
  - 10 SE 1<sup>st</sup> Street – Building H “White House” (Reconstruction)
  - 52 W. Atlantic Avenue – Building T
  - 20 W. Atlantic Avenue – Building U
  - 35 1/2 SW 1<sup>st</sup> Avenue – Building V
  - 14 SE 1<sup>st</sup> Street – Building W
  - 18 SE 1<sup>st</sup> Street – Building X
  - 18 1/2 SE 1<sup>st</sup> Street – Building Y
  - 48 SE 1<sup>st</sup> Avenue – Building Z
- Abandonment of an improved east/west alley within Block 69.
- Abandonment of an improved east/west and north/south alley in Block 61.
- Construction of a pedestrian plaza within Block 61, replacing the abandoned north/south alley.
- Construction of a vehicular drop-off area.
- Installation of new landscaping and hardscaping.

The approved/certified plan included conditions of approval:

1. That the locations of the generators are provided on the plans together with the source of fuel prior to certification of the site plan.
2. That the site plan be revised to correctly note the required parking of 379 parking spaces prior to certification of the site plan.
3. That the fourth floor of buildings #1 and #2 be eliminated, that the third floor can be moved forward 12 feet. The applicant may add a third floor to building #3.
4. That the applicant enter into a community benefits agreement with the City of Delray Beach that includes items such as a jobs program/fair, mentorship, and a \$100,000 grant for the historic preservation grant prior to issuance of the first vertical building permit.
5. That the applicant submit a restrictive covenant to commence construction within two years of approval for Block 61 to be approved by the City Attorney prior to issuance of the first building permit. That the restrictive covenant include a performance bond of \$1,000,000 for this requirement for Block 61, which is to be forfeited for failure to commence construction.
6. That the applicant provide significant evidence that the use operate as a residential-type inn.

At its January 5, 2022, meeting, the Historic Preservation Board (HPB) made a recommendation of approval to the Planning and Zoning Board for a Conditional Use request to allow 2,000 sq. ft. of outdoor dining at night for restaurants within Buildings 1 & 2 within Lots 1-4, Block 61 of the Sundy Village Project. The HPB also recommended approval to the City Commission of a Waiver request to CBD Frontage Type standards to allow the use of the Porch frontage type instead of a Storefront frontage type, along W. Atlantic Avenue, which is a required retail frontage street. At their January 24, 2022, meeting the Planning and Zoning Board recommended approval of the Conditional Use to City Commission.

The City Commission approved the Conditional Use (Resolution No. 03-22) and the Waiver to the CBD Frontage Type standards (Resolution No. 04-22) at their meeting of February 8, 2022. The City Commission also approved Resolution No. 25-22 which establishes a sequence of events in the development process to meet current conditions of approval for the approved/certified project in a workable framework. Specifically, relating to the construction of an alley, platting, and demolition of a structure within Block 69. The combination of conditions of approval and code direction did not allow for the plat to be recorded until the new alley in Block 69 is built, building the alley requires demolition of Building Z, Building Z cannot be demolished without a building permit for new construction, which cannot be issued without the plat being recorded. Resolution No. 25-22 resolved these conflicts.

At its meeting of March 2, 2022, HPB approved a Class III Site Plan Modification, Certificate of Appropriateness, Landscape Plan, Architectural Elevations, Variances, & Relocations request as follows:

- Construction of 14,230 sq. ft. retail use, 21,375 sq. ft. restaurant use (2,000 sq. ft. - outdoor dining), 105,027 gross sq. ft. (69,850 net sq. ft.) office use, 45 residential condominium units, 15 Residential-type Inn units (26 units total - 12 within the Sundy House portion of the site and 14 within Building 6/7 located on Block 70), an underground parking garage (Block 61). The total project will contain 253,336 sq. ft. gross square foot of building area including existing structures and common areas/net square foot areas. Below is a table summarizing the approved and proposed use intensity/density changes:

USE	UNIT	APPROVED/CERTIFIED PLAN	PROPOSED	CHANGE
RETAIL	SF	38,160	14,230	<b>(23,930)</b>
RESTAURANT	SF	11,117	21,375	<b>10,258</b>
OFFICE	SF	70,597 Gross	105,027 Gross	<b>34,465 Gross</b>

**HISTORIC PRESERVATION BOARD | May 1, 2024**  
**Sundy Village – Block 61**

		60,694 Net	69,850 Net	<b>9,156 Net</b>
<b>RESIDENTIAL</b>	DU SF	45 80,990 SF	45 80,990 SF	<b>NO CHANGE</b>
<b>RESIDENTIAL TYPE INN</b>	UNITS SF	35 (24 New & 11 Existing) 46,444	26 (15 New & 11 Existing) 29,074	<b>(9)</b> <b>(17,370)</b>
<b>MECH. BLDG. ELEVATORS</b>	SF	UNKNOWN	2,640	<b>UNKNOWN</b>
<b>TOTALS</b>	<b>SF</b>	<b>247,308 Gross</b> <b>237,405 Net</b>	<b>253,336 Gross</b> <b>218,159 Net</b>	<b>6,028 Gross</b> <b>(19,246) Net</b>

- Modification of the approved architectural style of the new structures within Block 61.
- Construction of a 2,272 sq. ft. Mechanical Equipment Yard/Building and other accessory structures such as elevator service buildings.
- Modification of the approved relocations of Building A, C, E, & F
- Variances to reduce the front yard setbacks from 25' to 20' for Buildings C & F
- Modification of the approved landscaping and hardscaping.
- Construction of a pedestrian plaza within Block 61, replacing the abandoned north/south alley.
- Construction of a vehicular drop-off area.
- Construction of new on-street public parking spaces.

At its meeting of January 4, 2023, HPB approved a Certificate of Appropriateness (2023-015) request for exterior modifications to the Sundy House. The specific requests are listed below:

- Removal of the existing non-contributing open-air gazebo, covered walkway, and reception area additions.
- Change the material of the existing vinyl/canvas awning to steel and glass for the non-contributing addition to the rear of the original structure.

At its meeting of November 1, 2023, HPB approved a Certificate of Appropriateness and Relocation (2024-093) request for the Cathcart House, primarily for structure stability purposes, as follows:

- Temporary Relocation of the existing structure vertically by 5' in place in order to install a new stem wall foundation;
- Construction of a new foundation;
- Installation of new 1<sup>st</sup> floor support joists;
- Removal of the existing, non-original concrete wrap around first floor porch deck; and
- Construction of a new first-floor, wood wrap around porch deck.

At its meeting of December 6, 2023, HPB approved a Level 1 Site Plan and Certificate of Appropriateness (2023-181) request for architectural modifications to Buildings 9-North (9N), 9-South (9S), 8-North (8N), 8-West (8W), and 8-South (8S) located on Block 61. During permit review these structures required additional interior stairs to meet fire requirements, resulting in an exterior elevation change. Additionally, landscape and hardscape modifications are proposed to the south side of Buildings 8W and 8S and on the west side of Buildings 9N and 9S. More specifically, the request was as follows:

**Buildings 8N, 8W, and 8S**

- Enlargement of buildings on the east/west sides from the approved 42'2" to 44'2".
- Removal of the two Juliette style balconies with awnings on the west side of Building 8W and the east sides of Buildings 8S and 8N to be replaced with shutters.

- Change to the exterior stair orientations on the west sides of Buildings 8N and 8S, and the east side of Building 8W to accommodate the required Fire Code distance between stairs.
- Double doors on the third floor replaced with a single door on the east elevations of Buildings 8S and 8N.
- Double doors replaced with a single door on the ground floor west elevations of Buildings 8N and 8S.
- Shutters are added to the third-floor windows and doors on the north and south elevations of Buildings 8N, 8W, and 8S to be consistent with the other elevations.
- All operable windows changed to fixed on all Buildings 8N, 8W, and 8S elevations.
- Landscape and hardscape modifications to the southwest sides of Building 8W along SW 1<sup>st</sup> Avenue and SW 1<sup>st</sup> Street.

#### Buildings 9N and 9S

- Grille removed from the ground floor stair exit doors on the north and south elevations of Building 9S.
- The arch design removed from the top of door on southwest elevation of Building 9S and the northeast elevation of Building 9N with an awning to match the door on the north elevation of Building 9S.
- Doors and windows on the ground floor of the north elevation of Building 9N to match changes with Building 9S.
- All operable windows changed to fixed on all Building 9N and 9S elevations.
- Landscape and hardscape modifications to the west side of Buildings 9N and 9S along SW 1<sup>st</sup> Avenue.

#### Mechanical Yard Building

- Increase the height and width of the overhead door on the west elevation of the mechanical yard building to accommodate enlargement of the trash compactor.
- Generator door on the south elevation of the mechanical yard building removed due to the relocation of the generator.
- Change in roof style on the south and east elevations of the mechanical yard building to accommodate the relocation of the generator and enlargement of the trash compactor.

At its meeting of January 31, 2024, HPB approved the Level 3 Site Plan, Certificate of Appropriateness, Landscape Plan, Architectural Elevations, Variance, and Waivers (2023-253) request for a change of use and exterior modifications to structures within Blocks 61, 69, and 70.

The request before the board is for landscape modifications and a hardscape modification to the approved fountain/water feature located in the civic plaza located between Buildings 1 and 2 on Block 61 of the Sundy Village site.

The request is now before the board for review.

## REVIEW AND ANALYSIS

Pursuant to Land Development Regulation (LDR) Section 2.4.10(A)(3)(a), formal findings are not required for Level 1 Site Plan applications.

### ZONING AND USE REVIEW

Pursuant to LDR Section 4.4.24(A)(1) - Provide for mixed uses of residential, office, and commercial activities, with an emphasis on the arts, that will encourage the restoration or preservation of historic structures and yet maintain and enhance the historic and pedestrian scale of the area.

The proposal meets the intent of this standard as the overall site plan project contains a mix of uses including residential-type inn, restaurant, retail, and office, and the subject structures were approved for office use.

### LDR SECTION 4.5.1

#### **HISTORIC PRESERVATION: DESIGNATED DISTRICTS, SITES, AND BUILDINGS**

Pursuant to LDR Section 4.5.1(E), Development Standards, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

Pursuant to LDR Section 4.5.1(E)(3) – Buildings, Structures, Appurtenances and Parking: Buildings, structures, appurtenances and parking shall only be moved, reconstructed, altered, or maintained, in accordance with this chapter, in a manner that will preserve the historical and architectural character of the building, structure, site, or district:

**Appurtenances:** Appurtenances include, but are not limited to, stone walls, fences, light fixtures, steps, paving, sidewalks, signs, and accessory structures.

The subject request includes modifications to the landscape plan and modifications to the approved fountain/water feature on Block 61. The proposal will not affect the required 591 square feet civic open space for the site.

Pursuant to LDR Section 4.5.1(E)(5) - Standards and Guidelines: a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

### **SECRETARY OF THE INTERIOR'S STANDARDS**

#### Standard 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

#### Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

**Standard 3**

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

**Standard 4**

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

**Standard 5**

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

**Standard 6**

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

**Standard 7**

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

**Standard 8**

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

**Standard 9**

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**Standard 10**

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The subject proposal consists of modifications to the existing/approved landscape plan and fountain/water feature for Block 61 of the Sundy Village project. With regard to the proposed changes to the fountain/water feature, the new water feature will be a limestone/travertine material and can be considered appropriate for use on the site. It is noted that the elevations include signage which will be part of a separate application request and approval. The request does not include any modifications to any existing historic structures nor approved new construction.

The request can be considered appropriate and compatible with the Secretary of the Interior's Standards.

## LANDSCAPE PLAN

Pursuant LDR Section 4.6.16- Landscape Regulations- The provisions of this Section are minimum standards which may be increased in accordance with the guidelines contained herein as well as aesthetic criteria established by the Site Plan Review and Appearance Board and the Historic Preservation Board when applicable. Additional landscape requirements may be required for certain zoning districts and roadways as provided for elsewhere in these regulations.

The subject request includes landscape modifications to Block 61. Regarding mitigation, there is concern with the poor condition of several specific trees/plant materials currently on site, which are being requested to be removed and will require mitigation in order for the site to meet the landscape requirements. It is noted that 4 trees (3 leeches and 1 oak) were approved for an emergency removal by the Development Services Director, as they were in poor condition and close proximity to the historic structure Building “G”, that was previously approved by HPB on March 6, 2024, to be vertically elevated. The request also proposes the relocation of several palms and trees to be donated to the city and replanted on city owned sites such as the Historic Train Depot, public rights-of-way, medians, and other city facilities. It is noted that there are trees located on the mitigation chart that could be difficult to obtain from local nurseries, with the required DBH, therefore a site plan technical item has been added to allow an alternative species or multiple trees to meet the requirement.

Overall, the landscape plan has been reviewed by the Senior Landscape Planner and can be determined to be in compliance with the code with respect to landscaping.

## COMPREHENSIVE PLAN

Pursuant to the Historic Preservation Element (HPE), Objective 1.4, Historic Preservation Planning: Implement appropriate and compatible design and planning strategies for historic sites and properties within historic districts.

The objective shall be met through continued adherence to the City’s Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

**HPE Objective 1.4 - Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.**

The development proposal involves landscape and hardscape modifications within the Sundy Village development. There are no concerns with respect to soil, topographic or other physical considerations. With respect to the adjacent land uses, the property is in an area surrounded by a mix of uses including residential, office, restaurant, church, and retail uses. The proposal can be considered to be consistent with the subject Objective.

**HPE Policy 1.4.1 - Prior to approval or recommending approval of any land use or development application for property located within a historic district or designated as a historic site, the Historic Preservation Board must make a finding that the requested action is consistent with the provisions of Section 4.5.1 of the Land Development Regulations relating to historic sites and districts and the “Delray Beach Design Guidelines”.**

The proposal includes landscape and hardscape modifications within an historic property. It is important that the alterations made to the property are found consistent with the provisions of LDR Section 4.5.1 relating to historic sites and districts as well as the Secretary of the Interior’s Standards and the “Delray Beach Historic Preservation Design Guidelines”.

**SITE PLAN TECHNICAL ITEMS**

1. That the fountain/water feature elevations be updated to include material details on the plans.
2. That an alternative tree species or use of multiple trees be utilized to meet the minimum mitigation requirements should the 6” caliper not be attainable. If the applicant cannot meet the 6” caliper for the proposed trees to be mitigated, then they must use an alternative tree types or multiple trees to meet the size requirement.

**ALTERNATIVE ACTIONS**

- A. Move to continue with direction.
- B. Approve the Level 1 Site Plan, Landscape Plan, and Certificate of Appropriateness (2024-093), for the property located at **Sundy Village – Block 61, Old Schol Square Historic District**, by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations.
- C. Approve the Level 1 Site Plan, Landscape Plan, and Certificate of Appropriateness (2024-093), for the property located at **Sundy Village – Block 61, Old Schol Square Historic District**, by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations, subject to conditions.
- D. Deny the Level 1 Site Plan, Landscape Plan, and Certificate of Appropriateness (2024-093), for the property located at **Sundy Village – Block 61, Old Schol Square Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

**PUBLIC AND COURTESY NOTICES**

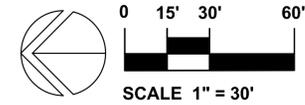
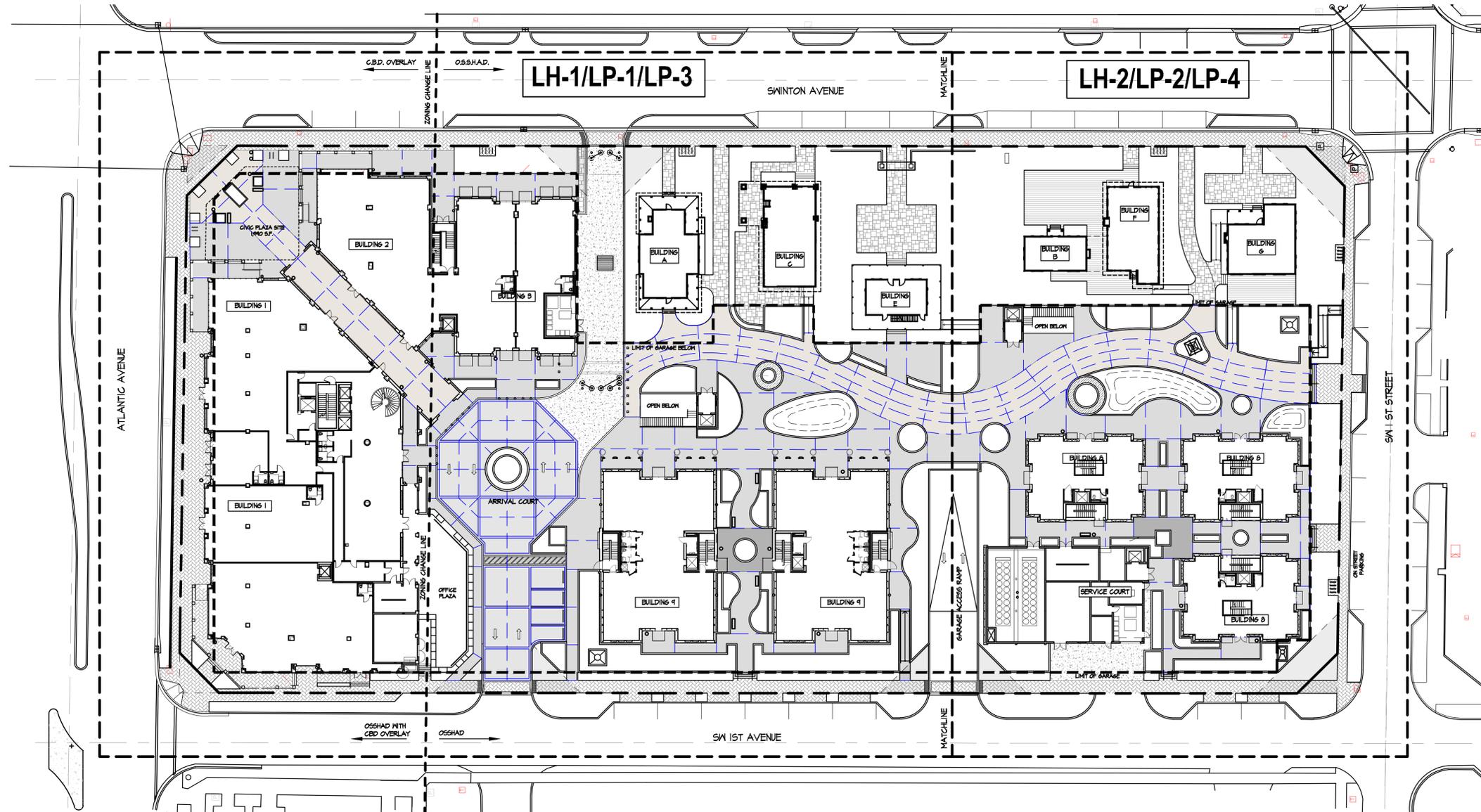
<input checked="" type="checkbox"/> Courtesy Notices are not required for this request.	<input checked="" type="checkbox"/> Public notice mailers were not required for this request. <input checked="" type="checkbox"/> Agenda was posted on (04/24/24), 5 working days prior to the meeting.
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**DSBOCA**  
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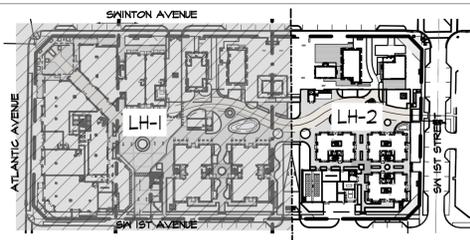
**SUNDY VILLAGE**  
(F.K.A. MIDTOWN DELRAY)  
DELRAY BEACH, FLORIDA  
OVERALL LANDSCAPE PLAN

REVISIONS:
FEBRUARY 2024
APRIL 2024

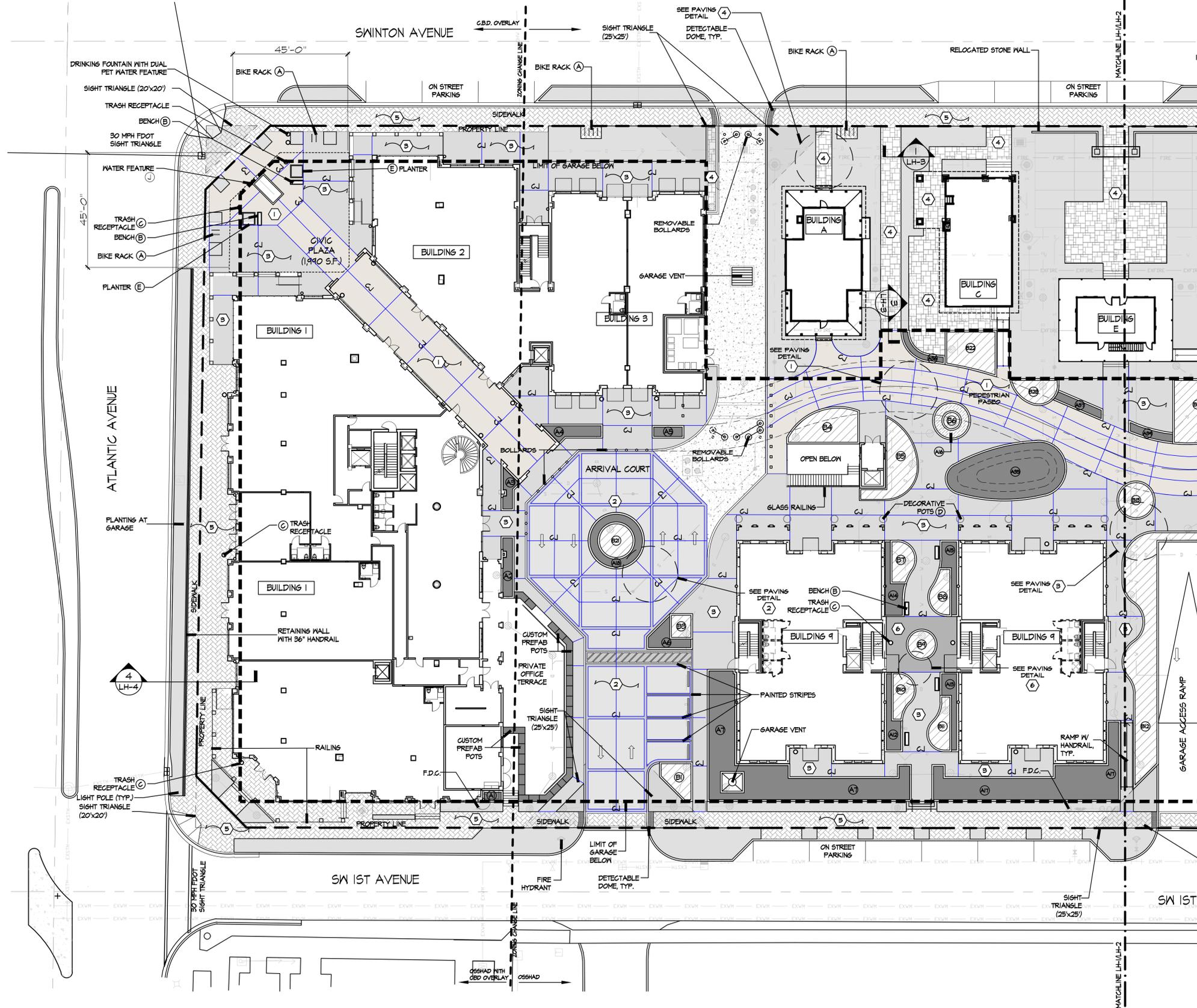
**MAY, 2023**  
DATE  
**J.R.**  
DRAWN BY:  
**M.J.**  
APPROVED BY:

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**LH-0**



LOCATION MAP  
N.T.S.



**HARDSCAPE LEGEND**

	4' HT. RAISED PLANTER (ABOVE GARAGE SLAB)
	2' HT. RAISED PLANTER (ABOVE GARAGE SLAB)
	AT GRADE PLANTING
	WATER FEATURE

NOTE: SEE SHEET LH-4 FOR PAVING DETAILS

**KEY**

	CJ CONTROL JOINT, SEE DETAIL 2/LH-3
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**SUNDY VILLAGE**  
(F.K.A. MIDTOWN DELRAY)  
DELRAY BEACH, FLORIDA  
HARDSCAPE PLAN NORTH

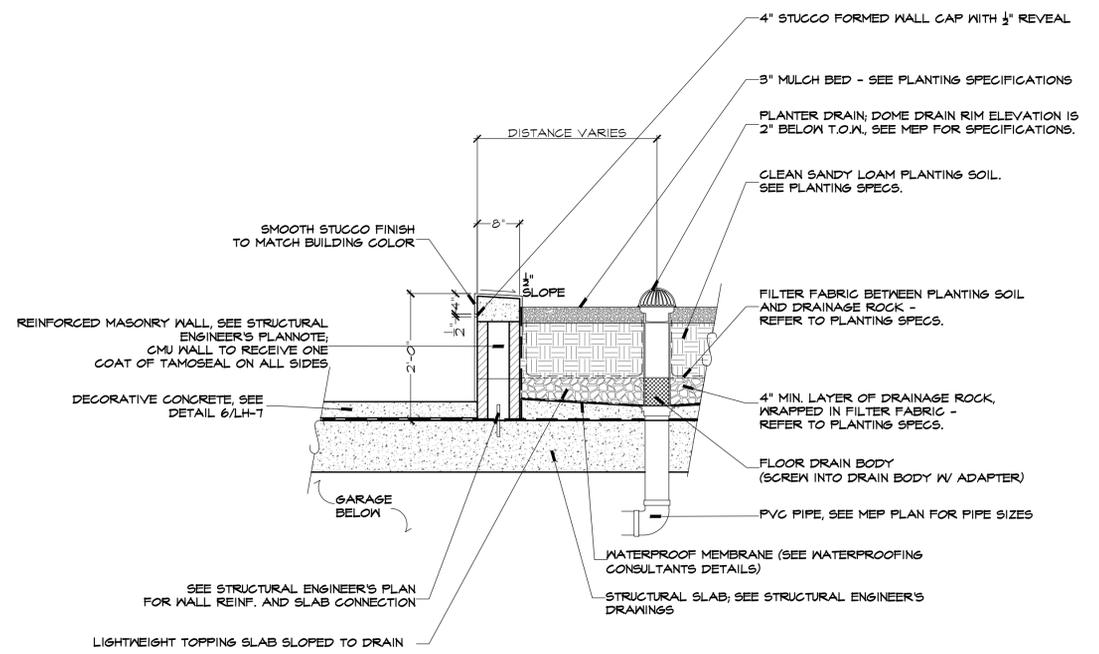
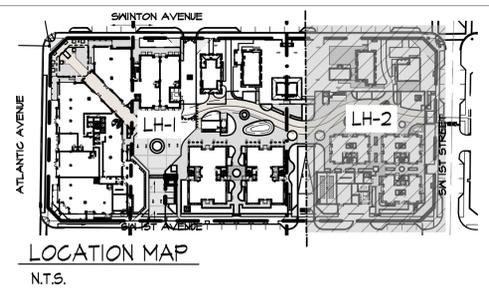
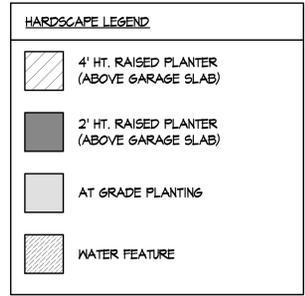
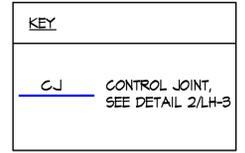
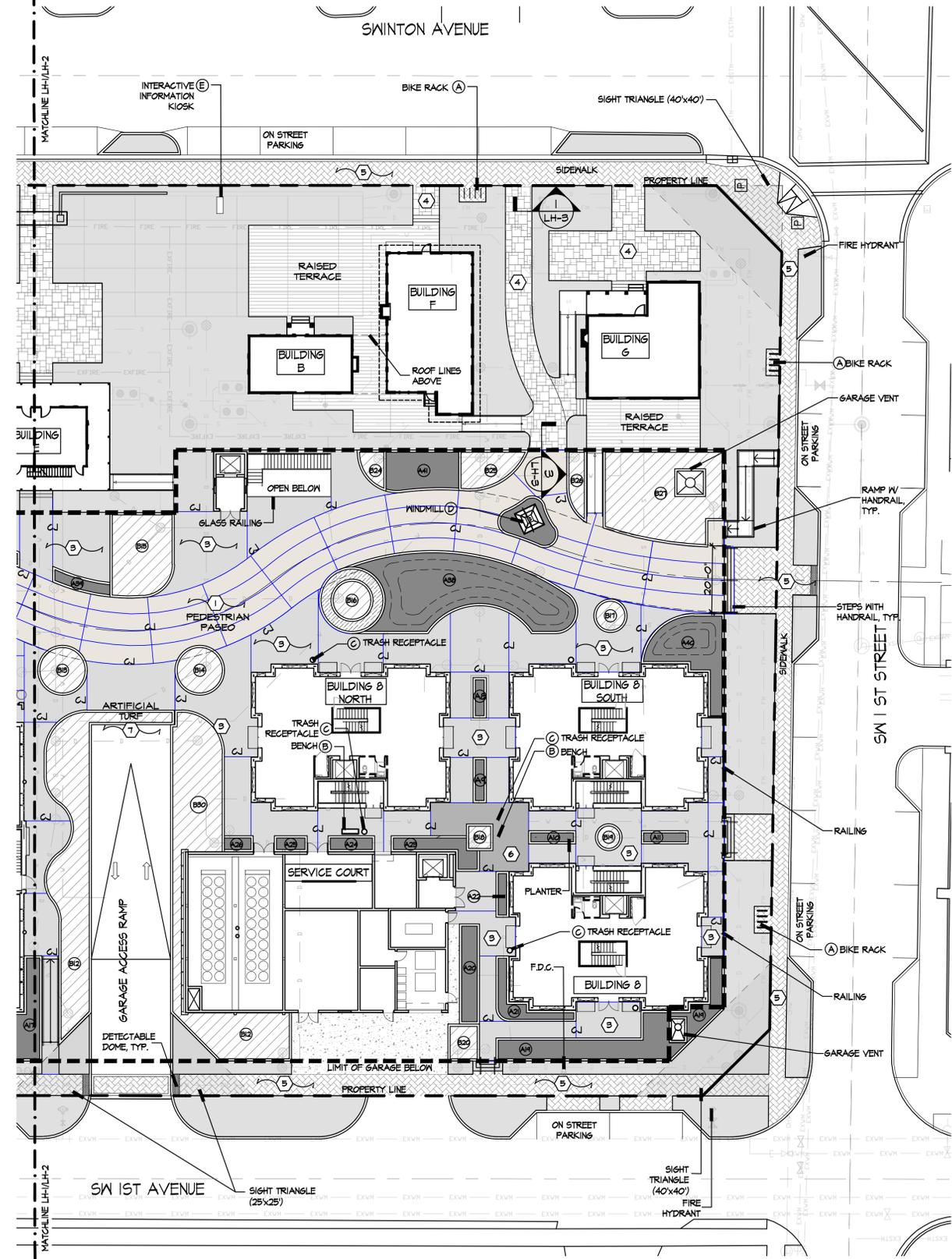
**REVISIONS:**

FEBRUARY 2024
APRIL 2024

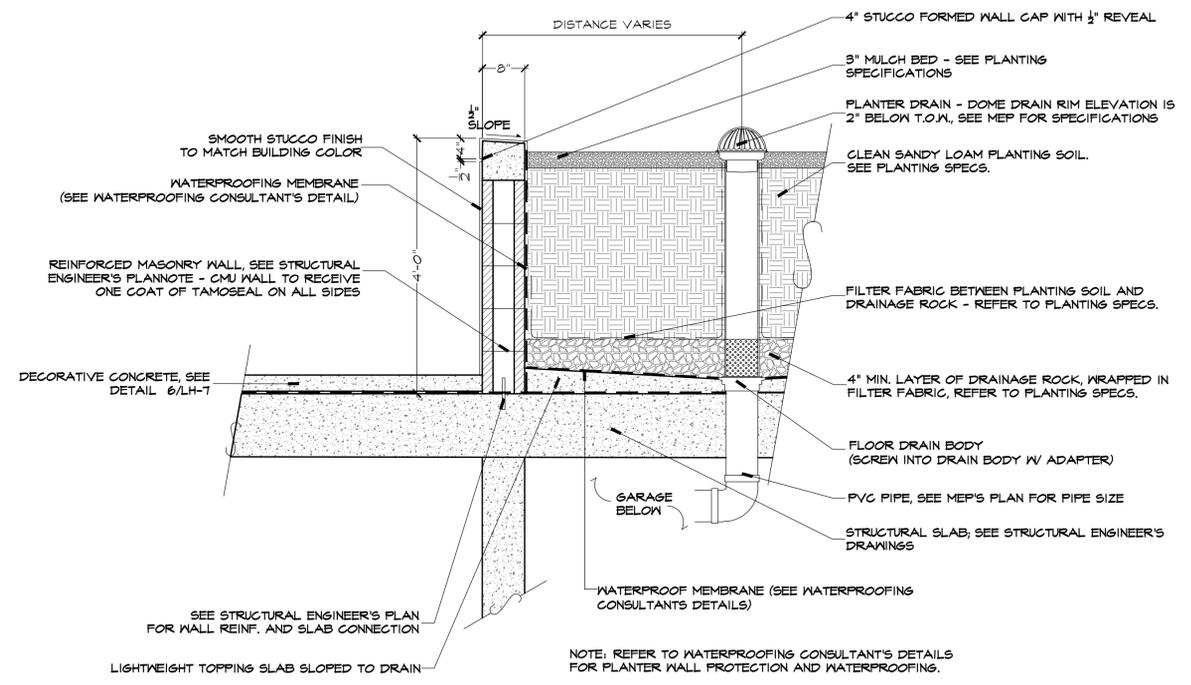
MAY, 2023  
DATE  
J.R.  
DRAWN BY:  
M.J.  
APPROVED BY:

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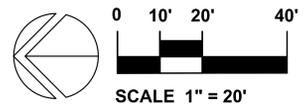
**LH-1**



1 2' HT. RAISED PLANTER  
LH-2 SCALE: 3/4"=1'-0"



2 4' HT. RAISED PLANTER  
LH-2 SCALE: 3/4"=1'-0"



**SUNDY VILLAGE**  
(F.K.A. MIDTOWN DELRAY)  
DELRAY BEACH, FLORIDA  
HARDSCAPE PLAN SOUTH

REVISIONS:

FEBRUARY 2024
APRIL 2024

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**A** BIKE RACK  
 LANDSCAPE FORMS  
 LOOP BIKE RACK (14' X 36' X 31')  
 COLOR: METALLIC SILVER



**B** BENCH  
 LANDSCAPE FORMS  
 PARK VIEW BENCH WITH BACK (26' X 36' X 12' L.)  
 COLOR: SILVER METALLIC



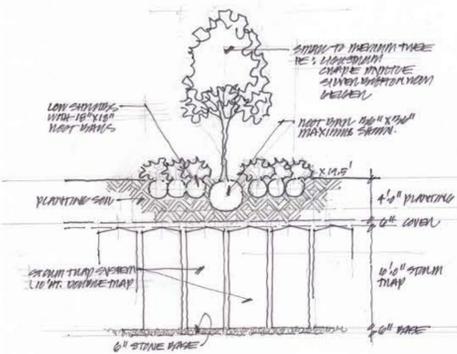
**C** TRASH RECEPTACLE  
 LANDSCAPE FORMS  
 CHASE PARK LITTER, SIDE OPEN (24' X 34')  
 COLOR: SILVER METALLIC



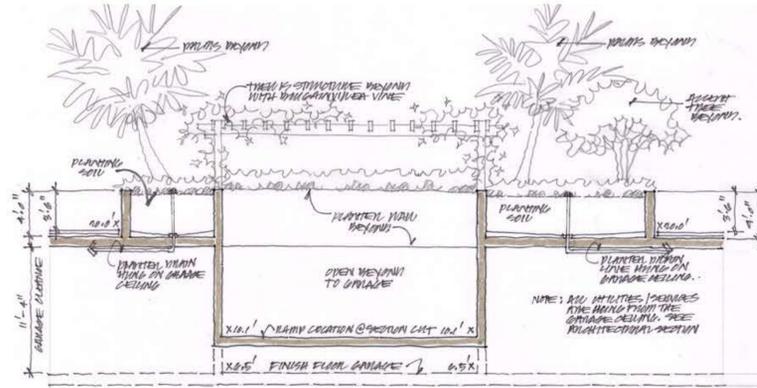
**D** WINDMILL  
 HISTORIC WINDMILL



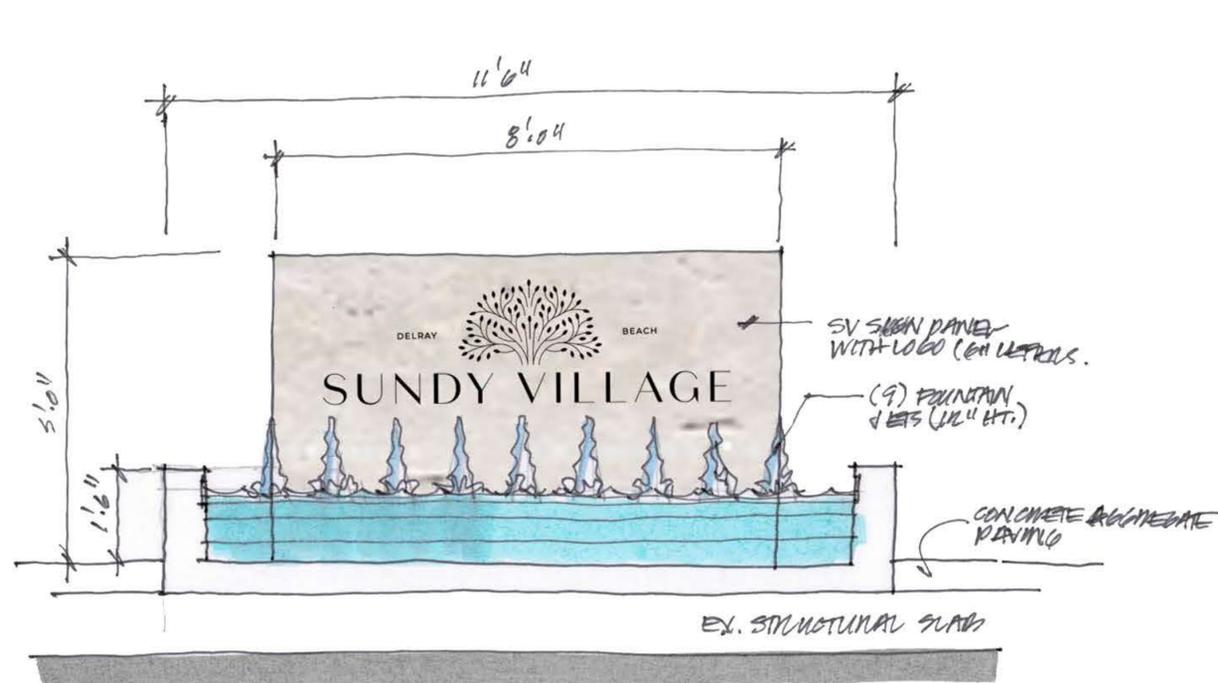
**E** DIRECTIONAL KIOSK



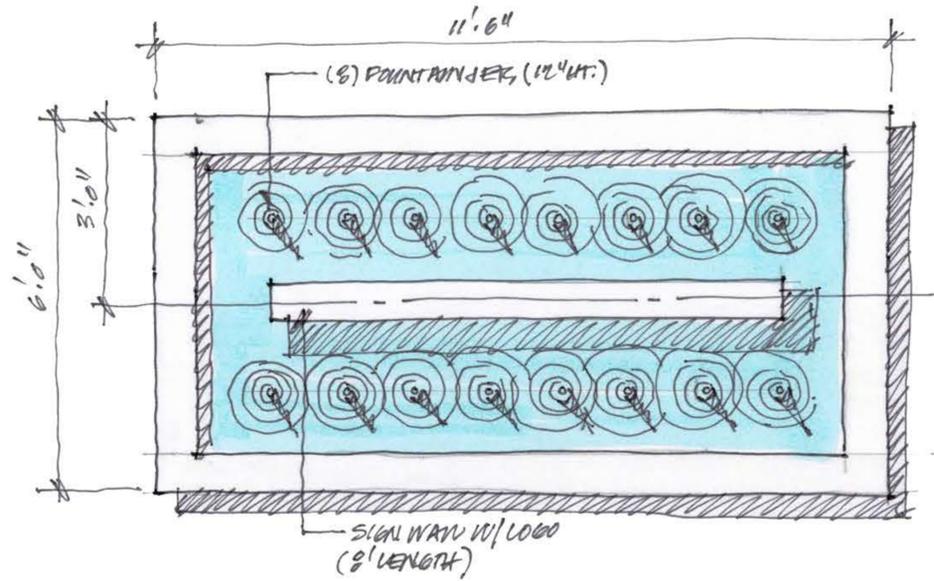
**H** SECTION THROUGH STORM TRAP DRAIN SYSTEM  
 SCALE: 1/4" = 1'-0"



**I** SECTION THROUGH RAMP TO GARAGE  
 SCALE: 1/4" = 1'-0"



**J** WATER FEATURE  
 SCALE: 1/8" = 1'-0"



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**SUNNY VILLAGE**  
 (F.K.A. MIDTOWN DELRAY)  
 DELRAY BEACH, FLORIDA  
 HARDSCAPE PAVING DETAILS

REVISIONS:
FEBRUARY 2024
APRIL 2024

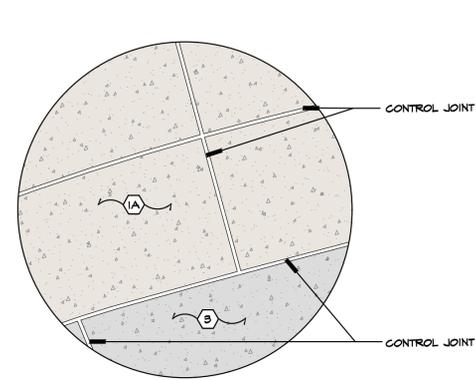
MAY, 2023  
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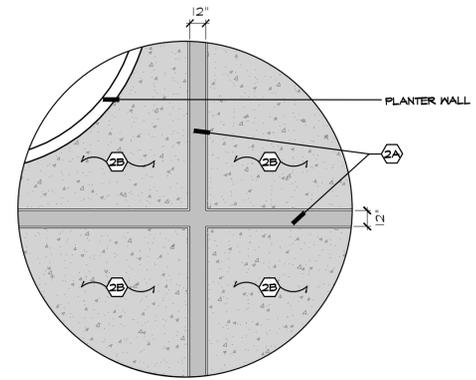
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**1 PEDESTRIAN PROMANADE**  
SCALE: N.T.S.

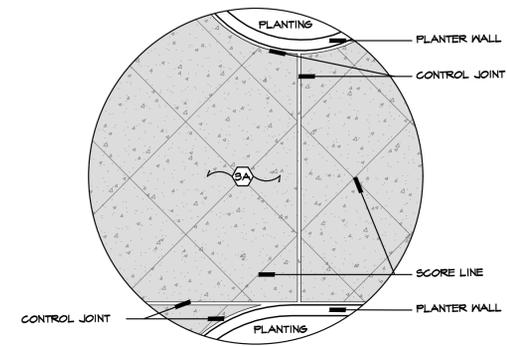
**1A** FIELD: 2.5" - 3" POURED IN PLACE CONCRETE WITH SHELL AGGREGATE FINISH  
COLOR: U-26 LANON STONE, GRANULAR INTEGRAL COLOR BY SIKACOLOR-1206



**2 ARRIVAL COURT**  
SCALE: N.T.S.

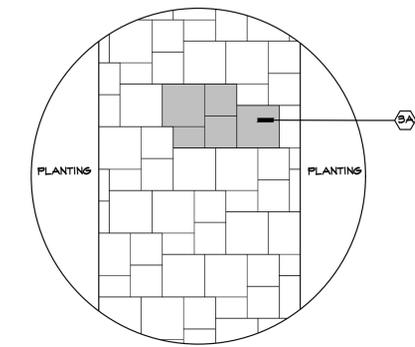
**2A** BAND: 2.5" - 3" POURED IN PLACE CONCRETE  
COLOR: U-20 SMOKE GREY, GRANULAR INTEGRAL COLOR BY SIKACOLOR-1206

**2B** FIELD: 2.5" - 3" POURED IN PLACE CONCRETE WITH SHELL AGGREGATE FINISH.  
COLOR: U-20 SMOKE, GRANULAR INTEGRAL COLOR BY SIKACOLOR-1206



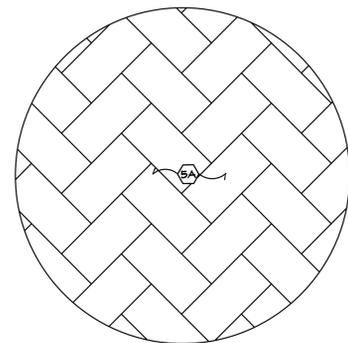
**3 WALKWAYS**  
SCALE: N.T.S.

**3A** FIELD: 2.5" - 3" POURED IN PLACE CONCRETE WITH SHELL AGGREGATE FINISH.  
COLOR: U-20 SMOKE, GRANULAR INTEGRAL COLOR BY SIKACOLOR-1206



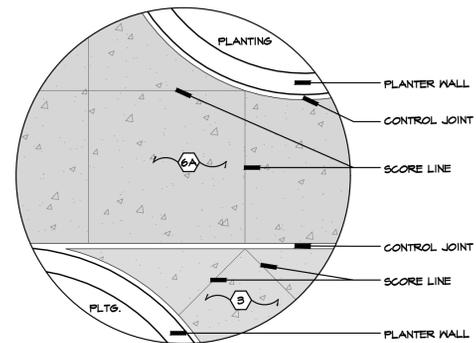
**4 WALKWAYS**  
SCALE: N.T.S.

**4A** FIELD: CORALLOCK PAVERS BY ARTISTIC PAVERS (WWW.ARTISTICPAVERS.COM)  
8" X 12", 12" X 12", 16" X 16" ASHLAR PATTERN  
COLOR: IVORY, SEE PAVER SECTION DETAIL 2, LH-3



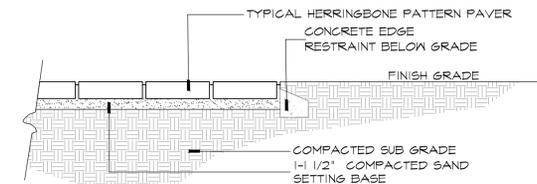
**5 SIDEWALKS**  
SCALE: N.T.S.

**5A** FIELD: 4" X 8" HERRINGBONE PATTERN  
COLOR: RED/CHARCOAL MIX  
SEE PAVER SECTION AT GRADE DETAIL 1, LH-3

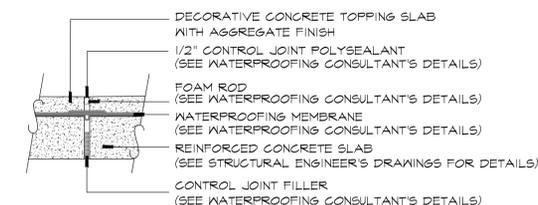


**6 PLAZA**  
SCALE: N.T.S.

**6A** FIELD: 2.5" - 3" POURED IN PLACE CONCRETE WITH SHELL AGGREGATE FINISH.  
COLOR: LIGHT/MEDIUM GRAY (T.B.D)

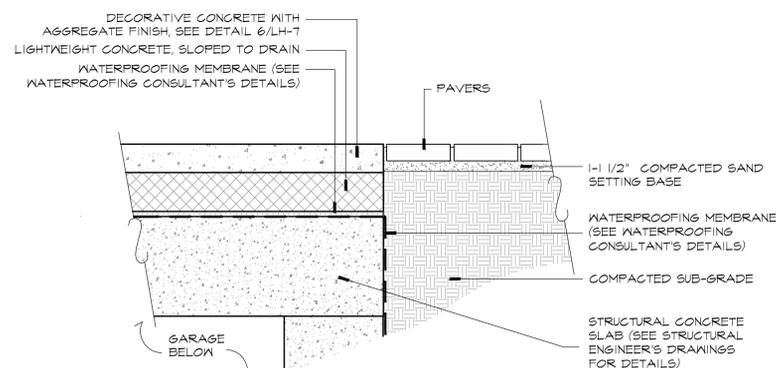


**1 PAVER SECTION DETAIL SIDEWALK AT GRADE**  
LH-4 SCALE: 1"=1'-0"

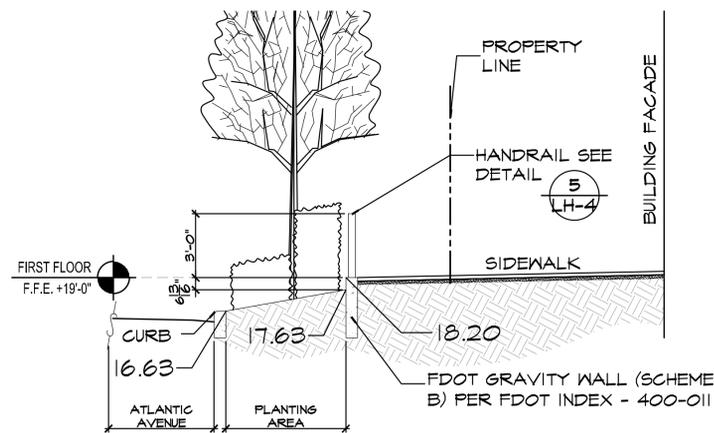


**2 TYPICAL CONTROL JOINT DETAIL**  
LH-4 SCALE: 1-1/2"=1'-0"

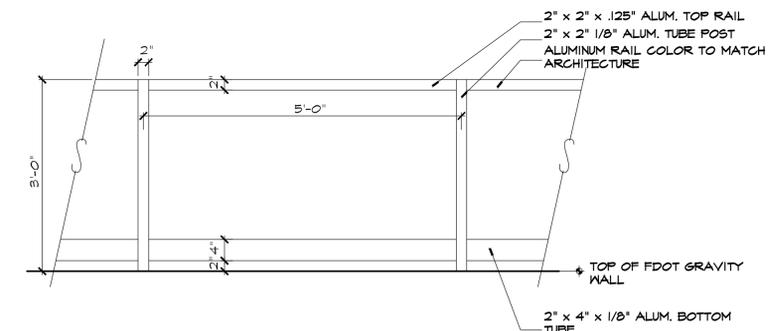
NOTE: FOR ALL PAVERS, SEE MANUFACTURER SPECIFICATIONS FOR INSTALLATION DETAILS.



**3 PAVER/ CONCRETE DECK TRANSITION DETAIL**  
LH-4 SCALE: 1"=1'-0"

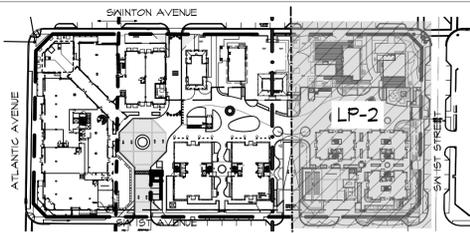


**4 FDOT R.O.W. PLANTING SECTION**  
LH-4 SCALE: 1/4"=1'-0"



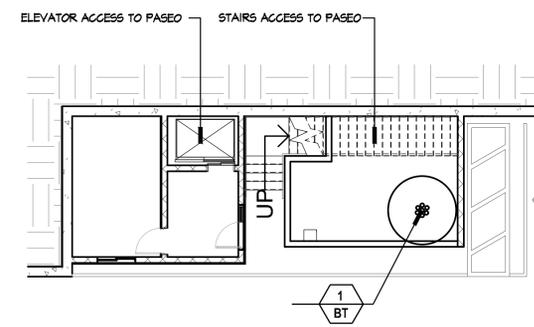
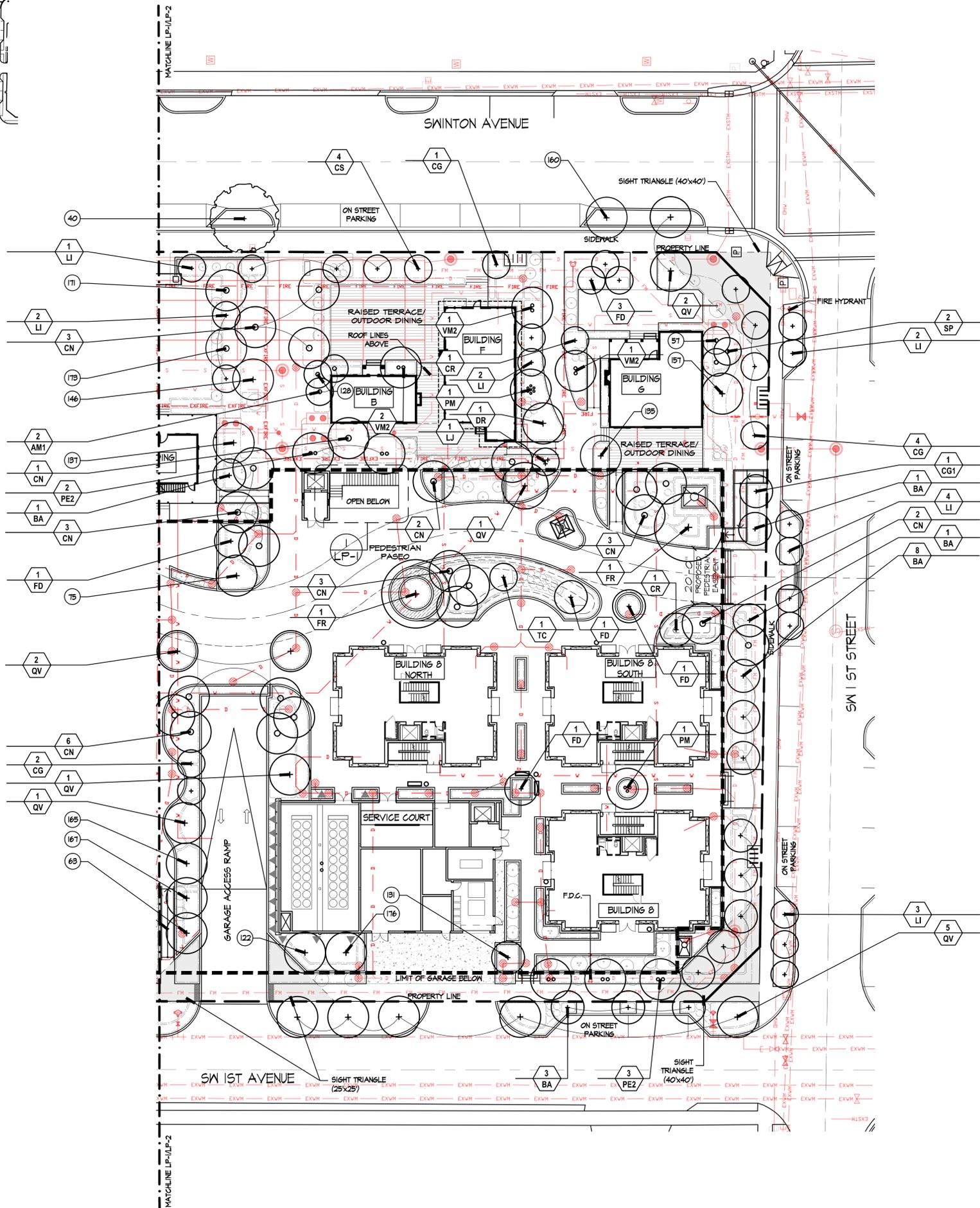
**5 HANDRAIL ELEVATION**  
LH-4 SCALE: 3/4"=1'-0"





LOCATION MAP  
N.T.S.

# RELOCATED TREE, SEE TREE DISPOSITION PLANS



LP-1 GARAGE PLANTER SOUTH  
SCALE: 1"=10'-0"



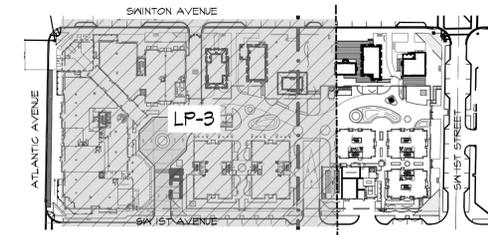
**SUNDY VILLAGE**  
(F.K.A. MIDTOWN DELRAY)  
DELRAY BEACH, FLORIDA  
LANDSCAPE TREE PLAN SOUTH

REVISIONS:

FEBRUARY 2024
APRIL 2024

MAY, 2023  
DATE  
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M.J.  
APPROVED BY:

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LOCATION MAP  
N.T.S.



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**SUNDY VILLAGE**  
(F.K.A. MIDTOWN DELRAY)  
DELRAY BEACH, FLORIDA  
LANDSCAPE SHRUB PLAN NORTH

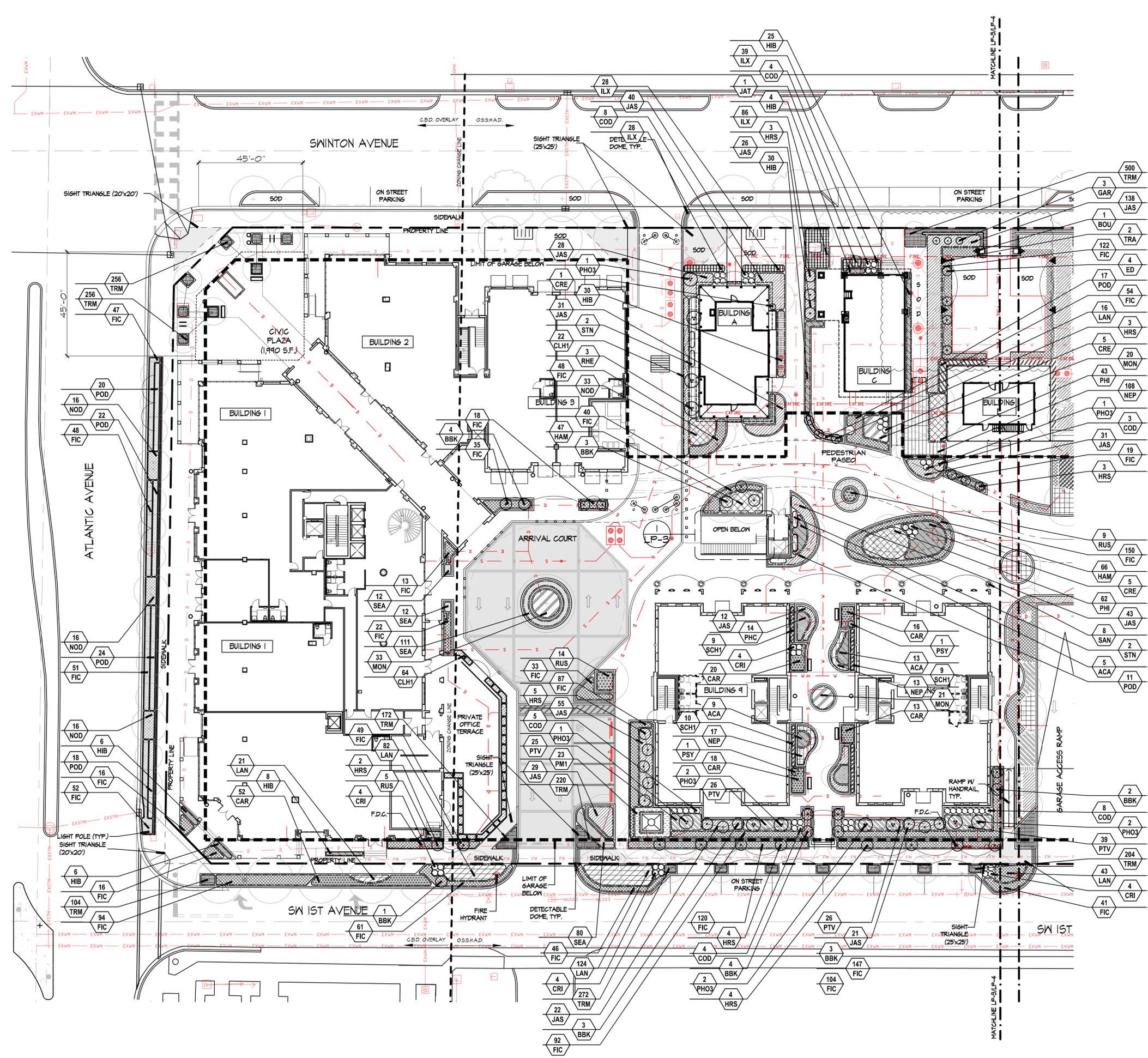
REVISIONS:

FEBRUARY 2024
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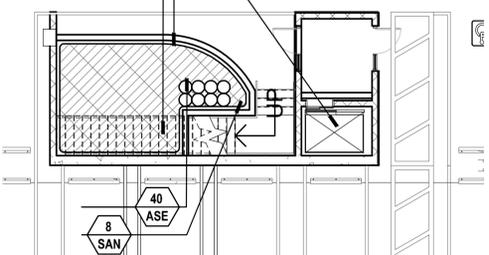
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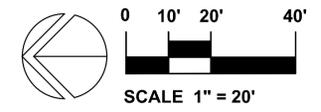
**LP-3**

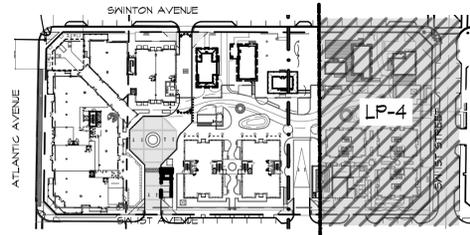


ELEVATOR ACCESS TO PASEO  
RAISED PLANTER  
STAIRS ACCESS TO PASEO

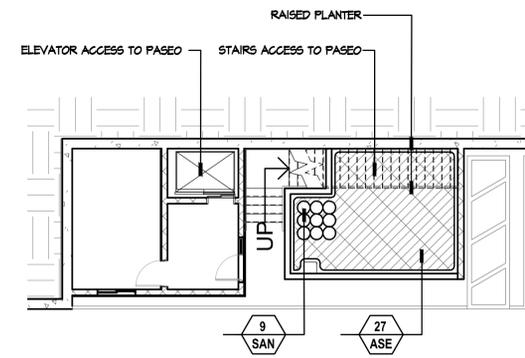
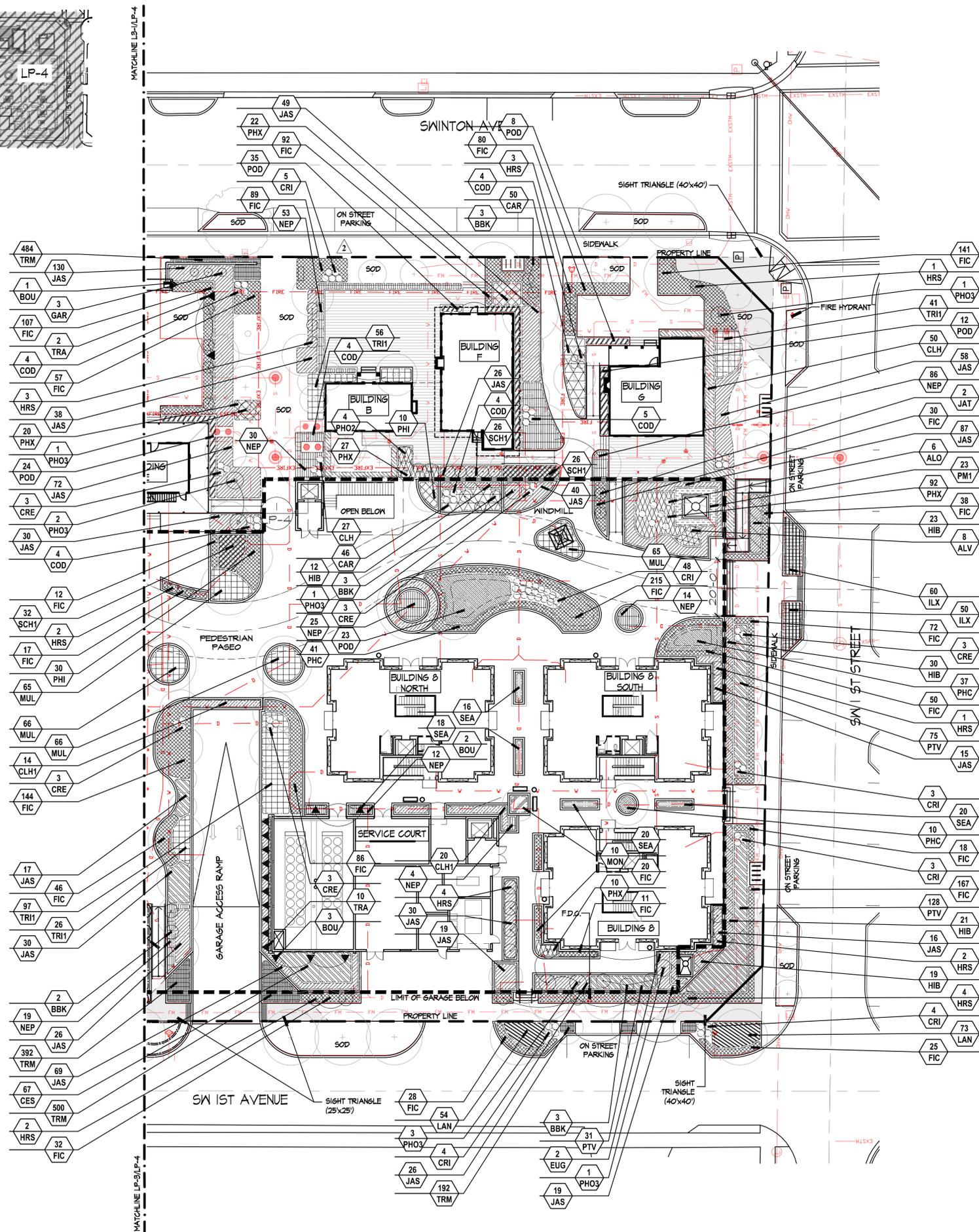


① GARAGE PLANTER NORTH  
SCALE: 1"=10'-0"

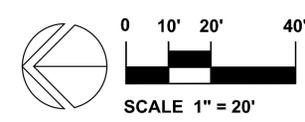




LOCATION MAP  
N.T.S.



1 GARAGE PLANTER SOUTH  
LP-4 SCALE: 1"=10'-0"



SCALE 1" = 20'

**SUNDY VILLAGE**  
(F.K.A. MIDTOWN DELRAY)  
DELRAY BEACH, FLORIDA  
LANDSCAPE SHRUB PLAN SOUTH

REVISIONS:

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PLANT LIST															
TREES															
KEY	QTY. TOTAL	LP-1	LP-2	LP-3	LP-4	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CAL. INCHES	CLEAR TRUNK	CONDITION NOTE	REMARKS	NATIVE	DROUGHT TOLERANCE	TOTAL MITIGATION CALIBER INCH PALM
BA	24	10	14	-	-	Bulnesia arborea Verawood	16'	6-7'	4	5-6'		Full canopy		HIGH	96"
BS	2	-	-	-	-	Bursera simaruba Gumbo Limbo	18-20'	8-9'	6	6-7'		Full canopy	X	HIGH	12"
CA	6	6	-	-	-	Calophyllum brasiliense Brazilian Beautyleaf	18-20'	8-9'	6	6-7'		Full canopy		HIGH	36"
CG1	13	12	1	-	-	Caesalpinia granadillo Bridal Veil	16-18'	8-9'	5	6-8'		Full canopy		MODERATE	65"
OG	8	2	6	-	-	Caesalpinia granadillo Bridal Veil	12-14'	7-8'	2.5	5-6'		Full canopy		MODERATE	20"
CR	3	1	2	-	-	Clusia rosea Pitch Apple	16'	7-8'	4	5-6'		Specimen, Full canopy	X	HIGH	12"
CS	7	3	4	-	-	Conocarpus e. 'Sericeus' Silver Buttonwood	16'	5-6'	4	5-6'		Specimen, Full canopy	X	HIGH	28"
DR	1	-	1	-	-	Delonix Regia Royal Poinciana	18-20'	8-9'	6	6-7'		Specimen, Full canopy		HIGH	6"
FD	11	4	7	-	-	Filicium decipiens Japanese Fern Tree	15-16'	7-8'	3.5	5-6'		Full canopy Baled & Burlaped		MODERATE	38.5"
FR	3	1	2	-	-	Ficus rubiginosa Rusty Fig	20-22'	14-16'	6	8-9'		Specimen, Full canopy		MODERATE	18"
LI	20	6	14	-	-	Lagerstroemia indica Crepe Myrtle	16'	6-7'	4	6-7'		Full canopy Multi-trunk	X	MODERATE	80"
ML	2	2	-	-	-	Monoon longifolium Mast Tree	16-18'	3-4'		N/A		Full to base		MODERATE	0"
QV	35	20	12	-	-	Quercus virginiana Live Oak	18-20'	8-9'	6	6-8'		Full canopy	X	HIGH	210"
TC	2	1	1	-	-	Tabebuia chrysothicha Yellow Tabebuia	13-14'	8-9'	3	5-6'		Full canopy Baled & Burlaped		HIGH	6"

ORNAMENTAL TREES NOT PART OF THE LANDSCAPE REQUIREMENTS															
ED	9	-	-	4	5	Elaeocarpus decipiens Japanese Blueberry	8'			N/A	Full to base	Cone Shape		MODERATE	0"
LJ	1	-	1	-	-	Ligustrum japonicum Wax Privet	8-9'	7-8'		3-4'		Full canopy Multi-trunk		MODERATE	0"

PALMS														
KEY	QTY. TOTAL	LP-1	LP-2	LP-3	LP-4	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CLEAR TRK	CONDITION NOTE	REMARKS	NATIVE	DROUGHT TOLERANCE	TOTAL MITIGATION CALIBER INCH PALM
AM1	2	-	2	-	-	Adonidia merillii Christmas Palm	16' o.a.				Full Heads		HIGH	2 palms
BT	2	1	1	-	-	Bambusa spp. TBD.	20-24'	10-12'			Multi-trunk Clumping		MODERATE	0 palms
CN	29	7	22	-	-	Coccoa nucifera 'Green Malay' Green Malaysian Coconut Palm			10-15' feet of wood as noted on plan		Stagg. Ht. groups, Full Heads, 1-1 palm		HIGH	29 palms
PE1	13	13	-	-	-	Ptychosperma elegans Alexander Palm			12'		Full heads 3-1 palm		MODERATE	13 palms
PE2	11	8	3	-	-	Ptychosperma elegans Alexander Palm			12-14'		Full heads Double, 3-1 palm		MODERATE	11 palms
PM	2	-	2	-	-	Ptychosperma macarthuri MacArthur Palm	20-24'		12-16'		Full heads 3-1 palm		MODERATE	2 palms
RE	1	1	-	-	-	Royalstonia elata Royal Palm	10-12' of grey wood				Full heads	X	MODERATE	1 palm
SP	2	-	2	-	-	Sabal palmetto Cabbage Palm			12-16'		Staggered ht. groups 3-1 palm, regenerated heads	X	HIGH	2 palms
VM	3	3	-	-	-	Veitchia montgomeryana Veitchia Palm			18-20'		Full Heads Double Trunk		HIGH	3 palms
VM2	4	2	2	-	-	Veitchia montgomeryana Veitchia Palm			12-16'		Full Heads Double Trunk		HIGH	4 palms

SHRUBS & GROUND COVERS (REQUIRED PER SEC. 4.6.16 (E))													
KEY	QTY. TOTAL	LP-1	LP-2	LP-3	LP-4	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CLEAR TRK	SPA	REMARKS	NATIVE	DROUGHT TOLERANCE
CES	67	-	-	-	67	Conocarpus e. 'Sericeus' Silver Buttonwood Shrubs	24"	18"		2' o.c.	Full cont.	X	HIGH
FIC	3004	-	-	1427	1577	Ficus microcarpa 'Green Island' Green Island Ficus Shrub	24"	24"		18" o.c.	Full cont.		MODERATE
MUL	262	-	-	-	262	Muhlenbergia capillaris Muhley Grass	12"	12"		18" o.c.	Full cont.	X	HIGH
NEP	381	-	-	138	243	Nepenthes exaltata Boston Fern	18"	18"		2' o.c.	Full cont. 7 gal. cont.	X	MODERATE
PSY	2	-	-	2	-	Psychotria nervosa Wild Coffee	24"	18"		2' o.c.	Full cont. 7 gal. cont.	X	HIGH
TR1	256	-	-	38	220	Tripsacum dactyloides 'Dwarf' Dwarf Fakahatchee Grass	24"	18"		2' o.c.	Full clump	X	HIGH

\*NOTES:  
 - (3) OAK AND (2) GUMBO LIMBO TREES TO BE PLANTED OFF-SITE, LOCATION TO BE COORDINATED WITH THE CITY STAFF.

LANDSCAPE CALCULATIONS				
SECTION - 4.6.16 (H)(3)(G)				
INTERIOR GREEN SPACE REQUIRED:	REQUIRED	PROVIDED		
10% OF TOTAL PAVED AREA USED FOR PARKING AND ACCESSWAYS TOTAL PAVED AREA USED FOR PARKING AND ACCESSWAYS: 61,189 S.F.	6,119	35,281	SF	
SECTION - 4.6.16 (H)(3)(H)				
INTERIOR SHADE TREE REQUIRED:	REQUIRED	PROVIDED		
1/125 SF OF REQUIRED INTERIOR GREEN SPACE (6,119 / 125 = 49 TREES)	49	49	TREES	
SHADE TREES PROVIDED:				
(6) BRAZILIAN BEAUTYLEAF (15) LIVE OAK (3) RUSTY FIG (16) VERAWOOD (9) RELOCATED/REMAIN TREES #3, #24, #29, #138, #140, #141				
SECTION - 4.6.16 (E)				
SHRUBS AND GROUND COVER REQUIRED:	REQUIRED	PROVIDED		
	3,069	3,991		
SECTION - 4.6.16 (D)				
NATIVE PLANT MATERIAL REQUIRED:	REQUIRED	PROVIDED		
25% OF REQUIRED SHRUBS AND GROUND COVERS TO BE NATIVE (3,069 x 25% = 768 SHRUBS AND GROUND COVERS)	768	942		
SECTION - 4.6.16 (D)				
NATIVE TREES/PALMS REQUIRED:	REQUIRED	PROVIDED		
50% OF REQUIRED TREES TO BE NATIVE (49 x 50% = 25 TREES/PALMS)	25	32	TREES	
NATIVE TREES PROVIDED:				
(2) CREPE MYRTLE (2) GUMBO LIMBO (3) PITCH APPLE (7) SILVER BUTTONWOOD				
TOTAL NUMBER OF STREET TREES:				
NORTH ATLANTIC AVE:	12	TREES		
[CAESALPINIA GRANADILLO]				
EAST SWINTON AVE:	10	TREES		
[LIVE OAKS, RELOCATED/REMAIN TREES #36, #38, #40, #160]				
SOUTH SW 1ST STREET:	9	TREES		
[CREPE MYRTLE (RTRP)]				
WEST SW 1ST AVE:	23	TREES		
[LIVE OAK, VERAWOOD]				
TOTAL PROVIDED	54	TREES		

ADDITIONAL SHRUBS													
KEY	QTY. TOTAL	LP-1	LP-2	LP-3	LP-4	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CLEAR TRK	SPA	REMARKS	NATIVE	DROUGHT TOLERANCE
ACA	27	-	-	-	27	Acalypha wilkesiana Copper Leaf	24"	18"		2' o.c.	Full cont.		MODERATE
ALV	8	-	-	-	8	Alpinia z. 'variegata' Variegated Shell Ginger	30"	30"			Full clump		MODERATE
BOU	7	-	-	1	6	Bougainvillea B. K. Bougainvillea vine	7-8' runners				15 gal. cont. 'magenta'		HIGH
BBK	31	-	-	20	11	Bougainvillea 'Barbara Karst' Barbara Karst Bougainvillea Standard	4-5'	2-3'			Full cont., tree std 15 Gallon 'Purple'		HIGH
CLH	77	-	-	-	77	Clusia guifera Small Leaf Clusia	36"	24"	full to base	2' o.c.	Full cont.		HIGH
CLH1	120	-	-	86	34	Clusia guifera Small Leaf Clusia	6"	20-22"	full to base		Full cont. 25 gal. cont.		HIGH
COD	61	-	-	36	25	Codiaeum variegatum Croton 'Pebba'	24"	18"			7 gal. cont. Accent Plant		HIGH
CRE	28	-	-	11	15	Crinum asiaticum 'Queen Emma' Crinum Lily	30"	30"			Full Clump		MODERATE
CRI	83	-	-	16	67	Crinum asiaticum Crinum Lily	30"	30"			Full Clump		MODERATE
EUG	6	-	-	-	6	Eugenia 'Cone' Topkay Cone	48"	24"	full to base		Cone Shape		MODERATE
GAR	6	-	-	3	3	Garcinia spicata Mangosteen Tree	5'	2-3'			Tree standard		MODERATE
HIB	214	-	-	109	105	Hibiscus rosa-sinensis Orange Hibiscus	18"	18"		2' o.c.	Full cont. Orange Flower		MODERATE
HRS	22	-	-	-	22	Hibiscus R.S. 'Anderson Grape' Weeping Fig 'Pink'	5-6'	3-4'			Full canopy		MODERATE
JAT	3	-	-	1	2	Jatropha integrifolia Jatropha	5-6'	4-5'	multi-trunk		Full cont., Accent Tree		MODERATE
MON	84	-	-	74	10	Monstera deliciosa Swiss Cheese Plant	24"	24"			Full cont.		MODERATE
NOD	81	-	-	81	-	Nerium oleander 'dwarf' Dwarf Oleander	24"	18"		2' o.c.	Full cont.		HIGH
PHC	112	-	-	24	88	Philodendron 'Rajo Congo' Congo Ryojo	24"	18"			Full cont. 10 gal. cont.		MODERATE
PHI	145	-	-	105	40	Philodendron selloum Split Leaf Philodendron	36"	36"			Full clump 7 gal. cont.		MODERATE
PHO2	4	-	-	-	4	Phoenix roebelinii 'Triple' Pygmy Date Palm	5-6'		3.5' of wood		Double Trunk Full Heads		MODERATE
PHO3	18	-	-	-	9	Phoenix roebelinii 'Triple' Pygmy Date Palm	5-6'		3.5' of wood		Triple Trunks Full Heads		MODERATE
PHX	171	-	-	-	171	Philodendron 'Xanadu' Dwarf Philodendron	24"	16"		2' o.c.	Full clump 7 gal. cont.		MODERATE
PM1	46	-	-	23	23	Podocarpus macrophyllus 'Column' Japanese Yew Column	5'	24-30"		Full cont.	Full to base		HIGH
POD	214	-	-	112	102	Podocarpus macrophyllus Japanese Yew	36"	24"		Full cont.	Full to base		HIGH
PTV	350	-	-	116	234	Pittosporum L. 'variegata' Variegated Pittosporum	24"	18"		2' o.c.	Full cont. 7 gal. cont.		MODERATE
RHE	3	-	-	3	-	Rhapis excelsa Lady Palm	6-7'	4'			Full clump 25 gal.		MODERATE
RUS	28	-	-	28	-	Russelia equisetiformis Firecracker	18"	18"		2' o.c.	Full cont.		MODERATE
SAN	25	-	-	16	9	Sanseveria trifasciata Snake Plant	24"	12"			10 gal. Full cont.		HIGH
SCH	96	-	-	38	58	Schefflera arboricola 'variegata' Variegated Schefflera	18"	18"		2' o.c.	Full cont.		HIGH
STN	4	-	-	4	-	Strelitzia nicotai White Bird of Paradise	10-12'	6-8'			Full Clump		HIGH
TRA	14	-	-	2	12	Trachelospermum jasminoides Confederate Jasmine	6-7'				Trellis Grown, 15 gal. cont.		MODERATE

ADDITIONAL GROUND COVERS													
KEY	QTY. TOTAL	LP-1	LP-2	LP-3	LP-4	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CLEAR TRK	SPA	REMARKS	NATIVE	DROUGHT TOLERANCE
ALO	6	-	-	-	6	Alocasia odora Elephant Ear	24"	24"			Full cont.		MODERATE
ASE	74	-	-	40	34	Aspidistra elatior Cast Iron Plant	18"	18"		30" o.c.	Full cont.		MODERATE
CAR	215	-	-	119	96	Carissa macrocarpa Natal Plum	12"	12"		2' o.c.	Full cont.		MODERATE
HAM	113	-	-	113	-	Hamelia patens 'dwarf' Firebush	18"	18"		2' o.c.	Full cont.		HIGH
ILX	319	-	-	209	110	Ilex vomitoria 'Nana' Dwarf Yaupon Holly	12"	12"		18" o.c.	Full cont.		HIGH
JAS	1288	-	-	491	797	Jasminum volubile Wreath Jasmine	18"	18"		2' o.c.	Full cont.		MODERATE
LAN	413	-	-	286	127	Lantana 'Camara' Yellow Lantana	10-12"	10-12"		18" o.c.	Full Clump		MODERATE
SEA	289	-	-	215	74	Seasonal color - qty. to fill areas shown on plan;			variety and color to be selected				LOW
TRM	352	-	-	1984	1568	Trachelospermum asiaticum 'Minima' Asian Jasmine	4-6"	4-6"		6" o.c.	1 gal. cont. Full cont.		MODERATE

MISCELLANEOUS

- Sod to be St. Augustine sod.
- Planting soil - 1/2 cu. yd. per tree and 4" depth at all hedges and mass planting beds.
- Sand - Palms to be planted in clean sand; 1/2 cu. yd. per palm.
- Mulch - 3" depth of shredded "dark brown" hybrid mulch B grade or better at all hedges and mass planting beds.

GENERAL NOTES

- PER LDR SEC. 4.4.13(E)(2)(B)(5)  
The property owner shall be required to enter into a maintenance agreement, in a form acceptable to the City Attorney, requiring the property owner to be responsible for
- All trees or palms installed in nodes within a right-of-way shall maintain a four foot offset from the face of the curb. All shrubs and ground covers shall be maintained
- All sod to be Stenotaphrum secundatum "Flor-tam", St. Augustine solid sod.
- Any pervious area to remain that is disturbed by construction and not indicated on landscape plans to have shrubs or groundcovers shall be sodded.
- All plant materials shall conform to the standards for Florida No. 1 or better as given in "Grades and Standards for Nursery Plants", State of Florida Department of Agriculture, Tallahassee, or thereto. Refer to the latest edition
- All trees shall be properly guyed and staked at the time of planting to ensure proper establishment.
- The planting soil for all planting areas shall be composed of a minimum of 30% muck or horticulturally acceptable organic material. The minimum soil depth shall be four inches in all hedges and mass planting beds and 1/2 cu. yd. per tree. Palms to be planted in clean sand.
- Three inches minimum of shredded "dark brown" hybrid mulch shall be installed around each tree and palm and throughout mass planting beds, the use of Cypress mulch is prohibited.
- Irrigation system to provide 100% coverage to landscaped areas with 50% overlap. Irrigation to be an automatic system with a rain gauge/moisture sensor shut-off.
- For trees designated for preservation, protective barriers shall be in place prior to the start of any construction and shall remain in place until development is completed and the Planning and Zoning Division has authorized their removal.
- The relocation of any tree and necessary tree pruning must conform to ANSI A-300 Standards.
- In case of discrepancies, planting plan takes precedence over plant list.
- Landscape contractor is responsible for his own quantity take-offs.



landscape architects and planners

**GENERAL PLANTING SPECIFICATIONS:**

**1. Scope:**

The work includes furnishing all plants, materials, equipment and labor necessary for planting of plant materials indicated on the drawings and in these specifications. A list of plants is attached to these specifications.

**2. Plant Materials & Protection:**

- A. All plant materials shall be nursery grown unless otherwise noted.
  - **Spread (or Spc.):** Indicates average spread to midpoint of current season's growth.
  - **Height (or O.A.):** Indicates overall height from top of ball to midpoint of current season's growth.
  - **C.T.:** Indicates clear trunk measurement from top of ball to first branching (see tree & Palm Planting Diagrams).
  - **Measure of Wood (or Measure of Hard Grey Wood):** Indicates measurement of Palms from top of ball to top of solid trunk before start of frond stalks or green/boots. (See Palm Planting Diagram)
- B. **Quantities:** All quantities indicated on the plant list are intended as a guide for the bidders and does not relieve the bidder of the responsibility to do a comprehensive plant take off. Should a discrepancy occur between the bidder's take off and the plant list quantity, the Architect/Landscape Architect is to be notified for clarification prior to the submission of bids.
- C. **Quality and Sizes:** Plants shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured with branches in normal position. Pruning (Section IV.1) should not reduce acceptable size and shape of tree, and should be done after acceptance of Architect/Landscape Architect. Requirements for measurements, branching, grading, quality, baling and burlapping of plants in the plant list generally follow the code of standards currently recommended by the American Association of Nurserymen, Inc., in the American Standard for Nursery Stock. Plant materials shall be graded Fancy No.1 or better as outlined under U.A.E. Grades & Standards for nursery plants, plants that meet the requirements specified, but do not have the normal balance of height and spread typical for the respective plant, shall not be accepted. All plant material to be healthy, pest and disease free.
- D. **Substitution:** Plant substitution requests by the Contractor will be considered by the Architect/Landscape Architect only upon submission of proof that any plant is not obtainable in the type or size specified. The Landscape Architect shall determine the nearest equivalent replacement in an obtainable size and variety. The unit price of the substitute item shall not exceed the bid item replaced, without approval of the Owner.

**E. Protection of Plants:**

- 1. **Root Protection**
  - A. **Balled and Burlapped Plants (B & B)** shall be dug with natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap or similar materials and bound with twine, cord, or wire mesh. All collected plants shall be balled and burlapped.
  - B. **Container Grown Plants:** Plants grown in containers will be accepted as B & B, providing that all other specified requirements are met. Container grown plants shall meet plant sizes as specified on the plant list and on the plans, and shall not be governed by container sizes. Minimum root balls or container grown material shall be no more than 25% less proportionately in size than that stated in "Grades & Standards" for nursery plants. These plants shall have been grown in the container for a maximum of two years prior to installation and shall exhibit a fully developed root system when removed from the container.
- 2. **Protection During Transporting:** All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.
- 3. **Protection After Delivery:** Plants which cannot be planted immediately upon delivery to the site shall be covered with moist soil, mulch, or other protection from the drying of wind and sun. All plants shall be watered as necessary until accepted. Storage period shall not exceed seventy-two (72) hours.
- 4. **Protection of Palms:** Only a minimum of fronds shall be removed from the crown of the palm trees to facilitate moving and handling. Clear trunk (C.T.) shall be as specified after the minimum of fronds have been removed. Coconut palms shall be "hard" trees grown in marl or sand. Cabbage palm buds shall be tied with a biodegradable cord to be left in place until the tree is well established in its new location. All palms shall be triple braced and staked with new, clean lumber at least 6" in length to resist tree displacement.
- 5. **Protection During Planting:** Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of other approved methods.

**3. Materials:**

- A. **Commercial Fertilizer:** Commercial fertilizer shall be organic fertilizer containing nitrogen, phosphoric acid and potash in equal percentages, 6-6-6 with micro nutrients. Nitrogen shall be not less than 50% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall not be acceptable. The following shall be sterilized, certified and free of seeds:
  - B. **Peat:** Peat shall be horticultural peat composed of not less than 60% decomposed organic matter by weight, on an oven dried basis. Peat shall be delivered to the site in a workable condition, free from lumps.
  - C. **Planting Soil:** Planting soil for all plantings shall be sandy loam and shall contain a 25% minimum amount of decomposed organic matter. There must be a slight acid reaction to the soil with no excess of calcium carbonate. Planting soil shall be free from clay, stones, plants, roots, and other foreign materials which might be a hindrance to planting operations or be detrimental to good plant growth and shall be delivered in a loose friable condition and applied in accordance with the planting specifications and details.
  - D. **Mulch:** Mulch material to be shredded "dark brown" hybrid mulch B grade or better, moistened at time of installation to prevent wind displacement. Alternate mulch material may be noted elsewhere in these drawings.
  - E. **Drainage Stone (when applicable):** Drainage stone shall be gravel or crushed stone reasonably free of sharp edges - 1/2"-1 1/2" in diameter - as required in the bottom of raised planters.
  - F. **Filter Fabric (when applicable):** Filter fabric, as required between gravel and soil in planters to be Densit "Filter-fabric" (800)888-4664 or equal.

**4. Planting Operations:**

- A. **Soil Preparation:** All existing soil and new fill/berms shall be treated with an approved weed killer such as "Round Up" according to manufacturer's specifications.
- B. **Layout:** Location for plants and outlines of areas to be planted are indicated on the drawings. All plant locations shall be staked in the field by the Contractor, to the satisfaction of the Architect/Landscape Architect. Where construction or utilities below ground or overhead are encountered or where changes have been made in the construction, necessary adjustments will be approved by the Architect/ Landscape Architect.
- C. **Excavation for Planting:** Excavation of holes shall extend to the required sub-grades as specified hereunder. Plant pits shall be circular in outline and shall have a profile which conforms to the "Typical Tree and Shrub Planting Details" (attached). The minimum depth of plant pits excavated below shall be measured from the finishing grade. Shrub planting beds shall be "bed-prepared" and not "pit-prepared".
- D. **Balled and Burlapped Plants:** After final setting, loosen wrappings of balled and burlapped plants and roll wrappings back from top of ball, leaving ball unbroken. Cut off excessive amounts of burlap and remove in sufficient quantity to eliminate creation of voids upon decomposition.
- E. **Container Grown Plants:** Container grown plants shall, when delivered, have sufficient root growth to hold earth intact when removed from container. They shall not be root bound. Containers shall be removed to prevent damage to plant or root system according to diagrams (attached). Plant pits for container materials shall be formed flat on the bottom to avoid air pockets at the bottom of root balls.
- F. **Pit Sizes:** Minimum diameter (width) and depth of planting pits for balled and burlapped, and container grown plants shall be as follows:
  - Diameter-Trees: 18" greater than diameter of ball or spread of roots.
  - Diameter-Shrubs: 6" greater than diameter of ball or spread of roots.
  - Depth-Trees and Shrubs: 4" greater than depth of ball or roots to provide 4" of topsoil backfill under the root ball. (Large, heavy trees and shrubs shall sit directly on excavated pit bottom to prevent settlement)
  - Depth-Vines and Ground Covers: Fits shall be large enough for adequate planting.

**G. Backfilling:**

When pit has been excavated as specified in Paragraph IV-C, the pit shall be backfilled with material as specified in Paragraph III. A, B, C, D, and IV. B and shown in the Typical Tree and Shrub diagrams (attached).

**H. Setting Trees and Shrubs:**

Unless otherwise specified, all trees and shrubs shall be planted in pits, centered and set on four inches (4") of compacted topsoil to such depths that the finished grade level of the plant after settlement shall be the same as that at which the plant was grown. They shall be planted upright and faced to give the best appearance or relationship to adjacent structures. No burlap shall be pulled out from under the balls. Platforms, wire and surplus binding from top and sides of the balls shall be removed. All broken or frayed roots shall be cut off cleanly. Soil shall be placed and compacted thoroughly avoiding injury and shall be settled by watering. No filling around trunks will be permitted. After the ground settles, additional soil shall be filled in, to the level of the finished grade, allowing for two inches (2") of mulch. Form a shallow saucer around each plant by placing a ridge of soil along the edge of the plant pit.

**I. Setting Palms:**

All palms shall be planted in sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two inches (2") deep with topsoil raked and left in a neat, clean manner.

**J. Pruning - New Plant Material:**

Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as is practicable. Make all cuts with sharp instrument flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. "Sloped" cuts at right angles to line of growth will not be permitted. Trees shall not be poled or topped. Remove trimmings from site.

**K. Guying Trees:**

(See Typical Tree Planting Diagram Included herein.) Guy all trees 1 1/2 inches in caliper and greater, in three directions with two strands of No. 12 galvanized wire attached to approved anchors driven below grade. When securing wires to trees, cover all wires which may come in contact with any part of tree with new rubber hose. Place guys not less than 1/3 of the height of tree above finished grade and above substantial limbs (one inch [1"] in diameter or more), if possible. All hoses shall be interlocked around tree trunk. Place anchors so that guys are equally spaced and at 45 degree angles to horizon. Keep guys tight until project completion.

**L. Mulching:**

All trees and shrub beds shall be mulched immediately after planting to a three inch (3") depth. Prevent wind displacement of mulch by thoroughly wetting down.

**M. Excess Excavated Soil:**

Excess excavated soil shall be disposed of by the Contractor at no additional expense to the Owner, at Owner's discretion.

**N. Relocated Material (when applicable):**

Existing material shown on the plan to be relocated shall be root-pruned as far ahead of time as necessary to move them safely, and shall be protected and treated as new material, as previously specified. Planting shall be in accord with these specifications.

**O. Disposition of Existing Material:**

All existing plant material not shown as remaining or relocated shall be removed from the site at no additional cost to the Owner, at Owner's discretion.

**5. Sod**

- A. **Soil:** The Landscape Contractor shall submit a unit price per cubic yard for the supply and distribution of planting soil as herein before specified, to be applied at a depth of one inch (1"), to all areas receiving sod. (The use of this one inch (1") of soil shall be at the discretion of the Architect/Landscape Architect after evaluation of the existing soil on the site.)
- B. **Grades:** It shall be the responsibility of the Landscape Contractor to finish (fine) grade all landscape areas, eliminating all bumps, depressions, sticks, stones and other debris to the satisfaction of the Architect/Landscape Architect.
- C. The sod shall be as called for on the landscape plans. Sod shall be of firm tough texture, having a compact growth of grass with good root development, and shall contain no weeds or any other objectionable vegetation. The soil embedded in the sod shall be good earth, free from stones and debris and all sod shall be free from fungus, vermin and other diseases.
- D. Before being cut and lifted, the sod shall have been moved at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.
- E. Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface. It shall be the responsibility of the Contractor to bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas. If, in the opinion of the Architect/Landscape Architect, top-dressing is necessary after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in.

**6. Clean-up:**

Any soil, peat or similar material which has been brought onto any paved areas shall be removed promptly keeping these areas clean as the work progresses. Upon completion of the planting, all excess soil, stones and debris which has not been previously cleaned up shall be removed from the site or disposed of as directed by the Architect/Landscape Architect.

**7. Maintenance:**

- A. Maintenance shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance by the Owner. Maintenance shall include watering, weeding, cultivating, removal of dead materials, resetting plants to proper grades or upright position and restoration of the planting saucer and any other necessary operations. Proper protection to lawn areas and existing plant materials shall be provided and any damage resulting from planting operations shall be repaired promptly.
- B. The Contractor shall deep-water all trees and shrubs for a period of ninety (90) days after planting. In the event an irrigation system is operable, Contractor shall see that adequate water is supplied for that period.

**8. Inspection and Acceptance:**

- A. **Inspection:** Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the written request of the Contractor.
- B. **Acceptance:** After inspection, the Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

**9. Guarantee and Replacement:**

- A. **Guarantee:** The Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod for a period of ONE YEAR from the time of final acceptance by the Owner. All plant materials shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of guarantee period. Where vandalism is agreed by the Architect/ Landscape Architect as the cause for replacement, the Contractor shall not be responsible for replacement during the one-year guarantee after final acceptance. Sod shall be guaranteed for a THREE MONTH period, dating from the time of acceptance.
- B. **Replacement:** During guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Architect/Landscape Architect, shall be replaced within two weeks of notification by the Architect/Landscape Architect. The Contractor shall be responsible for the full replacement cost of plant materials.
- C. **Material and Operations:** All replacements shall be plants of the same kind and size as specified in the plant list. They shall be furnished and planted as specified herein.

**10. Care and Maintenance Schedule:**

- A. The Contractor shall furnish the Owner's Maintenance staff with a written and detailed description for the care and maintenance of all plant materials and irrigation systems at the time of final inspection. Contractor will also provide a one year Landscape Maintenance Contract, to take effect after Substantial Completion of the project. It will be in the Owner's discretion to accept or reject this contract.

**11. Permits and Regulations:**

- A. The Contractor shall give all notices and comply with all laws, ordinances, rules and regulations bearing on the conduct of this work as drawn and specified.

**12. Protection of Work and Property:**

- A. The Contractor shall continuously maintain adequate protection of all his work from damage and theft and shall protect the Owner's property from injury and loss arising in connection with this contract, making good any such loss or injury or damage except where caused by Owner or his agents. He shall adequately provide and maintain passageways, guard fences, lights and other protections required by public authority according to State, Federal and local ordinances.
- B. The Contractor shall provide protection for existing trees and other plant material as designated by drawings, by Owner's representative or by local authorities. Such protection shall consist of fencing or such devices as will prevent harm to material from excavation, breakage, chemical or other types of damage.
- C. A competent superintendent, foreman or workman capable of reading drawings and acting on behalf of the Contractor shall be kept on the work during its progress.

**13. Changes In The Work:**

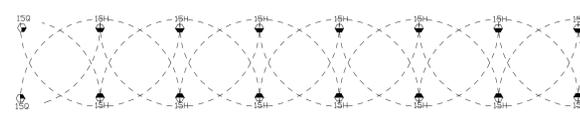
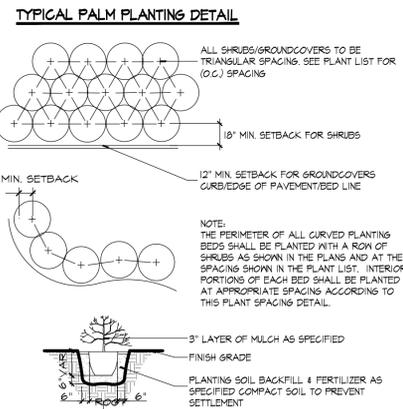
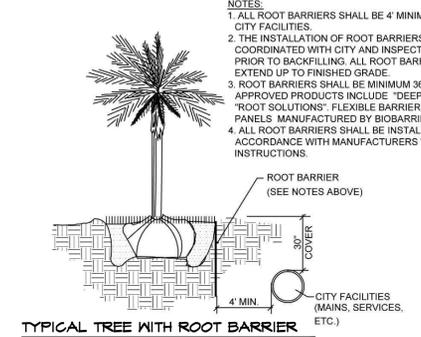
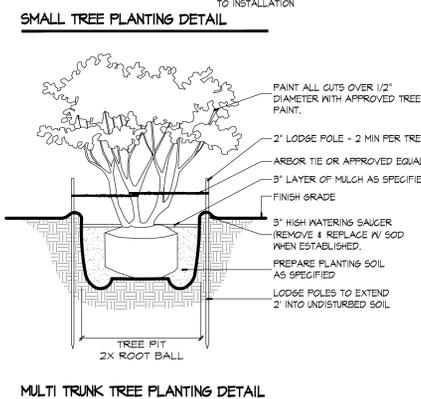
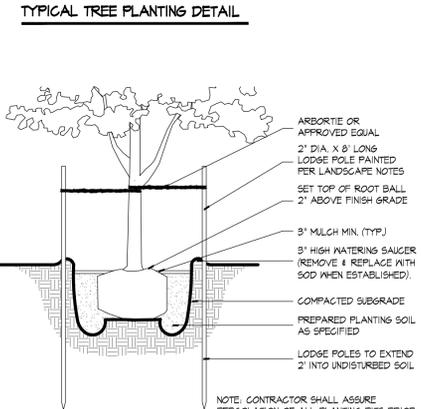
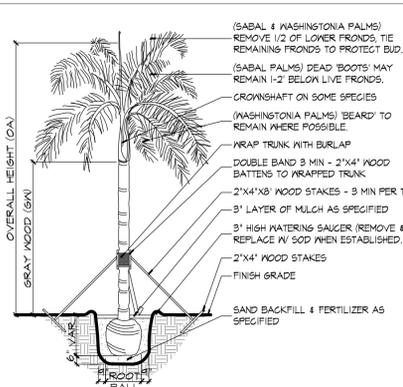
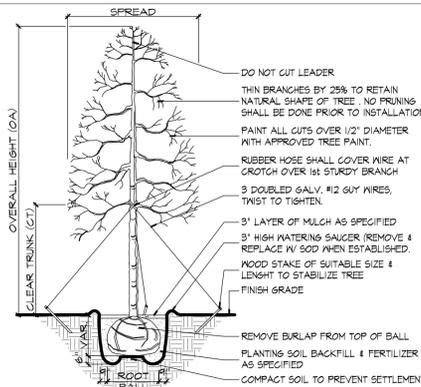
- A. The Contractor shall conduct a soil survey of the site to determine the need for any additives to overcome severe conditions not met by normal planting soil requirements. A report of any problems shall be submitted to the Owner and the Architect/Landscape Architect for approval prior to installation, along with a cost break-down of additional services needed.
- B. The Contractor shall advise the Owner and Landscape Architect of any special site conditions (high water table, light or soil conditions, etc.) that might require change of plant material or adjustment to finish elevation shown. The Owner will approve any changes thus determined.

**14. Landscape Architect:**

- A. The Landscape Architect is the author of the design and agents for its execution. When his services are used by the Owner for supervision, he shall act impartially between the Owner and Contractor and shall have authority to reject all work and materials which do not conform to the contract. All decisions of the Landscape Architect shall be final. The Contractor shall remove from the site all materials considered not up to specifications by the Landscape Architect and replace with suitable materials.

**15. Obstructions:**

- A. The Contractor shall acquaint himself with the existence and location of all surface and subsurface structures, utilities and installations before commencing any work, and shall avoid any disturbance or damage to them throughout the course of the work. Repairs to any utilities, subsurface structures and installations and surface obstructions damaged by the Contractor shall be at the Contractor's own time and expense.



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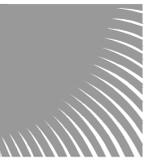
**SUNDY VILLAGE**  
(F.K.A. MIDTOWN DELRAY)  
DELRAY BEACH, FLORIDA  
PLANTING SPECIFICATIONS & DETAILS

**REVISIONS:**

FEBRUARY 2024
APRIL 2024

MAY, 2023  
DATE  
J.R.  
DRAWN BY:  
M.J.  
APPROVED BY:

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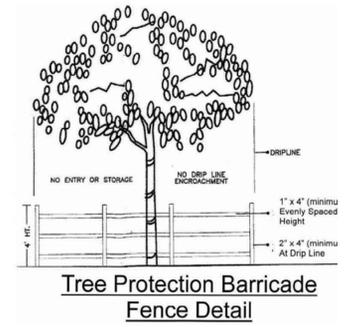
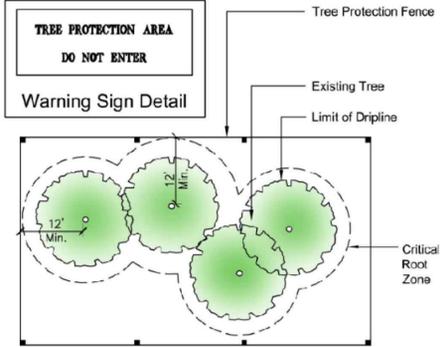
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**SUNDY VILLAGE**  
(F.K.A. MIDTOWN DELRAY)  
DELRAY BEACH, FLORIDA  
**TREE DISPOSITION PLAN - EXISTING ON-SITE**

REVISIONS:	TAC
09-14-2021	COMMENTS
APRIL 2024	

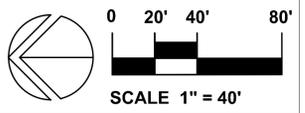
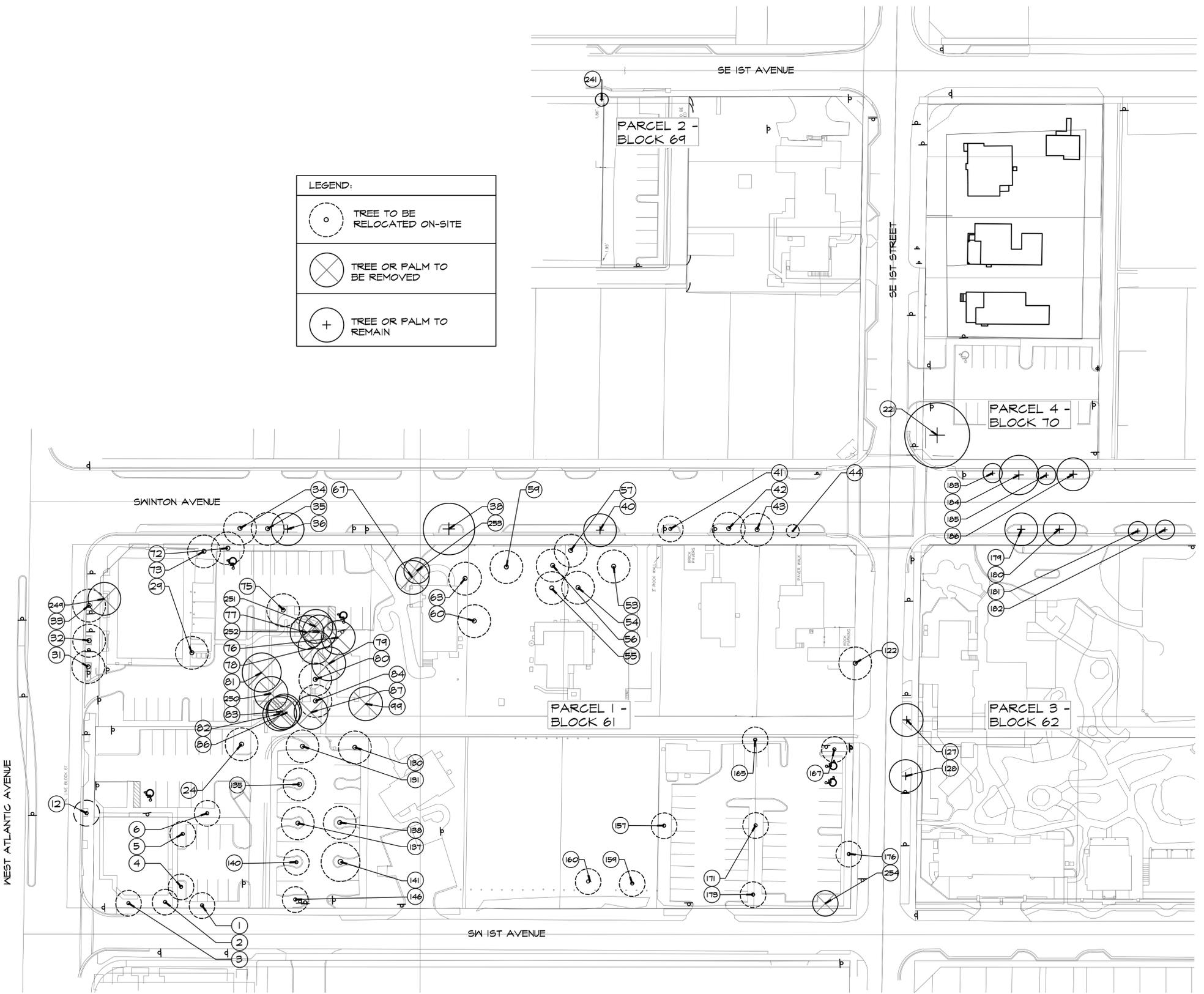
**MAY, 2023**  
DATE  
**J.R.**  
DRAWN BY:  
**M.J.**  
APPROVED BY:

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**LEGEND:**

	TREE TO BE RELOCATED ON-SITE
	TREE OR PALM TO BE REMOVED
	TREE OR PALM TO REMAIN



**TD-1**

### TREE DISPOSITION CHART

#### PRESERVE / REMAIN ON-SITE

LOCATION	Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
BLOCK 61*	36	Southern Live Oak	Quercus virginiana	N/A	N/A	12.75	65%	Remain
BLOCK 61*	38	Southern Live Oak	Quercus virginiana	N/A	N/A	26.5	65%	Remain
BLOCK 61*	40	Southern Live Oak	Quercus virginiana	N/A	N/A	18.5	60%	Remain
BLOCK 62	127	Spanish Cherry Tree	Mimusops elengi	N/A	N/A	6	50%	Remain
BLOCK 62	179	Southern Live Oak	Quercus virginiana	N/A	N/A	17	60%	Remain
BLOCK 62	180	Southern Live Oak	Quercus virginiana	N/A	N/A	17	60%	Remain
BLOCK 70	184	Southern Live Oak	Quercus virginiana	N/A	N/A	14	50%	Remain
BLOCK 70	186	Southern Live Oak	Quercus virginiana	N/A	N/A	15.5	40%	Remain
BLOCK 70	221	Ficus	Ficus spp.	N/A	N/A	60	75%	Remain
LOCATION	Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
BLOCK 62	128	Christmas Palm	Adonidia merrillii	N/A	N/A	0	75%	Remain
BLOCK 62	181	Coconut Palm	Cocos nucifera	N/A	N/A	0	75%	Remain
BLOCK 62	182	Coconut Palm	Cocos nucifera	N/A	N/A	0	75%	Remain
BLOCK 69	241	Montgomery Palm	Veitchia montgomeryana	N/A	N/A	0	60%	Remain
BLOCK 70	183	Coconut Palm	Cocos nucifera	N/A	N/A	0	75%	Remain
BLOCK 70	185	Coconut Palm	Cocos nucifera	N/A	N/A	0	75%	Remain

#### RELOCATION ON-SITE

LOCATION	Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating	Comments
BLOCK 61*	1	Southern Live Oak	Quercus virginiana	N/A	N/A	12	45%	Relocate Off-Site
BLOCK 61*	2	Southern Live Oak	Quercus virginiana	N/A	N/A	14	65%	Relocate Off-Site
BLOCK 61*	3	Southern Live Oak	Quercus virginiana	N/A	N/A	12	90%	Relocate On-Site
BLOCK 61*	4(T)	Southern Live Oak	Quercus virginiana	N/A	N/A	12	50%	Relocate On-Site
BLOCK 61*	5	Southern Live Oak	Quercus virginiana	N/A	N/A	12	70%	Relocate Off-Site
BLOCK 61*	6(T)	Southern Live Oak	Quercus virginiana	N/A	N/A	12	45%	Relocate On-Site
BLOCK 61*	12	Southern Live Oak	Quercus virginiana	N/A	N/A	8	65%	Dead / Mitigate
BLOCK 61*	24	Green Buttonwood	Conocarpus erectus	N/A	N/A	12	60%	Poor / Mitigate
BLOCK 61*	29	Gumbo Limbo	Bursera simaruba	N/A	N/A	10	50%	Relocate On-Site
BLOCK 61*	32	Southern Live Oak	Quercus virginiana	N/A	N/A	12	50%	Dead / Mitigate
BLOCK 61*	33	Southern Live Oak	Quercus virginiana	N/A	N/A	12	65%	Dead / Mitigate
BLOCK 61*	53	Lychee	Litsea chinensis	N/A	N/A	14	50%	Dead / Mitigate
BLOCK 61*	54	Lychee	Litsea chinensis	N/A	N/A	14	50%	Dead / Mitigate
BLOCK 61*	55	Lychee	Litsea chinensis	N/A	N/A	14	45%	Dead / Mitigate
BLOCK 61*	56	Starfruit Tree	Averrhoa carambola	N/A	N/A	6	50%	Poor / Mitigate
BLOCK 61*	59	Lychee	Litsea chinensis	N/A	N/A	14	60%	Dead / Mitigate
BLOCK 61*	60(T)	Southern Live Oak	Quercus virginiana	N/A	N/A	12	65%	Relocate Off-Site
BLOCK 61*	63(T)	Gumbo Limbo	Bursera simaruba	N/A	N/A	8	70%	Relocate On-Site
BLOCK 61*	73	Sapodilla	Manilkara zapota	N/A	N/A	10	50%	Dead / Mitigate
BLOCK 61*	75	Floss Silk Tree	Cela speciosa	N/A	N/A	16	60%	Relocate On-Site
BLOCK 61*	80	Sapodilla	Manilkara zapota	N/A	N/A	6	65%	Poor / Mitigate
BLOCK 61*	84	Sapodilla	Manilkara zapota	N/A	N/A	8	50%	Poor / Mitigate
BLOCK 61*	122	Gumbo Limbo	Bursera simaruba	N/A	N/A	12	70%	Relocate On-Site
BLOCK 61*	131	Gumbo Limbo	Bursera simaruba	N/A	N/A	12	65%	Relocate On-Site
BLOCK 61*	135	Gumbo Limbo	Bursera simaruba	N/A	N/A	16	65%	Relocate On-Site
BLOCK 61*	137(T)	Gumbo Limbo	Bursera simaruba	N/A	N/A	12	60%	Relocate On-Site
BLOCK 61*	138	Gumbo Limbo	Bursera simaruba	N/A	N/A	10	65%	Relocate On-Site
BLOCK 61*	140	Gumbo Limbo	Bursera simaruba	N/A	N/A	12	50%	Relocate On-Site
BLOCK 61*	141(T)	Gumbo Limbo	Bursera simaruba	N/A	N/A	12	65%	Relocate On-Site
BLOCK 61*	146(T)	Gumbo Limbo	Bursera simaruba	N/A	N/A	14	65%	Relocate On-Site
BLOCK 61*	157(T)	Gumbo Limbo	Bursera simaruba	N/A	N/A	10	70%	Relocate On-Site
BLOCK 61*	159	Southern Live Oak	Quercus virginiana	N/A	N/A	16	65%	Dead / Mitigate
BLOCK 61*	160	Southern Live Oak	Quercus virginiana	N/A	N/A	14	85%	Relocate On-Site
BLOCK 61*	165(T)	Gumbo Limbo	Bursera simaruba	N/A	N/A	12	50%	Relocate On-Site
BLOCK 61*	167	Gumbo Limbo	Bursera simaruba	N/A	N/A	14	70%	Relocate On-Site
BLOCK 61*	176	Gumbo Limbo	Bursera simaruba	N/A	N/A	16	85%	Relocate On-Site
LOCATION	Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating	Comments
BLOCK 61*	31	Royal Palm	Roystonea regia	N/A	N/A	0	70%	Relocate On-Site
BLOCK 61*	34	Coconut Palm	Cocos nucifera	N/A	N/A	0	70%	Relocate On-Site
BLOCK 61*	35	Coconut Palm	Cocos nucifera	N/A	N/A	0	70%	Relocate On-Site
BLOCK 61*	57	Sabal Palm	Sabal palmetto	N/A	N/A	0	60%	Relocate On-Site
BLOCK 61*	72	Sabal Palm	Sabal palmetto	N/A	N/A	0	60%	Dead / Mitigate
BLOCK 61*	130(T)	Royal Palm	Roystonea regia	N/A	N/A	0	80%	Relocate On-Site
BLOCK 61*	171	Royal Palm	Roystonea regia	N/A	N/A	0	80%	Relocate On-Site
BLOCK 61*	173(T)	Royal Palm	Roystonea regia	N/A	N/A	0	80%	Relocate On-Site

\*(T) FOUND TAG

#### REMOVAL WITH PREVIOUSLY APPROVED PERMIT #20-190231

LOCATION	Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating < 50%	Comments
BLOCK 61*	76	Green Buttonwood	Conocarpus erectus	N/A	N/A	20	20%	Remove
BLOCK 61*	81	Ficus	Ficus spp.	N/A	N/A	18	45%	Remove
BLOCK 61*	99	Ficus	Ficus spp.	N/A	N/A	24	45%	Remove

LOCATION	Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating < 50%	Comments
BLOCK 61*	82	Travelers Palm	Ravenala madagascariensis	N/A	N/A	0	45%	Remove
BLOCK 61*	83	Travelers Palm	Ravenala madagascariensis	N/A	N/A	0	45%	Remove
BLOCK 61*	86	Travelers Palm	Ravenala madagascariensis	N/A	N/A	0	40%	Remove
BLOCK 61*	87	Coconut Palm	Cocos nucifera	N/A	N/A	0	45%	Remove
LOCATION	Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating ≥ 50%	Comments
BLOCK 61*	67	Royal Palm	Roystonea regia	N/A	N/A	0	80%	Remove
BLOCK 61*	77	Coconut Palm	Cocos nucifera	N/A	N/A	0	65%	Remove
BLOCK 61*	78	Foxtail Palm	Wodyetia bifurcata	N/A	N/A	0	65%	Remove
BLOCK 61*	79	Coconut Palm	Cocos nucifera	N/A	N/A	0	65%	Remove

#### REMOVAL - NEW TREES / PALMS PER CURRENT UPDATED SURVEY

LOCATION	Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating < 50%	Comments
BLOCK 61*	250	Gumbo Limbo	Bursera simaruba	N/A	N/A	5	40%	Mitigate On-Site
BLOCK 61*	253	Mahogany	Swietenia mahagoni	N/A	N/A	8	60%	Mitigate On-Site

Total DBHs of Trees with Condition Rating ≥ 50% to be Removed: 8 DBH inches  
Trees with Condition Rating < 50% to be Removed: 1 Tree

LOCATION	Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating < 50%	Comments
BLOCK 61*	252	Key Thatch Palm	Leucothrinax morrisii	N/A	N/A	0	20%	Mitigate On-Site
BLOCK 61*	249	Key Thatch Palm	Leucothrinax morrisii	N/A	N/A	0	60%	Mitigate On-Site
BLOCK 61*	251	Key Thatch Palm	Leucothrinax morrisii	N/A	N/A	0	70%	Mitigate On-Site
BLOCK 61*	254	Alexander Palm	Archontophoenix alexandrae	N/A	N/A	0	60%	Mitigate On-Site

Total Heights of Palms with Condition Rating ≥ 50% to be Removed: 3 Palms at 16' height  
Total Numbers of Palms with Condition Rating < 50% to be Removed: 1 Palm

#### REMOVED - FROM SITE BY ACCIDENT

LOCATION	Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating ≥ 50%	Comments
BLOCK 61*	41	Southern Live Oak	Quercus virginiana	N/A	N/A	10	50%	Mitigate On-Site
BLOCK 61*	42	Southern Live Oak	Quercus virginiana	N/A	N/A	12.5	60%	Mitigate On-Site
BLOCK 61*	43	Southern Live Oak	Quercus virginiana	N/A	N/A	15.5	60%	Mitigate On-Site

Total DBHs of Trees with Condition Rating ≥ 50% to be Removed: 38 DBH inches  
Trees with Condition Rating < 50% to be Removed: 0 Tree

LOCATION	Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating ≥ 50%	Comments
BLOCK 61*	44	Coconut Palm	Cocos nucifera	N/A	N/A	0	70%	Mitigate On-Site

Total Heights of Palms with Condition Rating ≥ 50% to be Removed: 1 Palm at 16' height  
Total Numbers of Palms with Condition Rating < 50% to be Removed: 0 Palms

#### Tree Disposition Summary & Calculation - Additional Mitigated Trees (APRIL 2024)

Tree #	Common Name	Botanical Name	Height (ft)	Width (in)	DBH (in)	Health Conditions %	Tree Disposition	Observations	Mitigation
12	Live Oak	Quercus virginiana	N/A	N/A	8	65%	Remove	Dead	8" DBH
24	Green Buttonwood	Conocarpus erectus	N/A	N/A	12	60%	Remove	Poor	12" DBH
32	Live Oak	Quercus virginiana	N/A	N/A	12	50%	Remove	Dead	8" DBH
33	Live Oak	Quercus virginiana	N/A	N/A	12	65%	Remove	Dead	8" DBH
53	Lychee	Litsea chinensis	N/A	N/A	14	50%	Remove	Dead	14" DBH
54	Lychee	Litsea chinensis	N/A	N/A	14	50%	Remove	Dead	14" DBH
55	Lychee	Litsea chinensis	N/A	N/A	14	45%	Remove	Dead	14" DBH
56	Star Fruit Tree	Averrhoa carambola	N/A	N/A	6	50%	Remove	Poor	6" DBH
59	Lychee	Litsea chinensis	N/A	N/A	14	60%	Remove	Dead	14" DBH
73	Sapodilla	Manilkara zapota	N/A	N/A	10	50%	Remove	Dead	10" DBH
80	Sapodilla	Manilkara zapota	N/A	N/A	6	65%	Remove	Poor	6" DBH
84	Sapodilla	Manilkara zapota	N/A	N/A	8	50%	Remove	Poor	8" DBH
159	Live Oak	Quercus virginiana	N/A	N/A	16	65%	Remove	Dead	16" DBH
TOTAL:						146			

Palm #	Common Name	Botanical Name	Height (ft)	Width (in)	DBH (in)	Health Conditions %	Tree Disposition	Observations	Mitigation
72	Sabal Palm	Sabal palmetto	N/A	N/A	N/A*	60%	Remove	Dead	1:1 Palm

#### Mitigation Summary & Calculation (APRIL 2024)

Tree Qty	Size (Caliper Inches)	Inches (Cal.)	Proposed Trees	Specifications
13	5" Caliper	65"	Bridal Veil	Caesalpinia granadillo at 16-18' ht. o.a., Full Canopy
7	2.5" Caliper	17.5"	Bridal Veil	Caesalpinia granadillo at 12-14' ht. o.a., 45 gal. cont., Full Canopy
2	6" Caliper	12"	Gumbo Limbo	Bursera simaruba at 18-20' ht. o.a., Full Canopy
1	4" Caliper	4"	Silver Buttonwood	Conocarpus e. 'Sericeus' at 16' ht. o.a., B & B, Full Canopy
11	3.5" Caliper	38.5"	Japanese Fern Tree	Filicium decipiens at 15-16' ht. o.a., B & B, Full Canopy
2	3" Caliper	6"	Yellow Tabebuia	Tabebuia chrysotricha at 13-14' ht. o.a., B & B, Full Canopy
6	6" Caliper	36"	Live Oak	Quercus virginiana at 18-20' ht. o.a., Full Canopy

Palm Qty	Size (Caliper Inches)	Inches (Cal.)	Proposed Trees	Specifications
1	N/A	N/A	Sabal Palm	Sabal palmetto at 16' o.a. ht.

Total: 114" DBH & (1) Sabal Palm @ 16' ht. o.a.

\*NOTES:  
- (3) OAK AND (2) GUMBO LIMBO TREES TO BE PLANTED OFF-SITE, LOCATION TO BE COORDINATED WITH THE CITY STAFF.

**SUNDY VILLAGE**  
 (F.K.A. MIDTOWN DELRAY)  
**DELRAY BEACH, FLORIDA**  
**TREE DISPOSITION PLAN - CHART (EXISTING ON-SITE)**

REVISIONS:	TAC
09-14-2021	COMMENTS
APRIL 2024	

MAY, 2023  
DATE  
J.R.  
DRAWN BY:  
M.J.  
APPROVED BY:

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**TREE DISPOSITION CHART**

TREES NOT RELOCATED OFF-SITE							
Tree #	Common Name	Scientific Name	Height	Spread	DBH	Condition Rating < 50%	Comments
30	Jackfruit	Artocarpus heterophyllus	N/A	N/A	8	45%	Previously noted as Relocated Off-Site, now Removed
52	Wild Tamarind	Lysiloma bahamensis	N/A	N/A	24	45%	Previously noted as Relocated Off-Site, now Removed
58	Mango	Mangifera indica	N/A	N/A	14	45%	Previously noted as Relocated Off-Site, now Removed
61	Starfruit Tree	Averrhoa carambola	N/A	N/A	6	30%	Previously noted as Relocated Off-Site, now Removed
62	Starfruit Tree	Averrhoa carambola	N/A	N/A	6	40%	Previously noted as Relocated Off-Site, now Removed
74	Strawberry Guava Tree	Psidium littorale	N/A	N/A	6	40%	Previously noted as Relocated Off-Site, now Removed
93	Avacado	Persea americana	N/A	N/A	24	45%	Previously noted as Relocated Off-Site, now Removed
100	Avacado	Persea americana	N/A	N/A	14	40%	Previously noted as Relocated Off-Site, now Removed
111	Mango	Mangifera indica	N/A	N/A	12	45%	Previously noted as Relocated Off-Site, now Removed
117	Mango	Mangifera indica	N/A	N/A	12	45%	Previously noted as Relocated Off-Site, now Removed
118	Mango	Mangifera indica	N/A	N/A	12	40%	Previously noted as Relocated Off-Site, now Removed
120	Mango	Mangifera indica	N/A	N/A	12	45%	Previously noted as Relocated Off-Site, now Removed
124	Mango	Mangifera indica	N/A	N/A	12	40%	Previously noted as Relocated Off-Site, now Removed
125	Mango	Mangifera indica	N/A	N/A	12	45%	Previously noted as Relocated Off-Site, now Removed
143	Mango	Mangifera indica	N/A	N/A	12	45%	Previously noted as Relocated Off-Site, now Removed
147	Mango	Mangifera indica	N/A	N/A	12	40%	Previously noted as Relocated Off-Site, now Removed
150	Gumbo Limbo	Bursera simaruba	N/A	N/A	4	45%	Previously noted as Relocated Off-Site, now Removed
154	Wild Tamarind	Lysiloma bahamensis	N/A	N/A	24	35%	Previously noted as Relocated Off-Site, now Removed
156	Gumbo Limbo	Bursera simaruba	N/A	N/A	10	45%	Previously noted as Relocated Off-Site, now Removed
158	Gumbo Limbo	Bursera simaruba	N/A	N/A	12	40%	Previously noted as Relocated Off-Site, now Removed
162	Gumbo Limbo	Bursera simaruba	N/A	N/A	12	35%	Previously noted as Relocated Off-Site, now Removed
163	Gumbo Limbo	Bursera simaruba	N/A	N/A	10	45%	Previously noted as Relocated Off-Site, now Removed
164	Lychee	Litchi chinensis	N/A	N/A	12	40%	Previously noted as Relocated Off-Site, now Removed
169	Pond Apple	Annoa glabra	N/A	N/A	12	40%	Previously noted as Relocated Off-Site, now Removed
199	Mango	Mangifera indica	N/A	N/A	24	40%	Previously noted as Relocated Off-Site, now Removed
204	Mango	Mangifera indica	N/A	N/A	16	45%	Previously noted as Relocated Off-Site, now Removed
213	Southern Live Oak	Quercus virginiana	N/A	N/A	12	40%	Previously noted as Relocated Off-Site, now Removed
216	Mango	Mangifera indica	N/A	N/A	12	40%	Previously noted as Relocated Off-Site, now Removed
220	Mango	Mangifera indica	N/A	N/A	24	45%	Previously noted as Relocated Off-Site, now Removed
<b>Condition Rating ≥ 50%</b>							
11	Southern Live Oak	Quercus virginiana	N/A	N/A	4	50%	Previously noted as Relocated Off-Site, now Removed
16	Baobab Tree	Adansonia digitata	N/A	N/A	36	75%	Previously noted as Relocated Off-Site, now Removed
50	Mango	Mangifera indica	N/A	N/A	4	50%	Previously noted as Relocated Off-Site, now Removed
102	Mango	Mangifera indica	N/A	N/A	40	50%	Previously noted as Relocated Off-Site, now Removed
119	Southern Live Oak	Quercus virginiana	N/A	N/A	24	80%	Previously noted as Relocated Off-Site, now Removed
121	Mango	Mangifera indica	N/A	N/A	6	50%	Previously noted as Relocated Off-Site, now Removed
153	Jackfruit	Artocarpus heterophyllus	N/A	N/A	6	70%	Previously noted as Relocated Off-Site, now Removed
172	Gumbo Limbo	Bursera simaruba	N/A	N/A	16	70%	Previously noted as Relocated Off-Site, now Removed
174	Gumbo Limbo	Bursera simaruba	N/A	N/A	16	50%	Previously noted as Relocated Off-Site, now Removed
177	Gumbo Limbo	Bursera simaruba	N/A	N/A	24	60%	Previously noted as Relocated Off-Site, now Removed
191	Wild Tamarind	Lysiloma bahamensis	N/A	N/A	10	65%	Previously noted as Relocated Off-Site, now Removed
194	Mango	Mangifera indica	N/A	N/A	4	50%	Previously noted as Relocated Off-Site, now Removed
226	Mango	Mangifera indica	N/A	N/A	12	50%	Previously noted as Relocated Off-Site, now Removed
237	Mango	Mangifera indica	N/A	N/A	10	50%	Previously noted as Relocated Off-Site, now Removed

Total DBHs of Trees with Condition Rating ≥ 50% to be Removed: **212 DBH Inches**  
 Trees with Condition Rating < 50% to be Removed: **29 Trees**

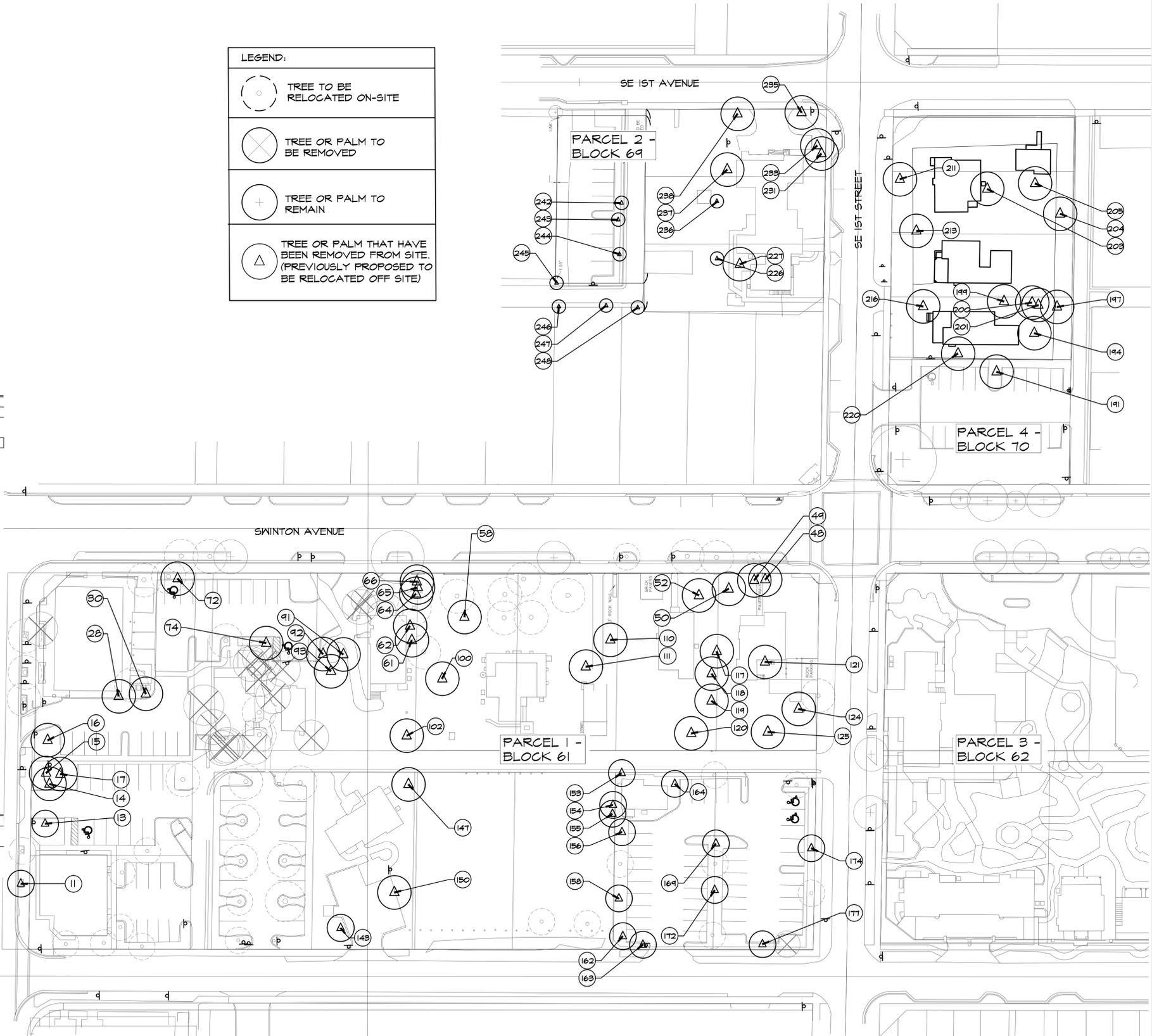
Palm #	Common Name	Scientific Name	Height	Spread	Clear Trunk	Condition Rating < 50%	Comments
211	Sabal Palm	Sabal palmetto	N/A	N/A	8'	40%	Previously noted as Relocated Off-Site, now Removed
238	Sabal Palm	Sabal palmetto	N/A	N/A	20'	40%	Previously noted as Relocated Off-Site, now Removed
242	Sabal Palm	Sabal palmetto	N/A	N/A	14'	40%	Previously noted as Relocated Off-Site, now Removed
243	Sabal Palm	Sabal palmetto	N/A	N/A	16'	40%	Previously noted as Relocated Off-Site, now Removed
244	Sabal Palm	Sabal palmetto	N/A	N/A	15'	40%	Previously noted as Relocated Off-Site, now Removed
245	Sabal Palm	Sabal palmetto	N/A	N/A	17'	40%	Previously noted as Relocated Off-Site, now Removed
246	Sabal Palm	Sabal palmetto	N/A	N/A	14'	40%	Previously noted as Relocated Off-Site, now Removed
247	Sabal Palm	Sabal palmetto	N/A	N/A	14'	40%	Previously noted as Relocated Off-Site, now Removed
248	Sabal Palm	Sabal palmetto	N/A	N/A	16'	40%	Previously noted as Relocated Off-Site, now Removed
<b>Condition Rating ≥ 50%</b>							
13	Sabal Palm	Sabal palmetto	N/A	N/A	10'	70%	Previously noted as Relocated Off-Site, now Removed
14	Sabal Palm	Sabal palmetto	N/A	N/A	16'	70%	Previously noted as Relocated Off-Site, now Removed
15	Sabal Palm	Sabal palmetto	N/A	N/A	17'	70%	Previously noted as Relocated Off-Site, now Removed
17	Sabal Palm	Sabal palmetto	N/A	N/A	8'	70%	Previously noted as Relocated Off-Site, now Removed
28	Sabal Palm	Sabal palmetto	N/A	N/A	8'	50%	Previously noted as Relocated Off-Site, now Removed
48	Sabal Palm	Sabal palmetto	N/A	N/A	14'	60%	Previously noted as Relocated Off-Site, now Removed
49	Sabal Palm	Sabal palmetto	N/A	N/A	14'	60%	Previously noted as Relocated Off-Site, now Removed
64	Sabal Palm	Sabal palmetto	N/A	N/A	16'	60%	Previously noted as Relocated Off-Site, now Removed
65	Sabal Palm	Sabal palmetto	N/A	N/A	16'	60%	Previously noted as Relocated Off-Site, now Removed
66	Sabal Palm	Sabal palmetto	N/A	N/A	16'	60%	Previously noted as Relocated Off-Site, now Removed
72	Sabal Palm	Sabal palmetto	N/A	N/A	11'	70%	Previously noted as Relocated Off-Site, now Removed
91	Florida Thatch Palm	Thrinax radiata	N/A	N/A	9'	70%	Previously noted as Relocated Off-Site, now Removed
92	Florida Thatch Palm	Thrinax radiata	N/A	N/A	5'	70%	Previously noted as Relocated Off-Site, now Removed
110	Sabal Palm	Sabal palmetto	N/A	N/A	20'	70%	Previously noted as Relocated Off-Site, now Removed
155	Sabal Palm	Sabal palmetto	N/A	N/A	7'	70%	Previously noted as Relocated Off-Site, now Removed
197	Sabal Palm	Sabal palmetto	N/A	N/A	8'	50%	Previously noted as Relocated Off-Site, now Removed
200	Sabal Palm	Sabal palmetto	N/A	N/A	8'	65%	Previously noted as Relocated Off-Site, now Removed
201	Sabal Palm	Sabal palmetto	N/A	N/A	8'	60%	Previously noted as Relocated Off-Site, now Removed
203	Sabal Palm	Sabal palmetto	N/A	N/A	10'	50%	Previously noted as Relocated Off-Site, now Removed
205	Sabal Palm	Sabal palmetto	N/A	N/A	16'	50%	Previously noted as Relocated Off-Site, now Removed
227	Sabal Palm	Sabal palmetto	N/A	N/A	8'	65%	Previously noted as Relocated Off-Site, now Removed
231	Sabal Palm	Sabal palmetto	N/A	N/A	8'	50%	Previously noted as Relocated Off-Site, now Removed
233	Sabal Palm	Sabal palmetto	N/A	N/A	15'	60%	Previously noted as Relocated Off-Site, now Removed
235	Sabal Palm	Sabal palmetto	N/A	N/A	15'	50%	Previously noted as Relocated Off-Site, now Removed
236	Sabal Palm	Sabal palmetto	N/A	N/A	14'	50%	Previously noted as Relocated Off-Site, now Removed

Total Heights of Palms with Condition Rating ≥ 50% to be Removed: **297 Feet in Height (25 Palms @ 12' c.t.)**  
 Total Numbers of Palms with Condition Rating < 50% to be Removed: **9 Palms**

- \*NOTES:**
- ALL TREES AND PALMS NOTATED AS "RELOCATE OFF-SITE" ON THE DISPOSITION COLUMN HAVE BEEN REMOVED.
  - THESE TREES AND PALMS WERE ACCIDENTALLY REMOVED INSTEAD OF RELOCATED WHEN BP 20-190291 TREE REMOVAL PERMIT WAS PERFORMED.

**LEGEND:**

- TREE TO BE RELOCATED ON-SITE
- TREE OR PALM TO BE REMOVED
- TREE OR PALM TO REMAIN
- TREE OR PALM THAT HAVE BEEN REMOVED FROM SITE. (PREVIOUSLY PROPOSED TO BE RELOCATED OFF SITE)



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**SUNDY VILLAGE**  
 (F.K.A. MIDTOWN DELRAY)  
**DELRAY BEACH, FLORIDA**  
 TREE DISPOSITION PLAN - TREES THAT HAVE BEEN REMOVED FROM SITE

REVISIONS:  
 09-14-2021 TAC COMMENTS  
 APRIL 2024

MAY, 2023  
 DATE  
 J.R.  
 DRAWN BY:  
 M.J.  
 APPROVED BY:

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**TD-3**

MITIGATION PROVIDED: COMMUNITY GREENING

Tree Id	Status	Common Name	Scientific Name	DBH	Caliper	Tree Height	Condition	Observations	Address	Qty
1	Alive	Crabwood	Gymnanthes lucida	1.2	1.6	7	Good	Nutrient Deficiency	1-95 and Union	Delray Beach
2	Crabwood	Gymnanthes lucida	1.5	2	8	Good	Nutrient Deficiency	1-95 and Union	Delray Beach	
3	Alive	Crabwood	Gymnanthes lucida	1.5	2	7	Good		1-95 and Union	Delray Beach
4	Alive	Pigeon plum	Coccoloba diversifolia	2	2.3	12	Good		1-95 and Union	Delray Beach
5	Alive	Pigeon plum	Coccoloba diversifolia	1.8	2.1	12	Good		1-95 and Union	Delray Beach
6	Alive	Paradise tree	Simarouba glauca	2	2.4	14	Good		1-95 and Union	Delray Beach
7	Alive	Pigeon plum	Coccoloba diversifolia	1.7	2.2	12	Good		1-95 and Union	Delray Beach
8	Alive	Paradise tree	Simarouba glauca	2	2.3	12	Good	Crown Dieback	1-95 and Union	Delray Beach
9	Alive	Paradise tree	Simarouba glauca	2.1	2.1	10	Fair	Crown Dieback	1-95 and Union	Delray Beach
10	Alive	Paradise tree	Simarouba glauca	1.8	2.2	12	Good		1-95 and Union	Delray Beach
11	Alive	Pigeon plum	Coccoloba diversifolia	2	2.3	12	Good		1-95 and Union	Delray Beach
12	Alive	Paradise tree	Simarouba glauca	2.1	2.6	12	Good		1-95 and Union	Delray Beach
13	Alive	Pigeon plum	Coccoloba diversifolia	2	2.3	12	Good		1-95 and Union	Delray Beach
14	Alive	Royal poinciana	Delonix regia	2.2	2.6	15	Fair	Crown Dieback	1-95 and Union	Delray Beach
15	Alive	Royal poinciana	Delonix regia	2	2.3	16	Good		1-95 and Union	Delray Beach
16	Alive	Royal poinciana	Delonix regia	2	2.4	16	Good		1-95 and Union	Delray Beach
17	Alive	Royal poinciana	Delonix regia	2.4	3	18	Excellent		1-95 and Union	Delray Beach
18	Alive	Royal poinciana	Delonix regia	2.1	2.3	12	Good		1-95 and Union	Delray Beach
19	Alive	Live oak	Quercus virginiana	1.9	2.3	12	Fair	Crown Dieback	400SW 10th St	Delray Beach
20	Alive	Live oak	Quercus virginiana	1.8	2.3	12	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
21	Alive	Live oak	Quercus virginiana	1.8	2.2	12	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
22	Alive	Live oak	Quercus virginiana	1.8	2.2	12	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
23	Alive	Live oak	Quercus virginiana	0	0	0	Dead		400SW 10th St	Delray Beach
24	Removed	Live oak	Quercus virginiana	0	0	0	Dead		400SW 10th St	Delray Beach
25	Removed	Live oak	Quercus virginiana	0.9	1.4	6	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
26	Alive	Live oak	Quercus virginiana	1.3	1.5	7	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
27	Alive	Live oak	Quercus virginiana	1	1.4	8	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
28	Alive	Live oak	Quercus virginiana	2.1	2.3	12	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
29	Alive	Live oak	Quercus virginiana	2	2.3	12	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
30	Alive	Live oak	Quercus virginiana	1.7	2.1	12	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
31	Alive	Live oak	Quercus virginiana	1.7	2.2	12	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
32	Alive	Live oak	Quercus virginiana	2	2.3	12	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
33	Alive	Live oak	Quercus virginiana	1.6	2	12	Dead		400SW 10th St	Delray Beach
34	Dead	Live oak	Quercus virginiana	1.8	2.2	12	Fair	Crown Dieback	400SW 10th St	Delray Beach
35	Alive	Live oak	Quercus virginiana	2	2.3	14	Poor	Crown Dieback, Serious Decline	400SW 10th St	Delray Beach
36	Alive	Live oak	Quercus virginiana	1.5	1.8	12	Fair	Crown Dieback	400SW 10th St	Delray Beach
37	Alive	Mango	Mangifera indica	1.5	2	6	Good	Poor Roof System	610 Southwest 15th Avenue	Delray Beach
38	Alive	Green buttonwood	Conocarpus erectus	2.1	2.5	14	Excellent		5W 12th Ave and Atlantic Ave	Delray Beach
39	Alive	Green buttonwood	Conocarpus erectus	1.7	2.1	15	Good		187 1/2 Southwest 12th Avenue	Delray Beach
40	Alive	Pigeon plum	Coccoloba diversifolia	1.8	2	9	Good		524 West Atlantic Avenue	Delray Beach
41	Alive	Pigeon plum	Coccoloba diversifolia	2	2.3	12	Good	Nutrient Deficiency	524 West Atlantic Avenue	Delray Beach
42	Alive	Pigeon plum	Coccoloba diversifolia	1.7	2	10	Fair	Crown Dieback, Nutrient Deficiency	524 West Atlantic Avenue	Delray Beach
43	Alive	Pigeon plum	Coccoloba diversifolia	0	0	0	Dead		905 South Federal Highway	Delray Beach
44	Removed	Pigeon plum	Coccoloba diversifolia	1.6	2	11	Fair	Nutrient Deficiency	95 Florida Ave	Delray Beach
45	Alive	Paradise tree	Simarouba glauca	1.8	2.4	8	Good		85 S 6th Ave	Delray Beach
46	Alive	Paradise tree	Simarouba glauca	2	2.4	12	Excellent		85 S 6th Ave	Delray Beach
47	Alive	Paradise tree	Simarouba glauca	2.3	2.6	12	Excellent		85 S 6th Ave	Delray Beach
48	Alive	Paradise tree	Simarouba glauca	1.9	2.2	9	Excellent		85 S 6th Ave	Delray Beach
49	Alive	Twiberry, Simpson's stopper	Myrsine fragrans	1	1.2	8	Good		122 Southeast 6th Avenue	Delray Beach
50	Alive	Twiberry, Simpson's stopper	Myrsine fragrans	1.1	1.5	8	Fair	Crown Dieback	24 Venetian Drive	Delray Beach
51	Alive	Green buttonwood	Conocarpus erectus	1.7	2	12	Good		1345 Ocean Blvd	Delray Beach
52	Alive	Satineaf	Chrysophyllum oliviforme	1.5	2	14	Poor	Crown Dieback, Serious Decline	1017 Tamarind Rd	Delray Beach
53	Alive	Satineaf	Chrysophyllum oliviforme	1.5	2	14	Poor	Crown Dieback, Serious Decline	1011 Tamarind Rd	Delray Beach
54	Alive	Wild tamarind	Lysiloma latifolium	2.5	3	10	Fair	Crown Dieback	1011 Tamarind Road	Delray Beach
55	Alive	Wild tamarind	Lysiloma latifolium	2	2.4	9	Good	Mechanical Damage	100th Tamarind Rd	Delray Beach
56	Alive	Crabwood	Gymnanthes lucida	1.5	1.9	8	Fair	Crown Dieback	803 North Swinton Avenue	Delray Beach
57	Alive	Crabwood	Gymnanthes lucida	1.6	2.2	8	Fair	Crown Dieback	803 North Swinton Avenue	Delray Beach
58	Alive	Crabwood	Gymnanthes lucida	1.5	1.8	12	Poor	Crown Dieback, Serious Decline	1275 North Swinton Avenue	Delray Beach
59	Alive	Crabwood	Gymnanthes lucida	1.1	1.6	8	Fair	Crown Dieback	1275 North Swinton Avenue	Delray Beach
60	Alive	Caden fig	Ficus catesbeiana	2.4	2.8	10	Excellent		1455 Lake Ida Rd	Delray Beach
61	Alive	Live oak	Quercus virginiana	1.8	2.2	12	Good		1455 Lake Ida Rd	Delray Beach
62	Alive	Live oak	Quercus virginiana	1.9	2.5	12	Good		1455 Lake Ida Rd	Delray Beach
63	Alive	Live oak	Quercus virginiana	1.8	2.2	12	Poor	Crown Dieback, Serious Decline	1455 Lake Ida Rd	Delray Beach
64	Alive	Green buttonwood	Conocarpus erectus	1.7	1.7	8	Excellent		1455 Lake Ida Rd	Delray Beach
65	Alive	Green buttonwood	Conocarpus erectus	1.8	2.3	8	Excellent		1455 Lake Ida Rd	Delray Beach
66	Alive	Green buttonwood	Conocarpus erectus	1	1.4	8	Excellent		1455 Lake Ida Rd	Delray Beach
67	Alive	Green buttonwood	Conocarpus erectus	1.4	1.7	8	Excellent		1455 Lake Ida Rd	Delray Beach
68	Alive	Dahoon holly	Ilex cassine	0.9	1.3	10	Good		1455 Lake Ida Rd	Delray Beach
69	Alive	Dahoon holly	Ilex cassine	1.4	1.8	10	Good		1455 Lake Ida Rd	Delray Beach
70	Alive	Dahoon holly	Ilex cassine	1.2	1.6	10	Good		1455 Lake Ida Rd	Delray Beach
71	Alive	Dahoon holly	Ilex cassine	0.9	1.4	10	Good		1455 Lake Ida Rd	Delray Beach
72	Alive	Dahoon holly	Ilex cassine	1.2	1.6	7	Good		1455 Lake Ida Rd	Delray Beach
73	Alive	Dahoon holly	Ilex cassine	1.3	2	10	Fair	Crown Dieback	1455 Lake Ida Rd	Delray Beach
74	Alive	Eastern red cedar	Juniperus virginiana	1.6	2.2	10	Good		1455 Lake Ida Rd	Delray Beach
75	Alive	Eastern red cedar	Juniperus virginiana	1.6	2.3	10	Good		1455 Lake Ida Rd	Delray Beach
76	Alive	Eastern red cedar	Juniperus virginiana	1.3	2	10	Good		1455 Lake Ida Rd	Delray Beach
77	Alive	Sweetbay magnolia	Magnolia virginiana	1.5	2	10	Good		1455 Lake Ida Rd	Delray Beach
78	Alive	Sweetbay magnolia	Magnolia virginiana	1.5	2	10	Good		1455 Lake Ida Rd	Delray Beach
79	Alive	Sweetbay magnolia	Magnolia virginiana	1.5	1.9	10	Good		1455 Lake Ida Rd	Delray Beach
80	Alive	Sea-grape	Coccoloba uvifera	1.2	1.8	5	Good		1455 Lake Ida Rd	Delray Beach
81	Alive	Sea-grape	Coccoloba uvifera	1	1.3	5	Good		1455 Lake Ida Rd	Delray Beach
82	Alive	Sea-grape	Coccoloba uvifera	1	1.2	5	Good		1455 Lake Ida Rd	Delray Beach
83	Alive	Sea-grape	Coccoloba uvifera	1.5	1.5	5	Good		1455 Lake Ida Rd	Delray Beach
84	Alive	Silver buttonwood	Conocarpus erectus var. argenteus	1.2	1.4	5	Excellent		1455 Lake Ida Rd	Delray Beach
85	Alive	Live oak	Quercus virginiana	2	2.4	12	Poor	Crown Dieback, Serious Decline	1455 Lake Ida Rd	Delray Beach
86	Alive	Live oak	Quercus virginiana	1.8	2.2	12	Fair		1455 Lake Ida Rd	Delray Beach
87	Alive	Live oak	Quercus virginiana	1.8	2.2	12	Fair	Crown Dieback	1455 Lake Ida Rd	Delray Beach
88	Alive	Live oak	Quercus virginiana	2.2	2.6	15	Fair	Crown Dieback	1455 Lake Ida Rd	Delray Beach
89	Alive	Wild tamarind	Lysiloma latifolium	2	2.4	10	Good		405 Lake Ida Rd	Delray Beach
90	Alive	Wild tamarind	Lysiloma latifolium	1.7	2.3	8	Good		405 Lake Ida Rd	Delray Beach
91	Alive	Wild tamarind	Lysiloma latifolium	2	2.6	10	Good		405 Lake Ida Rd	Delray Beach
92	Alive	Satineaf	Chrysophyllum oliviforme	1.5	2	12	Fair	Crown Dieback	405 Lake Ida Rd	Delray Beach
93	Alive	Satineaf	Chrysophyllum oliviforme	1.2	1.8	12	Good	Crown Dieback	405 Lake Ida Rd	Delray Beach
94	Alive	Satineaf	Chrysophyllum oliviforme	1.7	2.3	12	Good		405 Lake Ida Rd	Delray Beach
95	Alive	Satineaf	Chrysophyllum oliviforme	2	3	12	Good		405 Lake Ida Rd	Delray Beach
96	Alive	Satineaf	Chrysophyllum oliviforme	1.5	2	15	Good		413 Lake Ida Rd	Delray Beach
97	Alive	Satineaf	Chrysophyllum oliviforme	1.5	2	16	Good		413 Lake Ida Rd	Delray Beach
98	Alive	Satineaf	Chrysophyllum oliviforme	1.4	1.8	18	Poor	Crown Dieback, Serious Decline	413 Lake Ida Rd	Delray Beach
99	Alive	Satineaf	Chrysophyllum oliviforme	1.6	2.2	16	Good		413 Lake Ida Rd	Delray Beach
100	Alive	Live oak	Quercus virginiana	2	2.5	12	Fair	Crown Dieback	413 Lake Ida Rd	Delray Beach
101	Alive	Crabwood	Gymnanthes lucida	1.3	1.5	10	Fair	Crown Dieback	413 Lake Ida Rd	Delray Beach
102	Alive	Crabwood	Gymnanthes lucida	1.7	2.1	8	Good		413 Lake Ida Rd	Delray Beach
103	Alive	Crabwood	Gymnanthes lucida	1.4	2	7	Fair	Poor Roof System	413 Lake Ida Rd	Delray Beach
104	Alive	Verawood	Bulnesia arborea	1.6	2	8	Good		555 N.W. 4th St	Delray Beach
105	Alive	Verawood	Bulnesia arborea	1.6	2.1	8	Good		555 N.W. 4th St	Delray Beach
106	Alive	Verawood	Bulnesia arborea	1.2	1.7	9	Good		555 N.W. 4th St	Delray Beach
107	Alive	Verawood	Bulnesia arborea	1.8	2.3	12	Fair	Crown Dieback	555 N.W. 4th St	Delray Beach
108	Alive	Live oak	Quercus virginiana	2	2.4	12	Poor	Crown Dieback, Serious Decline	850 N Congress Ave	Delray Beach
109	Alive	Live oak	Quercus virginiana	1.7	2.2	12	Dead		850 N Congress Ave	Delray Beach

Tree Id	Status	Common Name	Scientific Name	DBH	Caliper	Tree Height	Condition	Observations	Address	Qty
110	Dead	Wild tamarind	Lysiloma latifolium	1.6	2	7	Good		850 N Congress Ave	Delray Beach
111	Alive	Wild tamarind	Lysiloma latifolium	0	0	0	Dead		850 N Congress Ave	Delray Beach
112	Removed	Wild tamarind	Lysiloma latifolium	2.1	2.4	10	Good		850 N Congress Ave	Delray Beach
113	Alive	Wild tamarind	Lysiloma latifolium	2.1	2.3	10	Good		850 N Congress Ave	Delray Beach
114	Alive	Wild tamarind	Lysiloma latifolium	1.7	2.1	10	Fair	Crown Dieback	850 N Congress Ave	Delray Beach
115	Alive	Slash pine	Pinus elliotii	1.1	1.6	6	Excellent		850 N Congress Ave	Delray Beach
116	Alive	Slash pine	Pinus elliotii	1	1.3	6	Good		850 N Congress Ave	Delray Beach
117	Alive	Slash pine	Pinus elliotii	1.1	1.4	6	Good		850 N Congress Ave	Delray Beach
118	Alive	Slash pine	Pinus elliotii	1.2	2	6	Good		850 N Congress Ave	Delray Beach
119	Alive	Slash pine	Pinus elliotii	1.2	2	6	Good		850 N Congress Ave	Delray Beach
120	Alive	Slash pine	Pinus elliotii	1	1.6	6	Good		850 N Congress Ave	Delray Beach
121	Alive	Slash pine	Pinus elliotii	1.1	1.6	6	Good		850 N Congress Ave	Delray Beach
122	Alive	Slash pine	Pinus elliotii	1.3	2.1	6	Good		850 N Congress Ave	Delray Beach
123	Alive	Slash pine	Pinus elliotii	1.1	2	6	Good		850 N Congress Ave	Delray Beach
124	Alive	Slash pine	Pinus elliotii	1.1	1.5	6	Good		850 N Congress Ave	Delray Beach
125	Alive	Wild tamarind	Lysiloma latifolium	2	2.5	10	Good		850 N Congress Ave	Delray Beach
126	Alive	Wild tamarind	Lysiloma latifolium	1.7	2.1	10	Good		850 N Congress Ave	Delray Beach
127	Alive	Wild tamarind	Lysiloma latifolium	2.4	3	10	Good		850 N Congress Ave	Delray Beach
128	Alive	Wild tamarind	Lysiloma latifolium	1.7	2.1	10	Good		850 N Congress Ave	Delray Beach
129	Alive	Wild tamarind	Lysiloma latifolium	1.7	2.1	10	Good		850 N Congress Ave	Delray Beach
130	Alive	Wild tamarind	Lysiloma latifolium	1.8	2.2	10	Poor	Crown Dieback, Serious Decline	850 N Congress Ave	Delray Beach
131	Alive	Sabal palm/Cabbage palmetto	Sabal palmetto	12	18	Good			850 N Congress Ave	Delray Beach
132	Alive	Sabal palm/Cabbage palmetto	Sabal palmetto	12	21	Good			850 N Congress Ave	Delray Beach
133	Alive	Sabal palm/Cabbage palmetto	Sabal palmetto	13	16	Good			850 N Congress Ave	Delray Beach

IA

MITIGATION PROVIDED: OVERALL SITE

BLOCK 61 MITIGATION PROVIDED: CURRENT LANDSCAPE PLAN BY DSBOCA (SEE SHEET LP-5)

Table with 3 columns: New Trees, Caliper (CAL), Calipers Provided. Lists various tree species and their caliper measurements.

Replacement for Trees (Removed, Condition Rating >= 50%): 627.5 cal. Inch

Palm Replacement Calculations \*\*

Table with 3 columns: New Palms, Overall Height, Clear Trunk. Lists palm species and their heights.

Replacement for Palms (Removed, Condition Rating >= 50%): 63 Palms

Palm Replacement Calculations \*\*

Table with 3 columns: New Palms, Overall Height, Palms Provided. Lists palm species and their heights.

Replacement for Palms (Removed, Condition Rating < 50%): 1 Palm

BLOCK 69 MITIGATION PROVIDED: CERTIFIED PLANS DATED 02-12-2018 (SEE SHEET L-202)

Table with 3 columns: TREES, MITIGATION PROVIDED (CONDITION RATING >= 50%), MITIGATION PROVIDED (CONDITION RATING < 50%).

Table with 3 columns: PALMS, MITIGATION PROVIDED (CONDITION RATING >= 50%), MITIGATION PROVIDED (CONDITION RATING < 50%).

BLOCK 70 MITIGATION PROVIDED: CERTIFIED PLANS DATED 02-12-2018 (SEE SHEET L-202)

Table with 3 columns: TREES, MITIGATION PROVIDED (CONDITION RATING >= 50%), MITIGATION PROVIDED (CONDITION RATING < 50%).

Table with 3 columns: PALMS, MITIGATION PROVIDED (CONDITION RATING >= 50%), MITIGATION PROVIDED (CONDITION RATING < 50%).

BLOCK SH (SUNDY HOUSE) MITIGATION PROVIDED: CERTIFIED PLANS DATED 02-12-2018 (SEE SHEET L-202)

Table with 3 columns: TREES, MITIGATION PROVIDED (CONDITION RATING >= 50%), MITIGATION PROVIDED (CONDITION RATING < 50%).

Table with 3 columns: PALMS, MITIGATION PROVIDED (CONDITION RATING >= 50%), MITIGATION PROVIDED (CONDITION RATING < 50%).

COMMUNITY GREENING MITIGATION PROVIDED: BY CLIENT IN 2020 (SEE SHEET TD-04)

Table with 3 columns: TREES, MITIGATION PROVIDED (CONDITION RATING >= 50%), MITIGATION PROVIDED (CONDITION RATING < 50%).

Table with 3 columns: PALMS, MITIGATION PROVIDED (CONDITION RATING >= 50%), MITIGATION PROVIDED (CONDITION RATING < 50%).

\*NOTES: - (3) OAK AND (2) GUMBO LIMBO TREES TO BE PLANTED OFF-SITE, LOCATION TO BE COORDINATED WITH THE CITY STAFF.

IB

MITIGATION REQUIREMENTS: OVERALL SITE

MITIGATION REQUIREMENT: CERTIFIED PLANS DATED 02-12-2018 (SEE SHEET L-100) 2/12/2018

Table with 3 columns: TREES, MITIGATION REQUIRED (CONDITION RATING >= 50%), MITIGATION REQUIRED (CONDITION RATING < 50%).

MITIGATION REQUIREMENT: TREES NOT RELOCATED OFF-SITE (SEE SHEET TD-03) 11/10/2021

Table with 3 columns: TREES, MITIGATION REQUIRED (CONDITION RATING >= 50%), MITIGATION REQUIRED (CONDITION RATING < 50%).

Table with 3 columns: PALMS, MITIGATION REQUIRED (CONDITION RATING >= 50%), MITIGATION REQUIRED (CONDITION RATING < 50%).

MITIGATION REQUIREMENT BLOCK 61 - CURRENT SURVEY (EXISTING TREES) (SEE SHEET TD-02) 9/14/2021

Table with 3 columns: TREES, MITIGATION REQUIRED (CONDITION RATING >= 50%), MITIGATION REQUIRED (CONDITION RATING < 50%).

Table with 3 columns: PALMS, MITIGATION REQUIRED (CONDITION RATING >= 50%), MITIGATION REQUIRED (CONDITION RATING < 50%).

MITIGATION REQUIREMENT BLOCK 61 - REMOVED BY ACCIDENT (SEE SHEET TD-02) 9/14/2021

Table with 3 columns: TREES, MITIGATION REQUIRED (CONDITION RATING >= 50%), MITIGATION REQUIRED (CONDITION RATING < 50%).

Table with 3 columns: PALMS, MITIGATION REQUIRED (CONDITION RATING >= 50%), MITIGATION REQUIRED (CONDITION RATING < 50%).

MITIGATION REQUIREMENT BLOCK 61 - ADDITIONAL MITIGATED TREES (SEE SHEET TD-02) FEB. 2024

Table with 3 columns: TREES, MITIGATION REQUIRED (CONDITION RATING >= 50%), MITIGATION REQUIRED (CONDITION RATING < 50%).

Table with 3 columns: PALMS, MITIGATION REQUIRED (CONDITION RATING >= 50%), MITIGATION REQUIRED (CONDITION RATING < 50%).

IC

MITIGATION SUMMARY: OVERALL SITE

Summary table with 4 columns: TREES, CONDITION RATING >= 50%, CONDITION RATING < 50%, SUMMARY OF MITIGATION PROVIDED.

2C

PAYMENT IN LIEU - CONDITION RATING (>= 50%) (SEC.4.6.19.(E)(S)(B))

Table with 4 columns: Tree #, Common Name, DBH (INCH), Mitigation. Lists trees and their associated costs.

PAYMENT IN LIEU - CONDITION RATING (< 50%) (SEC.4.6.19.(E)(S)(B))

Table with 4 columns: Tree #, Common Name, DBH (INCH), Mitigation. Lists trees and their associated costs.

TOTAL IN LIEU FEES: \$118,025.00



landscape architects and planners

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SUNDY VILLAGE
(F.K.A. MIDTOWN DELRAY)
DELRAY BEACH, FLORIDA
TREE DISPOSITION PLAN - MITIGATION CHART

Table with 2 columns: REVISIONS, COMMENTS. Lists revision dates and descriptions.

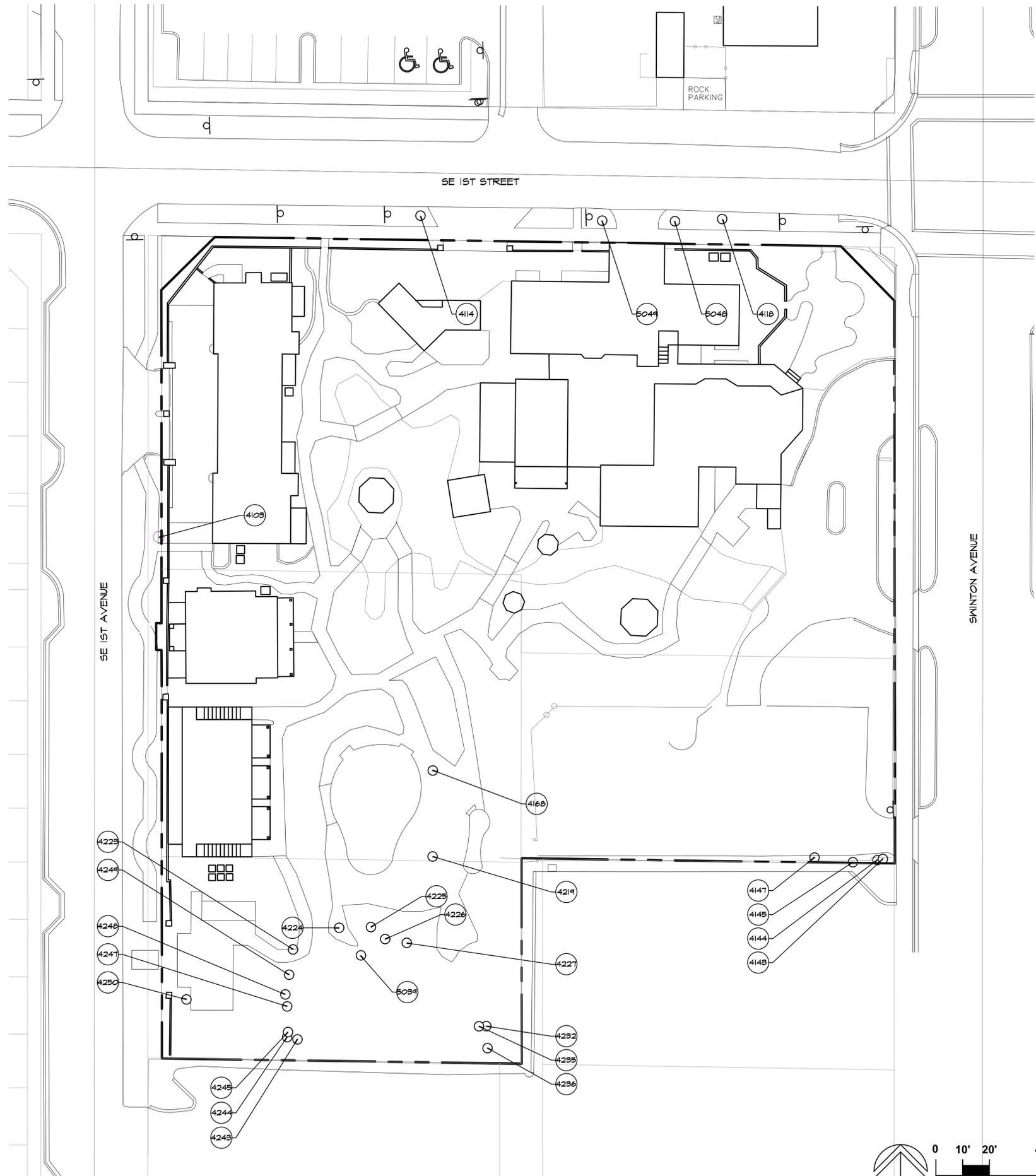
MAY, 2023
DATE
J.R.
DRAWN BY:
M.J.
APPROVED BY:

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TD-5

ID	Common Name	Botanical Name	DBH	Height	Condition	Arborist Notes	Disposition
4103	Sabal palm	Sabal palmetto		10	60%		Relocate off-site
4114	Christmas palm	Adonidia merrillii		7	60%		Remove*
4118	Christmas palm Trip	Adonidia merrillii		5	70%		Remove*
4143	Sabal palm	Sabal palmetto		14	70%		Relocate off-site
4144	Sabal palm	Sabal palmetto		16	70%		Relocate off-site
4145	Sabal palm	Sabal palmetto		4	70%		Relocate off-site
4147	Gumbo limbo	Bursera simaruba	12		30%	Sub-canopy, restricted roots 2 sides	Relocate off-site
4168	Coconut palm	Cocos nucifera		25	70%		Relocate off-site
4219	Coconut palm	Cocos nucifera		23	70%		Relocate off-site
4223	Christmas palm	Adonidia merrillii		14	70%		Relocate off-site
4224	Coconut palm	Cocos nucifera		25	70%		Relocate off-site
4225	Christmas palm	Adonidia merrillii		30	70%		Relocate off-site
4226	Christmas palm	Adonidia merrillii		19	70%		Relocate off-site
4227	Christmas palm	Adonidia merrillii		23	70%		Relocate off-site
4232	Christmas palm	Adonidia merrillii		20	70%		Relocate off-site
4235	Christmas palm	Adonidia merrillii		20	70%		Relocate off-site
4236	Christmas palm	Adonidia merrillii		20	70%		Relocate off-site
4243	Macarthur palm	Ptychosperma macarthurii		21	70%		Relocate off-site
4244	Macarthur palm	Ptychosperma macarthurii		20	70%		Relocate off-site
4245	Macarthur palm	Ptychosperma macarthurii		20	70%		Relocate off-site
4247	Christmas palm	Adonidia merrillii		15	60%		Relocate off-site
4248	Foxtail palm	Wodyetia bifurcata		14	70%		Relocate off-site
4249	Christmas palm	Adonidia merrillii		14	60%		Relocate off-site
4250	Coconut palm	Cocos nucifera		20	70%		Relocate off-site
5039	Coconut palm	Cocos nucifera		21	70%		Relocate off-site
5048	Christmas palm Sngl	Adonidia merrillii		5	40%		Remove*
5049	Christmas palm Sngl	Adonidia merrillii		6	50%		Remove*

\* NO MITIGATION REQUIRED



**SUNDY VILLAGE**  
(F.K.A. MIDTOWN DELRAY)  
**DELRAY BEACH, FLORIDA**  
SUNDY HOUSE (BLOCK 62) - TREES TO BE RELOCATED OFF SITE

REVISIONS:


**FEBRUARY, 2024**  
DATE  
**J.R.**  
DRAWN BY:  
**M.J.**  
APPROVED BY:

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