

DELRAY EAST TOWNHOMES

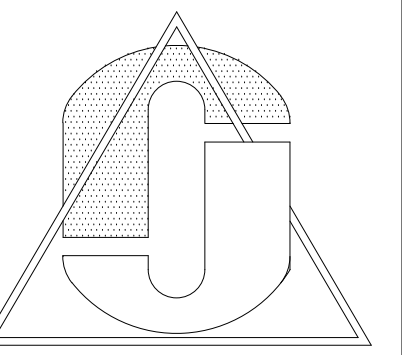
DELRAY BEACH, FLORIDA

Delray East Townhomes
2800 Florida Blvd.
DELRAY BEACH, FLORIDA

MAR-23-2020

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CONTENTS: GENERAL NOTES AND BUILDING DATA

FOR THE PROJECT: DELRAY EAST TOWNHOMES
DELRAY BEACH, FLORIDA

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GENERAL NOTES:	
1	CONSTRUCTION SHALL FOLLOW FLORIDA BUILDING CODE-2014 5th ED. AS ADOPTED BY THE COUNTY AS APPLICABLE AND ALL APPLICABLE AMENDMENTS.
2	BUILDER SHALL COORDINATE ALL THE WORK OF ALL THE TRADES.
3	BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY OF ANY DISCREPANCY OR THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS.
4	DO NOT SCALE DRAWINGS.
5	SUBMIT MINIMUM THREE (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE, IN ITS ENTIRETY, AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
6	THE BUILDER RESERVES THE RIGHT TO SUBSTITUTE ITEMS WHICH THEY BELIEVE TO BE EQUAL OR BETTER THAN ITEMS SPECIFIED ON THESE DRAWINGS WITHOUT ANY PRIOR NOTICE. ITEMS WHICH, WHEN SUBSTITUTED, REQUIRE APPROVAL OF THE BUILDING OFFICIAL, WILL BE SUBMITTED TO THE BUILDING OFFICIAL.
7	BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
8	CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
9	WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
10	ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED.
11	ALL FIXED GLASS, BUTT GLASS, AND GLASS BLOCK SHALL BE INSTALLED TO WITHSTAND 140 MPH WIND LOAD.
12	TRUSS MANUFACTURER SHALL SUBMIT FOUR (4) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OR THEIR ROOF TRUSS DESIGN FOR APPROVAL INCLUDING TWO COPIES FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION. TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC AHU'S AND MISCELLANEOUS EQUIPMENT. COORDINATE LOCATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS.
13	PROVIDE GROUTED CELL AT BEARING POINT OF EACH GIRDER TRUSS.
14	ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH BEARING CLIPS, TOP AND BOTTOM EACH STUD, AS PER CODE.
15	ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318-08
16	CONCRETE SLABS SHALL HAVE A MIN. 3000 PSI COMPRESSIVE STRENGTH AND ALL STRUCTURAL CONCRETE SHALL HAVE A MIN. 3000 PSI COMPRESSIVE STRENGTH. MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE: -SLABS ON VAPOR BARRIER - 3/4" -BEAMS AND COLUMNS - 1 1/2" -FORMED CONCRETE BELOW GRADE - 2" -UNFORMED CONCRETE BELOW GRADE - 3"
17	REINFORCING STEEL: GRADE 60 (FY - 60,000).
18	PLACING DRAWINGS AND BAR LISTS SHALL CONFORM TO A.C.I.'S "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," (A.C.I. 318.08).
19	DETAILS OF CONCRETE REINFORCEMENT SHALL BE IN ACCORDANCE WITH "MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION", AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS OTHERWISE INDICATED.
20	ADEQUATE VERTICAL AND HORIZONTAL SHORING SHALL BE PROVIDED TO SAFELY SUPPORT ALL LOADS DURING CONSTRUCTION.
21	CONCRETE BEAM SIZES MAY BE INCREASED (8" MAXIMUM) AS REQUIRED FOR ARCHITECTURAL DETAILS OR TO FIT BLOCK COARSING. DROP BOTTOM OF THE BEAMS AS REQUIRED AT WINDOW AND DOOR BEAMS (28" MAXIMUM) AND ADD 2 - #5 BOTTOM IF DROP EXCEEDS 8".
22	DOUCEL COLUMN AND WALL REINFORCING TO FOOTING WITH SAME SIZE AND NUMBER OF DOUELS AS VERTICAL BARS ABOVE. VERTICAL CELLS FOR MASONRY TO BE GROUTED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR, UNOBSTRUCTED CELL.
23	CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF THE GROUTED CELLS AT EACH LIFT OVER 4'-0" HIGH. CLEANOUTS SHALL BE SEALED AFTER CLEANING AND INSPECTION, AND BEFORE GROUTING.
24	REINFORCING STEEL SHALL BE LAPPED 48 BAR DIAMETERS MINIMUM WHERE SPICED, AND SHALL BE WIRED TOGETHER. PROVIDE CORNER BARS SAME SIZE AND NUMBER AS HORIZ. BEAM REINFORCING AT EACH FACE. LAP 30 BAR DIAMETERS MIN. STRUCTURAL WOOD AND TIMBER FRAMING SHALL CONFORM TO THE "TIMBER CONSTRUCTION MANUAL", AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
25	ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESSURE TREATED. PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CONCRETE OR OTHER CEMENTITIOUS MATERIALS AND THE WOOD AS REQUIRED PER APPLICABLE CODE.
26	BUILDER SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND BRIDGINGS USED DURING ERECTION OF THE TRUSSES TO PREVENT COLLAPSE OR DAMAGE TO SAME.
27	DIMENSIONAL LUMBER FOR HEADERS AND COLUMNS SHALL BE SOUTHERN YELLOW PINE, NO.2 OR BETTER OR SHALL PROVIDE ALLOWABLE STRESS VALUES OF 1200 PSI IN BENDING FOR SINGLE MEMBER USES. 90 PSI IN HORIZONTAL SHEAR AND SHALL HAVE A MODULUS OF ELASTICITY OF 1600 KSI OR BETTER, AS DETERMINED BY AN APPROVED LUMBER GRADING AGENCY.
28	STRUCTURAL STEEL SHALL CONFORM TO THE A.I.S.C. 'SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDING', 1989 EDITION.
29	MATERIALS SHALL CONFORM TO THE APPLICABLE ASTM SPECIFICATION AS FOLLOWS: -SHAPES, PLATES, ANCHOR BOLTS - A 36-81 A -MACHINE BOLTS - A 325-83 C -TUBULAR STEEL - A 500-82 A GRADE B (46 KSI)
30	WELDED CONSTRUCTION SHALL CONFORM TO THE AMERICAN WELDING SOCIETY 'STRUCTURAL WELDING CODE'. ELECTRODES FOR FIELD AND SHOP WELDS SHALL BE A515, E70XX. SEE FOUNDATION NOTES AND FRAMING NOTES FOR MORE INFORMATION ON THESE ITEMS.
31	TYPICAL CURING REQUIRED FOR ALL SLABS AND FLAT WORK (UNO.) NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.

BLDG. DESIGN DATA	
CODES: FLORIDA BUILDING CODE 2014 6TH EDITION, NFPA FL. FIRE PREVENTION CODE 2014 ED. NEC NATIONAL ELECTRIC CODE 2014 CARBON MONOXIDE DETECTORS REQUIREMENTS PER FL ADMINISTRATIVE CODE RULE 9B-3.0412 ACI 318-08, ASTM 4th ED.	
DESIGN CRITERIA	
COUNTY	PALM BEACH
OCCUPANCY GROUP	R-2
NUMBER OF STORIES	2
BUILDING CATEGORY	ENCLOSED
BASIC WIND SPEED, mph	Vult 170, Vased 132
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE CATEGORY	C
WIND RISK CATEGORY	II
VELOCITY PRESSURE	29.9 PSF
INTERNAL PRESSURE COEFFICIENT	+/- .18
MINIMUM SOIL PRESSURE, psf	2500
FLOOR LOADS (LIVE + DEAD)	60
ROOF DEAD LOAD, psf	25
ROOF LIVE LOAD, psf	30
CONSTRUCTION TYPE	UNPROTECTED

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LOCATION MAP

JAO.
ARCHITECTS
&
PLANNERS
3100 NW BOCA RATON BLVD.
SUITE 115
BOCA RATON, FL 33431
TEL (561) 391-4115
FAX (561) 391-4173
E-MAIL JAOARCH@AOL.COM

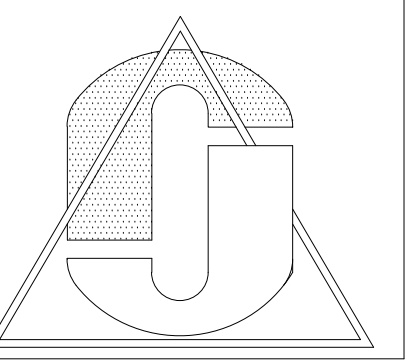


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CHECKED BY: JAO
JOB NUMBER: 20-016
SHEET NO:

SP-1

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- MAR/8/2021
- APRIL/26/2021 REVISED SET
- MAY/18/2021 REVISED
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SITE PLAN
FOR THE PROJECT:
DELRAY EAST TOWNHOMES
DELRAY BEACH, FLORIDA

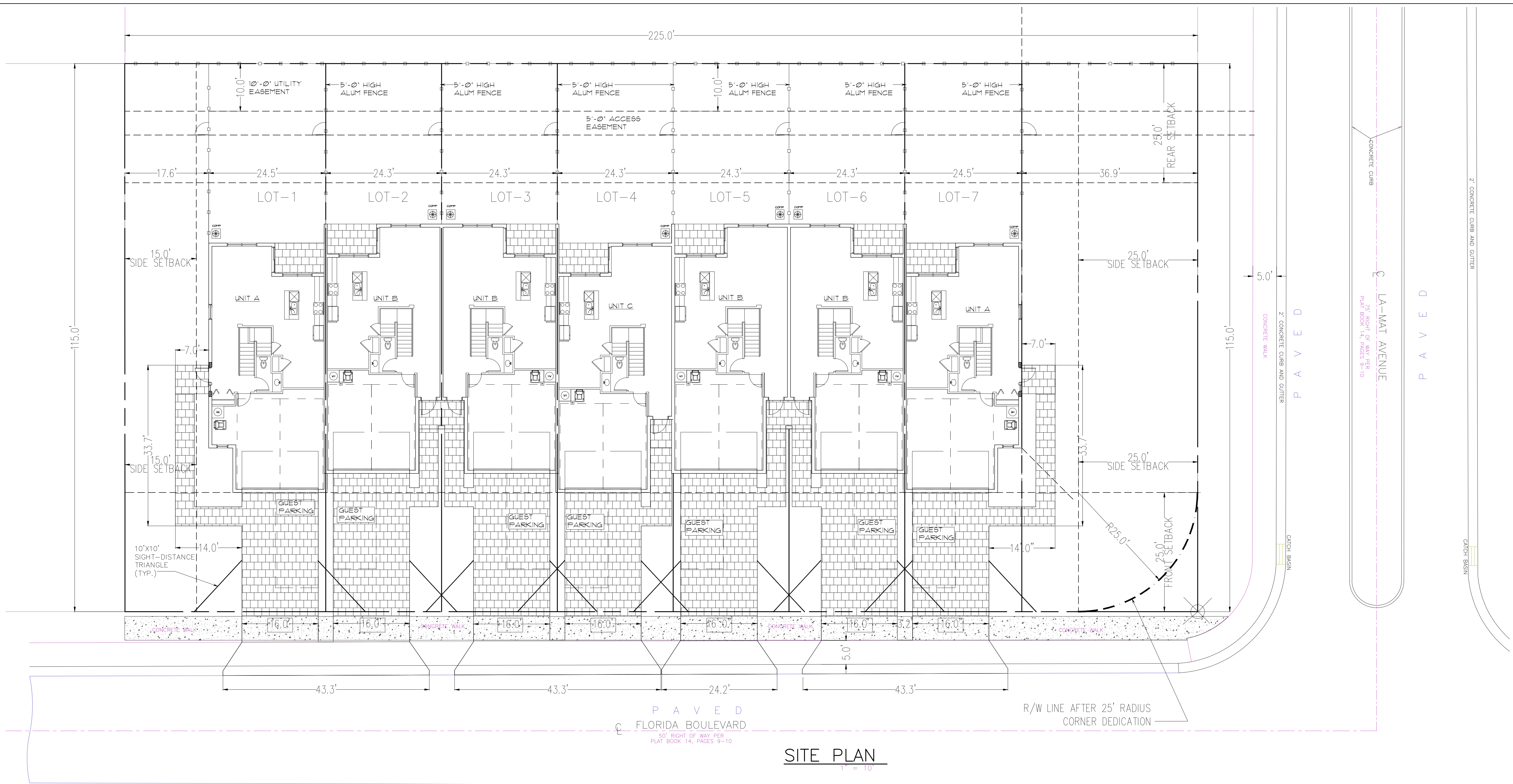
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JAO.
ARCHITECTS
&
PLANNERS

300 N.W. BOCA RATON BLVD.
SUITE 115
BOCA RATON, FL 33431
TEL (561) 391-4115
FAX (561) 391-4173
E-MAIL JAOARCH@AOL.COM



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SITE PLAN
1" = 10'

LEGAL DESCRIPTION:

LOTS 64 THROUGH 68, INCLUSIVE, BLOCK 34, DEL RATON PARK ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGES 9 AND 10, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

LOTS 1 THROUGH 3, INCLUSIVE, FLORIDA BOULEVARD TOWNHOMES AT DELRAY BEACH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 112, PAGES 156 AND 157, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, CONTAINING 25,875 SQUARE FEET OR 0.5940 ACRE MORE OR LESS.

SCOPE OF WORK:

NEW 2 STORY TOWNHOME PROJECT WITH 7 RESIDENTIAL UNITS.

BUILDING INFORMATION:

TYPE V-B CONSTRUCTION
R-2 OCCUPANCY CLASSIFICATION
ALL EXTERIOR ENVELOPE GLASS TO BE IMPACT GLASS
CONFORMING TO APPLICABLE BUILDING CODES. NO ONSITE SECURITY.

SITE PLAN AND BUILDING INFORMATION:

A. LAND USE DESIGNATION	TRN
B. ZONING DESIGNATION	RM
C. SITE AREA	GROSS LOT AREA 25,875 SF. (0.5940 ACRES)
D. WATER WASTEWATER SERVICE	PROVIDE BY: CITY OF DELRAY BEACH
E. RESIDENTIAL DEVELOPMENT	DWELLING UNIT BREAKDOWN AND TYPE: 3 BEDROOM 7 UNITS TOTAL NUMBER OF RESIDENTIAL UNITS 7 UNITS
SITE DENSITY	12 UNITS PER ACRE 7 UNITS ALLOWED 7 UNITS PROPOSED
F. NON-RESIDENTIAL FLOOR AREA	0 SF.
G. PARKING DATA	RESIDENTIAL PARKING REQUIREMENT 2 PER UNIT X 7 UNITS 14 SPACES REQUIRED GUEST 3 PER UNIT X 7 UNITS 4 SPACES REQUIRED 18 SPACES REQUIRED 21 SPACES PROVIDED

H. BUILDING FOOTPRINT COVERAGE (40% MAX)	10,350 SF.
BUILDING FOOTPRINT AREA	8,617 SF
	33.0% SITE COVERAGE

I. BUILDING HEIGHT (35' MAX)	21'-11" MEAN ROOF HEIGHT
J. NUMBER OF STORIES	2

UNIT-A 1824.21 SF. + GARAGE 456.19 SF. + COVERED PATIO 67 SF. x 2 UNITS = 4,696 SF.
UNIT-B 1,110.35 SF. + GARAGE 413 SF. + COVERED PATIO 67 SF. + COVERED ENTRY 28 SF. x 4 UNITS = 9,113.4 SF.
UNIT-C 1,822 SF. + GARAGE 413 SF. + COVERED PATIO 67 SF. + COVERED ENTRY 28 SF. x 1 = 2,330 SF.

TOTAL SQUARE FEET	16,139.4 TOTAL
FLOOR AREA RATIO	62

K. REQUIRED SETBACK	PROVIDED
FRONT YARD	25'-0"
REAR YARD	15'-0"
SIDE YARD (NORTH)	25'-0"
SIDE YARD (SOUTH)	15'-0"

L. NON-VEHICULAR OPEN SPACE	TOTAL LANDSCAPE AREA (46%)
TOTAL IMPERVIOUS	5,293 SQ.FT.
TOTAL PERVIOUS	11,965 SQ.FT.

CLEANOUT ID	NOTES	INVERT ELEV.	DETAIL
C.O. # 1	ON EXISTING LATERAL	3.00	PER DETAIL WW 5.2
C.O. # 2	CONNECTION TO PLUMBING	3.80	
C.O. # 3	ON PROPOSED LATERAL	3.00	PER DETAIL WW 5.2
C.O. # 4	CONNECTION TO PLUMBING	3.80	
C.O. # 4A	CONNECTION TO PLUMBING	3.30	
C.O. # 5	ON PROPOSED LATERAL	3.00	PER DETAIL WW 5.2
C.O. # 6	CONNECTION TO PLUMBING	3.80	
C.O. # 6A	CONNECTION TO PLUMBING	3.30	
C.O. # 7	ON PROPOSED LATERAL	3.00	PER DETAIL WW 5.2
C.O. # 8	CONNECTION TO PLUMBING	3.80	
C.O. # 8A	CONNECTION TO PLUMBING	3.30	
C.O. # 9	ON PROPOSED LATERAL	3.00	PER DETAIL WW 5.2
C.O. # 10	CONNECTION TO PLUMBING	3.80	
C.O. # 10A	CONNECTION TO PLUMBING	3.30	
C.O. # 11	ON PROPOSED LATERAL	3.00	PER DETAIL WW 5.2
C.O. # 12	CONNECTION TO PLUMBING	3.80	
C.O. # 12A	CONNECTION TO PLUMBING	3.30	
C.O. # 13	ON EXISTING LATERAL	3.00	PER DETAIL WW 5.2
C.O. # 14	CONNECTION TO PLUMBING	3.60	

WATER METER	NOTES	DETAIL
WM # 1	UNIT NO. 1	INSTALL 1" WATER METER PER DETAIL PW 9.1a
WM # 2	UNIT NO. 2	INSTALL 1" WATER METER PER DETAIL PW 9.1a
WM # 3	UNIT NO. 3	INSTALL 1" WATER METER PER DETAIL PW 9.1a
WM # 4	UNIT NO. 4	INSTALL 1" WATER METER PER DETAIL PW 9.1a
WM # 5	UNIT NO. 5	INSTALL 1" WATER METER PER DETAIL PW 9.1a
WM # 6	UNIT NO. 6	INSTALL 1" WATER METER PER DETAIL PW 9.1a
WM # 7	UNIT NO. 7	INSTALL 1" WATER METER PER DETAIL PW 9.1a
WM # 8	SITE IRRIGATION	INSTALL 1" WATER METER TO REPLACE EXISTING WATER METER PER DETAIL PW 9.1a

CONSTRUCT ALL CLEANOUTS PER WW 5.1. CLEANOUTS SHALL BE AT A MIN. DISTANCE OF 3 FT. FROM DRIVEWAY AND 18" FROM PROPERTY LINE

ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH DETAILS LD 1.1 AND LD 1.2

WATER SERVICE VERIFICATION:
Verification of water service is required per City's Utilities Dept. (Please excavate a few feet before meter connection or if no meter then excavates where water service is accessible to verify). If water service is galvanized pipe it's recommended to be replaced from the water main to the property line at owner's expense. Inspection of the water service is required by Utilities Personnel. Please contact the City's Utilities Dept. (561-243-7312) to schedule inspection. Please have Utilities Dept. or Water/Sewer Network Manager Scott Solomon contact Plan

LEGEND

- (6.70) PROPOSED ELEVATION
- +6.9 EXISTING ELEVATION
- ALL ELEVATION ARE NAVD 1988 DATUM
- RUNOFF DIRECTION
- CATCH BASIN (CB) TYPE C PER DETAILS D 5.1 AND D 6.1
- PROP. MILL 1" OF ROAD PAVEMENT AND RESURFACING W/ 1" COMPACTED S-III TYPE ASPHALT (TYP. WHERE HATCHED GRAY) PER DETAIL RT 7.1

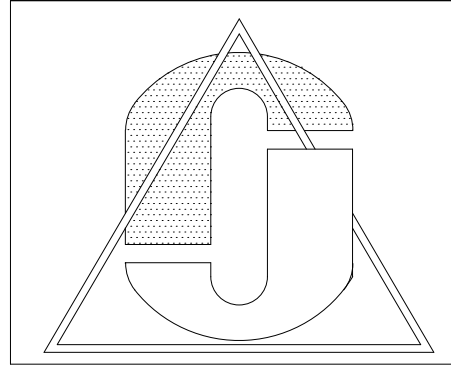
NOTE: PLEASE REFER SHEET C-3 FOR DRIVEWAYS DIMENSIONS

THE CONTRACTOR SHALL CAP ALL UNUSED EXISTING WATER AND SEWER SERVICES AS REQUIRED BY THE CITY OF DELRAY BEACH

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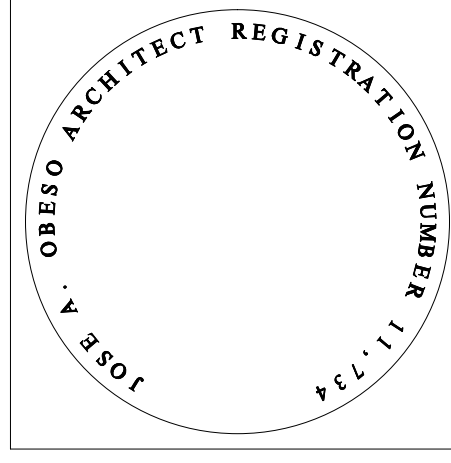


COMPOSITE PLAN
DELRAY EAST TOWNHOMES
DELRAY BEACH, FLORIDA

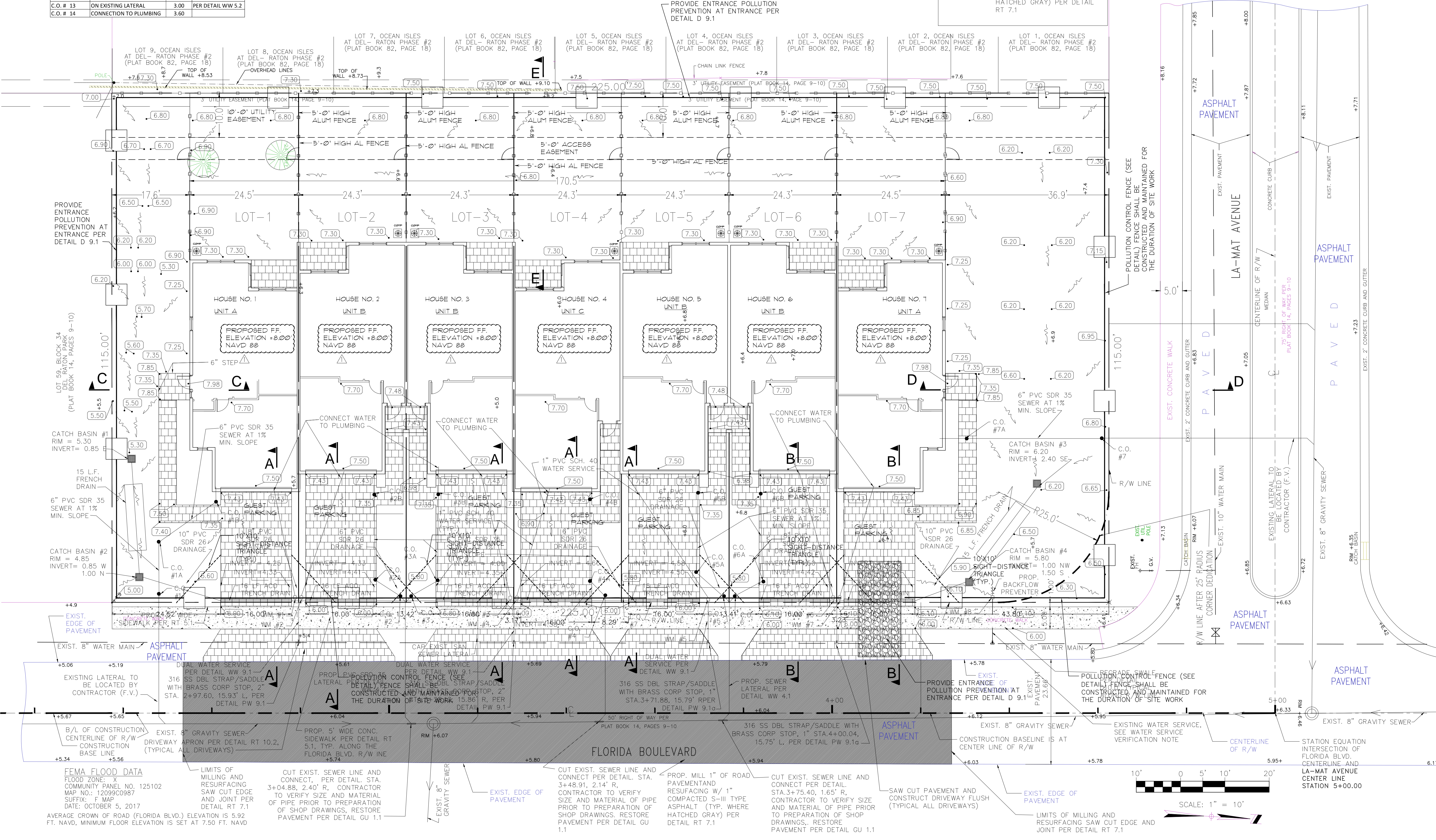
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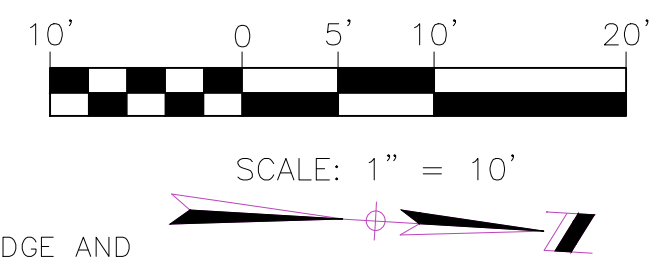
JAO ARCHITECTS & PLANNERS
300 N.W. BOCA RATON BLVD.
SUITE 105
BOCA RATON, FL 33431
TEL (561) 391-4115
FAX (561) 391-4173
E-MAIL JAOARCH@AOL.COM



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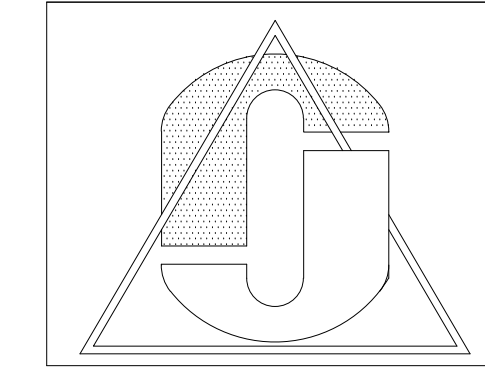


FEMA FLOOD DATA
FLOOD ZONE: X
COMMUNITY PANEL NO. 125102
MAP NO.: 12099C0987
SUFFIX: F MAP
DATE: OCTOBER 5, 2017
AVERAGE CROWN OF ROAD (FLORIDA BLVD.) ELEVATION IS 5.92 FT. NAVD. MINIMUM FLOOR ELEVATION IS SET AT 7.50 FT. NAVD



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CONTENTS:

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DEMOLITION PLAN

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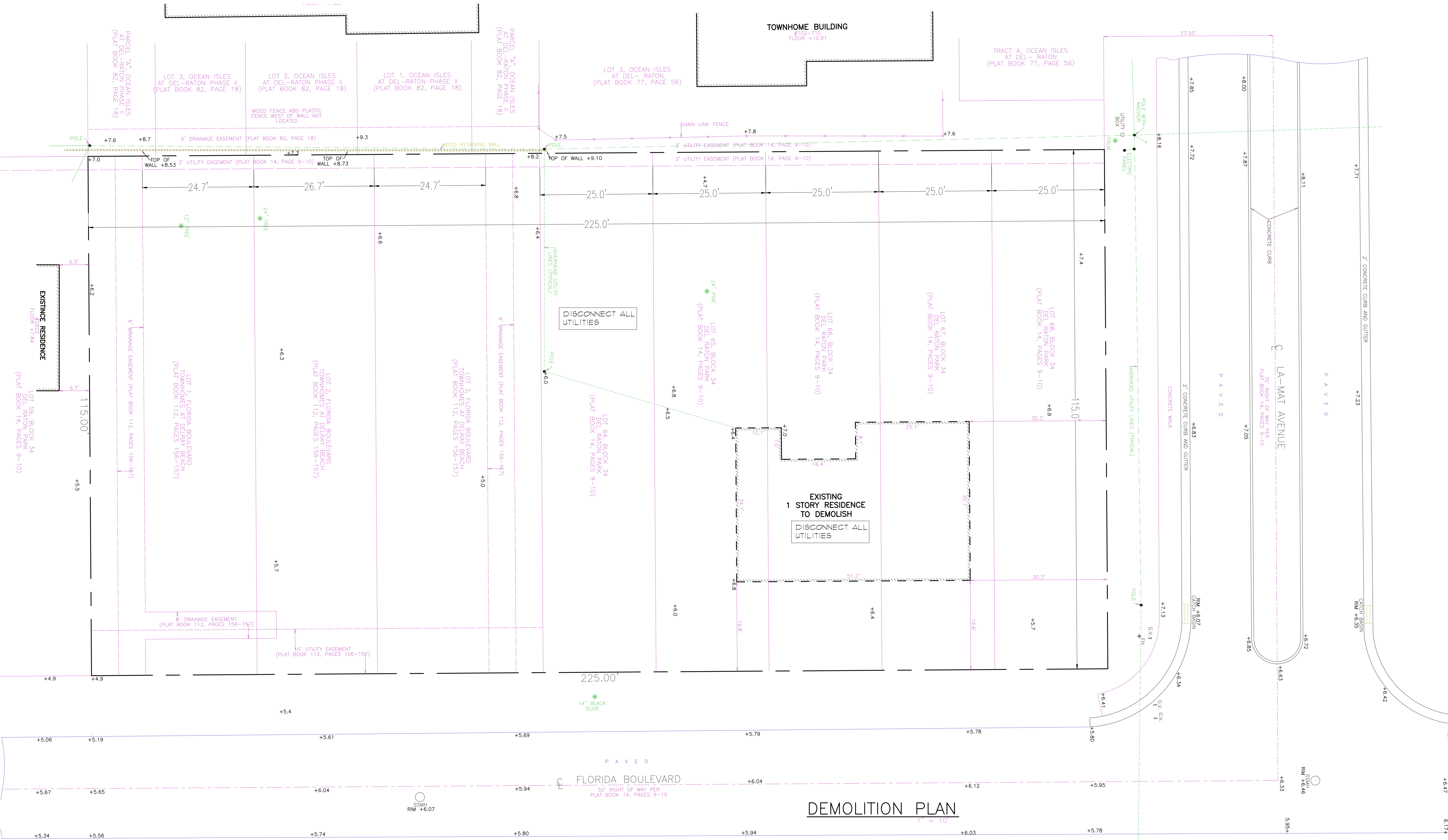
300 N.W. BOCA RATON BLVD.
SUITE 115
BOCA RATON, FL 33431

TEL (561) 391-4115
FAX (561) 391-4173
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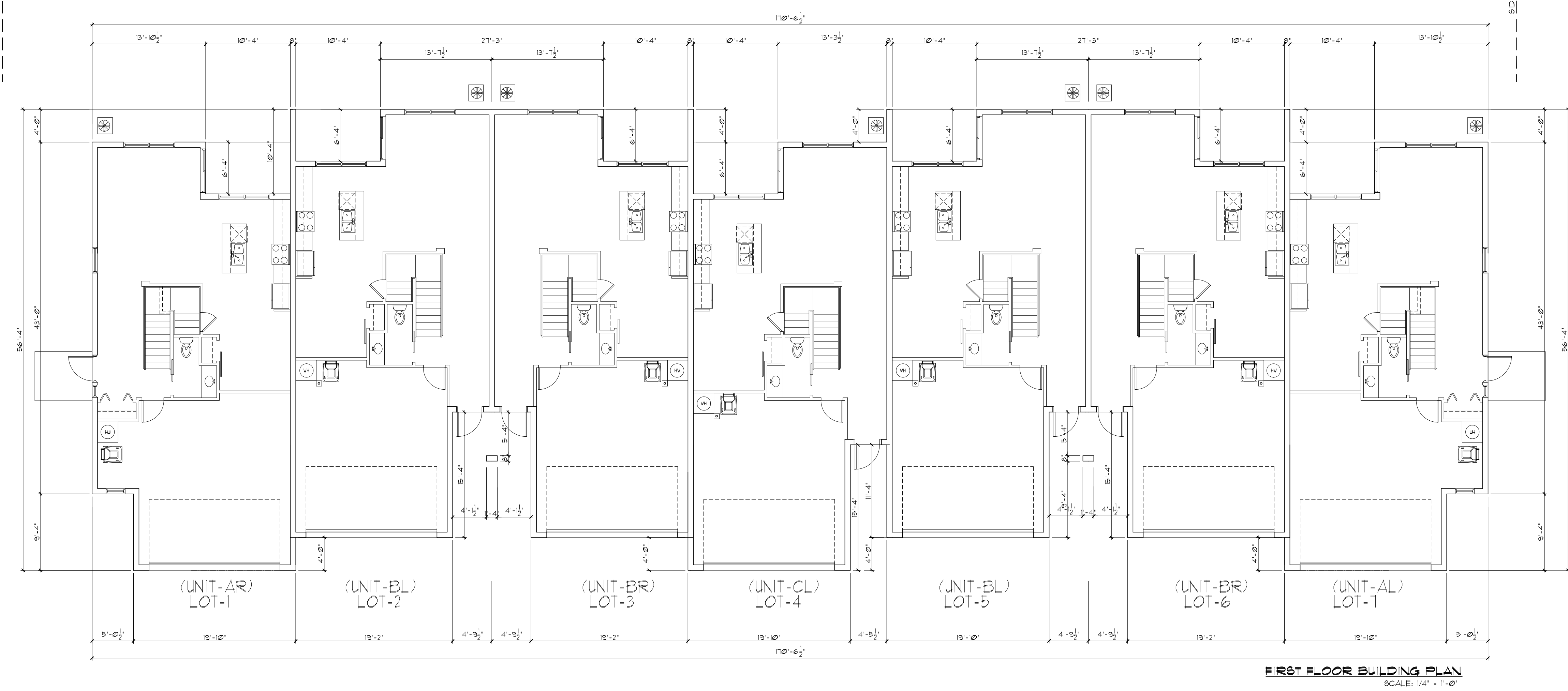
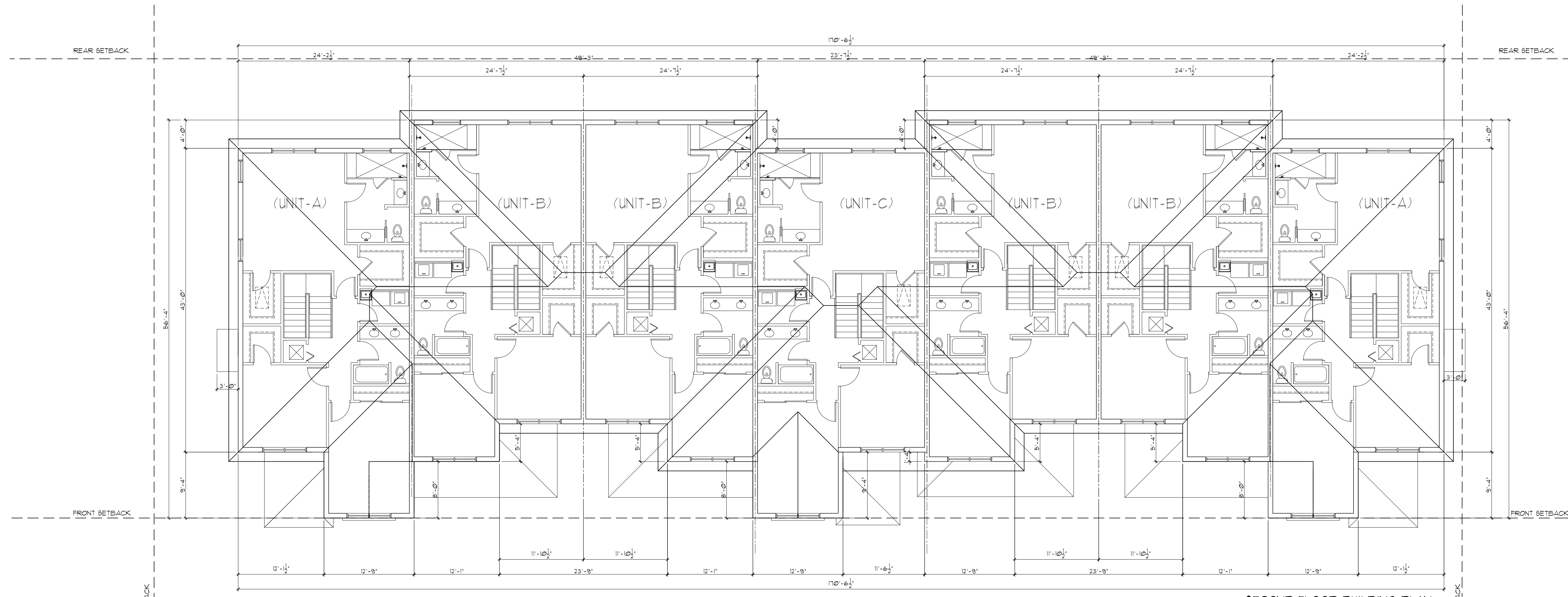


DATE DRAWN: MAR-2020
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SHEET NO:

SP-4



DEMOLITION PLAN
1" = 10'

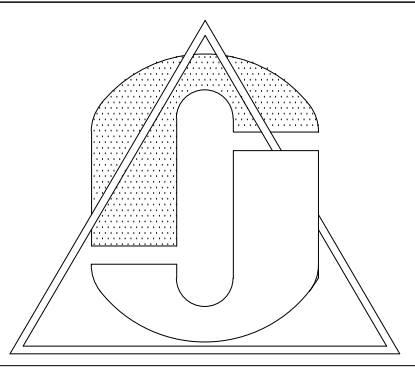


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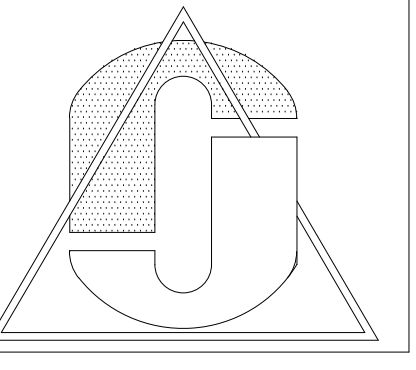
3100 N.W. BOCA RATON BLVD.
SUITE 115
BOCA RATON, FL 33431

TEL (561) 391-4115
FAX (561) 391-4173
E-MAIL JAOARCH@AOL.COM



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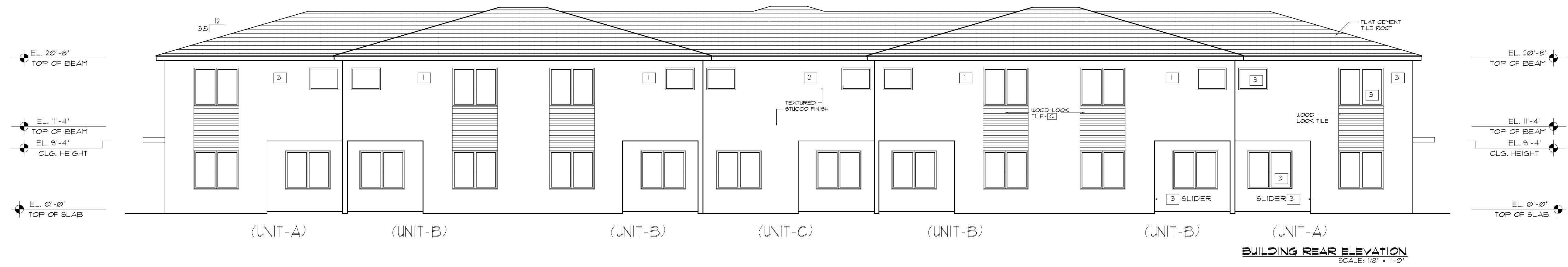
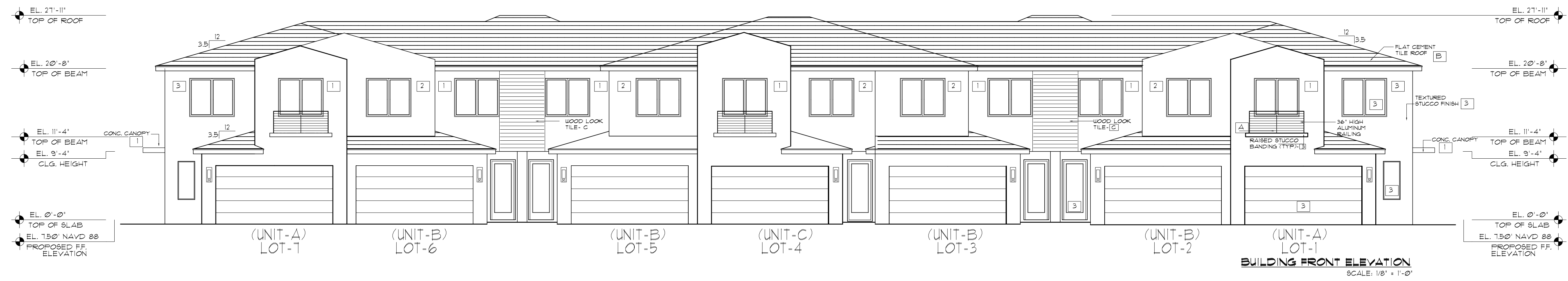
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EXTERIOR ELEVATIONS

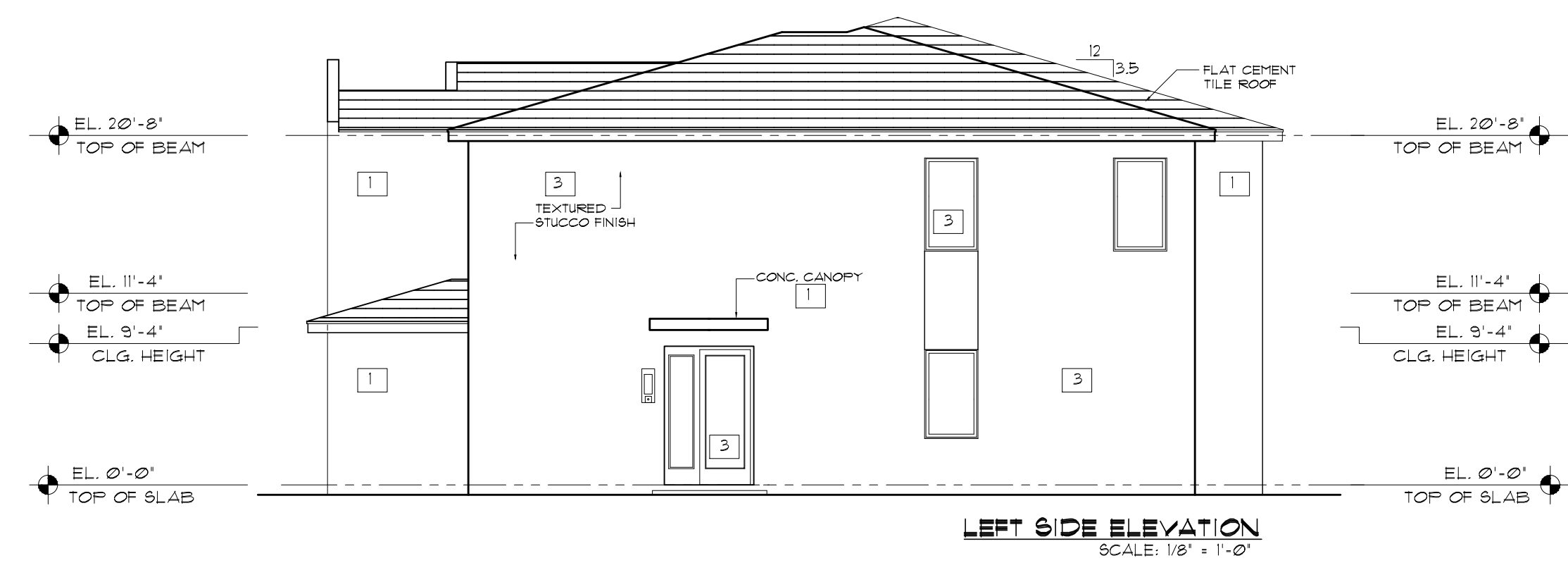
FOR THE PROJECT:
DELRAY EAST TOWNHOMES
DELRAY BEACH, FLORIDA

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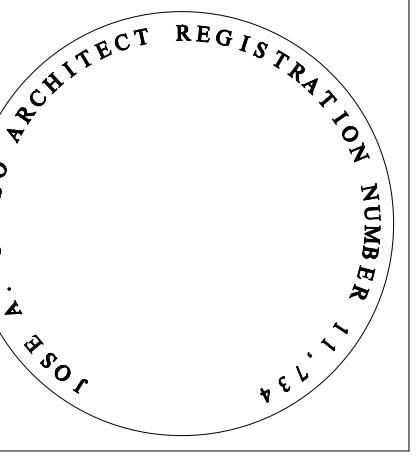


EXTERIOR COLOR SCHEDULE

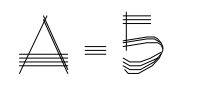
PK	COLOR NAME	LOCATION	SAMPLE
1	BM-MORNING SUNSHINE	WALLS CANOPIES	
2	BM-MILKY WAY	WALLS	
3	BM-ICE MIST	LIGHTS WALLS TRIM WINDOW DOORS GARAGE DOORS	
A	STERLING	ROOF	
B	ALUMINUM SILVER	RAILINGS	
C	WOOD LOOK TILE	WALL SIDING ACCENT	

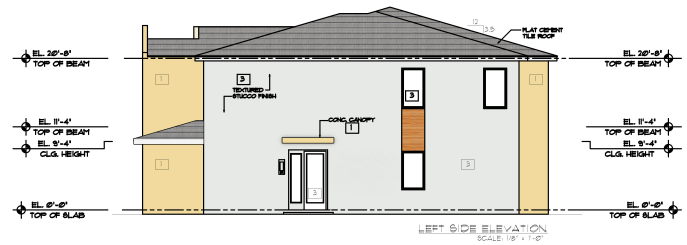
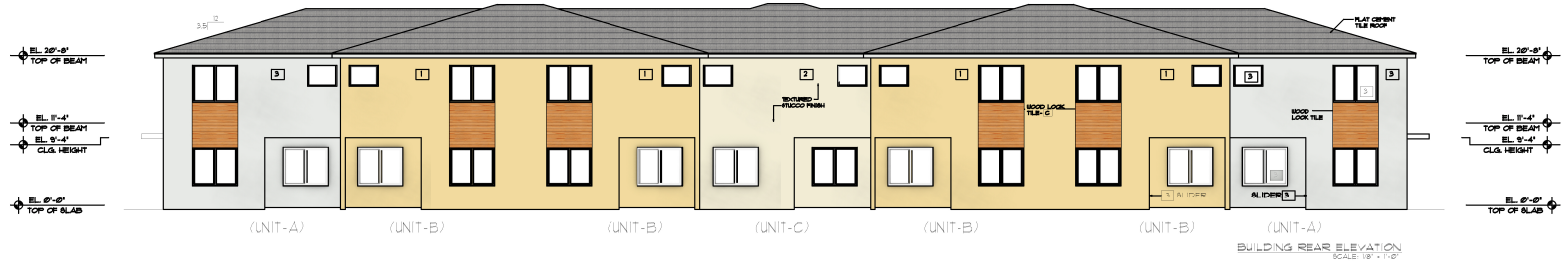
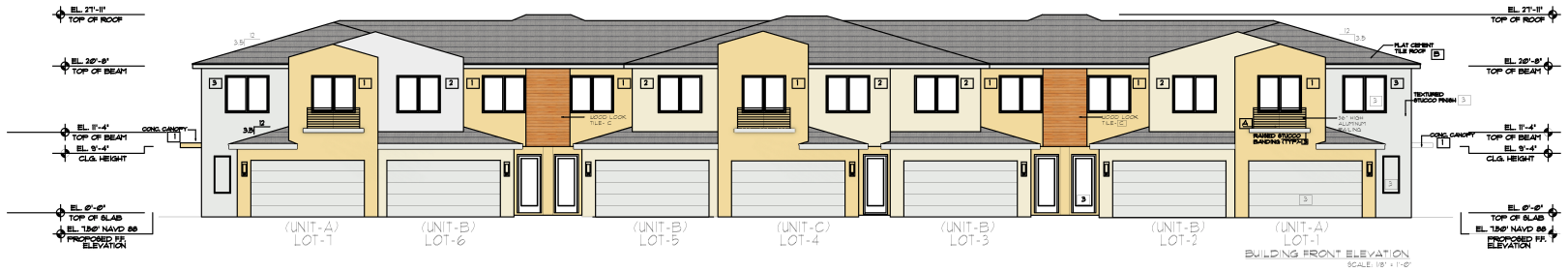


JAO ARCHITECTS & PLANNERS
300 N.W. BOCA RATON BLVD.
SUITE 105
BOCA RATON, FL 33431
TEL (561) 391-4115
FAX (561) 391-4173
E-MAIL JAOARCH@AOL.COM



DATE DRAWN: MAR-2020
DRAWN BY: RH
CHECKED BY: JAO
JOB NUMBER: 20-016
SHEET NO:





EXTERIOR COLOR SCHEDULE			
PK	COLOR NAME	LOCATION	SAMPLE
1	SPARKLING GRANITE	WALLS, COLUMNS	
2	SPARKLING GRANITE	WALLS	
3	SPARKLING GRANITE	ROOF	
4	SPARKLING GRANITE	WOOD LOOK TILE	
5	SPARKLING GRANITE	WOOD LOOK TILE-C	
6	SPARKLING GRANITE	WOOD LOOK TILE	
7	SPARKLING GRANITE	WOOD LOOK TILE	
8	SPARKLING GRANITE	WOOD LOOK TILE	
9	SPARKLING GRANITE	WOOD LOOK TILE	
10	SPARKLING GRANITE	WOOD LOOK TILE	

- REVISIONS
1. CORRECTED
 2. APRIL 04/2001 REVISED SET
 3. MAY 19/2001 REVISED
 - 4.
 - 5.
 - 6.



EXTERIOR ELEVATIONS
DELRAY EAST TOWNHOMES
 DELRAY BEACH, FLORIDA

FOR THE PROJECT

CONTENTS

J.A.O. ARCHITECTS & PLANNERS
 300 NW BOCA RATON BLVD.
 SUITE 101
 BOCA RATON, FL 33431
 TEL (561) 381-4115
 FAX (561) 381-4173
 E-MAIL: JAO@ARCHJAO.COM

J.A.O. ARCHITECTS & PLANNERS
 300 NW BOCA RATON BLVD.
 SUITE 101
 BOCA RATON, FL 33431
 TEL (561) 381-4115
 FAX (561) 381-4173
 E-MAIL: JAO@ARCHJAO.COM



DATE DRAWN: MAR-2000
 DRAWN BY: JAO
 CHECKED BY: JAO
 JOB NUMBER: 10-076
 SHEET NO:
 A-1

