



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 105 NE 6th Street (2020-210)

Project Location: 105 NE 6th Street, Del-Ida Park Historic District

PCN: 12-43-46-09-29-002-0090

Request: Certificate of Appropriateness

Board: Historic Preservation Board

Meeting Date: December 16, 2020

Board Vote: Approved on a 6-0 vote

Board Actions:

Certificate of Appropriateness (2020-210) request associated with the construction of a one-story 526 square foot accessory structure adjacent to the existing, contributing residence.

Project Description:

The subject 0.28-acre property is located on the north side of NE 6th Street between North Swinton Avenue and NE 2nd Avenue. The property contains a one-story, Minimal Traditional style, single-family, residence, which was built in 1939 and is classified as contributing within the Locally Registered Del-Ida Park Historic District and consists of Lots 9 & 10, Block 2, Del Ida Park.

On March 26, 2020, staff administratively approved COA 2020-146 for a color change.

The subject request was for the construction of a one-story, 526 square foot accessory structure adjacent to the existing, contributing residence. In addition, the proposal also includes the construction of porch with a summer kitchen to the rear of the existing structure and swimming pool with travertine deck in the rear of the property.

Board Comments:

All members of the board were supportive of the proposal.

Public Comments:

There was no public comment.

Associated Actions:

N/A

Next Action:

The HPB action is final unless appealed by the City Commission



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING
100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444
(561) 243-7040

HISTORIC PRESERVATION BOARD STAFF REPORT

105 NE 6th Street

Meeting	File No.	Application Type
December 16, 2020	2020-210	Certificate of Appropriateness

REQUEST

The item before the Board is in consideration of a Certificate of Appropriateness (2020-210) request associated with the construction of a one-story 526 square foot accessory structure adjacent to the existing, contributing residence on the property located at **105 NE 6th Street, Del-Ida Park Historic District**.

GENERAL DATA

Agent: Steve Siebert Architecture

Owner: Tracy Jansen

Location: 105 NE 6th Street

PCN: 12-43-46-09-29-002-0090

Property Size: 0.28 Acres

Zoning: R-1-AA - Single-Family Residential

LUM Designation: LD (Low Density)

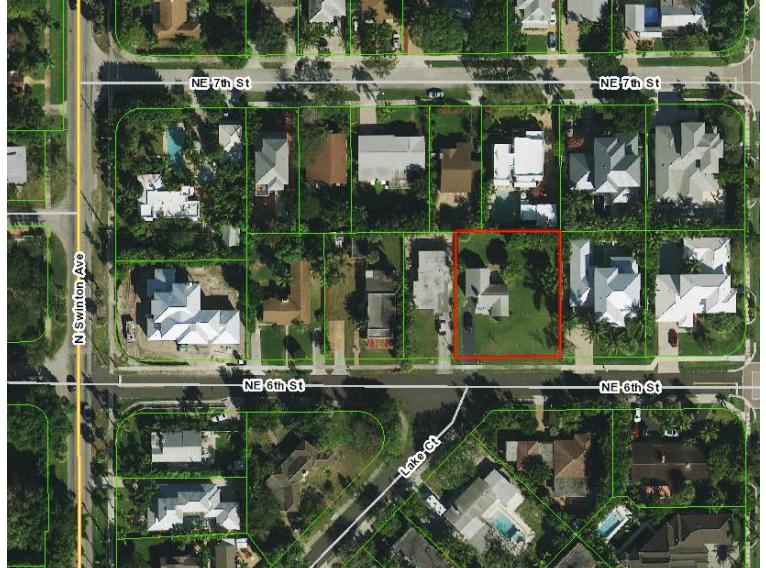
Historic District: Del-Ida Park Historic District

Adjacent Zoning:

- R-1-AA - Single-Family Residential (North)
- R-1-AA - Single-Family Residential (West)
- R-1-AA - Single-Family Residential (South)
- R-1-AA – Single-Family Residential (East)

Existing Land Use: Residential

Proposed Land Use: Residential



BACKGROUND INFORMATION AND PROJECT DESCRIPTION

The subject 0.28-acre property is located on the north side of NE 6th Street between North Swinton Avenue and NE 2nd Avenue. The property contains a one-story, Minimal Traditional style, single-family, residence, which was built in 1939 and is classified as contributing within the Locally Registered Del-Ida Park Historic District and consists of Lots 9 & 10, Block 2, Del Ida Park.

On March 26, 2020, staff administratively approved COA 2020-146 for a color change.

The subject request is for the construction of a one-story, 526 square foot accessory structure adjacent to the existing, contributing residence. In addition, the proposal also includes the construction of porch with a summer kitchen to the rear of the existing structure and swimming pool with travertine deck in the rear of the property. The COA is now before the board.

Project Planner:

Project Planner: Katherine Paliwoda, Planner
PaliwodaK@mydelraybeach.com

Review Dates:

HPB: December 16, 2020

Attachments:

1. Plans
2. Justification Statements
3. Photographs

REVIEW AND ANALYSIS

Pursuant to Land Development Regulation (LDR) Section 2.4.6(H)(5), prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective 1.4 of the Historic Preservation Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

Pursuant to Land Development Regulation (LDR) Section 2.4.5(I)(5), Architectural (appearance) elevations, the Site Plan Review and Appearance Board or the Historic Preservation Board, as appropriate, may approve subject to conditions or deny architectural elevations or plans for a change in the exterior color of a building or structure, or for any exterior feature which requires a building permit.

ZONING AND USE REVIEW

Pursuant to LDR Section 4.4.3(F)(1) – Single-Family Residential (R-1-AA) Development Standards:

Pursuant to LDR Section 4.3.4(K) - Development Standards: properties located within the R-1-AA zoning district shall be developed according to the requirements noted in the chart below. The proposal is in compliance with the applicable requirements; therefore, positive findings can be made.

Development Standards	Required	Existing	Proposed
Open Space (Minimum, Non-Vehicular)	25%	82.9%	42.2%
Setbacks (Minimum):			
Front (South)	30'	39'-8"	39'-8"
Side Interior (East)	10'	35'-4"	10'-1"
Side Interior (West)	10'	51'-9"	10'-4"
Rear (North)	10'	9'-3"	9'-3"
Height (Maximum)	35' Max.	13'	12'

Pursuant to LDR Section 4.3.4(Q) Guest cottage.

1. Can only be used by members of the family occupying the principal dwelling, their nonpaying guests, (except in Bed and Breakfast Inns), or persons employed for service on the premises.
2. The guest cottage shall not occupy more than one-twentieth of the lot area and in no case shall exceed a floor area of 700 square feet.
3. The structure shall be located to observe the setback requirements as imposed for the principal structure.
4. When located on individually designated historic properties or within designated historic districts, the structure shall not exceed the height of the principal structure.

The proposed accessory cottage meets the requirements of this code section in that it is proposed to contain 526 square feet, which represents less than one-twentieth of the lot area and no more than 700 sq. ft. The subject proposal adheres to the required setbacks and will not exceed the height of the principal structure.

Pursuant to LDR Section 4.6.15(G) Swimming Pool - Yard encroachment. Swimming pools, the tops of which are no higher than grade level, may extend into the rear, interior or street side setback areas but no closer than ten feet to any property line. Swimming pools shall not extend into the front setback area noted in Section 4.3.4(K).

A swimming pool is proposed in the rear of the property and will meet the requirements of this code section.

LDR SECTION 4.5.1

HISTORIC PRESERVATION: DESIGNATED DISTRICTS, SITES, AND BUILDINGS

Pursuant to LDR Section 4.5.1(E), Development Standards, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section

Pursuant to LDR Section 4.5.1(E)(2)(c)(4) – Major Development.

The subject application is considered “Major Development” as it involves “new construction within the R-1-AA zoning district.”

Pursuant to LDR Section 4.5.1(E)(3) – Buildings, Structures, Appurtenances and Parking: Buildings, structures, appurtenances and parking shall only be moved, reconstructed, altered, or maintained, in accordance with this chapter, in a manner that will preserve the historical and architectural character of the building, structure, site, or district:

Appurtenances: Appurtenances include, but are not limited to, stone walls, fences, light fixtures, steps, paving, sidewalks, signs, and accessory structures.

Fences and Walls: The provisions of Section 4.6.5 shall apply, except as modified below:

- a. Chain-link fences are discouraged. When permitted, chain-link fences shall be clad in a green or black vinyl and only used in rear yards where they are not visible from a public right of way, even when screened by a hedge or other landscaping.
- b. Swimming pool fences shall be designed in a manner that integrates the layout with the lot and structures without exhibiting a utilitarian or stand-alone appearance.
- c. Fences and walls over four feet (4') shall not be allowed in front or side street setbacks.
- d. Non-historic and/or synthetic materials are discouraged, particularly when visible from a public right of way.
- e. Decorative landscape features, including but not limited to, arbors, pergolas, and trellises shall not exceed a height of eight feet (8') within the front or side street setbacks.

The property currently has an existing 4' chain link fence to the rear (north), an existing 6' wood fence on the rear and side (northwest), and an existing 7' CMU wall on the side (east) of the property. A new 6' wood fence and gate is proposed behind the setback of the accessory structure to the east side of the property will assist in the enclosure of the swimming pool. A 4' wood picket fence is also proposed on the south elevation behind the front elevation of the structures.

Parking: Parking areas shall strive to contribute to the historic nature of the properties/districts in which they are located by use of creative design and landscape elements to buffer parking areas from adjacent historic structures. At a minimum, the following criteria shall be considered:

- a. Locate parking adjacent to the building or in the rear.
- b. Screen parking that can be viewed from a public right-of-way with fencing, landscaping, or a combination of the two.
- c. Utilize existing alleys to provide vehicular access to sites.

- d. Construct new curb cuts and street side driveways only in areas where they are appropriate or existed historically.
- e. Use appropriate materials for driveways.
- f. Driveway type and design should convey the historic character of the district and the property.

The subject proposal complies with the requirements of this subject regulation, as there is an existing garage and driveway that complies with residential parking. The proposal includes construction of a brick paver circular driveway in the front of the property and a new golfcart carport area on the east side of the new accessory structure.

Pursuant to LDR Section 4.5.1(E)(4) – Alterations: in considering proposals for alterations to the exterior of historic buildings and structures and in applying development and preservation standards, the documented, original design of the building may be considered, among other factors.

The subject request is the for the construction of an accessory structure adjacent to the east side of the existing structure. A new summer kitchen to the rear of the existing structure, a swimming pool, and travertine pool deck are also proposed. The structure has been considered with respect to improvements.

Pursuant to LDR Section 4.5.1(E)(5) - Standards and Guidelines: a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

Standard 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Standard 6

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old

in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard 10

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Standard 1, 2, 5, 9, & 10 are applicable. The proposal includes the construction of an accessory structure adjacent to the east side of the existing contributing one-story, single-family residence. Like the existing structure, the proposed accessory cottage will also have the same use as a residential property as the site and its surrounding environment was historically used. Regarding Standard 1, 5, and 9, the architectural style of the proposed structure is defined as a Minimal Traditional which is compatible with the existing Minimal Traditional residence. It is also a style that is very common within the Del-Ida Park Historic District. Regarding Standard 2, the accessory structure has been designed so that it is detached from the contributing structure, ensuring that the historic integrity of the main structure will not be harmed. There are minimal alterations being proposed on the main structure. A porch added to the rear of the structure gives the property room for modernization and a useable outdoor space, while ensuring that if ever removed, the integrity of the structure will not be harmed. In addition, the proposal also includes the restoration of the chimney as Chicago brick will be added to the exterior. Therefore, the historic character of the property is being retained and preserved.

Pursuant to LDR Section 4.5.1(E)(7) - Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m) below.

- a. Height: The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility**

with respect to the height of residential structures, as defined by 4.5.1(E)(2)(a), shall also be determined through application of the Building Height Plane.

- b. **Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- c. **Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- d. **Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- e. **Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- f. **Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- g. **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- h. **Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- i. **Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
- j. **Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:
 - a. For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line;
 - b. For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line;
- k. **Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.

- I. **Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.
- m. **Additions to individually designated properties and contributing structures in all historic districts:** Visual compatibility shall be accomplished as follows:
 1. Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.
 2. Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.
 3. Characteristic features of the original building shall not be destroyed or obscured.
 4. Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.
 5. Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design but shall be coherent in design with the existing building.
 6. Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.

Regarding the visual compatibility requirement of **Relationship of Materials, Texture, and Color:** which requires the **relationship of materials, texture, and color of the facade of a building and/or hardscaping to be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district** - the exterior finish of the proposed accessory structure will be wood siding to match the existing residence. Wood eyebrows, and board and batten shutters will be added to the windows. Wood outlookers will be added to the roof eaves and posts throughout the structures that will be wrapped in natural cedar. White aluminum framed single hung and fixed windows with dimensional muntins are proposed. Historically, the predominant materials used in and on historic structures within the Del-Ida Park Historic District are authentic such as wood or metal. With new construction, typically aluminum is utilized for doors, windows and railings with wood elements being utilized for both decorative and structural elements such as shutters, railings, rafter tails, corbels etc. The existing gray asphalt shingle roof on the main structure is to be replaced with metal shingles. The proposed accessory structure will also have metal shingles to match. While there has been much debate over the use of metal roofing within Delray Beach's five historic districts, it is a material that is documented as being utilized in Delray Beach, both in standing seam and shingle styles, especially on wood frame structures such as the Minimal Traditional style.

Overall, the use of authentic materials guarantees the longevity and authenticity of the district, ensuring there will be future resources that will contribute to the architectural and historical context of the historic district.

With regards to **Architectural Style**, It states that all major and minor development shall consist of only one architectural style per structure or property and not introduce elements definitive of another style. The architectural style of the proposed structure is defined by the architect as Minimal Traditional. the proposed Minimal Traditional of the accessory cottage is compatible with the existing structure as well as the overall streetscape as it is an historic style that exists within the Del-Ida Park Historic District.

With regards to **Additions**, it states that additions shall be located to the rear or least public side of a building and be as inconspicuous as possible. Additions or accessory structures shall not be located in front of the established front wall plane of a historic building. The subject request includes an accessory structure to be constructed on the east side of the property, 13'4" east of the existing structure. It is noted the double lot size of the subject being 100' x 120' is larger than the minimum

requirement for the zoning; thus, placing the addition adjacent to the existing structure would be an appropriate use of the large lot size. The addition is also setback slightly behind the front wall plane of the existing structure. The height of the accessory structure is also one foot lower than the main residence. Therefore, the addition meets the requirements for being secondary and subordinate.

COMPREHENSIVE PLAN

Pursuant to the Historic Preservation Element (HPE), Objective 1.4, Historic Preservation Planning: Implement appropriate and compatible design and planning strategies for historic sites and properties within historic districts.

The objective shall be met through continued adherence to the City's Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

HPE Policy 1.4.1

Continue to require that the Historic Preservation Board make findings that any land use or development application for a historic structure, site or within a historic district, is consistent with the provisions of the Secretary of the Interior's Standards for Rehabilitation, the Land Development Regulations, and Delray Beach Historic Preservation Design Guidelines.

The development proposal involves the construction of a one-story accessory structure adjacent to the east side of the existing one-story, contributing residence on the subject property. In addition, a new rear porch with a summer kitchen is proposed to the rear of the existing structure. A swimming pool and travertine deck is also proposed to the rear of the property. There are no concerns with respect to soil, topographic or other physical considerations. With respect to the adjacent land uses, the property is in an area surrounded by single-family and multi-family residential uses. The proposal can be found to be consistent with the requirements of the Comprehensive Plan and provided the conditions of approval are addressed, the request will be considered to be consistent with the provisions of LDR Section 4.5.1 relating to historic sites and districts as well as the "Delray Beach Historic Preservation Design Guidelines".

OPTIONAL BOARD MOTIONS FOR ACTION ITEMS

- A. Move to continue with direction
- B. Approve Certificate of Appropriateness (2020-210), request for the property located at **105 NE 6th Street, Del-Ida Park Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations.
- C. Approve Certificate of Appropriateness (2020-210), requests for the property located at **105 NE 6th Street, Del-Ida Park Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations subject to the following conditions:
- D. Deny Certificate of Appropriateness (2020-210), requests for the property located at **105 NE 6th Street, Del-Ida Park Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

PUBLIC AND COURTESY NOTICES

X Courtesy Notices were provided to the following, at least 5 working days prior to the meeting:	X Agenda was posted on (12/9/20), 5 working days prior to meeting.
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Del-Ida Park Neighborhood Association

Jensen Residence
105 NE 6th Street, Delray Beach, FL 33444

Historic Narrative & justification statement

The House:

The House at 105 NE th Street consists of a wood frame home in the Del-Ida Historic District. The district sits between Lake Ida road and George Bush Blvd. East of Swinton Avenue.

The House was built in 1948, in the late Minimal Traditional style (1935-1950) using simple details with a brick chimney. Also, shuttered single hung windows, short overhangs (12") on the eaves, and gable ends with no overhang were utilized in the design. At a later date (maybe 1983) a carport on the West side was converted to a garage.

The proposed changes to the house include, bringing back the brick chimney with thin-set Chicago brick for a textural and color pop to this feature, adding 8" of overhang on the gable ends for both function and aesthetics. (this will aid in weather protection to the existing attic vents that allow water infiltration for every minor rain). Changing the asphalt shingle roof to galvanized metal shingles, and changing out the existing garage door to a true carriage (swing-style) door.

A large covered porch (XX SF) addition, with an outdoor kitchen is proposed for North side (back) of the house. Shown on the drawings, the cornice & freeze trim will align with the existing house and carry the existing trim detail around this covering. Wood columns will match those on the front of the existing home in style and finish to support the wood-structure roof. This application includes the approval for the size and location of the pool by others.

The Guest House:

A New 526 SF proposed guest house is part of this application request. Following the Delray LDR guidelines, the guest house is a slab-on-grade, wood frame cottage in a similar style and finish to the existing home. A "mini-car-port" for a golf-cart is open on the East side with storage behind. Color will match the recently approved color scheme for the existing house, and a combination of 6' wood fence and 4' picket fence will be added to the site to enclose the yard, and tie the structures together. Siding will be hardi-plank cementitious siding to simulate wood & meet the Impact requirements of the current building codes. Shingles & shutter shall match, while windows shall be impact rated aluminum windows with clear glass glazing. Proposed columns at the front porch and car-port shall match the existing home in style and finish.

End of Narrative

Jensen Residence Guesthouse, Porch Addition & Pool.
LDR 4.5.1 (E)(7) Visual Compatibility Standards

a. Height: The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by [4.5.1\(E\)\(2\)\(a\)](#), shall also be determined through application of the following: [Amd. Ord. 38-07 2/5/08] **The height of the proposed guesthouse is (12'-0") and is lower than the existing contributing home. The height of the proposed outdoor area and kitchen is (13'-0") the same height as the eave of the attached home.**

b. Front Façade Proportion: The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district. [Amd. Ord. 38-07 2/5/08]

The proposed guesthouse is visually compatible with & similar in scale, shape, design, etc. to the existing contributing home.

c. Proportion of Openings (Windows and Doors): The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district. [Amd. Ord. 38-07 2/5/08]
The proposed guesthouse windows are similar in scale and location(s) to the existing structure.

d. Rhythm of Solids to Voids: The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades. [Amd. Ord. 38-07 2/5/08]

The proposed guesthouse rhythm of solids to voids complements and aligns with the existing contributing structure. The proposed covered living space addition, is to the rear of the contributing structure and is an open structure to take advantage of the outdoors for function of both the house & proposed pool.

e. Rhythm of Buildings on Streets: The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district. [Amd. Ord. 38-07 2/5/08] **The proposed guesthouse is spaced a reasonable distance from the contributing structure to appear as another house. It is connect with a proposed picket fence to meet the requirement of fencing a pool, with an aesthetic element to enhance the rhythm of buildings on the street.**

f. Rhythm of Entrance and/or Porch Projections: The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development. [Amd. Ord. 38-07 2/5/08]

A small covered porch, and small covered car-port structure are part of the guesthouse. The carport is undersized, but accommodates a golf-cart, while the porch is proportionate to the existing porch on the contributing structure.

g. Relationship of Materials, Texture, and Color: The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district. [Amd. Ord. 38-07 2/5/08]

All proposed materials, textures, and colors will match the existing in appearance. The contributing structure is wood-frame with wood siding, while the proposed guesthouse is wood-frame with cement plank siding (faux wood) look.

h. Roof Shapes: The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building. [Amd. Ord. 38-07 2/5/08]

The roof shape, type, slope, etc. is designed to match the existing.

i. Walls of continuity: Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related. [Amd. Ord. 38-07 2/5/08]

The Proposed South (street) elevation has the continuity with the contributing structure on this site. The home 2-sty, oversized, non-contributing house to the East was NOT considered in the design.

j. Scale of Building: The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only: [Amd. Ord. 38-07 2/5/08]
The Scale of the building is within the guidelines allowed for the property and meets the criteria of this condition.

k. Directional Expression of Front Elevation: A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal. [Amd. Ord. 38-07 2/5/08] Complies with the condition, when considering the contributing structures (but not the adjacent "new" non-contributing sites)

l. Architectural Style: All major and minor development shall consist of only one architectural style per structure or property and not introduce elements definitive of another style. [Amd. Ord. 38-07 2/5/08] The proposed Architectural Style and elements shall match the existing structure.

k. Additions to individually designated properties and contributing structures in all historic districts: Visual compatibility shall be accomplished as follows: [Amd. Ord. 01-12 8/21/12]; [Amd. Ord. 38-07 2/5/08] The proposed covered addition is designed to be visually compatible with the existing historic structure – the eave, fascia, and columns

shall look like other eaves, fascia, and columns on the house. The Flat-roof is a new element that compliments the home, and best-fits for the function required to "drain-water" (the addition of a "sloped-shingle" roof with be too-intrusive of the existing house.

1. Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible. [Amd. Ord. 38-07 2/5/08] **The new addition is located in the rear of the building.**
2. Additions or accessory structures shall not be located in front of the established front wall plane of a historic building. [Amd. Ord. 38-07 2/5/08] **The new addition is located in the rear of the building., and the proposed guesthouse is not in-front of the front wall plane of the existing historic building.**
3. Characteristic features of the original building shall not be destroyed or obscured. [Amd. Ord. 38-07 2/5/08] **Not applicable, all characteristic features shall remain. Refer to proposed elevations.**
4. Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed. [Amd. Ord. 38-07 2/5/08] **If the new addition was every to be demo. The existing structure will remain intact. Refer to proposed elevations.**
5. Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design, but shall be coherent in design with the existing building. [Amd. Ord. 38-07 2/5/08] **The new cottage architectural style relates to the old style. However, the new addition does not mimic the existing historic home. Refer to proposed elevations**
6. Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building. [Amd. Ord. 38-07 2/5/08] **The addition is secondary and subordinate to the existing historic house. (the design does not overwhelm the original building)**



 EXISTING VIEW MAP
NOT TO SCALE



VIEW #1
NOT TO SCALE



VIEW #2
NOT TO SCALE



VIEW #3
NOT TO SCALE



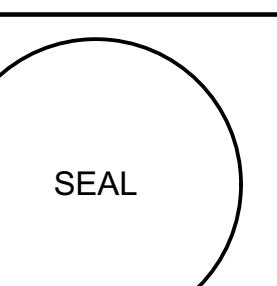
VIEW #4
NOT TO SCALE

NEW COTTAGE FOR:
JANSEN RESIDENTIAL

105 NE 6TH STREET
DELRAY BEACH, FLORIDA



STEVE SIEBERT
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STEVEN W. SIEBERT
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TEXAS 26934

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REVISIONS:
△ CITY COMMENTS (08.25.20)

EXISTING PHOTO

A4.2



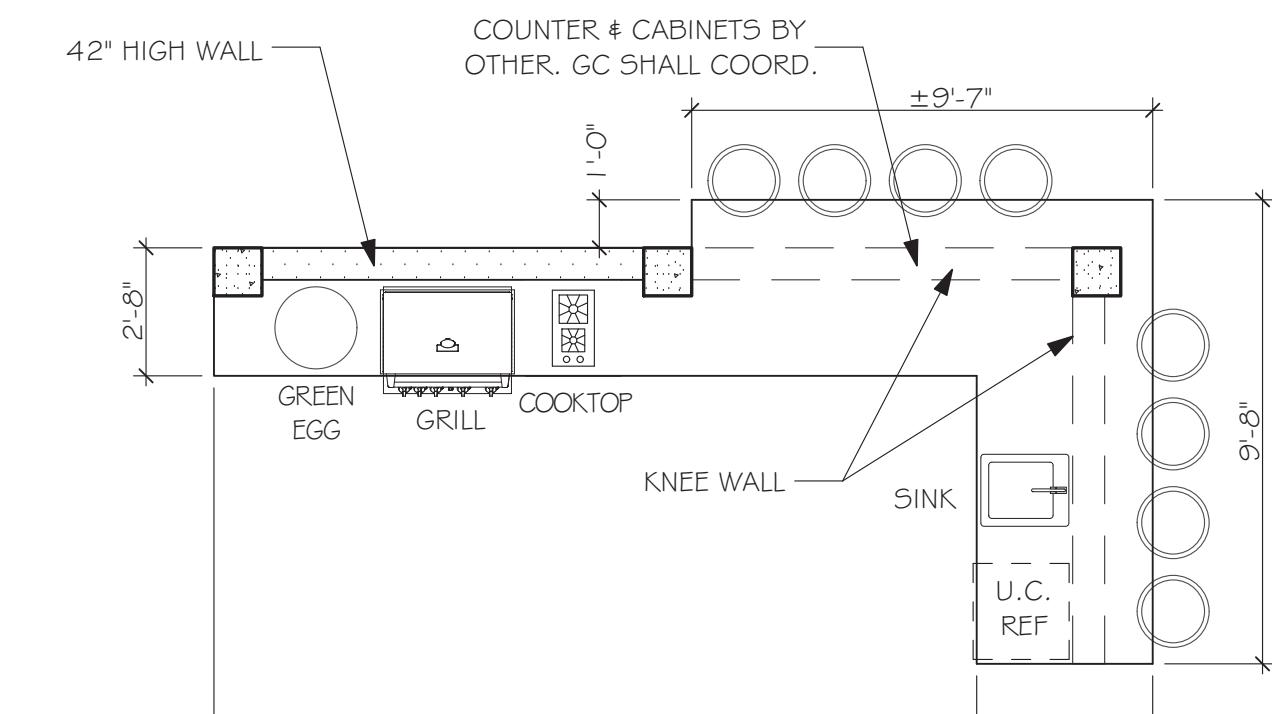
FRONT VIEW SOUTH ELEVATION

NOT TO SCALE



BACK VIEW NORTH ELEVATION

NOT TO SCALE



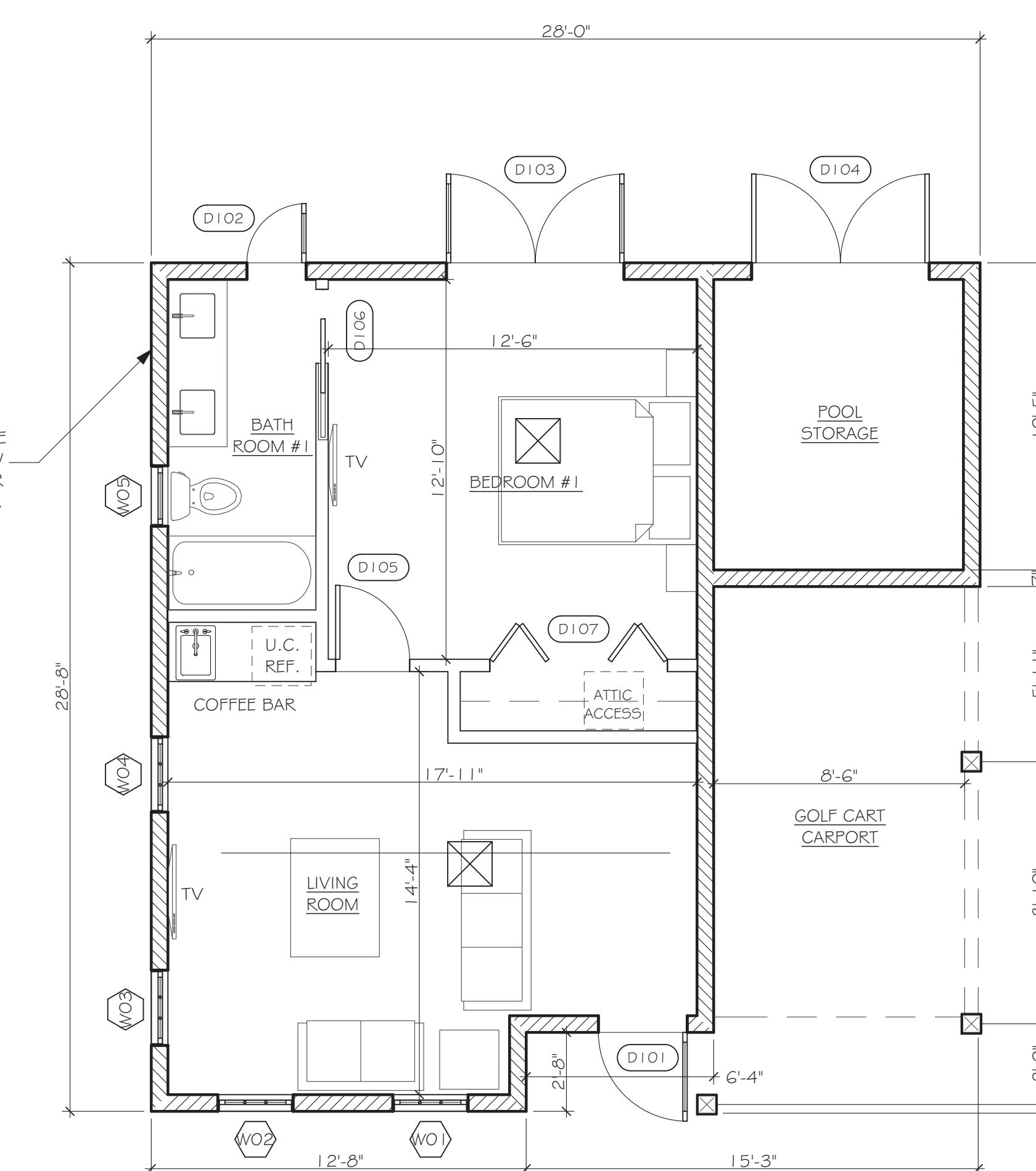
SUMMER KITCHEN

SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"



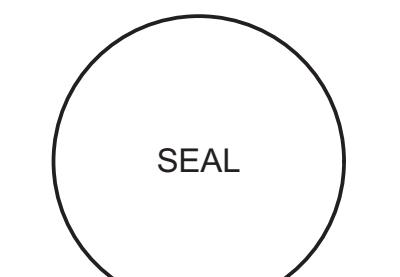
NEW COTTAGE FOR: JANSEN RESIDENTIAL

105 NE 6TH STREET
DELRAY BEACH, FLORIDA



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FIRST FLOOR PLAN

A1.1

NOTES: HARDWARE SCHEDULE IS NOT TOTALLY INCLUSIVE & MAY VARY IN SCOPE. SEE FINAL HARDWARE SUPPLIERS HARDWARE LIST FOR COMPLETE DESCRIPTION.										
DOOR & WINDOW NOTES: 1. REFER TO GENERAL NOTES & SPEC. ON SHEET AO.1 FOR ADDITIONAL NOTES 2. ALL NEW WINDOWS AND DOORS GLAZING SHALL BE <u>CLEAR</u> (NO TINT AND NON-REFLECTIVE) 3. GC SHALL COORDINATE OPENINGS W/ DOOR & WINDOW MANUFACTURER. 4. ALL DOORS AND WINDOWS TO BE IMPACT RATED 5. ALL SHOWER ENCL. GLASS DOORS AND/OR WINDOWS SHALL BE TEMP. GLASS "SAFETY GLASS" 6. REFER TO PROPOSED ELEVATIONS FOR WINDOW AND DOOR TYPES 7. REFER TO STRUCTURAL DWGS. FOR MIN. PRESSURES REQUIREMENTS. 8. REFER TO SHEET A1.2 FOR DOOR AND WINDOW JAMB DETAILS. 9. ALL 8' HIGH DOORS MUST HAVE (2) PAIR OF BUTTS PER-DOOR-MOUNT <8' SHALL HAVE 1-1/2 PAIR PUTTS										

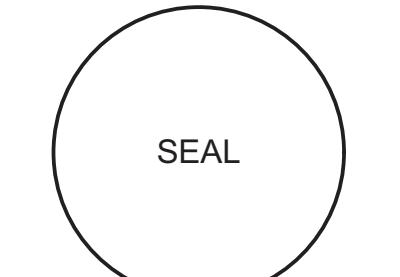
DOOR SCHEDULE:											
ID	ROOM	W	HT	THK	MATERIAL	ZONE	REQUIRED PRESSURES (PSF)	APPROVED PRESSURES (PSF)	PRODUCT APPROVAL	HRDWR GROUP	COMMENTS
D101	FOYER	3'-0"	6'-8"	1-3/4"	ALUMN./GLASS	5					
D102	BATHROOM #1	2'-0"	6'-8"	1-3/4"	ALUMN./GLASS	5					
D103	BEDROOM #1	6'-0"	6'-8"	1-3/4"	ALUMN./GLASS	4					
D104	POOL STORAGE	6'-0"	6'-8"	1-3/4"	ALUMN.	5					
D105	BEDROOM #1	2'-6"	6'-8"	1-3/4"	S.C.	--					
D106	BATHROOM #1	2'-6"	6'-8"	--	--	--					POCKET DOOR

WINDOW SCHEDULE:										
ID	ROOM	W	HT	MATERIALS	ZONE	REQUIRED PRESSURES	APPROVED PRESSURES	PRODUCT APPROVAL	MULLION BARS	COMMENTS
W01	LIVING ROOM	2'-6"	5'-0"	ALUMN./GLASS	5					
W02	LIVING ROOM	2'-6"	5'-0"	ALUMN./GLASS	5					
W03	LIVING ROOM	2'-6"	5'-0"	ALUMN./GLASS	5					
W04	LIVING ROOM	2'-6"	5'-0"	ALUMN./GLASS	4					
W05	BATHROOM	2'-0"	2'-0"	ALUMN./GLASS	4					



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TEXAS 26934

NEW COTTAGE FOR:
JANSEN RESIDENTIAL
105 NE 6TH STREET
DELRAY BEACH, FLORIDA

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DOORS & WINDOW
SCHEDULE
A2.1



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SEAL

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NEW COTTAGE FOR: THE JANSEN RESIDENCE 105 NE 6TH STREET DELRAY BEACH, FLORIDA

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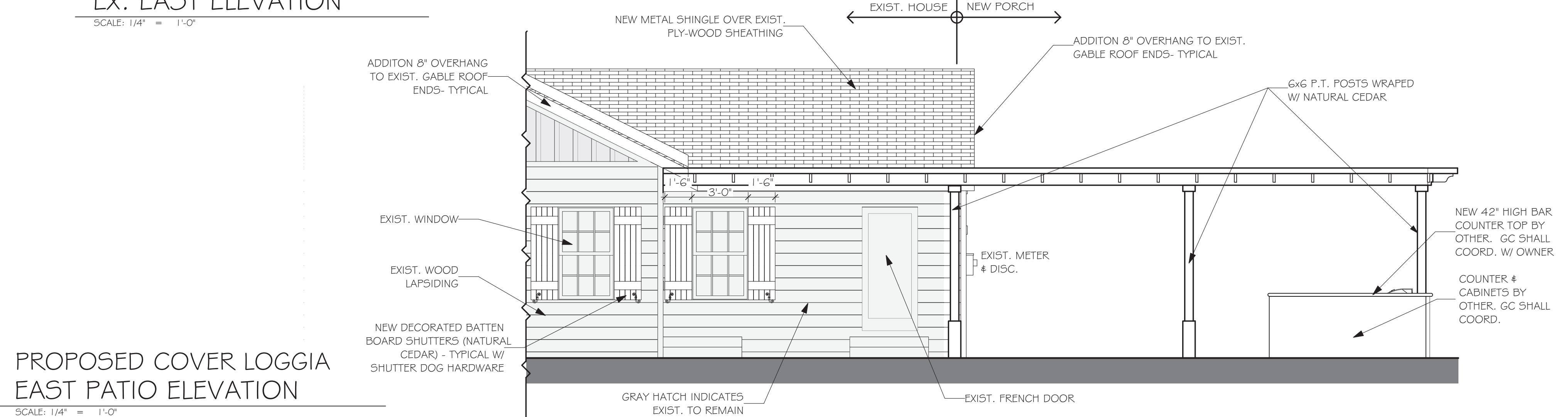
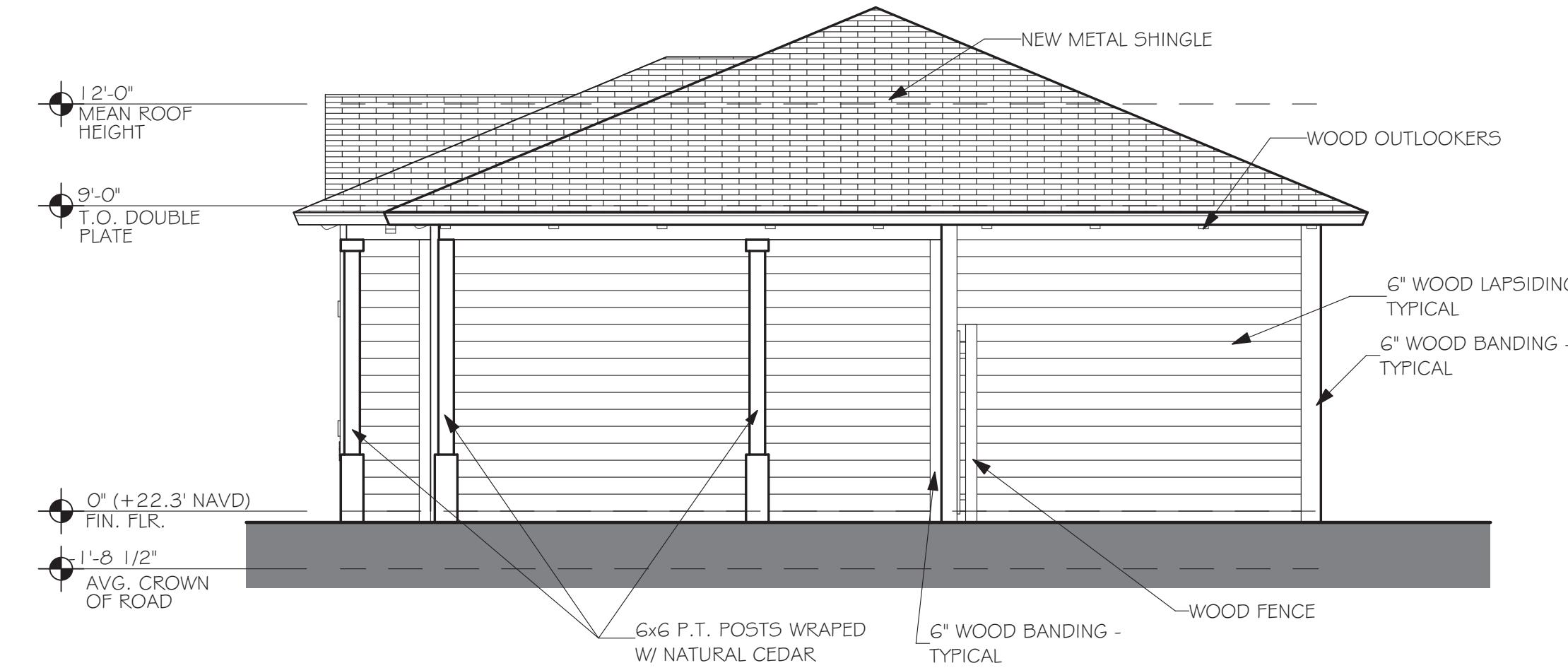
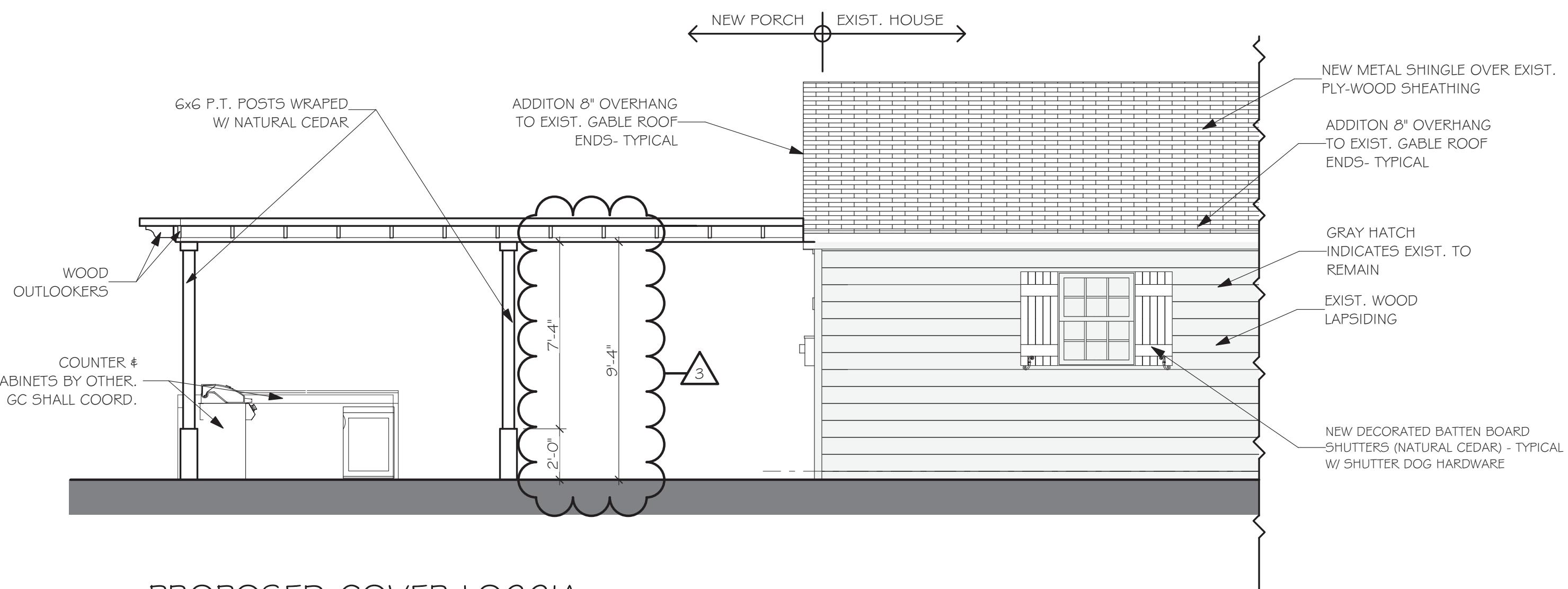
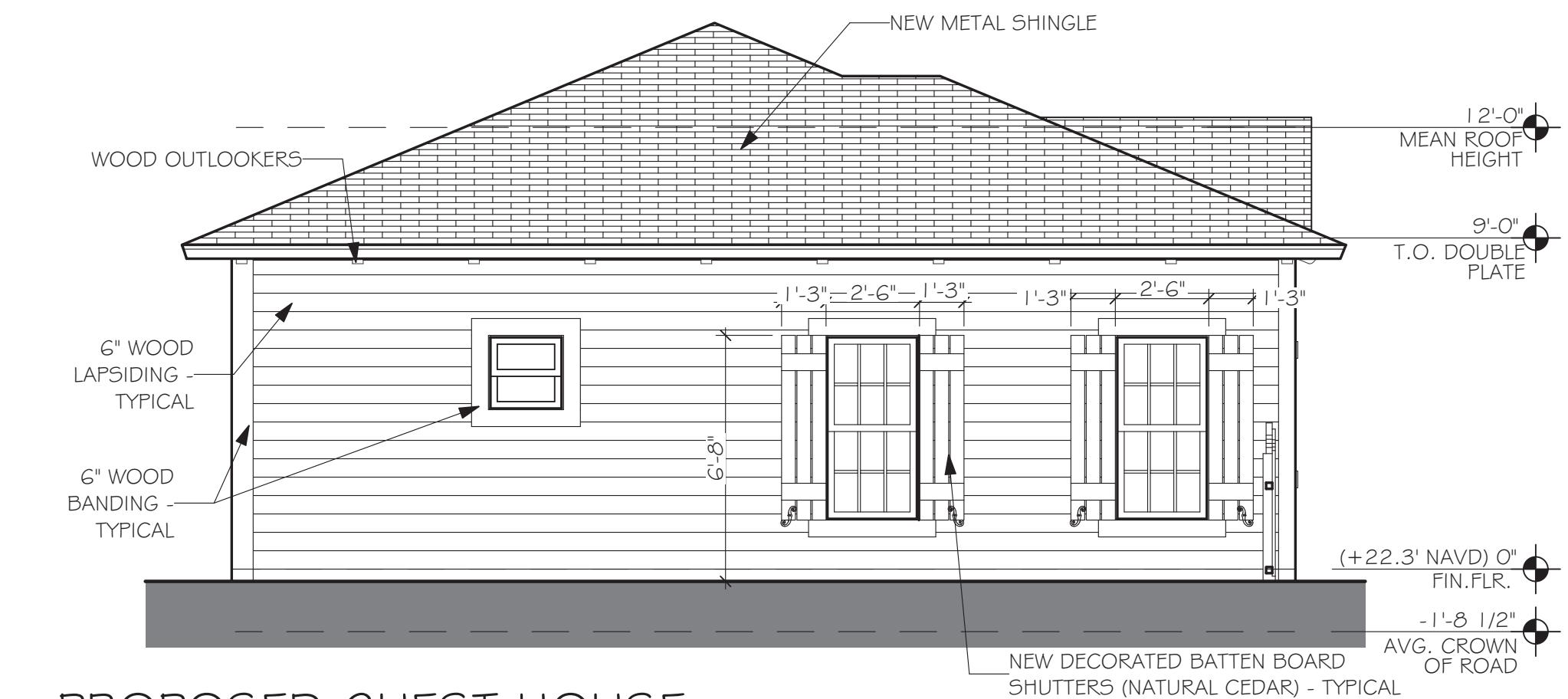
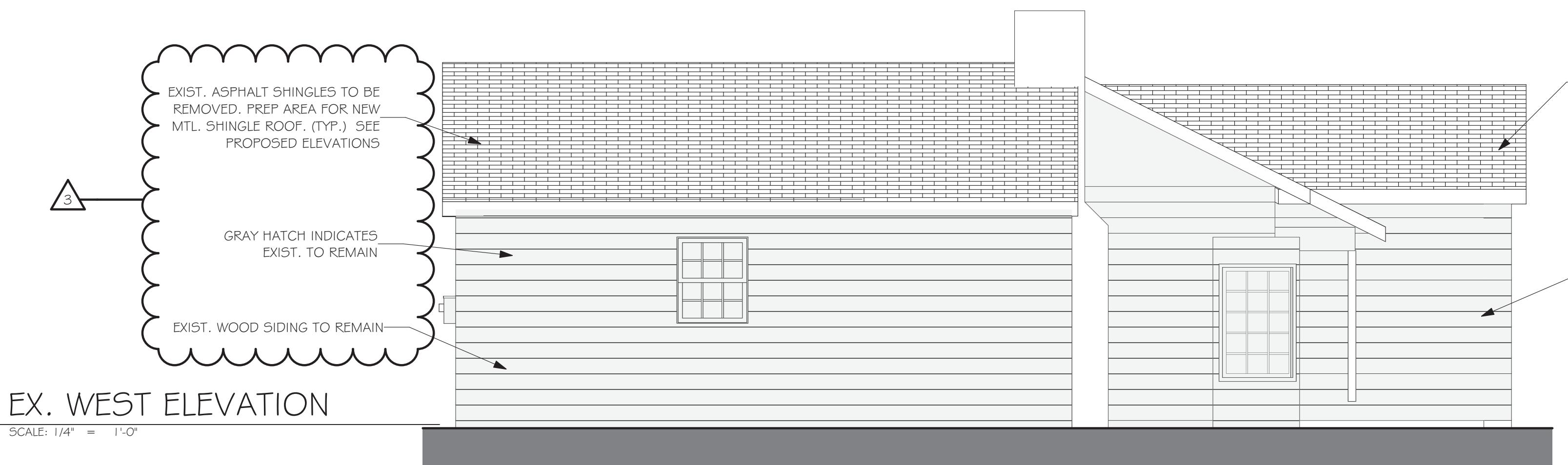
△ CITY COMMENTS (08.25.20)

△ CITY COMMENTS (09.21.20)

△ CITY COMMENTS (11.13.20)

ELEVATIONS

A3.2





 EXISTING VIEW MAP
NOT TO SCALE



VIEW #1
NOT TO SCALE



VIEW #2
NOT TO SCALE



VIEW #3
NOT TO SCALE

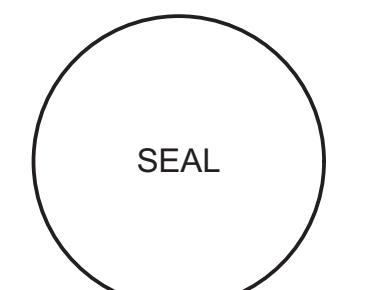


VIEW #4
NOT TO SCALE

NEW COTTAGE FOR:
JANSEN RESIDENTIAL
105 NE 6TH STREET
DELRAY BEACH, FLORIDA



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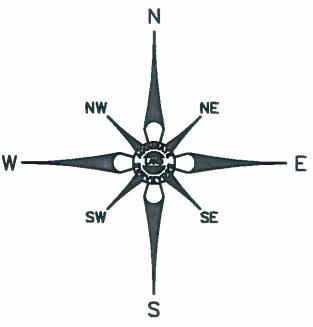
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REVISIONS:

EXISTING VIEWS

A4.1



LOT 18
BLOCK 2

LOT 17
BLOCK 2



GRAPHIC SCALE
1"=20'

NOTES.

1. UNLESS OTHERWISE NOTED FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.

2. ANGLES SHOWN HEREON ARE PER PLAT BOOK 9, PAGE 52, PALM BEACH COUNTY RECORDS.

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8. THE FLOOD ZONE INFORMATION SHOWN HEREON IS FOR THE DWELLABLE STRUCTURE ONLY UNLESS OTHERWISE INDICATED.

9. THE LOCATION OF OVERHEAD UTILITY LINES ARE APPROXIMATE IN NATURE DUE TO THEIR PROXIMITY ABOVE GROUND. SIZE, TYPE & QUANTITY MUST BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.

10. THIS SURVEY MEETS OR EXCEEDS SUBURBAN LINEAR: 1 FOOT IN 7,500 FEET.

CERTIFICATION:

THIS IS TO CERTIFY THAT THIS ABOVE GROUND SKETCH OF BOUNDARY SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SKETCH MEETS THE CURRENT STANDARDS OF PRACTICE, ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

ROBERT L. THOMPSON (PRESIDENT)
PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA



**TYPE OF SURVEY: BOUNDARY
20-1072, TOPOGRAPHIC**

JOB NUMBER: SU-18-1999

LEGAL DESCRIPTION:

LOT 9 AND 10, BLOCK 2 OF DEL IDA PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 52, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

ADDRESS: 105 NE 6TH STREET DELRAY BEACH, FL 33444

FLOOD ZONE: X

BASE FLOOD ELEVATION: N/A

CONTROL PANEL NUMBER: 125102-12099C977-F

EFFECTIVE: 10/5/2017

LOWEST FLOOR ELEVATION: SEE PAGE 2 OF 2

GARAGE FLOOR ELEVATION: SEE PAGE 2 OF 2

LOWEST ADJACENT GRADE : SEE PAGE 2 OF 2

HIGHEST ADJACENT GRADE : SEE PAGE 2 OF 2

REFERENCE BENCH MARK: PALM BEACH COUNTY BENCHMARK CHEROKEE BLONDE
ELEV:21.76'NAVD

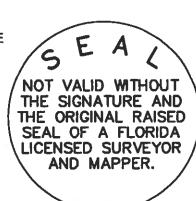
CERTIFY TO:

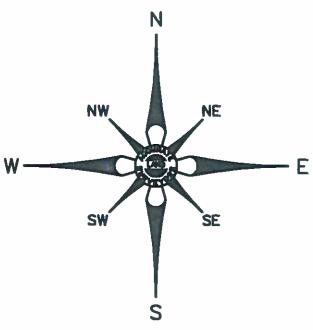
1. TRACY L. HARRISON
- 2.
- 3.
- 4.
- 5.
- 6.

NOTES:

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LEGEND OF ABBREVIATIONS:





LOT 18
BLOCK 2

LOT 17
BLOCK 2

GRAPHIC SCALE

NOTES.

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the signature and the
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a Florida Licensed
Surveyor
and Mapper.