



# DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

## SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

### Virginia Philip Wine

Meeting	File No.	Application Type
August 23, 2023	2023-143-SPF-SPR-CL1	Class I Site Plan Modification
Property Owner	Applicant	Agent
Delray Wine Concepts	Virginia Philips	Virginia Philips

#### Request

Consideration of a Class I Site Plan Modification associated with modifications to the architectural elevations.

#### General Data

**Location:** 75 SE 4<sup>th</sup> Avenue

**PCN:** 12-43-46-16-01-101-0112

**Property Size:** 0.0608 Acres

**Land Use Designation:** Commercial Core (CC)

**Zoning:** Central Business District (CBD), Central Core Sub-district

#### Adjacent Zoning:

- North, South, East, and West – CBD, Central Core Sub-district

**Existing Use:** Retail

#### CBD Central Core Sub-district

- SE 4<sup>th</sup> Avenue: Primary Street



## Background

The property, which is located southwest of the Fourth and Fifth Building (iPic), one block south of East Atlantic Avenue, contains a 705 square foot building constructed in 1950. The current use of the building is retail, with the most current business being an ice cream parlor, Proper Ice Cream. The existing mural on the north elevation was approved by the Site Plan Review and Appearance Board (SPRAB) on February 26, 2020. Note: Murals are no longer reviewed by SPRAB; murals are reviewed by the Public Art Advisory Board.

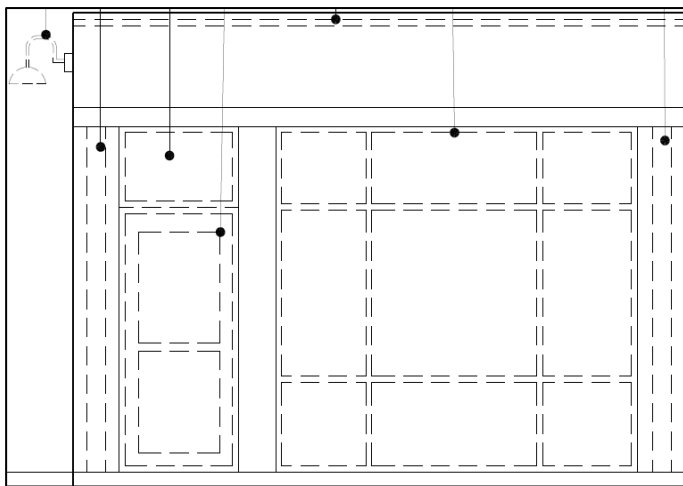


## Description of Proposal

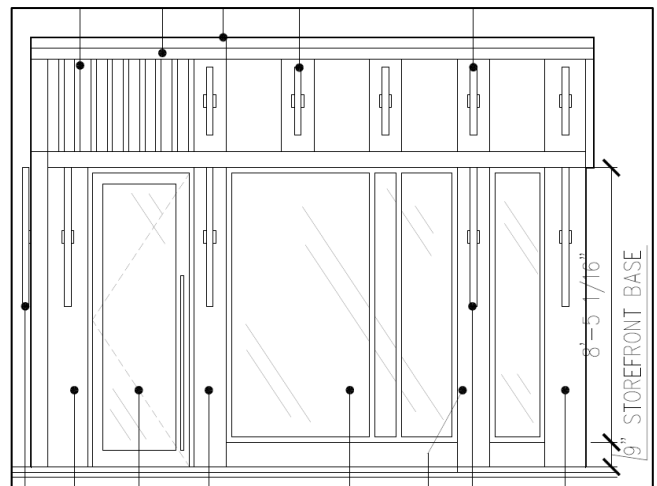
The subject request is associated with modifications to the façade to accommodate a new retail business, Virginia Philips Wine. The modifications include:

- Removal of the storefront transom, frame and glazing, storm shutters and tracks, exterior door and frame, and exterior goose neck light fixtures.
- Replacement of existing storefront with impact windows and doors, vertical light Cherry Wood elements, coping around the building, and new wall sconces and exterior lighting.

**Existing West Elevation**

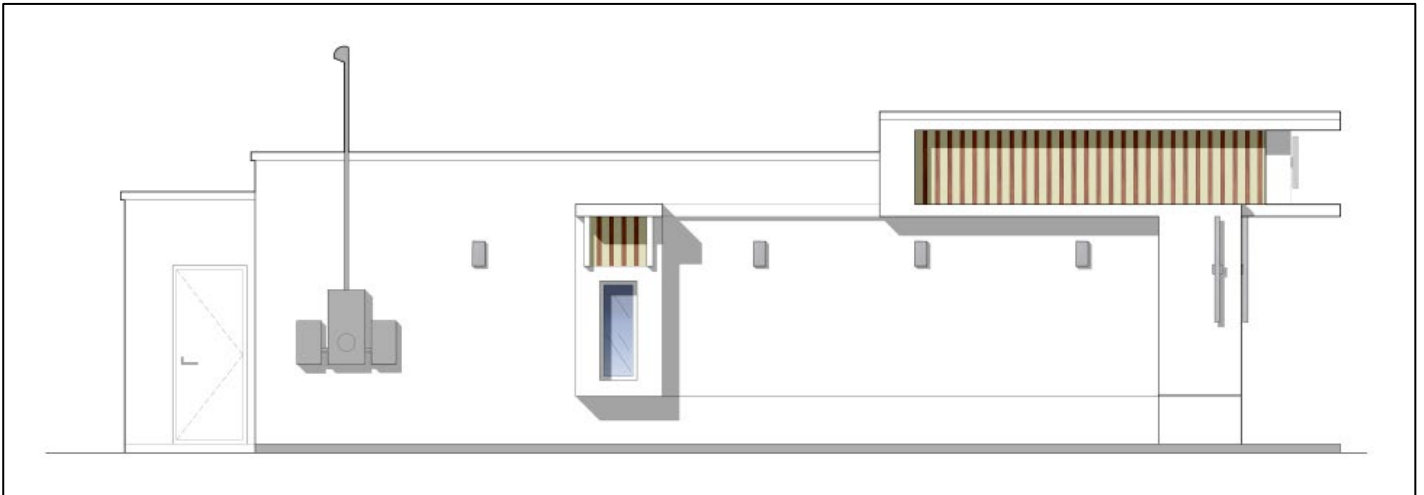


**Proposed West Elevation**

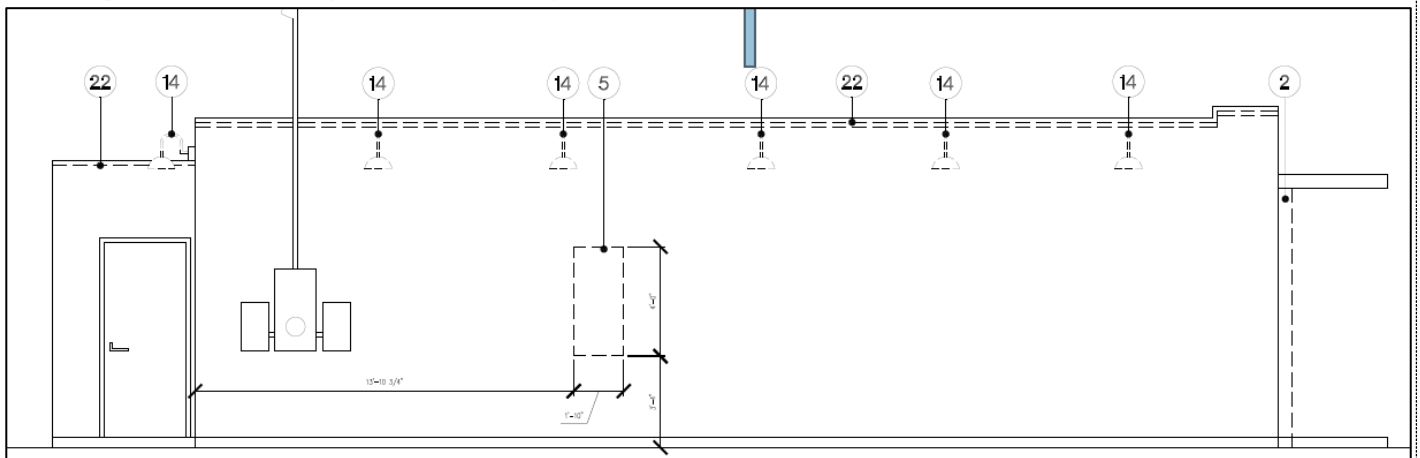


- Removal of the mural on the north façade.
- Replacement of the windows and doors on the east elevation and new opening on the north elevation with impact windows and doors.
- Paint existing stucco, coping, and accents white.
- Vertical Cherry Wood elements are incorporated onto the north elevation to form the parapet with accents of the vertical Cherry Wood on the window.

### Proposed North Elevation



### Existing North Elevation (without the mural)



Any new signage for the building requires a separate review and approval.

## Review and Analysis

### LDR Section 2.4.5(G)(1)(b), Modifications to Site Plans and Master Development Plans: Class I

Approval of items listed in Section 2.4.5(I)(1) such as but not limited to: walls, fences, slabs, dumpster enclosures, sheds, etc. which do not require Board action; and changes in architectural elevations which require Board action.


**LDR Section 2.4.5(I)(1)(a);** The Site Plan Review and Appearance Board or the Historic Preservation Board, as appropriate, may approve, approve subject to conditions, or deny architectural elevations or plans for a change in the exterior color of a building or structure, or for any exterior feature which requires a building permit.

The proposed changes to the storefront frontage, light fixtures, and building color requires Board approval. A complete review and analysis of the request based on the CBD Frontage Standards and Architectural Elevation Findings are provided throughout the following report sections.

### LDR Section 4.4.13(E); Frontage Standards

Frontage Standards define architecture and design components for the entrance(s) to buildings and the area between building facades and streets. Building setbacks and other development standards are coordinated with street cross-sections to ensure a superior public realm results, improving both the overall visual appearance and multi-modal uses of downtown streets.

### Applicable Regulations

Standard/Regulation	Review																																
<b>Frontage type: Storefront</b> 4.4.13(E)(4)(e)	<p>The storefront is a frontage type along the sidewalk level of the ground story, typically associated with commercial uses. Storefronts are shaded by awnings or arcades. Awnings shall be consistent with the building's architecture and proportionate to the façade opening shape and size.</p> <p>The applicant is not adding or removing the current openings. The table below illustrating the required, existing, and provided conditions:</p> <table><tr><th colspan="4">Dimensional Requirements for storefronts</th></tr><tr><th></th><th>Required</th><th>Existing</th><th>Proposed</th></tr><tr><td>Building Setback</td><td>10feet to 15 feet</td><td>8 ft 2 inches</td><td>*8 feet 2 inches</td></tr><tr><td>Store Width</td><td>Max 75 feet</td><td>16 feet 6 inches</td><td>*16 feet 6 inches</td></tr><tr><td>Storefront Base</td><td>.9 inches to 3 feet</td><td>0.19 inches</td><td>9 inches</td></tr><tr><td>Glazing Height plus Storefront Base</td><td>Minimum of 8 feet</td><td>9 feet **(8 -10")</td><td>9 feet **(8-3")</td></tr><tr><td>Required openings</td><td>80%</td><td>80%</td><td>80%</td></tr><tr><td>Awning projection</td><td>Minimum 5 feet</td><td>*4 feet</td><td>*4 feet</td></tr></table> <p><b>*Existing nonconformity</b> <b>**SF without storefront base</b></p> 	Dimensional Requirements for storefronts					Required	Existing	Proposed	Building Setback	10feet to 15 feet	8 ft 2 inches	*8 feet 2 inches	Store Width	Max 75 feet	16 feet 6 inches	*16 feet 6 inches	Storefront Base	.9 inches to 3 feet	0.19 inches	9 inches	Glazing Height plus Storefront Base	Minimum of 8 feet	9 feet **(8 -10")	9 feet **(8-3")	Required openings	80%	80%	80%	Awning projection	Minimum 5 feet	*4 feet	*4 feet
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4.4.13(E)(4)(e)(1)(d)	<p><b>Required:</b> <i>Transparent glazed windows shall extend from the base to at least eight feet in height as measured from sidewalk grade adjacent to the building. Transparent means non-solar, non-mirrored, glass with a light transmission reduction of no more than 20 percent.</i></p> <p><b>Provided:</b> The applicant has provided a statement on A2.1A that the new storefront windows and door will provide a visible light reduction transmission of 11 percent and is non solar, and non-mirrored.</p>
<b>Canopies</b> 6.3.4	<p><b>Required:</b> <i>Canopies, marquees, and covered walkways may extend into the public right-of-way when approved by the Chief Building Official through approval of an applicable agreement with the City.</i></p> <p><b>Proposed:</b> The current and proposed eyebrow projects two feet three inches into the City right-of-way, requiring the property owner to enter into a Hold Harmless Agreement with the City. The eyebrow is an existing nonconformity.</p>
<b>Permitted architectural styles</b> 4.4.13(F)(3)(a)	<p><b>Required:</b> <i>One of the architectural styles shall be identified on permit application drawings and the building design shall reflect the defining characteristics outlined in the "Delray Beach Central Business District Architectural Design Guidelines" document.</i></p> <p><b>Proposed:</b> The proposed architectural style most resembles a modern Main Street Vernacular given the building's date of construction and simple design elements. The modifications modernize the front elevation while generally maintaining the original character.</p>
<b>Lighting</b> 4.6.8	<p><b>Required:</b> <i>All perimeter exterior lighting shall be full cutoff luminaries to minimize spillover on adjacent properties. In order to decrease urban glow, no luminaries shall be directed upwards. The following illumination standards shall be adhered to Building Entrance – minimum illuminated 1.0 ft candle; maximum illumination ft candle 10.</i></p> <p><b>Proposed:</b> There are linear light fixtures proposed on the front of the building and new wall sconces on the north elevation. The fixtures are full cut off and the lighting levels are within the allowable foot candles.</p>

#### Review and Analysis: Architectural Elevations

Pursuant to **LDR Section 2.4.5(l)(5)**, *Architectural (Appearance) Elevations Findings, at the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.*

The proposed change to the architectural elevations requires Board approval as new elements are proposed and the changes face a public right-of-way.

#### LDR Section 4.6.18, Architectural Elevations and Aesthetics

Pursuant to **LDR Section 4.6.18(A)**, **Minimum Requirements**,

1. *The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.*
2. *It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

Pursuant to **LDR Section 4.6.18(E), Criteria for board action**, the following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. The plan or the proposed structure, is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

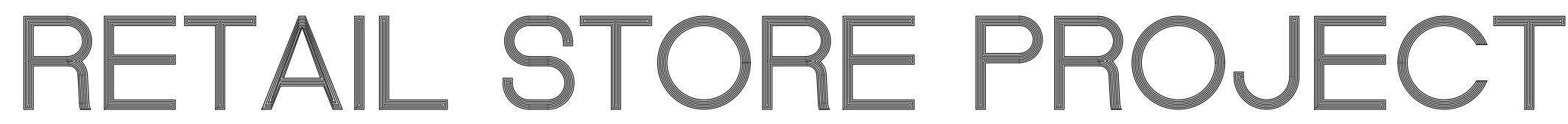
Located one block south of East Atlantic Avenue, the subject property proposes to work within the confines of the original structure while updating the exterior appearance with white painted stucco, new impact windows and door system, and Cherry Wood lock system above the eyebrow incorporated into the north elevation. The proposed window opening on the north elevation utilizes similar detailing of Cherry Wood lock system. The proposed changes are in good taste and design and contribute to the surrounding area. The changes are not anticipated to materially depreciate the appearance and value of the surrounding area as many of buildings along the block are the original structures that are of a similar scale and have similar features. The Cherry Wood lock system is complimentary to the Fourth and Fifth Building that is directly north and west. The proposed alterations are minor and are appropriate to the surrounding area and show proper and honest design.

**Objective NDC 2.2 Downtown and Surrounding Neighborhoods**

Protect and enhance the "Village by the Sea" character of the downtown and neighborhoods located east of I-95.

**Board Action Options**

- A. Move **approval** of the Class I Site Plan Modification (2023-143) for **Virginia Philip Wine** located at **75 SE 4<sup>th</sup> Avenue**, by finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan.
- B. Move **approval, as amended**, of the Class I Site Plan Modification (2023-143) for **Virginia Philip Wine**, located at **75 SE 4<sup>th</sup> Avenue**, by finding that the request is consistent with the Land Development Regulations and the Comprehensive Plan.
- C. Move **denial** of the Class I Site Plan Modification (2023-143) for **Virginia Philip Wine**, located at **75 SE 4<sup>th</sup> Avenue**, by finding that the request is not consistent with the Land Development Regulations and the Comprehensive Plan.
- D. **Continue with direction.**



### CONSTRUCTION NOTES:

REMOVAL NOTES:

1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK AND FIELD VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO AND DURING THE CONSTRUCTION PROCESS INCLUDING THE CROSS REFERENCING OF ALL PLANS. DIMENSIONS ARE CALCULATED AS ACCURATELY AS POSSIBLE. HOWEVER, FIELD CONDITIONS WILL SOMETIMES DICTATE SLIGHT AS BUILT CONDITIONS THAT MAY DIFFER FROM THE DRAWINGS.
2. DIMENSIONS ARE TO FACE OF FINISHED WALLS U.O.N.D ARE SUBJECT TO IN FIELD VERIFICATIONS.
3. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS AND BEST PRACTICES.
4. ALL MATERIALS SHALL BE FREE OF DEFECTS, PROPERLY STORED AND ADAPTED TO THE CLIMATE OF THE DWELLING PRIOR TO INSTALLATION.
5. IT IS UNDERSTOOD AND ACCEPTED THAT THE ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR ANY POTENTIAL EXISTING ENVIRONMENTAL CONDITIONS THAT MAY EXIST WITH THE BUILDING INCLUDING BUT NOT LIMITED TO THE BUILDING, AND MECHANICAL OR ELECTRICAL EQUIPMENT OF SYSTEMS, OR THE EXTERIOR ENVELOPE OR ROOF.
6. ALL GYPSUM BOARD SHALL BE 5/8".
7. CONTRACTOR SHALL KEEP SITE AND STRUCTURE FREE OF DEBRIS AND SHALL DISPOSE OF SUCH FREQUENTLY AND LAWFULLY.
8. CONTRACTOR TO PROVIDE SLOD BLOCKS FOR ALL MILLWORK, SHELF RACKS AND EQUIPMENT AS REQUIRED.
9. WINDOW/DOOR SUB-CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS AND OPENINGS PRIOR TO PREPARATION OF SHOP DRAWINGS.
10. IT IS THE RESPONSIBILITY OF THE OWNER TO FINALIZE DIMENSIONS AND CONFIGURATIONS OF THE BUILT-IN WINE VITRINE SHELVING UNITS AS WELL AS THE CABINETRY AND SERVICE COUNTER MILLWORK.
11. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE OWNER TO COORDINATE ALL DIMENSIONS AND CONDITIONS FOR THE INSTALLATION AND PLACEMENT OF ALL APPLIANCES.

1. CONTRACTOR SHALL CAREFULLY REVIEW ALL DRAWINGS IN THE SET AND VISIT THE SITE TO VERIFY THE EXTENT AND LOCATION OF REMOVAL WORK TO BE PERFORMED.
2. NOTIFY ARCHITECT IMMEDIATELY IF THERE ARE ANY EXISTING CONDITIONS THAT DO NOT MATCH CONSTRUCTION DOCUMENTS.
3. COORDINATE ELECTRICAL AND MECHANICAL DEMOLITION WITH THE GENERAL REMOVALS. SHUT OFF, CAP AND OTHERWISE PROTECT PUBLIC AND OWNER UTILITY LINES AND SERVICE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES AND UTILITIES HAVING JURISDICTION.
4. COMPLETELY REMOVE ITEMS SCHEDULED TO BE REMOVED, LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS.
5. PROTECT EXISTING FINISHES TO REMAIN DURING ALL PHASES OF CONSTRUCTION.
6. SECURE ALL AREAS DURING REMOVAL AND PROTECT PREMISES FROM VANDALISM, BIRDLAND AND WEATHER. WORK SUCH AS WINDOW AND DOOR REMOVAL SHOULD BE COORDINATED WITH INSTALLATION OF NEW REPLACEMENT ASSEMBLIES AS TO CAUSE MINIMAL RISK TO BUILDING SECURITY AND FUNCTION.
7. COORDINATE NOISE, DUST CONTROL, SECURITY ISSUES AND ACCESS WITH BUILDING OWNER.
8. CONTRACTOR SHALL PATCH AND REPAIR TO MATCH EXISTING FINISHES OF ALL DAMAGES CAUSED TO THE EXISTING CONDITIONS DURING REMOVAL AND CONSTRUCTION.

## PROJECT DESCRIPTION

## LEVEL 3 INTERIOR/EXTERIOR ALTERATION OF AN EXISTING 600 SF RETAIL BUILDING

## 2020 FLORIDA BUILDING CODE INFORMATION

TYPE OF CONSTRUCTION: IIIB

OCCUPANCY GROUP: M

BUILDING IS NOT EQUIPPED WITH A SPRINKLER SYSTEM

BUILDING IS NOT REQUIRED TO BE EQUIPPED WITH A FIRE ALARM SYSTEM AS PER SECTION 904.2 OF THE 2020 FLORIDA EXISTING BUILDING CODE AND SECTION 907.2.7. GROUP M COCCUPANCIES DO NOT REQUIRE FIRE ALARM OR DETECTIONS SYSTEMS.

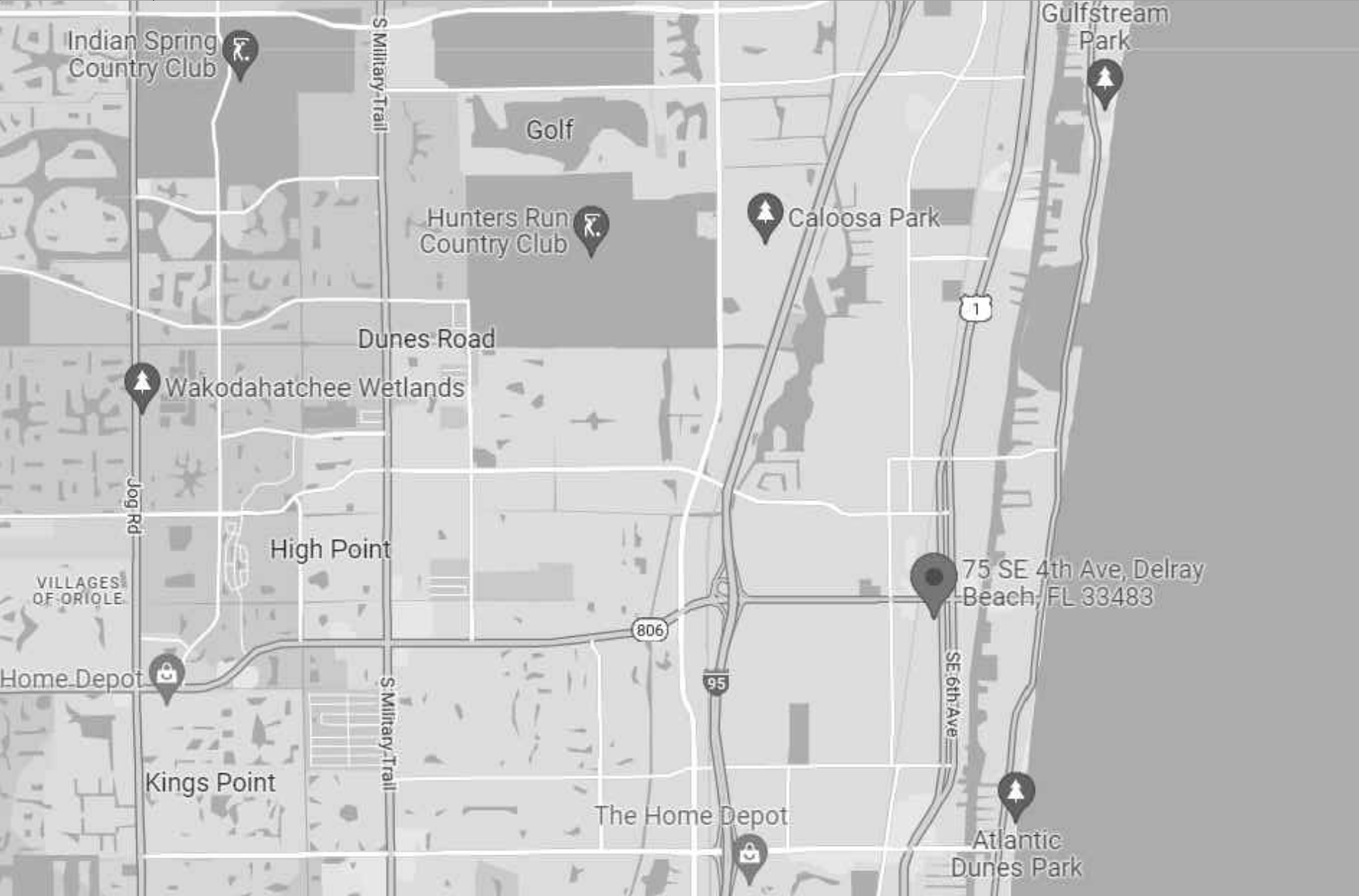
## SCOPE OF WORK

THE PROJECT CONSISTS OF AN INTERIOR ALTERATION TO CONVERT THE SPACE INTO A RETAIL STORE. A NEW FACADE RENOVATION AND IMPACT WINDOWS WILL BE CONSTRUCTED AND INSTALLED.

## AFFECTED SQUARE FOOTAGE OF ALTERATIONS

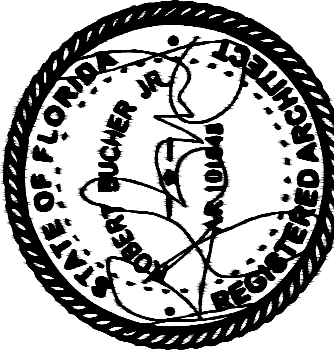
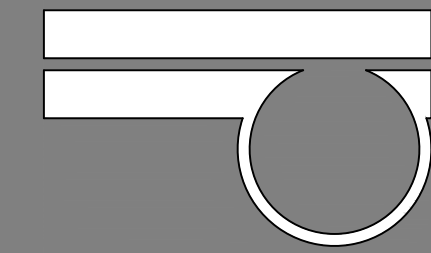
FIRST FLOOR: 559 SF

SHEET NO.	DRAWING INDEX:
	ARCHITECTURAL
T1.0	TITLE SHEET
D1.0	REMOVAL FLOOR PLAN + REFLECTED CEILING PLAN
D1.1	EXTERIOR ELEVATION REMOVALS
A1.0	FIRST FLOOR PLAN + FIXTURE PLAN
A1.1	REFLECTED CEILING + LIGHTING PLAN
A1.2	FLOOR + WALL FINISH PLANS
A1.3	EXTERIOR PHOTOMETRICS PLAN
A2.0	EXTERIOR ELEVATIONS
A2.0A	EXISTING AND NEW EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.1A	EXISTING AND NEW EXTERIOR ELEVATIONS
A2.1B	EXISTING AND NEW EXTERIOR ELEVATIONS
A2.2	INTERIOR ELEVATIONS
A2.3	INTERIOR ELEVATIONS
A2.4	INTERIOR ELEVATIONS
A2.5	PARTITION TYPES
A3.0	EXTERIOR DETAILS
A5.1	INTERIOR DETAILS
A5.0	INTERIOR DETAILS
A5.2	INTERIOR DETAILS
A6.0	WINDOW + DOOR SCHEDULE
	STRUCTURAL
S0.1	NOTES + DETAILS
S0.2	NOTES + DETAILS
S1.1	PLANS + DETAILS
S1.2	PLANS AND DETAILS
	ELECTRICAL
E1.0	NOTES
E1.1	POWER PLAN REMOVALS
E1.2	LIGHTING REMOVALS
E1.3	NEW POWER PLAN
E1.4	NEW LIGHTING CIRCUITRY PLAN
E6.1	SCHEDULES
	MECHANICAL
M1.0	NOTES
M1.1	REMOVALS PLAN
M1.2	NEW MECHANICAL PLAN
	PLUMBING
P1.0	NOTES
P1.1	EXISTING PLUMBING PLAN
P1.2	NEW PLUMBING PLAN



 = SITE OF WORK

**DESIGN LOGIC ARCHITECTS, PC**  
INNOVATIVE EXTERIOR AND INTERIOR PLANNING  
18 COMPUTER DRIVE EAST, SUITE 103  
ALBANY, NEW YORK 12205  
319 CLEMATIS STREET, SUITE 213  
WEST PALM BEACH, FL 33401  
PH 518.426.8880  
[www.designlogicarchitects.com](http://www.designlogicarchitects.com)



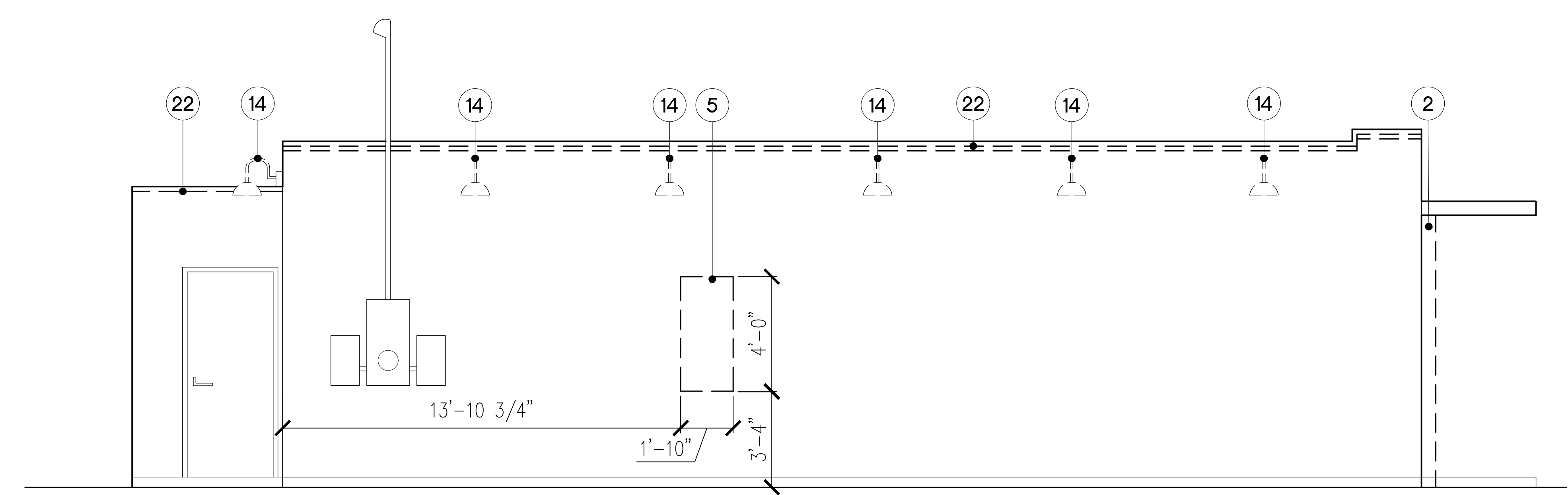
THIS WORK WAS PREPARED BY ME  
OR UNDER MY SUPERVISION AND  
CONSTRUCTION OF THIS PROJECT  
WILL BE UNDER MY OBSERVATION.

**VIRGINIA PHILIP WINE**

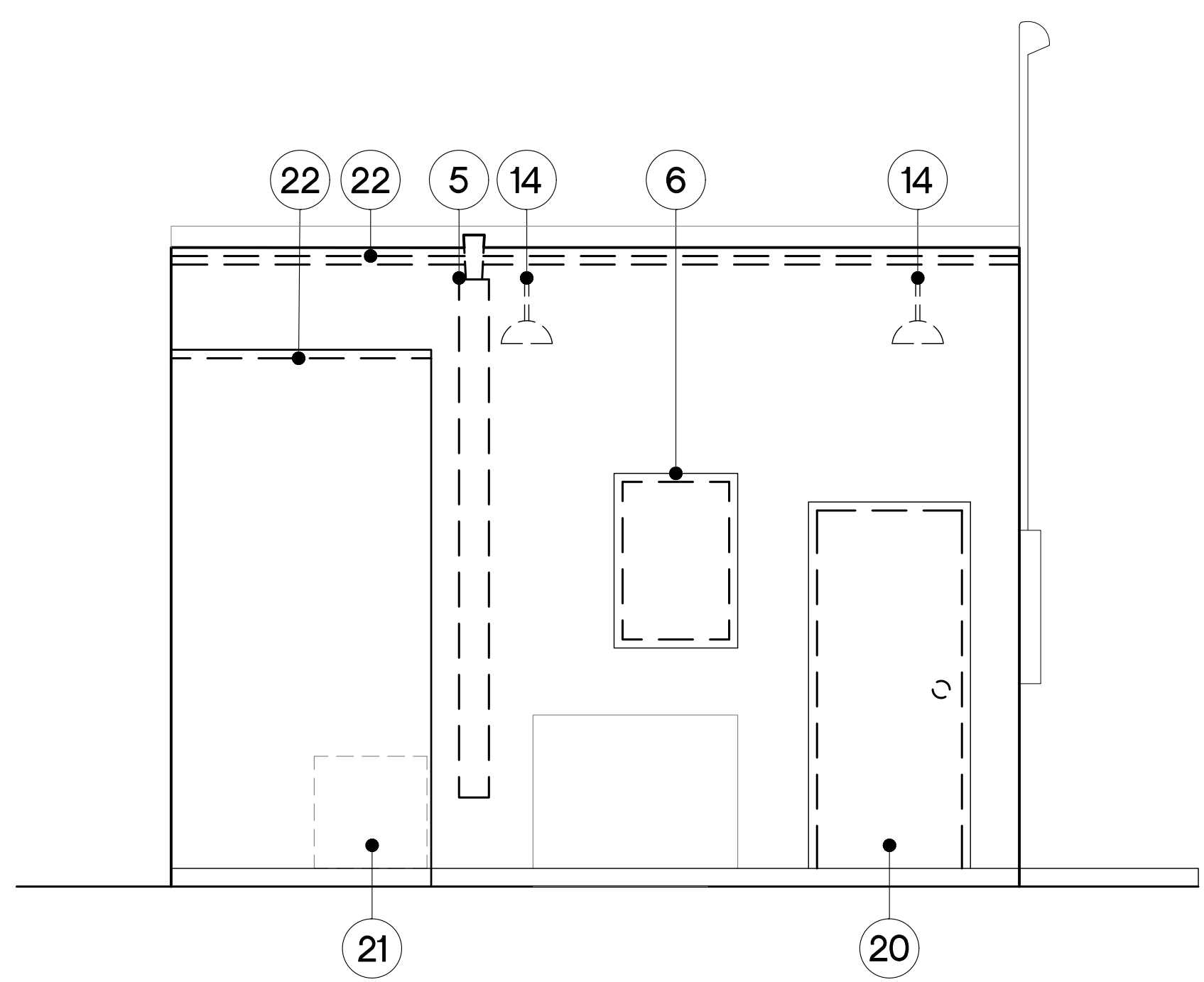
**75 SE 4TH AVENUE  
DELRAY BEACH, FLORIDA**

# TITLE SHEET

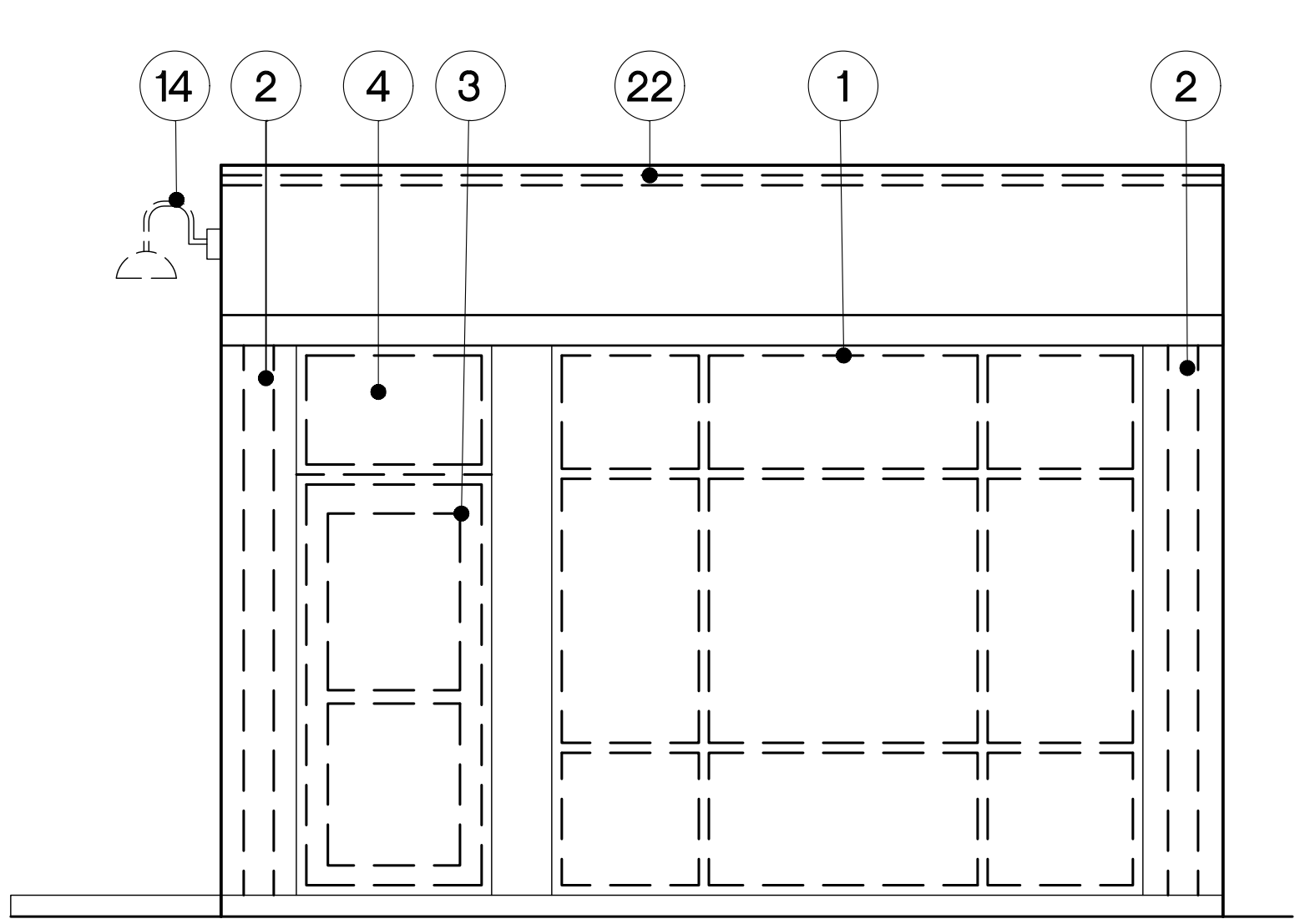
SCALE :	AS NOTED	REVISIONS :
DATE :	3/17/2023	①
DRAWN :	HAL	②
SHEET #		③
		④
		⑤



1 NORTH ELEVATION REMOVALS  
3/8" SCALE



2 EAST ELEVATION REMOVALS  
3/8" SCALE



3 WEST ELEVATION REMOVALS  
3/8" SCALE

**GENERAL NOTES**

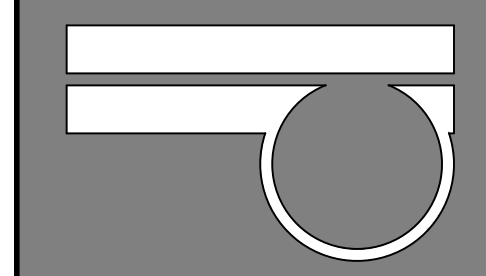
1. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR ARE RESPONSIBLE TO CROSS REFERENCE ALL DRAWINGS IN THE SET REGARDLESS OF TRADE. THE GENERAL CONTRACTOR IS RESPONSIBLE TO IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH REGARD TO THE INTENDED DESIGN AND THE EXISTING CONDITIONS.

SYMBOL	DESCRIPTION
	EXISTING WALLS TO REMAIN
	TO BE REMOVED

- DEMOLITION NOTES:**
- 1 REMOVE STOREFRONT FRAME AND GLAZING
  - 2 REMOVE STORM SHUTTERS AND TRACKS COMPLETELY
  - 3 REMOVE EXTERIOR DOOR AND FRAME
  - 4 REMOVE STOREFRONT TRANSOM
  - 5 REMOVE SECTION OF CMU WALL AS DIMENSIONED
  - 6 REMOVE WINDOW AND IMPACT SHUTTERS
  - 7 REMOVE INTERIOR PARTITION
  - 8 REMOVE MILLWORK COMPLETELY
  - 9 REMOVE PLUMBING FIXTURES COMPLETELY
  - 10 REMOVE SPLIT SYSTEM WALL MOUNTED UNIT
  - 11 REMOVE CEILING SYSTEM COMPLETELY
  - 12 REMOVE SURFACE MOUNTED LIGHT FIXTURES
  - 13 REMOVE RECESSED DOWNLIGHTS
  - 14 REMOVE EXTERIOR WALL LIGHTING FIXTURES
  - 15 REMOVE HVAC DUCT AND DIFFUSER
  - 16 REMOVE DOOR AND FRAME
  - 17 REMOVE SOFFIT
  - 18 REMOVE SUSPENDED CEILING TILES. GRID TO REMAIN.
  - 19 REMOVE FRP WALL PANELS
  - 20 REMOVE DOOR AND FRAME
  - 21 REMOVE SPLIT SYSTEM CONDENSER
  - 22 REMOVE COPING CAP

NOTE:  
THESE DRAWINGS INDICATE THE GENERAL PARTITIONS, CEILINGS, AND RELATED ELEMENTS TO BE REMOVED. THEY DO NOT NECESSARILY COORDINATE WITH THE LATEST NEW BUILD FLOOR PLANS. ALSO, THESE REMOVAL PLANS DO NOT ADDRESS OR INCORPORATE ANY WORK SPECIFICATIONS RELATED TO ANY POTENTIAL ENVIRONMENTAL CONDITIONS.

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ALBANY, NEW YORK 12205  
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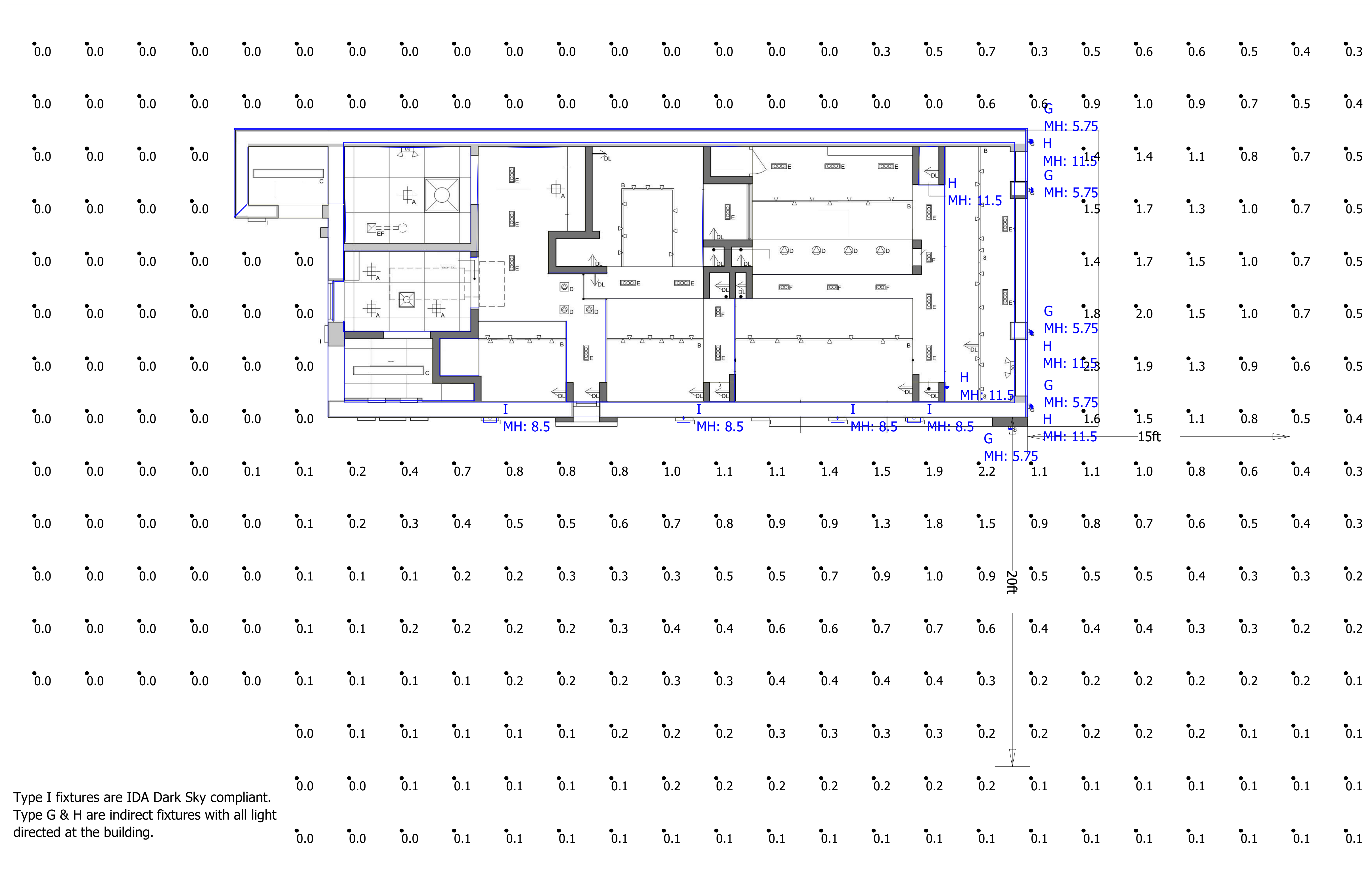





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OR UNDER MY SUPERVISION AND  
CONSTRUCTION OF THIS PROJECT  
WILL BE UNDER MY OBSERVATION.

VIRGINIA PHILIP WINE  
75 SE 4TH AVENUE  
DELRAY BEACH, FLORIDA  
REMOVAL ELEVATIONS

SCALE:	AS NOTED	REVISIONS:
DATE:	3/17/2023	3/24/2023 REVISIONS
DRAWN:	HAL	3/28/2023 REVISIONS
SHEET#	D1.1	4/6/2023 REVISIONS
		5/5/2023 REVISIONS



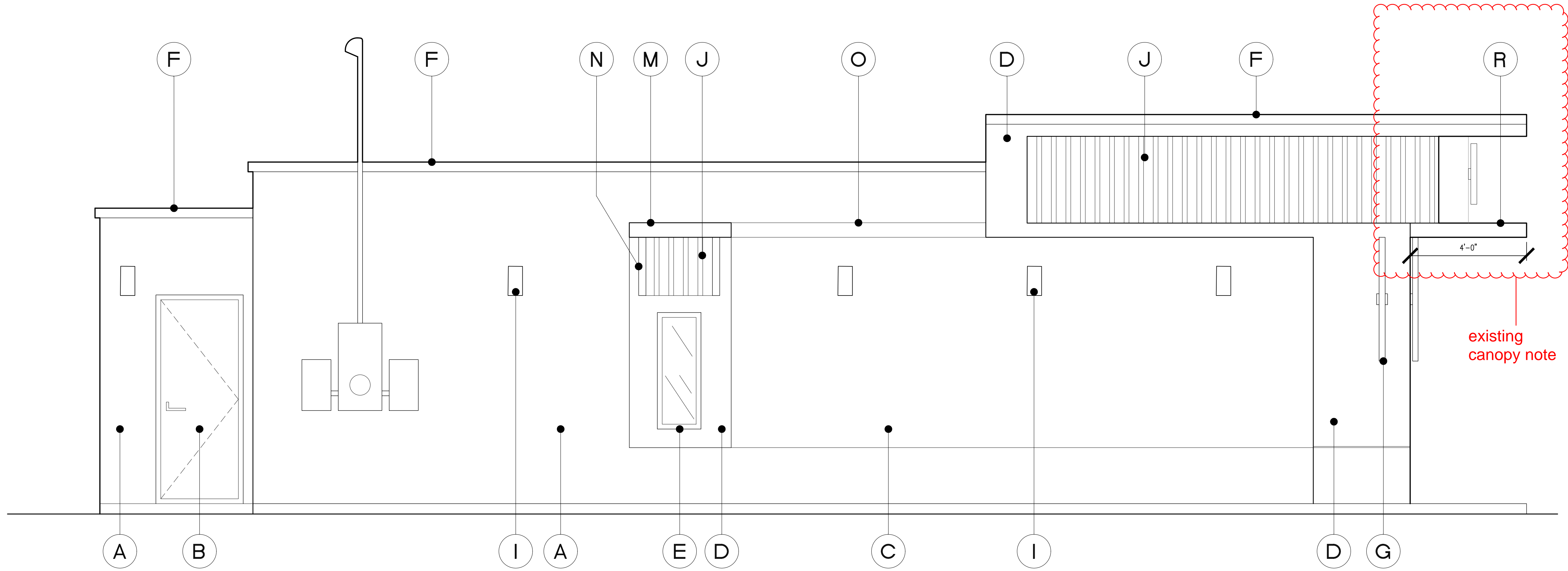


Luminaire Schedule														
Symbol	Qty	Label	Arrangement	Lum Lumens	Arrgmt Lum Lumens	Lum Watts	Arrgmt Watts	Total Watts	LLD	LDD	BF	LLF	Description	MH
	5	G	SINGLE	3611	3611	57.7	57.7	288.5	0.950	0.950	1.000	0.451	AT7950-WH	5.75
	5	H	SINGLE	1574	1574	31.3	31.3	156.5	0.950	0.950	1.000	0.406	AT7928-BK	11.5
	4	I	Single	235	235	7.9	7.9	31.6	0.950	0.950	1.000	0.903	WS-W2312-WT	8.5

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.36	2.3	0.0	N.A.	N.A.

This Photometric Plan has been submitted to and Approved by the City of Delray Beach, FL. For the protection of the City of Delray Beach, FL, the Owner and the Engineer of Record, this photometric performance is the basis of design. The design make fixtures are the style/look and quality the owner has approved. If an alternate lighting package is submitted, a similar fixture in appearance and construction quality must be furnished. Additionally, the contractor shall provide a point-by-point lighting plan for approval with the submittal.

The AGI, (Third party Lighting Calculation Software by Lighting Analysts, Inc) file used to create the City of Delray Beach, FL approved point-by-point will be furnished for the contractors use. This will ensure a fair and equal comparison between the design make performance and any submitted alternate product. Failure to comply with these requirements will result in the return of the submittal as rejected.



2 NORTH ELEVATION  
1/2" SCALE

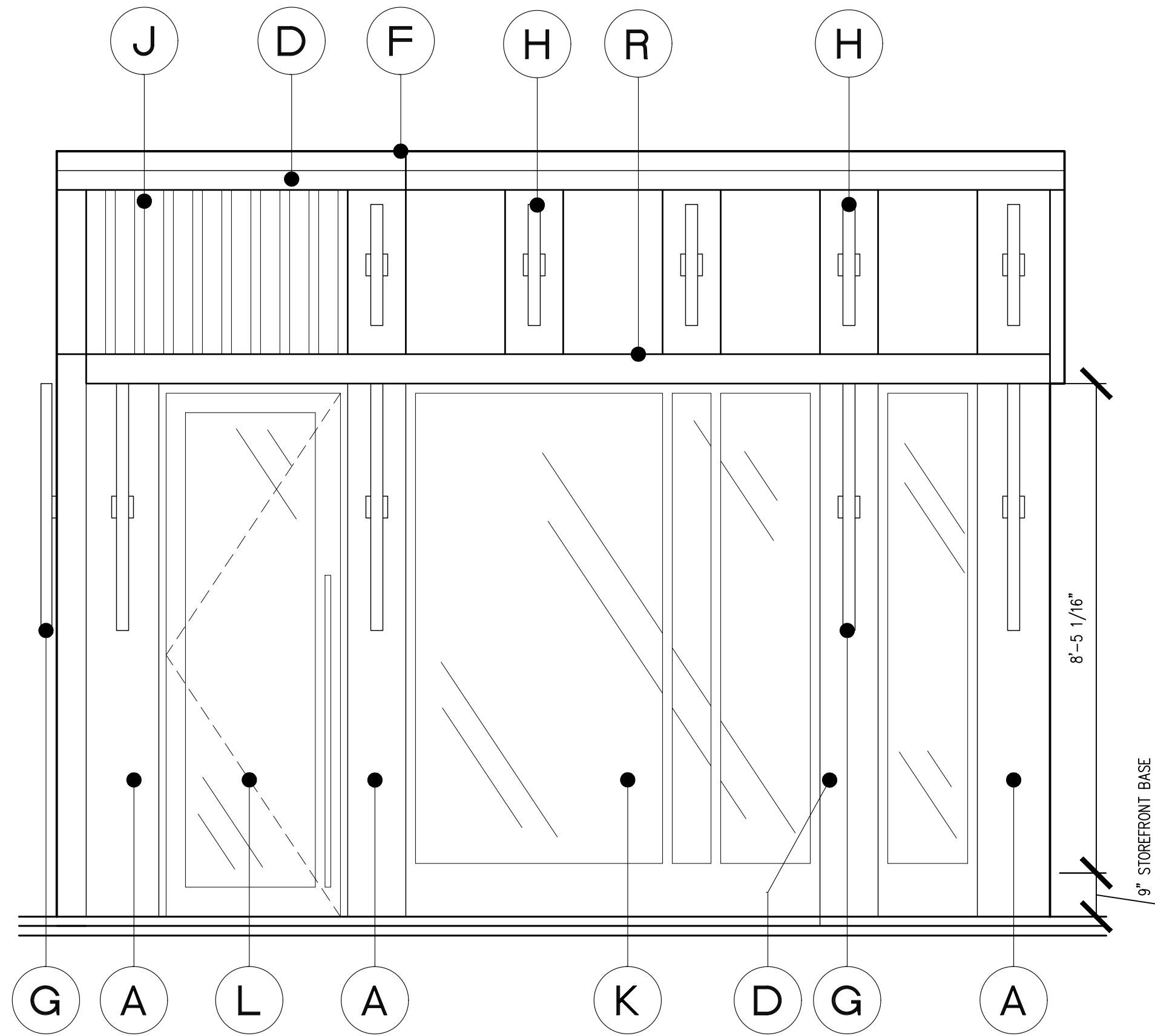
EXTERIOR FINISH SCHEDULE	
FINISH TYPE	DESCRIPTION
A	PAINT EXISTING STUCCO WHITE
B	PAINT EXISTING DOOR & FRAME WHITE
C	PAINT EXISTING STUCCO WHITE
D	NEW PROJECTED LIGHT GAUGE STEEL AND STUCCO ELEMENT IN WHITE
E	NEW IMPACT FIXED WINDOWS WITH WHITE FRAME
F	NEW COPING CAP IN WHITE
G	NEW LINEAR 51" L LIGHT FIXTURE
H	NEW LINEAR 24" L LIGHT FIXTURE
I	EXTERIOR FULL CUT OFF WALL SCONCE
J	NEW OVERFRAMED LIGHT GAUGE STEEL AND CEMENTITIOUS LIGHT CHERRY WOODLOOK ELEMENTS
K	NEW IMPACT STOREFRONT GLAZING SYSTEM IN WHITE
L	NEW IMPACT FULL VIEW GLAZED ENTRY DOOR IN LIGHT CHERRY THERMOFUSED ALUMINUM
M	NEW LIGHT GAUGE EYEBROW IN WHITE ALUMINUM FINISH
N	NEW EPS ACCENT BRACKETS IN WHITE
O	NEW EPS ACCENT TRIM IN WHITE
P	NEW LIGHT CHERRY CEMENTITIOUS WOOD VERTICAL 3" WIDE PANELS ALTERNATING WITH SHERWIN WILLIAMS #SW6416 SASSY GREEN PAINTED STRIPS
Q	NEW FULL VIEW IMPACT GLASS DOOR AND FRAME PAINTED IN WHITE
R	EXISTING 4'-0" PROJECTED CONCRETE EYEBROW CANOPY

CITY OF DELRAY BEACH, FL TABLE 4.4.13(I) DIMENSIONAL REQUIREMENTS FOR STOREFRONTS			
		MINIMUM	MAXIMUM
1	BUILDING SETBACK	10'	15'
2	STORE WIDTH	N/A	75' ON REQUIRED RETAIL STREETS
3	STOREFRONT BASE	9"	3'
4	GLAZING HEIGHT PLUS STOREFRONT BASE	8'	-
5	REQUIRED OPENINGS	80%	-
MAXIMUM ALLOWABLE ENCROACHMENT OF ELEMENTS IN ALL DISTRICTS			
5	AWNING PROJECTION	5'	-
5	PROJECTION SIGN	N/A	3'

NOTE: ALL NEW LAMINATED IMPACT GLAZING INCORPORATES A VISIBLE LIGHT REDUCTION TRANSMISSION VALUE OF 11% AND THEREFORE EXCEEDS THE REQUIREMENTS OF LDR SECTION 4.4.13(E)(1)(E). ALSO THE GLAZING IS NON-SOLAR AND NON-MIRRORED.

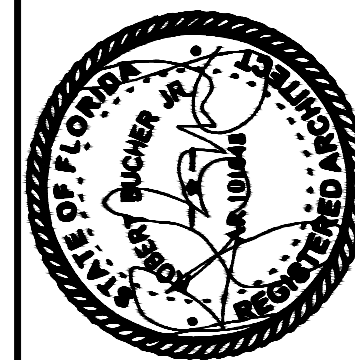
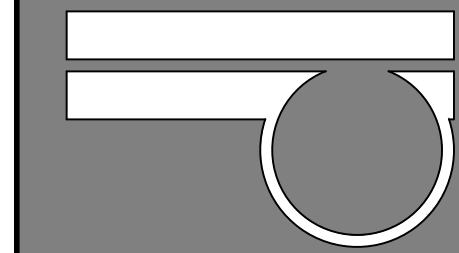
NOTE: SIGNAGE AND MURAL BY OTHERS.

light transmission percentage note



1 WEST ELEVATION  
1/2" SCALE

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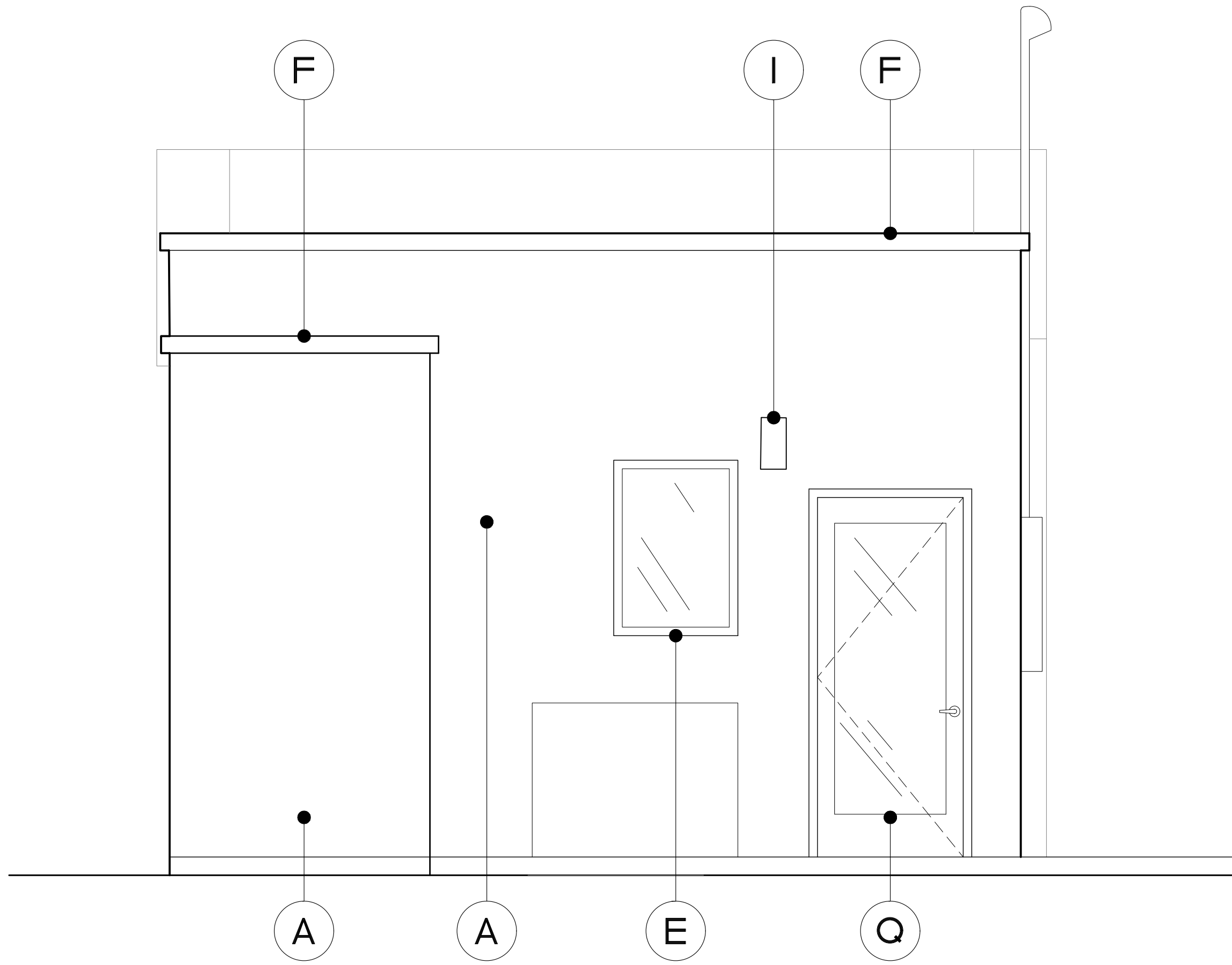
VIRGINIA PHILIP WINE

75 SE 4TH AVENUE  
DELRAY BEACH, FLORIDA

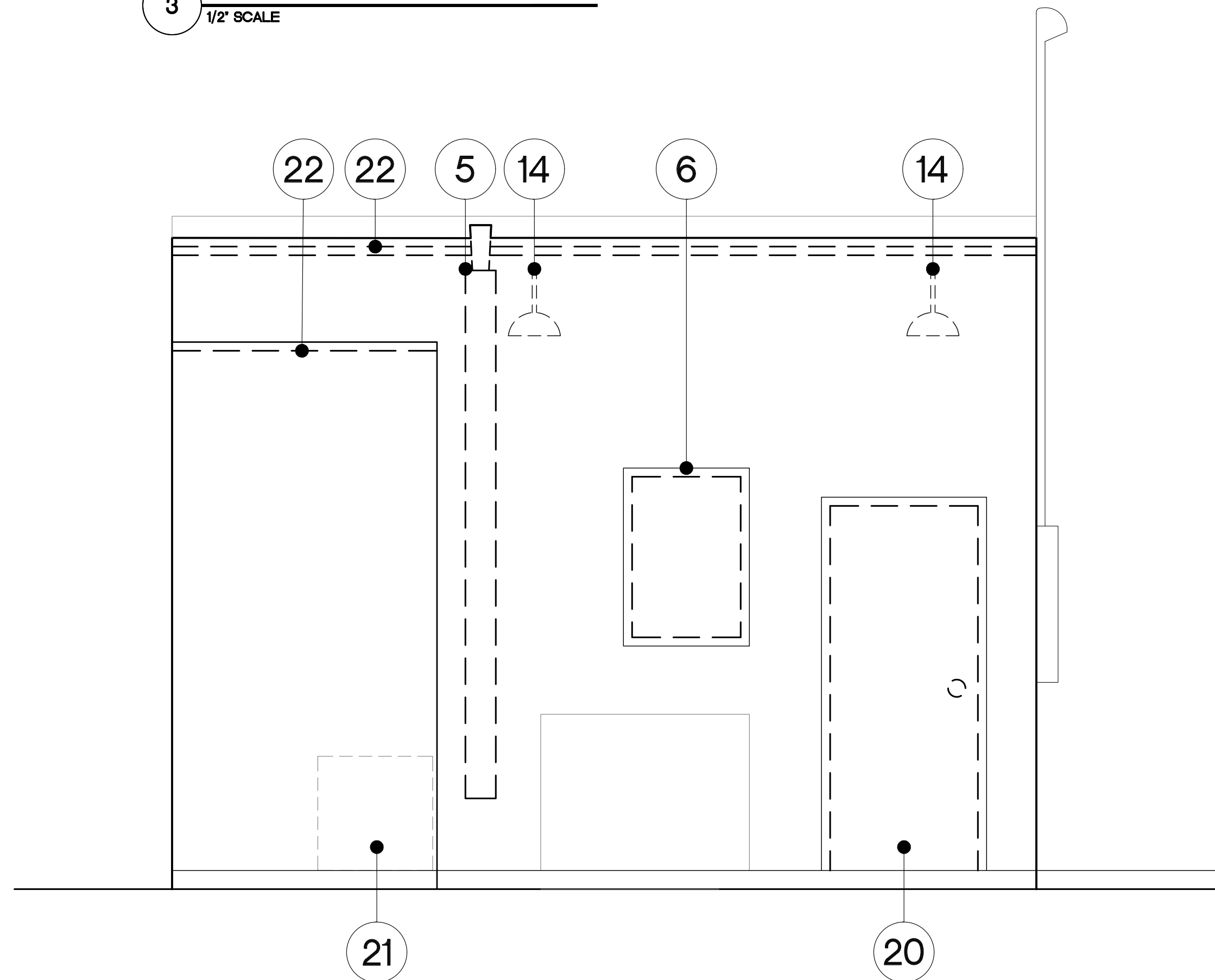
EXTERIOR ELEVATIONS

SCALE:	AS NOTED	REVISIONS:
DATE:	3/17/2023	3/24/2023 REVISIONS
DRAWN:	HAL	3/28/2023 REVISIONS
SHEET#	A2.0	4/6/2023 REVISIONS
		5/5/2023 REVISIONS
		5/10/2023 REVISIONS

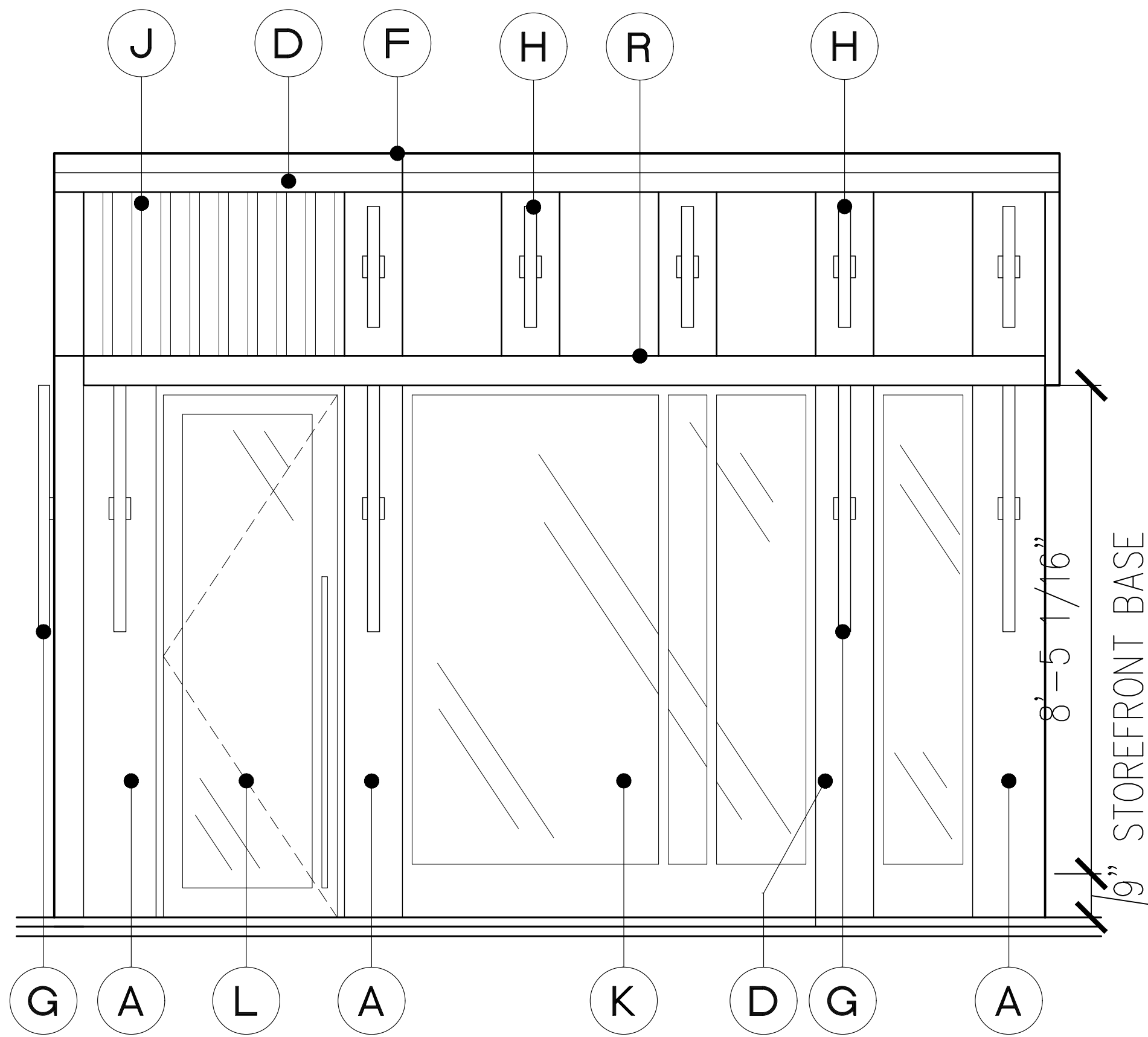




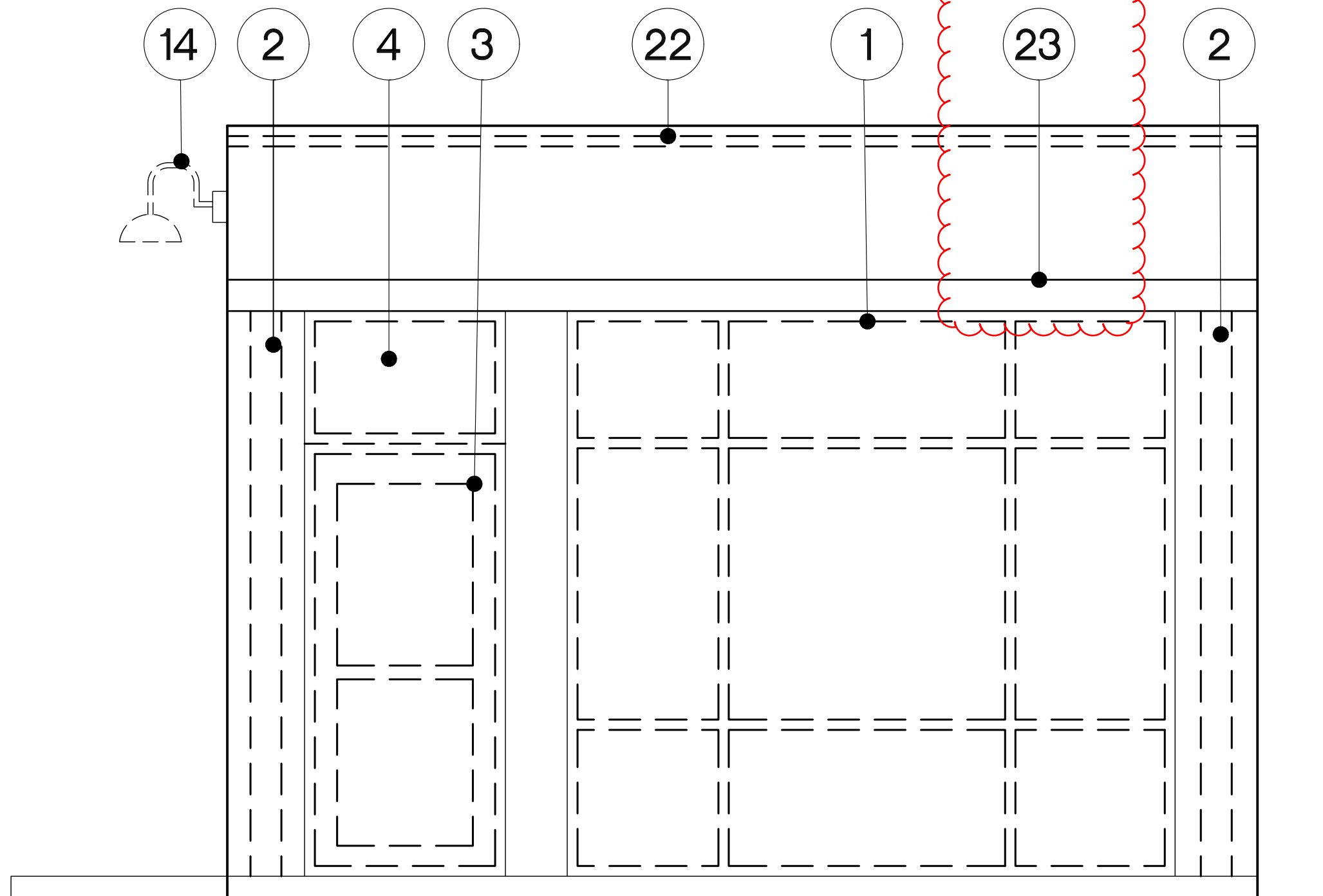
3 PROPOSED EAST ELEVATION  
1/2" SCALE



2 EXISTING EAST ELEVATION AND REMOVALS  
1/2" SCALE



4 PROPOSED WEST ELEVATION  
1/2" SCALE



1 EXISTING WEST ELEVATION AND REMOVALS  
1/2" SCALE

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MAXIMUM ALLOWABLE ENCRoACHMENT OF ELEMENTS IN ALL DISTRICTS			
6	AWNING PROJECTION	5'	-
7	PROJECTION SIGN	N/A	3'

NOTE: ALL NEW LAMINATED IMPACT GLAZING INCORPORATES A VISIBLE LIGHT REDUCTION TRANSMISSION VALUE OF 11% AND THEREFORE EXCEEDS THE REQUIREMENTS OF LDR SECTION 4.4.13(E)(1)(E). ALSO THE GLAZING IS NON-SOLAR AND NON-MIRRORING.

light transmission percentage note

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LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WALLS TO REMAIN
	TO BE REMOVED

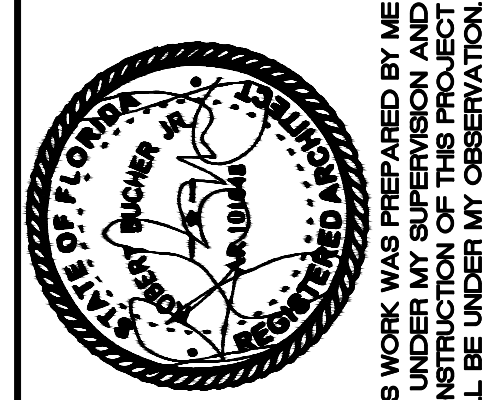
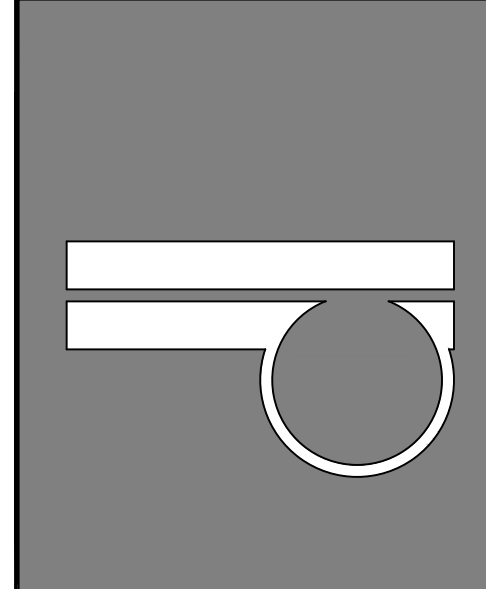
- DEMOLITION NOTES:
- REMOVE STOREFRONT FRAME AND GLAZING
  - REMOVE STORM SHUTTERS AND TRACKS COMPLETELY
  - REMOVE EXTERIOR DOOR AND FRAME
  - REMOVE STOREFRONT TRANSOM
  - REMOVE SECTION OF CMU WALL AS DIMENSIONED
  - REMOVE WINDOW AND IMPACT SHUTTERS
  - REMOVE INTERIOR PARTITION
  - REMOVE MILLWORK COMPLETELY
  - REMOVE PLUMBING FIXTURES COMPLETELY
  - REMOVE SPLIT SYSTEM WALL MOUNTED UNIT
  - REMOVE CEILING SYSTEM COMPLETELY
  - REMOVE SURFACE MOUNTED LIGHT FIXTURES
  - REMOVE RECESSED DOWNLIGHTS
  - REMOVE EXTERIOR WALL LIGHTING FIXTURES
  - REMOVE HVAC DUCT AND DIFFUSER
  - REMOVE DOOR AND FRAME
  - REMOVE SOFFIT
  - REMOVE SUSPENDED CEILING TILES, GRID TO REMAIN.
  - REMOVE FRP WALL PANELS
  - REMOVE DOOR AND FRAME
  - REMOVE SPLIT SYSTEM CONDENSER
  - REMOVE COPING CAP
  - EXISTING CONCRETE EYEBROW CANOPY TO REMAIN

NOTE: THESE DRAWINGS INDICATE THE GENERAL PARTITIONS, CEILINGS, AND RELATED ELEMENTS TO BE REMOVED. THEY DO NOT NECESSARILY COORDINATE WITH THE LATEST NEW BUILD FLOOR PLANS. ALSO, THESE REMOVAL PLANS DO NOT ADDRESS OR INCORPORATE ANY WORK SPECIFICATIONS RELATED TO ANY POTENTIAL ENVIRONMENTAL CONDITIONS.

EXTERIOR FINISH SCHEDULE	
FINISH TYPE	DESCRIPTION
A	PAINT EXISTING STUCCO WHITE
B	PAINT EXISTING DOOR & FRAME WHITE
C	PAINT EXISTING STUCCO WHITE
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E	NEW IMPACT FIXED WINDOWS WITH WHITE FRAME
F	NEW COPING CAP IN WHITE
G	NEW LINEAR 51" L LIGHT FIXTURE
H	NEW LINEAR 24" L LIGHT FIXTURE
I	EXTERIOR FULL CUT OFF WALL SCONCE
J	NEW OVERFRAMED LIGHT GAUGE STEEL AND CEMENTITIOUS LIGHT CHERRY WOODLOOK ELEMENTS
K	NEW IMPACT STOREFRONT GLAZING SYSTEM IN WHITE
L	NEW IMPACT FULL VIEW GLAZED ENTRY DOOR IN LIGHT CHERRY THERMOFUSED ALUMINUM
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NOTE: SIGNAGE AND MURAL BY OTHERS.

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VIRGINIA PHILIP WINE  
75 SE 4TH AVENUE  
DELRAY BEACH, FLORIDA  
EXISTING AND NEW EXTERIOR ELEVATIONS



SCALE:	AS NOTED	REVISIONS:	A2.1A	
DATE:	3/17/2023	3/24/2023 REVISIONS	1	
DRAWN:	HAL	3/28/2023 REVISIONS	2	
SHEET#		4/6/2023 REVISIONS	3	
		5/5/2023 REVISIONS	4	
		5/10/2023 REVISIONS	5	



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**LEGEND**

SYMBOL	DESCRIPTION
	EXISTING WALLS TO REMAIN
	TO BE REMOVED

**DEMOLITION NOTES:**

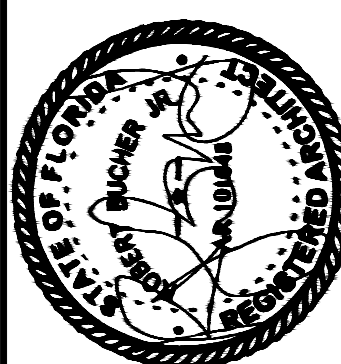
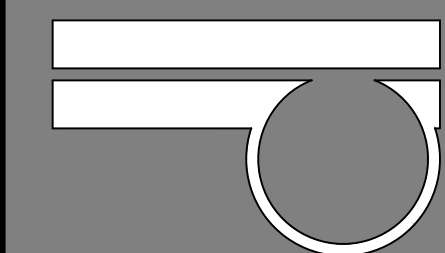
- 1 REMOVE STOREFRONT FRAME AND GLAZING
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- 13 REMOVE RECESSED DOWNLIGHTS
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NOTE: SIGNAGE AND MURAL BY OTHERS

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**75 SE 4TH AVENUE  
DELRAY BEACH, FLORIDA**

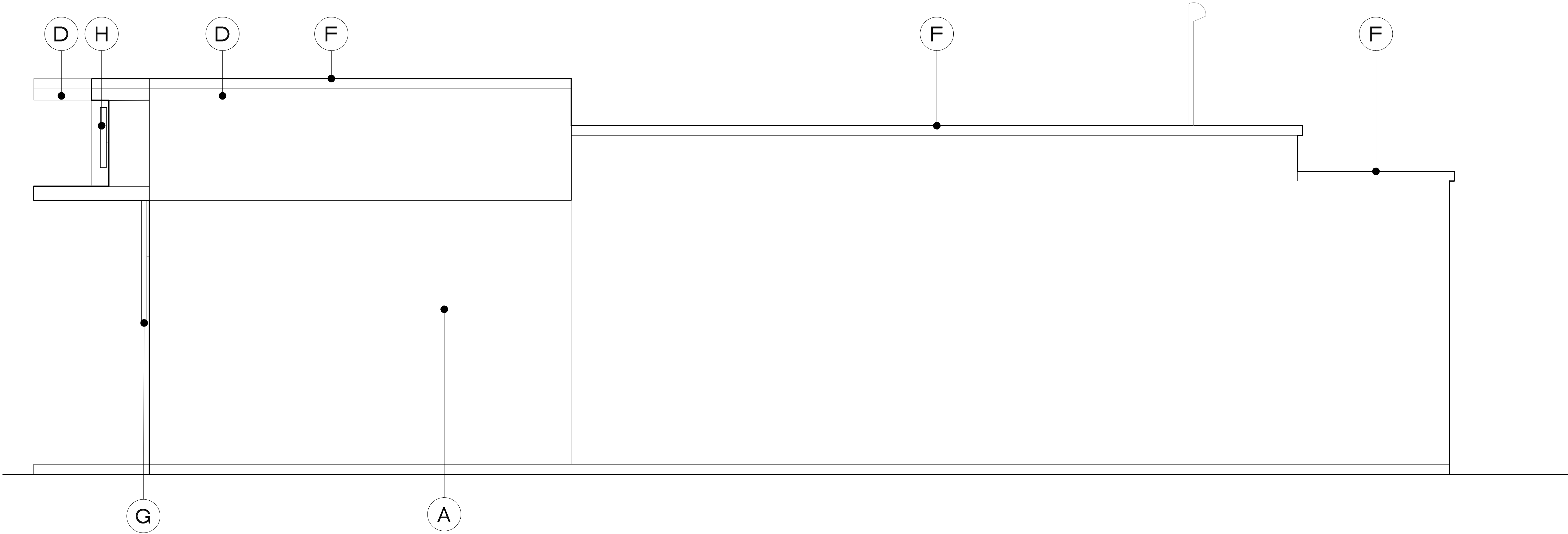
## EXISTING AND NEW EXTERIOR ELEVATIONS

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DATE:	3/17/2023	3/24/2023 REVISIONS
DRAWN:	HAL	3/28/2023 REVISIONS
SHEET #		4/6/2023 REVISIONS
		5/5/2023 REVISIONS
		5/16/2023 REVISIONS

# A2.0A

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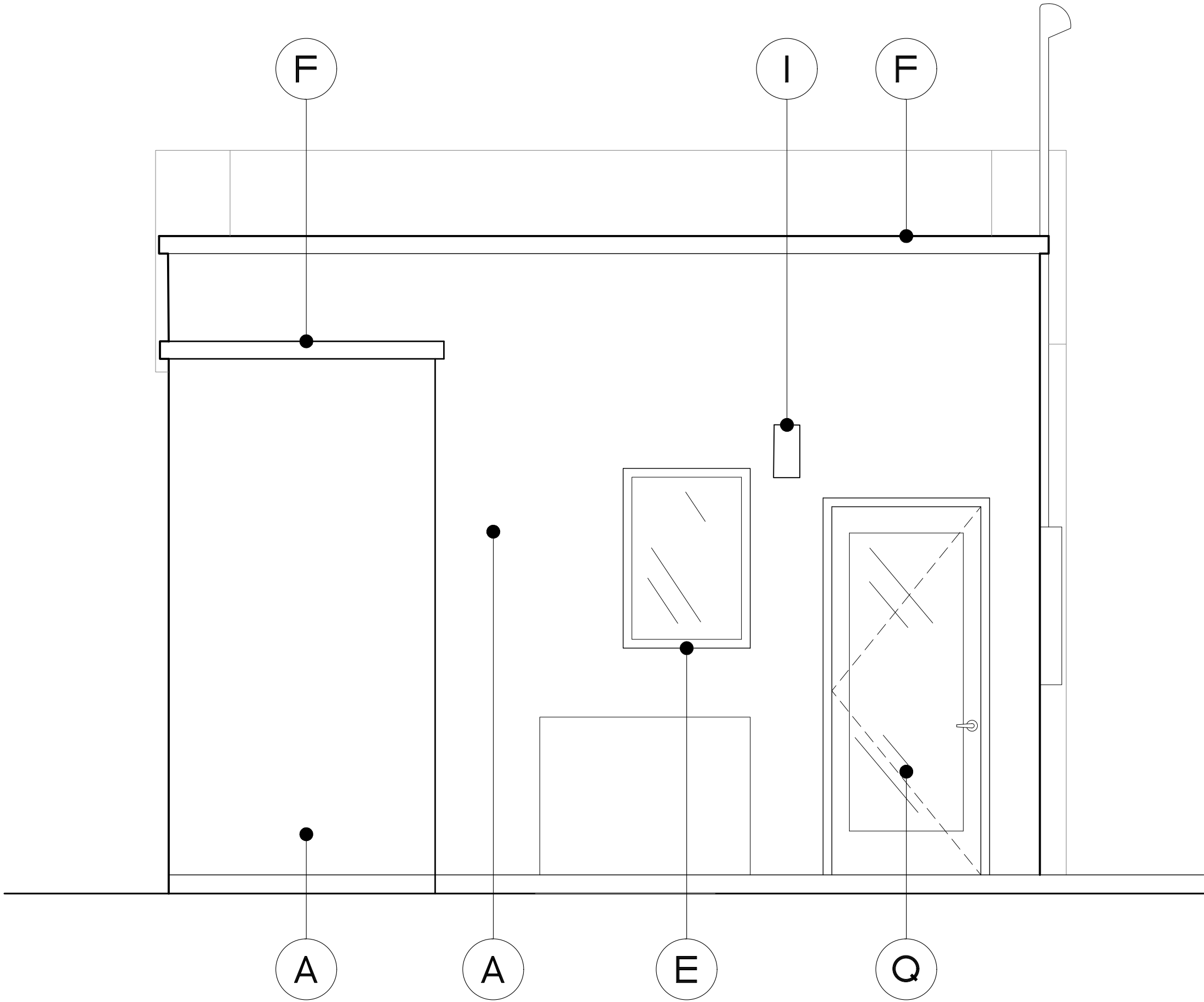




2 SOUTH ELEVATION  
1/2" SCALE

EXTERIOR FINISH SCHEDULE	
FINISH TYPE	DESCRIPTION
A	PAINT EXISTING STUCCO WHITE
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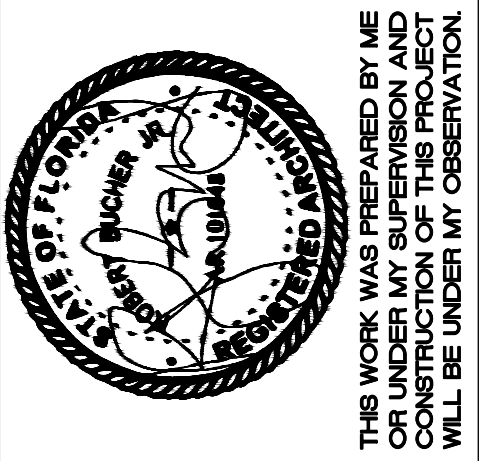
NOTE: SIGNAGE AND MURAL BY OTHERS.



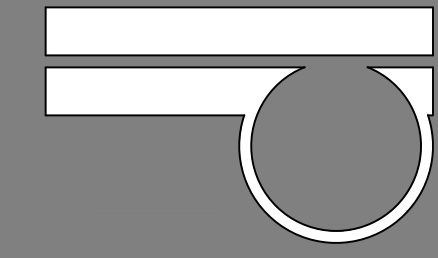
1 EAST ELEVATION  
1/2" SCALE

SCALE:	AS NOTED	REVISIONS:
DATE:	3/17/2023	3/24/2023 REVISIONS
DRAWN:	HAL	3/28/2023 REVISIONS
SHEET #	A2.1	4/6/2023 REVISIONS
		5/5/2023 REVISIONS
		5/10/2023 REVISIONS

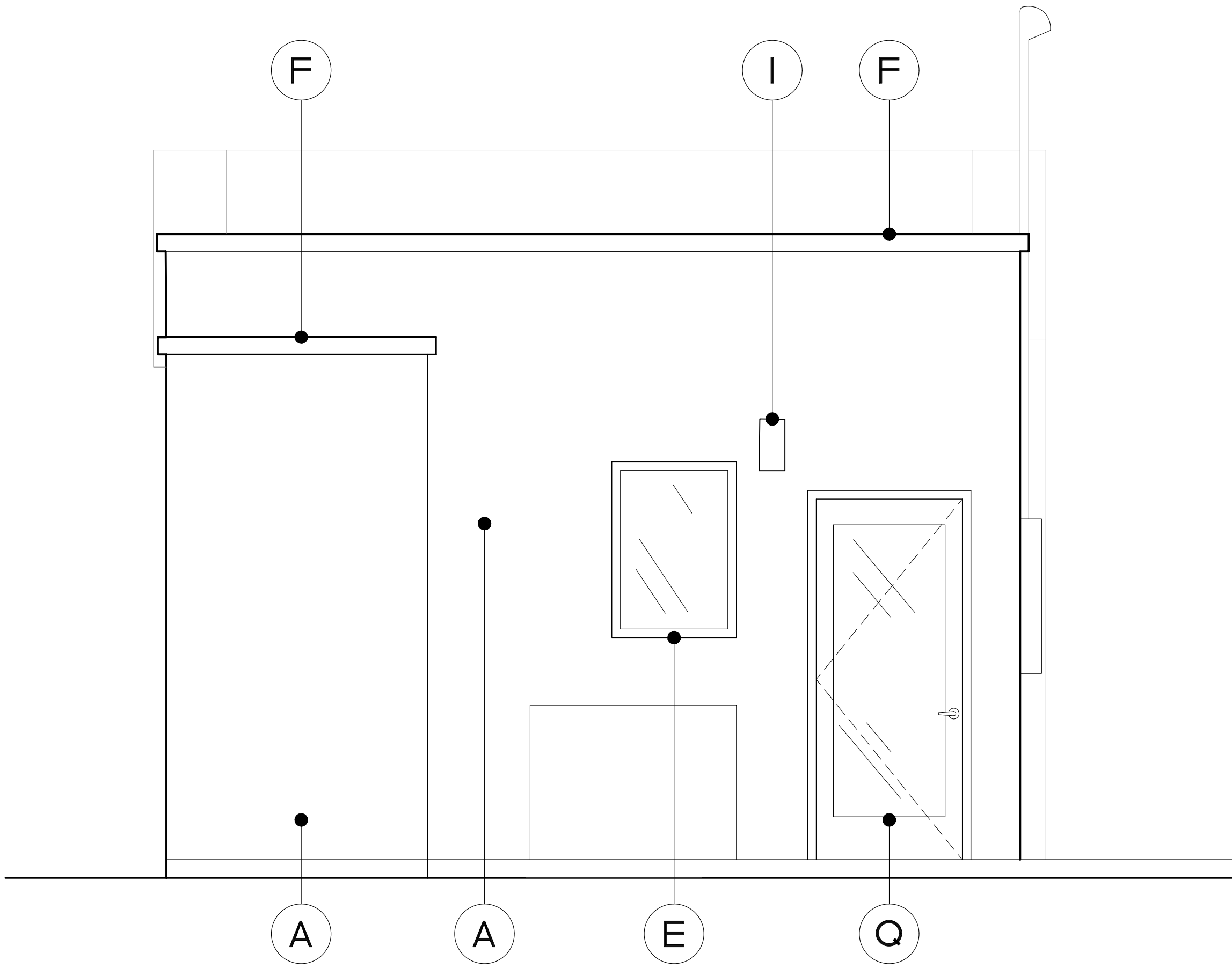
VIRGINIA PHILIP WINE  
75 SE 4TH AVENUE  
DELRAY BEACH, FLORIDA  
EXTERIOR ELEVATIONS



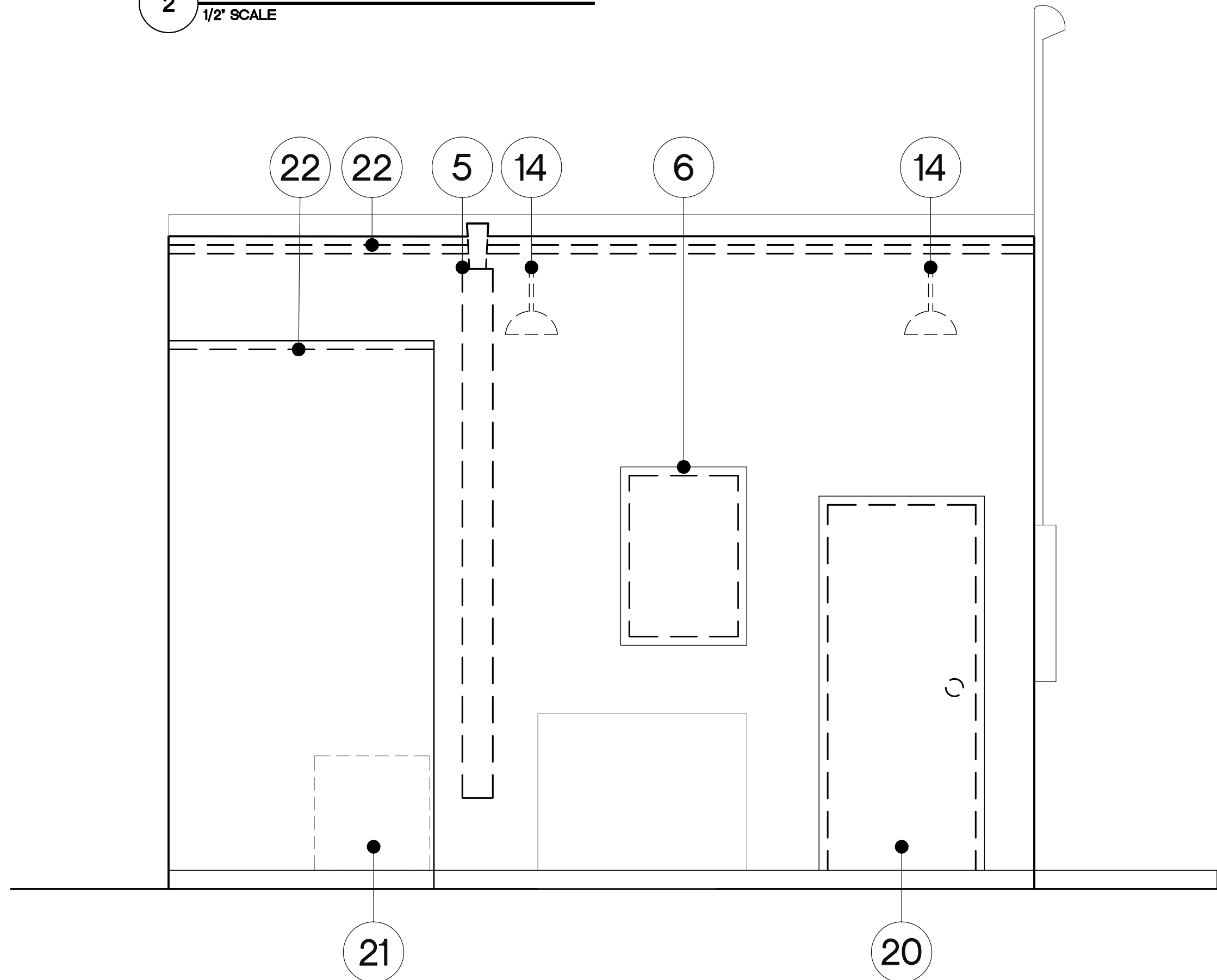
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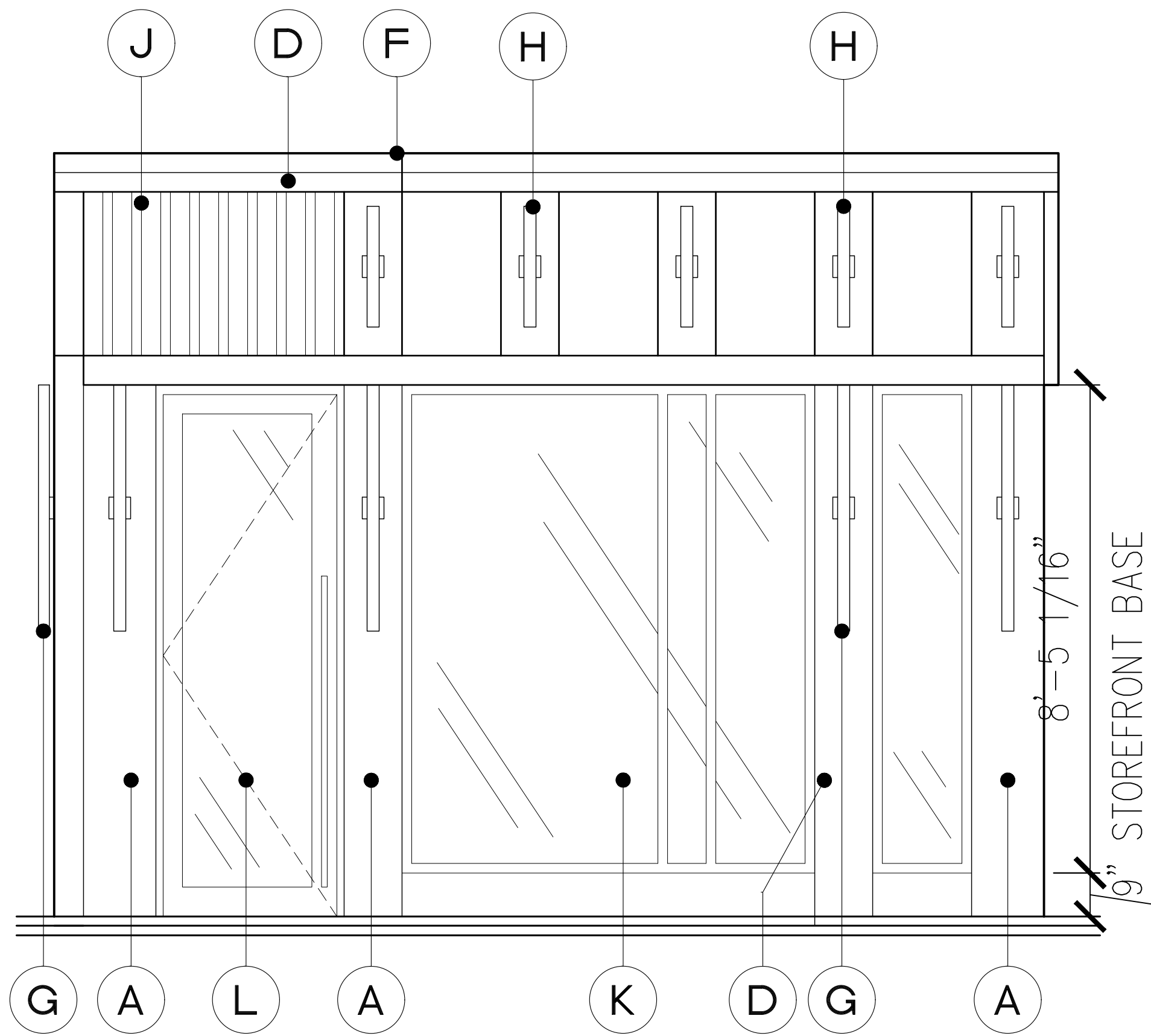
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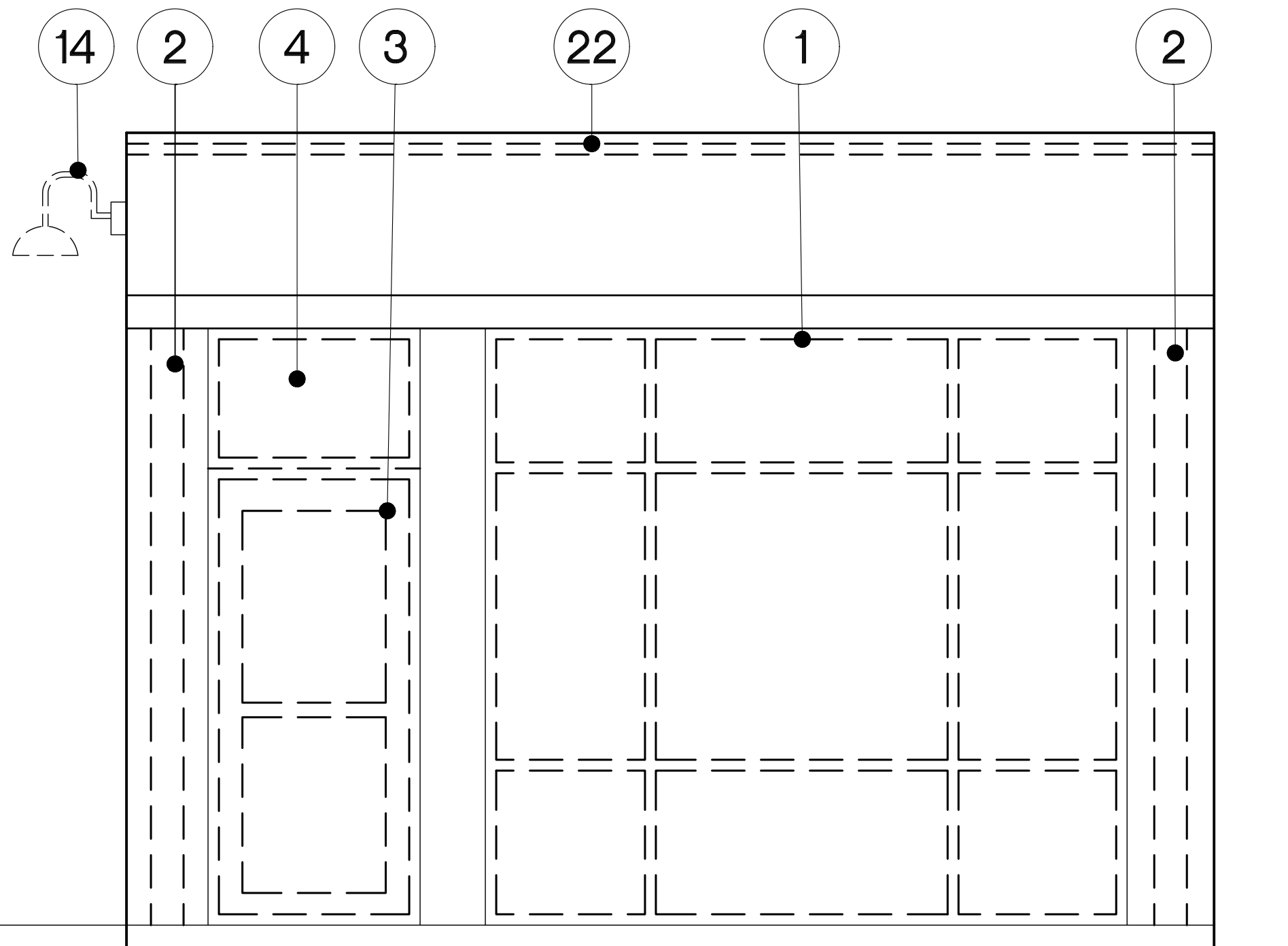
2 PROPOSED EAST ELEVATION  
1/2" SCALE



2 EXISTING EAST ELEVATION AND REMOVALS  
1/2" SCALE



1 PROPOSED WEST ELEVATION  
1/2" SCALE



1 EXISTING WEST ELEVATION AND REMOVALS  
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CITY OF DELRAY BEACH, FL TABLE 4.4.13(I) DIMENSIONAL REQUIREMENTS FOR STOREFRONTS			
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LEGEND	
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	EXISTING WALLS TO REMAIN
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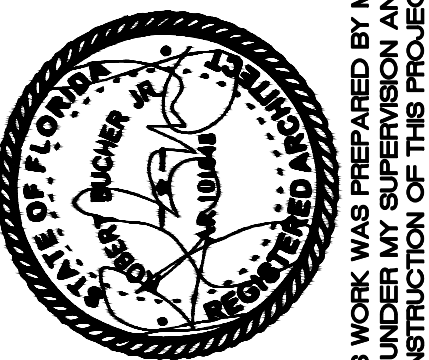
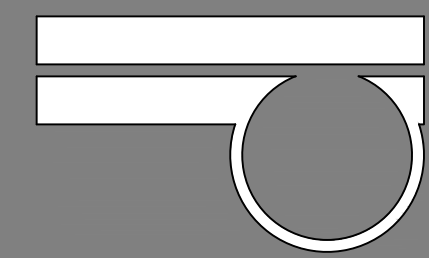
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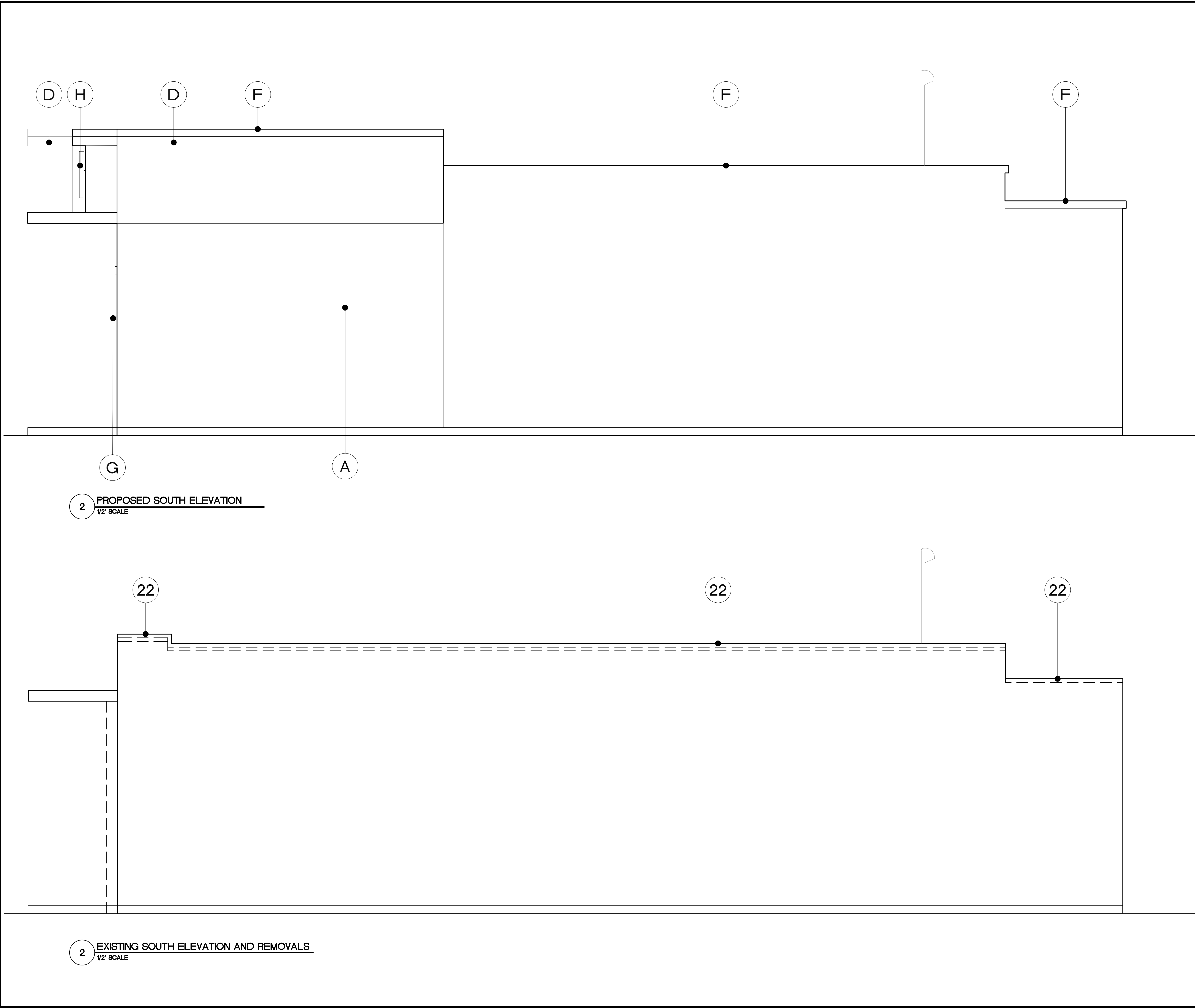
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EXISTING AND NEW EXTERIOR ELEVATIONS

SCALE:	AS NOTED	REVISIONS:	SHEET#
DATE:	3/17/2023	3/24/2023 REVISIONS	A2.1A
DRAWN:	HAL	3/28/2023 REVISIONS	
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		5/13/2023 REVISIONS	



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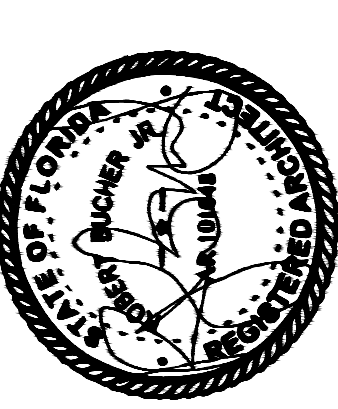
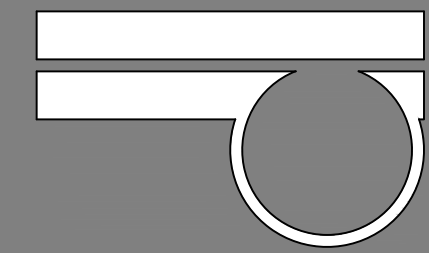
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  - 16 REMOVE DOOR AND FRAME
  - 17 REMOVE SOFFIT
  - 18 REMOVE SUSPENDED CEILING TILES. GRID TO REMAIN.
  - 19 REMOVE FRP WALL PANELS
  - 20 REMOVE DOOR AND FRAME
  - 21 REMOVE SPLIT SYSTEM CONDENSER
  - 22 REMOVE COPING CAP

NOTE:  
THESE DRAWINGS INDICATE THE GENERAL PARTITIONS, CEILINGS, AND RELATED ELEMENTS TO BE REMOVED. THEY DO NOT NECESSARILY COORDINATE WITH THE LATEST NEW BUILD FLOOR PLANS. ALSO, THESE REMOVAL PLANS DO NOT ADDRESS OR INCORPORATE ANY WORK SPECIFICATIONS RELATED TO ANY POTENTIAL ENVIRONMENTAL CONDITIONS.

FINISH TYPE	DESCRIPTION
A	PAINT EXISTING STUCCO WHITE
B	PAINT EXISTING DOOR & FRAME WHITE
C	PAINT EXISTING STUCCO WHITE
D	NEW PROJECTED LIGHT GAUGE STEEL AND STUCCO ELEMENT IN WHITE
E	NEW IMPACT FIXED WINDOWS WITH WHITE FRAME
F	NEW COPING CAP IN WHITE
G	NEW LINEAR 51" L LIGHT FIXTURE
H	NEW LINEAR 24" L LIGHT FIXTURE
I	EXTERIOR FULL CUT OFF WALL SCONCE
J	NEW OVERFRAMED LIGHT GAUGE STEEL AND CEMENTITIOUS LIGHT CHERRY WOODLOOK ELEMENTS
K	NEW IMPACT STOREFRONT GLAZING SYSTEM IN WHITE
L	NEW IMPACT FULL VIEW GLAZED ENTRY DOOR IN LIGHT CHERRY THERMOFUSED ALUMINUM
M	NEW LIGHT GAUGE EYEBROW IN WHITE ALUMINUM FINISH
N	NEW EIFS ACCENT BRACKETS IN WHITE
O	NEW EIFS ACCENT TRIM IN WHITE
P	NEW LIGHT CHERRY CEMENTITIOUS WOOD VERTICAL 3" WIDE PANELS - ALTERNATING WITH SHERWIN WILLIAMS #SW6416 SASSY GREEN PAINTED STRIPS
Q	NEW FULL VIEW IMPACT GLASS DOOR AND FRAME PAINTED IN WHITE

NOTE: SIGNAGE AND MURAL BY OTHERS.

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THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

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EXISTING AND NEW EXTERIOR ELEVATIONS

SCALE:	AS NOTED	REVISIONS:
DATE:	3/17/2023	3/24/2023 REVISIONS
DRAWN:	HAL	3/28/2023 REVISIONS
SHEET#	A2.1B	4/6/2023 REVISIONS
		5/5/2023 REVISIONS
		5/10/2023 REVISIONS