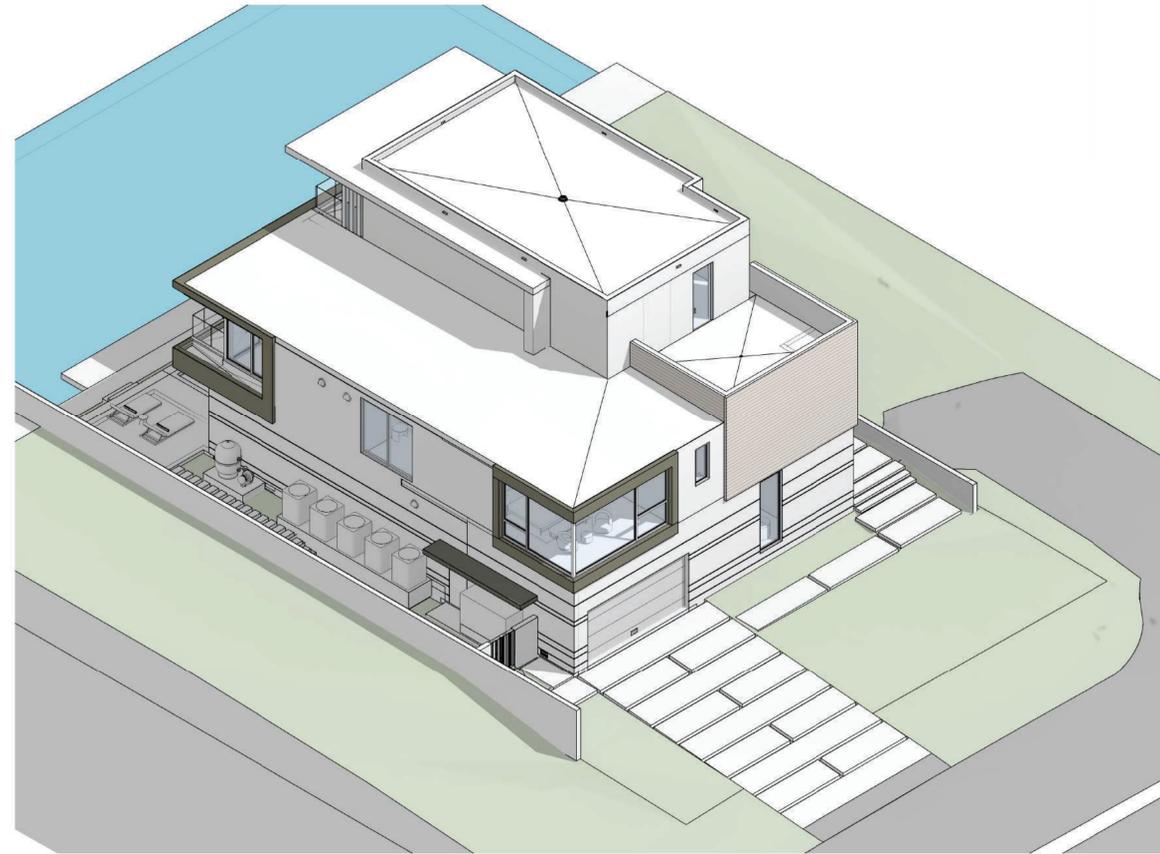


BROOKS LANE RESIDENCE

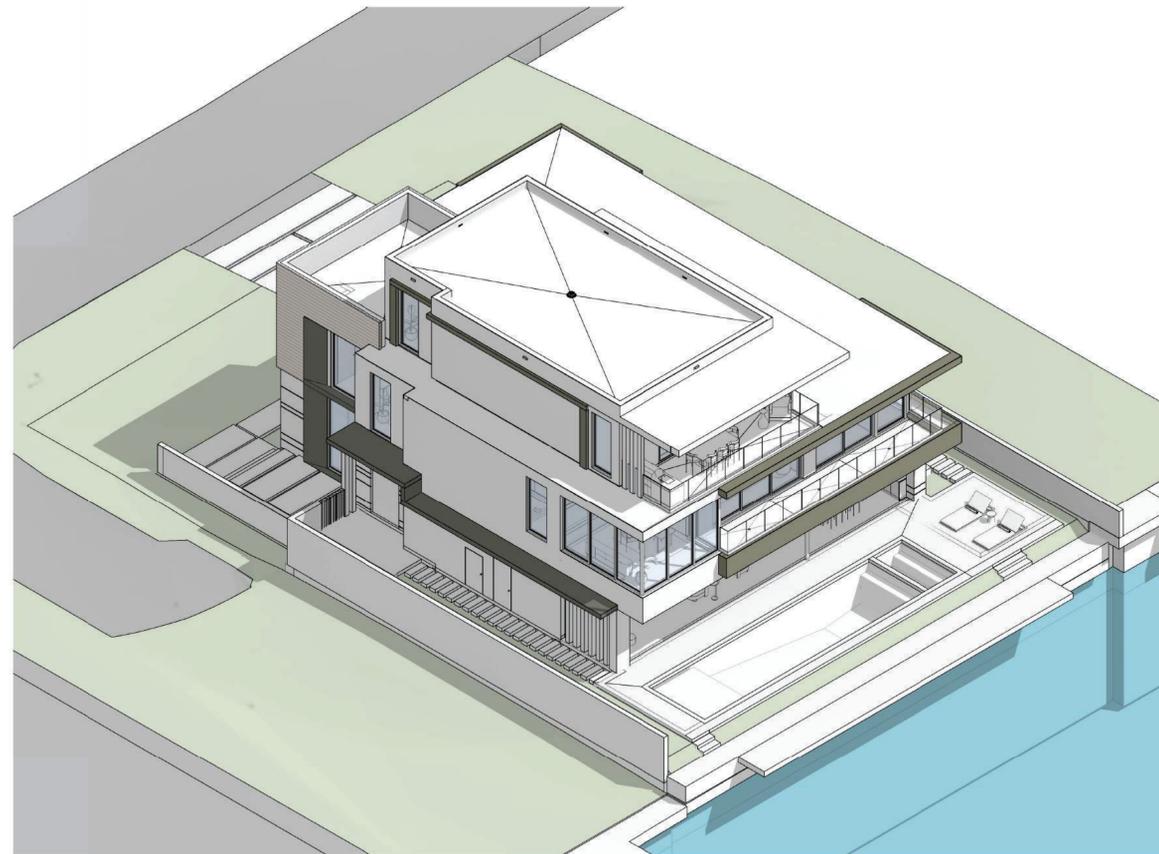
SINGLE-FAMILY RESIDENCE - CITY REVISIONS
FEBRUARY 13, 2026



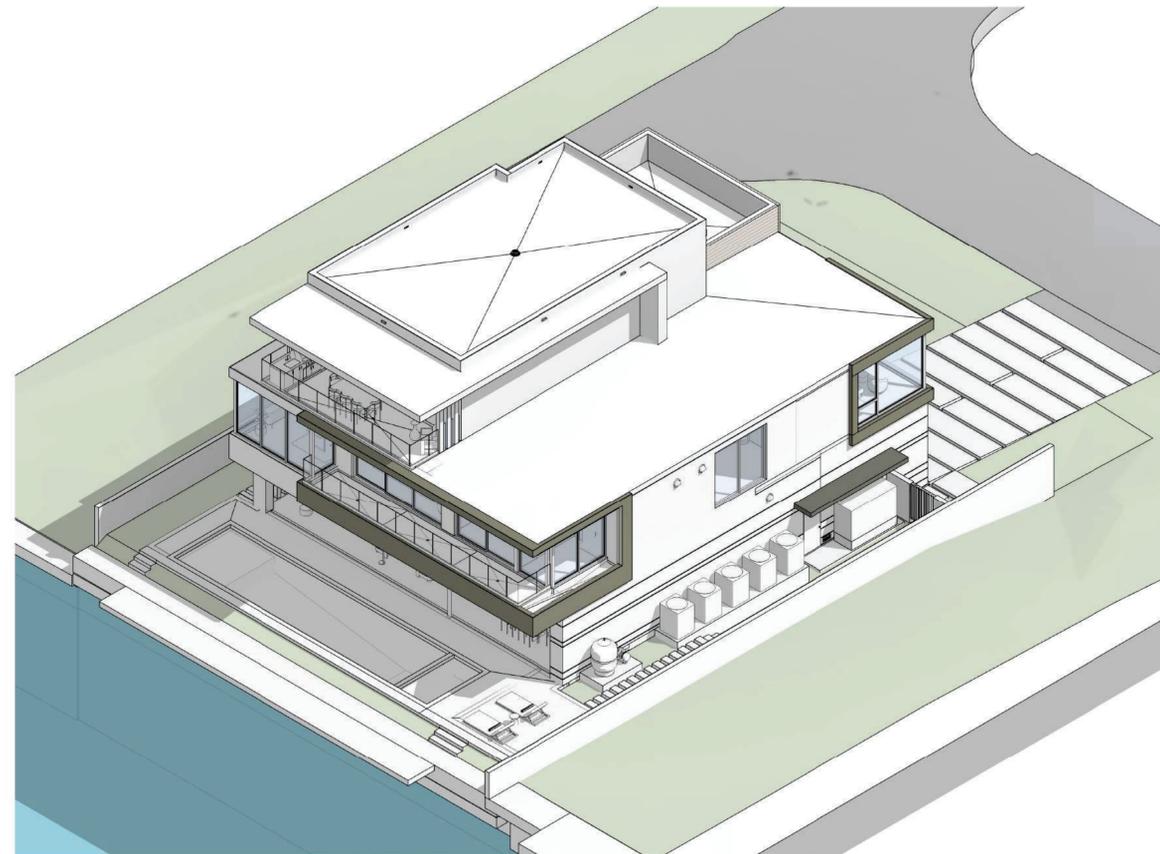
1 3D - NORTHWEST AXON



2 NORTHEAST AXON



3 SOUTHWEST AXON



4 SOUTHEAST AXON

ISSUE DATE: 01/13/2025

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PROJECT NAME

**BROOKS LANE
RESIDENCE**

1006 BROOKS LANE
DELRAY BEACH, FL 33483
FOLIO # 02-4205-001-0330

Project Number 248400

Drawing Name

COVER - 3D

Scale:

Drawing Number

A-000

PROJECT ZONING DATA

1006 BROOKS LANE, DELRAY BEACH FL. 33483

SITE DESCRIPTION	
FLOOD ZONE	AE
BASE FLOOD ELEVATION	7'-0" NAVD
LEGAL DESCRIPTION	LOT 47, "DELRAY BEACH SHORES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 23, AT PAGE 167 OF THE PUBLIC RECORDS, OF PALM BEACH COUNTY, FLORIDA. SAID LAND SITUATED IN THE CITY OF DELRAY BEACH, PALM BEACH COUNTY AND CONTAINS 8,625 SQUARE FEET, MORE OR LESS.
PARCEL NUMBER	12-43-46-21-15-000-0470

GENERAL	
ZONING DISTRICT	R-1-AA—R-1-AA-SINGLE FAMILY (12-DELRAY BEACH)
CONSTRUCTION TYPE	III B
OCCUPANCY GROUP	RESIDENTIAL R-3
LOT WIDTH	75.00' (NORTH & SOUTH)
LOT DEPTH	115.00' (WEST & EAST)
LOT FRONTAGE	75.00' (NORTH) + 45.33' (WEST) = 120.33' TOTAL FRONTAGE
LOT AREA	8,624.57 s.f.
PROJECT PROGRAM	THIS PROJECT CONSISTS OF A SINGLE FAMILY HOME: (3) STORY HOUSE WITH PARKING GARAGE AT GROUND FLOOR AND ROOF TERRACE.

LOT COVERAGE			
	REQUIRED	PROVIDED	
TOTAL LOT COVERAGE	N/A	6,291.00 s.f.	72.94%
PERVIOUS AREA	N/A	2,333.50 s.f.	27.06%
IMPERVIOUS AREA	N/A	6,291.00 s.f.	72.94%
OPEN AREA	2,156.25 s.f. 25% MIN	2,256.47 s.f.	26.16%

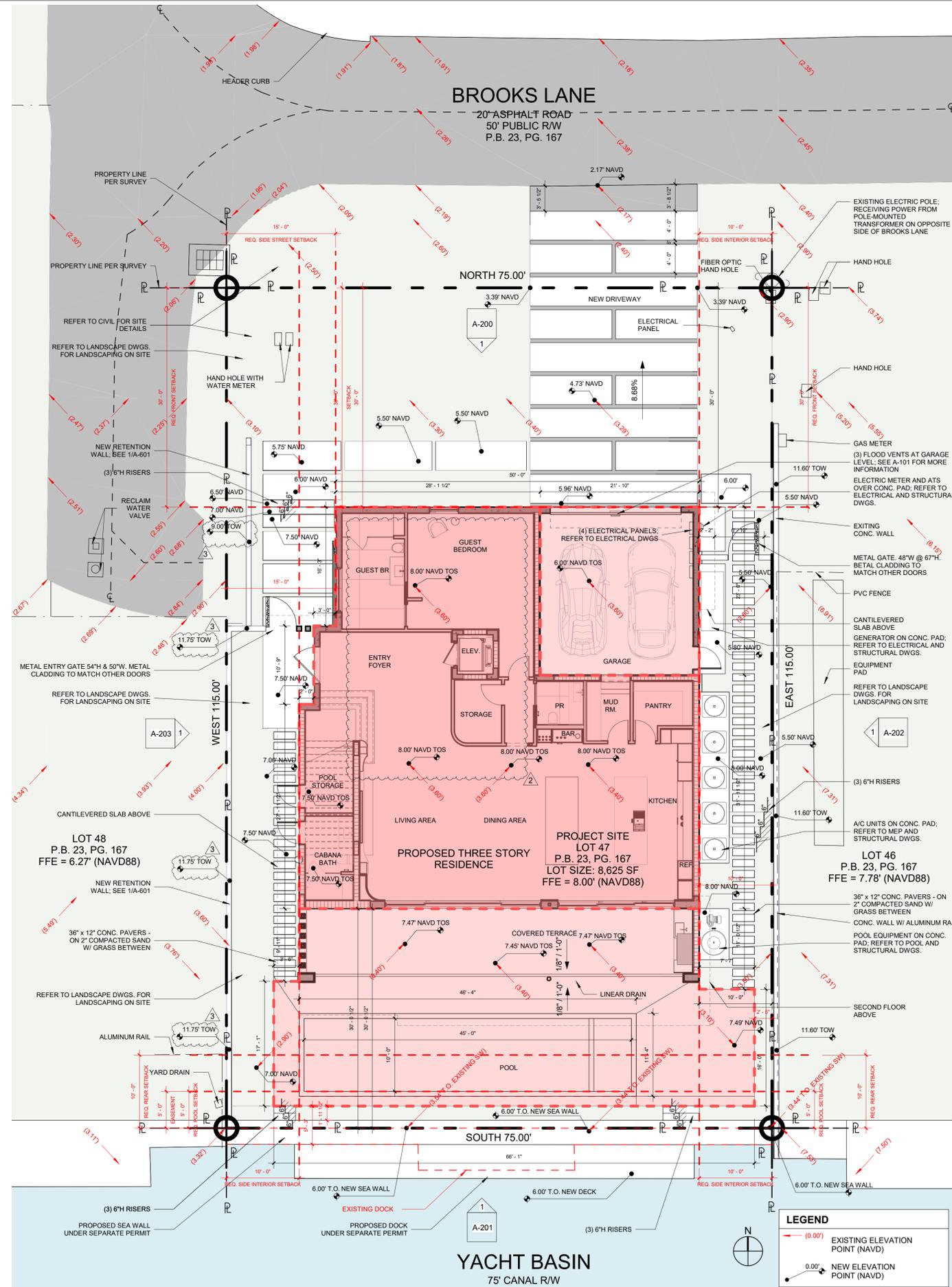
FLOOR AREA RATIO REQUIREMENTS		
	ALLOWED	PROVIDED
LEVEL 1 GROSS FLOOR AREA:	N/A	2,913 SF
- GARAGE FLOOR AREA (50%)	N/A	-252 SF
LEVEL 2 GROSS FLOOR AREA:	N/A	3,501 SF
LEVEL 3 GROSS FLOOR AREA:	N/A	1,168 SF
TOTAL GROSS FLOOR AREA:	N/A	7,330 SF
FLOOR AREA RATIO:	0.85 FAR	7,330 / 8,624.57 = 0.85 FAR
LEVEL 1 TERRACE AREA:	N/A	533 SF
LEVEL 2 TERRACE AREA:	N/A	207 SF
LEVEL 3 TERRACE AREA:	N/A	615 SF
TOTAL TERRACE AREA:	N/A	1,355 SF

SETBACK REQUIREMENTS		
	REQUIRED	PROVIDED
FRONT:	30'-0"	30'-0"
SIDE (INTERIOR):	10'-0"	10'-1"
SIDE (STREET):	15'-0"	15'-0"
REAR:	10'-0"	30'-1"

BUILDING HEIGHT REQUIREMENTS		
	REQUIRED	PROVIDED
MAXIMUM OF STORIES	3	3
MAXIMUM BUILDING HEIGHT	35' (BASE BLDG ELEV)	34'-7" (TOP OF ROOF)
ADDITIONAL PARAPET EXCEPTION	≤ 4'-0" ALLOWED PARAPET	+1'-0 1/2" PARAPET

SWIMMING POOL REQUIREMENTS		
	REQUIRED	PROVIDED
REAR SETBACK:	5'-0" (ALLOWED ENCR.)	7'-3"
FRONT SETBACK:	28'-0"	100'-0"
SIDE SETBACK:	10'-6"	10'-8" (WEST) , 19'-4" (EAST)

CODES IN EFFECT		
FLORIDA BUILDING CODE 7TH EDITION, RESIDENTIAL 2020	BUILDING	
	STRUCTURAL	
	PLUMBING	
	MECHANICAL	
	FUEL GAS	
	ENERGY CONSERVATION	
FLORIDA FIRE PREVENTION CODE 7TH EDITION		
CITY OF DELRAY BEACH ZONING ORDINANCES		
BEACH PROPERTY OWNER'S DESIGN MANUAL		



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PROJECT NAME
BROOKS LANE RESIDENCE
 1006 BROOKS LANE
 DELRAY BEACH, FL 33483
 FOLIO # 02-4205-001-0330

Project Number 248400
 Drawing Name
SITE PLAN, PROJECT DATA, & ZONING
 Scale: As indicated
 Drawing Number

Project Number 248400
 Drawing Name
SITE PLAN, PROJECT DATA, & ZONING
 Scale: As indicated
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A-004

AREA SCHEDULE (NET A/C) - GROUND LEVEL	
Name	Area
CABANA BATH	76 SF
ELEV.	27 SF
ENTRY FOYER	221 SF
GARAGE	467 SF
GUEST BATH	136 SF
GUEST BEDROOM	342 SF
KITCHEN	488 SF
LIVING & DINING	574 SF
MUD ROOM	49 SF
PANTRY	57 SF
POOL STORAGE	56 SF
PR	38 SF
STORAGE	55 SF
Grand total: 13	2585 SF

AREA SCHEDULE (NET A/C) - SECOND LEVEL	
Name	Area
A/C	46 SF
BATH 1	80 SF
BATH 2	55 SF
BEDROOM 1	318 SF
BEDROOM 2	241 SF
ELEV.	27 SF
ELEV. VESTIBULE	120 SF
FAMILY ROOM	868 SF
HER CLOSET	123 SF
HIS CLOSET	102 SF
LAUNDRY ROOM	110 SF
OFFICE	175 SF
OWNER'S BATH	355 SF
OWNER'S SUITE	325 SF
TR	25 SF
TR	25 SF
W.I.C.	59 SF
W.I.C.	74 SF
Grand total: 18	3128 SF

AREA SCHEDULE (NET A/C) - THIRD LEVEL	
Name	Area
ELEV.	27 SF
OPEN TERRACE	347 SF
PR	48 SF
Grand total: 3	421 SF

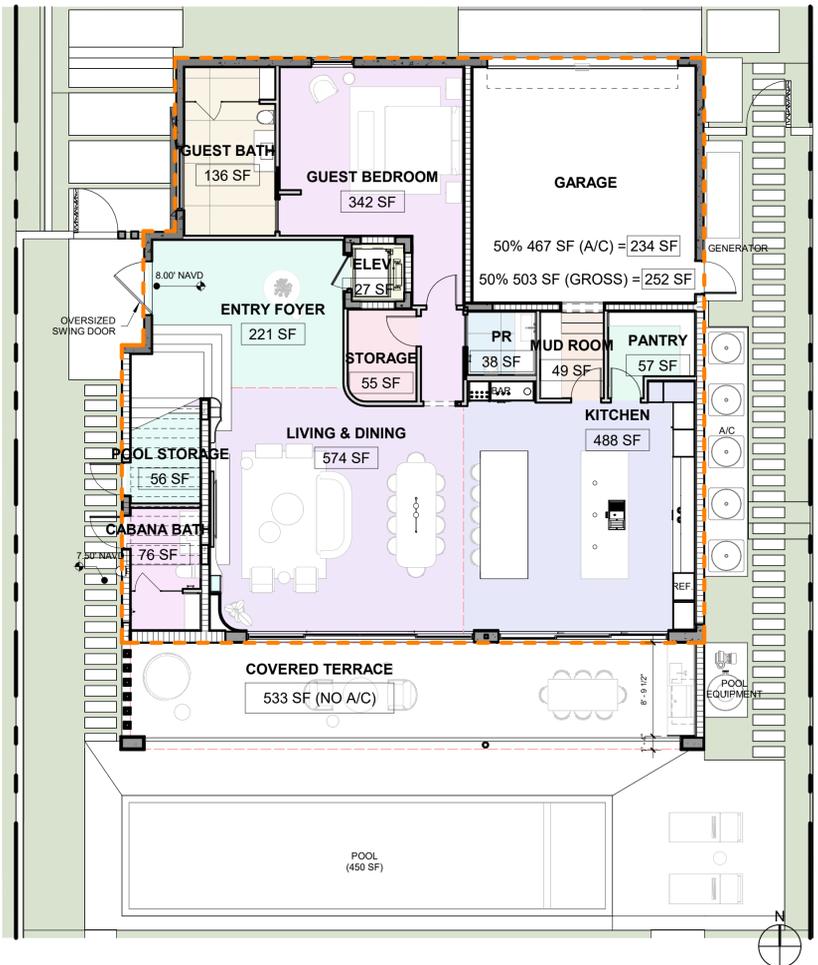
AREA SCHEDULE (NET A/C) - ALL LEVELS	
MV	Area
TOP OF SLAB @ 1ST FLOOR	2585 SF
TOP OF SLAB @ 2ND FLOOR	3128 SF
TOP OF SLAB @ 3RD FLOOR	421 SF
TOTAL	6134 SF - 234 SF (50% A/C GARAGE) = 6,513 SF

GROSS FLOOR AREA	
Area	
	2913 SF
	3501 SF
	1168 SF
	7582 SF - 252 SF (50% GROSS GARAGE) = 7,330 SF

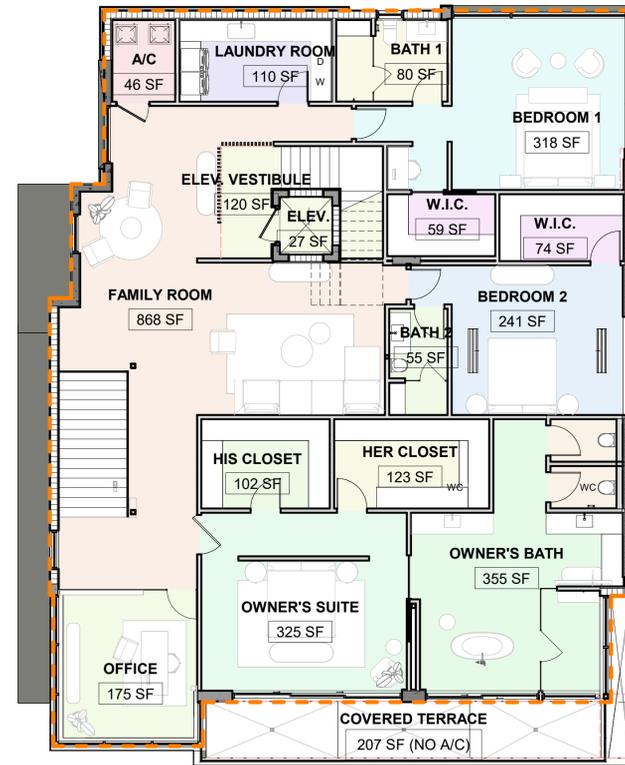
LEGEND

--- GROSS AREA BOUNDARY

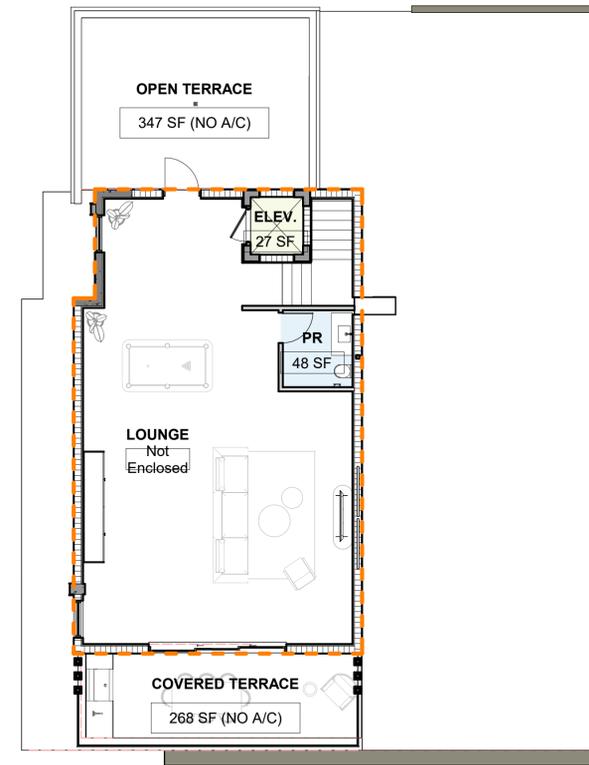
FLOOR AREA RATIO: $\frac{7,330 \text{ SF (GROSS FLOOR AREA)}}{8,624.57 \text{ SF (LOT AREA)}} = 0.85 \text{ FAR}$



1 AREA PLAN - GROUND LEVEL
1/8" = 1'-0"



2 AREA PLAN - SECOND LEVEL
1/8" = 1'-0"



3 AREA PLAN - THIRD LEVEL
1/8" = 1'-0"

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PROJECT NAME
BROOKS LANE RESIDENCE
1006 BROOKS LANE
DELRAY BEACH, FL 33483
FOLIO # 02-4205-001-0330

Project Number 248400

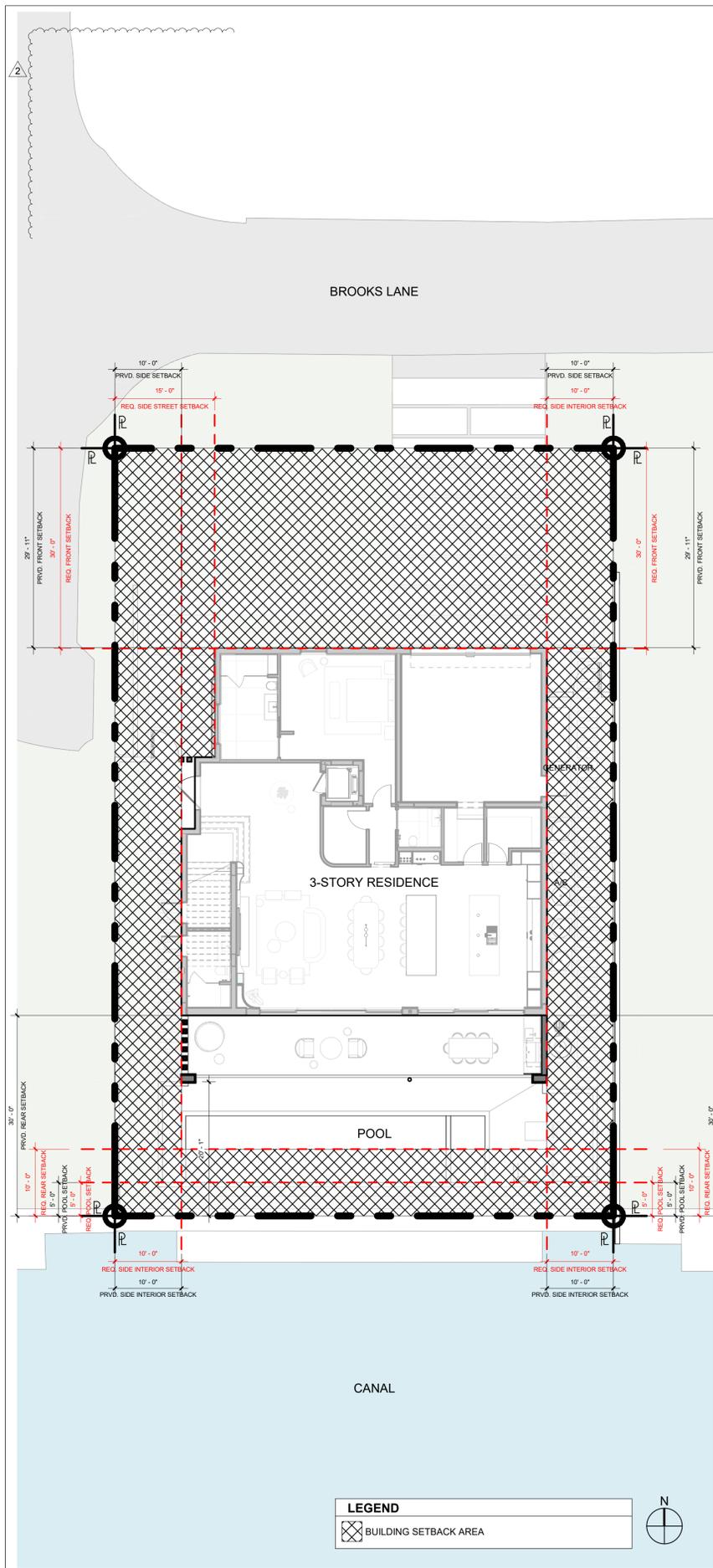
Drawing Name

BUILDING DATA & DIAGRAMS

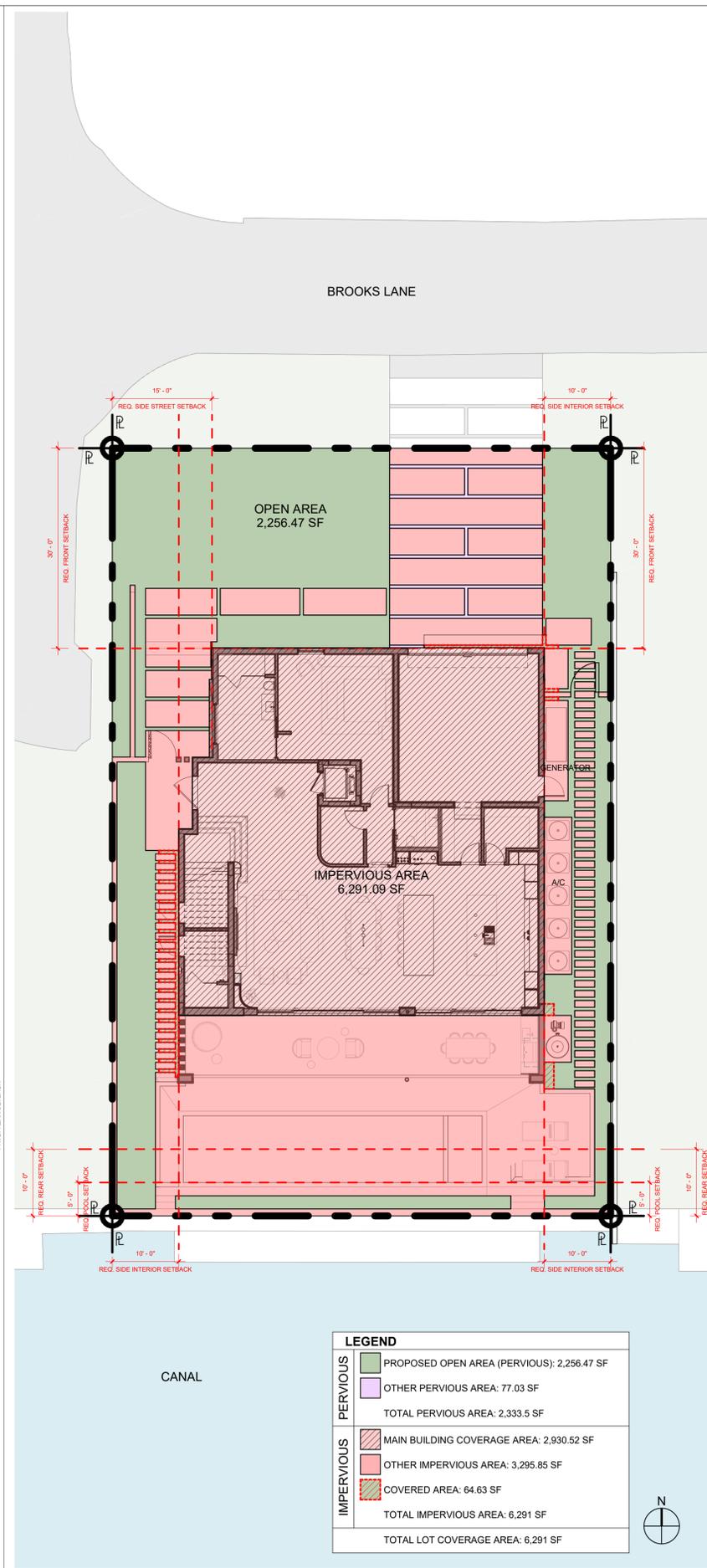
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Drawing Number

A-030



1 SITE SETBACK PLAN - GROUND LEVEL
3/32" = 1'-0"



2 LOT COVERAGE - GROUND LEVEL
3/32" = 1'-0"

LEGEND	
PERVIOUS	PROPOSED OPEN AREA (PERVIOUS): 2,256.47 SF
	OTHER PERVIOUS AREA: 77.03 SF
TOTAL PERVIOUS AREA: 2,333.5 SF	
IMPERVIOUS	MAIN BUILDING COVERAGE AREA: 2,930.52 SF
	OTHER IMPERVIOUS AREA: 3,295.85 SF
	COVERED AREA: 64.63 SF
TOTAL IMPERVIOUS AREA: 6,291 SF	
TOTAL LOT COVERAGE AREA: 6,291 SF	

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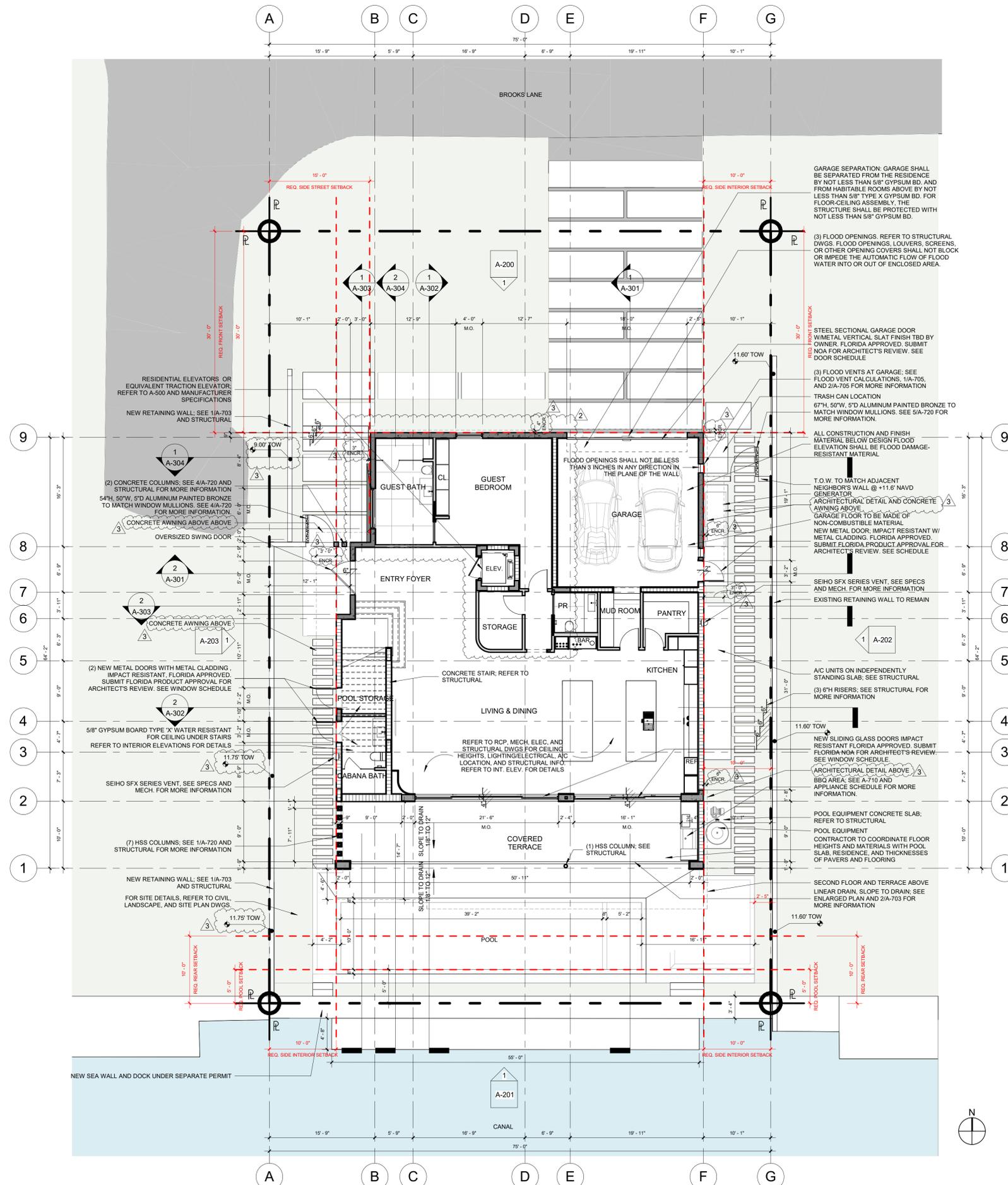
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PROJECT NAME
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 FOLIO # 02-4205-001-0330

Project Number 248400
 Drawing Name
BUILDING DATA & DIAGRAMS
 Scale: 3/32" = 1'-0"
 Drawing Number

A-031



FLOOR PLAN NOTES

- GC TO PROVIDE MIAMI D.C. PRODUCT CONTROL APPROVAL FOR IMPACT RESISTANT EXTERIOR DOOR AND WINDOWS.
- ALL BEDROOMS SHALL HAVE EGRESS TYPE DOORS OR WINDOWS. U.O.N. REFER TO DOOR / WINDOW SCHEDULE. THE EGRESS WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, AND 5.7 SQ.FT. IN AREA. THE BOTTOM OF THE OPENINGS SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION DOES NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE, OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.
- GENERAL CONTRACTOR TO VERIFY AND COORDINATE ACTUAL WINDOW DIMENSIONS AND ROUGH OPENINGS PRIOR TO CONSTRUCTION. ANY CHANGE OF INTERIOR FINISHES BY OWNER/G.C. SHALL BE COORDINATED WITH ARCHITECT OF RECORD.
- INTERIOR / EXTERIOR PARTITION FRAMING, SIZING AND REINFORCING TO BE BY SPECIALTY ENGINEERING.
- BATH DOORS SHALL BE OPERABLE FROM OUTSIDE IN EMERGENCY SITUATIONS.
- CLOSET DOORS SHALL BE OPERABLE BY CHILDREN FROM INSIDE. SEPARATE PERMIT REQUIRED FOR ROOFING, RAILINGS, WINDOWS AND DOORS.
- FOR SECURITY ENTRY NOTES REFER TO BUGLARY NOTES SHEET A-003.
- SHOWERS, SHOWER COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH, CORROSION RESISTANT AND NONABSORBENT WATER-RESISTANT MATERIALS TO A HEIGHT OF NOT LESS THAN 70 INCHES (1778 MM) ABOVE THE COMPARTMENT FLOOR AT THE DRAIN.
- SHOWER PANS SHOULD BE WATERPROOFED A MIN. OF 12" UP EACH PERIMETER WALL.
- WINDOWS AT LESS THAN 4FT. FROM DOORS SHALL HAVE CAT. II GLAZING PER FBC SEC. R4410.2.4.3.2
- WHEN THERE IS A DROP OF LESS THAN 4 FT. ON EITHER SIDE OF A WINDOW IT SHALL COMPLY WITH FBC SEC R4410.2.4.2 AND R4403.7.3.1
- ALL SHOWER ENCLOSURES AND ANY GLAZING WITHIN 60" OF THE FINISHED FLOOR SURFACE IN WALLS SURROUNDING ANY TUB OR SHOWER ENCLOSURE SHALL BE CAT. II SAFETY GLASS PER FBC 2010 R4410.2.6.2 SAFEGUARDS.
- ALL GLASS RAILINGS TO COMPLY WITH FBC SEC. R4403.7.3.6
- GC TO REFER TO INTERIOR DESIGN DRAWINGS FOR CLARIFICATION OF ALL FINISHES AND RELATED DETAILS.
- ALL FINISHES TO BE SELECTED BY OWNER/INTERIOR DESIGNER.
- ALL FINISH HARDWARE TO BE SELECTED BY OWNER/INTERIOR DESIGNER.
- SEE INTERIOR DESIGN FOR ALL BATH ACCESSORIES. GC TO PROVIDE BACKING AS NECESSARY.
- REFER TO INTERIOR DESIGN DRAWINGS FOR LOCATIONS OF MILLWORK AND OTHER BUILT-IN FURNITURE. PROVIDE PROPER BACKING AS NECESSARY.
- FINISH DIMENSIONS SUBJECT TO CHANGE. REFER TO INTERIOR DESIGN DRAWINGS FOR FINAL DIMENSIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS.
- WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273. FBCR 302.9.
- INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273. FBCR 302.10
- ALL ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). ALL ELEVATIONS IN RCPs ARE RELATIVE TO FLOOR.
- GC TO COORDINATE FINAL LOCATION OF ACCESS HATCH WITH MECHANICAL EQUIPMENT AND NOTIFY ARCHITECT OF ANY CONFLICTS. GC TO VERIFY SPACE REQUIRED FOR VERTICAL AIR DIFFUSERS AND RETURNS IN COVES.

FLOOD VENT CALCULATIONS

1 VENT HYDROSTATIC RELIEF = 200 SF/VENT
 AREA OF GARAGE: 467 SQFT (APPROX.)
 NO. OF FLOOD VENTS REQUIRED = 467/200 = 3
 TOTAL 3 FLOOD VENTS PROVIDED.
 - 2 AT EAST WALL (SMARTVENT 1540-510-SS)
 - 1 AT NORTH WALL, GARAGE DOOR (SMARTVENT 1540-574, FL# = FL5822)
 BOTTOM OF VENTS TO BE NO HIGHER THAN 10" A.F.F. OF GARAGE

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PROJECT NAME

BROOKS LANE RESIDENCE

1006 BROOKS LANE
 DELRAY BEACH, FL 33483
 FOLIO # 02-4205-001-0330

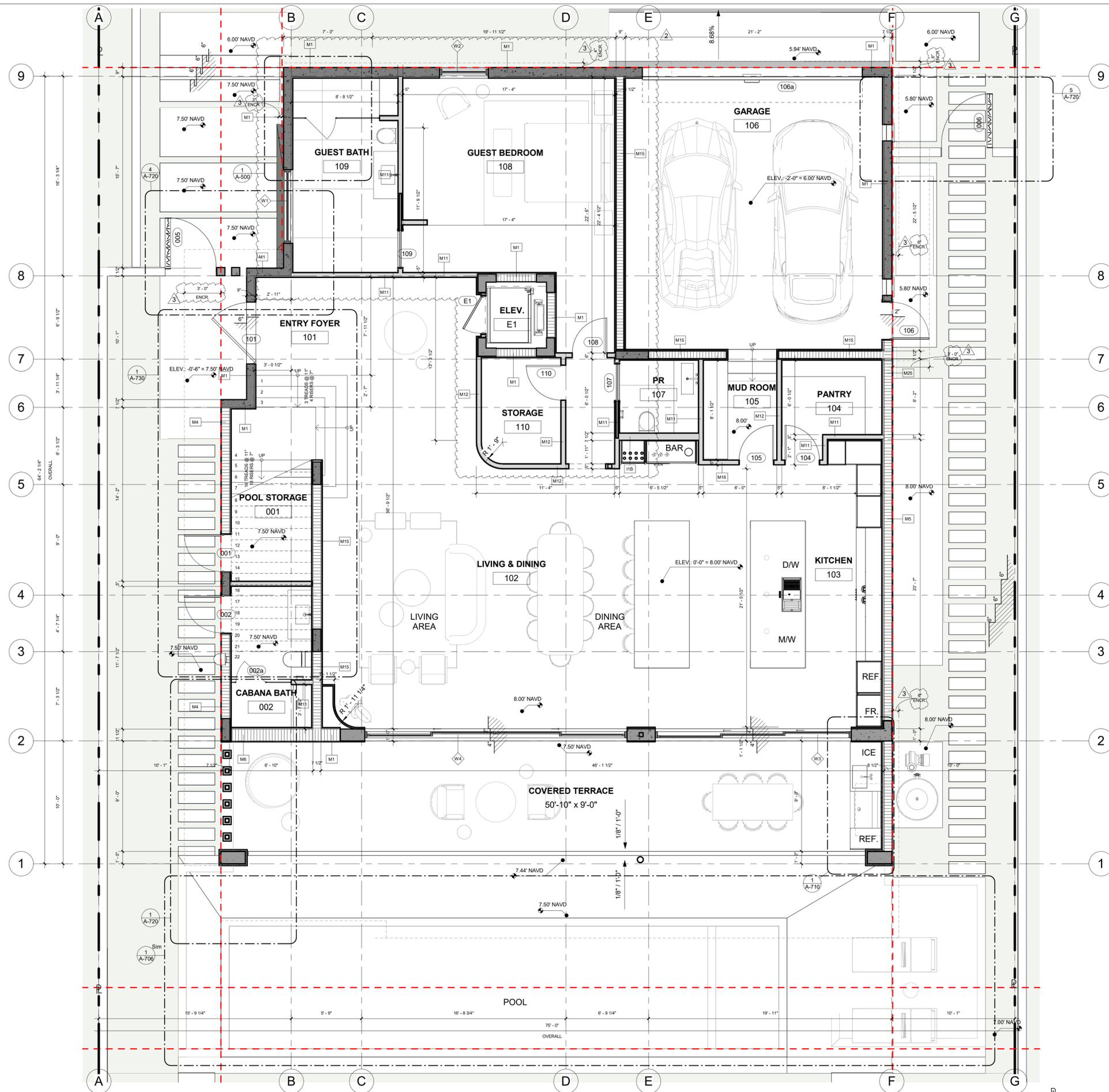
Project Number 248400

Drawing Name

FLOOR PLAN - GROUND LEVEL

Scale: As indicated

Drawing Number



1 ENLARGED PLAN - GROUND LEVEL
1/4" = 1'-0"

ISSUE DATE: 01/13/2025

No.	Date	Description
1	01/13/2025	Permit Revisions/Change of Architect/Engineers
2	01/21/2026	Zoning Revisions
3	02/11/2026	City Comments

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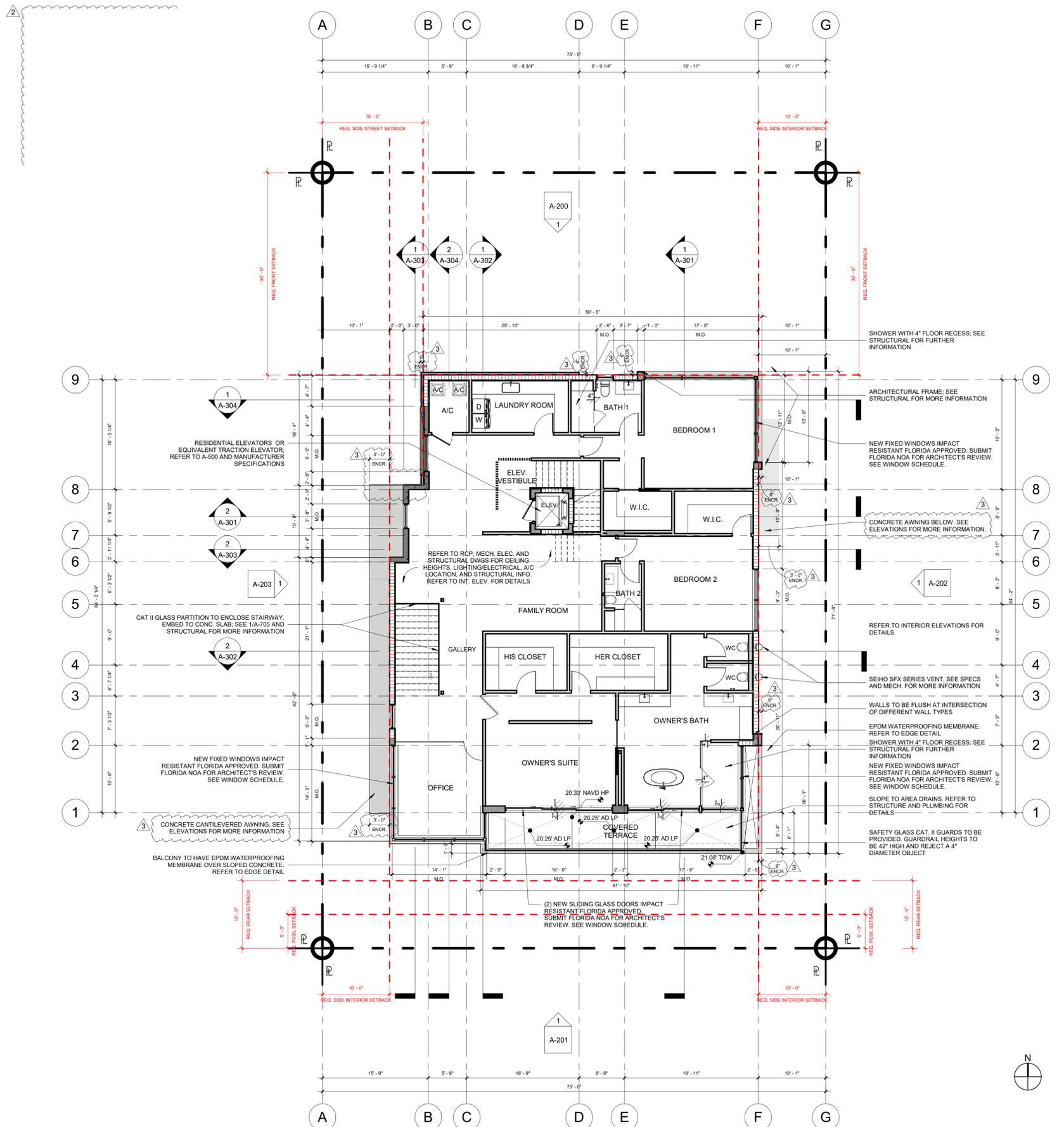
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 AA26000765
 AR0016290

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PROJECT NAME
BROOKS LANE RESIDENCE
 1006 BROOKS LANE
 DELRAY BEACH, FL 33483
 FOLIO # 02-4205-001-0330

Project Number 248400
 Drawing Name
 ENLARGED PLAN - GROUND LEVEL
 Scale: 1/4" = 1'-0"
 Drawing Number

A-101a



FLOOR PLAN NOTES

- GC TO PROVIDE MIAMI D.C. PRODUCT CONTROL APPROVAL FOR IMPACT RESISTANT EXTERIOR DOOR AND WINDOWS.
- ALL BEDROOMS SHALL HAVE EGRESS TYPE DOORS OR WINDOWS. U.O.N. REFER TO DOOR / WINDOW SCHEDULE. THE EGRESS WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, AND 5.7 SQ.FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION DOES NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE, OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.
- GENERAL CONTRACTOR TO VERIFY AND COORDINATE ACTUAL WINDOW DIMENSIONS AND ROUGH OPENINGS PRIOR TO CONSTRUCTION. ANY CHANGE OF INTERIOR FINISHES BY OWNER/G.C. SHALL BE COORDINATED WITH ARCHITECT OF RECORD.
- INTERIOR / EXTERIOR PARTITION FRAMING, SIZING AND REINFORCING TO BE BY SPECIALTY ENGINEERING.
- BATH DOORS SHALL BE OPERABLE FROM OUTSIDE IN EMERGENCY SITUATIONS.
- CLOSET DOORS SHALL BE OPERABLE BY CHILDREN FROM INSIDE.
- SEPARATE PERMIT REQUIRED FOR ROOFING, RAILINGS, WINDOWS AND DOORS.
- FOR SECURITY ENTRY NOTES REFER TO BUGLARY NOTES SHEET A-003.
- SHOWERS, SHOWER COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH, CORROSION RESISTANT AND NONABSORBENT WATER-RESISTANT MATERIALS TO A HEIGHT OF NOT LESS THAN 70 INCHES (1778 MM) ABOVE THE COMPARTMENT FLOOR AT THE DRAIN.
- SHOWER PANS SHOULD BE WATERPROOFED A MIN. OF 12" UP EACH PERIMETER WALL.
- WINDOWS AT LESS THAN 4FT. FROM DOORS SHALL HAVE CAT. II GLAZING PER FBC SEC. R4410.2.4.3.2
- WHEN THERE IS A DROP OF LESS THAN 4 FT. ON EITHER SIDE OF A WINDOW IT SHALL COMPLY WITH FBC SEC R4410.2.4.2 AND R4403.7.3.1
- ALL SHOWER ENCLOSURES AND ANY GLAZING WITHIN 60" OF THE FINISHED FLOOR SURFACE IN WALLS SURROUNDING ANY TUB OR SHOWER ENCLOSURE SHALL BE CAT. II SAFETY GLASS PER FBC 2010 R4410.2.6.2 SAFEGUARDS.
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- WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273. FBCR 302.9.
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- ALL ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). ALL ELEVATIONS IN RCPs ARE RELATIVE TO FLOOR.
- GC TO COORDINATE FINAL LOCATION OF ACCESS HATCH WITH MECHANICAL EQUIPMENT AND NOTIFY ARCHITECT OF ANY CONFLICTS.
- GC TO VERIFY SPACE REQUIRED FOR VERTICAL AIR DIFFUSERS AND RETURNS IN COVES.

ISSUE DATE: 01/13/2025

No.	Date	Description
1	01/13/2025	Permit Revisions/Change of Architect/Engineers
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3	02/11/2026	City Comments

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PROJECT NAME

BROOKS LANE RESIDENCE
 1006 BROOKS LANE
 DELRAY BEACH, FL 33483
 FOLIO # 02-4205-001-0330

Project Number **248400**

Drawing Name

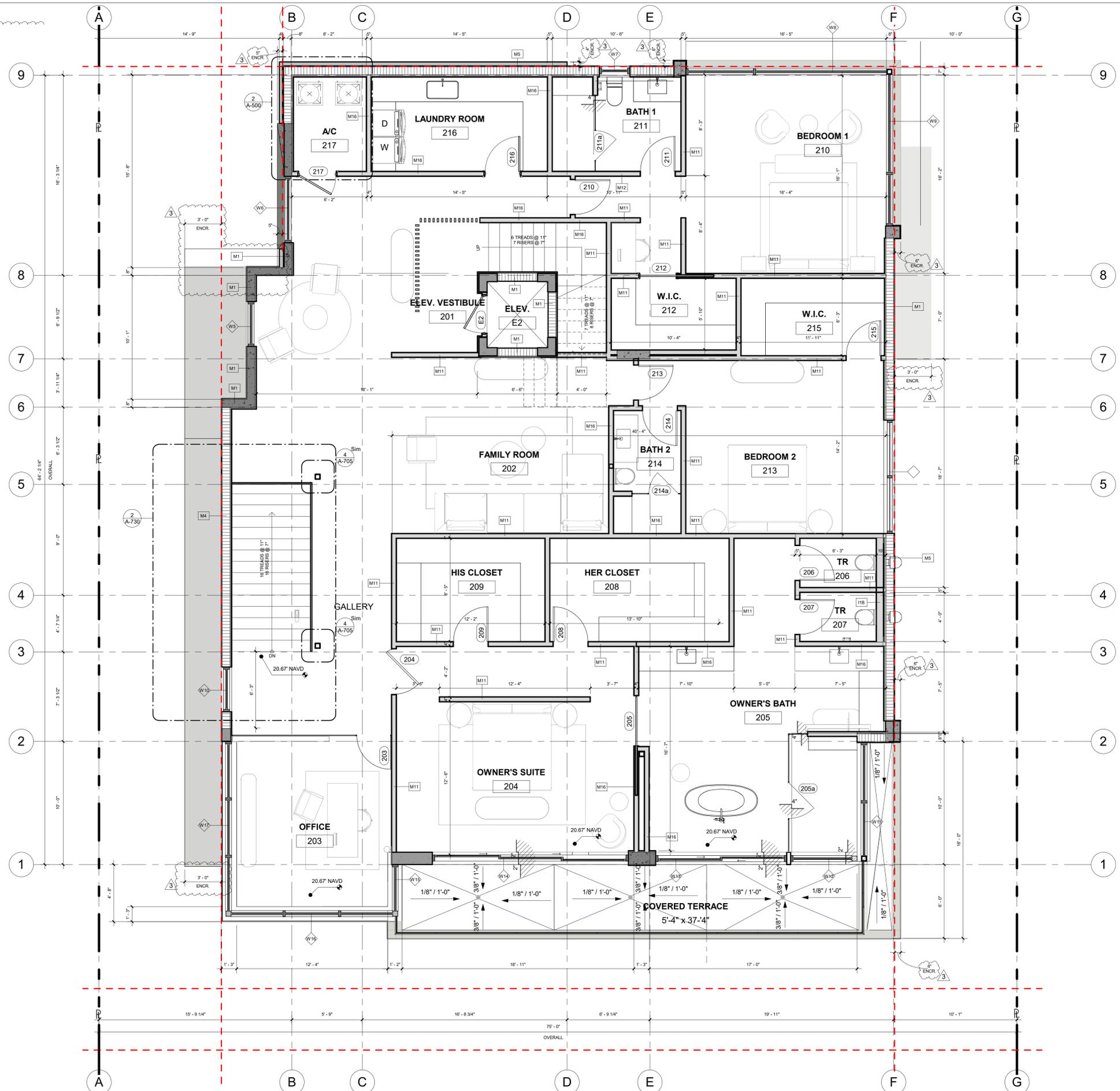
FLOOR PLAN - LEVEL 2

Scale: As indicated

Drawing Number

1 FLOOR PLAN - SECOND LEVEL
 1/8" = 1'-0"

A-102



1 ENLARGED FLOOR PLAN - SECOND LEVEL
1/4" = 1'-0"

ISSUE DATE: 01/13/2025

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PROJECT NAME

BROOKS LANE RESIDENCE
1006 BROOKS LANE
DELRAY BEACH, FL 33483
FOLIO # 02-4205-001-0330

Project Number 248400

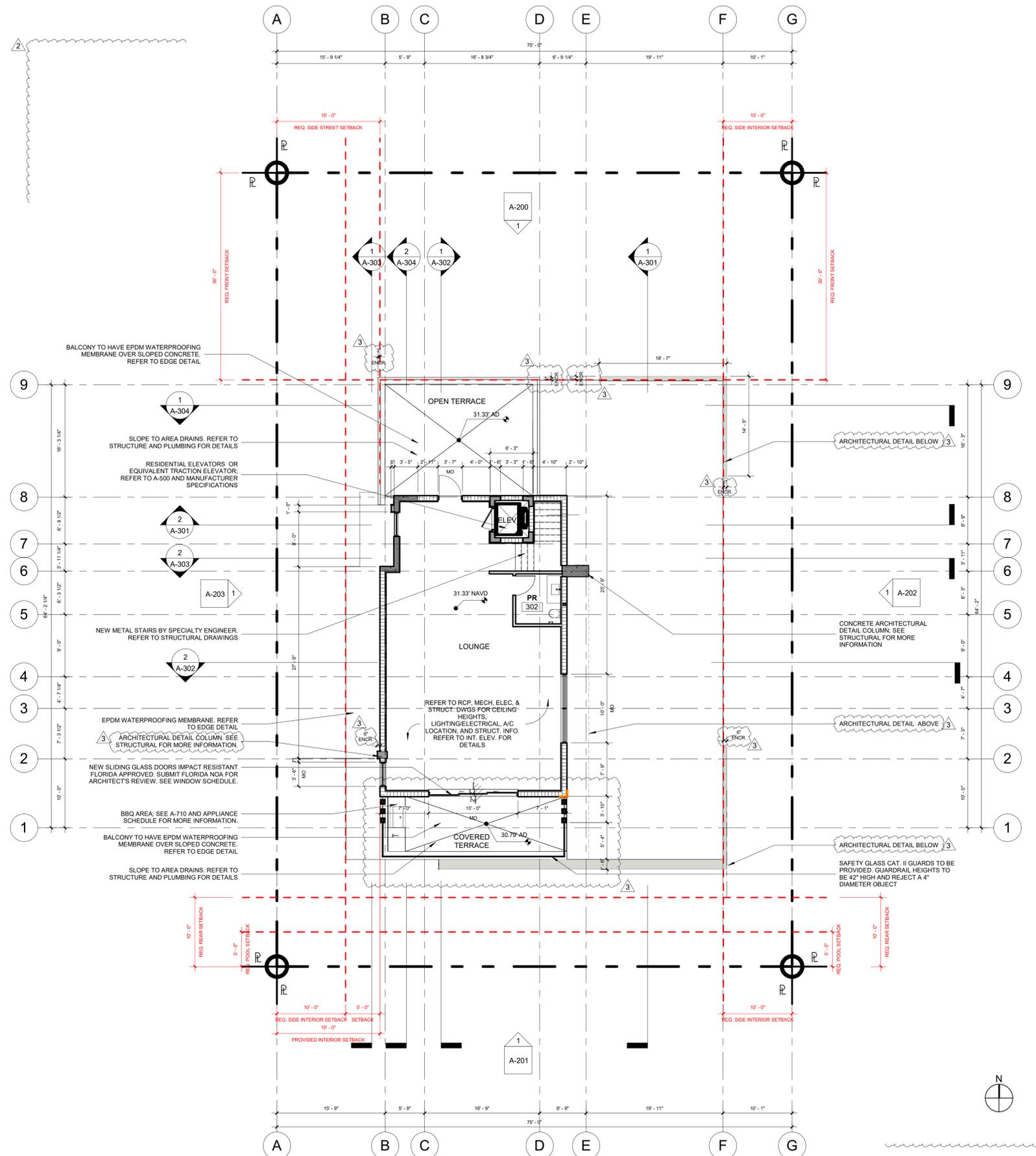
Drawing Name

ENLARGED PLAN - LEVEL 2

Scale: 1/4" = 1'-0"

Drawing Number

A-102a



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PROJECT NAME

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FOLIO # 02-4205-001-0330

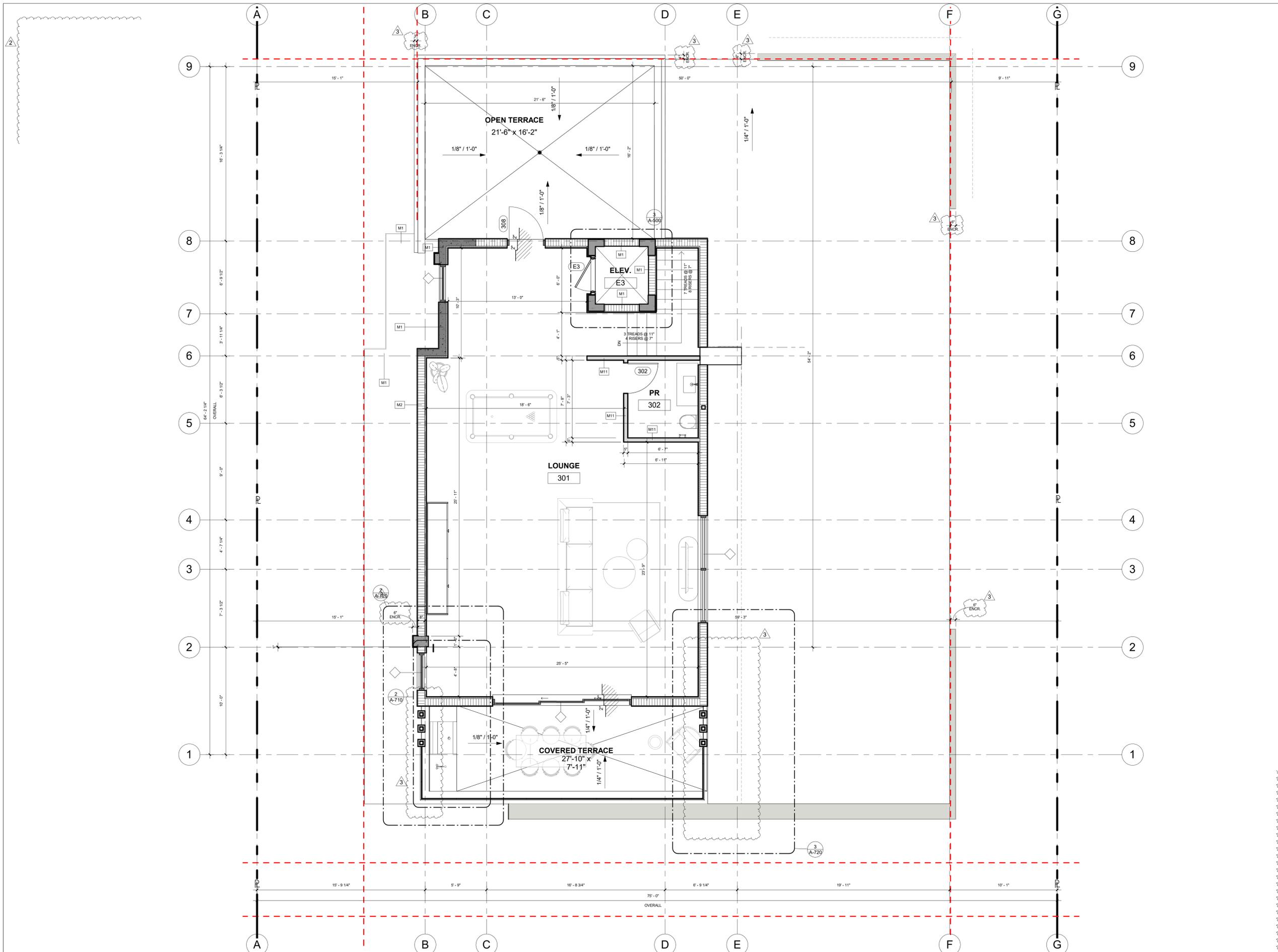
Project Number 248400

Drawing Name

FLOOR PLAN - LEVEL 3

Scale: As indicated

Drawing Number



1 ENLARGED FLOOR PLAN - THIRD LEVEL
1/4" = 1'-0"

ISSUE DATE: 01/13/2025		
No.	Date	Description
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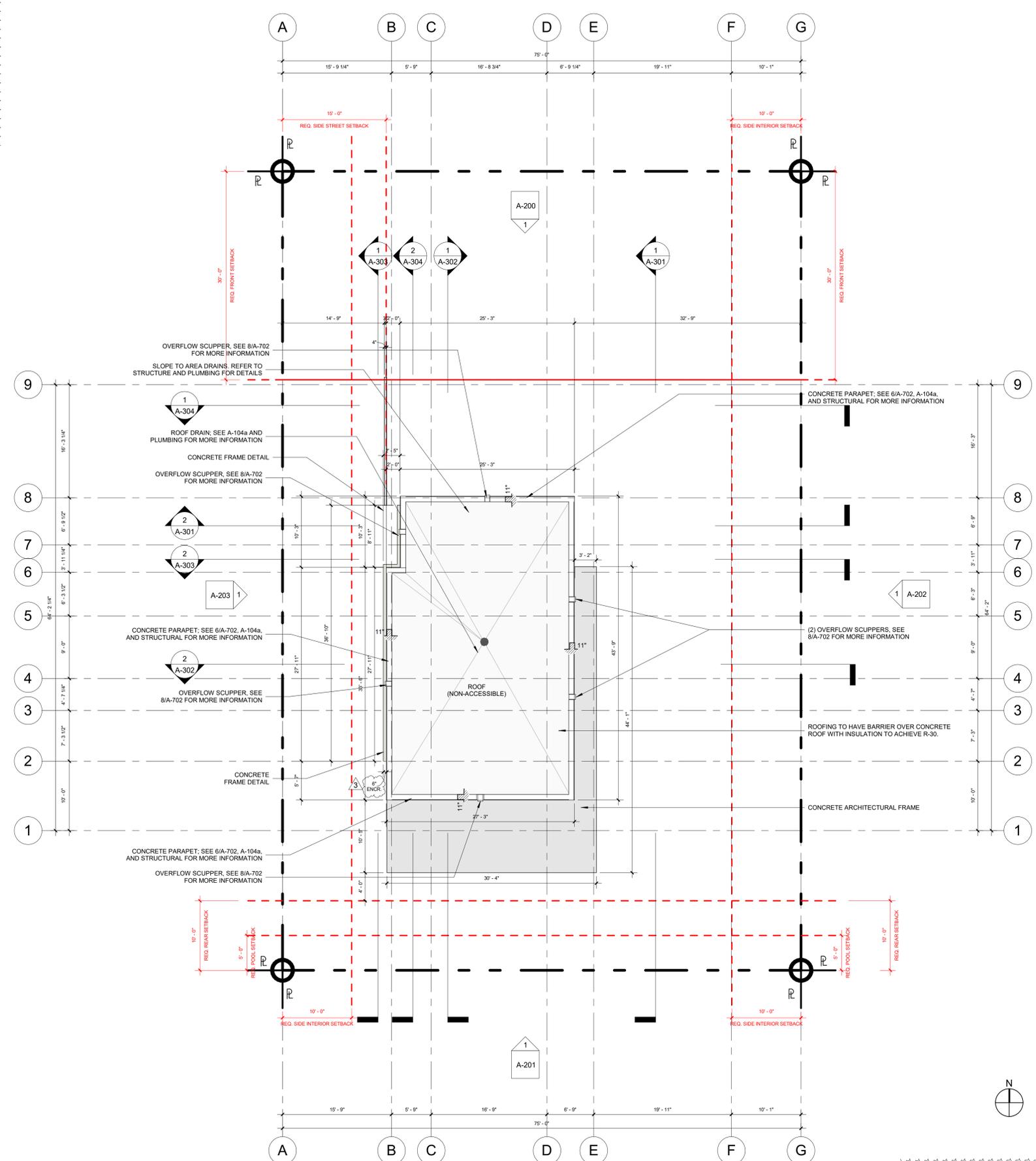
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PROJECT NAME
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 FOLIO # 02-4205-001-0330

Project Number 248400
 Drawing Name
 ENLARGED PLAN - LEVEL 3
 Scale: 1/4" = 1'-0"
 Drawing Number

A-103a



FLOOR PLAN NOTES

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- REFER TO INTERIOR DESIGN DRAWINGS FOR LOCATIONS OF MILLWORK AND OTHER BUILT-IN FURNITURE. PROVIDE PROPER BACKING AS NECESSARY.
- FINISH DIMENSIONS SUBJECT TO CHANGE. REFER TO INTERIOR DESIGN DRAWINGS FOR FINAL DIMENSIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS.
- WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273. FBCR 302.9.
- INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273. FBCR 302.10
- ALL ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). ALL ELEVATIONS IN RCPs ARE RELATIVE TO FLOOR.
- GC TO COORDINATE FINAL LOCATION OF ACCESS HATCH WITH MECHANICAL EQUIPMENT AND NOTIFY ARCHITECT OF ANY CONFLICTS.
- GC TO VERIFY SPACE REQUIRED FOR VERTICAL AIR DIFFUSERS AND RETURNS IN COVES.

ISSUE DATE: 01/13/2025

No.	Date	Description
1	01/13/2025	Permit Revisions/Change of Architect/Engineers
2	01/21/2026	Zoning Revisions
3	02/11/2026	City Comments

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+ associates

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PROJECT NAME

BROOKS LANE RESIDENCE

1006 BROOKS LANE
DELRAY BEACH, FL 33483

FOLIO # 02-4205-001-0330

Project Number 248400

Drawing Name

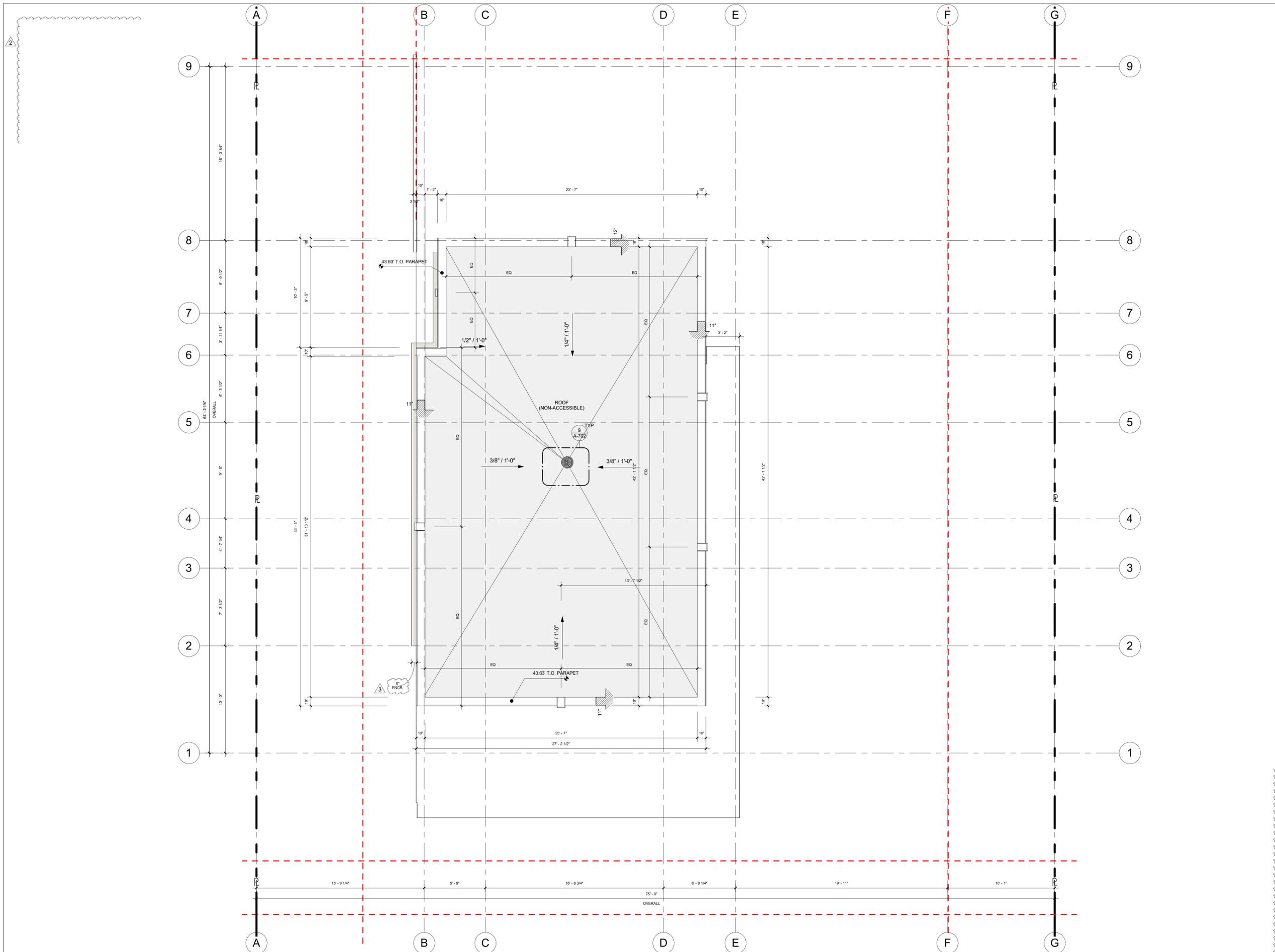
ROOF PLAN - ROOF LEVEL

Scale: As indicated

Drawing Number

A-104

1 ROOF PLAN - ROOF LEVEL
1/8" = 1'-0"



1 ENLARGED ROOF PLAN - ROOF LEVEL
1/4" = 1'-0"

ISSUE DATE: 01/13/2025

No.	Date	Description
1	01/13/2025	Permit Revisions/Change of Architect/Engineers
2	01/21/2026	Zoning Revisions
3	02/11/2026	City Comments

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PROJECT NAME

BROOKS LANE RESIDENCE

1006 BROOKS LANE
DELRAY BEACH, FL 33483
FOLIO # 02-4205-001-0330

Project Number 248400

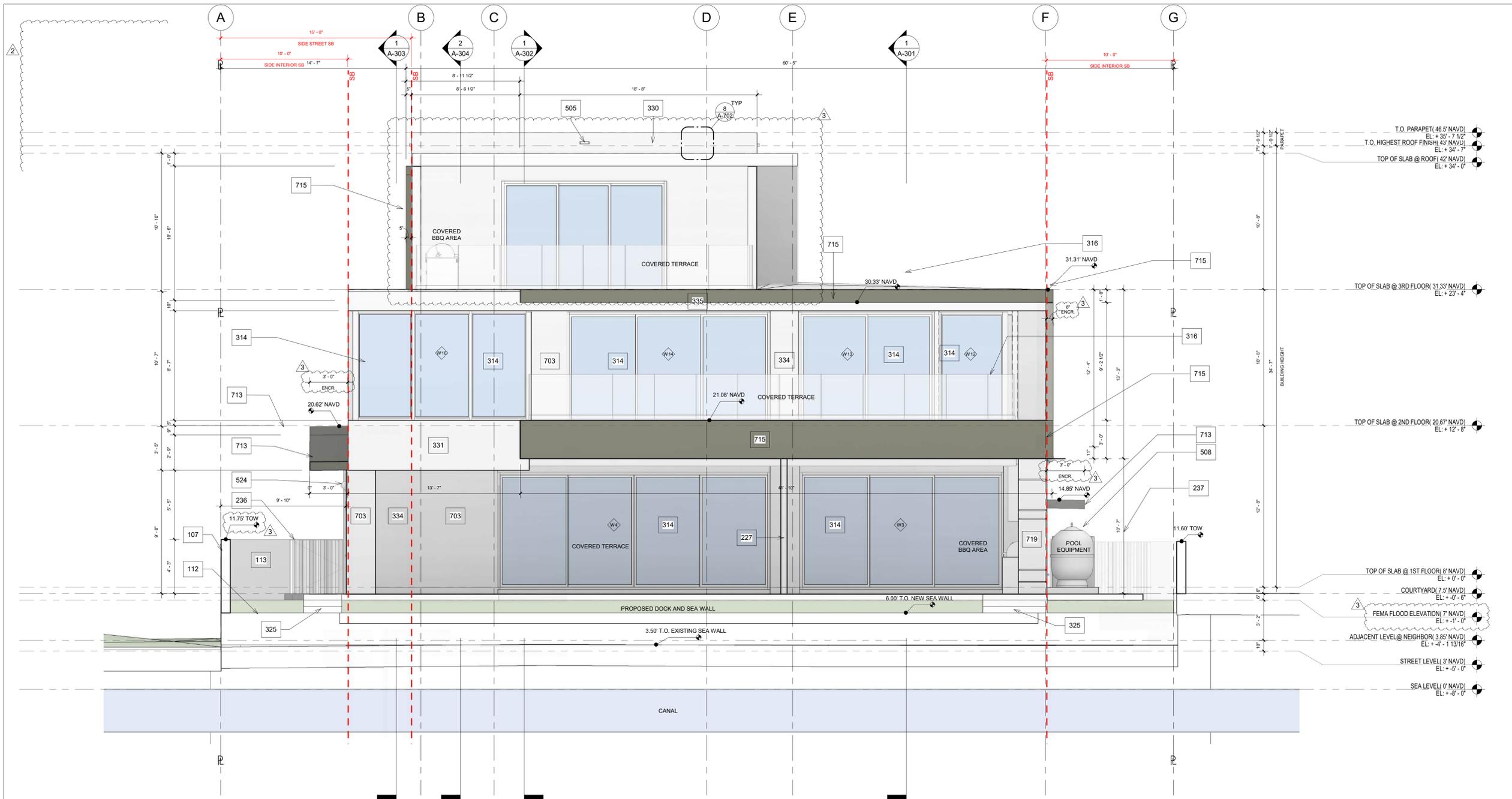
Drawing Name

ENLARGED ROOF PLAN - ROOF LEVEL

Scale: 1/4" = 1'-0"

Drawing Number

A-104a



ISSUE DATE: 01/13/2025

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1 ELEVATION - PROPOSED SOUTH ELEVATION
 1/4" = 1'-0"

SHERWIN WILLIAMS COLORS:

SW 7008 ALABASTER	SW 7024 FUNCTIONAL GRAY	SW 7060 ATTITUDE GRAY
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MATERIALS:

SYNTHETIC WOOD CLADDING	ARCHITECTURAL CONCRETE
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GENERAL ELEVATION NOTES

- GC TO REFER TO INTERIOR DESIGN DRAWINGS FOR CLARIFICATION OF ALL FINISHES AND RELATED DETAILS
- ALL FINISHES TO BE SELECTED BY OWNER/INTERIOR DESIGNER
- ALL FINISH HARDWARE TO BE SELECTED BY OWNER/INTERIOR DESIGNER
- SEE INTERIOR DESIGN FOR ALL BATH ACCESSORIES. GC TO PROVIDE BACKING AS NECESSARY
- REFER TO INTERIOR DESIGN DRAWINGS FOR LOCATIONS OF MILLWORK AND OTHER BUILT-IN FURNITURE. PROVIDE PROPER BACKING AS NECESSARY
- FINISH DIMENSIONS SUBJECT TO CHANGE. REFER TO INTERIOR DESIGN DRAWINGS FOR FINAL DIMENSIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS
- ALL ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

KEYNOTE LEGEND

107	RETENTION WALL AT PROPERTY LINE. REFER TO EXTERIOR DETAILS, STRUCTURAL DWGS FOR RETAINING WALL DETAILS, & CIVIL PLANS FOR ELEVATIONS
112	NEW SEAWALL UNDER SEPARATE PERMIT. TOP OF SEA WALL AT 6.00' N.A.V.D.
113	LOW CMU WALL TO 12' NAVD ELEVATION. REFER TO STRUCTURAL DWGS FOR MORE INFORMATION.
227	HSS STL. TUBE. SEE STRUCTURAL DWGS FOR REINFORCING AND SIZE
236	54"H, 50"W, 5"D ALUMINUM PAINTED BRONZE TO MATCH WINDOW MULLIONS. SEE FLOOR PLAN FOR MORE INFORMATION
237	67"H, 50"W, 5"D ALUMINUM PAINTED BRONZE TO MATCH WINDOW MULLIONS. SEE FLOOR PLAN FOR MORE INFORMATION
314	PALM BEACH COUNTY APPROVED IMPACT RESISTANT ALUMINUM WINDOWS AND DOORS. CLEAR GLASS. LOW-E COATING. REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED.
316	42" A.F.F. MIN. LAMINATED GLASS GUARDRAIL WITH SHOE
325	CONCRETE STEPS. REFER TO STRUCT. DWGS FOR DETAILS

KEYNOTE LEGEND

330	12" HIGH CONCRETE PARAPET WALL WITH SMOOTH STUCCO FINISH. ALIGNED WITH OTHER PARAPET WALL HEIGHTS. MAINTAINING 1/4" / 1'-0" SLOPE AT ROOF FOR DRAINING (SEE STRUCTURAL DWGS FOR DIMENSIONS AND REINFORCING)
331	CONCRETE BEAM WITH SHERWIN WILLIAMS "ALABASTER" PAINTED SMOOTH STUCCO FINISH. REFER TO STRUCT. DWGS FOR DETAILS
334	CMU WALL WITH SHERWIN WILLIAMS "ALABASTER" PAINTED SMOOTH STUCCO FINISH. REFER TO STRUCT.
335	CONCRETE CURB WITH SHERWIN WILLIAMS "ALABASTER" PAINTED SMOOTH STUCCO FINISH. REFER TO STRUCT. DWGS FOR DETAILS
505	2" x 8" OVERFLOW SCUPPER IN CONCRETE STRUCTURE. REFER TO ARCHITECTURAL DWGS FOR EXACT LOCATION
508	DESIGNATED POOL EQUIPMENT AREA, ON CONCRETE PAD. REFER TO MECHANICAL DWGS FOR SPECS AND DETAILS. REFER TO DETAILS FOR WATERPROOF CONDITION AND ANCHORING UNDER SEPARATE PERMIT.
524	SEIHO SFX SERIES VENT CAP. REFER TO MECHANICAL FOR MORE INFORMATION.
703	CONCRETE COLUMN. REFER TO STRUCTURAL DWGS. SMOOTH STUCCO PAINTED TO MATCH WALLS.

KEYNOTE LEGEND

713	CONCRETE CANTILEVERED AWNING W/SMOOTH STUCCO SHERWIN WILLIAMS "ATTITUDE GRAY" PAINTED FINISH, SEE STRUCTURAL FOR CONSTRUCTION INFORMATION
715	CONCRETE ARCHITECTURAL FRAME W/SMOOTH STUCCO SHERWIN WILLIAMS "FUNCTIONAL GRAY" PAINTED FINISH, SEE STRUCTURAL FOR CONSTRUCTION INFORMATION
719	CONCRETE COLUMN WITH REVEALS, TO MATCH ARCHITECTURAL CONCRETE FINISH OF WALLS. REFER TO STRUCT. FOR DETAILS

PROJECT NAME

BROOKS LANE RESIDENCE

1006 BROOKS LANE
 DELRAY BEACH, FL 33483
 FOLIO # 02-4205-001-0330

Project Number **248400**

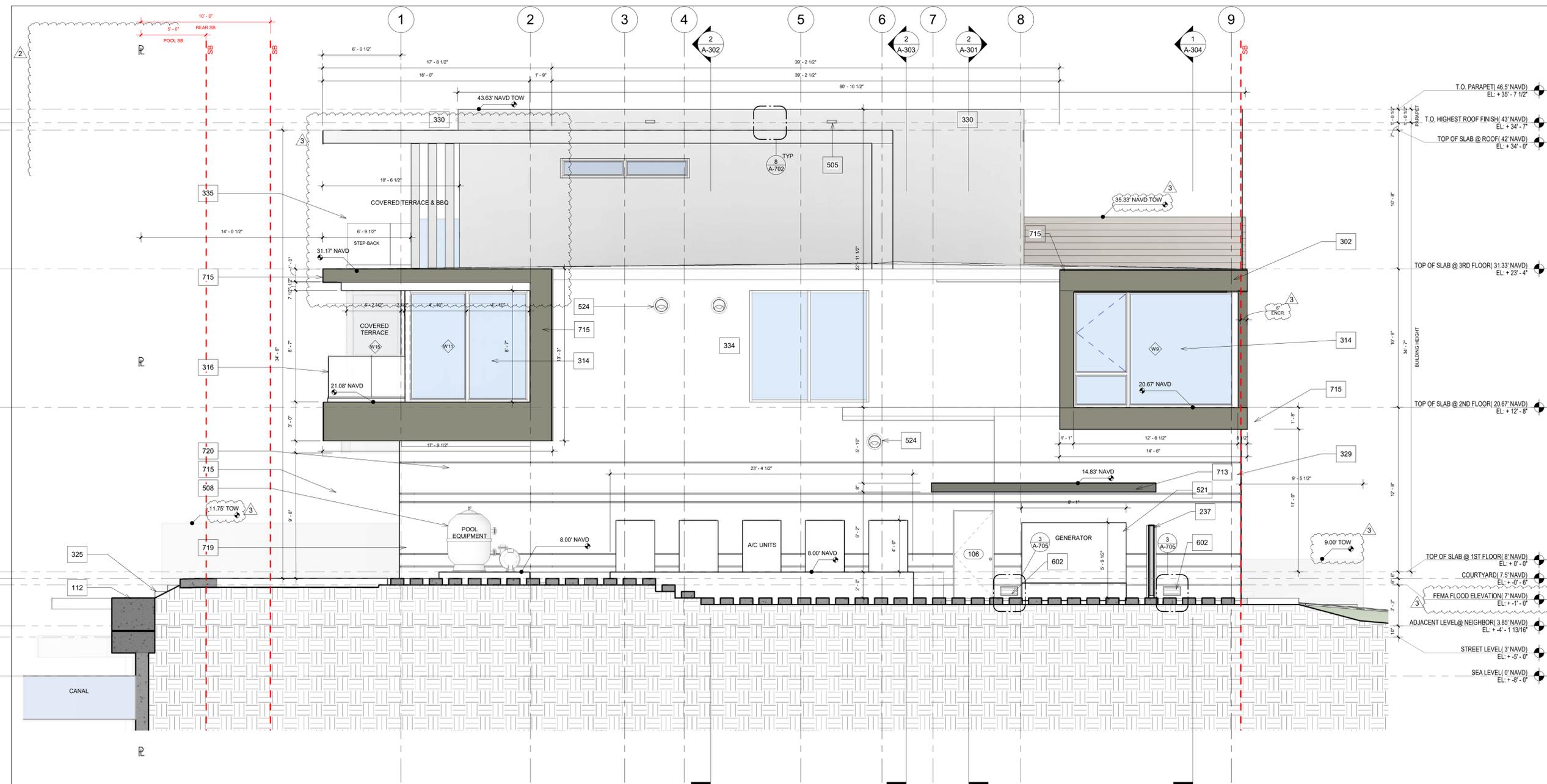
Drawing Name

SOUTH ELEVATION

Scale: As indicated

Drawing Number

A-201



ISSUE DATE: 01/13/2025

No.	Date	Description
1	01/13/2025	Permit Revisions/Change of Architect/Engineers
2	01/21/2026	Zoning Revisions
3	02/11/2026	City Comments

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1 ELEVATION - PROPOSED EAST ELEVATION
 1/4" = 1'-0"

SHERWIN WILLIAMS COLORS:

SW 7008 ALABASTER	SW 7024 FUNCTIONAL GRAY	SW 7060 ATTITUDE GRAY
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MATERIALS:

SYNTHETIC WOOD CLADDING	ARCHITECTURAL CONCRETE
----------------------------	---------------------------

- GENERAL ELEVATION NOTES**
- GC TO REFER TO INTERIOR DESIGN DRAWINGS FOR CLARIFICATION OF ALL FINISHES AND RELATED DETAILS
 - ALL FINISHES TO BE SELECTED BY OWNER/INTERIOR DESIGNER
 - ALL FINISH HARDWARE TO BE SELECTED BY OWNER/INTERIOR DESIGNER
 - SEE INTERIOR DESIGN FOR ALL BATH ACCESSORIES. GC TO PROVIDE BACKING AS NECESSARY
 - REFER TO INTERIOR DESIGN DRAWINGS FOR LOCATIONS OF MILLWORK AND OTHER BUILT-IN FURNITURE.
 - PROVIDE PROPER BACKING AS NECESSARY
 - FINISH DIMENSIONS SUBJECT TO CHANGE. REFER TO INTERIOR DESIGN DRAWINGS FOR FINAL DIMENSIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS
 - ALL ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

KEYNOTE LEGEND

112	NEW SEAWALL UNDER SEPARATE PERMIT. TOP OF SEA WALL AT 6.00' N.A.V.D.
237	67"H, 50"W, 5"D ALUMINUM PAINTED BRONZE TO MATCH WINDOW MULLIONS. SEE FLOOR PLAN FOR MORE INFORMATION
302	CONCRETE BEAM WITH SHERWIN WILLIAMS "ATTITUDE GRAY" PAINTED SMOOTH STUCCO FINISH. REFER TO STRUCT. DWGS FOR DETAILS
314	PALM BEACH COUNTY APPROVED IMPACT RESISTANT ALUMINUM WINDOWS AND DOORS. CLEAR GLASS. LOW-E COATING. REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED.
316	42" A.F.F. MIN. LAMINATED GLASS GUARDRAIL WITH SHOE
325	CONCRETE STEPS. REFER TO STRUCT. DWGS FOR DETAILS
329	CAST-IN-PLACE ARCHITECTURAL CONCRETE WALL WITH REVEALS. REFER TO STRUCT. FOR DETAILS
330	12" HIGH CONCRETE PARAPET WALL WITH SMOOTH STUCCO FINISH. ALIGNED WITH OTHER PARAPET WALL HEIGHTS, MAINTAINING 1/4" / 1'-0" SLOPE AT ROOF FOR DRAINING (SEE STRUCTURAL DWGS FOR DIMENSIONS AND REINFORCING)
334	CMU WALL WITH SHERWIN WILLIAMS "ALABASTER" PAINTED SMOOTH STUCCO FINISH. REFER TO STRUCT.

KEYNOTE LEGEND

335	CONCRETE CURB WITH SHERWIN WILLIAMS "ALABASTER" PAINTED SMOOTH STUCCO FINISH. REFER TO STRUCT. DWGS FOR DETAILS
505	2" x 8" OVERFLOW SCUPPER IN CONCRETE STRUCTURE. REFER TO ARCHITECTURAL DWGS FOR EXACT LOCATION
508	DESIGNATED POOL EQUIPMENT AREA, ON CONCRETE PAD. REFER TO MECHANICAL DWGS FOR SPECS AND DETAILS. REFER TO DETAILS FOR WATERPROOF CONDITION AND ANCHORING UNDER SEPARATE PERMIT.
521	DESIGNATED GENERATOR AREA. REFER TO STRUCT. DWGS FOR CONCRETE PAD DETAILS AND ANCHORING
524	SEIHO SFX SERIES VENT CAP. REFER TO MECHANICAL FOR MORE INFORMATION.
602	FLOOD VENT AT GARAGE. REFER TO GA-101.
713	CONCRETE CANTILEVERED AWNING W/SMOOTH STUCCO SHERWIN WILLIAMS "ATTITUDE GRAY" PAINTED FINISH, SEE STRUCTURAL FOR CONSTRUCTION INFORMATION
715	CONCRETE ARCHITECTURAL FRAME W/SMOOTH STUCCO SHERWIN WILLIAMS "FUNCTIONAL GRAY" PAINTED FINISH, SEE STRUCTURAL FOR CONSTRUCTION INFORMATION
719	CONCRETE COLUMN WITH REVEALS, TO MATCH ARCHITECTURAL CONCRETE FINISH OF WALLS. REFER TO STRUCT. FOR DETAILS

KEYNOTE LEGEND

720	CMU WALL WITH ARCHITECTURAL CONCRETE FINISH AND REVEALS. REFER TO STRUCT. FOR DETAILS
-----	---

PROJECT NAME

BROOKS LANE RESIDENCE

1006 BROOKS LANE
 DELRAY BEACH, FL 33483
 FOLIO # 02-4205-001-0330

Project Number **248400**

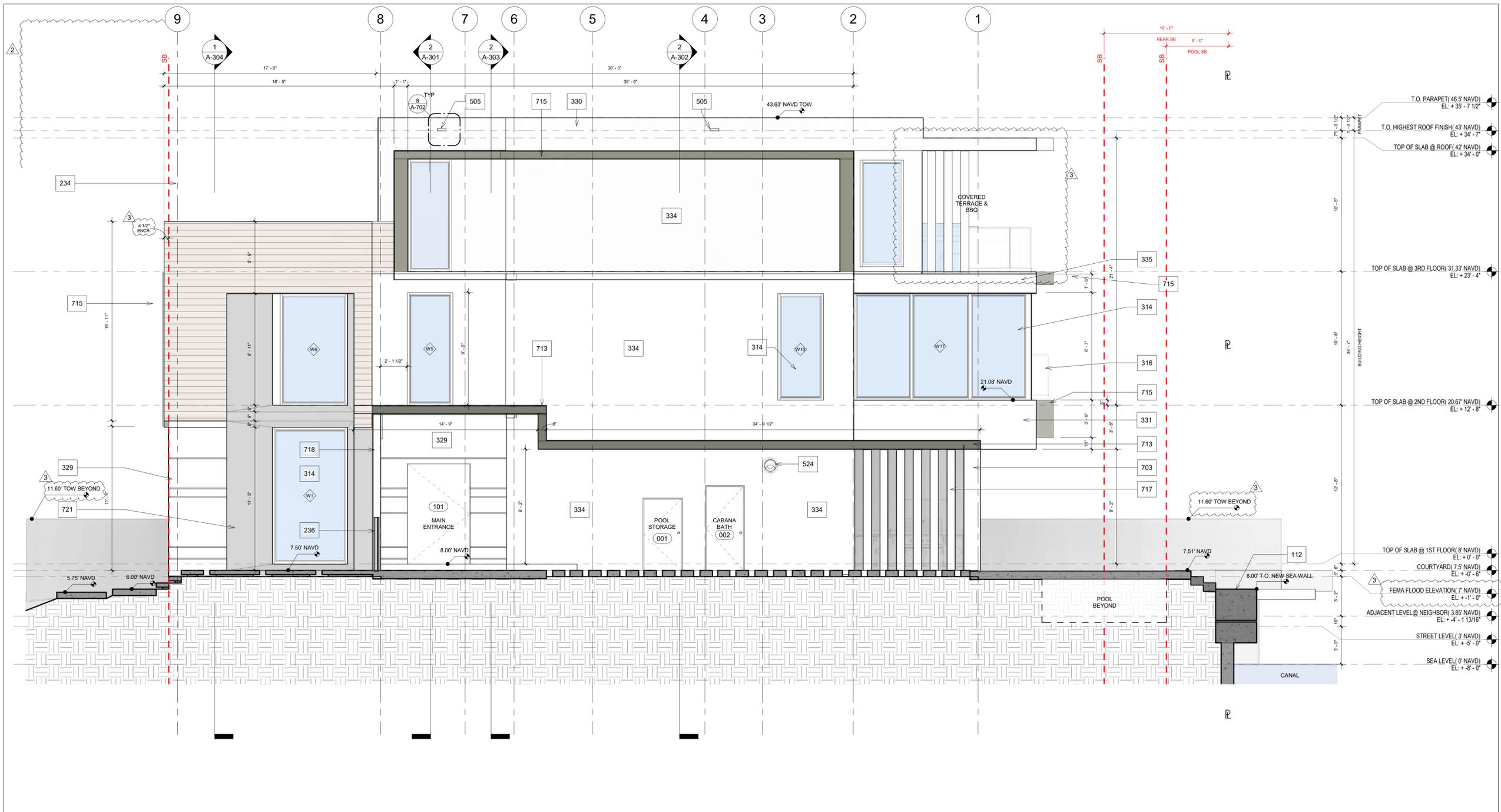
Drawing Name

EAST ELEVATION

Scale: As indicated

Drawing Number

A-202



1 ELEVATION - PROPOSED WEST ELEVATION
1/4" = 1'-0"

SHERWIN WILLIAMS COLORS:

SW 7008 ALABASTER	SW 7024 FUNCTIONAL GRAY	SW 7060 ATTITUDE GRAY
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MATERIALS:

SYNTHETIC WOOD CLADDING	ARCHITECTURAL CONCRETE
----------------------------	---------------------------

- GENERAL ELEVATION NOTES**
- GC TO REFER TO INTERIOR DESIGN DRAWINGS FOR CLARIFICATION OF ALL FINISHES AND RELATED DETAILS
 - ALL FINISHES TO BE SELECTED BY OWNER/INTERIOR DESIGNER
 - ALL FINISH HARDWARE TO BE SELECTED BY OWNER/INTERIOR DESIGNER
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 - ALL ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

KEYNOTE LEGEND

112	NEW SEAWALL UNDER SEPARATE PERMIT. TOP OF SEA WALL AT 6.00' N.A.V.D.
234	4" SYNTHETIC WOOD FACADE CLADDING. REFER TO SHOP DWGS.
236	54"H, 50"W, 5"D ALUMINUM PAINTED BRONZE TO MATCH WINDOW MULLIONS. SEE FLOOR PLAN FOR MORE INFORMATION
314	PALM BEACH COUNTY APPROVED IMPACT RESISTANT ALUMINUM WINDOWS AND DOORS. CLEAR GLASS. LOW-E COATING. REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED.
316	42" A.F.F. MIN. LAMINATED GLASS GUARDRAIL WITH SHOE
329	CAST-IN-PLACE ARCHITECTURAL CONCRETE WALL WITH REVEALS. REFER TO STRUCT. FOR DETAILS
330	12" HIGH CONCRETE PARAPET WALL WITH SMOOTH STUCCO FINISH. ALIGNED WITH OTHER PARAPET WALL HEIGHTS, MAINTAINING 1/4" / 1'-0" SLOPE AT ROOF FOR DRAINING (SEE STRUCTURAL DWGS FOR DIMENSIONS AND REINFORCING)
331	CONCRETE BEAM WITH SHERWIN WILLIAMS "ALABASTER" PAINTED SMOOTH STUCCO FINISH. REFER TO STRUCT. DWGS FOR DETAILS
334	CMU WALL WITH SHERWIN WILLIAMS "ALABASTER" PAINTED SMOOTH STUCCO FINISH. REFER TO STRUCT.

KEYNOTE LEGEND

335	CONCRETE CURB WITH SHERWIN WILLIAMS "ALABASTER" PAINTED SMOOTH STUCCO FINISH. REFER TO STRUCT. DWGS FOR DETAILS
505	2" x 8" OVERFLOW SCUPPER IN CONCRETE STRUCTURE. REFER TO ARCHITECTURAL DWGS FOR EXACT LOCATION
524	SEIHO SFX SERIES VENT CAP. REFER TO MECHANICAL FOR MORE INFORMATION.
703	CONCRETE COLUMN. REFER TO STRUCTURAL DWGS. SMOOTH STUCCO PAINTED TO MATCH WALLS.
713	CONCRETE CANTILEVERED AWNING W/SMOOTH STUCCO SHERWIN WILLIAMS "ATTITUDE GRAY" PAINTED FINISH, SEE STRUCTURAL FOR CONSTRUCTION INFORMATION
715	CONCRETE ARCHITECTURAL FRAME W/SMOOTH STUCCO SHERWIN WILLIAMS "FUNCTIONAL GRAY" PAINTED FINISH, SEE STRUCTURAL FOR CONSTRUCTION INFORMATION
717	SQUARE HSS COLUMN WITH ALUMINUM BREAK METAL TO MATCH STUCCO COLOR. REFER TO STRUCTURAL DWGS.
718	CONCRETE COLUMN. REFER TO STRUCTURAL DWGS. ARCHITECTURAL CONCRETE FINISH TO MATCH WALLS.
721	CAST-IN-PLACE CONCRETE WALL WITH SHERWIN WILLIAMS "ATTITUDE GRAY" PAINTED STUCCO FINISH. REFER TO STRUCTURAL DWGS.

KEYNOTE LEGEND

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ISSUE DATE: 01/13/2025

No.	Date	Description
1	01/13/2025	Permit Revisions/Change of Architect/Engineers
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PROJECT NAME

BROOKS LANE RESIDENCE

1006 BROOKS LANE
DELRAY BEACH, FL 33483
FOLIO # 02-4205-001-0330

Project Number **248400**

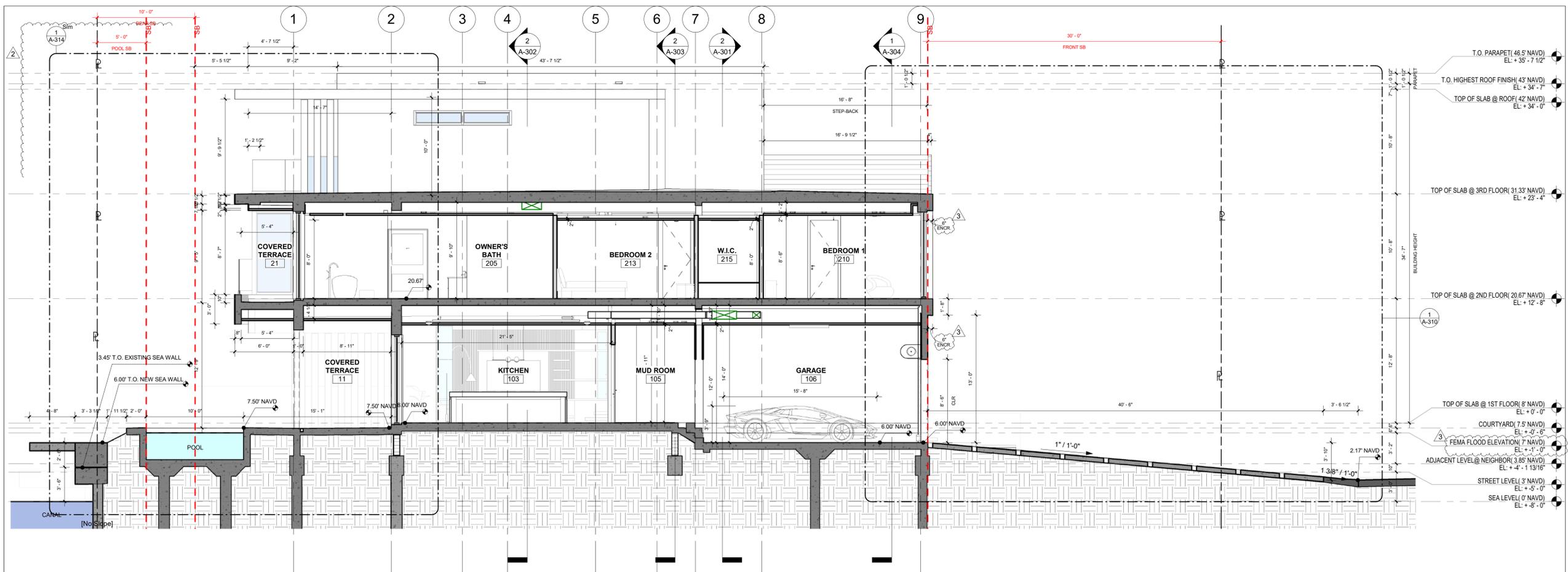
Drawing Name

WEST ELEVATION

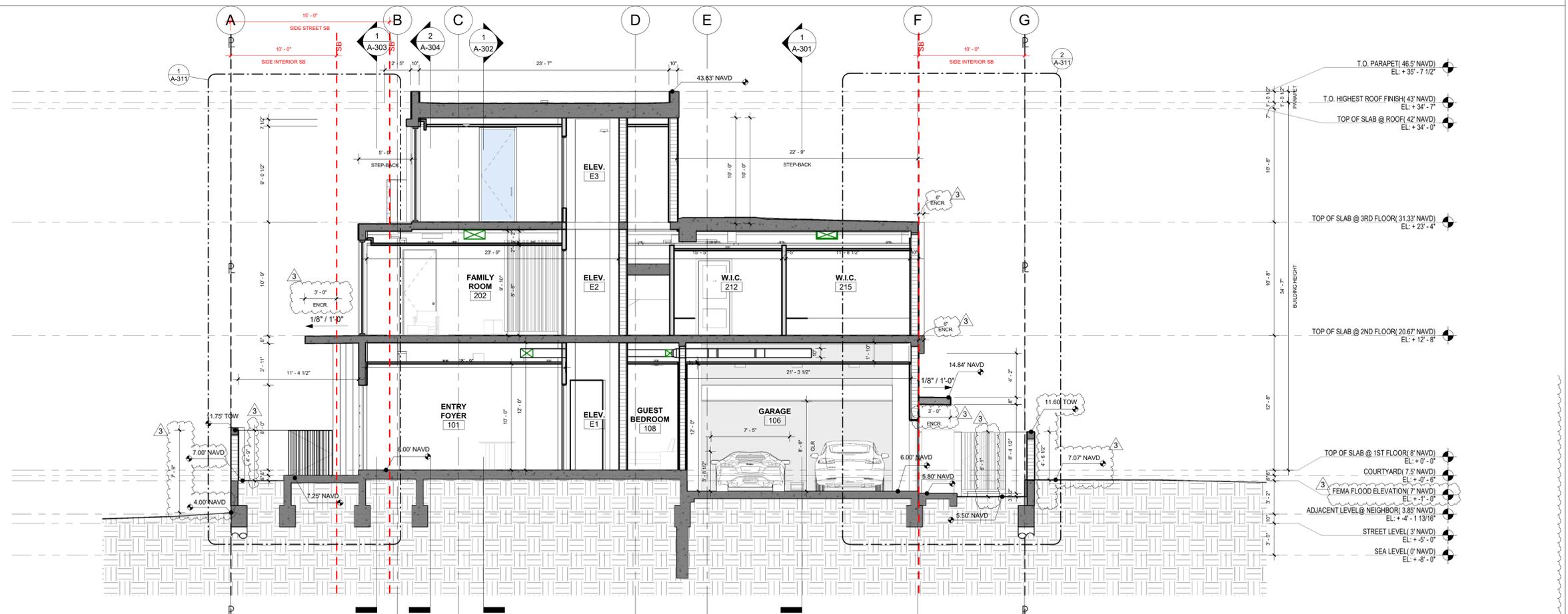
Scale: As indicated

Drawing Number

A-203



1 Section 2
3/16" = 1'-0"



2 Section 1
3/16" = 1'-0"

ISSUE DATE: 01/13/2025

No.	Date	Description
1	01/13/2025	Permit Revisions/Change of Architect/Engineers
2	01/21/2026	Zoning Revisions
3	02/11/2026	City Comments

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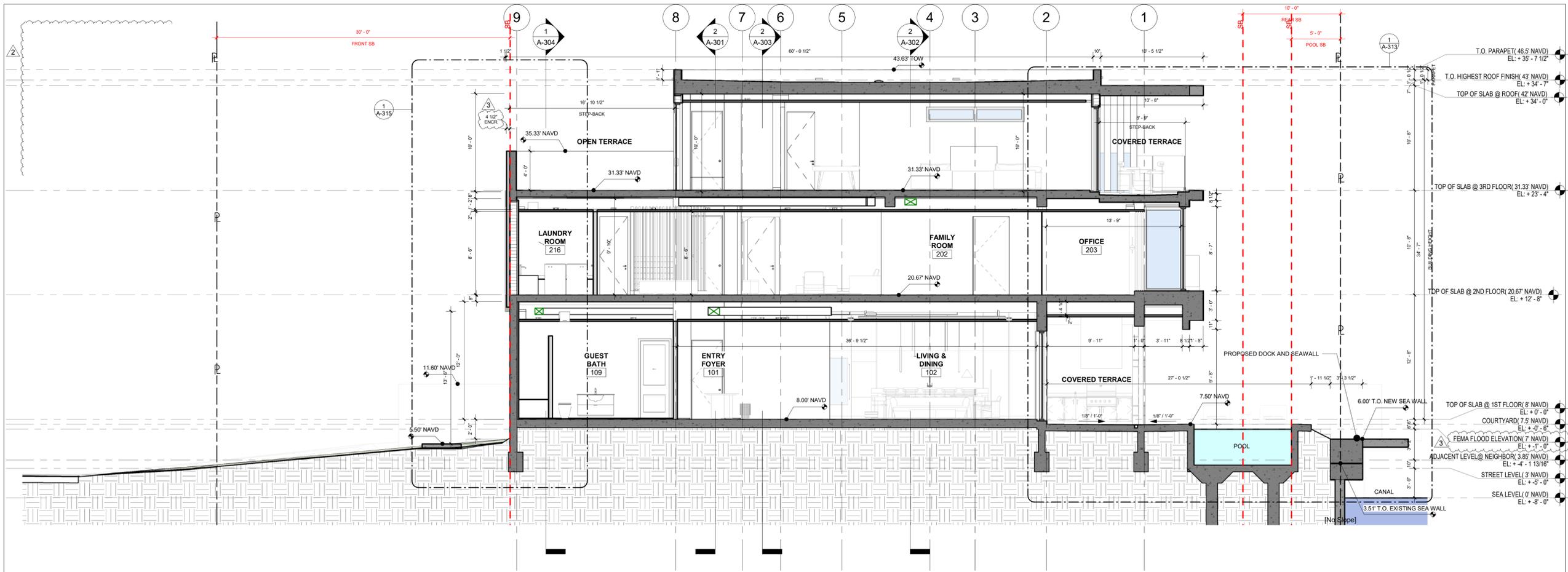
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 AR0016290

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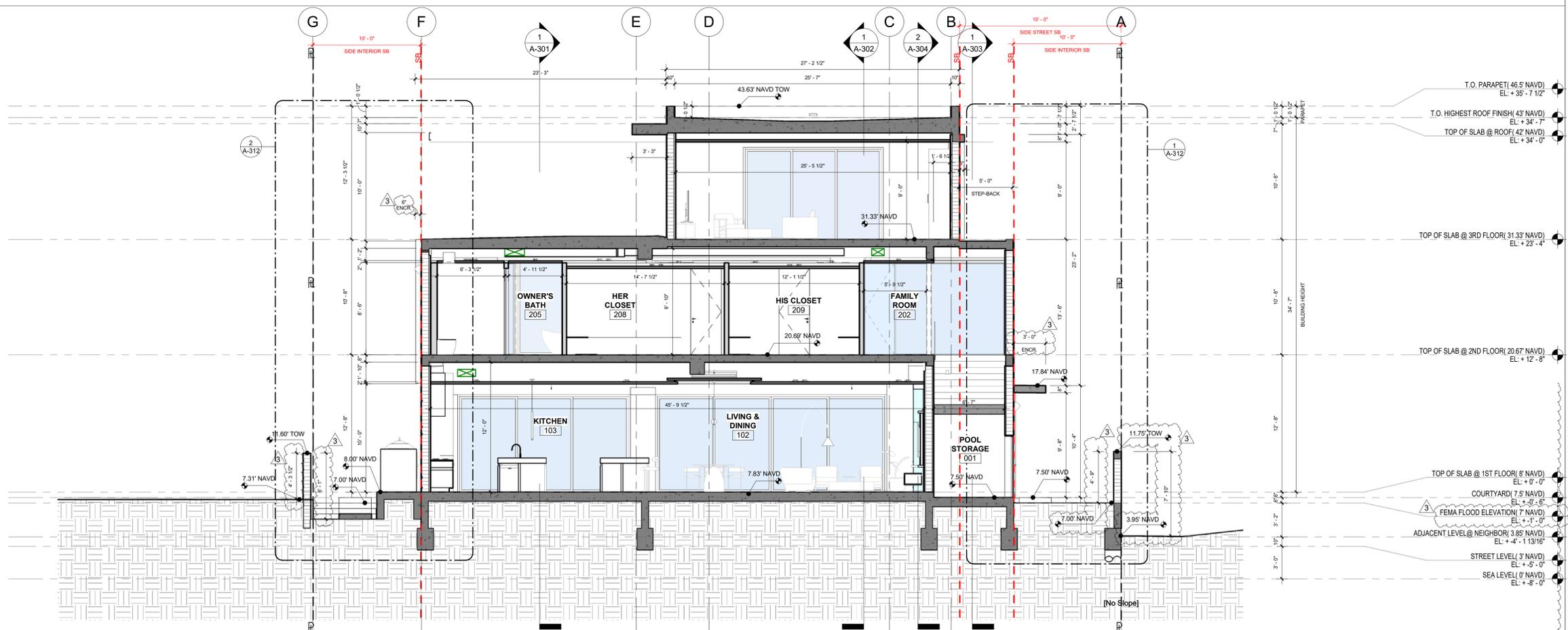
PROJECT NAME
BROOKS LANE RESIDENCE
 1006 BROOKS LANE
 DELRAY BEACH, FL 33483
 FOLIO # 02-4205-001-0330

Project Number 248400
 Drawing Name
BUILDING SECTIONS
 Scale: 3/16" = 1'-0"
 Drawing Number

A-301



1 Section 5
3/16" = 1'-0"



2 Section 6
3/16" = 1'-0"

ISSUE DATE: 01/13/2025

No.	Date	Description
1	01/13/2025	Permit Revisions/Change of Architect/Engineers
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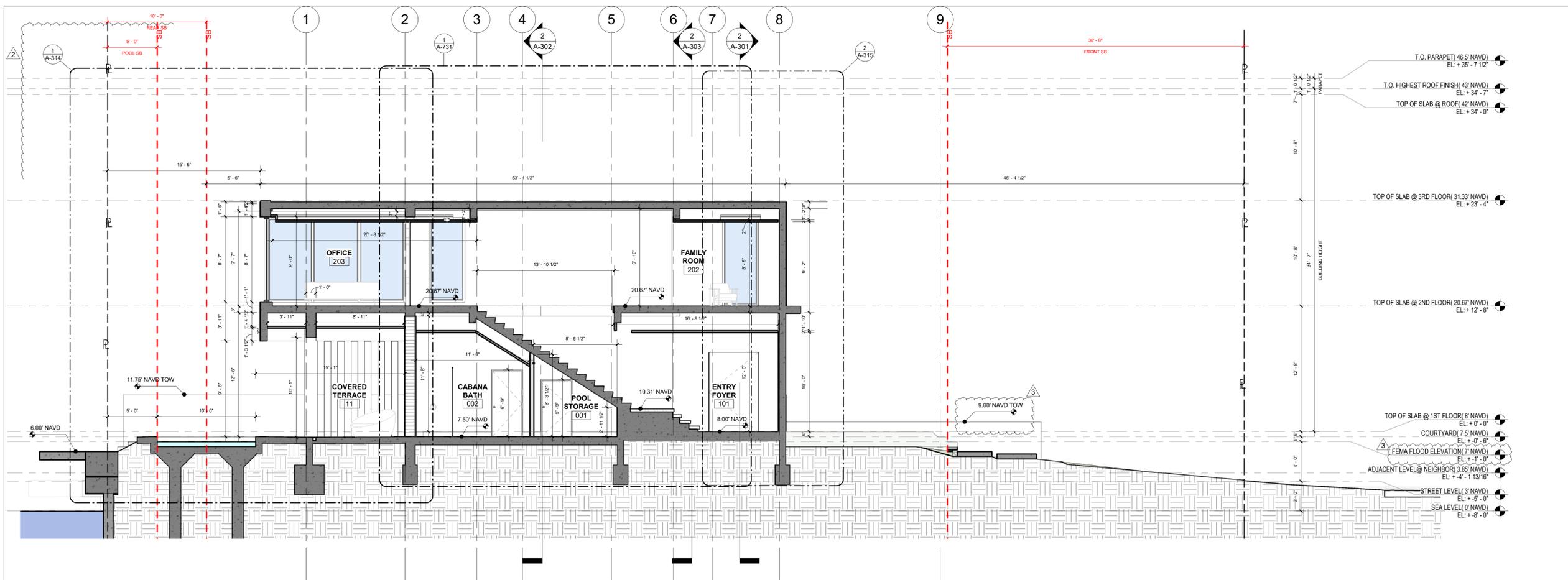
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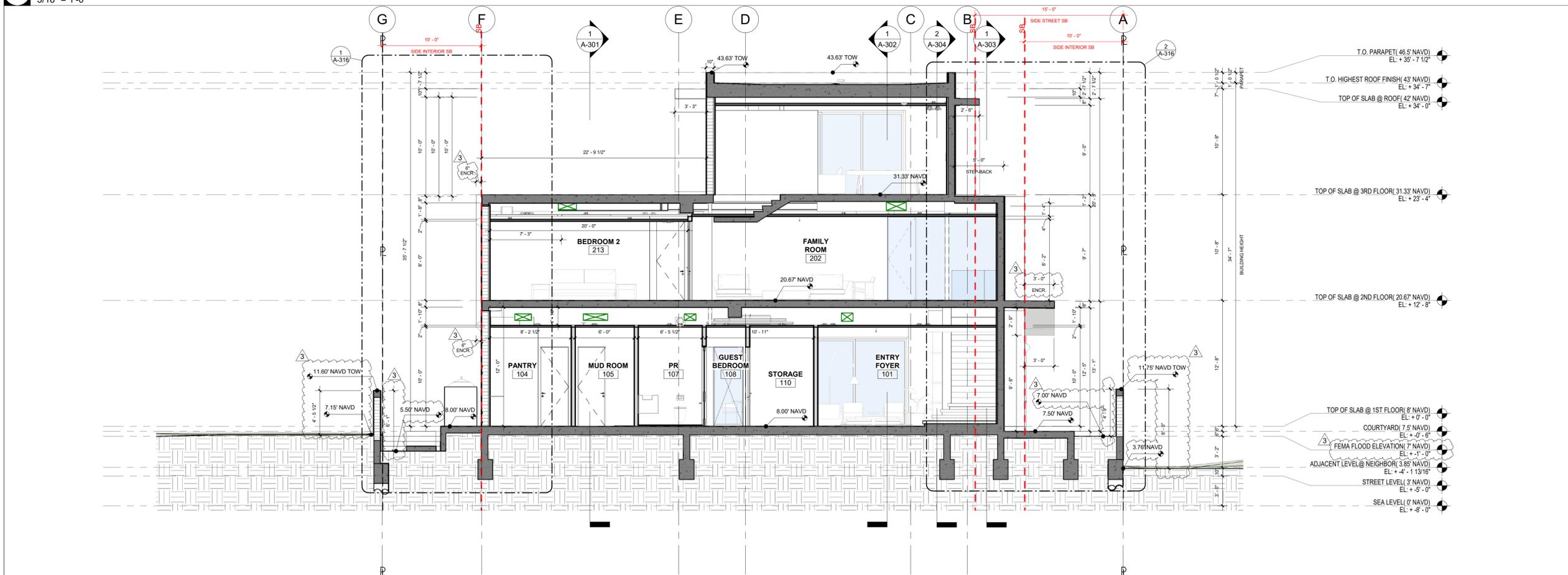
PROJECT NAME
BROOKS LANE RESIDENCE
 1006 BROOKS LANE
 DELRAY BEACH, FL 33483
 FOLIO # 02-4205-001-0330

Project Number 248400
 Drawing Name
BUILDING SECTIONS
 Scale: 3/16" = 1'-0"
 Drawing Number

A-302



1 Section 10
3/16" = 1'-0"



2 Section 11
3/16" = 1'-0"

ISSUE DATE: 01/13/2025

No.	Date	Description
1	01/13/2025	Permit Revisions/Change of Architect/Engineers
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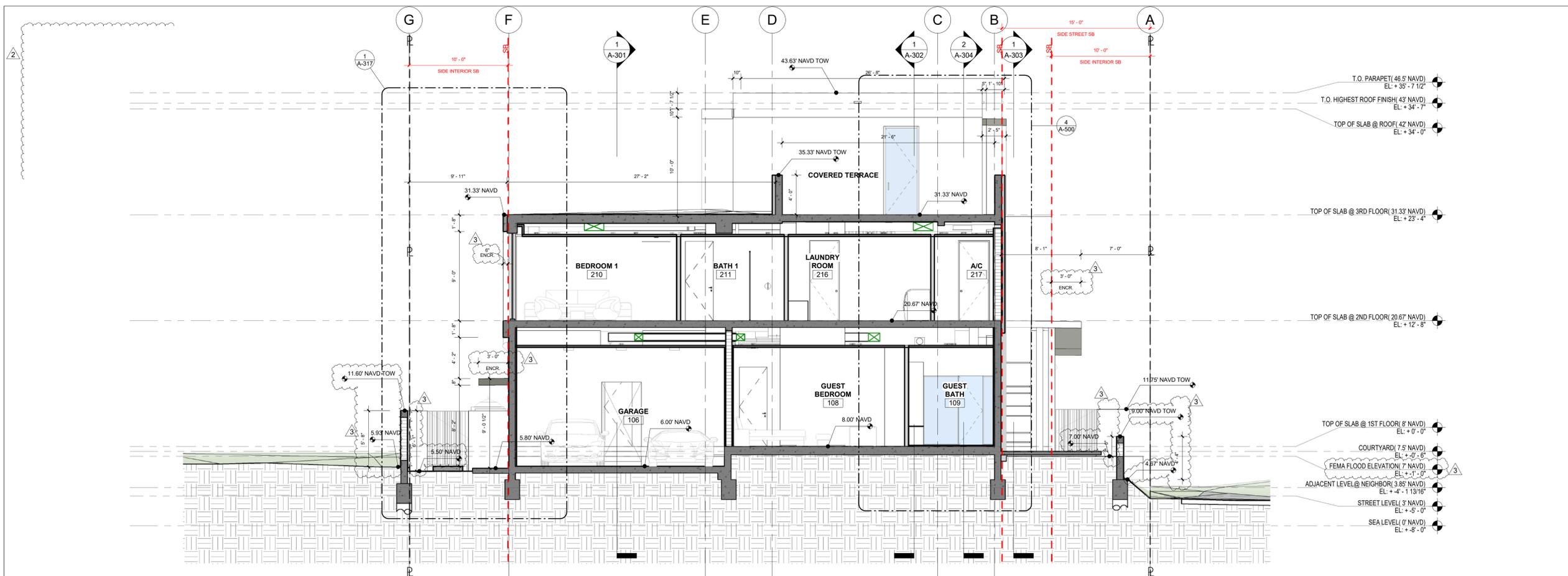
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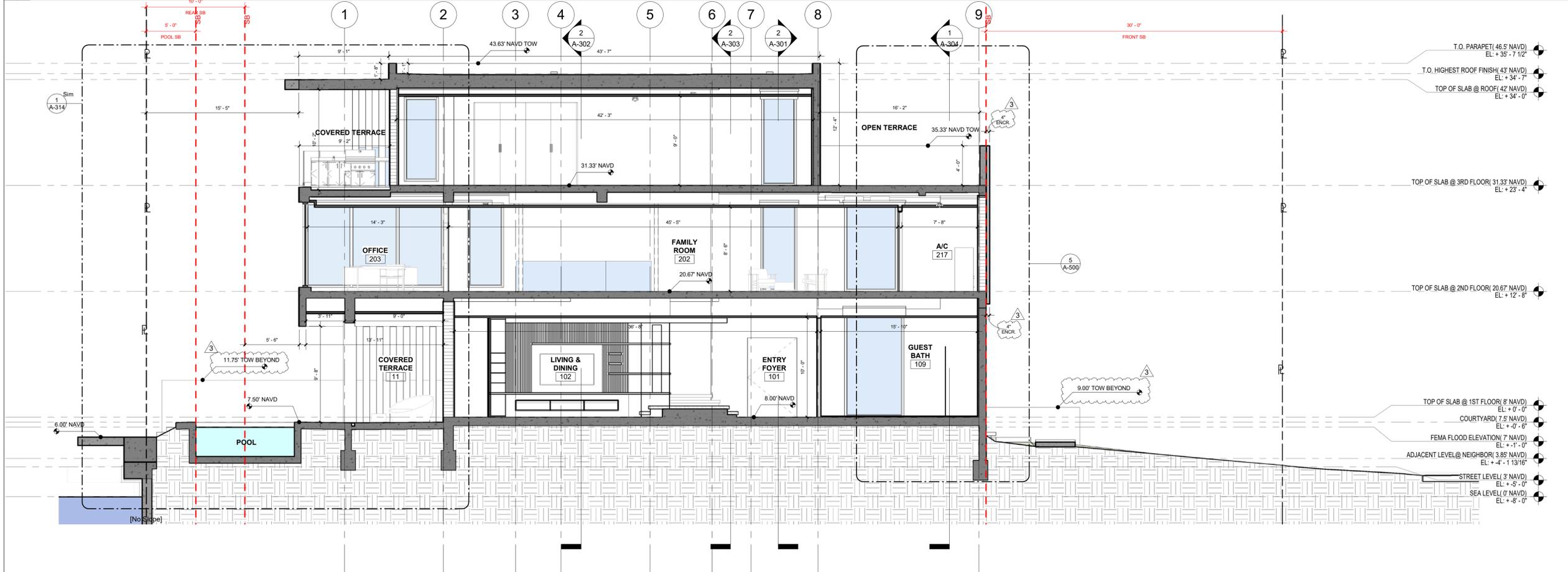
PROJECT NAME
BROOKS LANE RESIDENCE
 1006 BROOKS LANE
 DELRAY BEACH, FL 33483
 FOLIO # 02-4205-001-0330

Project Number 248400
 Drawing Name
BUILDING SECTIONS
 Scale: 3/16" = 1'-0"
 Drawing Number

A-303



1 Section 17
3/16" = 1'-0"



2 Section 18
3/16" = 1'-0"

ISSUE DATE: 01/13/2025

No.	Date	Description
1	01/13/2025	Permit Revisions/Change of Architect/Engineers
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PROJECT NAME

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1006 BROOKS LANE
DELRAY BEACH, FL 33483
FOLIO # 02-4205-001-0330

Project Number 248400

Drawing Name

BUILDING SECTIONS

Scale: 3/16" = 1'-0"

Drawing Number

A-304