

Revisions

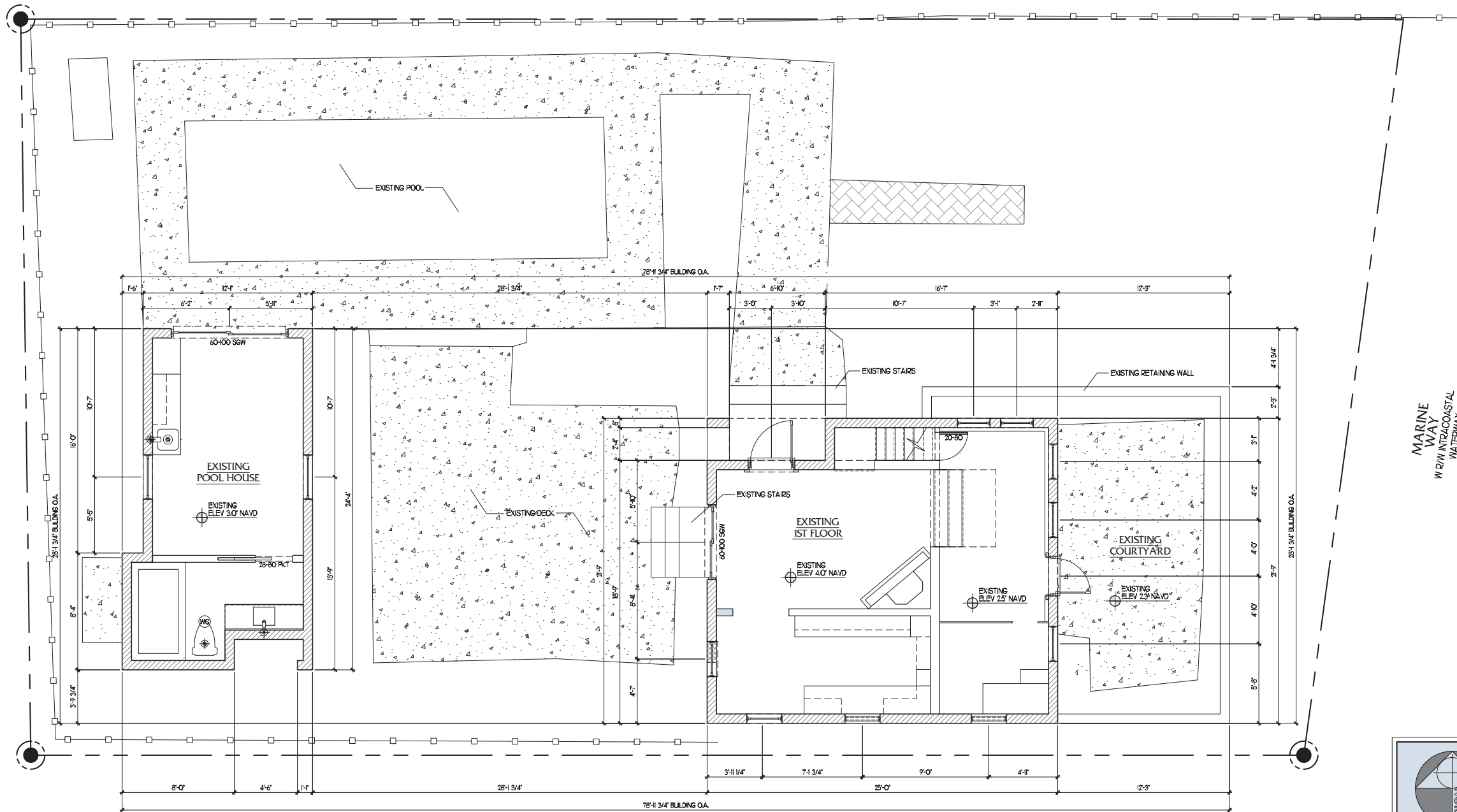
- 09/17/24 REV, PER TAC COMMENTS
11/26/24 REV, PER TAC COMMENTS

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relocation/RENO LEGENDS

EXISTING WALLS

EXISTING SITE PLAN

1/4" = 1'-0"

CUSTOM RESIDENCE

46 MARINE WAY,
DELRAY BEACH, FL, 33483

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6100 Broken Sound Pkwy. NW - Suite 8 - Boca Raton FL - 33487

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Revisions

09J7.24 REV, PER TAC COMMENTS

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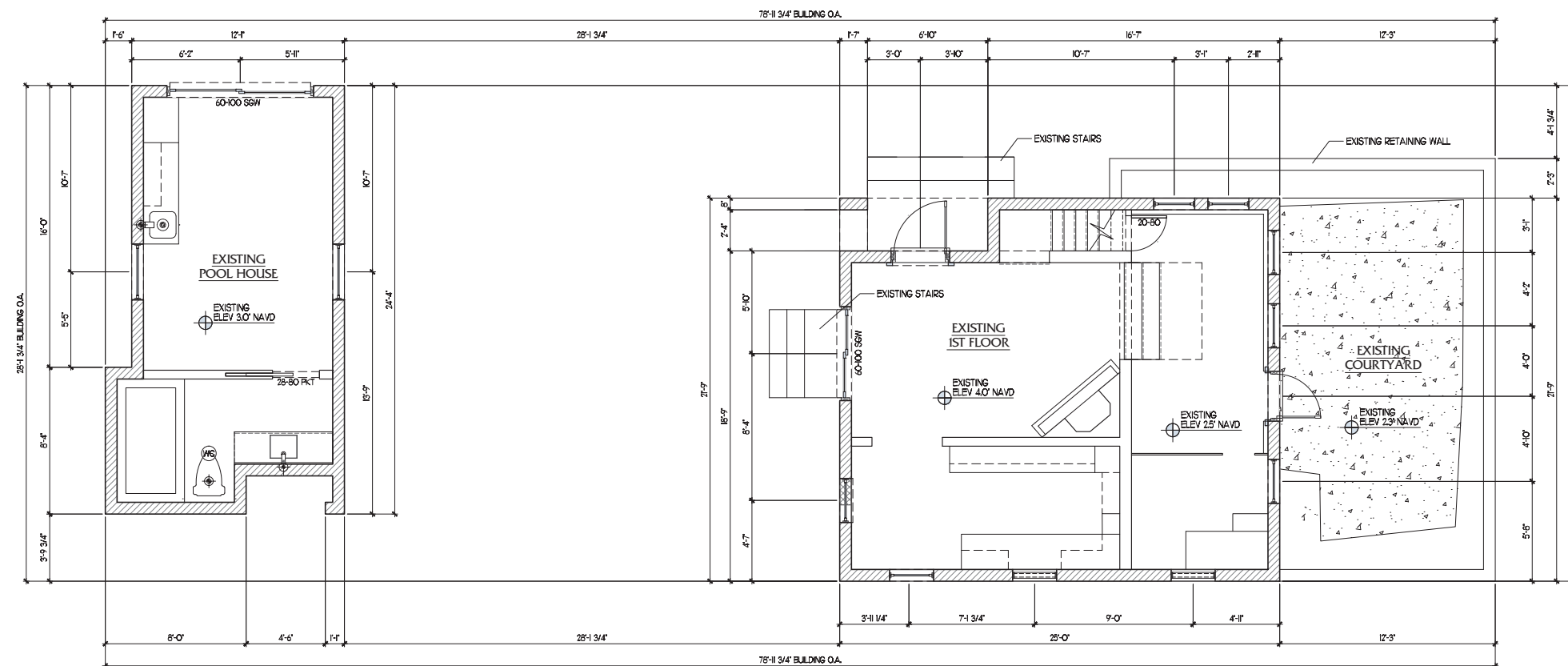
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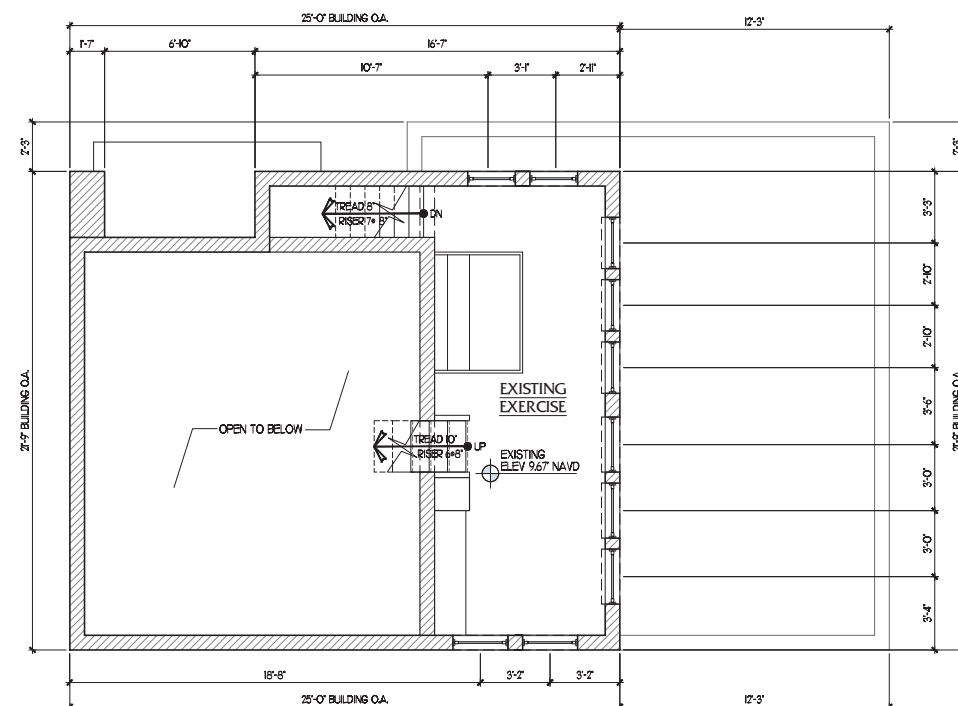
Page 1 of 1

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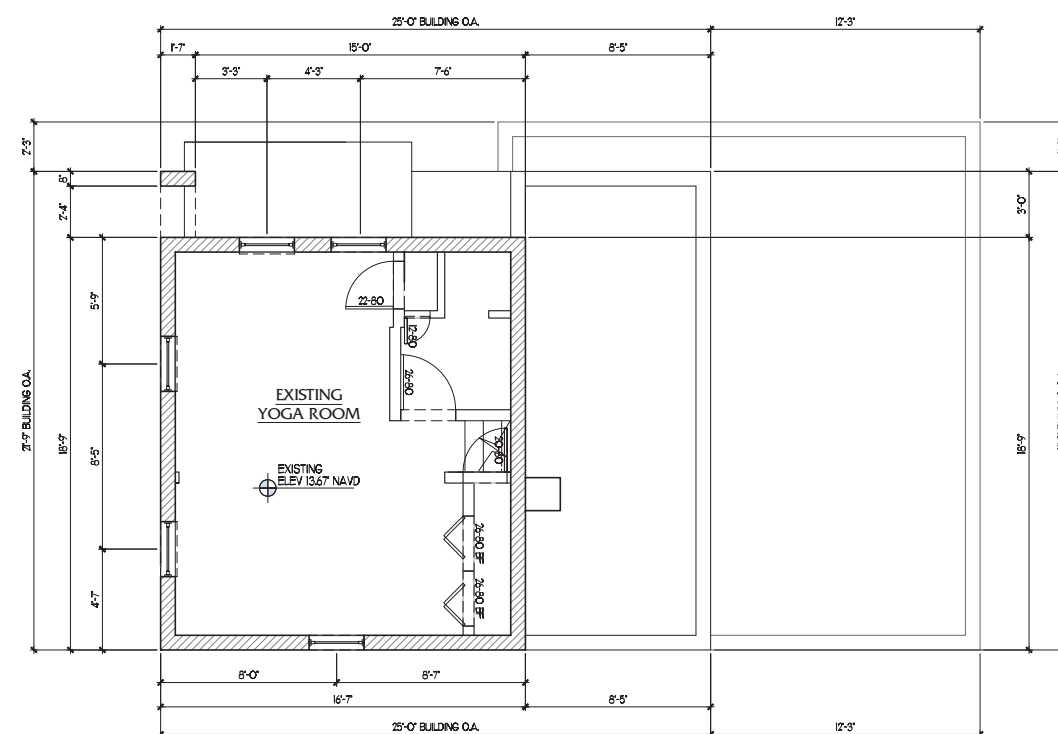
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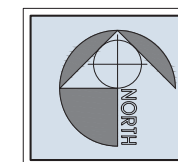
EXISTING 1ST FLOOR PLAN

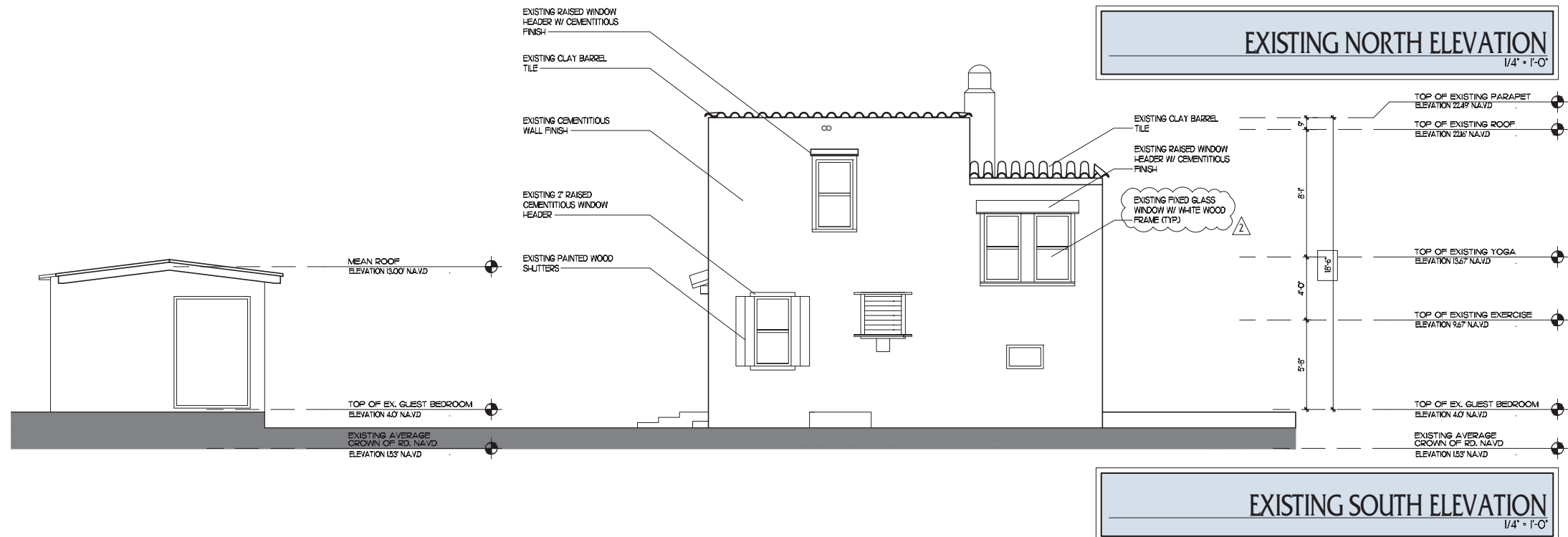
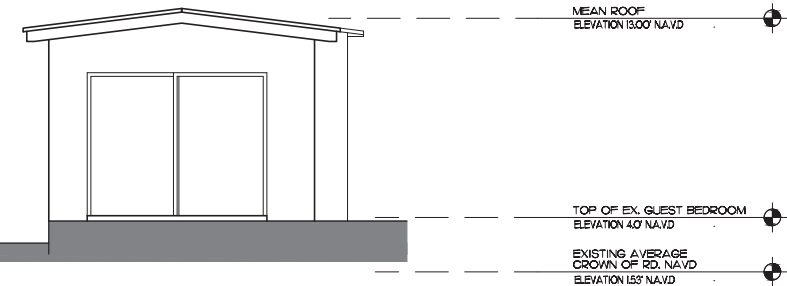
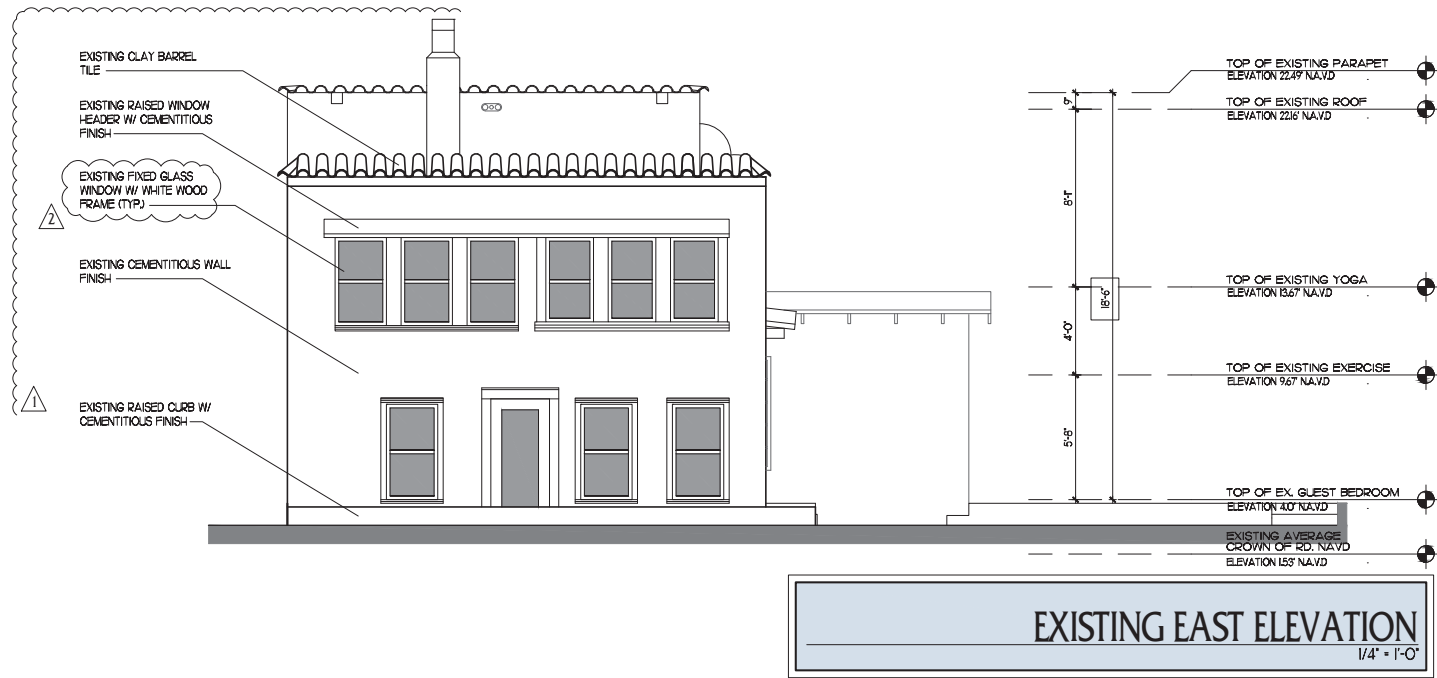
$$1/4' = 1'-0'$$


EXISTING MEZZANINE FLOOR PLAN

$$\frac{1 \text{ LFN}}{1/4''} = 1'-0''$$


EXISTING 2ND FLOOR PLAN

$$1/4^* = 1' - 1$$




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A0.3

RELIEF REQUEST CHART					
VARIANCES	SETBACK	REQUIRED	EXISTING	PROPOSED	JUSTIFICATION
LDR SECTION 4.3.4(K) VARIANCE RELIEF	FRONT (EAST) SETBACK	25'-0"	17'-7" / 20'-6"	7'-5 1/2" / 10'-4 1/2"	SEE PROPOSED APPLICATION FOR JUSTIFICATION.
LDR SECTION 4.3.4(K) VARIANCE RELIEF	SOUTH SIDE SETBACK	7'-6"	7'-3" / 6'-1"	7'-3"	SEE PROPOSED APPLICATION FOR JUSTIFICATION.
LDR SECTION 4.3.4(K) VARIANCE RELIEF	REAR (WEST) SETBACK	10'-0"	6'-8"	6'-8" (EXISTING STRUCTURE TO REMAIN) / 10'-0" (WHERE NEW STRUCTURE ADDITION WILL BE ON THE NW SIDE OF PROPERTY)	SEE PROPOSED APPLICATION FOR JUSTIFICATION.
LDR SECTION 4.6.15 VARIANCE RELIEF	POOL SETBACK	10'-0"	7'-2"	7'-6"	SEE PROPOSED APPLICATION FOR JUSTIFICATION.
LDR SECTION 4.5.1(X)(7) WAIVER RELIEF	SECONDARY AND SUBORDINATE		CURRENTLY NOT COMPLIANT WITH THE VISUAL COMPATIBILITY STANDARDS	TO KEEP STRUCTURE NOT COMPLIANT	SEE PROPOSED APPLICATION FOR JUSTIFICATION.
LDR SECTION 4.5.1(X)(7) WAIVER RELIEF	BUILDING HEIGHT PLANE		CURRENTLY NOT COMPLIANT WITH THE BUILDING HEIGHT PLANE	TO KEEP STRUCTURE NOT COMPLIANT	SEE PROPOSED APPLICATION FOR JUSTIFICATION.

SITE DATA			
ZONING DISTRICT: R-1A			
	REQUIRED	EXISTING (10'-0")	PROPOSED (10'-0")
BUILDING HT:	35 FEET	18.5 FEET FROM REFERENCE SLAB - 2 STORIES	35 FEET FROM REFERENCE SLAB - 3 STORIES
LOT AREA:	7,500 SQ.FT	4,972 SQ.FT	--
LOT WIDTH:	MIN. 60'-0", MAX. 80'-0"	52'-11 3/4"	--
LOT DEPTH:	MIN. 100'-0"	90'-9 1/2"	--
LOT COVERAGE:	--	1313 SQ.FT	2274 SQ.FT
OPEN SPACE AREA:	--	3,659 SQ.FT (74%)	2,698 SQ.FT (54%)
BUILDING SETBACKS:			
FRONT (EAST) SETBACK:	25'-0"	17'-7" / 20'-6"	7'-5 1/2" / 10'-4 1/2" *VARIANCE REQUEST
REAR (WEST) SETBACK:	10'-0"	6'-8"	6'-8" / 10'-0" *VARIANCE REQUEST
SOUTH SIDE SETBACK:	7'-6"	7'-3" / 6'-1"	7'-3" *VARIANCE REQUEST
NORTH SIDE SETBACK:	7'-6"	22'-1"	7'-6"
POOL SETBACK:	10'-0"	7'-2"	7'-6" *VARIANCE REQUEST

AREA CALCULATION	
EXISTING 1ST FLOOR AC	518 SQ. FT.
EXISTING POOL HOUSE AC	296 SQ. FT.
EXISTING MEZZANINE AC	499 SQ. FT.
EXISTING 2ND FLOOR AC	311 SQ. FT.
TOTAL EXISTING AC	1624 SQ. FT.
EXISTING FRONT COURTYARD	316 SQ. FT.
TOTAL EXISTING SQ.FT.	1940 SQ. FT.
PROPOSED 1ST FLOOR AC	1108 SQ. FT.
PROPOSED 2ND FLOOR AC	1019 SQ. FT.
PROPOSED 3RD FLOOR AC	693 SQ. FT.
TOTAL PROPOSED AC	2820 SQ. FT.
PROPOSED COVD ENTRY	60 SQ. FT.
PROPOSED GARAGE	810 SQ. FT.
TOTAL A/C	4445 SQ. FT.
TOTAL AREA	5632 SQ. FT.
DATE: 11/26/2024	

SEE ATTACHED SURVEY FOR LEGAL DESCRIPTION

VERIFY PROPERTY LINE DIMENSIONS WITH SURVEY

SEE CIVIL AND LANDSCAPE PLANS FOR ANY ADDITIONAL INFORMATION REGARDING HARDSCAPE, DRAINAGE, POOL CONSTRUCTION AND DESIGN AND ANY OTHER SITE SPECIFIC INFORMATION

SITE DRAINAGE BY CIVIL ENGINEER

LOCATION MAP

PARCEL I

A PARCEL OF LAND IN BLOCK 133, DELRAY BEACH, (FORMERLY TOWN OF LINTON) FLORIDA, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK, PAGE 3, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH-WEST CORNER OF BLOCK 125 OF SAID DELRAY BEACH, FLORIDA (FORMERLY TOWN OF LINTON), THENCE EASTERLY ALONG THE NORTH LINE OF SAID BLOCK 125, A DISTANCE OF 311.2 FEET TO THE NORTH-WEST CORNER OF SAID BLOCK 133, THENCE SOUTHERLY ALONG THE WEST LINE OF SAID BLOCK 133, A DISTANCE OF 338.60 FEET, THENCE EASTERLY PARALLEL WITH THE NORTH LINE OF SAID BLOCK 133, A DISTANCE OF 515 FEET TO THE POINT OF BEGINNING AND THE NORTH-WESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, THENCE CONTINUE EASTERLY ALONG SAID PARALLEL LINE, A DISTANCE OF 96.75 FEET, MORE OR LESS, TO THE WESTERLY RIGHT-OF-WAY LINE OF THE INTERCOASTAL WATERWAY, THENCE SOUTHERLY ALONG SAID WESTERLY RIGHT-OF-WAY LINE A DISTANCE OF 40.36 FEET, THENCE WESTERLY PARALLEL TO THE NORTH LINE OF SAID BLOCK 133, A DISTANCE OF 90.79 FEET TO A POINT IN A LINE PARALLEL TO AND 515 FEET EASTERLY OF, AS MEASURED ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID BLOCK 133, THENCE NORTHERLY ALONG SAID PARALLEL LINE, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING.

PARCEL II

A PARCEL OF LAND IN BLOCK 133, DELRAY BEACH, (FORMERLY TOWN OF LINTON), FLORIDA ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK I, PAGE 3, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH-WEST CORNER OF BLOCK 125 OF SAID DELRAY BEACH, FLORIDA, (FORMERLY TOWN OF LINTON), THENCE EASTERLY ALONG THE NORTH LINE OF SAID BLOCK 125, A DISTANCE OF 311.2 FEET TO THE NORTH-WEST CORNER OF SAID BLOCK 133, THENCE SOUTHERLY, ALONG THE WEST LINE OF SAID BLOCK 133, A DISTANCE OF 338.60 FEET, THENCE EASTERLY, PARALLEL WITH THE NORTH LINE OF SAID BLOCK 133, A DISTANCE OF 515 FEET TO THE POINT OF BEGINNING AND THE SOUTH-WESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, THENCE CONTINUE EASTERLY, ALONG SAID PARALLEL LINE, A DISTANCE OF 96.75 FEET, MORE OR LESS, TO THE WESTERLY RIGHT-OF-WAY OF THE INTERCOASTAL WATERWAY, THENCE NORTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 12.61 FEET, THENCE WESTERLY PARALLEL TO THE NORTH LINE OF SAID BLOCK 133, A DISTANCE OF 96.61 FEET TO A POINT IN A LINE, PARALLEL TO AND 515 FEET EASTERLY OF, AS MEASURED ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID BLOCK 133, THENCE SOUTHERLY, ALONG AND PARALLEL LINE A DISTANCE OF 125.0 FEET TO THE POINT OF BEGINNING.

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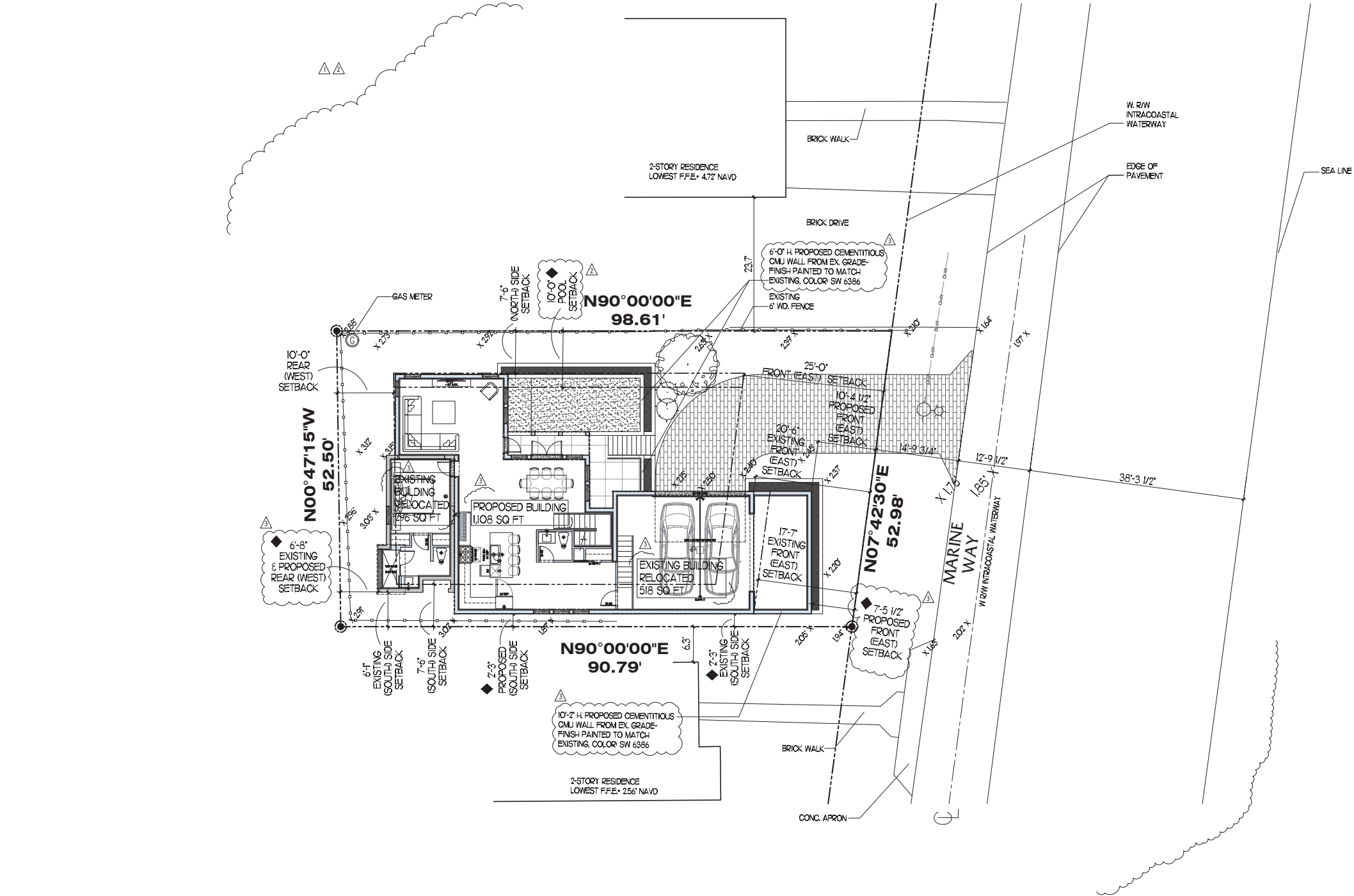
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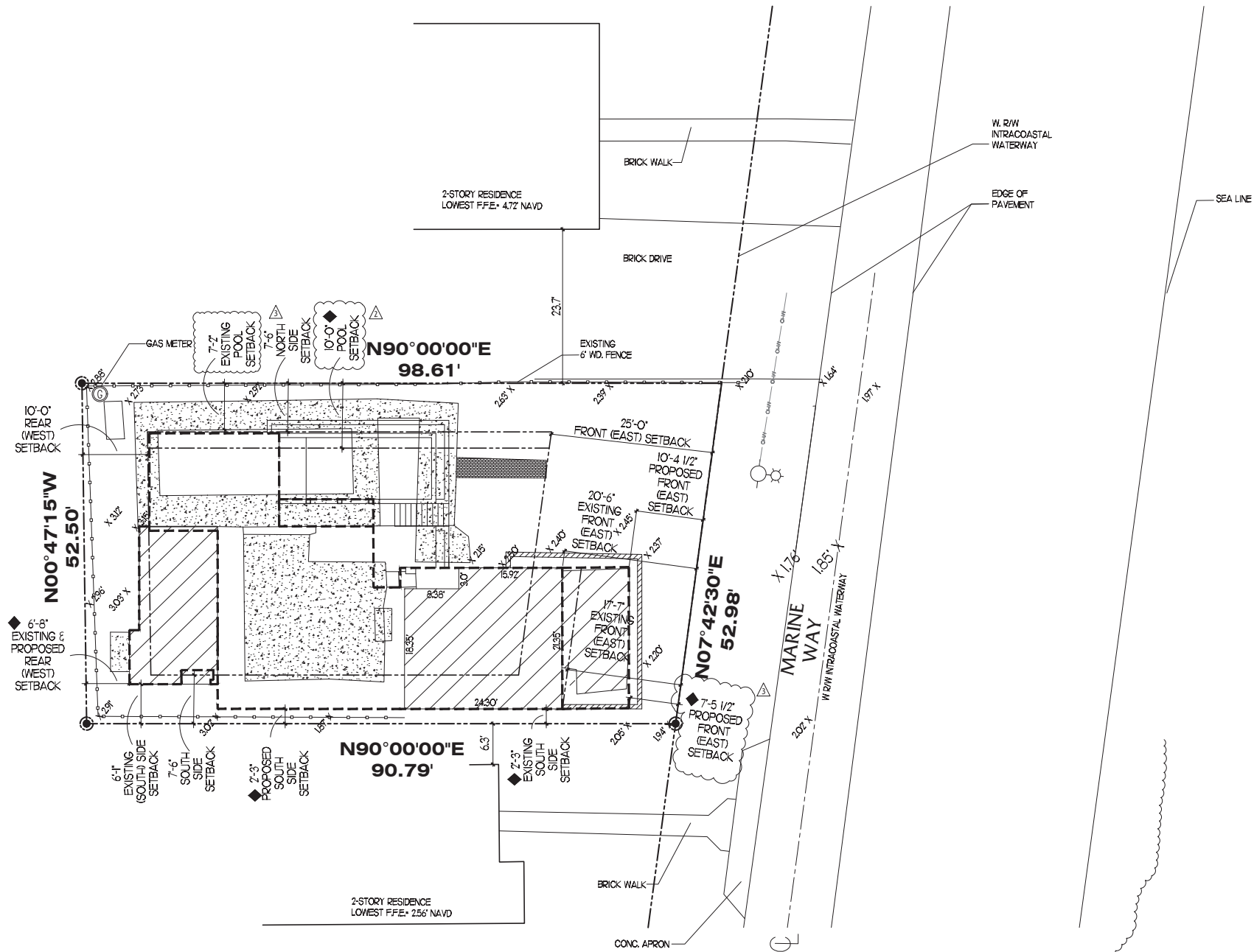
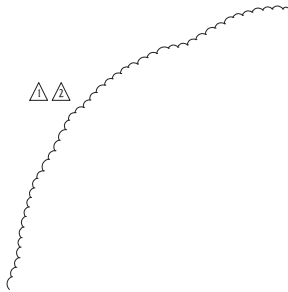
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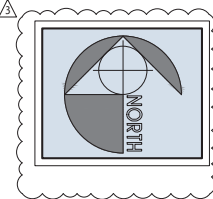
SITE PLAN LEGEND	
◆	VARIANCE REQUEST

SITE PLAN

1" = 10'-0"



COMPOSITE PLAN LEGEND	
	EXISTING RESIDENCE TO BE RELOCATED
	HARDSCAPE TO BE RELOCATED
	PROPOSED BUILDING



COMPOSITE OVERLAY PLAN

1" = 10'-0"

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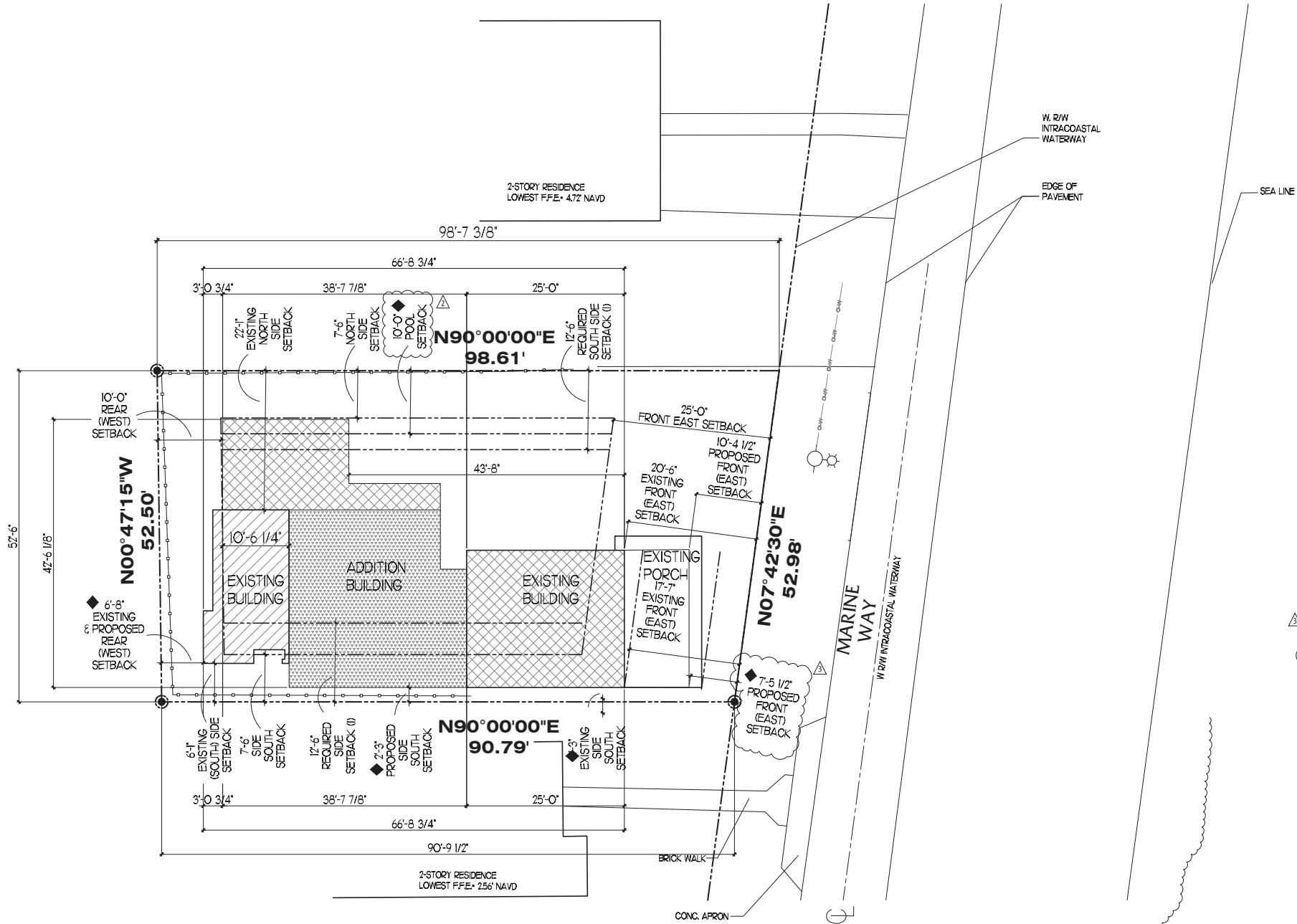
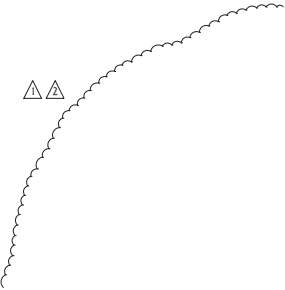
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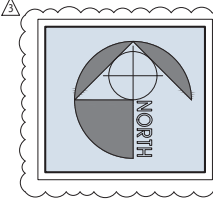


SETBACK DATA			
	REQUIRED	EXISTING	PROPOSED
FRONT BLDG SETBACK (EAST)	25'-0"	17'-7" / 20'-6"	7'-5 1/2" / 10'-4 1/2" *VARIANCE REQUEST
REAR SETBACK (WEST)	10'-0"	6'-8" *VARIANCE REQUEST	10'-0"
SOUTH SIDE SETBACK	7'-6"	2'-3" / 6'-1"	2'-3" *VARIANCE REQUEST
NORTH SIDE SETBACK	7'-6"	22'-1"	7'-6"
POOL SETBACK	10'-0"	7'-2"	7'-6" *VARIANCE REQUEST

ADDITIONAL SETBACK DATA		
SIDE	RIGHT SIDE (NORTH)	LEFT SIDE (SOUTH)
LOT DEPTH	98.61'	90.79'
BUILDING DEPTH	66.73' (68% OF LOT DEPTH)	66.73' (73% OF LOT DEPTH)
PORTION OF BUILDING GREATER THAN 1 STORY THAT NEED AN ADDITIONAL 5' SETBACK	14.30' (14'-4")	10.40' (10'-5")
PORTION OF BUILDING GREATER THAN 1 STORY THAT HAVE AN ADDITIONAL 5' SETBACK	43.67' (43'-5")	10.52' (10'-6 1/4")

SETBACK PLAN LEGEND	
	1 STORY BUILDING
	2 STORY BUILDING
	3 STORY BUILDING
	VARIANCE REQUEST

NOTE:
(1) ADDITIONAL 5' SETBACK FOR BUILDINGS DEEPER THAN 50% OF THE LOT DEPTH (CHECK ADDITIONAL SETBACK DATA TABLE)



SETBACK PLAN

1" = 10'-0"

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DELRAY BEACH, FL, 33483

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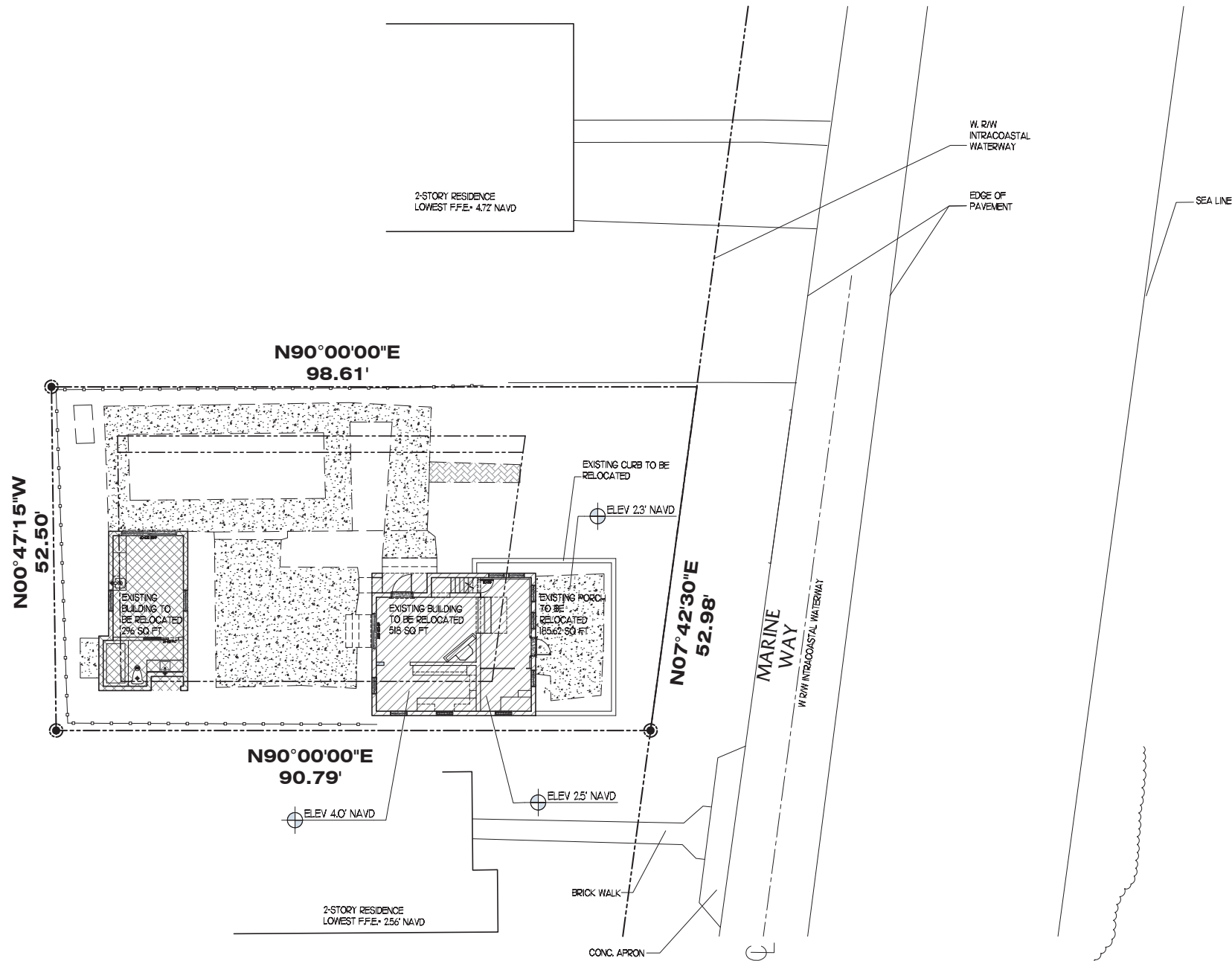
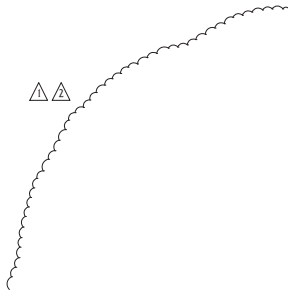
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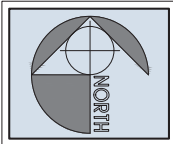
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RELOCATION DATA			
MAIN HOUSE		GUEST HOUSE	
EXISTING	RELOCATED	EXISTING	RELOCATED
518 SQ. FT.	518 SQ. FT. (000)	296 SQ. FT.	296 SQ. FT. (000)

LEGEND	
	EXISTING RESIDENCE TO BE RELOCATED (WILL BE RELOCATED AT 14' NAVD)
	EXISTING RESIDENCE TO BE RELOCATED (WILL BE RELOCATED AT 9' NAVD)
	HARDSCAPE TO BE REMOVED



RELOCATION PLAN

1" = 10'-0"

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1
2



IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4

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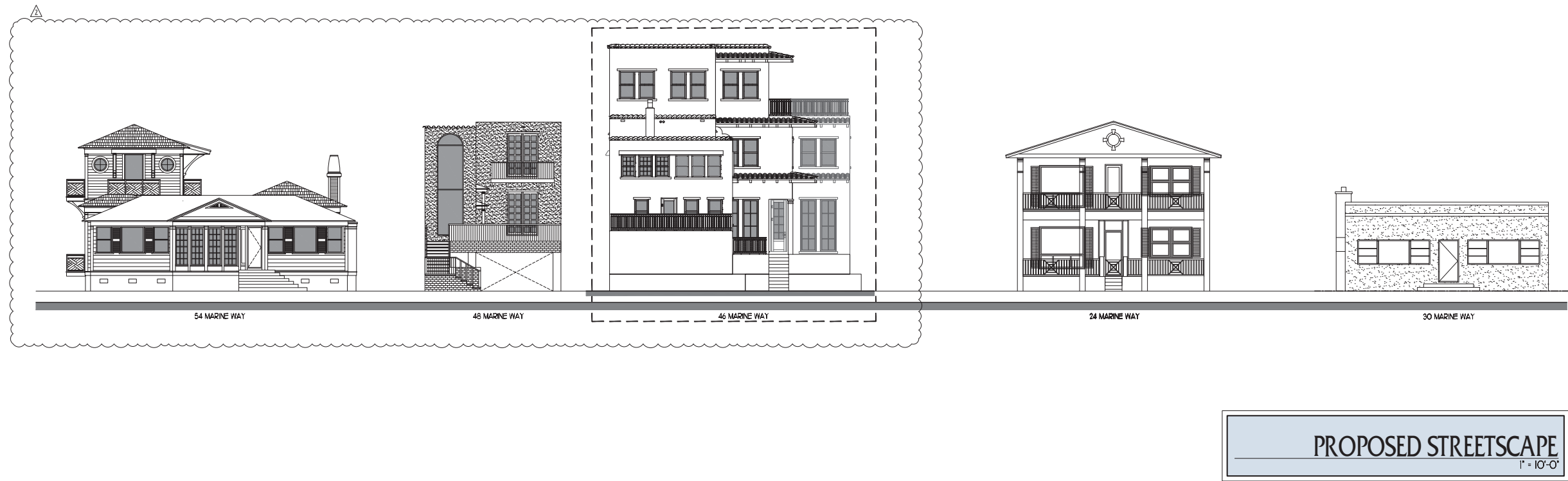
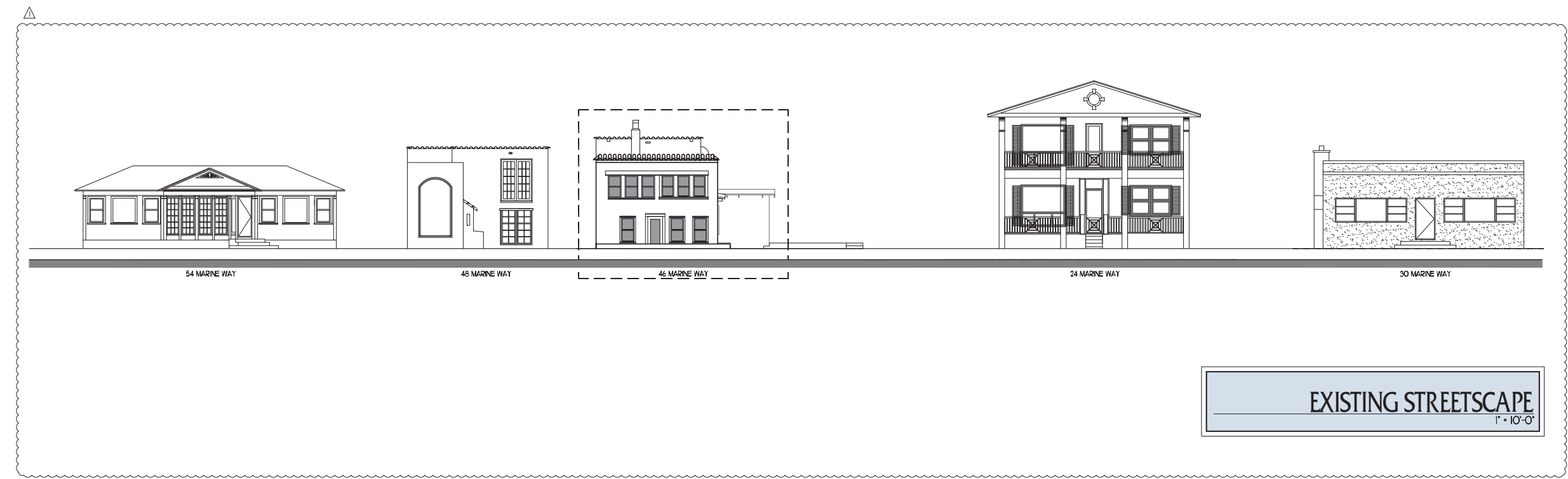
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A3

NOTE:
1. WINDOWS AND DOORS SHOULD HAVE CLEAR, NO TINT & NON-REFLECTIVE GLASS AND WHITE ALUMINIUM/WOOD FRAMES TO MATCH EXISTING

LEGENDS	
	EXISTING WALLS TO BE RELOCATED
	EXISTING WALLS TO BE INFILLED
	EXISTING HARDSCAPE TO BE REMOVED

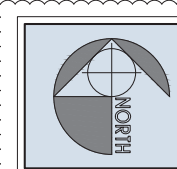
EXISTING/RELOCATED 1ST FLOOR PLAN

LEGEND, SYMBOLS & ABBREVIATIONS	
	MASONRY CONST. TYPICAL
	EXISTING MASONRY CONST. TYPICAL
	NEW INTERIOR PARTITION
	FRAME CONSTRUCTION ABOVE OR BELOW
 → DETAIL NO. → SHEET NO.	DETAIL INDICATION
 FEET INCHES	DENOTES DOOR AND WINDOW SIZE (TYPICAL)

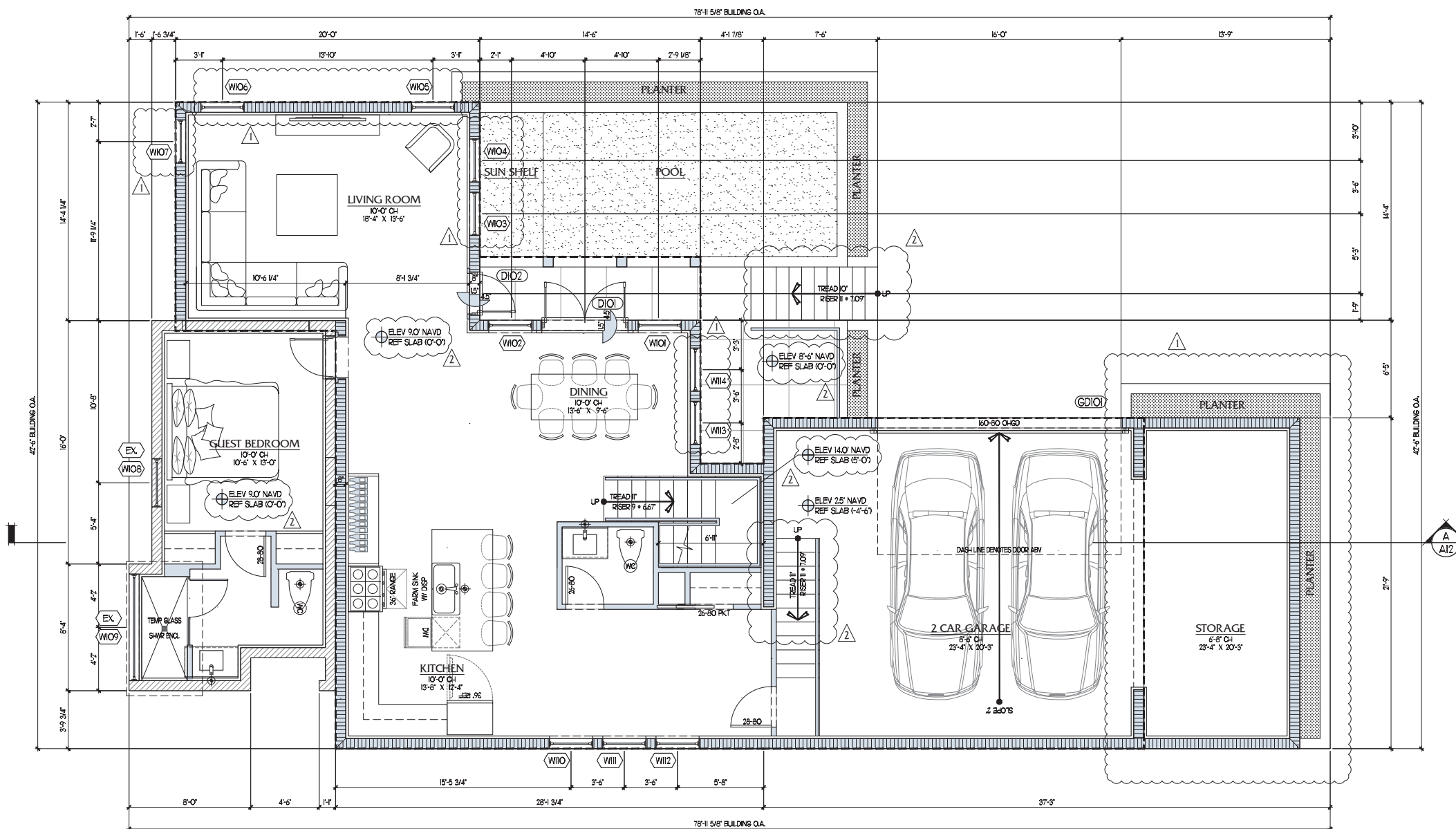
NOTE :
ALL DOOR, CASEWORK, BUILT-INS, CABINETRY, INTERIOR FINISHES & FIXTURE
SELECTION TO BE AS PER INTERIOR DESIGNER'S DWGS.

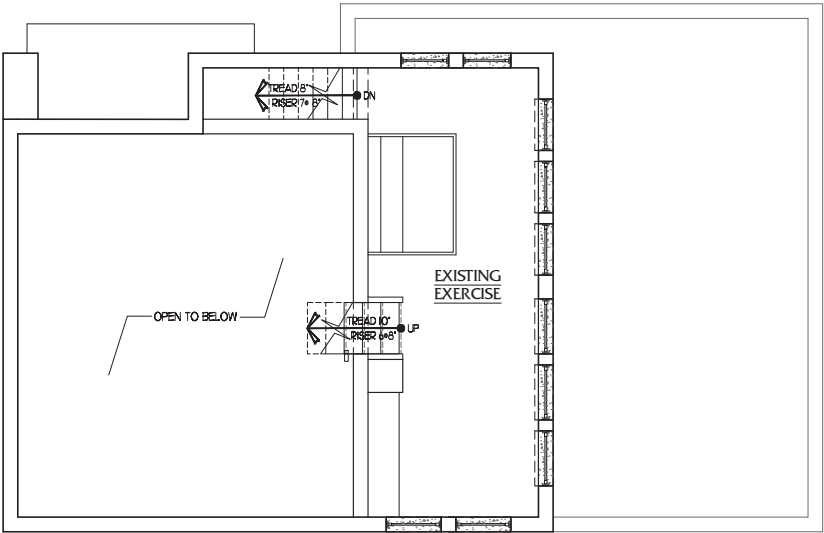
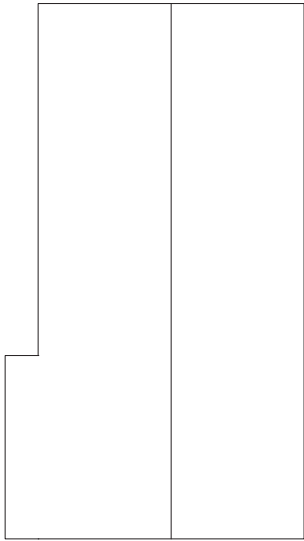
(WFO) - WINDOW DESIGNATION
(DFO) - DOOR DESIGNATION

DESIGNATIONS ARE FOR EXT. DOORS & WINDOWS (SEE WINDOW/ DOOR SCHEDULE - SHT A5 - FOR WINDOWS/ EXTERIOR DOOR SIZES & TYPES). FOR INTERIOR DOORS, SEE NOTATIONS ON FLOOR PLANS.

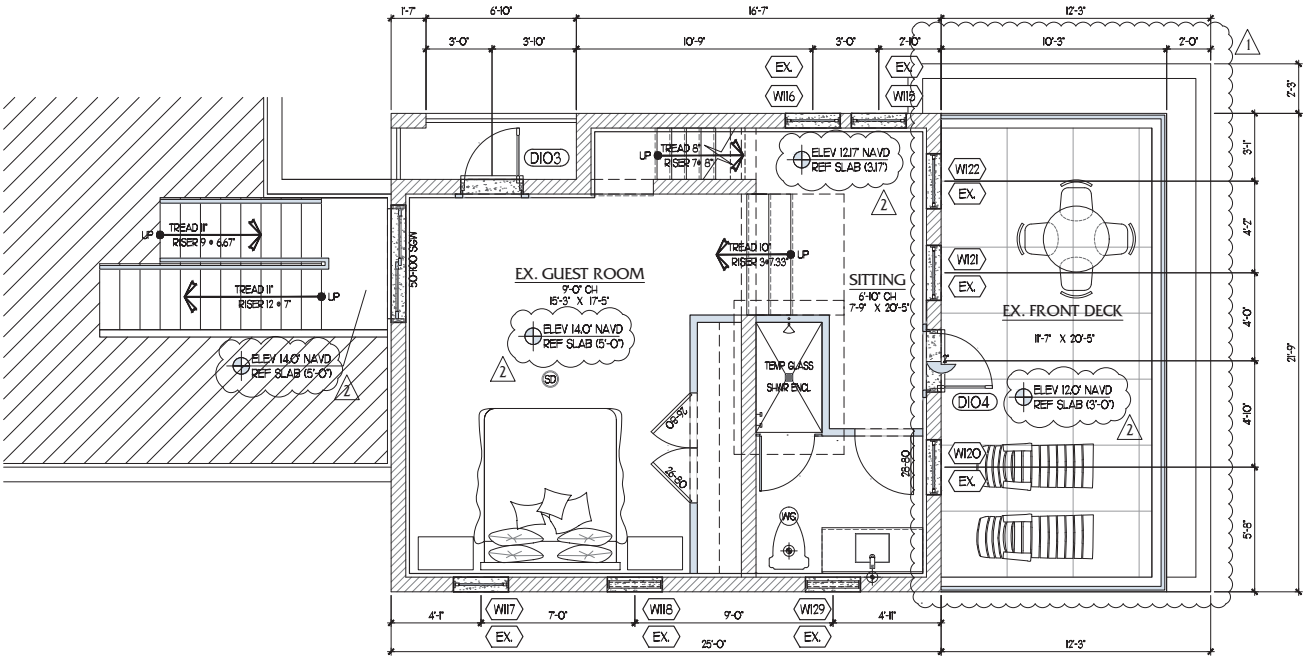


PROPOSED 1ST FLOOR PLAN



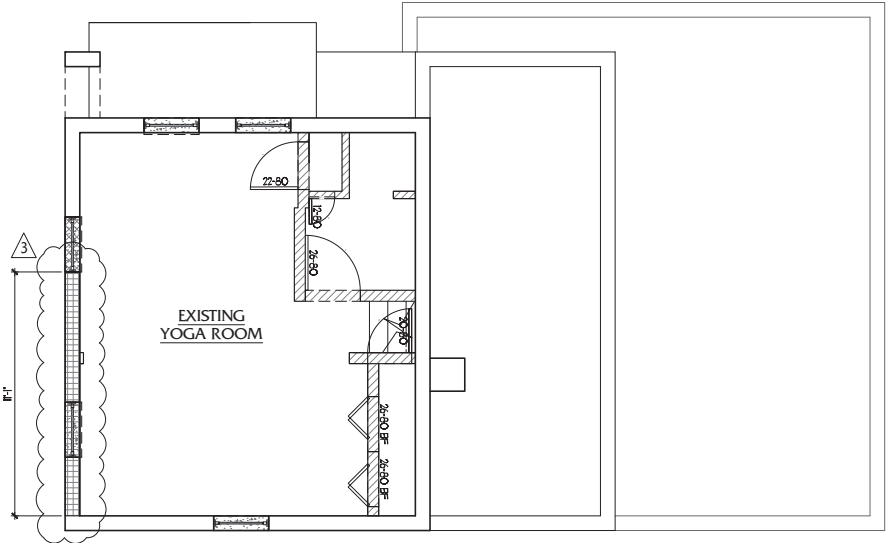
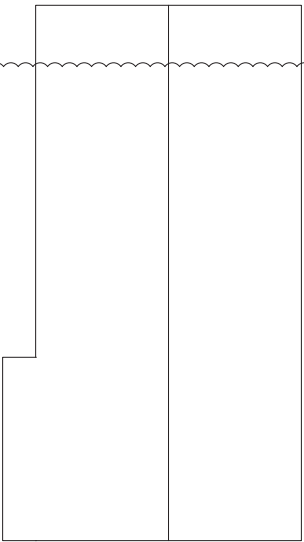


EXISTING/RELOCATED MEZZANINE FLOOR
1/4" = 1'-0"



LEGEND, SYMBOLS & ABBREVIATIONS	
	MASONRY CONST. TYPICAL
	EXISTING MASONRY CONST. TYPICAL
	NEW INTERIOR PARTITION
	FRAME CONSTRUCTION ABOVE OR BELOW
	DETAIL NO.
	DETAIL INDICATION
	FEET
	INCHES
	DENOTES DOOR AND WINDOW SIZE (TYPICAL)

PROPOSED MEZZANINE FLOOR PLAN
1/4" = 1'-0"



LEGENDS	
	EXISTING WALLS TO BE RELOCATED
	EXISTING WALLS TO BE INFILLED
	EXISTING WALLS TO BE REMOVED

EXISTING/RELOCATED 2ND FLOOR
1/4" = 1'-0"

NOTE:
1. WINDOWS AND DOORS SHOULD HAVE CLEAR,
NO TINT & NON-REFLECTIVE GLASS AND WHITE
ALUMINUM/WOOD FRAMES TO MATCH EXISTING

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A4

FLOOR PLAN NOTES

1. ALL EXTERIOR WINDOWS AND DOORS TO BE IMPACT RESISTANT AND FULLY CALKED FOR A WEATHER TIGHT CONDITION.

2. VERIFY AND COORDINATE ALL MASONRY OPENINGS WITH THE WINDOW/DOOR MANUFACTURER/SUPPLIER PRIOR TO CONSTRUCTION.

3. ALL DOOR SILL/SHOTS WITHIN 2" OF DOOR TO BE TEMPERED. ALL WINDOWS, MIRRORS & GLASS ENCLOSURES WITH SILLS LESS THAN 60" ABOVE FLOOR AT TUBS AND SHOWERS SHALL BE TEMPERED.

4. ALL GLASS IN FRENCH DOORS TO BE TEMPERED.

5. CEILING AND WALLS UNDER STAIR MUST BE ONE (1) HOUR RATED CONSTRUCTION.

6. STAIR SHALL BE FIRESTOPPED.

7. POCKETS IN ALL BALUSTRADES MUST BE SPACED TO PREVENT PASSAGE OF A 4" OBJECT.

8. BATHROOM FLOORS AND BASES SHALL BE OF AN IMPERVIOUS MATERIAL.

9. INSULATE EXTERIOR BLOCK WALL WITH A MINIMUM OF R-41 AND ATTIC SPACES WITH A MINIMUM OF R-19. INSULATE EXTERIOR FRAME WALL WITH A MINIMUM OF R-11. ENERGY CALCULATIONS SHALL TAKE PRECEDENCE OVER THE MINIMUM REQUIRED ENERGY CODE.

10. STEEL COLUMNS SHALL BE WRAPPED W/ 2 LAYERS 1/2" TYPE "X" GYP. BO.

10. WALL SHEATHING & NAILING WHEN APPLICABLE SHALL BE 19/32" MINIMUM A.P.A. EXTERIOR EXPOSURE I, C-D GRADE PLYWOOD, INSTALLED PER MANF. RECOMMENDATION & NAILED WITH 8 D GALV. RING-SHANK NAILS @ 6" O.C. IN FIELD & 6" O.C. ON PANELS EDGES.

11. PROVIDE TREATED AND FIRESTOPPED 1X2 PT FLOORING HORIZONTAL @ CEILING/WALL INTERSECTION.

12. PROVIDE SCREENED VENTS @ FLOOR LEVEL 60 SQ. IN. PER CAR MINIMUM. UNLESS NOTED OTHERWISE.

13. EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. THEY SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" WIDE & 24" HIGH AND 5.7 SQUARE FEET MINIMUM AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE FLOOR AND LATCH AT 54" ABOVE FLOOR MAXIMUM.

14. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FLORIDA ENERGY CODE.

15. UL LISTED ZERO CLEARANCE GAS VENTED FIREPLACE W/ NON COMBUSTIBLE FINISH 1-4" WIDE AROUND THE OPENING 1-8" NON COMBUSTIBLE HEARTH.

16. UL LISTED ZERO CLEARANCE GAS VENTLESS FIREPLACE W/ NON COMBUSTIBLE FINISH 1-4" WIDE AROUND THE OPENING 1-8" NON COMBUSTIBLE HEARTH.

GARAGE NOTES

1. GARAGE DOOR OOR INTO HOUSE SHALL BE 1" LABEL SOLID CORE WITH A SELF CLOSING DEVICE.

2. GARAGE DIVISING WALL AND BEARING WALLS SHALL BE MINIMUM ONE (1) HOUR RATED CONSTRUCTION 5/8" TYPE "X" GYPSUM DRYWALL BOTH SIDES OF STUDS @ 16" O.C. WITH MINIMUM R-11 INSULATION.

3. GARAGE CEILING CONSTRUCTION SHALL BE AS FOLLOWS: (1) LAYER 5/8" TYPE "X" GYPSUM DRYWALL ON 1X3 WOOD FLOORING @ 16" O.C. ON PRE-ENGINEERED & APPROVED ROOF TRUSSES.

4. GARAGE CEILING CONSTRUCTION SHALL BE AS FOLLOWS: (1) LAYER 5/8" TYPE "X" GYPSUM DRYWALL ON 1/2" GWB ON 1X3 METAL FLOORING @ 16" O.C. ON PRE-ENGINEERED & APPROVED FLOOR SYSTEM WHEN LIVING AREA ABOVE.

5. GARAGE MAIN DOOR TO BE 1-3/4" THICK ONE HOUR RATED SOLID CORE WITH CLOSER IN SOLID 2 X 4 RABBEETED WOOD FRAME, PER FBC.

NOTE:

1. WINDOWS AND DOORS SHOULD HAVE CLEAR, NO TINT & NON-REFLECTIVE GLASS AND WHITE ALUMINUM/WOOD FRAMES TO MATCH EXISTING

LEGEND, SYMBOLS & ABBREVIATIONS

MASONRY CONST. TYPICAL

EXISTING MASONRY CONST. TYPICAL

NEW INTERIOR PARTITION

FRAME CONSTRUCTION ABOVE OR BELOW

2

A/B

DETAIL NO. SHEET NO.

DETAIL INDICATION

1/4" = 1'-0"

FEET INCHES

DENOTES DOOR AND WINDOW SIZE (TYPICAL)

PROPOSED 3RD FLOOR PLAN

1/4" = 1'-0"

Project Number:

23116

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Revisions

09/17/24 REV. PER TAC COMMENTS

NOT FOR CONSTRUCTION

Date

12/13/2024

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NOTE:
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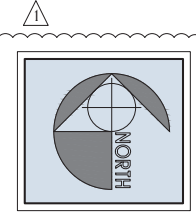
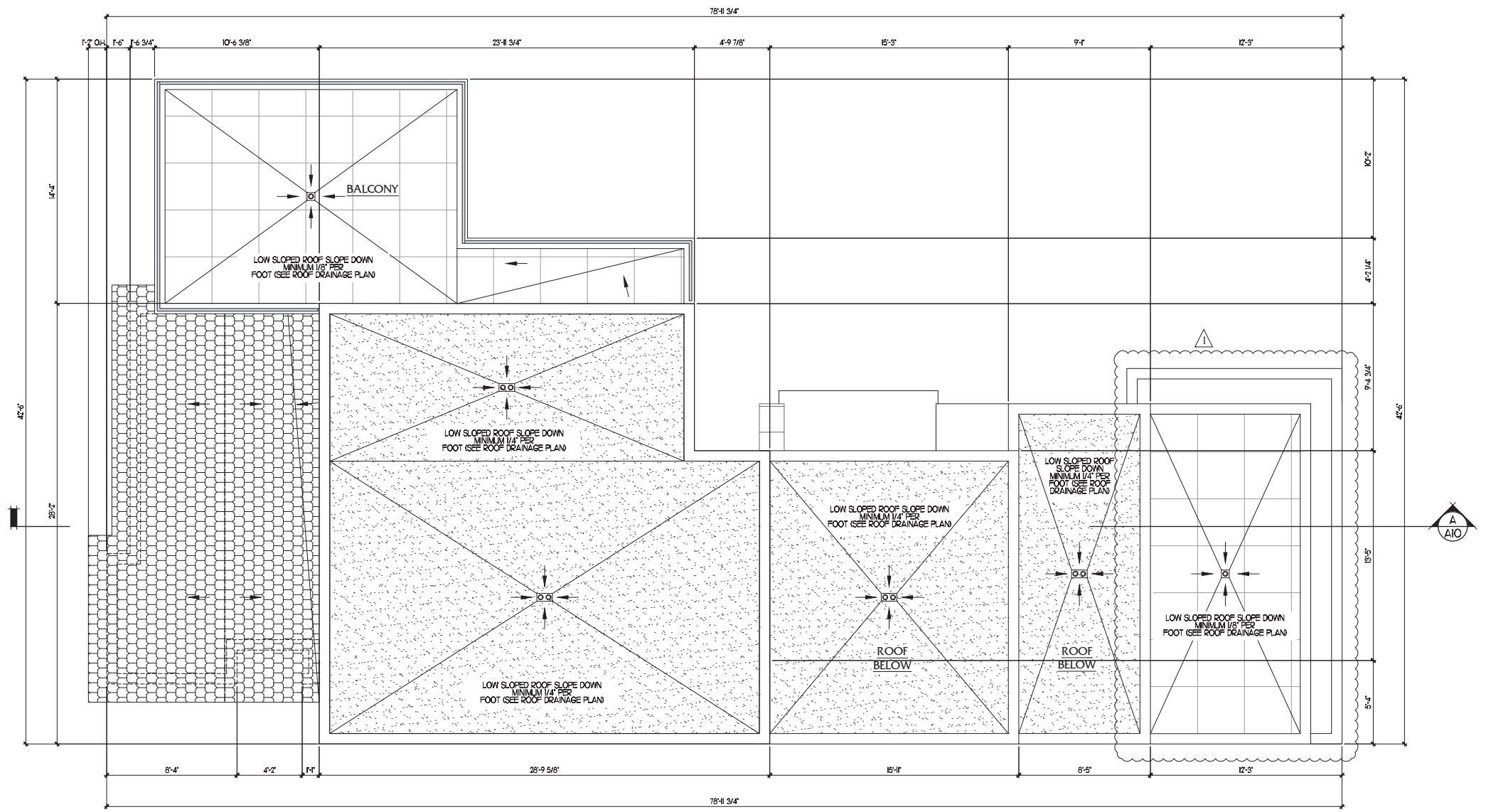
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Date | Permit -
Date | Construction -

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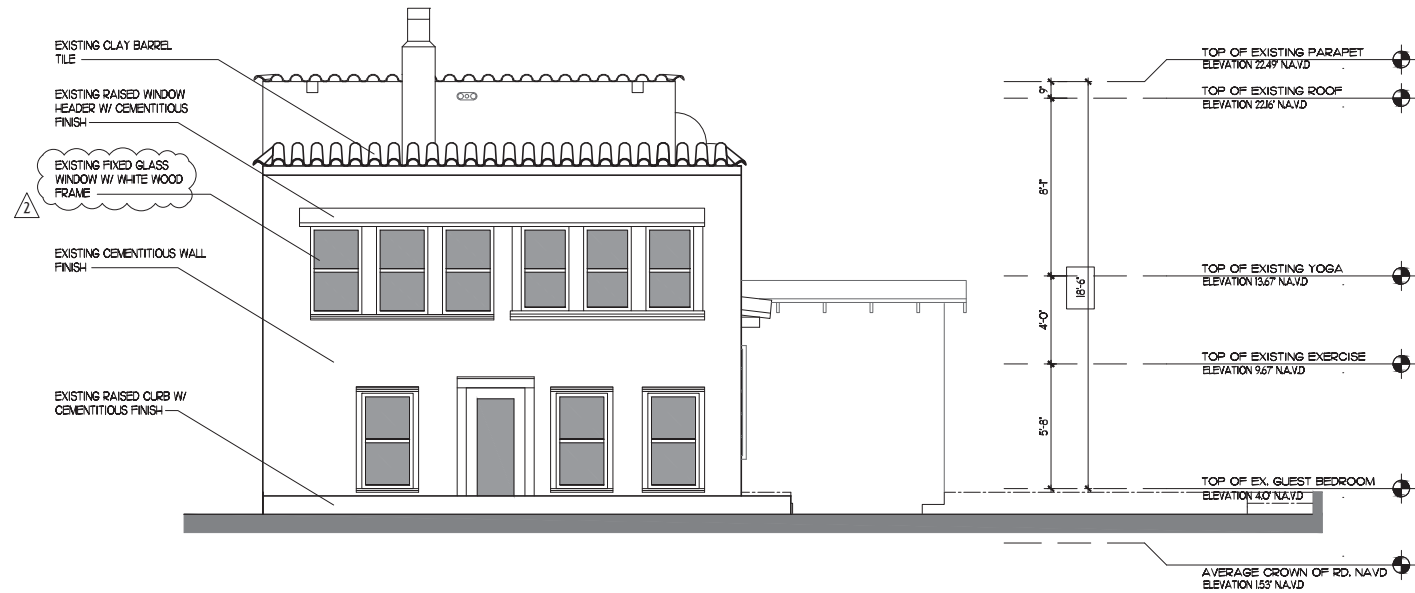
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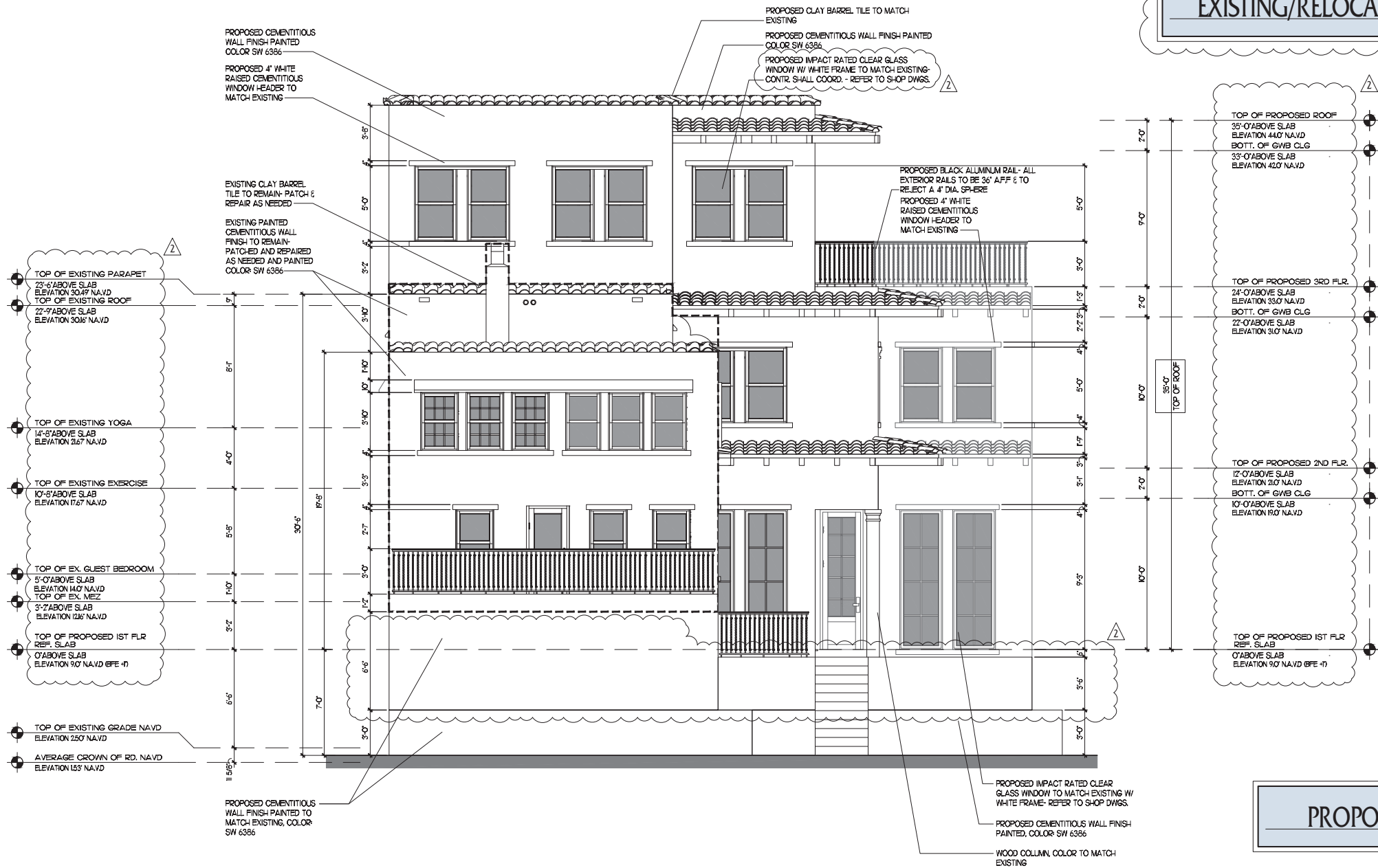


ROOF PLAN
1/4" = 1'-0"

WINDOWS AND DOORS NOTE:
1. WINDOWS AND DOORS SHOULD HAVE CLEAR,
NO TINT & NON-REFLECTIVE GLASS AND WHITE
ALUMINUM/WOOD FRAMES TO MATCH EXISTING



EXISTING/RELOCATED EAST ELEVATION
1/4" = 1'-0"



PROPOSED EAST ELEVATION
1/4" = 1'-0"

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02/05/25 REV. PER TAC COMMENTS

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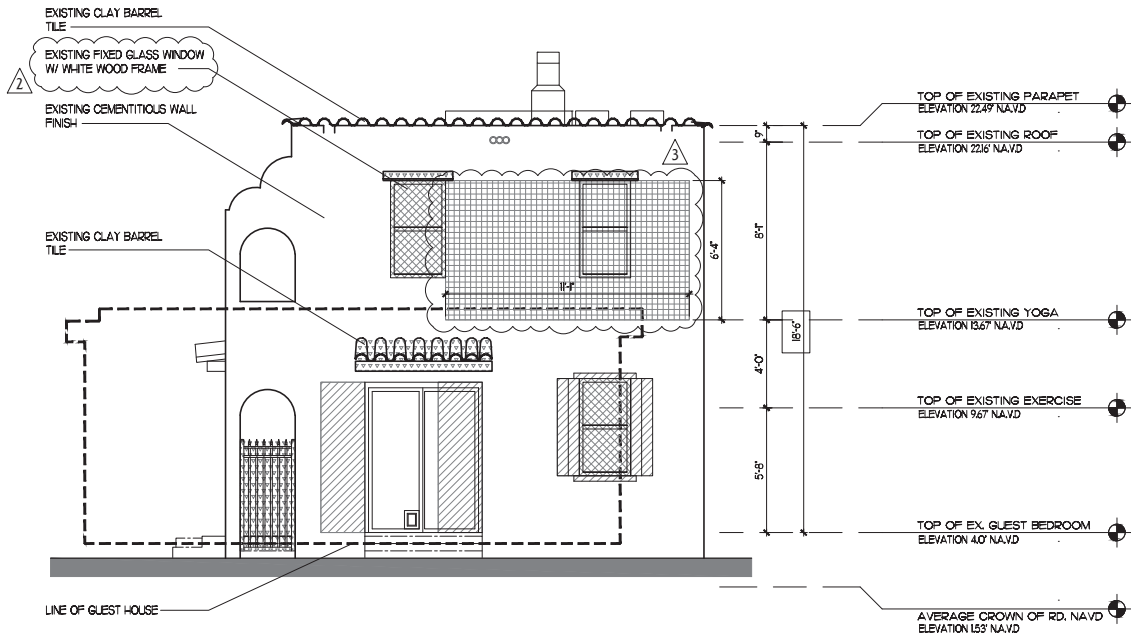
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Date | Permit -
Date | Construction -

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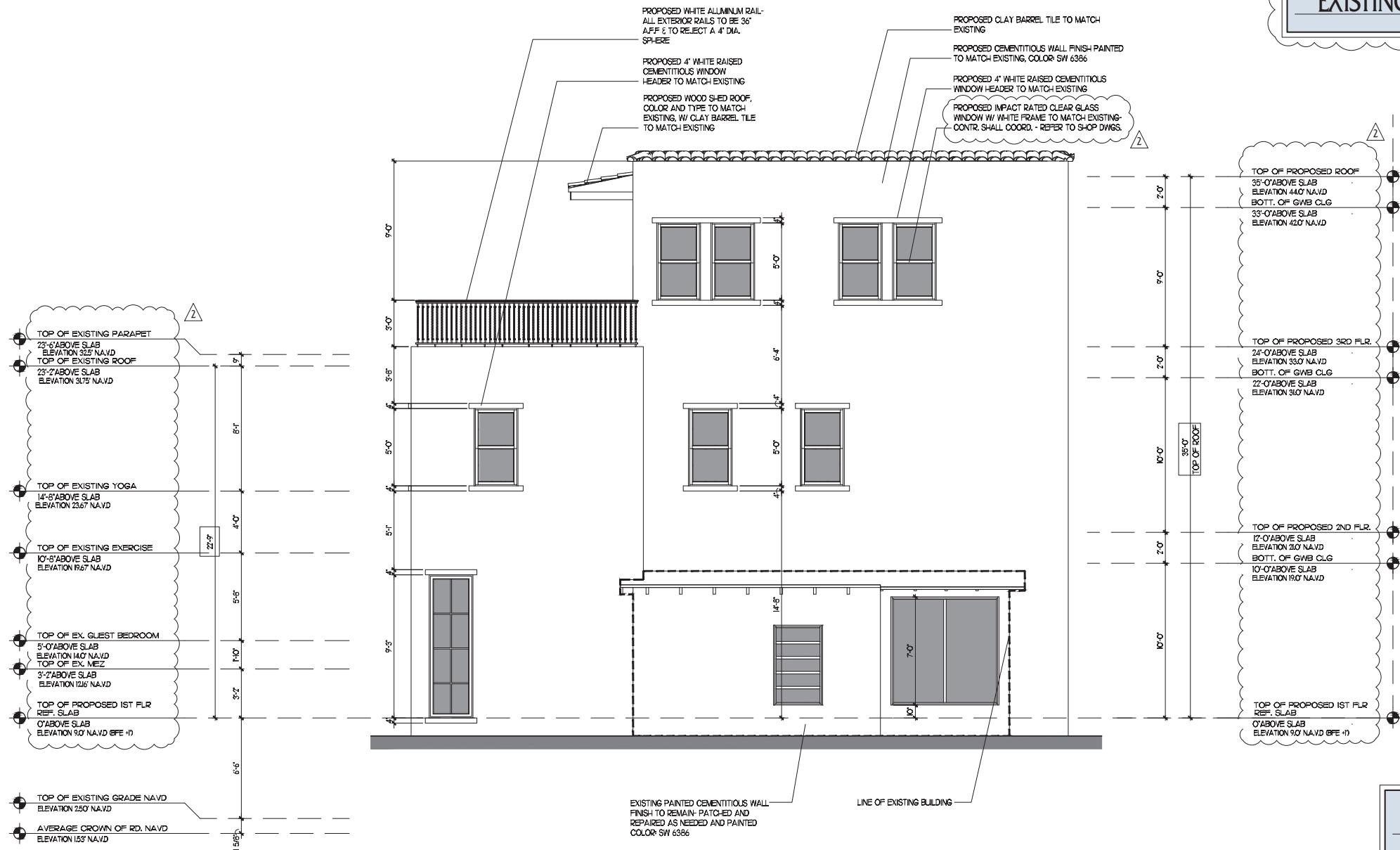
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NOTE:
1. WINDOWS AND DOORS SHOULD HAVE CLEAR,
NO TINT & NON-REFLECTIVE GLASS AND WHITE
ALUMINUM/WOOD FRAMES TO MATCH EXISTING



LEGENDS	
	EXISTING WALLS TO BE RELOCATION
	EXISTING WALLS TO BE INFILLED
	EXISTING WALLS TO BE REMOVED
	EXISTING ELEMENTS TO BE REMOVED
	EXISTING HARDSCAPE TO BE REMOVED

EXISTING/RELOCATED WEST ELEVATION
1/4" = 1'-0"



PROPOSED WEST ELEVATION
1/4" = 1'-0"

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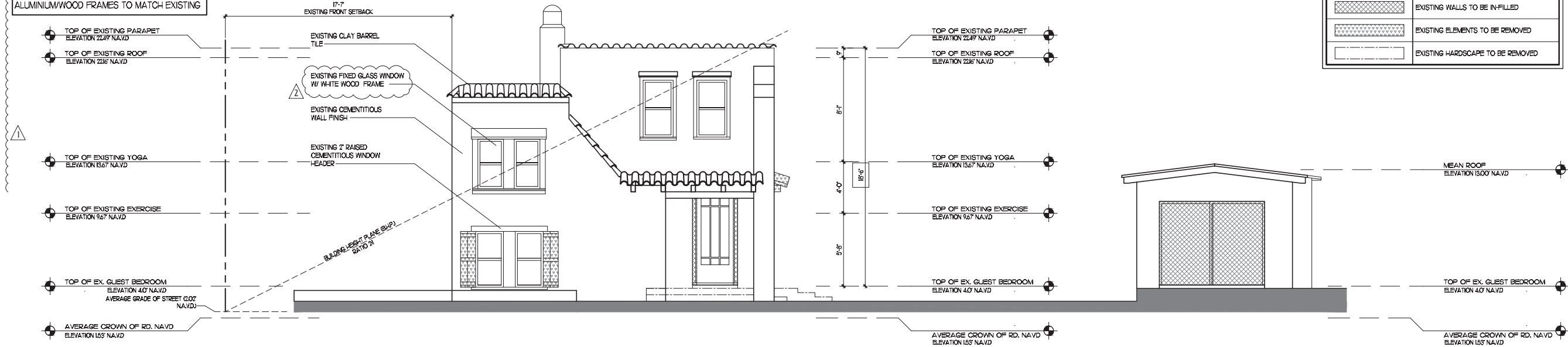
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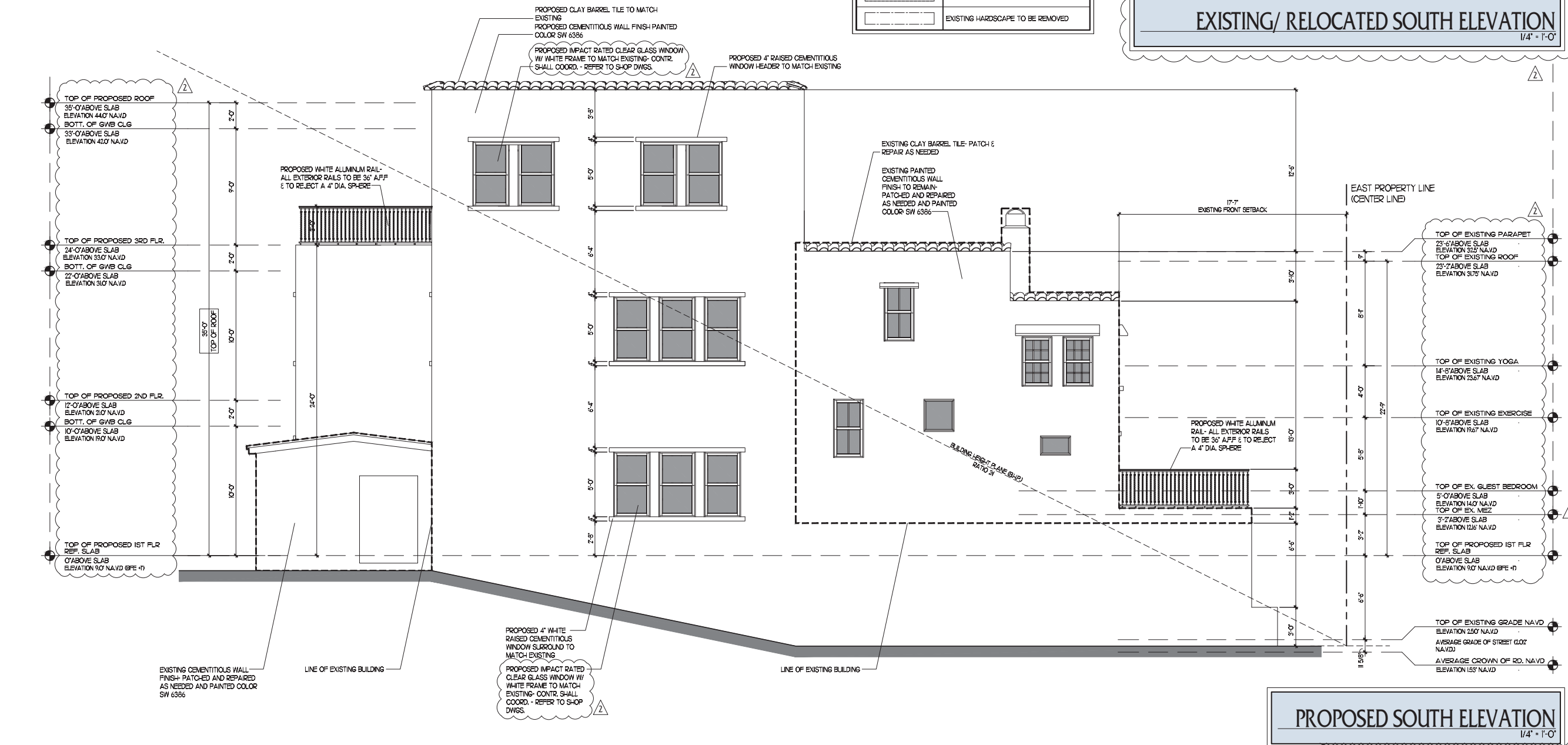
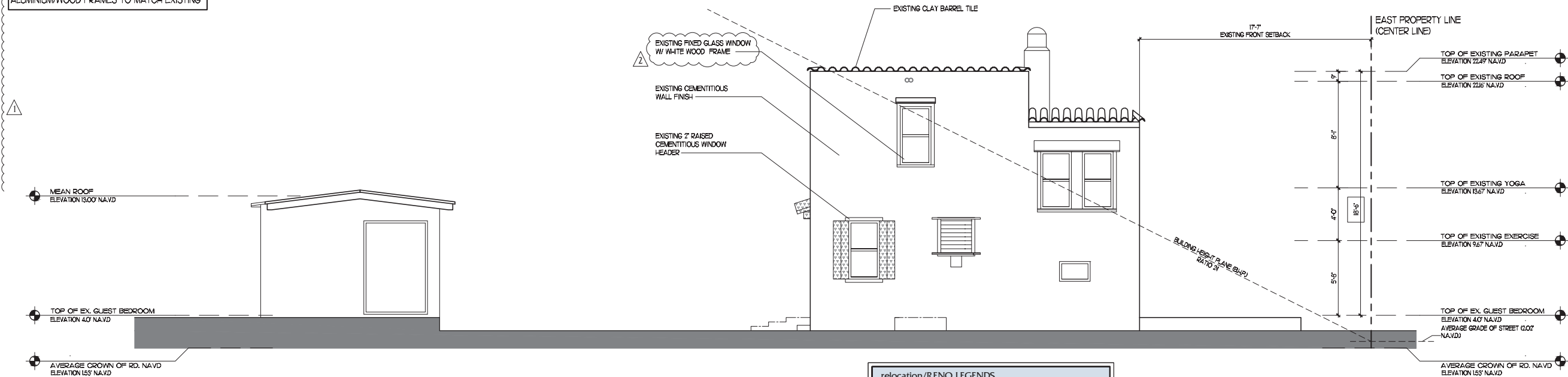
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NOTE:
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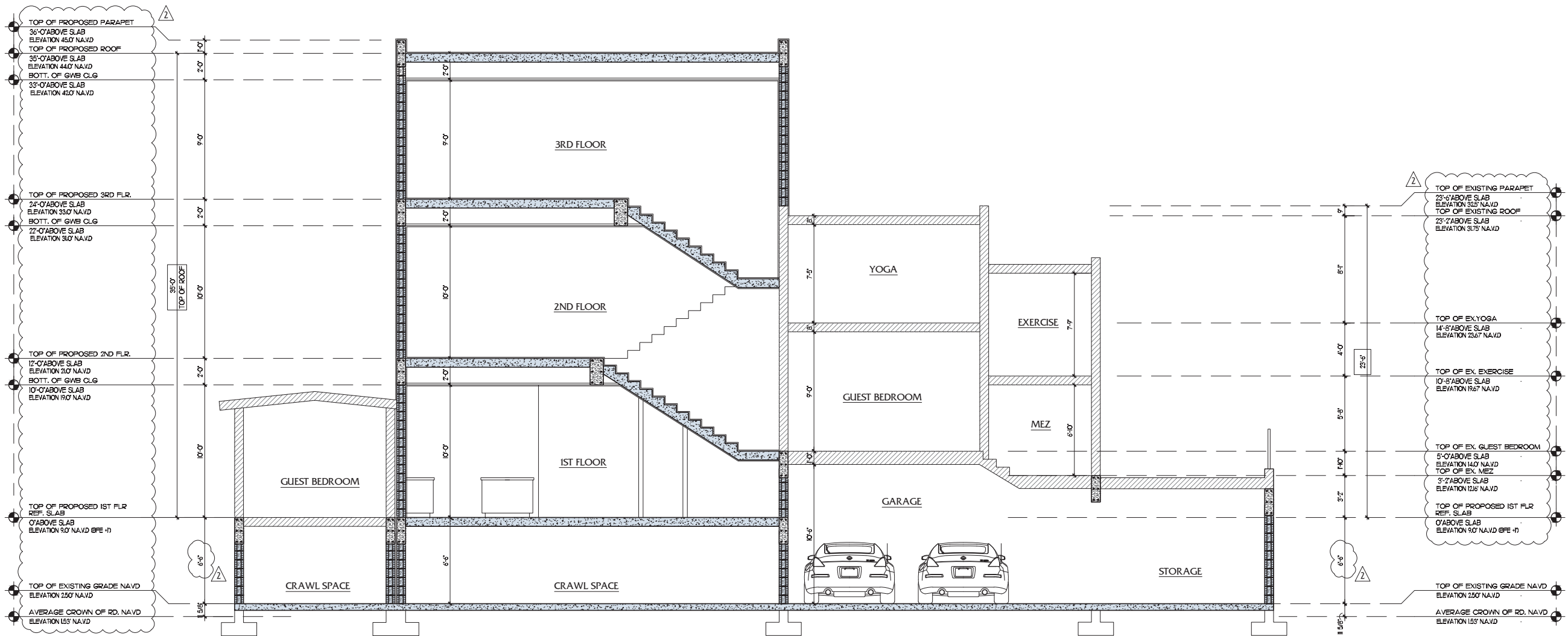
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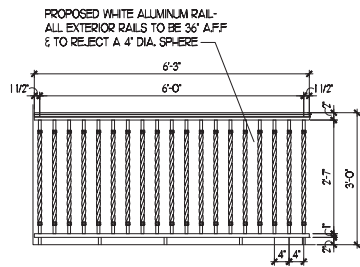
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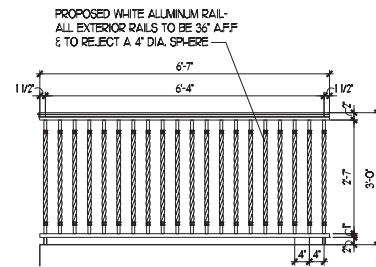


WALL LEGEND	
	EXISTING WALLS

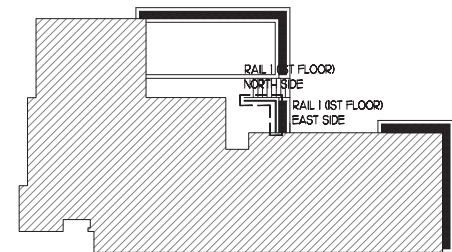
SECTION A
1/4" = 1'-0"



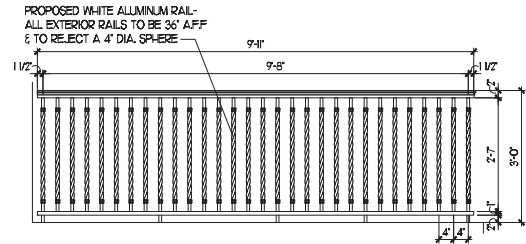
RAIL 1 (1ST FLOOR) EAST SIDE
1/2" = 1'-0"



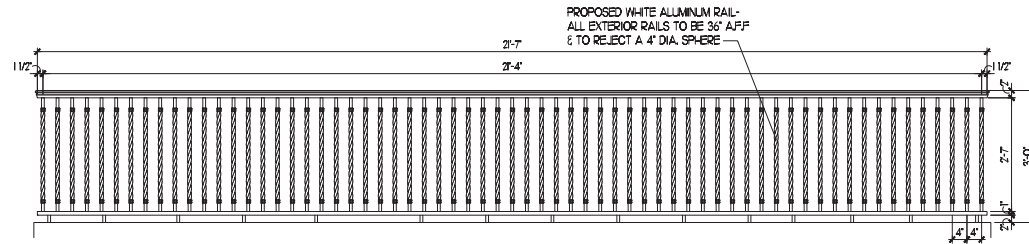
RAIL 1 (1ST FLOOR) NORTH SIDE
1/2" = 1'-0"



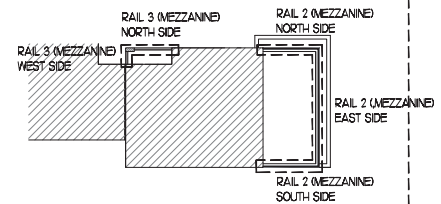
RAILING LOCATION PLAN - 1ST FLOOR
1/16" = 1'-0"



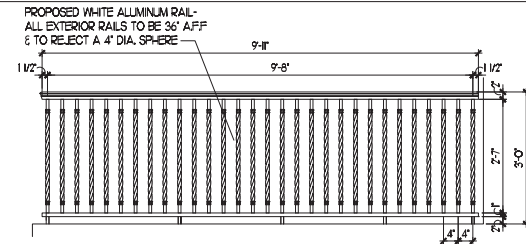
RAIL 2 (MEZZANINE) SOUTH SIDE
1/2" = 1'-0"



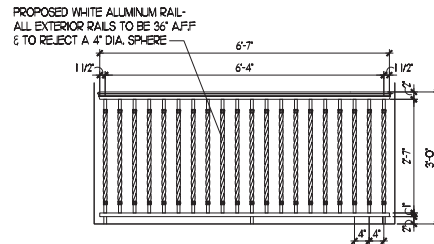
RAIL 2 (MEZZANINE) EAST SIDE
1/2" = 1'-0"



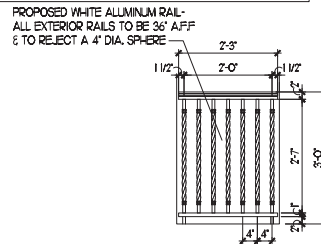
RAILING LOCATION PLAN - MEZZANINE
1/16" = 1'-0"



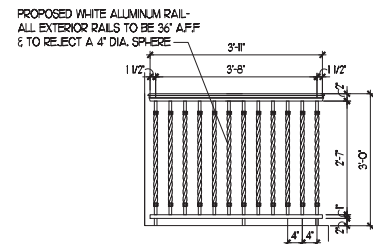
RAIL 2 (MEZZANINE) NORTH SIDE
1/2" = 1'-0"



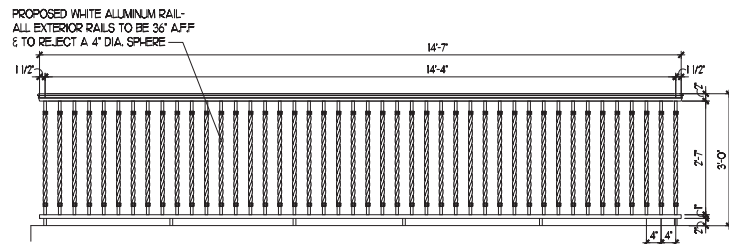
RAIL 3 (MEZZANINE) NORTH SIDE
1/2" = 1'-0"



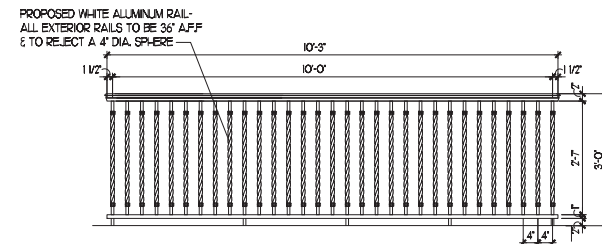
RAIL 3 (MEZZANINE) WEST SIDE
1/2" = 1'-0"



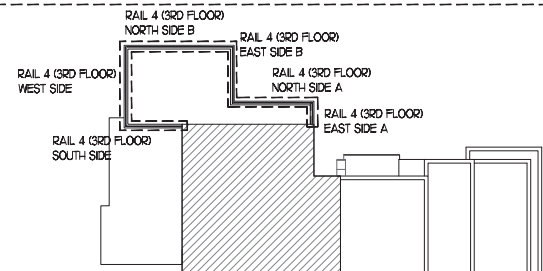
RAIL 4 (3RD FLOOR) EAST SIDE A
1/2" = 1'-0"



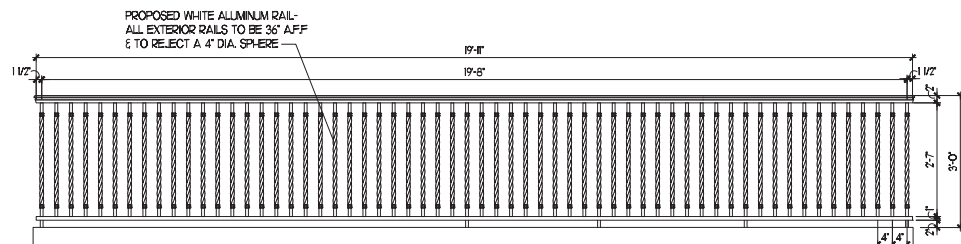
RAIL 4 (3RD FLOOR) NORTH SIDE A
1/2" = 1'-0"



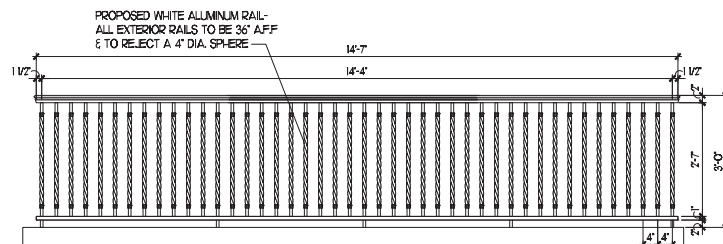
RAIL 4 (3RD FLOOR) EAST SIDE B
1/2" = 1'-0"



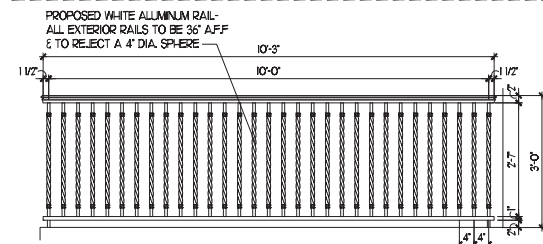
RAILING LOCATION PLAN - 3RD FLOOR
1/16" = 1'-0"



RAIL 4 (3RD FLOOR) NORTH SIDE B
1/2" = 1'-0"



RAIL 4 (3RD FLOOR) WEST SIDE
1/2" = 1'-0"



RAIL 4 (3RD FLOOR) SOUTH SIDE
1/2" = 1'-0"