



DELRAY BEACH CRA
COMMUNITY REDEVELOPMENT AGENCY

CITY OF DELRAY BEACH CRA OFFICIALS

CHAIR VICE CHAIR DEPUTY VICE-CHAIR TREASURER	SHIRLEY ERVIN JOHNSON ANGIE GRAY JULI CASALE BILL BATHURST	BOARD MEMBER/COMMISSIONER BOARD MEMBER/COMMISSIONER BOARD MEMBER/COMMISSIONER BOARD MEMBER/COMMISSIONER	RYAN BOYLSTON KELCEY CORDELL BROOKS ADAM FRANKEL SHELLY PETROLIA
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CITY OF DELRAY BEACH

POMPEY PARK REC CENTER

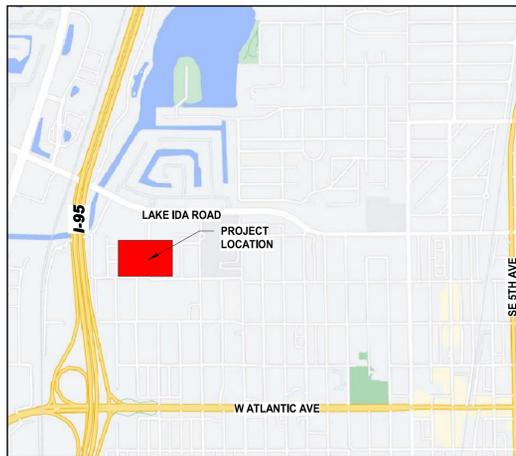
1101 NW 2nd ST. DELRAY BEACH
FLORIDA 33444

VOLUME 1



CITY OF DELRAY BEACH OFFICIALS

MAYOR VICE-MAYOR DEPUTY VICE-MAYOR	SHELLY PETROLIA ADAM FRANKEL JULI CASALE	COMMISSIONER COMMISSIONER CITY ENGINEER	RYAN BOYLSTON BILL BATHURST PATRICK FIGURELLA, P.E.
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1101 NW 2ND ST DELRAY BEACH
Scale: N.T.S.

PROJECT LEGAL DESCRIPTION

THE EAST HALF OF THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) AND THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 17, TOWNSHIP 46 SOUTH, RANGE 43 EAST, LESS ROAD RIGHT-OF-WAY.



CARTAYA & ASSOCIATES ARCHITECTS, P.A.

2400 E. COMMERCIAL BLVD. SUITE 201 FT. LAUDERDALE, FLORIDA 33308 PH: 954.771.2724

[ARCHITECTURE]



MILLER LEGG

5747 N ANDREWS WAY FT. LAUDERDALE, FL 33309 PH: 954.436.7000

[CIVIL ENGINEERING, SURVEYING, LANDSCAPING, TRAFFIC ENGINEERING]



CES CONSULTING ENGINEERING SERVICES

2937 W CYPRESS CREEK RD SUITE 102, FT. LAUDERDALE, FL 33309 PH: 954.990.0556

[MECHANICAL, ELECTRICAL, PLUMBING, & FIRE PROTECTION]



MASTER CONSULTING ENGINEERS

5523 WEST CYPRESS STREET SUITE 200 TAMPA, FL 33607 PH: 954.210.7671

[STRUCTURAL]



COUNSILMAN-HUNSAKER

10733 SUNSET OFFICE DR. SUITE 400 SAINT LOUIS, MO 63127 PH: 314.416.2083

[AQUATIC ENGINEERING]



KIMLEY-HORN



8201 PETERS ROAD SUITE 2200 PLANTATION, FL 33324 PH: 954.990.0299

[TRAFFIC ENGINEERING]



S20 KITCHEN CONSULTANTS | PLANNERS

PH: 224-717-1555

[KITCHEN PLANNING]



DPR CONSTRUCTION

PH: 954-991-6200

[COST ESTIMATING]



2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
ARB4371
2022.07.25
16-23-23-0400'
AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL, 33444

REVISIONS:
2 07-16-2022 SPRAB REVIEW

TITLE:
VOLUME 1 COVER

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO.:
2122

SHEET:
GN000.1

SPRAB SUBMITTAL 07-16-2022

INDEX OF DRAWINGS - SPRAB SUBMITTAL					
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GN002	CODE ANALYSIS, BUILDING DATA, & ABBREVIATIONS	05-15-2022		2	07-16-2022
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AS403	SHELTER AND RESTROOM PLANS	05-15-2022		1	05-15-2022
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AA200.2	RENDERING	05-15-2022			
AA200.3	BUILDING COLOR SAMPLES AND FINISHES	05-15-2022			
AS401C	POOL CABANAS COLOR ELEVATIONS & RENDER	05-15-2022			
AS403C	SHELTER & RESTROOM COLOR ELEVATIONS AND RENDER	05-15-2022			
AS404C	DUGOUT COLOR ELEVATIONS & RENDER	05-15-2022			
AS407C	PAVILION COLOR ELEVATIONS & RENDER	05-15-2022			
SG101	POMPEY PARK COMMUNITY CENTER & COMPLEX SIGNAGE	05-15-2022			



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Juan Justiniano
ARB4371
2022.07.25
16:23:39-0400'

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:
2 07-16-2022 SPRAB REVIEW

TITLE:
SPRAB DRAWING INDEX

DATE: 07/14/22
DRAWN BY: CC, EE
CHECKED BY: JJ, JS

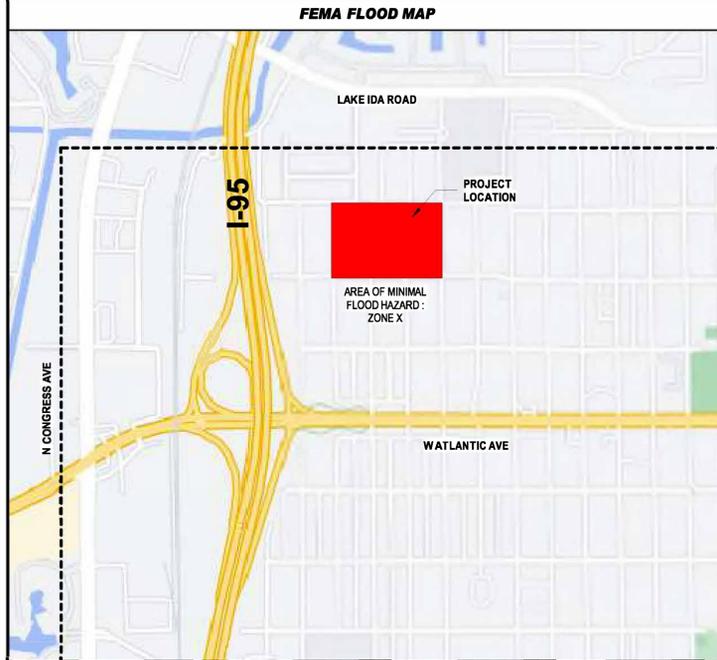
JOB NO:
2122

SHEET:
GN-001

SPRAB SUBMITTAL 07-16-2022

GENERAL NOTES

- 1. WHERE REQUIRED FOR NEW WORK, PREPARE EXISTING CONDITION TO RECEIVE NEW WORK.
2. ANY DISRUPTION OR INTERRUPTION OF EXISTING UTILITIES TO OTHER BUILDINGS OR FACILITIES IN THE AREA SHALL BE COORDINATED WITH THE OWNER ONE WEEK IN ADVANCE OF DISRUPTION. UTILITIES SHALL BE RESTORED IMMEDIATELY.
3. DUE TO THE NATURE OF WORK INVOLVED IN RENOVATIONS, UNFORESEEN CONDITIONS MAY ARISE DURING CONSTRUCTION. ANY UNFORESEEN CONDITION THAT AFFECTS THE PROGRESS OF THE WORK SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT AND OWNER FOR REVIEW AND RESOLUTION.
4. GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE LAWS, CODES, REGULATIONS AND BEST STANDARDS OR PRACTICE AND SAFETY.
5. EXISTING CONDITIONS HAVE BEEN DRAWN FROM LIMITED FIELD MEASUREMENTS AND OBSERVATIONS. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO EXECUTION OF CONSTRUCTION. NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
6. GENERAL CONTRACTOR SHALL CLEAR PROJECT SITE OF ALL TRASH, RUBBISH AND DEBRIS AT LEAST WEEKLY. DISPOSE OF ALL WASTE MATERIAL IN A LEGAL MANNER. USE OF BUILDING TRASH DUMPSTER IS NOT PERMITTED. GENERAL CONTRACTOR SHALL PROVIDE HIS OWN DUMPSTER.
7. GENERAL CONTRACTOR TO PROVIDE MEASURES TO CONTROL DUST ON THE SITE.
8. SMOKING WITHIN THE BUILDING IS PROHIBITED. SMOKING ON THE BUILDING SITE IS LIMITED TO AREAS SPECIFICALLY DESIGNATED FOR SMOKING.
9. GENERAL CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL SYSTEMS IN AND AROUND THE AREA OF WORK DURING CONSTRUCTION.
10. GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES, SURFACES, FIXTURES, ETC. IN OR AROUND THE WORK AREA THAT ARE TO REMAIN. ANY ITEMS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT NO COST TO OWNER.
11. INSTALL ALL ITEMS IN STRICT ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS AND REVIEWED SUBMITTALS. UPON COMPLETION OF WORK ALL REQUIRED TESTS AND OBTAIN ALL REQUIRED APPROVALS.
12. ACCURATE AS-BUILT DRAWINGS ARE NOT AVAILABLE FOR THIS FACILITY. UTILITIES MAY BE ENCOUNTERED DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 1-800-432-4770 AT LEAST 48 HOURS IN ADVANCE OF ANY EXCAVATION OR UNDERGROUND WORK TO COORDINATE LOCATION OF UNDERGROUND UTILITIES. GENERAL CONTRACTOR SHALL USE GPR (GROUND PENETRATING RADAR) STUDY PERFORMED BY DIGITAL REAL ESTATE ASSET MANAGEMENT, LLC (DREAM) (05/15/46-494) AND DATED 10/11/2020 TO FIELD VERIFY AND LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING UNDERGROUND WORK AT NO ADDITIONAL COST TO OWNER.
13. ALL WORK REQUIRED TO MOVE, RELOCATE AND OR RE-INSTALL EXISTING UNDERGROUND UTILITIES MUST BE INCLUDED IN THE BASE BID. NO ADDITIONAL COST SHALL BE APPROVED FOR THIS WORK.
14. BUILDINGS ADJACENT TO WORK AREA WILL BE OCCUPIED. CONDUCT CONSTRUCTION WORK SO OPERATIONS OF OCCUPIED BUILDINGS WILL NOT BE DISRUPTED.
15. MAINTAIN PROTECTED ACCESS TO EXISTING WALKWAYS, EXITS, OR OTHER FACILITIES USED BY OCCUPANTS OF OTHER BUILDINGS.
16. ERECT TEMPORARY PROTECTION SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS AT AREAS REQUIRING PROTECTION FOR PEDESTRIANS.



FLORIDA APPROVED EXTERIOR COMPONENTS & CLADDING PRODUCTS LISTING. Table with columns: CATEGORY, SUB CATEGORY, MATERIAL, APPLICANT, DESCRIPTION, APPROVAL NUMBER.

PARKING TOTAL CALCULATION TABLE

Table listing area function, number, name, and area for various rooms like Banquet Hall, Business, Gymnasium, Meeting, etc.

Table showing site play fields, courts/pools, basketball courts, tennis courts, baseball fields, and pools with their respective quantities and areas.

NOTE: IN ADDITION TO NOTE ALL LOCATED PARKING 256, CIVIC GREEN LAWN WILL BE HAVE ACCESS TO BE USE FOR OVERFLOW PARKING IF NEED DURING SPECIAL EVENTS. ADDITIONAL MINIMUM 120 STANDARD PARKING 5x18'.

PARKING COUNT DEVELOPMENT REGULATIONS USED FOR PARKING CALCULATION INCLUDE: CITY OF DELRAY BEACH TENNIS COURTS - 4 PARKING SPACES PER COURT...

CITY OF ST PETERSBURG (USE PERMISSIONS AND PARKING REQUIREMENTS MATRIX AND ZONING MATRIX) BASEBALL FIELDS - 10 PARKING SPACES PER ATHLETIC FIELD OR LARGE GROUP COURT...

INTERIOR ENVIRONMENT (A) CH. 12

VENTILATION (A) CH. 1203 1203.2 VENTILATION REQUIRED: THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.

PLUMBING SYSTEMS - (A) CH.29

POOL AREA REQUIREMENTS ARE COVERED BY BUILDING PER 454.1.6.1.1 *THE FIXTURE REQUIREMENT FOR THE BUILDING SHALL BE DETERMINED AND IF IT EXCEEDS THE REQUIREMENT IN TABLE 454.1.6.1.1 THEN THE BUILDING REQUIREMENT SHALL REGULATE THE FIXTURE COUNT. OTHERWISE THE FIXTURE COUNT SHALL BE BASED ON THE REQUIREMENT FOR THE POOL. UNDER NO CIRCUMSTANCES SHALL THE FIXTURE COUNTS BE CUMULATIVE.

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (A) TABLE 2902.1

Table with columns: OCC. TYPE, OCC. LOAD, WATER CLOSETS, LAVATORIES, DF, SERVICE SINK. Includes rows for M-802, W-802, B**.

*ASSEMBLY OCCUPANT LOAD IS DETERMINED BY TOTAL OCCUPANT LOAD OF ALL ROOMS MARKED 'ASSEMBLY' PLUS FIXED SEATING AMOUNT. **BUSINESS OCCUPANT LOAD IS DETERMINED BY SUBTRACTING ASSEMBLY OCCUPANT LOAD FROM TOTAL OCCUPANT LOAD (1ST FLOOR + 2ND FLOOR).

FLOOR DRAINS (D) CH. 412 - APPLICABLE INTERCEPTORS / SEPARATORS (D) CH. 1003 GREASE - APPLICABLE OIL - NR LAUNDRY - NR

THERMAL ENVELOPE (E) TABLE C402.1.3

CLIMATE ZONE (E) TABLE C301.1 OPAQUE THERMAL ENVELOPE REQUIREMENTS (E) TABLE C402.1.3 ROOF: R-25CI ROOF: R-57CI ROOF: R-30 SLAB ON GRADE FLOORS: NR FENESTRATION THERMAL ENVELOPE REQUIREMENTS (E) TABLE C402.4 FIXED FENESTRATION: U-0.50 OPERABLE FENESTRATION: U-0.65 ENTRANCE DOORS: U-0.83 SHGC: U-0.25

FIRE AND SMOKE PROTECTION FEATURES - (A) CH.7

EXTERIOR WALLS - (A) CH.705 PROJECTIONS SHALL NOT EXTEND CLOSER TO FSD THAN (A) TABLE 705.2.20FT FIRE-RESISTANCE RATINGS - (A) CH. 705.5. N / A MAXIMUM AREA OF EXTERIOR WALL BASED ON FIRE SEPARATION DISTANCE (A) TABLE 705.8 GREATER THAN 30' - NO LIMIT

VERTICAL SEPARATION OF OPENINGS (A) CH. 705.8.5: N/A FIRE WALLS (A) CH. 708: N/A FIRE BARRIERS (A) CH. 707, (G) 8.3: N/A

FIRE PARTITIONS (A) CH. 708: N/A SMOKE BARRIERS (A) CH. 709 (G) 8.5: N/A SMOKE PARTITIONS (A) CH. 710 (G) 8.4: N/A FLOOR AND ROOF ASSEMBLIES (A) CH. 711: N/A VERTICAL OPENINGS (A) CH. 712 (G) 8.6: N/A FIRE-RESISTANCE RATING OF SHAFTS (A) CH. 713 (G) 8.6.5: 1 HR ELEVATOR LOBBIES (A) CH. 730: N/A CONCEALED SPACES (A) CH. 718: N/A FIRE AREAS (A) CH. 707.3.10: N/A

INTERIOR FINISHES - (A) CH.7

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (TABLE 803.11) OCCUPANCY EXISTING ELEMENTS CORRIDORS ROOM & ENCLOSED SPACES A-3 A B B>300; C,300

FIRE PROTECTION SYSTEMS - (A) CH.9; (G) 12

AUTOMATIC SPRINKLER SYSTEMS - (A) CH.903 903.2.1.3 AUTOMATIC SPRINKLER SYSTEMS REQUIRED IN A-3 OCCUPANCY SPRINKLER SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE TO NFPA 13 (A) 903.3.1.1 PORTABLE FIRE EXTINGUISHERS - WHERE REQUIRED (A) 906 A-3 - CLASS A, ORDINARY HAZARD KITCHEN - CLASS B, HIGH HAZARD CLASS A, ORDINARY HAZARD FIRE EXTINGUISHER REQUIREMENTS RATED: 2A MAX. FLOOR AREA PER UNIT OF A = 1,500 SF MAX. FLOOR AREA FOR EXTINGUISHER = 1,120 SF MAX. TRAVEL DISTANCE = 75 FT

FIRE ALARM AND DETECTION SYSTEMS - WHERE REQUIRED (A) 907.2 A-3 - OL-1000 INSTALLED PER IBC AND NFPA 72

MEANS OF EGRESS - (A) CH.10; (G) TABLE 7.3.1.2

OCCUPANT LOAD (A) TABLE 1004.1.2: SEE LIFE SAFETY SHEET LS110 AND LS120 FOR FLOOR PLAN SHOWING OCCUPANT LOADS FOR EACH ROOM MEANS OF EGRESS SIZING (A) CH. 1005: 0.3' X OL FOR STAIRS AND 0.2' X OL FOR OTHER EGRESS COMPONENTS. SEE LIFE SAFETY SHEETS LS110 AND LS120 FOR FLOOR PLAN SHOWING STAIRS AND EGRESS COMPONENTS AND WIDTH BE REQUIRED AND WIDTH PROVIDED

MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE (A) TABLE 1006.2.1; (G) 12.2.5 A-3 75' (WITH SPRINKLER SYSTEM) < 50 OCCUPANTS; IF > 50 OCCUPANTS THEN 20'

ACCESSIBLE MEANS OF EGRESS (A) CH. 1009 NEED (1) ACCESSIBLE MEANS OF EGRESS / SPACE MIN. OR (2) WHEN TWO EXITS ARE REQUIRED EXIT TRAVEL DISTANCE (A) TABLE 1017.2; (G) 12.2.6 A-3 250' (WITH SPRINKLER SYSTEM) CORRIDOR FIRE-RESISTANCE RATING (A) TABLE 1020.1 A-3 OL > 30 = 0 HR (WITH SPRINKLER SYSTEM) MINIMUM CORRIDOR WIDTH (A) TABLE 1020.2 ANY FACILITIES NOT LISTED BELOW - 44'

MEANS OF EGRESS (A) CH. 10 A-3 20' (WITH SPRINKLER SYSTEM)

ACCESSIBILITY (C)

SCOPING REQUIREMENTS (C) CH. 2 FACILITY AND SITE REQUIRED TO BE ACCESSIBLE ACCESSIBLE ROUTE (C) CH. 206 206.2.1 SITE ARRIVAL POINTS: 1 REQUIRED 206.2.2 CONNECTED SPACES: ALL SPACES ARE REQUIRED TO BE ACCESSIBLE AND CONNECTED BY AN ACCESSIBLE ROUTE ACCESSIBLE ENTRANCES (C) CH. 206.4 206.4.1 PUBLIC ENTRANCES: AT LEAST 60% OF ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE OTHER FEATURES AND FACILITIES (C) CH. 213 213.2 TOILET AND BATHING FACILITIES: ONE TYPE OF EACH FIXTURE, ELEMENT, CONTROL, OR DISPENSER SHALL BE ACCESSIBLE 213.3.1 WATER CLOSET COMPARTMENT: ONE WC MUST BE ACCESSIBLE. IF WC + URINALS > 6, PROVIDE ONE AMBULATORY ACCESS WC 213.3.4 LAVATORIES: AT LEAST 5%, BUT NOT LESS THAN ONE SHALL BE ACCESSIBLE 212 KITCHENS AND KITCHENETTES: SHALL BE ACCESSIBLE

SCOPE OF WORK

THE SCOPE OF WORK INCLUDES A NEW 2 STORY 54,191 G.S.F. ASSEMBLY BUILDING, TYPE IIB CONSTRUCTION. THE STRUCTURE IS COMPOSED OF LOAD BEARING EXTERIOR CMU WALLS, COMPOSITE FLOOR AND ROOF DECKS, AND INTERIOR LIGHT GAUGE METAL FRAMED WALLS. THE PROJECT INCLUDES ALL NEW MECHANICAL, PLUMBING, ELECTRICAL, AVIT, FIRE PROTECTION AND ALARM SYSTEMS. THE TOTAL BUILDING HEIGHT MEASURED FROM B.F.E TO ROOF IS 38'-1"

APPLICABLE CODES

- 2020 (A) FLORIDA BUILDING CODE - BUILDING, 7TH EDITION
2020 (B) FLORIDA BUILDING CODE - EXISTING, 7TH EDITION
2020 (C) FLORIDA BUILDING CODE - ACCESSIBILITY, 7TH EDITION
2020 (D) FLORIDA BUILDING CODE - PLUMBING, 7TH EDITION
2020 (E) FLORIDA BUILDING CODE - ENERGY, 7TH EDITION
2020 (F) FLORIDA FIRE PREVENTION CODE, 7TH EDITION
2020 (G) FLORIDA FIRE PREVENTION CODE - LIFE SAFETY, 7TH ED.
2020 (H) FLORIDA BUILDING CODE - MECHANICAL, 7TH EDITION
2020 (J) NATIONAL ELECTRIC CODE
2020 (K) FLORIDA BUILDING CODE - FUEL GAS, 7TH EDITION

TYPE OF CONSTRUCTION

CONSTRUCTION TYPE II-A SPRINKLERED

THRESHOLD BUILDING - (A) CH. 202

YES

HIGH RISE BUILDING - (A) CH. 403

N/A

USE AND OCCUPANCY CLASSIFICATION - (A) CH. 3; (F) CH. 6; (G) CH. 12

PRIMARY OCCUPANCY : A-3 / B SEPARATED MIXED-USE ACCESSORY OCCUPANCY : ADJACENCIES A-3 / B

FIRE SEPARATION - (A) TABLE 508.4; (F) TABLE 6.1.14.4.1 N/A FOR NON-SEPARATED MIXED-USE BUILDINGS

SPECIAL DETACHED REQUIREMENTS BASED ON USE & OCCUPANCY - (A) CH.4

SECTION 454: SWIMMING POOLS AND BATHING PLACES; SECTION 466: DAY CARE

FIRE RATING REQUIREMENTS

Table with columns: OCCUPANCY, CONST. TYPE, FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS (TABLE 601), TYPE IIA. Lists requirements for primary structural frame, bearing walls, etc.

FIRE-RESISTANCE OF EXTERIOR WALLS - (A) TABLE 602

A-3 0

COLUMN PROTECTION - (A) CH. 704.2: N/A

PROTECTION OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS - (A) CH. 704.3: N/A

EXTERIOR STRUCTURAL MEMBERS - (A) CH. 704.10: N/A

GENERAL BUILDING HEIGHTS AND AREAS - (A) CH.5

ALLOWABLE HEIGHT, STORES, AND AREA: OCCUPANCY HEIGHT (FT) (A) STORY (A) AREA (SF) (A) TABLE: 504.3 TABLE 504.4 506.2.3

ACTUAL HEIGHT, STORES, AND AREA: OCCUPANCY HEIGHT (FT) STORY AREA (SF) A-3 37'-10" 2 LEVEL 1 33,192 LEVEL 2 20,999

ALLOWABLE TOTAL AREA = 46500 S.F. (FBC TABLE 506.2) ALLOWABLE FLOOR AREA INCREASE FOR FULLY SPRINKLERED BUILDINGS EQUATION IS A[a] = (A[a] + (NS x [f]) x S[a] (FBC 506.2.3)

A[a] = 46,500 NS = 15,500 S[a] = 1 [f] = ((F/P) - 0.25) x W/30 (FBC 506.3.3) = .638 F = 861' - 11" P = 970' - 2" W = 30

ALLOWABLE AREA = (46500 + (15500 x .638) x 1) = 56,389 SF

ABBREVIATIONS

Table of abbreviations for construction terms like AB, ACT, AGP, AHJ, ALT, APPR, ARCH, B.O., BLDG, BM, BOTT, BRG, C/C, CAD, CH, CIP, CJ, CL, CLR, CMU, CQL, CONC, COND, CONFIG, CONT, CONTR, CTR, DBL, DET, DIA, DIM, DN, DN, DR, DWG, EA, EF, EJ, EL, ELEC, ELEV, EQ, EW, EXP, FD, FDVA, FIN, FLR, FNDN, FOM, FRMG, FS, FSD, FT, FTG, GA.

ABBREVIATIONS

Table of abbreviations for materials and construction methods like GALV, GWB, HC, HDG, HK, HORIZ, HP, HS, I.T., J, INFO, INT, JST, JT, KI, L, LB, LLH, LLV, LONG, LP, LW, LWIC, MAS, MATL, MAX, MECH, MEP, MFR, MIN, MISC, MO, MR, MTL, N/A, NAVISWORKS, NIC, NIS, NTS, O/C, OD, OH, OL, OPNG, P.D.T., PAF, PART, PL, PLF, PSF, PSI, PT, R, RD, REIN, REM, REQD, REV.

ABBREVIATIONS

Table of abbreviations for structural and mechanical terms like RM, RO, RCMT, RVT, S.A.D., S.E.D., S.M.D., S.M.S., SCHED, SECT, SIM, SL, SOG, SP, SS, STD, STL, STRUC, SW, T, T/O, TB, TC, TEMP, TO, TOC, TOS, TR, TRANS, TYP, U.N.O., VE RT, VFI, VFA, W/F, W/F, W/F.



200 E COMMERCIAL BLVD. SUITE 201 FT. LAUDERDALE, FLORIDA 33308 954-771-2724

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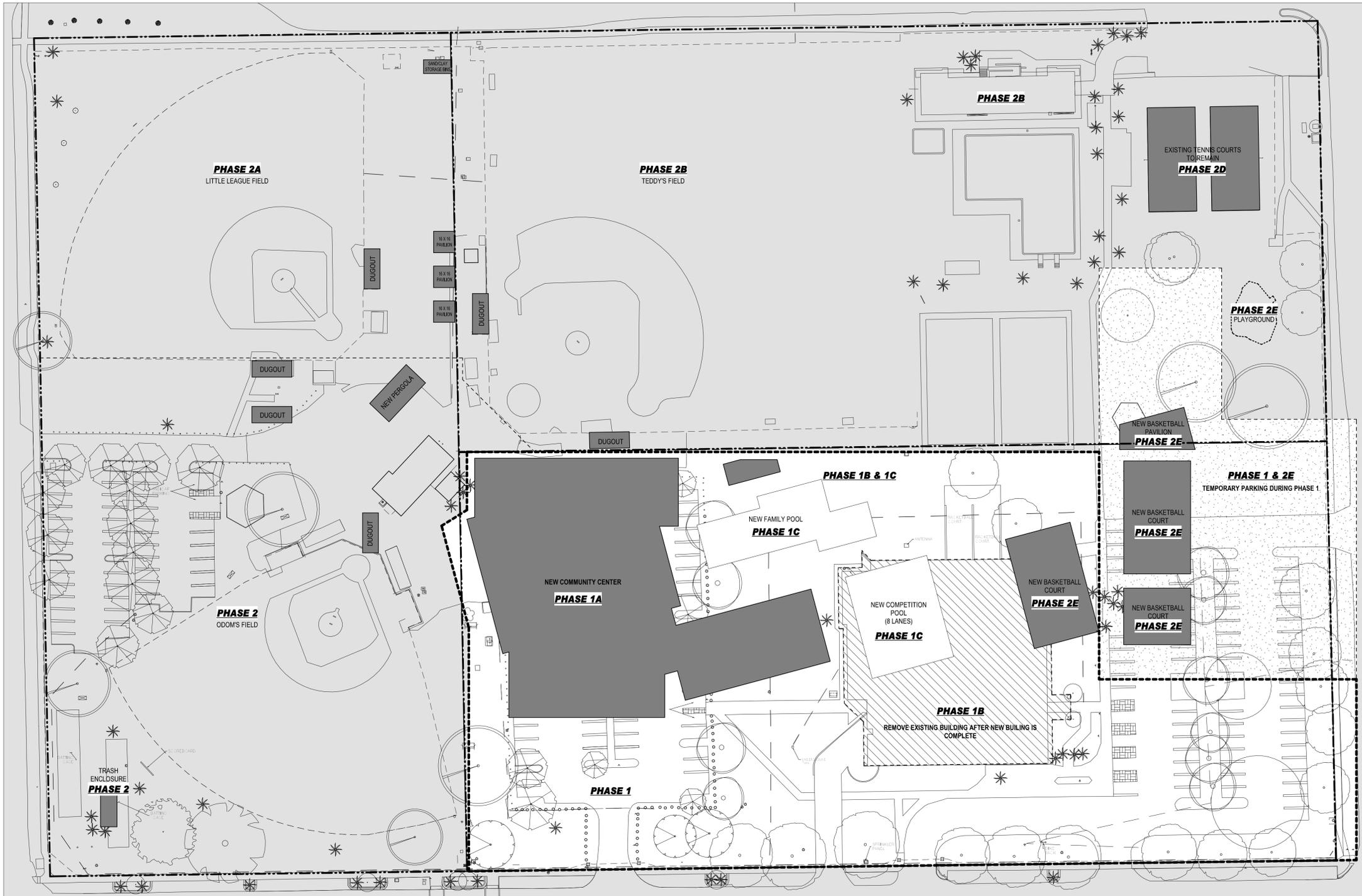
CITY OF DELRAY BEACH POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH FL 33444

REVISIONS: 1. 06-15-2022 SPRINK REVIEW 2. 07-05-2022 SPRINK REVIEW

DATE: July 15, 2022 DRAWN BY: CC, EE, LS CHECKED BY: JJ, JS

TITLE: CODE ANALYSIS, BUILDING DATA, & ABBREVIATIONS

JOB NO: 2122 SHEET: GN002



PHASING PLAN
Scale: 1" = 40'-0"

- PHASING GENERAL NOTES**
- PHASE 1**
 - FENCE OFF AREA OF DEMOLITION, CONSTRUCTION SITE PERIMETER, DESIGNATE TEMP PARKING AREA.
 - INSTALL ALL APPLICABLE SIGNS.
 - PREPARE AND SECURE AREA FOR TEMPORARY PARKING.
 - PHASE 1A**
 - DEMOLITION OF AREA OF THE PROPOSED FACILITY FAC LOCATION, AND MAIN ENTRY.
 - BUILDING OF NEW ADMIN FACILITY, AND SURROUNDING ENTRY COURTS.
 - MOVE ALL FROM EXISTING FACILITY TO NEW BUILDING.
 - PHASE 1B**
 - DEMO EXISTING FACILITY MAIN BUILDING.
 - DEMO OF PARKING, ACCESS MAIN ENTRY.
 - PHASE 1C**
 - CONSTRUCTION OF MONUMENT SIGNS, PARKING, ADJACENT SURROUNDING OF NEW FACILITY AND POOL.
 - PHASE 2**
 - FENCE PERIMETER AND PLACE SIGNS IN PROPOSED CONSTRUCTION AREAS FOR THIS PHASE.
 - DEMOLITION AND SITE PREP FOR CONSTRUCTION OF ODOM'S FIELD.
 - CONSTRUCTION OF ODOM'S FIELD, TRASH ENCLOSURE AND PARKING AREAS.
 - PHASE 2A**
 - FENCE PERIMETER AND PLACE SIGNS IN PROPOSED CONSTRUCTION AREAS FOR THIS PHASE.
 - DEMOLITION ALL APPLICABLE AND SITE PREP FOR RE-CONSTRUCTION OF LITTLE LEAGUE FIELDS.
 - PHASE 2B**
 - FENCE PERIMETER AND PLACE SIGNS IN PROPOSED CONSTRUCTION AREAS FOR THIS PHASE.
 - DEMOLITION ALL NECESSARY AND CONSTRUCTION OF TEDDY'S FIELD.
 - PHASE 2C**
 - DEMOLITION OF EXISTING POOLS, PUMP BUILDING, BASKETBALL COURTS AND APPLICABLE AREAS.
 - PHASE 2D**
 - RE-CONSTRUCTION OF GENERAL AREAS, INTERNAL WALKWAYS, PICNIC PAVILIONS AND GREEN SPACE CIVIC LAWN AREA.
 - REMOVAL OF TENNIS COURTS SURFACE
 - RESURFACE AND UPGRADES TO TENNIS COURT
 - REPAIRS TO EXISTING CONCESSION BLDG
 - PHASE 2E**
 - DEMO PLAYGROUND, OLD TEMP PARKING DESIGNATED AREAS AND STAGING AREAS FOR CONSTRUCTION.
 - RE CONSTRUCTION OF PARKING AREA, NEW BASKETBALL COURTS, BASKETBALL PAVILIONS, PARKING AND REMAINING ITEMS



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PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

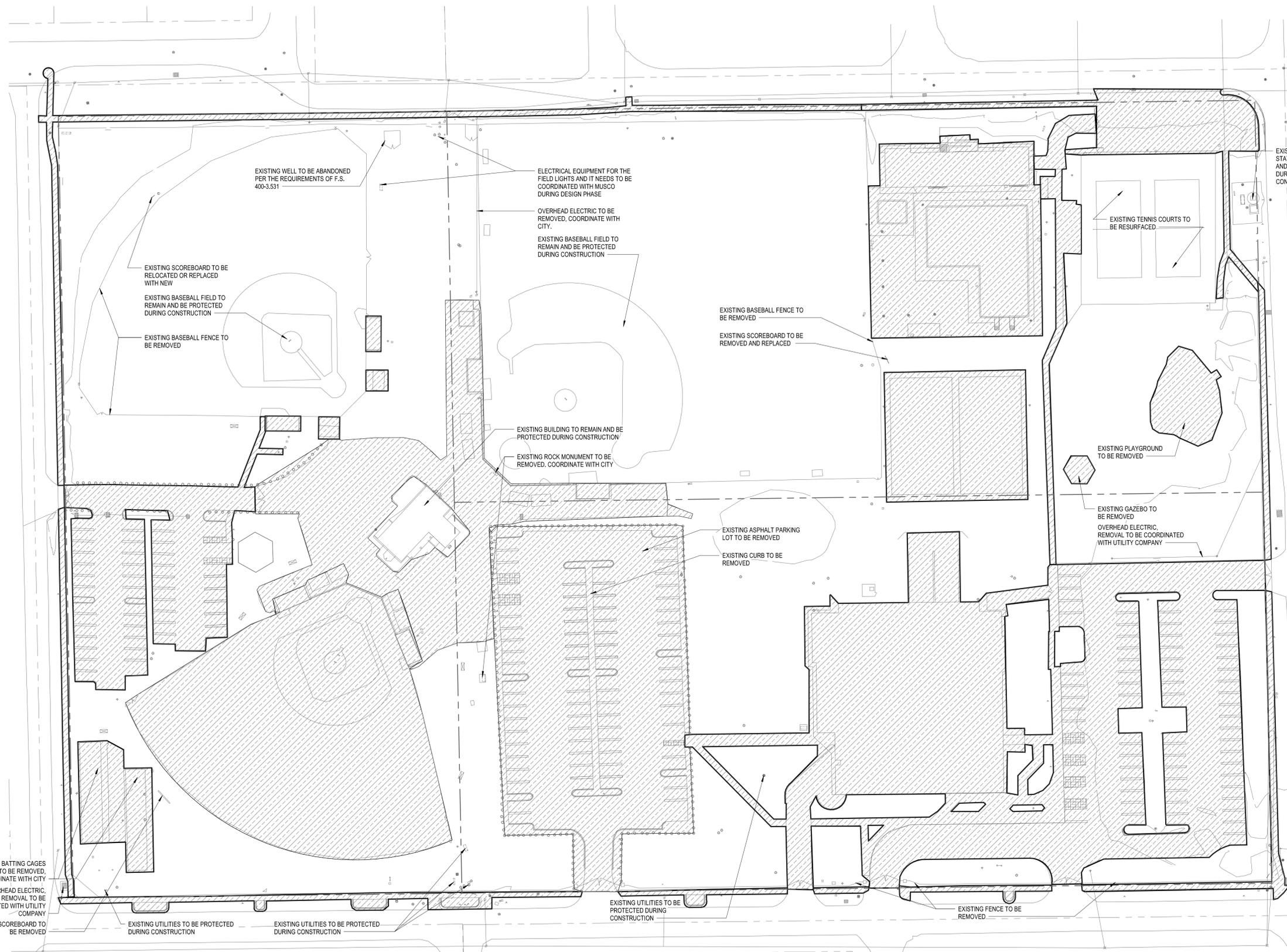
REVISIONS:

TITLE: PHASING PLAN
DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO: 2122
SHEET: PH100

SPRAB SUBMITTAL 07-16-2022

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DEMOLITION LEGEND

PAVEMENT, BUILDINGS, BALL PARKS, STRUCTURES, AND CONCRETE PAD TO BE DEMOLISHED

NOTE: REFERENCE LANDSCAPE REMOVAL SHEET FOR ADDITIONAL INFORMATION

GENERAL DEMOLITION NOTES

- THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL VISIT THE SITE TO INSPECT EXISTING CONDITIONS AND FAMILIARIZE HIMSELF WITH THE SITE CONSTRAINTS. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO PROPERLY COMPLETE ALL THE WORK INDICATED IN THE CONTRACT DOCUMENTS.
- NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK-THRU OF THE PROJECT PRIOR TO SUBMITTING A BID IN ORDER TO IDENTIFY POSSIBLE CRITICAL ITEMS WHICH ARE NOT OR INCORRECTLY ADDRESSED. REQUIRING CLARIFICATION. FAILURE OF BIDDERS TO MAKE REQUIRED VISITATIONS AND/OR INVESTIGATIONS TO INFORM THEMSELVES FULLY OF EXISTING CONDITIONS, AND TO INCLUDE IN THEIR PROPOSALS A SUM SUFFICIENT TO COVER ALL POSSIBLE FIELD CONDITIONS, WILL NOT IN ANY WAY ENTITLE THEM TO ANY EXTRA CHARGES OVER AND ABOVE THEIR ORIGINAL PROPOSALS.
- CONTRACTOR SHALL VIDEOTAPE EXISTING CONDITIONS OF ADJACENT CONSTRUCTION AND SITE IMPROVEMENTS SPECIALLY AREAS THAT MIGHT BE CONSTRUED AS DAMAGE CAUSED BY BUILDING DEMOLITION OPERATIONS. SUBMIT VIDEOTAPE BEFORE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL PROVIDE DURING DEMOLITION OPERATIONS ALL SAFETY MEASURES AND FEATURES AS REQUIRED BY THE APPLICABLE CODES, RULES AND REGULATIONS HAVING JURISDICTION OVER THE PROJECT.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS REQUIRED TO PROTECT ALL UNDERGROUND OR OTHER CONCEALED UTILITIES, AND SHALL INSPECT CEILINGS AND CHASES TO ASSURE PROPER IDENTIFICATION OF EXISTING UTILITIES PRIOR TO CUTTING, PATCHING, CAPPING, ETC., AS REQUIRED AND INDICATED ON THE CONSTRUCTION DOCUMENTS.
- THE DEMOLITION WORK SHALL INVOLVE INTERVENTIONS IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK, INCLUDING WORK ABOVE AND/OR BELOW THE FLOOR LEVEL WITHIN THE SCOPE. IT SHALL REQUIRE WORK INVOLVING REMOTE UTILITY LINES (FIRE SPRINKLERS, PLUMBING, MECHANICAL, ELECTRICAL, COMMUNICATIONS, ETC.). ANY SUCH WORK SHALL BE INCLUSIVE OF ALL STRUCTURES, UTILITIES, FINISHES AND EQUIPMENT REQUIRED TO RESTORE THE AREA TO FULLY OPERATIONAL CONDITIONS IN COMPLIANCE WITH ALL APPLICABLE BUILDING AND SAFETY CODE REQUIREMENTS, AND TO MEET OWNER'S APPROVAL. ALL WORK AS DESCRIBED IN THIS NOTE SHALL BE INCLUDED AS PART OF THE BASE CONTRACT PRICE.
- PRIOR TO COMMENCING DEMOLITION WORK IN ANY DESIGNATED AREA, CONTRACTOR SHALL VISIT THE DESIGNATED AREA AND BECOME FAMILIARIZED WITH THE CONDITIONS OF THE SPACE. CONTRACTOR SHALL REVIEW THE SCOPE OF WORK TO BE PERFORMED AND SHALL IMMEDIATELY BRING TO THE ARCHITECT'S ATTENTION ANY DISCREPANCIES OR CONDITIONS WHICH IN THE CONTRACTOR'S OPINION MAY AFFECT THE EXECUTION OF THE WORK.
- CONTRACTOR SHALL VERIFY WITH THE COMPLETE SET OF CONSTRUCTION DRAWINGS ALL ITEMS TO BE REMOVED AND/OR RELOCATED.
- PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/OR INSTALLATION OF NEW WORK AND/OR UTILITIES. AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW SCHEDULED FINISHES.
- LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITIES SERVING BUILDING TO BE DEMOLISHED.
- ANY UTILITY LINES THAT ARE BROKEN OR DAMAGED DURING DEMOLITION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL CHARGE TO THE CONTRACT PRICE OR SHALL BE REPAIRED BY THE OWNER AT THE CONTRACTOR'S EXPENSE.
- EXISTING SURFACES SHALL BE PREPARED TO RECEIVE NEW SCHEDULED FINISHES BY GRINDING, SCRAPING, FILLING, PATCHING, LEVELING, ETC. AS REQUIRED.
- CONTRACT DOCUMENTS FOR THE DEMOLITION WORK ARE BASED ON AS-BUILT DRAWINGS PROVIDED BY OWNER. ANY DISCREPANCIES BETWEEN THE WORK DEPICTED IN THE DOCUMENTS AND THE ACTUAL CONDITIONS ENCOUNTERED SHALL BE BROUGHT PROMPTLY TO THE ARCHITECT FOR REVIEW AND CLARIFICATION.
- PROVIDE DUST CONTROL DURING DEMOLITION AND DEBRIS REMOVAL.
- BUILDINGS ADJACENT TO DEMOLITION AREA WILL BE OCCUPIED. CONDUCT BUILDING DEMOLITION SO OPERATIONS OF OCCUPIED BUILDINGS WILL NOT BE DISRUPTED.
- MAINTAIN ACCESS TO EXISTING WALKWAYS, EXITS, OR OTHER FACILITIES USED BY OCCUPANTS OF OTHER BUILDINGS.
- ERECT TEMPORARY PROTECTION SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS AT AREAS REQUIRING PROTECTION FOR PEDESTRIANS.
- DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF SITE.
- REFER TO TECHNICAL SPECIFICATIONS FOR SUSTAINABLE DESIGN (FLORIDA GREEN BUILDING CERTIFICATION) REQUIREMENTS AND CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL REQUIREMENTS.
- PROVIDE AND INSTALL PERMANENT CONSTRUCTION FENCING TO PROVIDE SECURE SITE.
- PROTECT EXISTING STRUCTURES, ADJACENT WALKWAYS, PROPERTIES UTILITIES AND CONSTRUCTION TO REMAIN. ANY DAMAGE OCCURRING DURING DEMOLITION IS TO BE CORRECTED BY THE CONTRACTOR TO MATCH EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- REFER TO DEMOLITION SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION WITH THE 2020 SUPPLEMENTS AND ALL OTHER APPLICABLE LOCAL CODES AND ORDINANCES.

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PROJECT: CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:

TITLE: SITE DEMOLITION PLAN

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO: 2122

SHEET: AD100

SITE DEMOLITION PLAN
Scale: 1" = 40'-0"

SPRAB SUBMITTAL 07-16-2022



SITE PLAN
Scale: 1" = 40'-0"

SITE PLAN LEGEND

- PROPERTY LINE
- MATCH LINE
- ORNAMENTAL ALUMINUM FENCING
- CHAINLINK FENCING
- CHAINLINK FENCING WITH 10'-0" NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS.
- CHAINLINK FENCING WITH 20" NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS.
- BIKE RACK (BY DUMOR, INC. MODEL 125-40)
- COMPACT CAR PARKING SPACE
- ELECTRIC CHARGING STATION PARKING SPACE
- NUMBER OF PARKING SPACES
- SITE PLAN KEYNOTES
- EXISTING PALM TREE TO REMAIN. SEE LANDSCAPING DOCUMENTS
- EXISTING TREE TO REMAIN. SEE LANDSCAPING DOCUMENTS
- CLAY FIELDS
- 4" THICK CONCRETE SIDEWALK, NON-SLIP FINISH
- 4" THICK CONCRETE SLAB (VEHICULAR ACCESS), NON-SLIP FINISH
- GRASS FOR BASEBALL FIELDS, GENERAL REFERENCE LANDSCAPE PLANS.
- POOL DECK, NON-SLIP FINISH
- COMMUNITY CENTER
- NEW STRUCTURES
- 5" CONCRETE SLAB, SCORE PATTERN, NON-SLIP FINISH
- SPORT COURTS
- CLAY. REFERENCE CIVIL SITE PLAN & SHEET AS400
- SPORTS TURF BERMUDA, REFERENCE LANDSCAPE PLANS

ZONING LEGEND

ZONING DISTRICT: OSR (OPEN SPACE RECREATIONAL)
FUTURE LAND USE MAP: CF (COMMUNITY FACILITIES)

FEMA FLOOD ZONE: FLOOD ZONE X (PER SURVEY)
BASE FLOOD ELEVATION (BFE): NA FOR ZONE X

GROSS LOT AREA: 13.83 ACRES
BUILDING FOOTPRINT: 33,192 S.F.

BUILDING HEIGHT: 48'-0" ALLOWED, 38'-4" PROPOSED

MAIN FACILITY BUILDING SETBACKS:
NORTH: 319'-2" PROPOSED
SOUTH: 114'-5" PROPOSED
EAST: 376'-3" PROPOSED
WEST: 318'-3" PROPOSED

PARKING COUNT

ON-SITE PARKING (TYPICAL) = 177
ON-SITE PARKING (COMPACT) = 26
H.C. PARKING = 7
OFF-SITE PARKING = 46

TOTAL NEW PROPOSED PARKING SPACES = 256 SPACES + 120 = 376 TOTAL
OLD EXISTING PARKING = 191 SPACES (185 ADDITIONAL SPACES)

CAR CHARGING STATIONS = 4 UNITS INCLUDED
BIKE RACKS = 14 RACKS (9 BIKE CAPACITY) 126 BIKES

SITE STRUCTURE AREA CALCULATIONS

#	SITE STRUCTURE DESCRIPTION	GROSS AREA (SF)	GROSS AREA 2nd(SF)
1.	MAIN FACILITY STRUCTURE - GRD FLOOR	33,192	
	MAIN FACILITY STRUCTURE - 2ND FLOOR		20,999
2.	EXISTING CONCESSION BUILDING	1,900	
3.	POOL CABANAS	250	
4.	SHELTER & RESTROOMS	284	
5.	PERGOLA	800	
6.	PAVILION 1	256	
7.	PAVILION 2	256	
8.	PAVILION 3	256	
9.	DUGOUT 1	241	
10.	DUGOUT 2	241	
11.	DUGOUT 3	241	
12.	DUGOUT 4	241	
13.	DUGOUT 5	241	
14.	DUGOUT 6	241	
15.	TRASH ENCLOSURE	322	
16.	CLAY STORAGE BINS	209	
TOTAL GROUND FLOOR AREA		39,151 SF	



KEY PLAN

CARTAYA & ASSOCIATES ARCHITECTS P.A.
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1624-17-04007
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CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
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FL 33444
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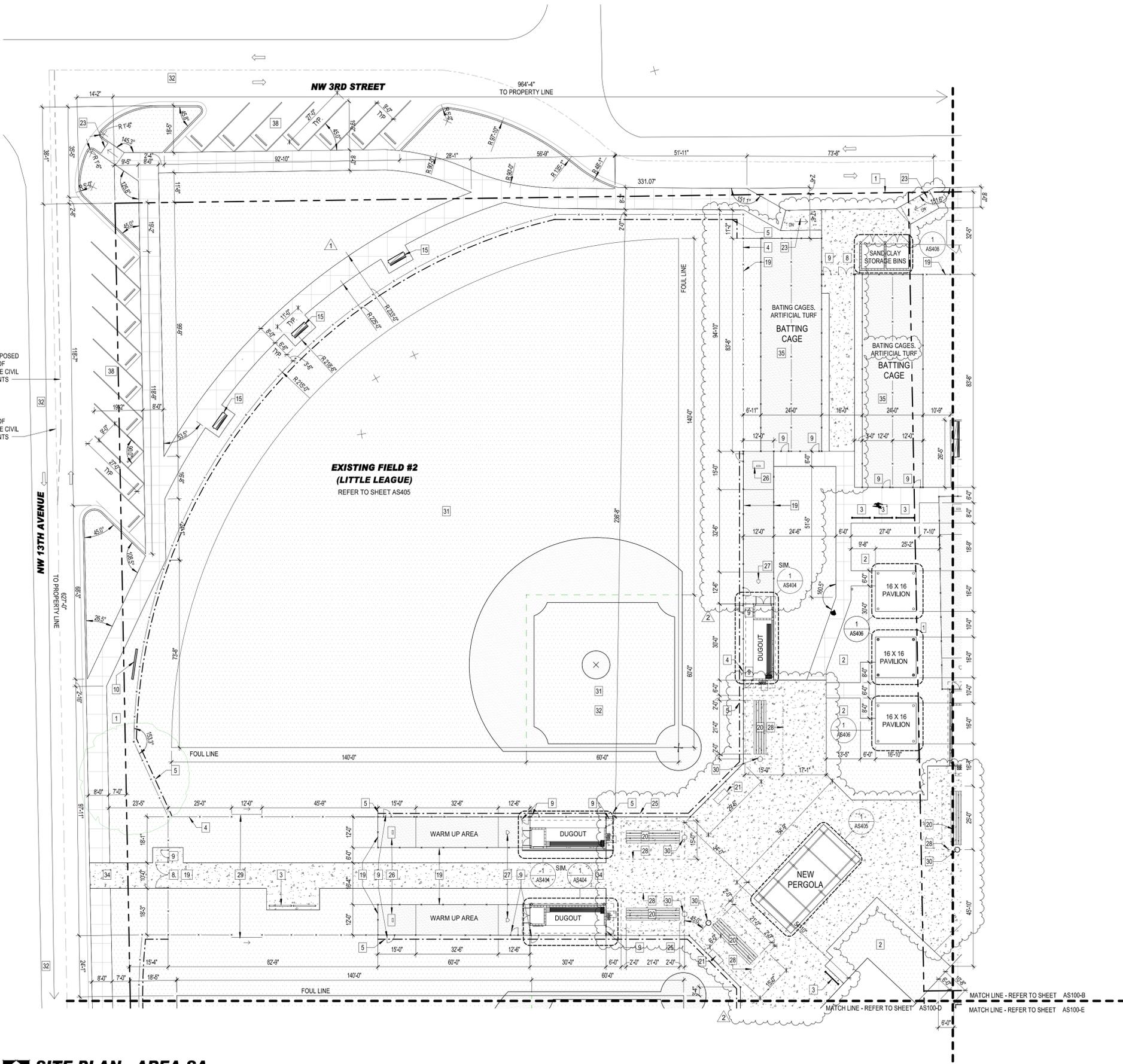
REVISIONS:
1. 06-15-2022 SPRAE REVIEW
2. 07-16-2022 SPRAE REVIEW

TITLE: **SITE PLAN**
DATE: July 15, 2022
DRAWN BY: CC, EE, JS
CHECKED BY: JJ, JS

SHEET: **AS100**

SPRAB SUBMITTAL 07-16-2022

NEW PROPOSED CENTER OF ROAD, SEE CIVIL DOCUMENTS
EXISTING CENTER OF ROAD, SEE CIVIL DOCUMENTS



SITE PLAN - AREA SA
Scale: 1" = 20'-0"

SITE PLAN LEGEND

- PROPERTY LINE
- - - MATCH LINE
- ○ ○ ORNAMENTAL ALUMINUM FENCING
- × × × CHAINLINK FENCING
- CHAINLINK FENCING WITH 10'-0" NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS.
- CHAINLINK FENCING WITH 20" NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS.
- BIKE RACK (BY DUMOR, INC. MODEL 125-40)
- C COMPACT CAR PARKING SPACE
- E ELECTRIC CHARGING STATION PARKING SPACE
- XX NUMBER OF PARKING SPACES
- XX SITE PLAN KEYNOTES
- ★ EXISTING PALM TREE TO REMAIN. SEE LANDSCAPING DOCUMENTS
- EXISTING TREE TO REMAIN. SEE LANDSCAPING DOCUMENTS
- CLAY FIELDS
- 4" THICK CONCRETE SIDEWALK, NON-SLIP FINISH
- 4" THICK CONCRETE SLAB (VEHICULAR ACCESS), NON-SLIP FINISH
- GRASS FOR BASEBALL FIELDS, GENERAL REFERENCE LANDSCAPE PLANS.
- POOL DECK, NON-SLIP FINISH
- COMMUNITY CENTER
- NEW STRUCTURES
- 5' CONCRETE SLAB, SCORE PATTERN, NON-SLIP FINISH
- SPORT COURTS
- CLAY, REFERENCE CIVIL SITE PLAN & SHEET AS400
- SPORTS TURF BERMUDA, REFERENCE LANDSCAPE PLANS

- SITE PLAN KEYNOTES**
1. PROPERTY LINE, REFERENCE SURVEY
 2. SEE LANDSCAPE DWGS
 3. BIKE RACK - DUMOR, INC. MODEL 125-40
 4. 10' HEIGHT VINYL COATED CHAIN LINK FENCE
 5. 10' HEIGHT VINYL COATED CHAIN LINK FENCE W/ 10' NET ABOVE
 6. 8' HEIGHT DECORATIVE ALUMINUM FENCE
 7. HEAVY DUTY REINFORCED 20" WIDE ROLLING GATES, HEIGHT TO MATCH FENCE
 8. HEAVY DUTY REINFORCED 10' WIDE DOUBLE SWING GATE
 9. 3' WIDE GATE, HEIGHT TO MATCH FENCE
 10. SCORE BOARD BY AMERICAN SCORE BOARD OR EQUAL, MODEL 8349, COLOR DARK GREEN.
 11. 4' HEIGHT ORNAMENTAL BLACK ALUMINUM FENCE
 12. PRE-MANUFACTURED SHADE STRUCTURE
 13. CAR CHARGING STATIONS, REF CIVIL DWGS
 14. PRE-MANUFACTURED PLAYGROUND
 15. 6' ALUMINUM BENCH, REFER TO CIVIL HARDSCAPE PLANS.
 16. MATCHLINE
 17. UTILITIES / ELECTRIC METER
 18. BLACK VINYL CHAIN LINK FENCE TO REPLACE EXISTING
 19. 6' VINYL COATED CHAIN LINK FENCE
 20. 4 ROW, 21' ALUMINUM BLEACHERS, MANUF ALL STAR BLEACHERS INC OR APPROVED EQUAL
 21. SCORE TABLE
 22. MONUMENT SIGN
 23. RAMP ACCESS, REF CIVIL DWGS FOR SLOPES AND MORE INFO
 24. (E) SIGN TO BE RELOCATED BY CONTRACTOR
 25. 10' HIGH CHAIN LINK FENCE W/ 30" NET ABOVE FOR BASEBALL FIELD
 26. PLATE
 27. HOME PLATE
 28. 25 X 15' - IN-GROUND FABRIC SHADE WITH GLIDE ELBOWS BY SUPERIOR SHADES OR APPROVED EQUAL
 29. 12' WIDE ROLLING GATE
 30. TRASH RECEPTACLES
 31. SPORTS TURF, REF AS405 AND CIVIL DWGS FOR ADDITIONAL INFORMATION
 32. REF CIVIL ENGINEERING DWGS FOR ADDITIONAL INFORMATION
 33. REF CIVIL ENGINEERING DWGS FOR PAVING DETAILS, STRIPPING AND CAR STOP
 34. 6" CONCRETE SIDEWALK (VEHICULAR ACCESS)
 35. 2 BATTING CAGES 12' H X 12' W X 83'-8" L WITH TOP
 36. POUR IN PLACE RUBBER SURFACE
 37. UNDERGROUND DIESEL STORAGE TANK
 38. PROPOSED ON-STREET PARKING BY OTHERS, TO BE CONSTRUCTED AS PART OF THE NORTHWEST NEIGHBORHOOD PROJECT
 39. ALL SIGNAGE SHALL COMPLY WITH LDR SECTION 4.6.7.
 40. 10'-6" SINGLE CHAIN LINK DRIVE WAY FENCE GATE WITH WHEELS.



KEY PLAN

CARTAYA & ASSOCIATES
ARCHITECTS P.A.
cartayaandassociates.com

2401 E. COMMERCIAL BLVD, SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
AR#4371
2022.07.25
16.24.25-0407
AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444
EL 33444

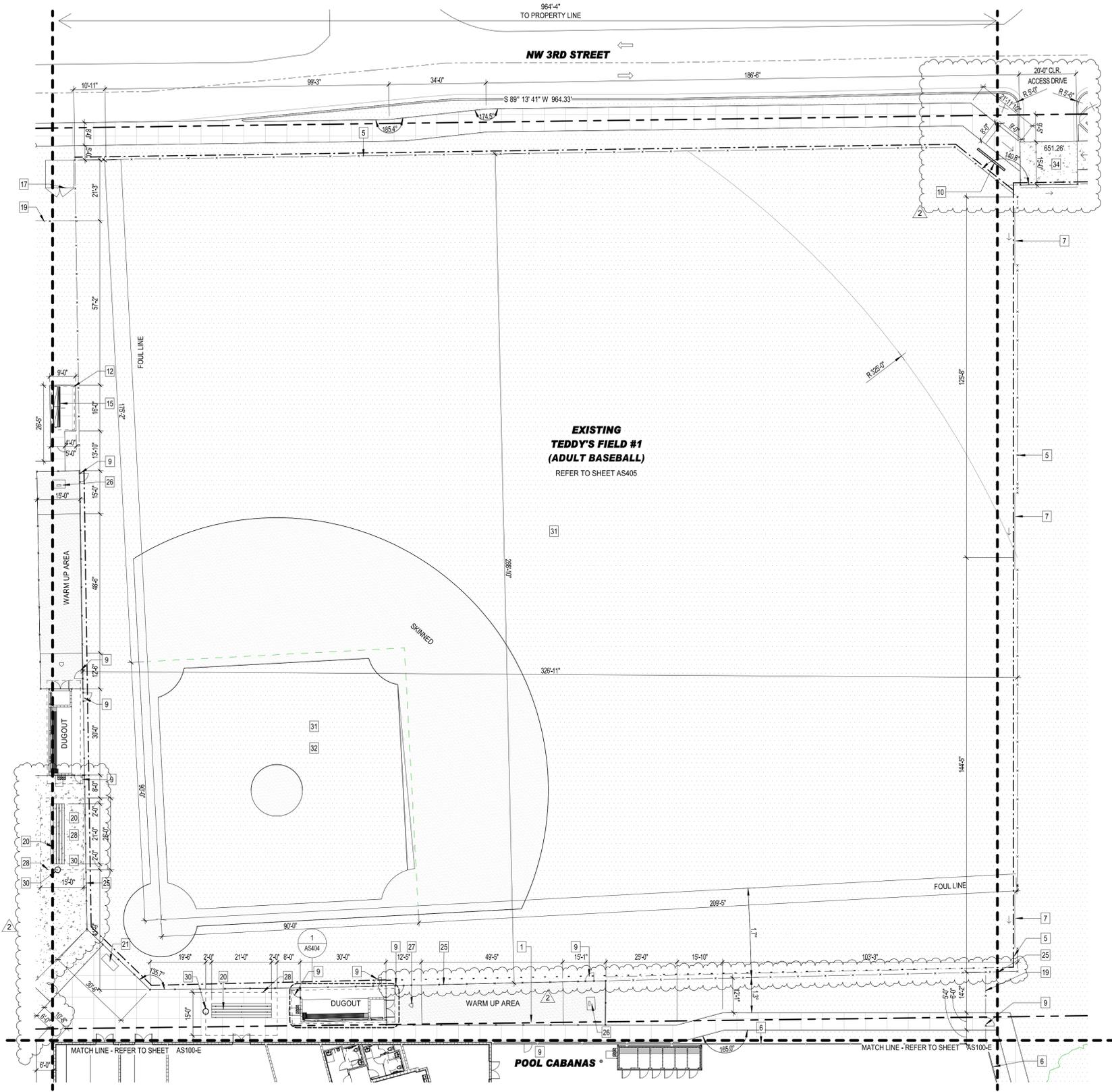
REVISIONS:
1. 05-15-2022 SPRAB REVIEW
2. 07-16-2022 SPRAB REVIEW

TITLE: ENLARGED SITE PLAN - AREA SA - (E) FIELD NO 2

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

SHEET:
AS100-A

SPRAB SUBMITTAL 07-16-2022



SITE PLAN - AREA SB
Scale: 1" = 20'-0"



KEY PLAN

SITE PLAN LEGEND

- PROPERTY LINE
- - - MATCH LINE
- ○ ○ ○ ○ ORNAMENTAL ALUMINUM FENCING
- × × × × CHAINLINK FENCING
- CHAINLINK FENCING WITH 10'-0" NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS
- CHAINLINK FENCING WITH 20" NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS
- BIKE RACK (BY DUMOR, INC. MODEL 125-40)
- C COMPACT CAR PARKING SPACE
- E ELECTRIC CHARGING STATION PARKING SPACE
- XX NUMBER OF PARKING SPACES
- XX SITE PLAN KEYNOTES
- ★ EXISTING PALM TREE TO REMAIN. SEE LANDSCAPING DOCUMENTS
- EXISTING TREE TO REMAIN. SEE LANDSCAPING DOCUMENTS
- CLAY FIELDS
- 4" THICK CONCRETE SIDEWALK, NON-SLIP FINISH
- 4" THICK CONCRETE SLAB (VEHICULAR ACCESS), NON-SLIP FINISH
- GRASS FOR BASEBALL FIELDS, GENERAL REFERENCE LANDSCAPE PLANS.
- POOL DECK, NON-SLIP FINISH
- COMMUNITY CENTER
- NEW STRUCTURES
- 5' CONCRETE SLAB, SCORE PATTERN, NON-SLIP FINISH
- SPORT COURTS
- CLAY. REFERENCE CIVIL SITE PLAN & SHEET AS400
- SPORTS TURF BERMUDA. REFERENCE LANDSCAPE PLANS

SITE PLAN KEYNOTES

1. PROPERTY LINE, REFERENCE SURVEY
2. SEE LANDSCAPE DWGS
3. BIKE RACK - DUMOR, INC. MODEL 125-40
4. 10' HEIGHT VINYL COATED CHAIN LINK FENCE
5. 10' HEIGHT VINYL COATED CHAIN LINK FENCE W/ 10' NET ABOVE
6. 8' HEIGHT DECORATIVE ALUMINUM FENCE
7. HEAVY DUTY REINFORCED 20' WIDE ROLLING GATES, HEIGHT TO MATCH FENCE
8. HEAVY DUTY REINFORCED 10' WIDE DOUBLE SWING GATE
9. 3' WIDE GATE, HEIGHT TO MATCH FENCE
10. SCORE BOARD BY AMERICAN SCORE BOARD OR EQUAL, MODEL 8349, COLOR DARK GREEN.
11. 4' HEIGHT ORNAMENTAL BLACK ALUMINUM FENCE
12. PRE-MANUFACTURED SHADE STRUCTURE
13. CAR CHARGING STATIONS. REF CIVIL DWGS
14. PRE-MANUFACTURED PLAYGROUND
15. 6' ALUMINUM BENCH, REFER TO CIVIL HARDSCAPE PLANS.
16. MATCHLINE
17. UTILITIES / ELECTRIC METER
18. BLACK VINYL CHAIN LINK FENCE TO REPLACE EXISTING
19. 6' VINYL COATED CHAIN LINK FENCE
20. 4 ROW, 21' ALUMINUM BLEACHERS, MANUF ALL STAR BLEACHERS INC OR APPROVED EQUAL
21. SCORE TABLE
22. MONUMENT SIGN
23. RAMP ACCESS. REF CIVIL DWGS FOR SLOPES AND MORE INFO
24. (E) SIGN TO BE RELOCATED BY CONTRACTOR
25. 10' HIGH CHAIN LINK FENCE W/ 30' NET ABOVE FOR BASEBALL FIELD
26. PLATE
27. HOME PLATE
28. 25 X 15' - IN-GROUND FABRIC SHADE WITH GLIDE ELBOWS BY SUPERIOR SHADES OR APPROVED EQUAL
29. 12' WIDE ROLLING GATE
30. TRASH RECEPTACLES
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32. REF CIVIL ENGINEERING DWGS FOR ADDITIONAL INFORMATION
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Juan Justiniano
ARB4371
2022.07.25
16.24.98-0400'
AA COO1388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

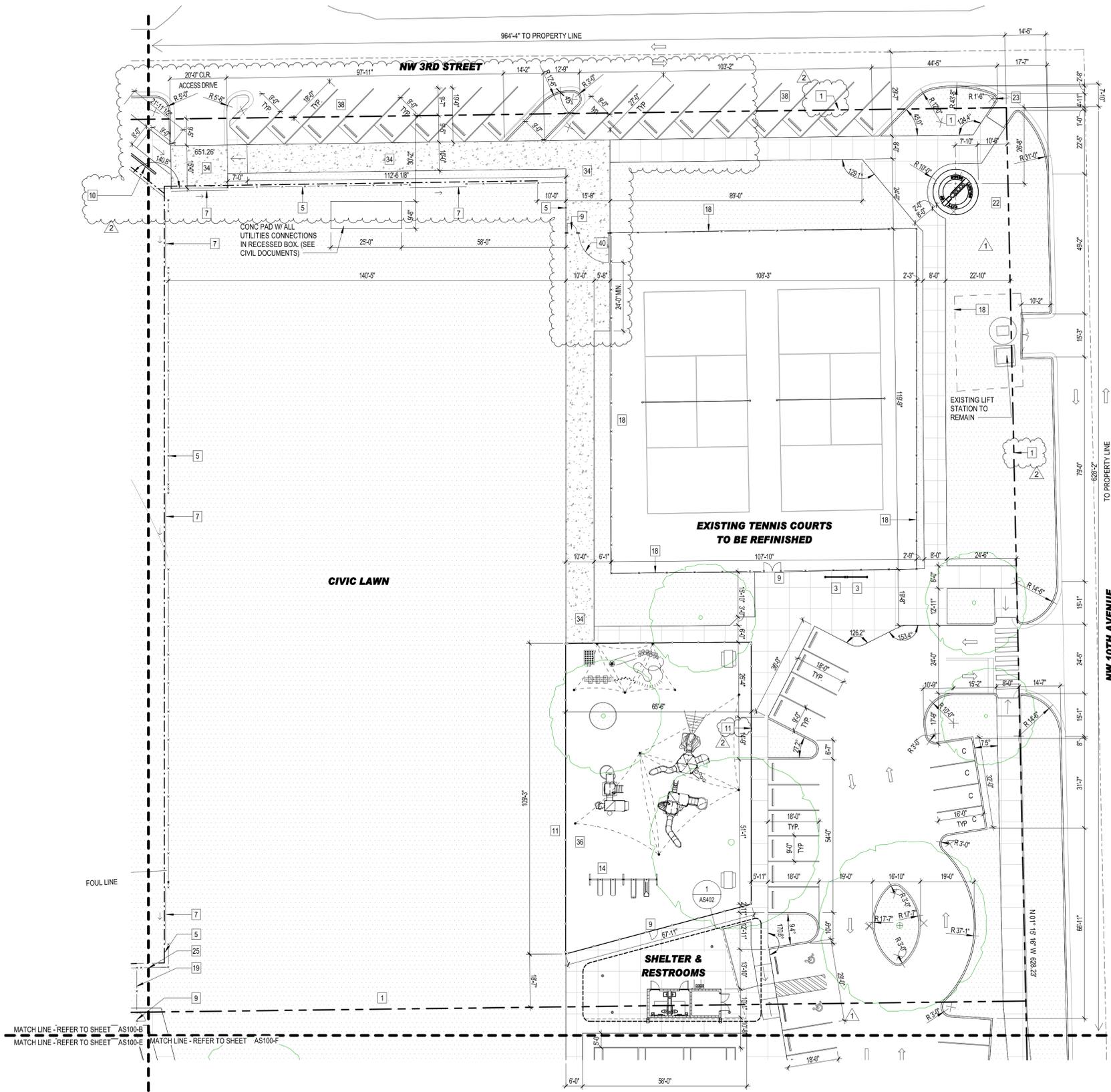
REVISIONS:
1. 05-15-2022 SPRAB REVIEW
2. 07-16-2022 SPRAB REVIEW

TITLE: ENLARGED SITE PLAN - AREA SB - TEDDY'S FIELD #1
DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO.: 2122

SHEET: AS100-B

SPRAB SUBMITTAL 07-16-2022



SITE PLAN - AREA SC
Scale: 1" = 20'-0"

SITE PLAN LEGEND

- PROPERTY LINE
- MATCH LINE
- ORNAMENTAL ALUMINUM FENCING
- CHAINLINK FENCING
- CHAINLINK FENCING WITH 10'-0" NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS.
- CHAINLINK FENCING WITH 20' NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS.
- BIKE RACK (BY DUMOR, INC. MODEL 125-40)
- COMPACT CAR PARKING SPACE
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- NUMBER OF PARKING SPACES
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SITE PLAN KEYNOTES

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- CAR CHARGING STATIONS. REF CIVIL DWGS
- PRE-MANUFACTURED PLAYGROUND
- 6' ALUMINUM BENCH, REFER TO CIVIL HARDSCAPE PLANS.
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Juan Justiniano
AR#4371
2022.07.25
16:24:46-0400'
AA C001388

**CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444**

REVISIONS:
1. 05-15-2022 SPRAB REVIEW
2. 07-16-2022 SPRAB REVIEW

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

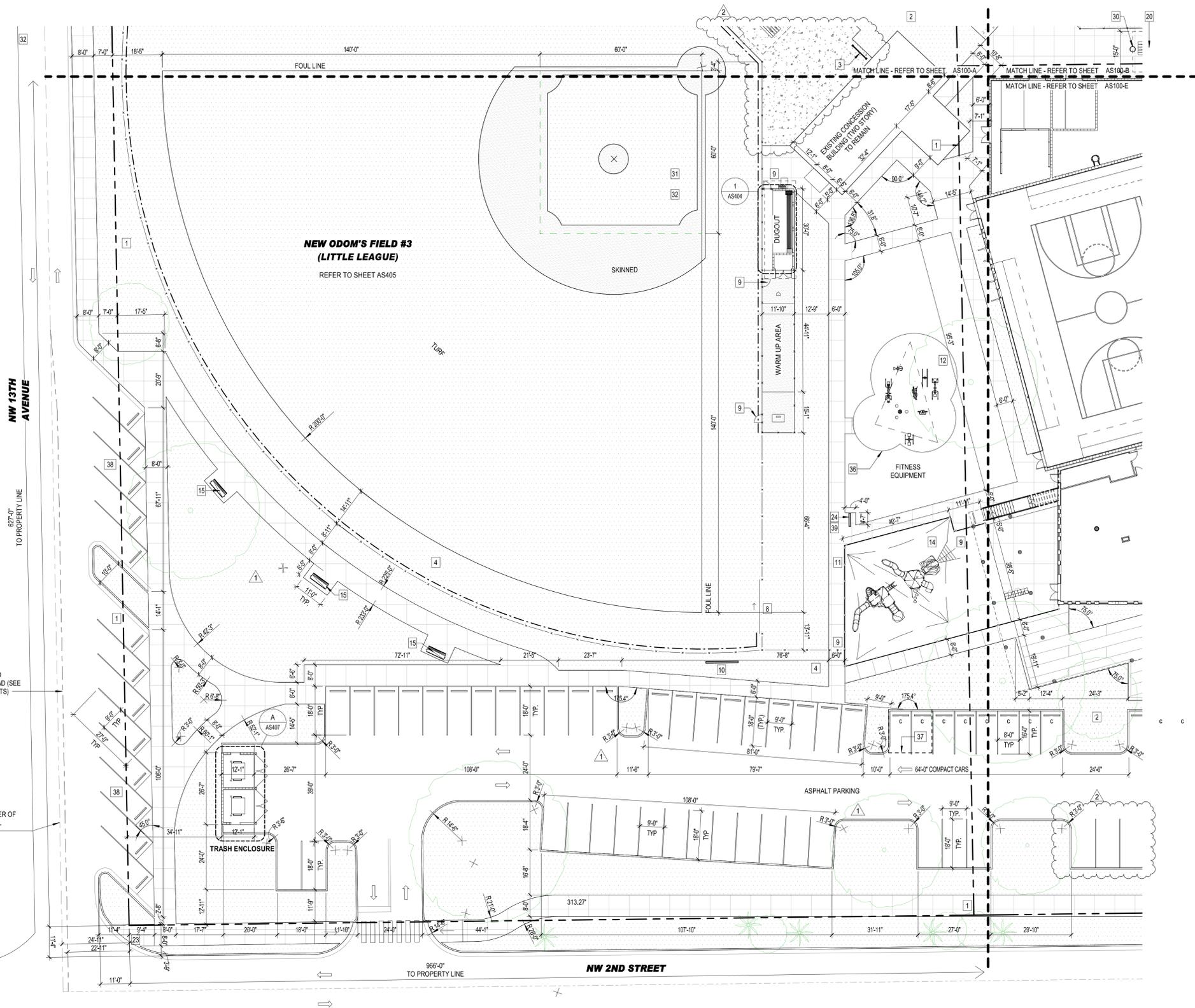
2122

AS100-C

SPRAB SUBMITTAL 07-16-2022

TITLE: ENLARGED SITE PLAN - AREA SC - CIVIC LAWN & TENNIS COURTS

SHEET:



SITE PLAN - AREA D
Scale: 1" = 20'-0"

SITE PLAN LEGEND

	PROPERTY LINE
	MATCH LINE
	ORNAMENTAL ALUMINUM FENCING
	CHAINLINK FENCING
	CHAINLINK FENCING WITH 10'-0" NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS.
	CHAINLINK FENCING WITH 20' NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS.
	BIKE RACK (BY DUMOR, INC. MODEL 125-40)
	COMPACT CAR PARKING SPACE
	ELECTRIC CHARGING STATION PARKING SPACE
	NUMBER OF PARKING SPACES
	SITE PLAN KEYNOTES
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	EXISTING TREE TO REMAIN. SEE LANDSCAPING DOCUMENTS
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	4" THICK CONCRETE SIDEWALK, NON-SLIP FINISH
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	POOL DECK, NON-SLIP FINISH
	COMMUNITY CENTER
	NEW STRUCTURES
	5" CONCRETE SLAB, SCORE PATTERN, NON-SLIP FINISH
	SPORT COURTS
	CLAY, REFERENCE CIVIL SITE PLAN & SHEET AS400
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KEY PLAN

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cartayaandassociates.com

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FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
AR#4371
2022.07.25
16:24:56-0400'

**CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444**

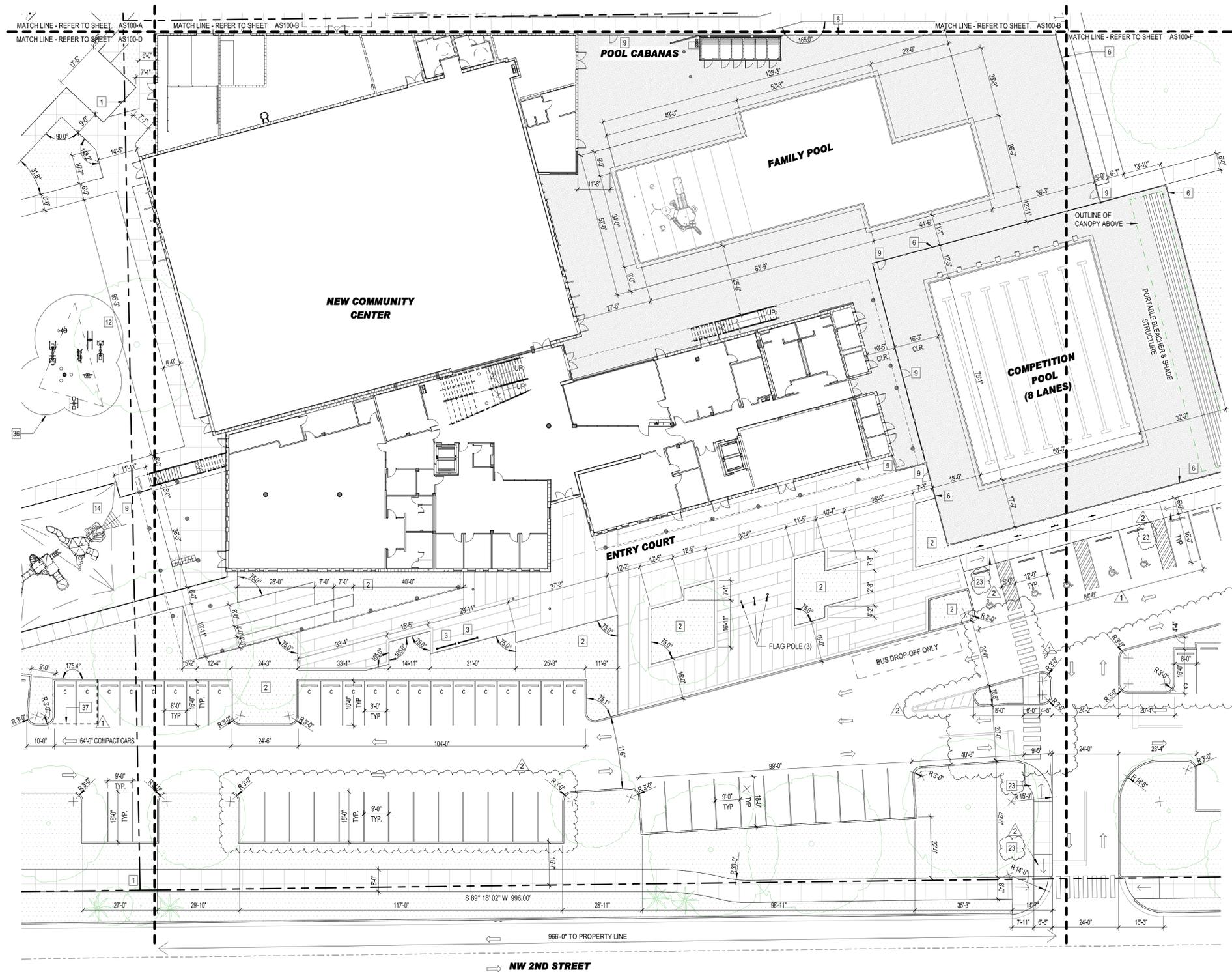
REVISIONS:
1. 05-15-2022 SPRAB REVIEW
2. 07-16-2022 SPRAB REVIEW

TITLE: ENLARGED SITE PLAN - AREA
SD - ODOM'S FIELD

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

SHEET:
AS100-D

SPRAB SUBMITTAL 07-16-2022



SITE PLAN - AREA E
Scale: 1" = 20'-0"



KEY PLAN

SITE PLAN LEGEND

- PROPERTY LINE
- - - MATCH LINE
- ○ ○ ORNAMENTAL ALUMINUM FENCING
- × × × CHAINLINK FENCING
- CHAINLINK FENCING WITH 10'-0" NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS.
- CHAINLINK FENCING WITH 20' NETTING ABOVE. SEE ENLARGED SITE PLAN FOR DETAILS.
- BIKE RACK (BY DUMOR, INC. MODEL 125-40)
- C COMPACT CAR PARKING SPACE
- E ELECTRIC CHARGING STATION PARKING SPACE
- XX NUMBER OF PARKING SPACES
- XX SITE PLAN KEYNOTES
- ★ EXISTING PALM TREE TO REMAIN. SEE LANDSCAPING DOCUMENTS
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- SITE PLAN KEYNOTES**
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 22. MONUMENT SIGN
 23. RAMP ACCESS, REF CIVIL DWGS FOR SLOPES AND MORE INFO
 24. (E) SIGN TO BE RELOCATED BY CONTRACTOR
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Juan Justiniano
AR#4371
2022.07.25
16:25:09-0400'

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1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:
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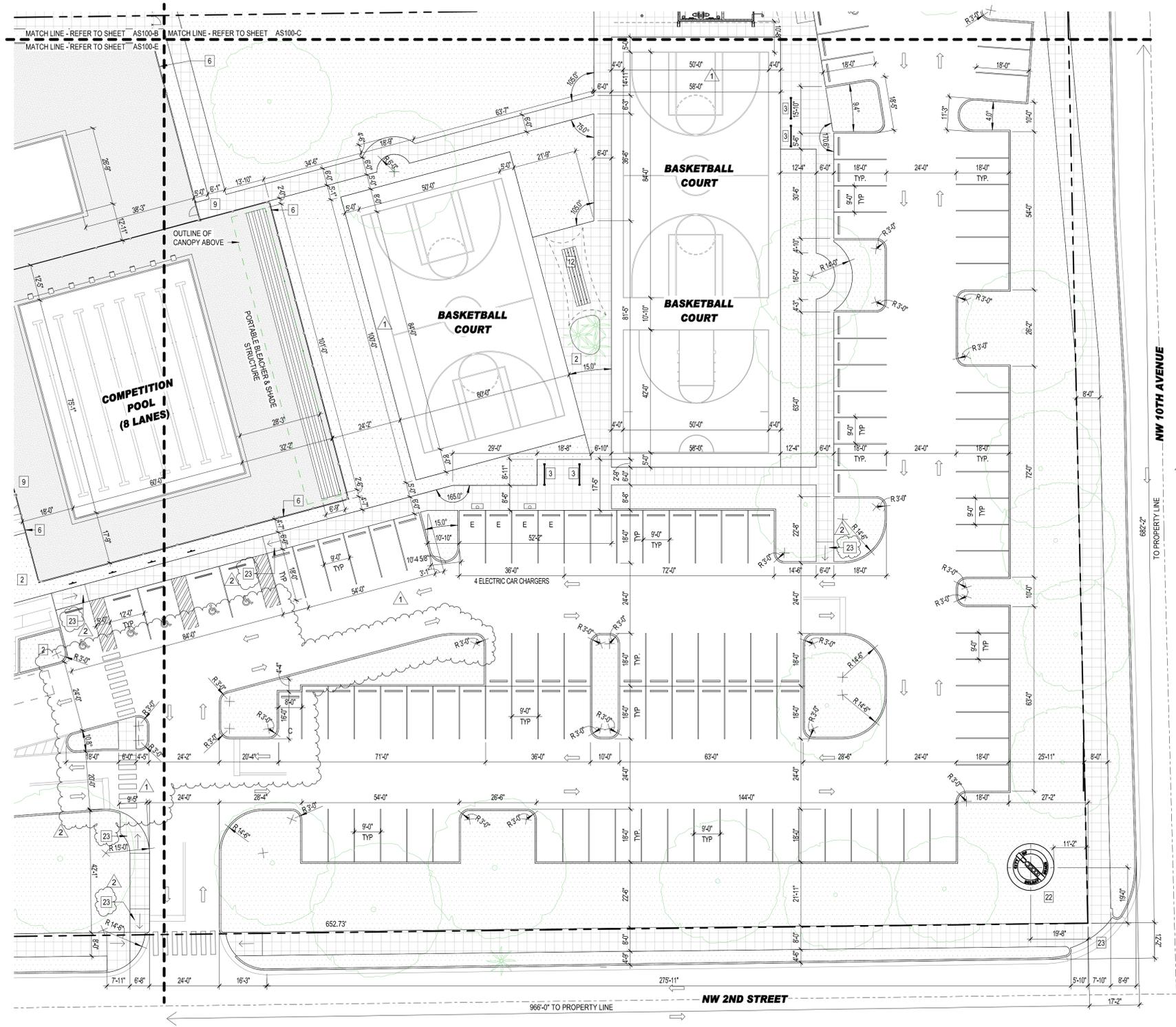
TITLE: ENLARGED SITE PLAN - AREA SE - COMMUNITY CENTER

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO: 2122

SHEET: AS100-E

SPRAB SUBMITTAL 07-16-2022



SITE PLAN - AREA F
Scale: 1" = 20'-0"

SITE PLAN LEGEND

- PROPERTY LINE
- - - MATCH LINE
- ○ ○ ORNAMENTAL ALUMINUM FENCING
- × × × CHAINLINK FENCING
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 37. UNDERGROUND DIESEL STORAGE TANK
 38. PROPOSED ON-STREET PARKING BY OTHERS, TO BE CONSTRUCTED AS PART OF THE NORTHWEST NEIGHBORHOOD PROJECT
 39. ALL SIGNAGE SHALL COMPLY WITH LDR SECTION 4.6.7.
 40. 10'-6" SINGLE CHAIN LINK DRIVE WAY FENCE GATE WITH WHEELS.



KEY PLAN

CARTAYA & ASSOCIATES ARCHITECTS P.A.
cartayaandassociates.com

2401 E. COMMERCIAL BLVD, SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
AR#4371
2022.07.25
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PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL, 33444

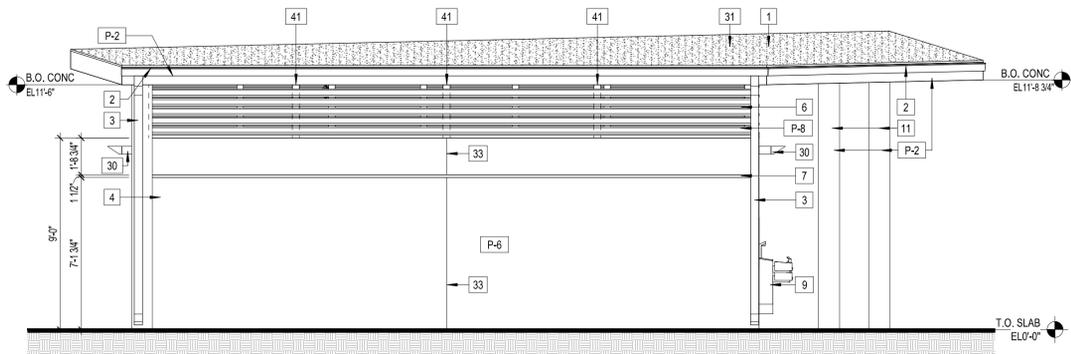
REVISIONS:
1. 05-15-2022 SPRAB REVIEW
2. 07-16-2022 SPRAB REVIEW

TITLE: ENLARGED SITE PLAN - AREA SF - BASKETBALL COURTS

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO: 2122

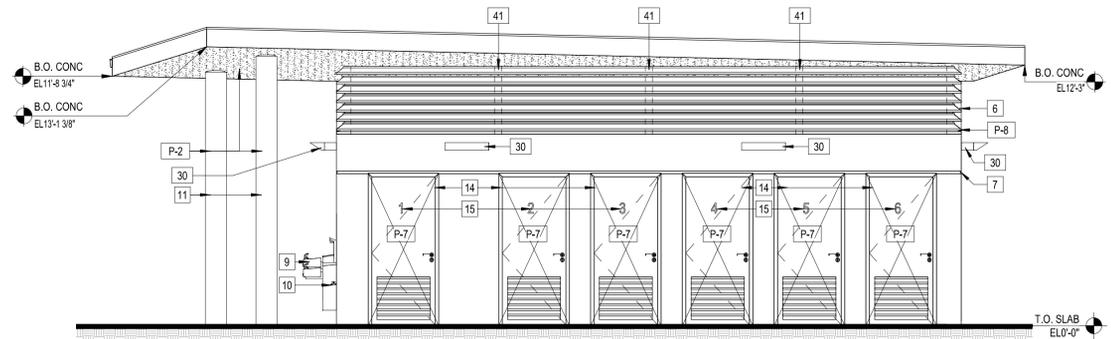
SHEET: AS100-F



8 NORTH ELEVATION

Scale: 1/4" = 1'-0"

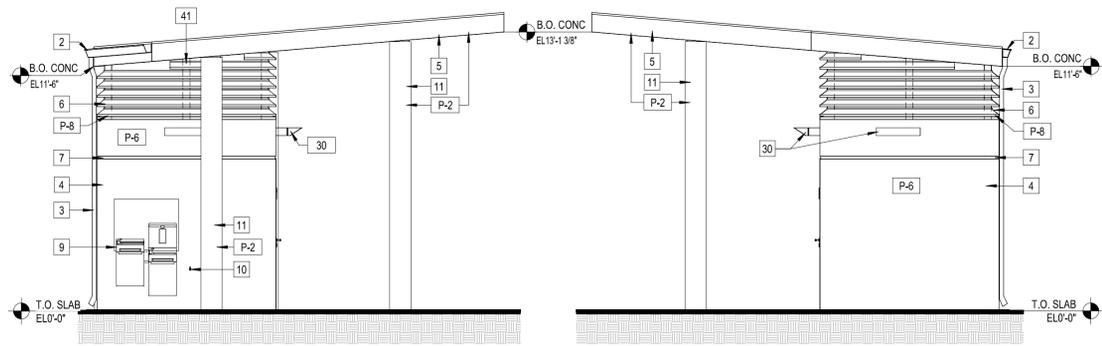
NOTE: SEE SHEET AS403 FOR EXTERIOR PAINT FINISH SCHEDULE



4 SOUTH ELEVATION

Scale: 1/4" = 1'-0"

NOTE: SEE SHEET AS403 FOR EXTERIOR PAINT FINISH SCHEDULE



3 WEST ELEVATION

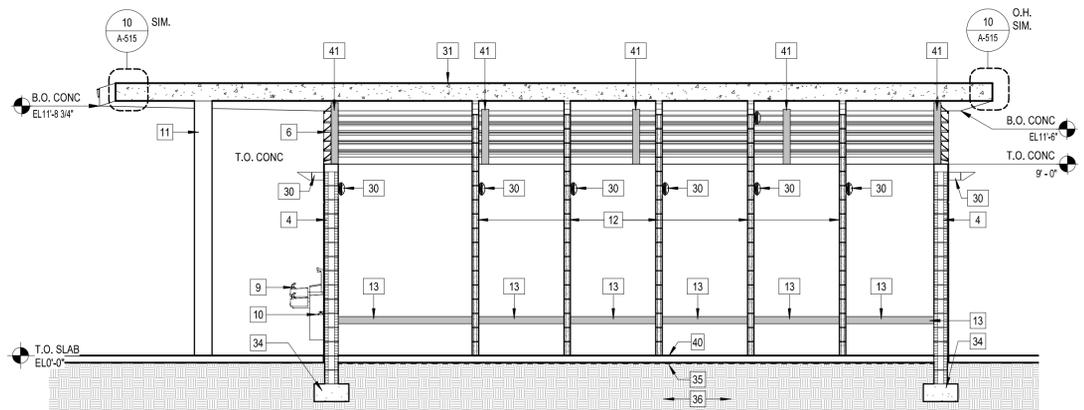
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NOTE: SEE SHEET AS403 FOR EXTERIOR PAINT FINISH SCHEDULE

2 EAST ELEVATION

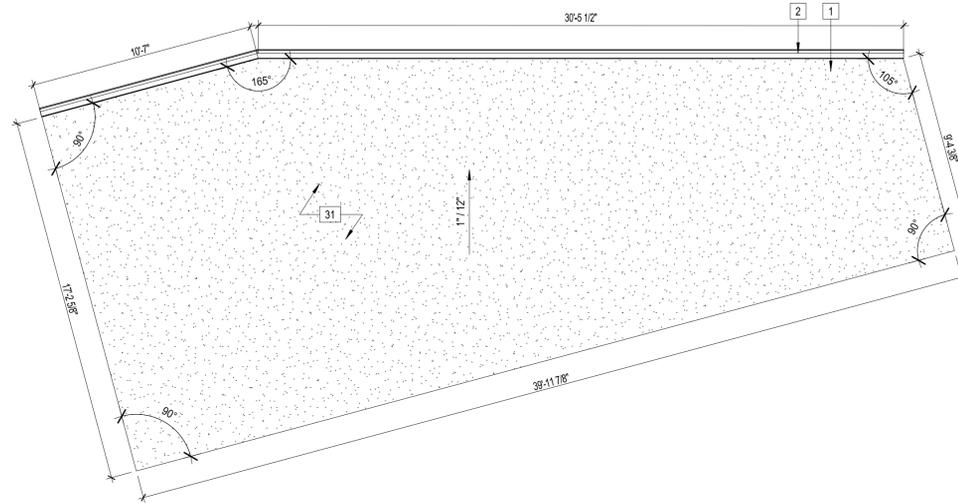
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NOTE: SEE SHEET AS403 FOR EXTERIOR PAINT FINISH SCHEDULE



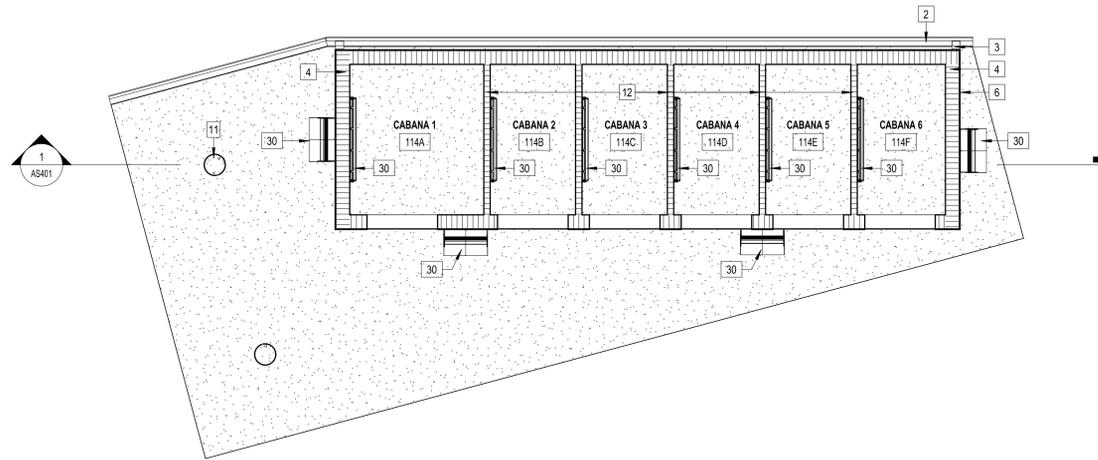
1 SECTION

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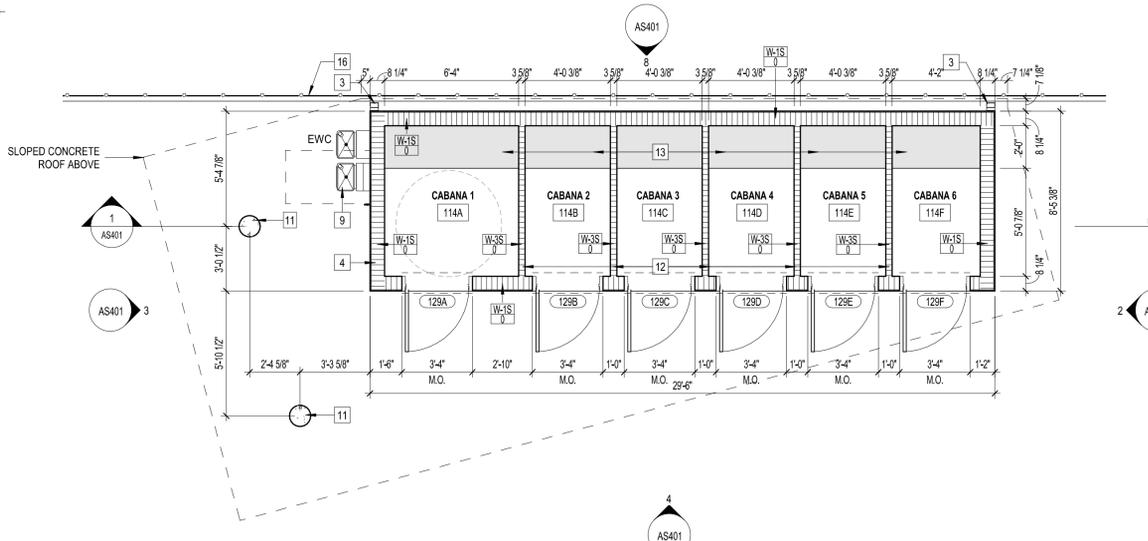
ROOF PLAN

Scale: 1/4" = 1'-0"



REFLECTED CEILING PLAN

Scale: 1/4" = 1'-0"



FLOOR PLAN

Scale: 1/4" = 1'-0"

PERIMETER BUILDINGS LEGEND

- CONCRETE WALL (CUT)
- CONCRETE MASONRY WALL (CUT)
- PAINTED STRIPING ON CONCRETE
- CONCRETE COLUMN
- 8' DECORATIVE ALUMINUM FENCE
- 10' VINYL COATED CHAIN LINK FENCE
- 10' VINYL COATED CHAIN LINK FENCE WITH NET ABOVE
- INDICATES DOOR NUMBER
- PARTITION OR WALL TYPE
- INDICATES MATERIAL NUMBER
- INDICATES LOUVER NUMBER
- INDICATES ROOM NAME AND NUMBER
- SECTION DIRECTION
- INDICATES ELEVATIONS AND SECTIONS
- ELEVATION NUMBER ON SHEET
- INDICATES INTERIOR ELEVATIONS
- SCOPE OF DETAIL
- INDICATES CALLOUT PLAN REFERENCE

PERIMETER BUILDINGS GENERAL NOTES

1. FOR GENERAL FINISHES AND SCHEDULES REFER TO SHEET A-600.
2. FOR ALL CABANAS, CEILING EXPOSED TO FLOATING CONCRETE WITH SMOOTH STUCCO FINISH AND ALL LIGHT FIXTURES TO BE VANDAL RESISTANT

PERIMETER BUILDINGS KEYNOTES

1. ALL ROOFS TO SLOPE MINIMUM 1/4" PER FT.
2. 6" CONTINUOUS ALUMINUM GUTTER COLOR TO MATCH DECOR.
3. CONTINUOUS ALUMINUM RAIN LEADERS TO MATCH DECOR. PROVIDE SPLASH BLOCKS AT BOTTOM OF EACH RAIN LEADER, WHERE NOT CONNECTED TO UNDERGROUND STORM WATER DRAIN SYSTEM.
4. 8" CMU WALL W/ 5/8" SMOOTH STUCCO FINISH (ONE SIDE) REFERENCE STRUCTURAL DRAWINGS.
5. UNDER CANOPY WITH FASCIA SMOOTH STUCCO FINISH COLOR TO MATCH DECOR.
6. ALUMINUM LOUVER SYSTEM POWDER COAT. COLOR TO MATCH DECOR. SUBMIT PRODUCT APPROVAL CERTIFICATION.
7. 1 1/2" REGLET. COLOR TO MATCH DECOR.
8. UNDER CANOPY LIGHT TO BE WATER PROTECTED AND VANDAL RESISTANT. REFERENCE LIGHTING SCHEDULE AND ENGINEERING DRAWINGS.
9. H.C. ACCESSIBLE. B-LEVEL DRINKING FOUNTAIN WITH STAINLESS SURFACE MOUNTED STEEL BACKSPLASH BEHIND. REFERENCE ENGINEERING DRAWINGS FOR INFORMATION AND SPECS.
10. HOSE BIB. REFERENCE PLUMBING DRAWINGS FOR LOCATION AND SPECS.
11. CONCRETE COLUMN WITH SMOOTH STUCCO FINISH. PAINT COLOR TO MATCH DECOR.
12. INTERIOR BLOCK WALLS SKIM COAT BLOCK FILLER SMOOTH FINISH. "NON-ABSORBENT" PAINT FINISH TO MATCH DECOR.
13. CONCRETE BENCH SEAT. SMOOTH CONCRETE FINISH. NON-ABSORBENT PAINT FINISH.
14. 3" WIDE HC FIBERGLASS DOOR. PAINT FINISH TO MATCH DECOR. REFERENCE DOOR SCHEDULE. PROVIDE PRIVACY SCREEN LOUVERING AT BOTTOM.
15. PROVIDE NUMBERING FOR EACH ROOM. ALUMINUM, POWDER COAT FINISH SILVER METAL.
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18. 10' VINYL COATED CHAIN LINK FENCE W/ 10' NET ABOVE
19. 6" WIDE HC FIBERGLASS DOOR. PAINT FINISH TO MATCH DECOR. REFERENCE DOOR SCHEDULE.
20. 6" DIA. X 3' H STEEL PIPE CONCRETE FILLED BOLLARD. 2" EMBEDDED (TYPICAL)
21. HEAVY DUTY METAL PANEL SYSTEM
22. 12" SOLID ALUMINUM PANELS GATE
23. 8" CMU WALL W/ STUCCO FINISH ON BOTH SIDES. REFERENCE STRUCTURAL DRAWINGS
24. 3" WIDE GATE. HEIGHT TO MATCH FENCE
25. 20" ALUMINUM FLOOR MOUNTED BENCH (BY OWNER)
26. ALUMINUM COUNTER (BY OWNER)
27. BAT RACK (BY OWNER)
28. 8" DIAMETER STEEL POST CONCRETE FILLED. 6" LG. 2" EMBEDDED
29. 8" CONCRETE SERVICE APRON W HOLES IN APRON FOR GATE STOPS WITH GATE LATCHES
30. EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DOCUMENTS
31. SINGLE-PLY ROOFING MEMBRANE SYSTEM OVER CONCRETE SLAB. SUBMIT PRODUCT APPROVAL CERTIFICATION
32. STANDING SEAM METAL ROOF. SUBMIT PRODUCT APPROVAL CERTIFICATION
33. STUCCO CONTROL JOINT
34. FOUNDATION. SEE STRUCTURAL DRAWINGS.
35. VAPOR BARRIER
36. CLEAN TERMITE TREATED COMPACTED FILL
37. SPLASH BLOCK
38. PRE-ENGINEERED ALUMINUM STRUCTURAL MEMBER. SEE STRUCTURAL DOCUMENTS
39. HURRICANE STRAP. SEE STRUCTURAL DOCUMENTS
40. CONCRETE SLAB. SEE STRUCTURAL DOCUMENTS
41. STRUCTURAL SUPPORTS AS REQUIRED. SUBMIT PRODUCT APPROVAL CERTIFICATION



KEY PLAN



2401 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justino
ARB4371
2022.07.25
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PROJECT:
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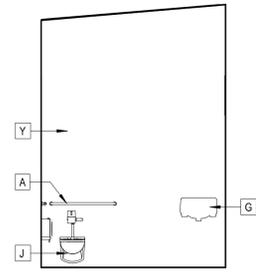
REVISIONS:
1 05-15-2022 SPRAB REVIEW

TITLE:
POOL CABANA PLANS

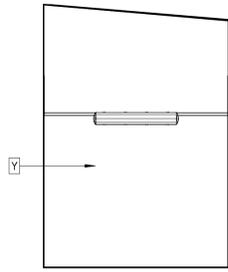
DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

SHEET:
AS401

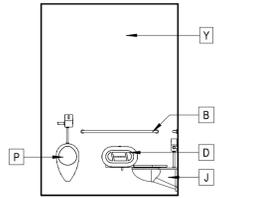
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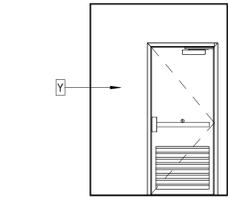
11 RESTROOM ELEVATION
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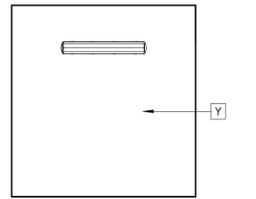
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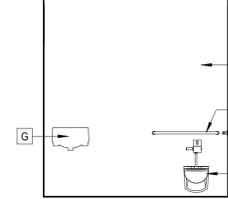
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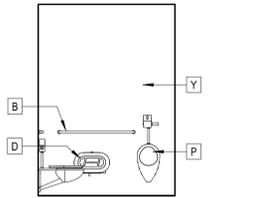
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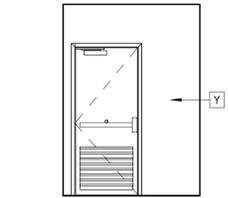
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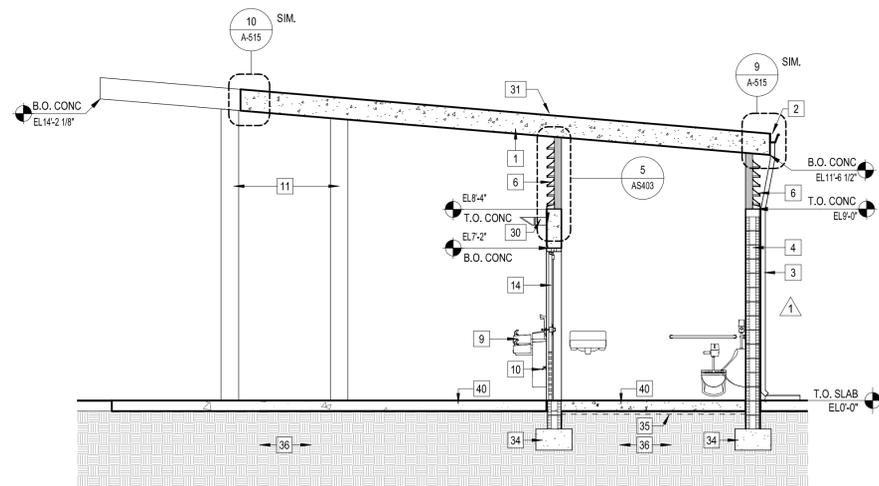
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Scale: 1/4" = 1'-0"



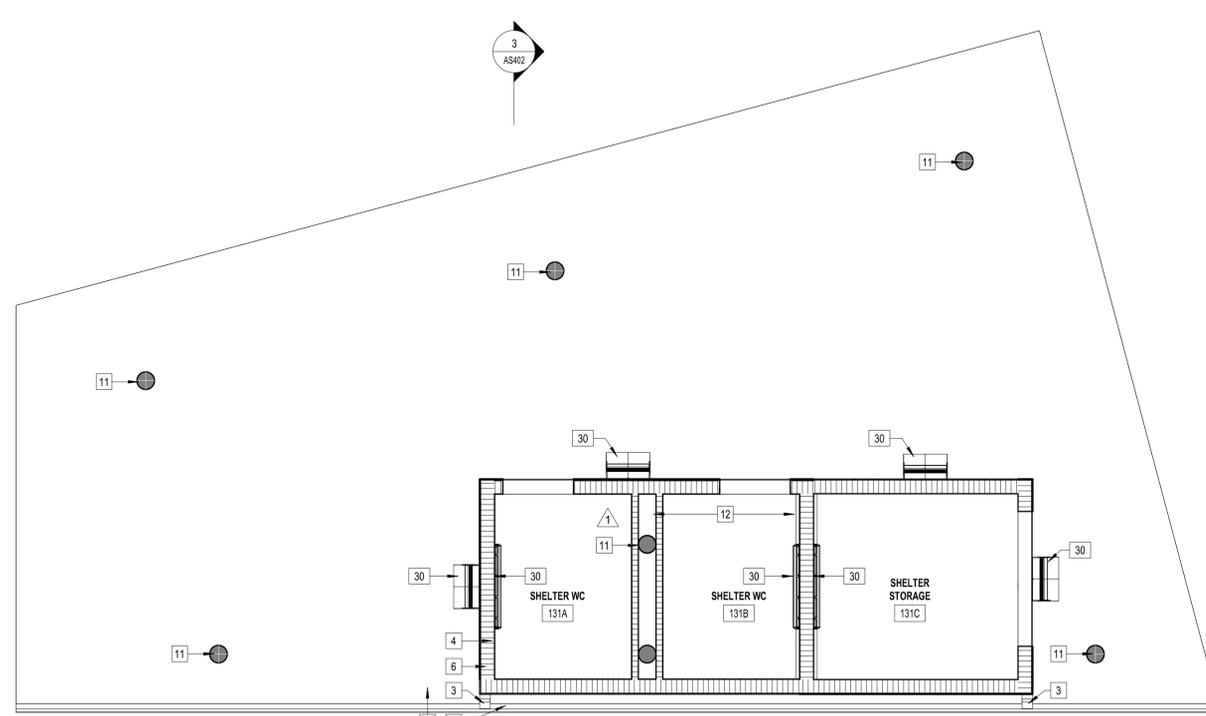
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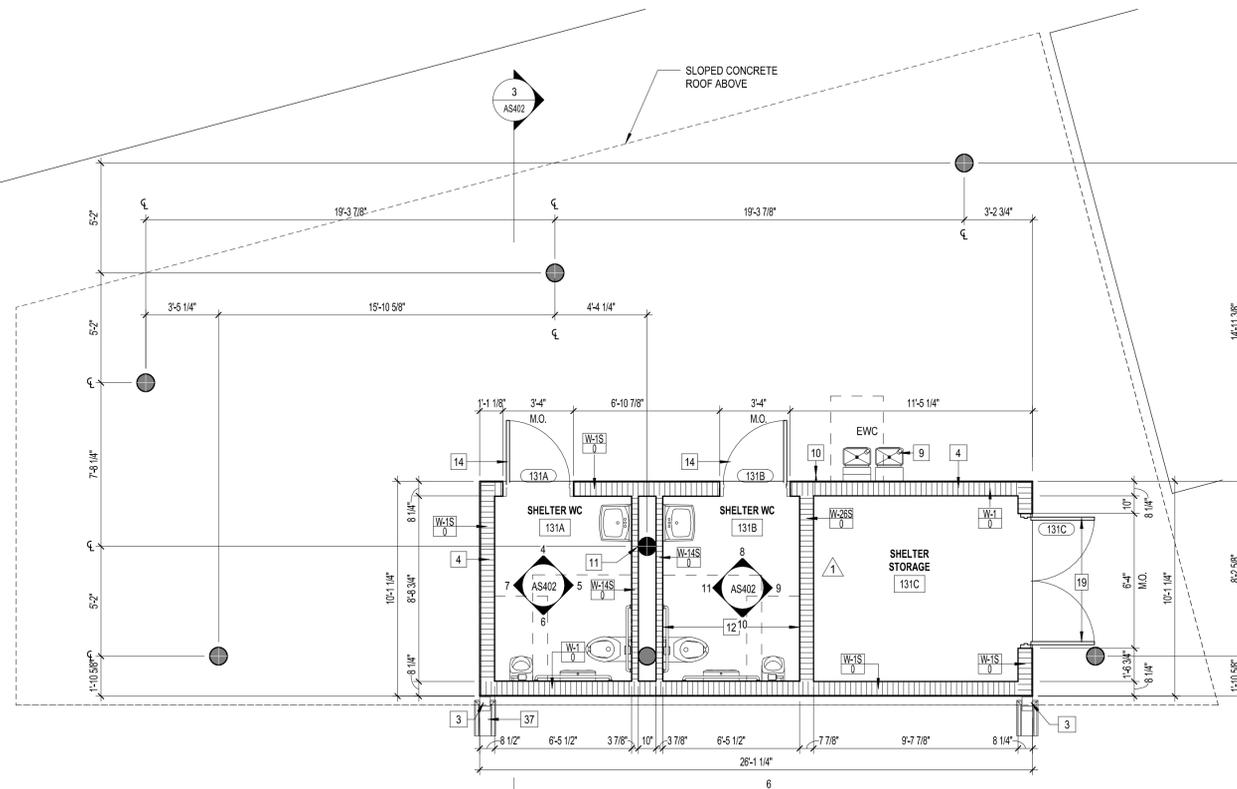
4 RESTROOM ELEVATION
Scale: 1/4" = 1'-0"



3 SECTION
Scale: 1/4" = 1'-0"



2 REFLECTED CEILING PLAN - SHELTER & RESTROOMS
Scale: 1/4" = 1'-0"



1 FLOOR PLAN
Scale: 1/4" = 1'-0"

PERIMETER BUILDINGS LEGEND

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- CONCRETE MASONRY WALL (CUT)
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KEY PLAN



2401 E. COMMERCIAL BLVD. SUITE 201
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Juan Justino
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2022.07.25
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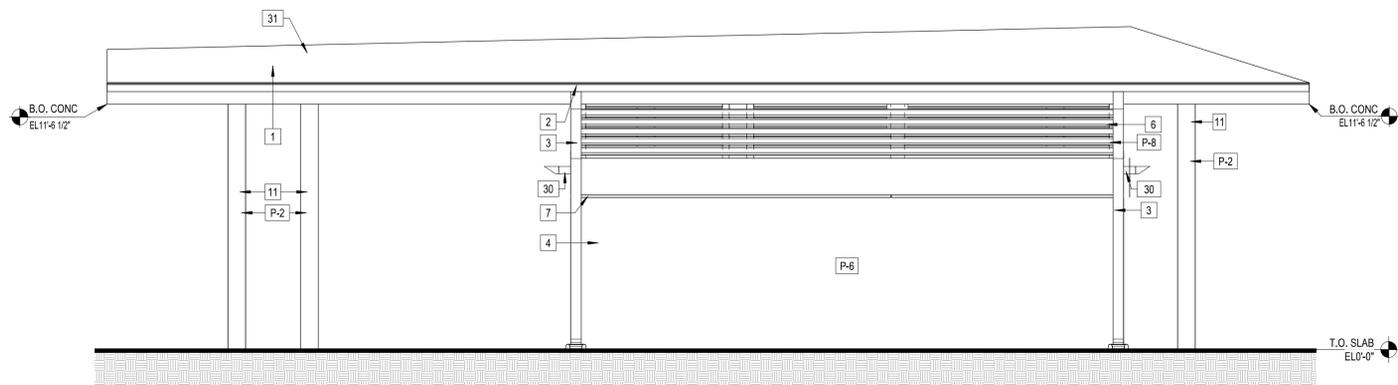
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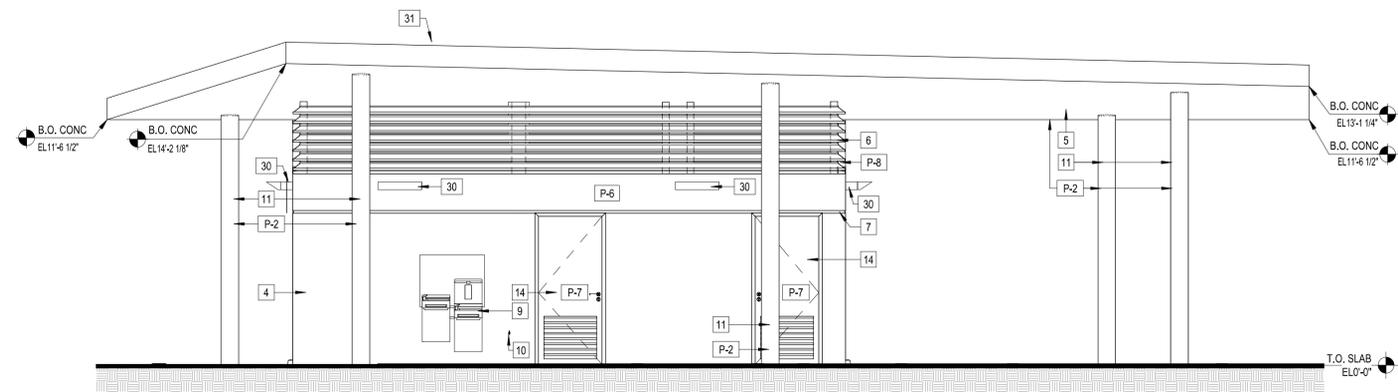
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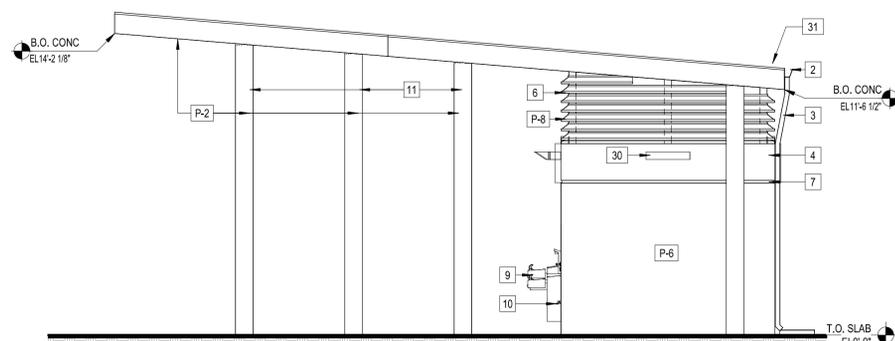
SOUTH ELEVATION

Scale: 1/4" = 1'-0"



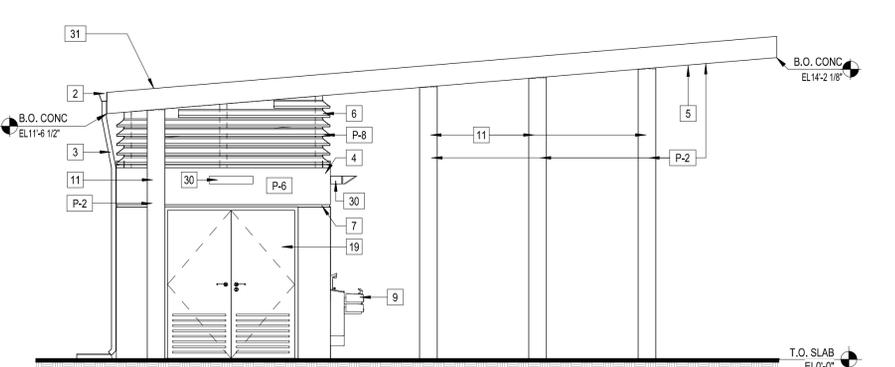
NORTH ELEVATION

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WEST ELEVATION

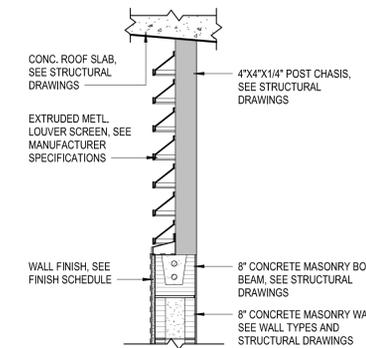
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EAST ELEVATION

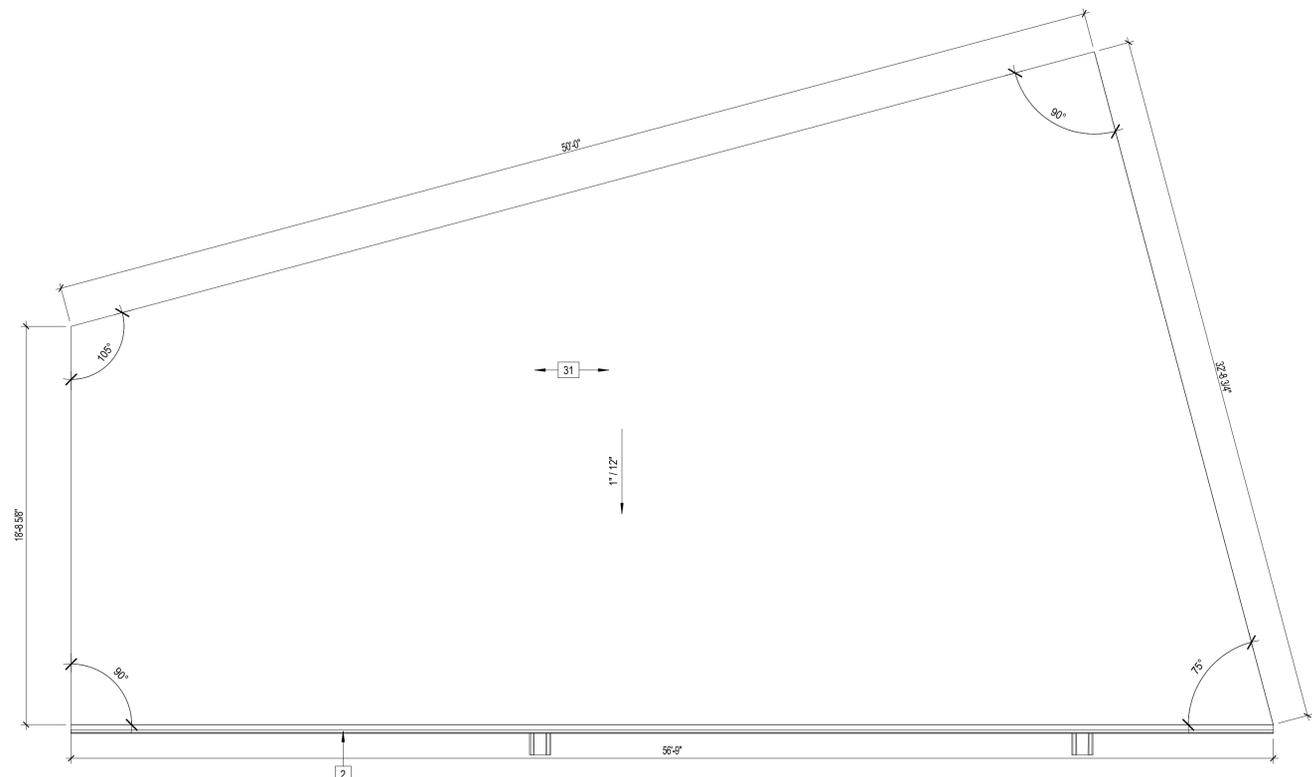
Scale: 1/4" = 1'-0"

EXTERIOR PAINT FINISH SCHEDULE				
TAG	MANUFACTURER	PAINT COLOR	FINISH	REMARKS
P1	SHERWIN-WILLIAMS	SW9052 - BLITHE BLUE	SEMI-GLOSS	-
P2	SHERWIN-WILLIAMS	SW7006 - EXTRA WHITE	SEMI-GLOSS	-
P3	SHERWIN-WILLIAMS	SW6789 - BLUE MOSQUE	SEMI-GLOSS	-
P4	SHERWIN-WILLIAMS	SW6788 - CAPRI	SEMI-GLOSS	-
P5	SHERWIN-WILLIAMS	SW9048 - SURFIN'	SEMI-GLOSS	-
P6	SHERWIN-WILLIAMS	SW6371 - VANILLIN	SEMI-GLOSS	-
P7	SHERWIN-WILLIAMS	SW7031 - NETWORK GRAY	SEMI-GLOSS	-
P8	NUCOR	PEARL GRAY PUDF	METALLIC	-



LOUVER SCREEN

Scale: 3/4" = 1'-0"



ROOF PLAN

Scale: 1/4" = 1'-0"

PERIMETER BUILDINGS LEGEND

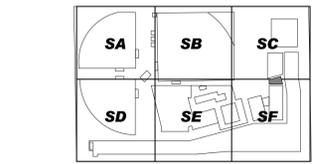
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- VAPOR BARRIER
- CLEAN TERMITE TREATED COMPACTED FILL
- SPLASH BLOCK
- PRE-ENGINEERED ALUMINUM STRUCTURAL MEMBER. SEE STRUCTURAL DOCUMENTS
- HURRICANE STRAP. SEE STRUCTURAL DOCUMENTS
- CONCRETE SLAB. SEE STRUCTURAL DOCUMENTS
- STRUCTURAL SUPPORTS AS REQUIRED. SUBMIT PRODUCT APPROVAL CERTIFICATION



KEY PLAN



2401 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
ARB4371
2022.07.28
16:25:57-0400'

CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

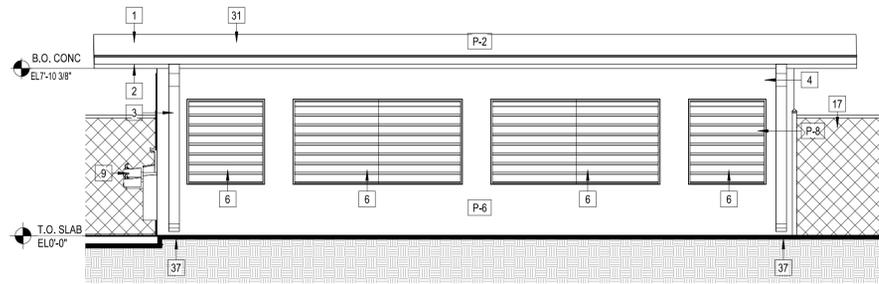
PROJECT:

REVISIONS:
1 05-15-2022 SPRAB REVIEW

TITLE: SHELTER AND RESTROOM PLANS
DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

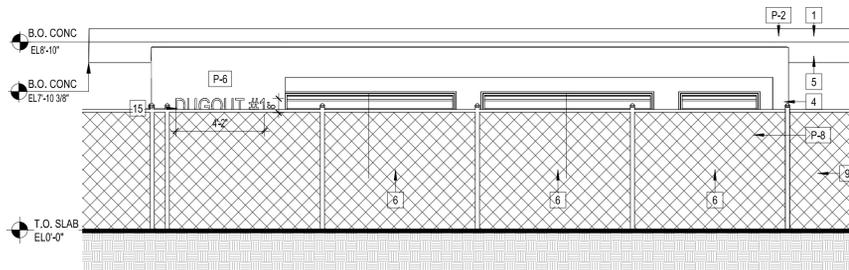
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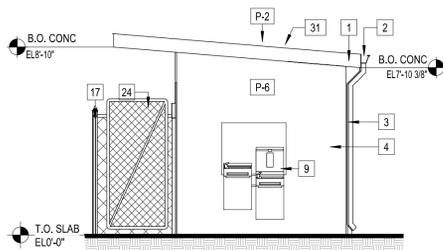
8 BACK ELEVATION

Scale: 1/4" = 1'-0"



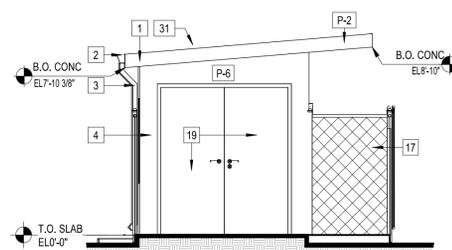
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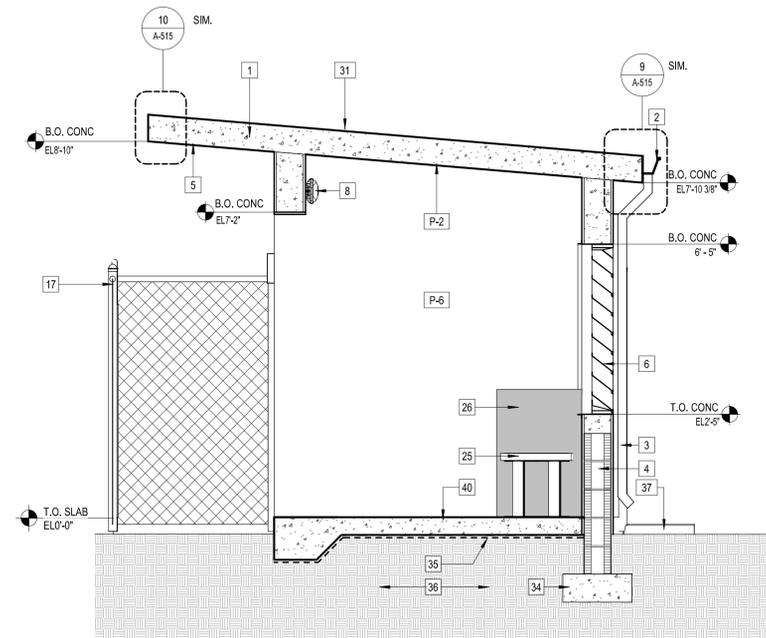
6 SIDE ELEVATION

Scale: 1/4" = 1'-0"



5 SIDE ELEVATION

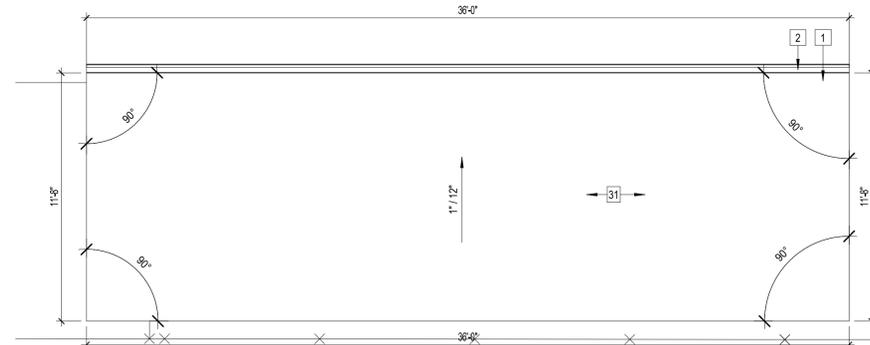
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4 SECTION

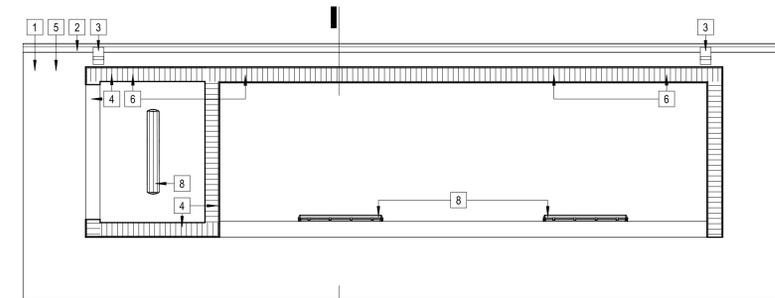
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EXTERIOR PAINT FINISH SCHEDULE				
TAG	MANUFACTURER	PAINT COLOR	FINISH	REMARKS
P1	SHERWIN-WILLIAMS	SW9052 - BLITHE BLUE	SEMI-GLOSS	-
P2	SHERWIN-WILLIAMS	SW7006 - EXTRA WHITE	SEMI-GLOSS	-
P3	SHERWIN-WILLIAMS	SW6789 - BLUE MOSQUE	SEMI-GLOSS	-
P4	SHERWIN-WILLIAMS	SW6788 - CAPRI	SEMI-GLOSS	-
P5	SHERWIN-WILLIAMS	SW9048 - SURFIN	SEMI-GLOSS	-
P6	SHERWIN-WILLIAMS	SW6371 - VANILLIN	SEMI-GLOSS	-
P7	SHERWIN-WILLIAMS	SW7031 - NETWORK GRAY	SEMI-GLOSS	-
P8	NUCOR	PEARL GRAY PUDF	METALLIC	-



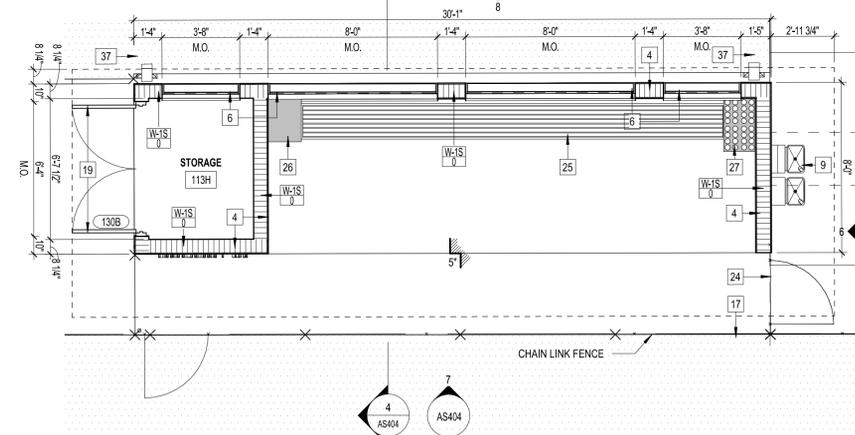
3 ROOF PLAN

Scale: 1/4" = 1'-0"



2 REFLECTED CEILING PLAN

Scale: 1/4" = 1'-0"



1 TYPICAL DUGOUT FLOOR PLAN

Scale: 1/4" = 1'-0"

PERIMETER BUILDINGS LEGEND

- CONCRETE WALL (CUT)
- CONCRETE MASONRY WALL (CUT)
- PAINTED STRIPING ON CONCRETE
- CONCRETE COLUMN
- 8" DECORATIVE ALUMINUM FENCE
- 10' VINYL COATED CHAIN LINK FENCE
- 10' VINYL COATED CHAIN LINK FENCE WITH NET ABOVE
- INDICATES DOOR NUMBER
- PARTITION OR WALL TYPE
- INDICATES MATERIAL NUMBER
- INDICATES LOUVER NUMBER
- INDICATES ROOM NAME AND NUMBER
- SECTION DIRECTION
- SECTION NUMBER ON SHEET
- INDICATES ELEVATIONS AND SECTIONS
- ELEVATION NUMBER ON SHEET
- SHEET NUMBER
- INDICATES INTERIOR ELEVATIONS
- ELEVATION DIRECTION
- SCOPE OF DETAIL
- INDICATES CALLOUT PLAN REFERENCE
- DETAIL NUMBER ON SHEET
- SHEET NUMBER

PERIMETER BUILDINGS GENERAL NOTES

- FOR GENERAL FINISHES AND SCHEDULES REFER TO SHEET A-600.
- FOR ALL CABANAS, CEILING EXPOSED TO FLOATING CONCRETE WITH SMOOTH STUCCO FINISH AND ALL LIGHT FIXTURES TO BE VANDAL RESISTANT.

PERIMETER BUILDINGS KEYNOTES

- ALL ROOFS TO SLOPE MINIMUM 1/4" PER FT.
- 6" CONTINUOUS ALUMINUM GUTTER COLOR TO MATCH DECOR.
- CONTINUOUS ALUMINUM RAIN LEADERS TO MATCH DECOR. PROVIDE SPLASH BLOCKS AT BOTTOM OF EACH RAIN LEADER. WHERE NOT CONNECTED TO UNDERGROUND STORM WATER DRAIN SYSTEM.
- 8" CMU WALL W/ 5/8" SMOOTH STUCCO FINISH (ONE SIDE) REFERENCE STRUCTURAL DRAWINGS.
- UNDER CANOPY WITH FASCIA SMOOTH STUCCO FINISH COLOR TO MATCH DECOR.
- ALUMINUM LOUVER SYSTEM POWDER COAT. COLOR TO MATCH DECOR. SUBMIT PRODUCT APPROVAL CERTIFICATION.
- 1 1/2" REGLET. COLOR TO MATCH DECOR.
- UNDER CANOPY LIGHT TO BE WATER PROTECTED AND VANDAL RESISTANT. REFERENCE LIGHTING SCHEDULE AND ENGINEERING DRAWINGS.
- H.C. ACCESSIBLE. B-LEVEL DRINKING FOUNTAIN WITH STAINLESS SURFACE MOUNTED STEEL BACKSPLASH BEHIND. REFERENCE ENGINEERING DRAWINGS FOR INFORMATION AND SPECS.
- HOSE BIB. REFERENCE PLUMBING DRAWINGS FOR LOCATION AND SPECS.
- CONCRETE COLUMN WITH SMOOTH STUCCO FINISH. PAINT COLOR TO MATCH DECOR.
- INTERIOR BLOCK WALLS SKIM COAT BLOCK FILLER SMOOTH FINISH. "NON-ABSORBENT" PAINT FINISH TO MATCH DECOR.
- CONCRETE BENCH SEAT. SMOOTH CONCRETE FINISH, NON-ABSORBENT PAINT FINISH.
- 3" WIDE HC FIBERGLASS DOOR. PAINT FINISH TO MATCH DECOR. REFERENCE DOOR SCHEDULE. PROVIDE PRIVACY SCREEN LOUVERING AT BOTTOM.
- PROVIDE NUMBERING FOR EACH ROOM. ALUMINUM, POWDER COAT FINISH SILVER METAL.
- DECORATIVE ALUMINUM FENCE
- VINYL COATED CHAIN LINK FENCE
- VINYL COATED CHAIN LINK FENCE W/ 10' NET ABOVE
- 6" WIDE HC FIBERGLASS DOOR. PAINT FINISH TO MATCH DECOR. REFERENCE DOOR SCHEDULE.
- 6" DIA. X 3' H STEEL PIPE CONCRETE FILLED BOLLARD. 2" EMBEDDED (TYPICAL)
- HEAVY DUTY METAL PANEL SYSTEM
- SOLID ALUMINUM PANELS GATE
- 8" CMU WALL W/ STUCCO FINISH ON BOTH SIDES. REFERENCE STRUCTURAL DRAWINGS
- 3" WIDE GATE. HEIGHT TO MATCH FENCE
- 20" ALUMINUM FLOOR MOUNTED BENCH (BY OWNER)
- ALUMINUM COUNTER (BY OWNER)
- BAT RACK (BY OWNER)
- 8" DIAMETER STEEL POST CONCRETE FILLED. 6' LG. 2" EMBEDDED
- CONCRETE SERVICE APRON W HOLES IN APRON FOR GATE STOPS WITH GATE LATCHES
- EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DOCUMENTS
- SINGLE-PLY ROOFING MEMBRANE SYSTEM OVER CONCRETE SLAB. SUBMIT PRODUCT APPROVAL CERTIFICATION.
- STANDING SEAM METAL ROOF. SUBMIT PRODUCT APPROVAL CERTIFICATION
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Juan Justiniano
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CITY OF DELRAY BEACH
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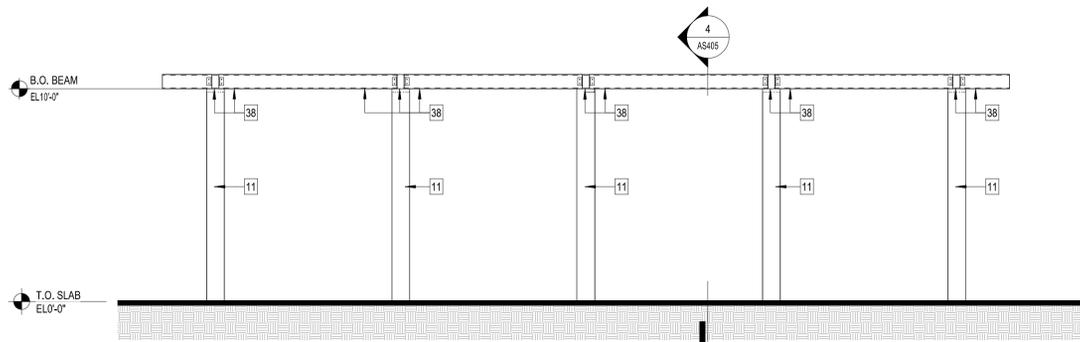
PROJECT:
REVISIONS:
1 05-15-2022 SPRAB REVIEW

TITLE:
TYPICAL DUGOUT PLANS

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

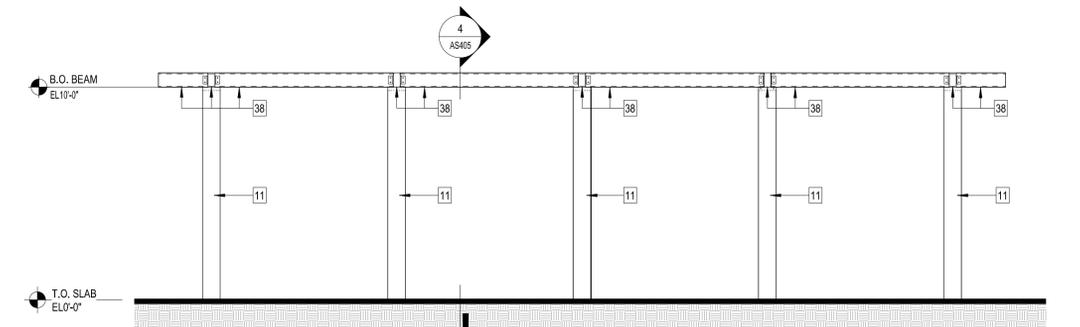
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JOB NO:
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AS404

SPRAB SUBMITTAL 07-16-2022



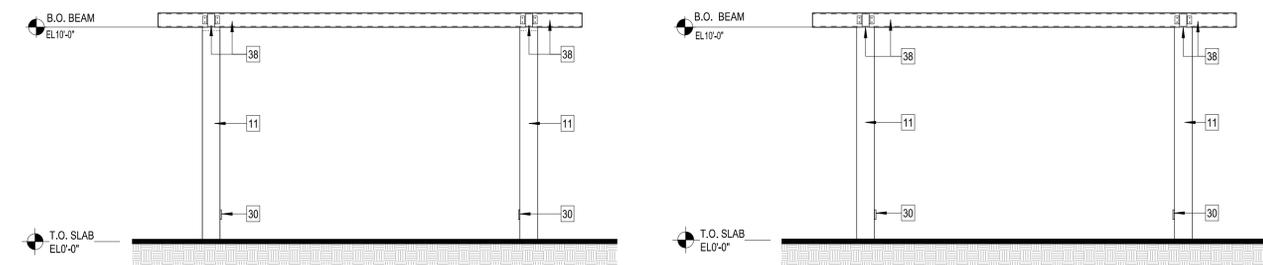
SOUTH ELEVATION

Scale: 1/4" = 1'-0"



NORTH ELEVATION

Scale: 1/4" = 1'-0"

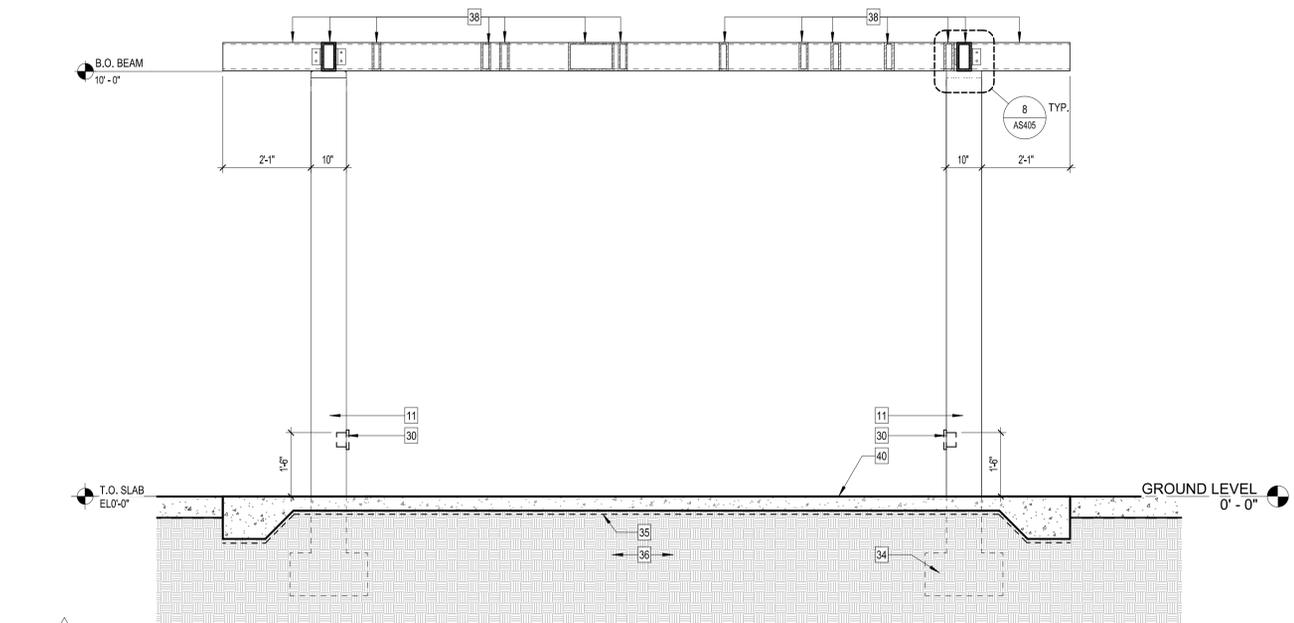


EAST ELEVATION

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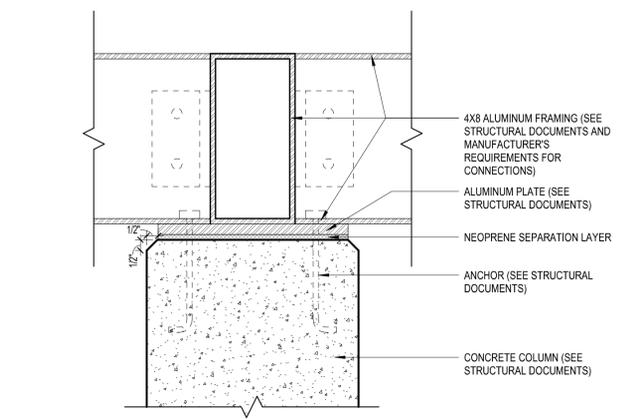
WEST ELEVATION

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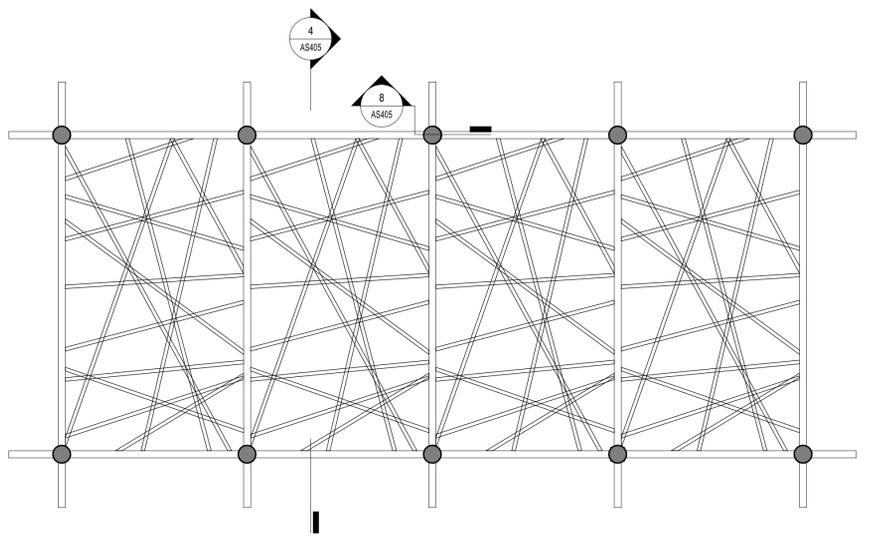
SECTION

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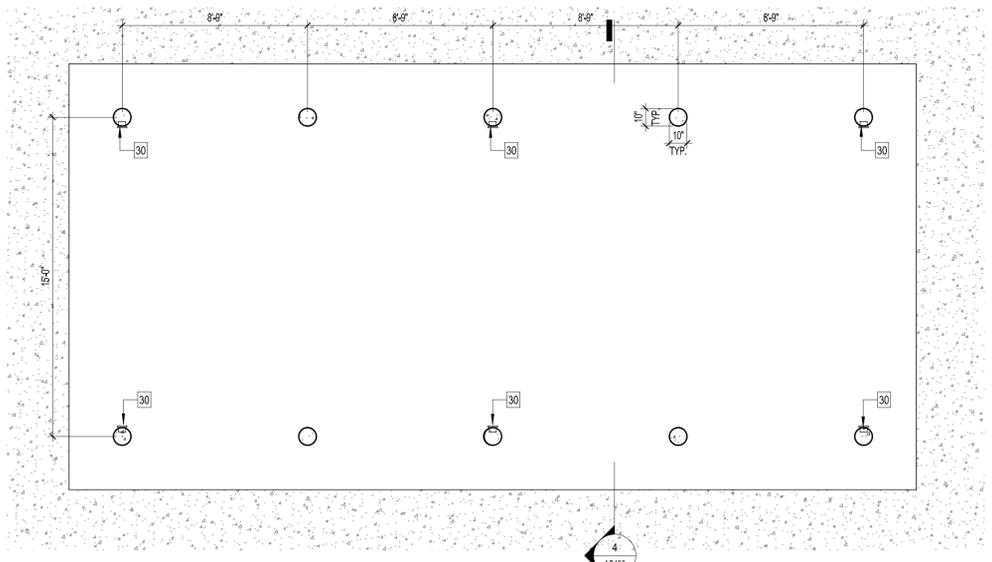
CONNECTION DETAIL

Scale: 3" = 1'-0"



REFLECTED CEILING PLAN - PERGOLA

Scale: 1/4" = 1'-0"



PERGOLA PLAN

Scale: 1/4" = 1'-0"

PERIMETER BUILDINGS LEGEND

- CONCRETE WALL (CUT)
- CONCRETE MASONRY WALL (CUT)
- PAINTED STRIPING ON CONCRETE
- CONCRETE COLUMN
- 8' DECORATIVE ALUMINUM FENCE
- 10' VINYL COATED CHAIN LINK FENCE
- 10' VINYL COATED CHAIN LINK FENCE WITH NET ABOVE
- INDICATES DOOR NUMBER
- PARTITION OR WALL TYPE
- INDICATES MATERIAL NUMBER
- INDICATES LOUVER NUMBER
- INDICATES ROOM NAME AND NUMBER
- SECTION DIRECTION
- INDICATES ELEVATIONS AND SECTIONS
- INDICATES INTERIOR ELEVATIONS
- INDICATES CALLOUT PLAN REFERENCE

PERIMETER BUILDINGS GENERAL NOTES

1. FOR GENERAL FINISHES AND SCHEDULES REFER TO SHEET A-600.
2. FOR ALL CABANAS, CEILING EXPOSED TO FLOATING CONCRETE WITH SMOOTH STUCCO FINISH AND ALL LIGHT FIXTURES TO BE VANDAL RESISTANT.

PERIMETER BUILDINGS KEYNOTES

1. ALL ROOFS TO SLOPE MINIMUM 1/4" PER FT.
2. 6" CONTINUOUS ALUMINUM GUTTER COLOR TO MATCH DECOR.
3. 6" CONTINUOUS ALUMINUM RAIN LEADERS TO MATCH DECOR. PROVIDE SPLASH BLOCKS AT BOTTOM OF EACH RAIN LEADER. WHERE NOT CONNECTED TO UNDERGROUND STORM WATER DRAIN SYSTEM.
4. 8" CMU WALL W/ 5/8" SMOOTH STUCCO FINISH (ONE SIDE) REFERENCE STRUCTURAL DRAWINGS.
5. UNDER CANOPY WITH FASCIA SMOOTH STUCCO FINISH COLOR TO MATCH DECOR.
6. ALUMINUM LOUVER SYSTEM POWDER COAT. COLOR TO MATCH DECOR. SUBMIT PRODUCT APPROVAL CERTIFICATION.
7. 1 1/2" REGLET. COLOR TO MATCH DECOR.
8. UNDER CANOPY LIGHT TO BE WATER PROTECTED AND VANDAL RESISTANT. REFERENCE LIGHTING SCHEDULE AND ENGINEERING DRAWINGS.
9. H.C. ACCESSIBLE. B-E LEVEL DRINKING FOUNTAIN WITH STAINLESS SURFACE MOUNTED STEEL BACKSPLASH BEHIND. REFERENCE ENGINEERING DRAWINGS FOR INFORMATION AND SPECS.
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21. HEAVY DUTY METAL PANEL SYSTEM
22. 12' SOLID ALUMINUM PANELS GATE
23. 8" CMU WALL W/ STUCCO FINISH ON BOTH SIDES. REFERENCE STRUCTURAL DRAWINGS
24. 3" WIDE GATE. HEIGHT TO MATCH FENCE
25. 20" ALUMINUM FLOOR MOUNTED BENCH (BY OWNER)
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39. HURRICANE STRAP. SEE STRUCTURAL DOCUMENTS
40. CONCRETE SLAB. SEE STRUCTURAL DOCUMENTS
41. STRUCTURAL SUPPORTS AS REQUIRED. SUBMIT PRODUCT APPROVAL CERTIFICATION



KEY PLAN



2401 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
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2022.07.25
16:26:18-0400'

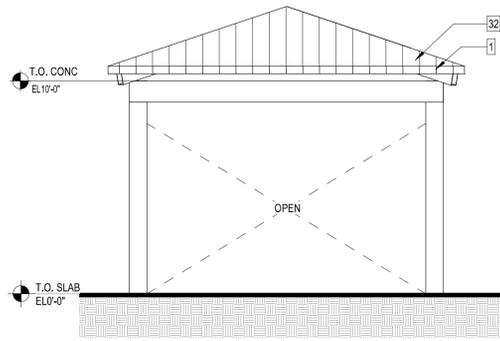
PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST. DELRAY BEACH
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REVISIONS:
1. 05-15-2022 SPRAB REVIEW
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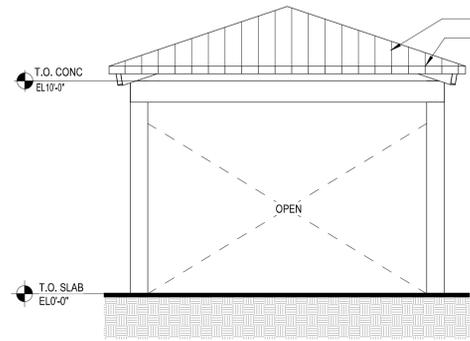
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DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO: 2122

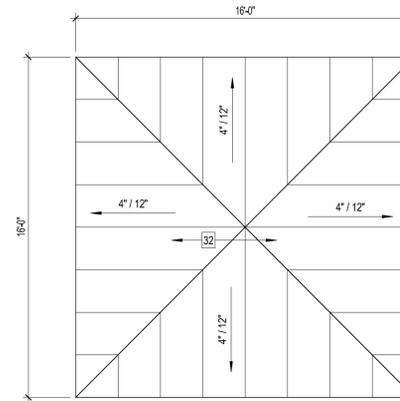
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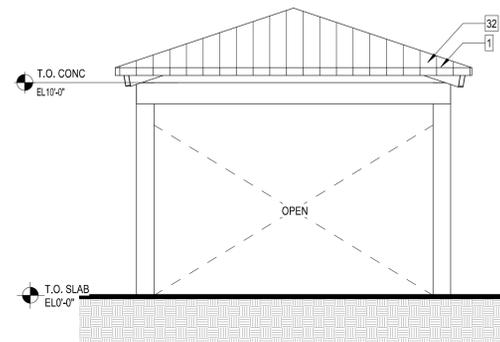
8 EAST ELEVATION
Scale: 1/4" = 1'-0"



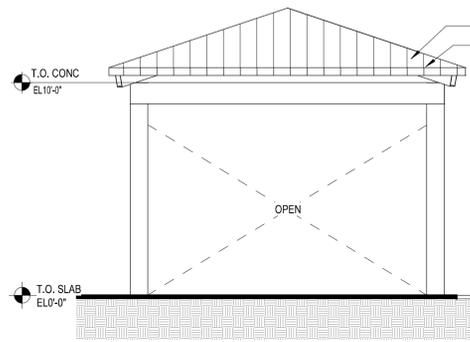
6 SOUTH ELEVATION
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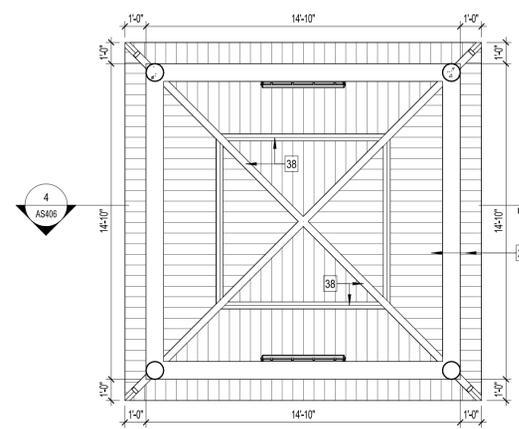
3 ROOF PLAN
Scale: 1/4" = 1'-0"



7 WEST ELEVATION
Scale: 1/4" = 1'-0"



5 NORTH ELEVATION
Scale: 1/4" = 1'-0"



2 REFLECTED CEILING PLAN
Scale: 1/4" = 1'-0"

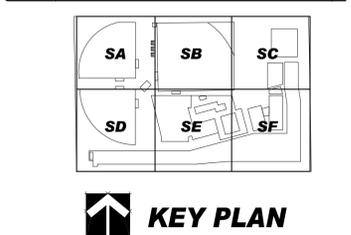
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- SCOPE OF DETAIL
- INDICATES CALLOUT PLAN REFERENCE
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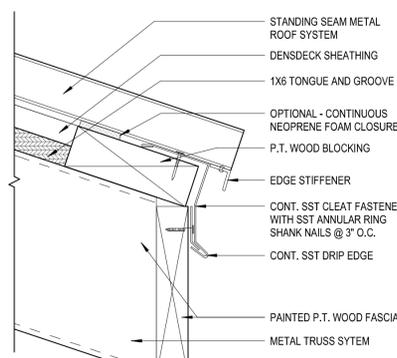
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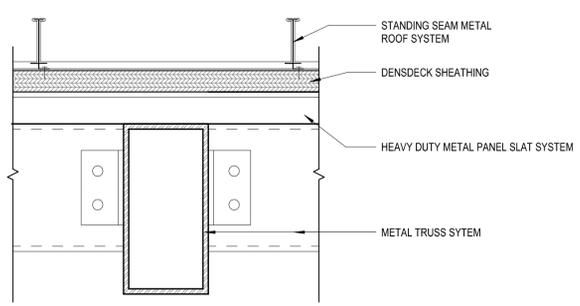
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 - CONCRETE SLAB. SEE STRUCTURAL DOCUMENTS
 - STRUCTURAL SUPPORTS AS REQUIRED. SUBMIT PRODUCT APPROVAL CERTIFICATION



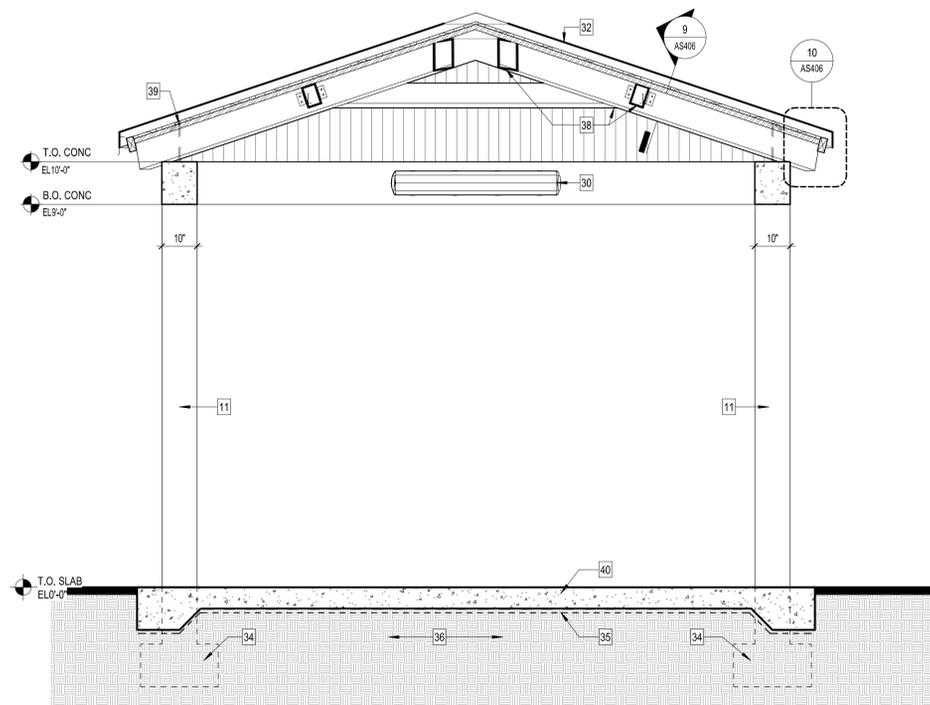
KEY PLAN
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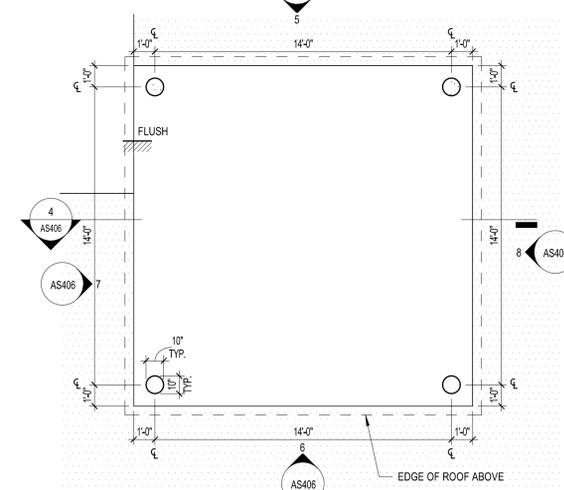
10 FASCIA DETAIL
Scale: 3" = 1'-0"



9 TRUSS DETAIL
Scale: 3" = 1'-0"



4 SECTION
Scale: 1/2" = 1'-0"



1 PAVILION PLAN
Scale: 1/4" = 1'-0"



2401 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justino
ARB4371
2022.07.25
16:26:29-0407
AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

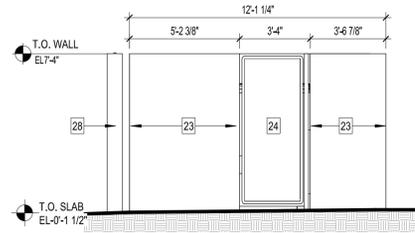
REVISIONS:
1. 05-15-2022 SPRAB REVIEW
2. 07-16-2022 SPRAB REVIEW

TITLE: FLOOR PLANS, RCP, ELEVATIONS, SECTION - PAVILION
DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

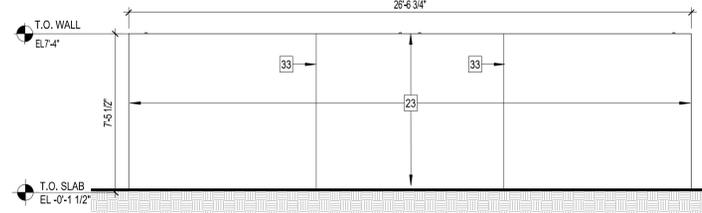
JOB NO:
2122

SHEET:
AS406

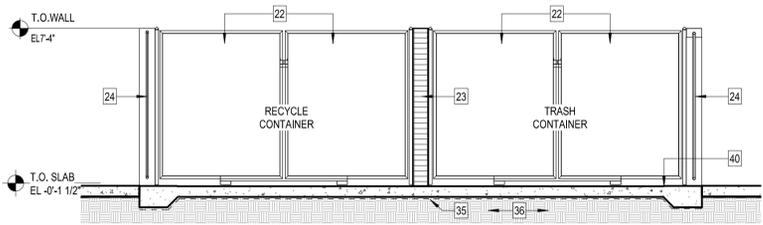
SPRAB SUBMITTAL 07-16-2022



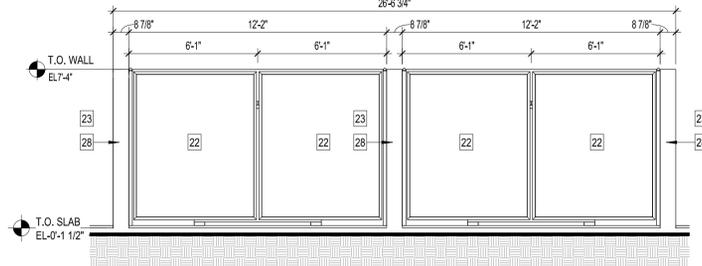
4 NORTH ELEVATION
Scale: 1/4" = 1'-0"



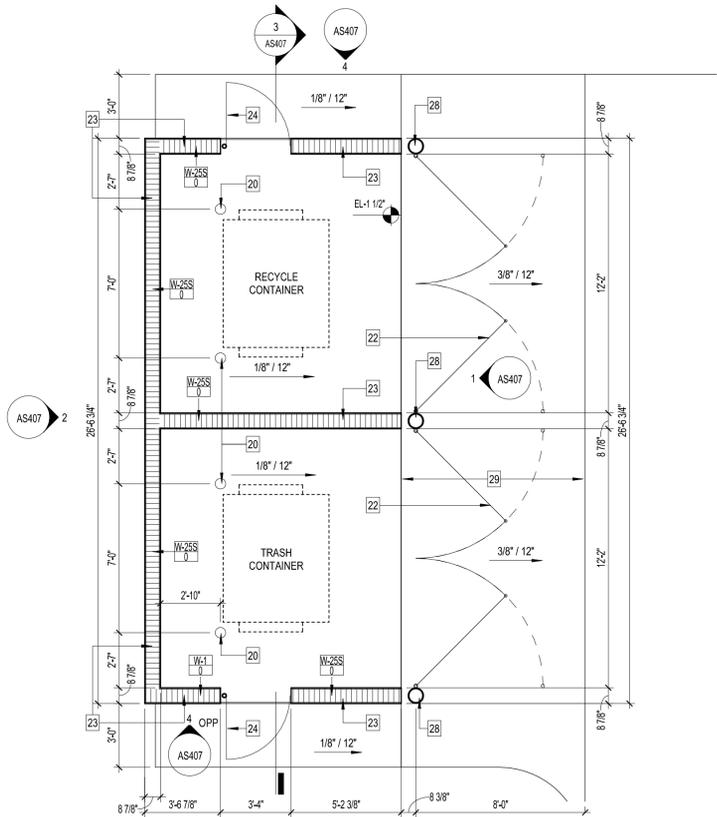
2 WEST ELEVATION
Scale: 1/4" = 1'-0"



3 SECTION
Scale: 1/4" = 1'-0"



1 EAST ELEVATION
Scale: 1/4" = 1'-0"



A TRASH ENCLOSURE - FLOOR PLAN
Scale: 1/4" = 1'-0"

PERIMETER BUILDINGS LEGEND

- CONCRETE WALL (CUT)
- CONCRETE MASONRY WALL (CUT)
- PAINTED STRIPING ON CONCRETE
- CONCRETE COLUMN
- 8' DECORATIVE ALUMINUM FENCE
- 10' VINYL COATED CHAIN LINK FENCE
- 10' VINYL COATED CHAIN LINK FENCE WITH NET ABOVE
- INDICATES DOOR NUMBER
- PARTITION OR WALL TYPE
- INDICATES MATERIAL NUMBER
- INDICATES LOUVER NUMBER
- INDICATES ROOM NAME AND NUMBER
- SECTION DIRECTION SECTION NUMBER ON SHEET
- INDICATES ELEVATIONS AND SECTIONS
- INDICATES INTERIOR ELEVATIONS
- SCOPE OF DETAIL
- INDICATES CALLOUT PLAN REFERENCE
- DETAIL NUMBER ON SHEET

PERIMETER BUILDINGS GENERAL NOTES

- FOR GENERAL FINISHES AND SCHEDULES REFER TO SHEET A-600.
- FOR ALL CABANAS, CEILING EXPOSED TO FLOATING CONCRETE WITH SMOOTH STUCCO FINISH AND ALL LIGHT FIXTURES TO BE VANDAL RESISTANT.

- PERIMETER BUILDINGS KEYNOTES**
- ALL ROOFS TO SLOPE MINIMUM 1/4" PER FT.
 - 6" CONTINUOUS ALUMINUM GUTTER COLOR TO MATCH DECOR.
 - 6" CONTINUOUS ALUMINUM RAIN LEADERS TO MATCH DECOR. PROVIDE SPLASH BLOCKS AT BOTTOM OF EACH RAIN LEADER. WHERE NOT CONNECTED TO UNDERGROUND STORM WATER DRAIN SYSTEM.
 - 8" CMU WALL W/ 5/8" SMOOTH STUCCO FINISH (ONE SIDE) REFERENCE STRUCTURAL DRAWINGS.
 - UNDER CANOPY WITH FASCIA SMOOTH STUCCO FINISH COLOR TO MATCH DECOR.
 - ALUMINUM LOUVER SYSTEM POWDER COAT. COLOR TO MATCH DECOR. SUBMIT PRODUCT APPROVAL CERTIFICATION.
 - 1 1/2" REGLET. COLOR TO MATCH DECOR.
 - UNDER CANOPY LIGHT TO BE WATER PROTECTED AND VANDAL RESISTANT. REFERENCE LIGHTING SCHEDULE AND ENGINEERING DRAWINGS.
 - H.C. ACCESSIBLE. B-LEVEL DRINKING FOUNTAIN WITH STAINLESS SURFACE MOUNTED STEEL BACKSPLASH BEHIND. REFERENCE ENGINEERING DRAWINGS FOR INFORMATION AND SPECS.
 - HOSE BIB. REFERENCE PLUMBING DRAWINGS FOR LOCATION AND SPECS.
 - CONCRETE COLUMN WITH SMOOTH STUCCO FINISH. PAINT COLOR TO MATCH DECOR.
 - INTERIOR BLOCK WALLS SKIM COAT BLOCK FILLER SMOOTH FINISH. "NON-ABSORBENT" PAINT FINISH TO MATCH DECOR.
 - CONCRETE BENCH SEAT. SMOOTH CONCRETE FINISH. NON-ABSORBENT PAINT FINISH.
 - 3" WIDE HC FIBERGLASS DOOR. PAINT FINISH TO MATCH DECOR. REFERENCE DOOR SCHEDULE. PROVIDE PRIVACY SCREEN LOUVERING AT BOTTOM.
 - PROVIDE NUMBERING FOR EACH ROOM. ALUMINUM, POWDER COAT FINISH SILVER METAL.
 - 8" DECORATIVE ALUMINUM FENCE
 - 10' VINYL COATED CHAIN LINK FENCE
 - 10' VINYL COATED CHAIN LINK FENCE W/ 10' NET ABOVE
 - 6" WIDE HC FIBERGLASS DOOR. PAINT FINISH TO MATCH DECOR. REFERENCE DOOR SCHEDULE.
 - 6" DIA. X 3' H STEEL PIPE CONCRETE FILLED BOLLARD. 2" EMBEDDED (TYPICAL)
 - HEAVY DUTY METAL PANEL SYSTEM
 - 12" SOLID ALUMINUM PANELS GATE
 - 8" CMU WALL W/ STUCCO FINISH ON BOTH SIDES. REFERENCE STRUCTURAL DRAWINGS
 - 3" WIDE GATE. HEIGHT TO MATCH FENCE
 - 20" ALUMINUM FLOOR MOUNTED BENCH (BY OWNER)
 - ALUMINUM COUNTER (BY OWNER)
 - BAT RACK (BY OWNER)
 - 8" DIAMETER STEEL POST CONCRETE FILLED. 6' LG. 2" EMBEDDED
 - 8" CONCRETE SERVICE APRON W HOLES IN APRON FOR GATE STOPS WITH GATE LATCHES
 - EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DOCUMENTS
 - SINGLE-PLY ROOFING MEMBRANE SYSTEM OVER CONCRETE SLAB. SUBMIT PRODUCT APPROVAL CERTIFICATION.
 - STANDING SEAM METAL ROOF. SUBMIT PRODUCT APPROVAL CERTIFICATION
 - STUCCO CONTROL JOINT
 - FOUNDATION. SEE STRUCTURAL DRAWINGS.
 - VAPOR BARRIER
 - CLEAN TERMITE TREATED COMPACTED FILL
 - SPLASH BLOCK
 - PRE-ENGINEERED ALUMINUM STRUCTURAL MEMBER. SEE STRUCTURAL DOCUMENTS
 - HURRICANE STRAP. SEE STRUCTURAL DOCUMENTS
 - CONCRETE SLAB. SEE STRUCTURAL DOCUMENTS
 - STRUCTURAL SUPPORTS AS REQUIRED. SUBMIT PRODUCT APPROVAL CERTIFICATION



KEY PLAN



2401 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
ARB4371
2022.07.25
16:26:39-0400'

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:
1. 05-15-2022 SPRAB REVIEW
2. 07-16-2022 SPRAB REVIEW

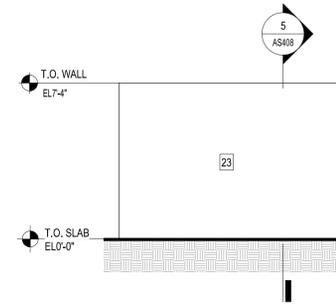
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DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO.:
2122

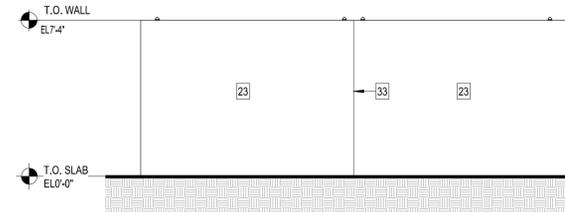
SHEET:
AS407

SPRAB SUBMITTAL 07-16-2022



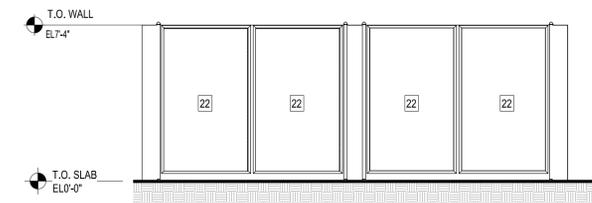
4 EAST ELEVATION

Scale: 1/4" = 1'-0"



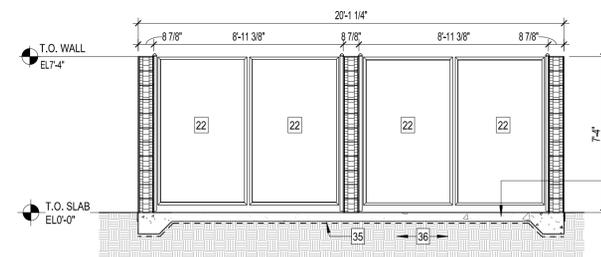
3 SOUTH ELEVATION

Scale: 1/4" = 1'-0"



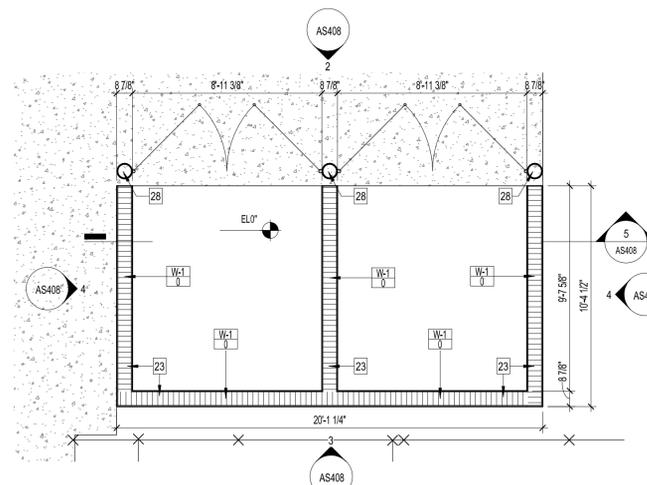
2 NORTH ELEVATION

Scale: 1/4" = 1'-0"



5 SECTION

Scale: 1/4" = 1'-0"



1 STORAGE BIN PLAN

Scale: 1/4" = 1'-0"

PERIMETER BUILDINGS LEGEND

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- CONCRETE MASONRY WALL (CUT)
- PAINTED STRIPING ON CONCRETE
- CONCRETE COLUMN
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- 10' VINYL COATED CHAIN LINK FENCE
- 10' VINYL COATED CHAIN LINK FENCE WITH NET ABOVE
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- PARTITION OR WALL TYPE
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- SECTION DIRECTION SECTION NUMBER ON SHEET
- INDICATES ELEVATIONS AND SECTIONS
- ELEVATION NUMBER ON SHEET
- INDICATES INTERIOR ELEVATIONS
- SCOPE OF DETAIL
- INDICATES CALLOUT PLAN REFERENCE
- DETAIL NUMBER ON SHEET

PERIMETER BUILDINGS GENERAL NOTES

1. FOR GENERAL FINISHES AND SCHEDULES REFER TO SHEET A-600.
2. FOR ALL CABANAS, CEILING EXPOSED TO FLOATING CONCRETE WITH SMOOTH STUCCO FINISH AND ALL LIGHT FIXTURES TO BE VANDAL RESISTANT

PERIMETER BUILDINGS KEYNOTES

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2. 6" CONTINUOUS ALUMINUM GUTTER COLOR TO MATCH DECOR.
3. 6" CONTINUOUS ALUMINUM RAIN LEADERS TO MATCH DECOR. PROVIDE SPLASH BLOCKS AT BOTTOM OF EACH RAIN LEADER. WHERE NOT CONNECTED TO UNDERGROUND STORM WATER DRAIN SYSTEM.
4. 8" CMU WALL W/ 5/8" SMOOTH STUCCO FINISH (ONE SIDE) REFERENCE STRUCTURAL DRAWINGS.
5. UNDER CANOPY WITH FASCIA SMOOTH STUCCO FINISH COLOR TO MATCH DECOR.
6. ALUMINUM LOUVER SYSTEM POWDER COAT. COLOR TO MATCH DECOR. SUBMIT PRODUCT APPROVAL CERTIFICATION.
7. 1 1/2" REGLET. COLOR TO MATCH DECOR
8. UNDER CANOPY LIGHT TO BE WATER PROTECTED AND VANDAL RESISTANT. REFERENCE LIGHTING SCHEDULE AND ENGINEERING DRAWINGS.
9. H.C. ACCESSIBLE. 8"-LEVEL DRINKING FOUNTAIN WITH STAINLESS SURFACE MOUNTED STEEL BACKSPLASH BEHIND. REFERENCE ENGINEERING DRAWINGS FOR INFORMATION AND SPECS.
10. HOSE BIB. REFERENCE PLUMBING DRAWINGS FOR LOCATION AND SPECS.
11. CONCRETE COLUMN WITH SMOOTH STUCCO FINISH. PAINT COLOR TO MATCH DECOR.
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13. CONCRETE BENCH SEAT. SMOOTH CONCRETE FINISH, NON-ABSORBENT PAINT FINISH.
14. 3" WIDE HC FIBERGLASS DOOR. PAINT FINISH TO MATCH DECOR. REFERENCE DOOR SCHEDULE. PROVIDE PRIVACY SCREEN LOUVERING AT BOTTOM.
15. PROVIDE NUMBERING FOR EACH ROOM. ALUMINUM, POWDER COAT FINISH SILVER METAL.
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20. 6" DIA. X 3' H STEEL PIPE CONCRETE FILLED BOLLARD. 2" EMBEDDED (TYPICAL)
21. HEAVY DUTY METAL PANEL SYSTEM
22. 12" SOLID ALUMINUM PANELS GATE
23. 8" CMU WALL W/ STUCCO FINISH ON BOTH SIDES. REFERENCE STRUCTURAL DRAWINGS
24. 3" WIDE GATE. HEIGHT TO MATCH FENCE
25. 20" ALUMINUM FLOOR MOUNTED BENCH (BY OWNER)
26. ALUMINUM COUNTER (BY OWNER)
27. BAT RACK (BY OWNER)
28. 8" DIAMETER STEEL POST CONCRETE FILLED. 6' LG. 2" EMBEDDED
29. 8" CONCRETE SERVICE APRON W HOLES IN APRON FOR GATE STOPS WITH GATE LATCHES
30. EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DOCUMENTS
31. SINGLE-PLY ROOFING MEMBRANE SYSTEM OVER CONCRETE SLAB. SUBMIT PRODUCT APPROVAL CERTIFICATION.
32. STANDING SEAM METAL ROOF. SUBMIT PRODUCT APPROVAL CERTIFICATION
33. STUCCO CONTROL JOINT
34. FOUNDATION. SEE STRUCTURAL DRAWINGS.
35. VAPOR BARRIER
36. CLEAN TERMITE TREATED COMPACTED FILL
37. SPLASH BLOCK
38. PRE-ENGINEERED ALUMINUM STRUCTURAL MEMBER. SEE STRUCTURAL DOCUMENTS
39. HURRICANE STRAP. SEE STRUCTURAL DOCUMENTS
40. CONCRETE SLAB. SEE STRUCTURAL DOCUMENTS
41. STRUCTURAL SUPPORTS AS REQUIRED. SUBMIT PRODUCT APPROVAL CERTIFICATION



KEY PLAN



2401 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
ARB4371
2022.07.25
16:26:49-0400'

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:
1. 07-15-2022 SPRAB REVIEW
2. 07-16-2022 SPRAB REVIEW

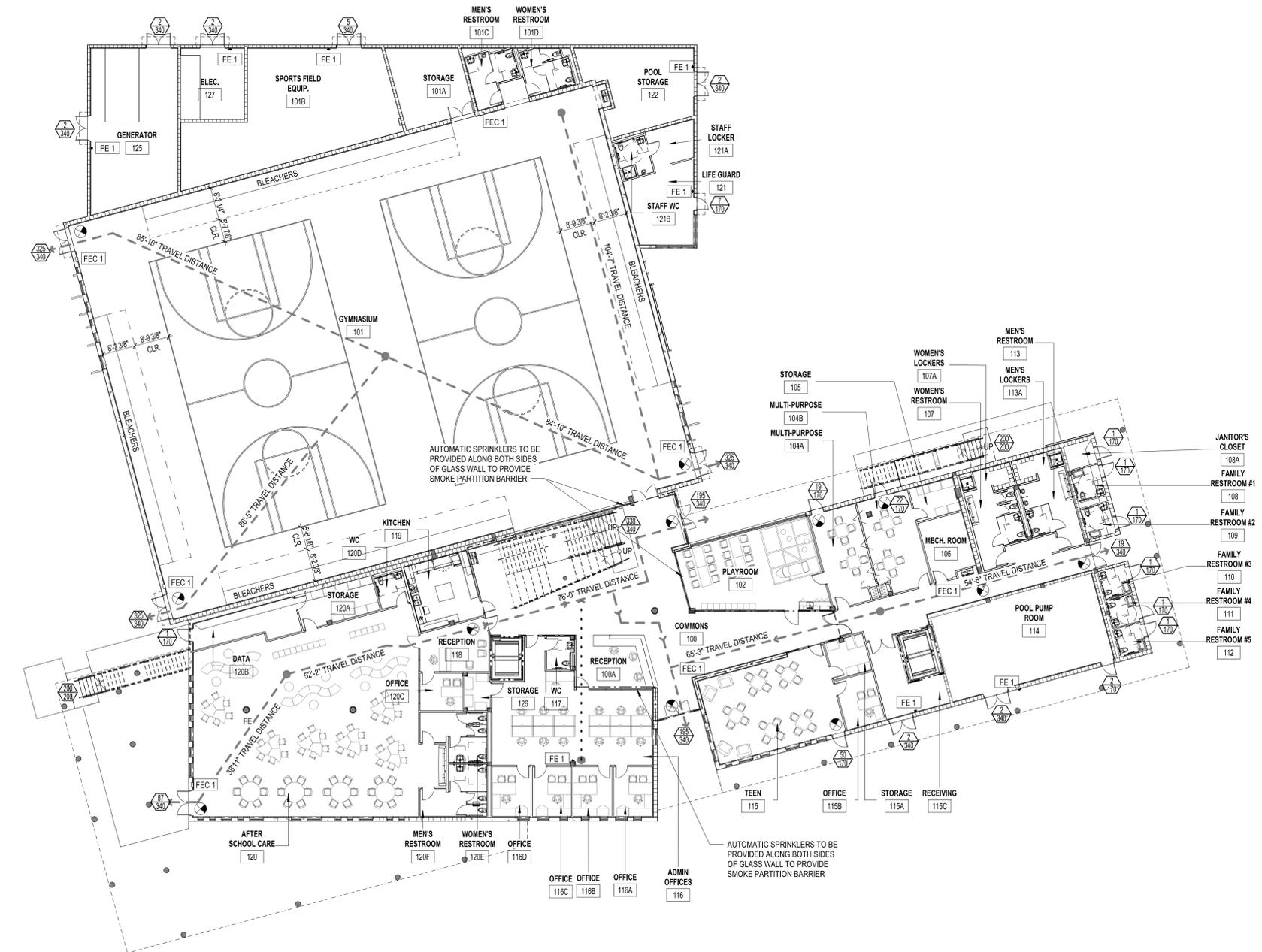
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STORAGE BINS PLANS

JOB NO.:
2122

SHEET:
AS408

SPRAB SUBMITTAL 07-16-2022

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJT, JS



GROUND LEVEL LIFE SAFETY PLAN
Scale: 1/16" = 1'-0"

LIFE SAFETY PLAN LEGEND

- → PRIMARY MEANS OF EGRESS
- ● ● ● COMMON PATH OF TRAVEL TO NEAREST EXIT
- 0.5 HOUR FIRE RATING
- SMOKE PARTITION BARRIER
- 2 HOUR FIRE RATING
- ACTUAL EGRESS CAPACITY (NUMBER OF PERSONS) DIRECTION OF TRAVEL
- EGRESS DOOR CAPACITY PROVIDED (NUMBER OF PERSONS)
- ⊙ EXIT LIGHT FIXTURE (SURFACE MOUNTED)
- ⊙ EXIT LIGHT FIXTURE (WALL MOUNTED)
- ⊙ EMERGENCY LIGHT FIXTURE
- FEC 1 SURFACE MOUNTED WALL BRACKET WITH 10 LB 4A:80B:C FIRE EXTINGUISHER
- FEC 1 SURFACE MOUNTED STAINLESS STEEL FIRE EXTINGUISHER CABINET WITH A 10 LB, 4A:80B:C FIRE EXTINGUISHER
- FHC FIRE HOSE CONNECTION
- AED 1 SURFACE MOUNTED AED AND CABINET

GRND. LEVEL OCCUP. LOAD SCHED

Number	Name	Area	Occ. Factor	Fixed Seating	Occ. Total
ACCESSORY					
101A	STORAGE	369 SF	300		2
101B	SPORTS FIELD EQUIPMENT	1250 SF	300		5
105	STORAGE	125 SF	300		1
106	MECH ROOM	190 SF	300		1
108A	JANITORS CLOSET	64 SF	300		1
114	POOL PUMP ROOM	1003 SF	300		4
115A	STORAGE	104 SF	300		1
115C	RECEIVING	249 SF	300		1
120A	STORAGE	212 SF	300		1
120B	DATA	249 SF	300		1
122	POOL STORAGE	562 SF	300		2
125	GENERATOR	968 SF	300		4
126	STORAGE	67 SF	300		1
127	ELEC.	312 SF	300		2
ASSEMBLY					
104A	MULTI-PURPOSE	281 SF	15		19
104B	MULTI-PURPOSE	308 SF	15		21
115	TEEN	713 SF	15		48
BUSINESS					
001	ELEVATOR 2	109 SF	150		1
002	ELEVATOR 1	88 SF	150		1
100	COMMONS	3011 SF	150		21
100A	RECEPTION	257 SF	150		2
101C	MEN'S RESTROOM	172 SF	150		2
101D	WOMEN'S RESTROOM	149 SF	150		1
107	WOMEN'S RESTROOM	243 SF	150		2
108	FAMILY RESTROOM 1	78 SF	150		1
109	FAMILY RESTROOM 2	84 SF	150		1
110	FAMILY RESTROOM 3	74 SF	150		1
111	FAMILY RESTROOM 4	69 SF	150		1
112	FAMILY RESTROOM 5	77 SF	150		1
113	MEN'S RESTROOM	235 SF	150		2
115B	OFFICE	147 SF	150		1
116	ADMIN OFFICES	929 SF	150		7
116A	OFFICE	155 SF	150		2
116B	OFFICE	141 SF	150		1
116C	OFFICE	141 SF	150		1
116D	OFFICE	141 SF	150		1
117	WC	64 SF	150		1
118	RECEPTION	216 SF	150		2
120C	OFFICE	111 SF	150		1
120D	WC	82 SF	150		1
120E	WOMEN'S RESTROOM	205 SF	150		2
120F	MEN'S RESTROOM	336 SF	150		3
121	LIFE GUARD	344 SF	150		3
121B	STAFF WC	97 SF	150		1
DAYCARE					
102	PLAYROOM	678 SF	35		20
120	AFTER SCHOOL CARE	2722 SF	35		78
EXERCISE					
101	GYMNASIUM	12057 SF	50		242
101-BE	EAST BLEACHERS	524 SF		164	
101-BN	NORTH BLEACHERS	860 SF		208	
101-BS	SOUTH BLEACHERS	610 SF		192	
101-BW	WEST BLEACHERS	524 SF		164	
KITCHEN					
119	KITCHEN	309 SF	200		2
LOCKER ROOM					
107A	WOMEN'S LOCKER	89 SF	50		2
113A	MEN'S LOCKER	84 SF	50		2
121A	STAFF LOCKER	123 SF	50		3
				728	528

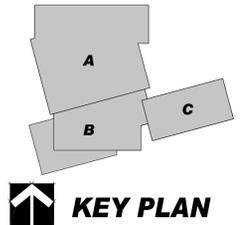
GRND. LEVEL OCCUP. CALCULATIONS

- 528 OCCUPANTS FROM AREA
- 728 OCCUPANTS FROM FIXED SEATING

GRAND TOTAL 1,256 OCCUPANTS

FIRE RESISTANT MATERIAL TYPE

TYPE 1: UL DESIGN D942
SPRAY APPLIED FIRE RESISTANT MATERIAL (SFRM)
MEDIUM DURABILITY FOR INTERIOR USE. APPLY TO ALL STEEL BEAMS AND STEEL DECK.



2401 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
AR#4371
2022.07.28
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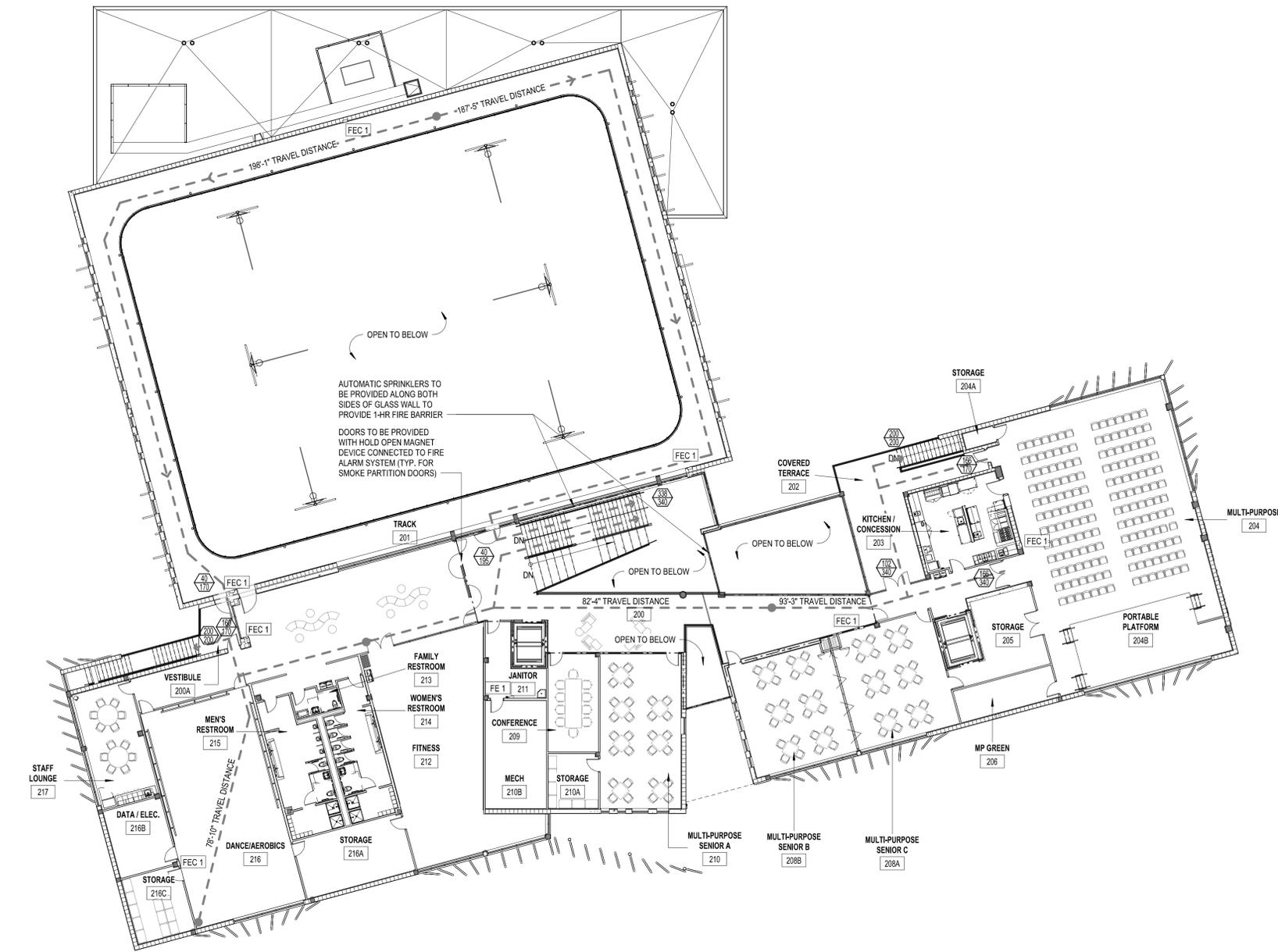
PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:

TITLE: LIFE SAFETY PLAN - GROUND LEVEL
DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

SHEET:
LS110

SPRAB SUBMITTAL 07-16-2022



SECOND LEVEL LIFE SAFETY PLAN
Scale: 1/16" = 1'-0"

LIFE SAFETY PLAN LEGEND

- → PRIMARY MEANS OF EGRESS
- ● ● ● COMMON PATH OF TRAVEL TO NEAREST EXIT
- 0.5 HOUR FIRE RATING
- SMOKE PARTITION BARRIER
- 2 HOUR FIRE RATING
- ACTUAL EGRESS CAPACITY (NUMBER OF PERSONS) DIRECTION OF TRAVEL
- EGRESS DOOR CAPACITY PROVIDED (NUMBER OF PERSONS)
- ☉ EXIT LIGHT FIXTURE (SURFACE MOUNTED)
- ☉ EXIT LIGHT FIXTURE (WALL MOUNTED)
- ☉ EMERGENCY LIGHT FIXTURE
- FE 1 SURFACE MOUNTED WALL BRACKET WITH 10 LB 4A:80B:C FIRE EXTINGUISHER
- FEC 1 SURFACE MOUNTED STAINLESS STEEL FIRE EXTINGUISHER CABINET WITH A 10 LB, 4A:80B:C FIRE EXTINGUISHER
- FHC FIRE HOSE CONNECTION
- AED 1 SURFACE MOUNTED AED AND CABINET

SECOND LEVEL OCCUP. LOAD SCHED

Number	Name	Area	Occ Factor	Occ Total
ACCESSORY				
204A	STORAGE	53 SF	300	1
205	STORAGE	378 SF	300	2
210A	STORAGE	189 SF	300	1
210B	MECH	411 SF	300	2
211	JANITOR	197 SF	300	1
216A	STORAGE	431 SF	300	2
216B	DATA / ELEC.	270 SF	300	1
216C	STORAGE	310 SF	300	2
ASSEMBLY				
204B	PORTABLE PLATFORM	586 SF	15	40
206	MP GREEN	191 SF	15	13
208A	MULTI-PURPOSE SENIOR C	702 SF	15	47
208B	MULTI-PURPOSE SENIOR B	683 SF	15	46
209	CONFERENCE	287 SF	15	20
210	MULTI-PURPOSE SENIOR A	728 SF	15	49
ASSEMBLY - CONCENTRATED				
204	MULTI-PURPOSE	2314 SF	7	331
BUSINESS				
200	CORRIDOR	3884 SF	150	26
213	FAMILY RESTROOM	77 SF	150	1
214	WOMEN'S RESTROOM	405 SF	150	3
215	MEN'S RESTROOM	459 SF	150	4
217	STAFF LOUNGE	474 SF	150	4
EXERCISE				
201	TRACK	3946 SF	50	79
212	FITNESS	1461 SF	50	30
216	DANCE / AEROBICS	1455 SF	50	30
KITCHEN				
203	KITCHEN	531 SF	200	3
738				

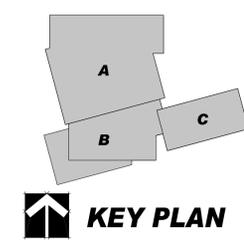
SECOND LEVEL OCCUP. CALCULATIONS

- 738 OCCUPANTS FROM AREA

GRAND TOTAL 738 OCCUPANTS

FIRE RESISTANT MATERIAL TYPE

TYPE 1: UL DESIGN D942
 SPRAY APPLIED FIRE RESISTANT MATERIAL (SFRM)
 MEDIUM DURABILITY FOR INTERIOR USE. APPLY TO ALL STEEL BEAMS AND STEEL DECK.



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PROJECT:
 CITY OF DELRAY BEACH
 POMPEY PARK REC CENTER
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 FL 33444

REVISIONS:

TITLE: LIFE SAFETY PLAN - SECOND LEVEL
DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO: 2122

SHEET: LS120

SPRAB SUBMITTAL 07-16-2022

C:\Users\lscotomay\Documents\2122 - Pompey Park - V2021_LauraScotomay\rvrvt

7/20/2022 4:51:11 PM

GROUND LEVEL GENERAL NOTES

A. PROJECT REFERENCE ELEVATION 0'-0" = N.A.V.D. 17.50'
 B. FOR PARTITION AND WALL TYPES SEE SHEETS A-610 THROUGH A-613.
 C. FOR STOREFRONT ELEVATIONS AND DETAILS SEE SHEETS A-600 THROUGH A-605.
 D. FOR DOOR SCHEDULE SEE SHEET A-630.
 E. FOR MATERIALS AND FINISH SCHEDULE SEE SHEET A-640.

FLOOR PLAN LEGEND

CONCRETE WALL (CUT)
 CONCRETE MASONRY WALL (CUT)
 PAINTED STRIPING ON CONCRETE
 EXISTING ELEMENT
 MATCH LINE
 CONCRETE COLUMN
 INDICATES DOOR NUMBER
 INDICATES EXISTING DOOR AND FRAME (NO WORK)
 PARTITION OR WALL TYPE
 INDICATES NUMBER OF PARKING SPACES
 INDICATES CURTAIN WALL NUMBER
 INDICATES LOUVER NUMBER
 SURFACE MOUNTED WALL BRACKET WITH 10 LB 4A:80B:C FIRE EXTINGUISHER
 SURFACE MOUNTED STAINLESS STEEL FIRE EXTINGUISHER CABINET WITH A 10 LB, 4A:80B:C FIRE EXTINGUISHER
 FIRE HOSE CONNECTION
 SURFACE MOUNTED AED AND CABINET
 SPECIAL PATTERN CONC.
 RAKE FINISH CONC. (1/16" TEXTURE RELIEF)
 INDICATES ROOM NAME AND NUMBER
 SECTION DIRECTION
 SECTION NUMBER ON SHEET
 INDICATES ELEVATIONS AND SECTIONS
 SHEET NUMBER
 SHEET NUMBER
 SHEET NUMBER
 SHEET NUMBER
 INDICATES INTERIOR ELEVATIONS
 ELEVATION DIRECTION
 SCOPE OF DETAIL
 INDICATES CALLOUT PLAN REFERENCE
 DETAIL NUMBER ON SHEET
 SHEET NUMBER

FLORIDA PRODUCT APPROVAL

BASIS OF DESIGN
 1. BLEACHERS...



2401 E. COMMERCIAL BLVD. SUITE 201
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 954-771-2724

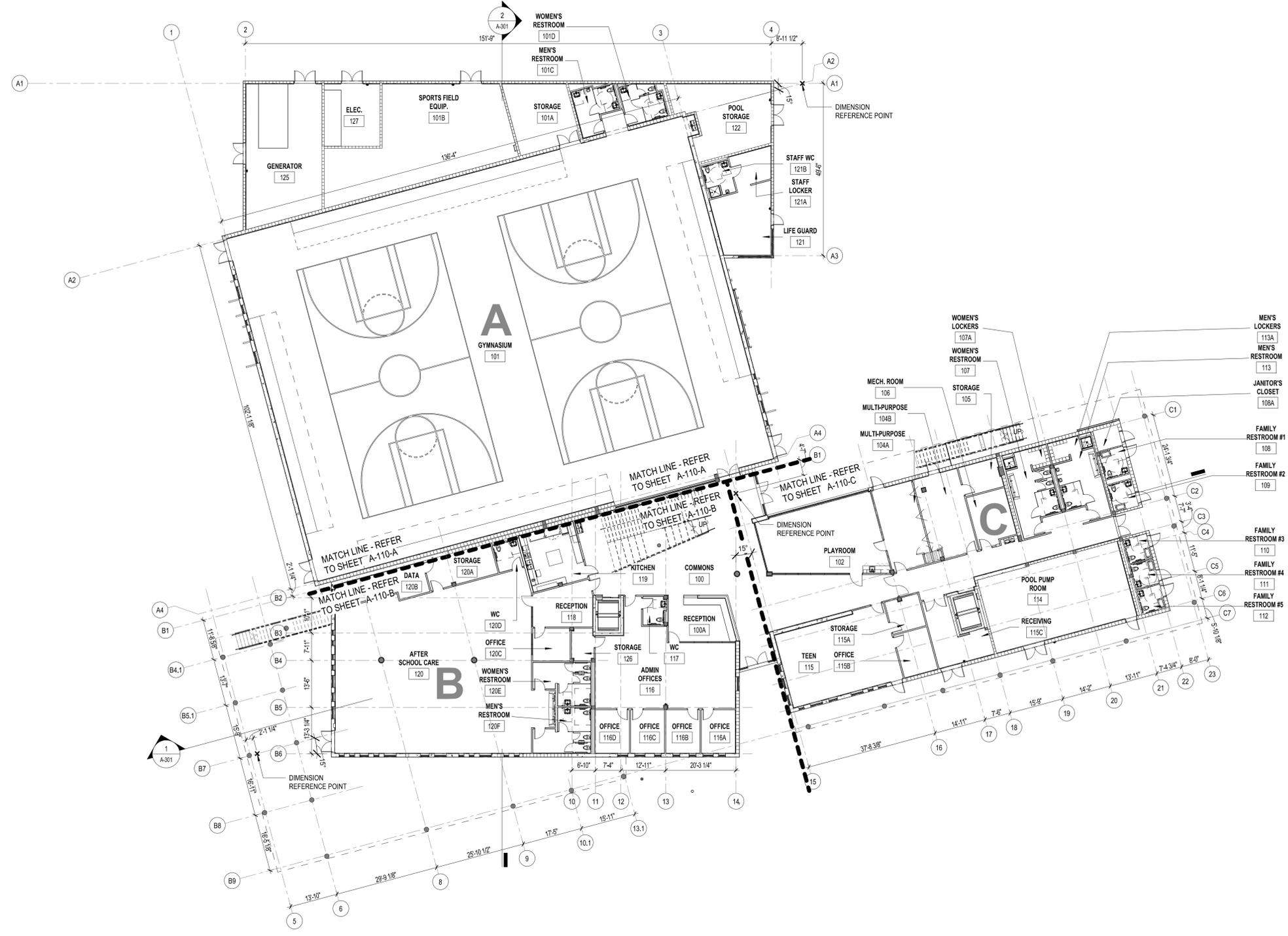
Juan Justiniano
 AR#4371
 2022.07.25
 16:27:21-0400'
 AA C001388

PROJECT:
 CITY OF DELRAY BEACH
 POMPEY PARK REC CENTER
 1101 NW 2ND ST, DELRAY BEACH
 FL 33444

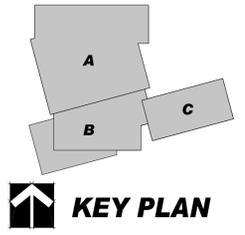
REVISIONS:

TITLE: FLOOR PLAN - GROUND LEVEL
DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

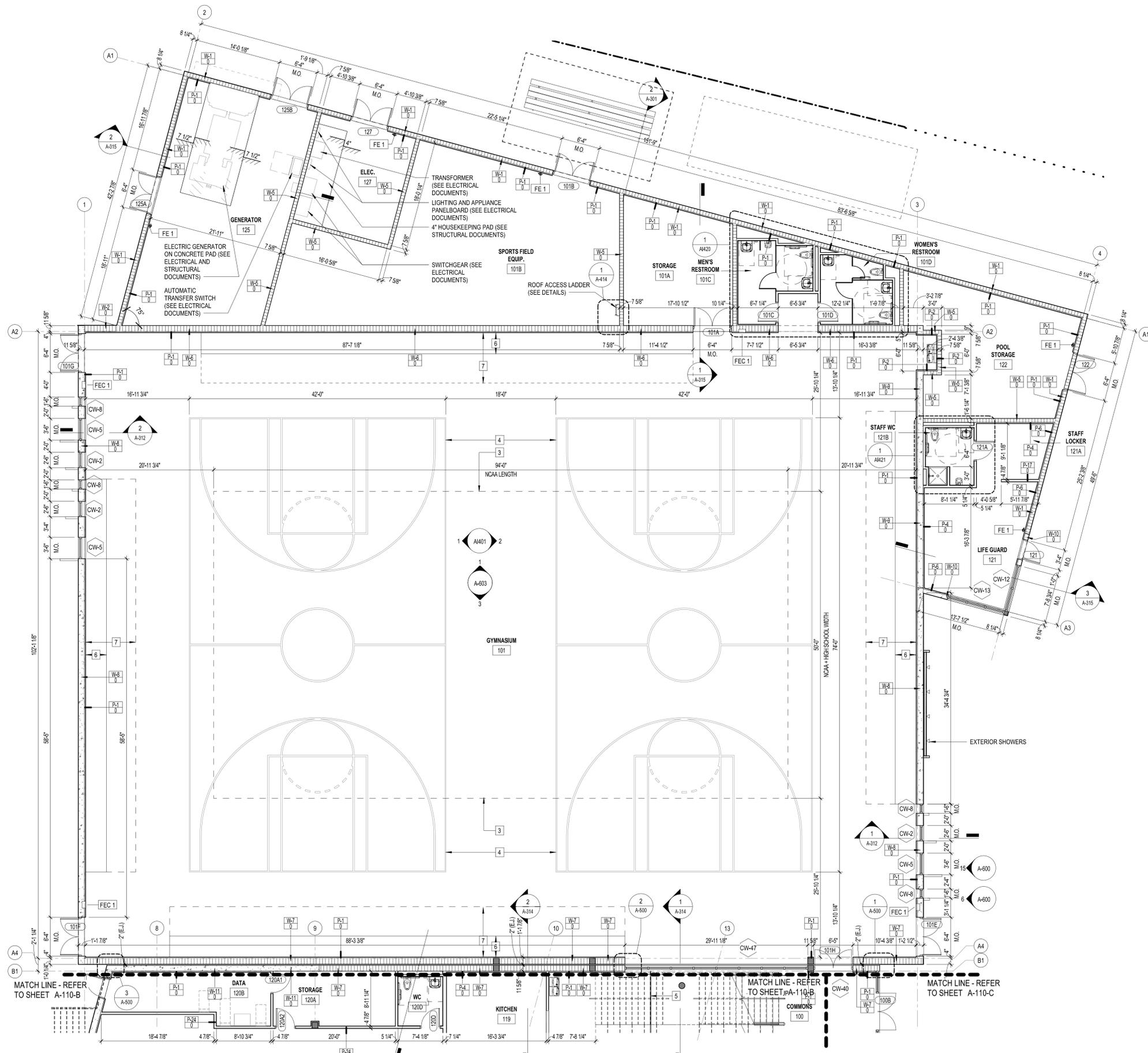
SHEET:
 A-110



FLOOR PLAN - GROUND LEVEL
 Scale: 1/16" = 1'-0"



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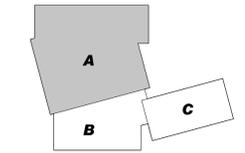


FLOOR PLAN - GROUND LEVEL (AREA A)
Scale: 1/8" = 1'-0"

GROUND LEVEL GENERAL NOTES	
A.	PROJECT REFERENCE ELEVATION 0'-0" = N.A.V.D. 17.50'
B.	FOR PARTITION AND WALL TYPES SEE SHEETS A-610 THROUGH A-613.
C.	FOR STOREFRONT ELEVATIONS AND DETAILS SEE SHEETS A-600 THROUGH A-605.
D.	FOR DOOR SCHEDULE SEE SHEET A-630.
E.	FOR MATERIALS AND FINISH SCHEDULE SEE SHEET A-640.

FLOOR PLAN LEGEND	
	CONCRETE WALL (CUT)
	CONCRETE MASONRY WALL (CUT)
	PAINTED STRIPING ON CONCRETE
	EXISTING ELEMENT
	MATCH LINE
	CONCRETE COLUMN
	INDICATES DOOR NUMBER
	INDICATES EXISTING DOOR AND FRAME (NO WORK)
	PARTITION OR WALL TYPE
	INDICATES NUMBER OF PARKING SPACES
	INDICATES CURTAIN WALL NUMBER
	INDICATES LOUVER NUMBER
	SURFACE MOUNTED WALL BRACKET WITH 10 LB 4A:80B:C FIRE EXTINGUISHER
	SURFACE MOUNTED STAINLESS STEEL FIRE EXTINGUISHER CABINET WITH A 10 LB, 4A:80B:C FIRE EXTINGUISHER
	FIRE HOSE CONNECTION
	SURFACE MOUNTED AED AND CABINET
	SPECIAL PATTERN CONC.
	RAKE FINISH CONC. (1/16" TEXTURE RELIEF)
	INDICATES ROOM NAME AND NUMBER
	SECTION DIRECTION
	SECTION NUMBER ON SHEET
	INDICATES ELEVATIONS AND SECTIONS
	SHEET NUMBER
	ELEVATION NUMBER ON SHEET
	SHEET NUMBER
	INDICATES INTERIOR ELEVATIONS
	ELEVATION DIRECTION
	SCOPE OF DETAIL
	INDICATES CALLOUT PLAN REFERENCE
	DETAIL NUMBER ON SHEET
	SHEET NUMBER

FLOOR PLAN KEY NOTES	
1.	EYEBROW OVER DOOR
2.	RUNNING TRACK STRIPING
3.	NCAA BASKETBALL COURT
4.	JUNIOR HIGH BASKETBALL COURT
5.	VERTICAL CLEARANCE GUARD UNDER STAIR
6.	BLEACHERS BANK IN RETRACTED POSITION
7.	BLEACHERS BANK IN FULLY EXPANDED POSITION



KEY PLAN



2401 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justino
ARB4371
2022.07.25
16:27:35-0400
AA COO1388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:

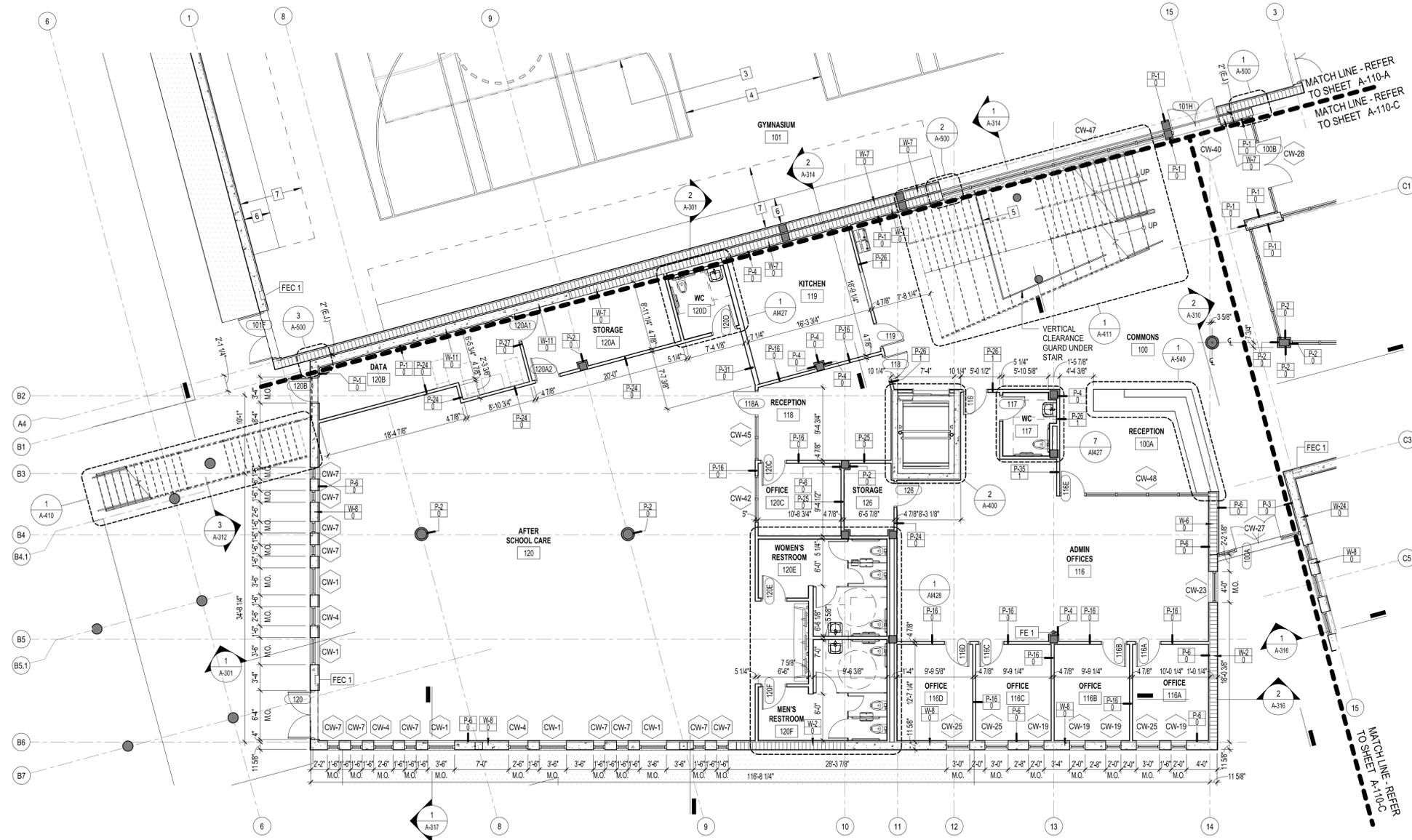
TITLE:
GROUND LEVEL FLOOR PLAN
- AREA A

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO.:
2122

SHEET:
A-110-A

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FLOOR PLAN - GROUND LEVEL (AREA B)
Scale: 1/8" = 1'-0"

GROUND LEVEL GENERAL NOTES

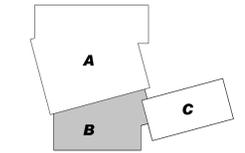
- A. PROJECT REFERENCE ELEVATION 0'-0" = N.A.V.D. 17.50'
- B. FOR PARTITION AND WALL TYPES SEE SHEETS A-610 THROUGH A-613.
- C. FOR STOREFRONT ELEVATIONS AND DETAILS SEE SHEETS A-600 THROUGH A-605.
- D. FOR DOOR SCHEDULE SEE SHEET A-630.
- E. FOR MATERIALS AND FINISH SCHEDULE SEE SHEET A-640.

FLOOR PLAN LEGEND

	CONCRETE WALL (CUT)
	CONCRETE MASONRY WALL (CUT)
	PAINTED STRIPING ON CONCRETE
	EXISTING ELEMENT
	MATCH LINE
	CONCRETE COLUMN
	INDICATES DOOR NUMBER
	INDICATES EXISTING DOOR AND FRAME (NO WORK)
	PARTITION OR WALL TYPE
	INDICATES NUMBER OF PARKING SPACES
	INDICATES CURTAIN WALL NUMBER
	INDICATES LOUVER NUMBER
	SURFACE MOUNTED WALL BRACKET WITH 10 LB 4A:80B:C FIRE EXTINGUISHER
	SURFACE MOUNTED STAINLESS STEEL FIRE EXTINGUISHER CABINET WITH A 10 LB, 4A:80B:C FIRE EXTINGUISHER
	FIRE HOSE CONNECTION
	SURFACE MOUNTED AED AND CABINET
	SPECIAL PATTERN CONC.
	RAKE FINISH CONC. (1/16" TEXTURE RELIEF)
	INDICATES ROOM NAME AND NUMBER
	SECTION DIRECTION
	SECTION NUMBER ON SHEET
	INDICATES ELEVATIONS AND SECTIONS
	SHEET NUMBER
	ELEVATION NUMBER ON SHEET
	INDICATES INTERIOR ELEVATIONS
	SCOPE OF DETAIL
	INDICATES CALLOUT PLAN REFERENCE
	DETAIL NUMBER ON SHEET
	SHEET NUMBER

FLOOR PLAN KEY NOTES

1. EYEBROW OVER DOOR
2. RUNNING TRACK STRIPING
3. NCAA BASKETBALL COURT
4. JUNIOR HIGH BASKETBALL COURT
5. VERTICAL CLEARANCE GUARD UNDER STAIR
6. BLEACHERS BANK IN RETRACTED POSITION
7. BLEACHERS BANK IN FULLY EXPANDED POSITION



KEY PLAN

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Juan Justiniano
ARB4371
2022.07.25
16:27:45-0400'
AA COO1388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:

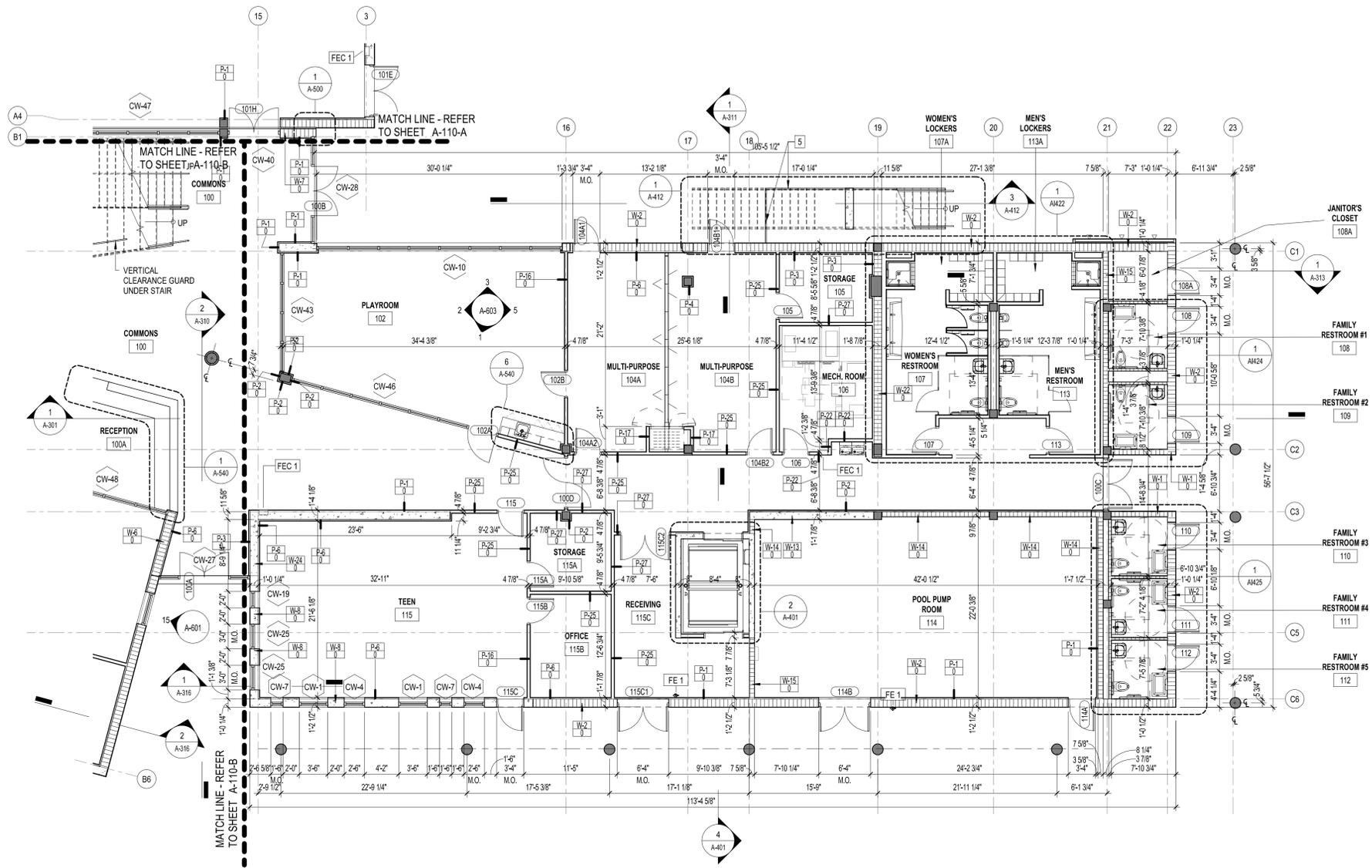
TITLE: GROUND LEVEL FLOOR PLAN
- AREA B

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO: 2122

SHEET: A-110-B

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FLOOR PLAN - GROUND LEVEL (AREA C)
Scale: 1/8" = 1'-0"

GROUND LEVEL GENERAL NOTES

- A. PROJECT REFERENCE ELEVATION 0'-0" = N.A.V.D. 17.50'
- B. FOR PARTITION AND WALL TYPES SEE SHEETS A-610 THROUGH A-613.
- C. FOR STOREFRONT ELEVATIONS AND DETAILS SEE SHEETS A-600 THROUGH A-605.
- D. FOR DOOR SCHEDULE SEE SHEET A-630.
- E. FOR MATERIALS AND FINISH SCHEDULE SEE SHEET A-640.

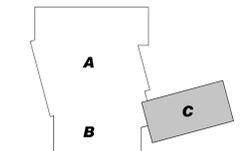
FLOOR PLAN LEGEND

- CONCRETE WALL (CUT)
- CONCRETE MASONRY WALL (CUT)
- PAINTED STRIPING ON CONCRETE
- EXISTING ELEMENT
- MATCH LINE
- CONCRETE COLUMN
- INDICATES DOOR NUMBER
- INDICATES EXISTING DOOR AND FRAME (NO WORK)
- PARTITION OR WALL TYPE
- INDICATES NUMBER OF PARKING SPACES
- INDICATES CURTAIN WALL NUMBER
- INDICATES LOUVER NUMBER
- SURFACE MOUNTED WALL BRACKET WITH 10 LB 4A:80B:C FIRE EXTINGUISHER
- FIRE HOSE CONNECTION
- SURFACE MOUNTED AED AND CABINET
-
-
- INDICATES ROOM NAME AND NUMBER

- SECTION DIRECTION
SECTION NUMBER ON SHEET
- INDICATES ELEVATIONS AND SECTIONS
- SHEET NUMBER
- ELEVATION NUMBER ON SHEET
- SHEET NUMBER
- INDICATES INTERIOR ELEVATIONS
- SCOPE OF DETAIL
- INDICATES CALLOUT PLAN REFERENCE
- DETAIL NUMBER ON SHEET
- SHEET NUMBER

FLOOR PLAN KEY NOTES

1. EYEBROW OVER DOOR
2. RUNNING TRACK STRIPING
3. NCAA BASKETBALL COURT
4. JUNIOR HIGH BASKETBALL COURT
5. VERTICAL CLEARANCE GUARD UNDER STAIR
6. BLEACHERS BANK IN RETRACTED POSITION
7. BLEACHERS BANK IN FULLY EXPANDED POSITION



KEY PLAN



2401 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
ARB4371
2022.07.25
16:27:53-0400'

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:

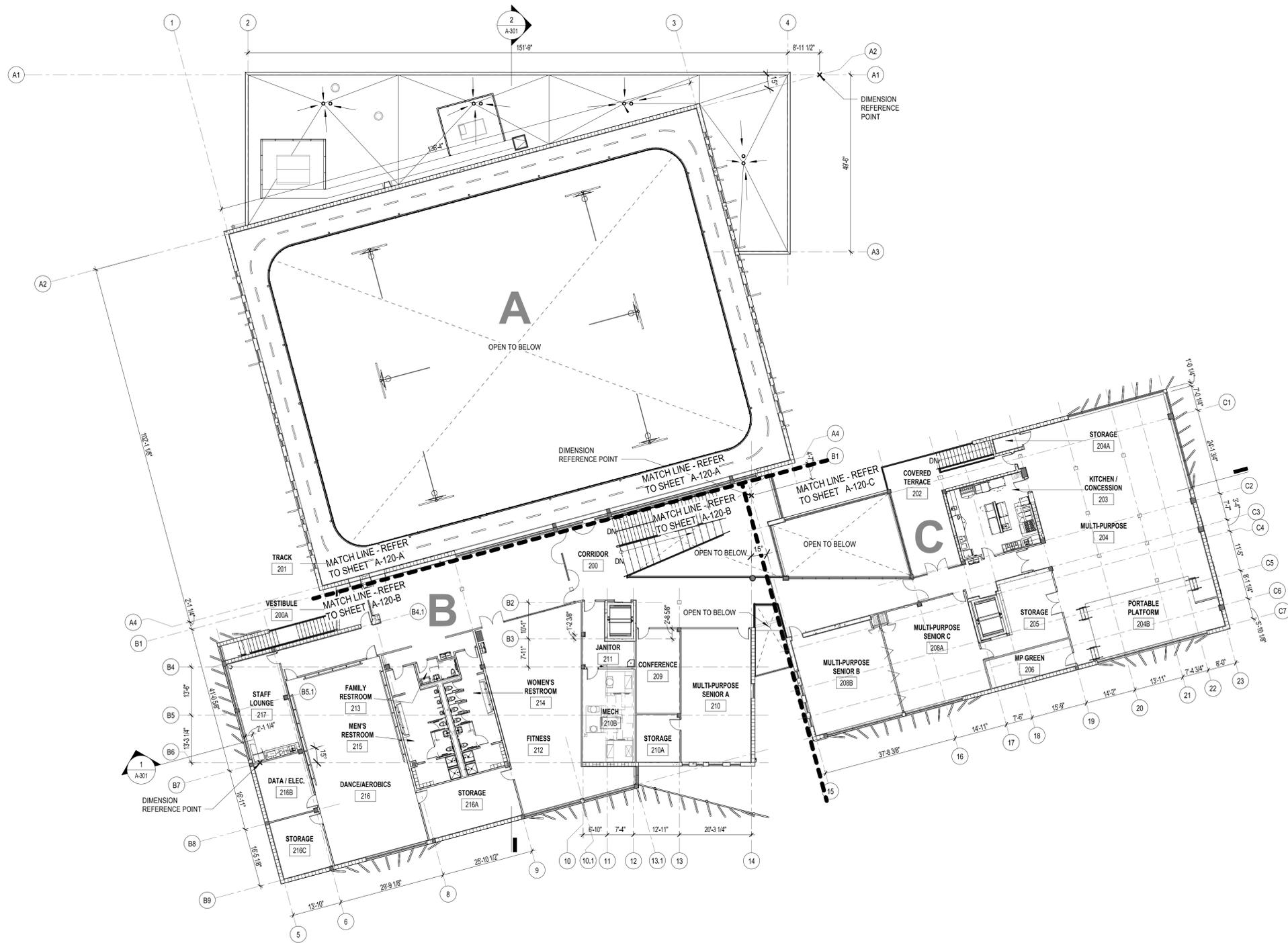
TITLE: GROUND LEVEL FLOOR PLAN
- AREA C

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

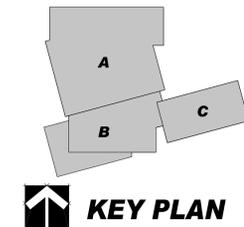
JOB NO:
2122

SHEET:
A-110-C

SPRAB SUBMITTAL 07-16-2022



FLOOR PLAN - SECOND LEVEL
Scale: 1/16" = 1'-0"



KEY PLAN

SECOND LEVEL GENERAL NOTES	
1.	PROJECT REFERENCE ELEVATION 0'-0" = N.A.V.D. 17.50'
2.	FOR PARTITION AND WALL TYPES SEE SHEETS A-610 THROUGH A-613.
3.	FOR STOREFRONT ELEVATIONS AND DETAILS SEE SHEETS A-600 THROUGH A-605.
4.	FOR DOOR SCHEDULE SEE SHEET A-630.
5.	FOR MATERIALS AND FINISH SCHEDULE SEE SHEET A-640.
FLOOR PLAN LEGEND	
	CONCRETE WALL (CUT)
	CONCRETE MASONRY WALL (CUT)
	PAINTED STRIPING ON CONCRETE
	EXISTING ELEMENT
	MATCH LINE
	CONCRETE COLUMN
	INDICATES DOOR NUMBER
	INDICATES EXISTING DOOR AND FRAME (NO WORK)
	PARTITION OR WALL TYPE
	INDICATES NUMBER OF PARKING SPACES
	INDICATES CURTAIN WALL NUMBER
	INDICATES LOUVER NUMBER
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	SURFACE MOUNTED STAINLESS STEEL FIRE EXTINGUISHER CABINET WITH A 10 LB, 4A:80B:C FIRE EXTINGUISHER
	FIRE HOSE CONNECTION
	SURFACE MOUNTED AED AND CABINET
	SPECIAL PATTERN CONC.
	RAKE FINISH CONC. (1/16" TEXTURE RELIEF)
	INDICATES ROOM NAME AND NUMBER
	SECTION DIRECTION
	SECTION NUMBER ON SHEET
	INDICATES ELEVATIONS AND SECTIONS
	SHEET NUMBER
	ELEVATION NUMBER ON SHEET
	SHEET NUMBER
	INDICATES INTERIOR ELEVATIONS
	ELEVATION DIRECTION
	SCOPE OF DETAIL
	INDICATES CALLOUT PLAN REFERENCE
	DETAIL NUMBER ON SHEET
	SHEET NUMBER



2401 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
ARB4371
2022.07.25
16:28:04-0400'
AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

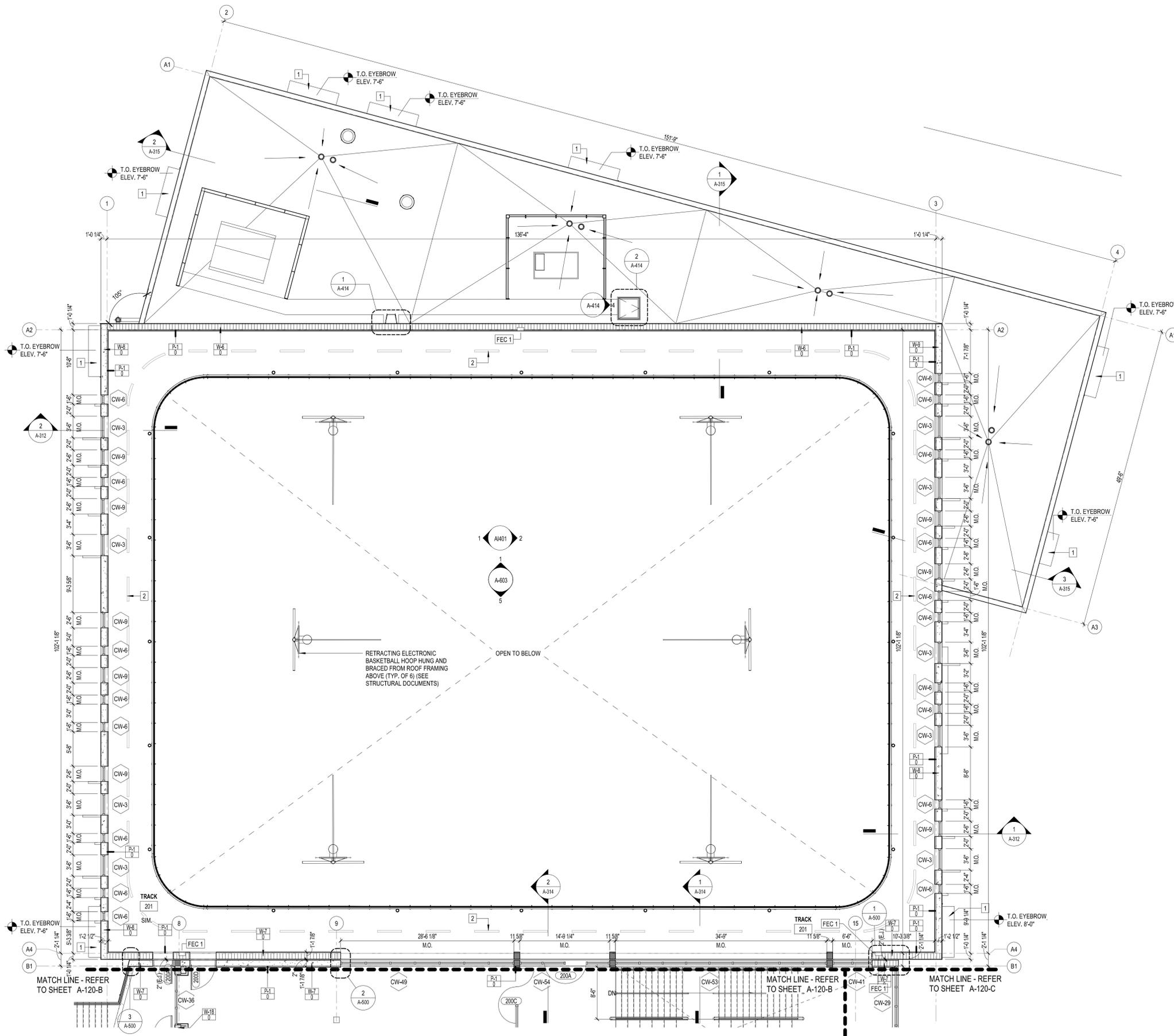
REVISIONS:

TITLE: FLOOR PLAN - SECOND LEVEL
DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO: 2122

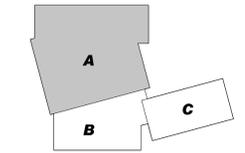
SHEET: A-120

SPRAB SUBMITTAL 07-16-2022



FLOOR PLAN - SECOND LEVEL (AREA A)
Scale: 1/8" = 1'-0"

SECOND LEVEL GENERAL NOTES	
1.	PROJECT REFERENCE ELEVATION 0'-0" = N.A.V.D. 17.50'
2.	FOR PARTITION AND WALL TYPES SEE SHEETS A-610 THROUGH A-613.
3.	FOR STOREFRONT ELEVATIONS AND DETAILS SEE SHEETS A-600 THROUGH A-605.
4.	FOR DOOR SCHEDULE SEE SHEET A-630.
5.	FOR MATERIALS AND FINISH SCHEDULE SEE SHEET A-640.
FLOOR PLAN LEGEND	
	CONCRETE WALL (CUT)
	CONCRETE MASONRY WALL (CUT)
	PAINTED STRIPING ON CONCRETE
	EXISTING ELEMENT
	MATCH LINE
	CONCRETE COLUMN
	INDICATES DOOR NUMBER
	INDICATES EXISTING DOOR AND FRAME (NO WORK)
	PARTITION OR WALL TYPE
	INDICATES NUMBER OF PARKING SPACES
	INDICATES CURTAIN WALL NUMBER
	INDICATES LOUVER NUMBER
	SURFACE MOUNTED WALL BRACKET WITH 10 LB 4A:80B:C FIRE EXTINGUISHER
	FIRE HOSE CONNECTION
	SURFACE MOUNTED AED AND CABINET
	SPECIAL PATTERN CONC.
	RAKE FINISH CONC. (1/16" TEXTURE RELIEF)
	INDICATES ROOM NAME AND NUMBER
	SECTION DIRECTION
	SECTION NUMBER ON SHEET
	INDICATES ELEVATIONS AND SECTIONS
	SHEET NUMBER
	ELEVATION NUMBER ON SHEET
	SHEET NUMBER
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	ELEVATION DIRECTION
	SCOPE OF DETAIL
	INDICATES CALLOUT PLAN REFERENCE
	DETAIL NUMBER ON SHEET
	SHEET NUMBER
FLOOR PLAN KEY NOTES	
1.	EYEBROW OVER DOOR
2.	RUNNING TRACK STRIPING
3.	NCAA BASKETBALL COURT
4.	JUNIOR HIGH BASKETBALL COURT
5.	VERTICAL CLEARANCE GUARD UNDER STAIR
6.	BLEACHERS BANK IN RETRACTED POSITION
7.	BLEACHERS BANK IN FULLY EXPANDED POSITION



KEY PLAN



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954-771-2724

Juan Justiniano
ARB4371
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16:26:15-0400'
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SEAL:

PROJECT:
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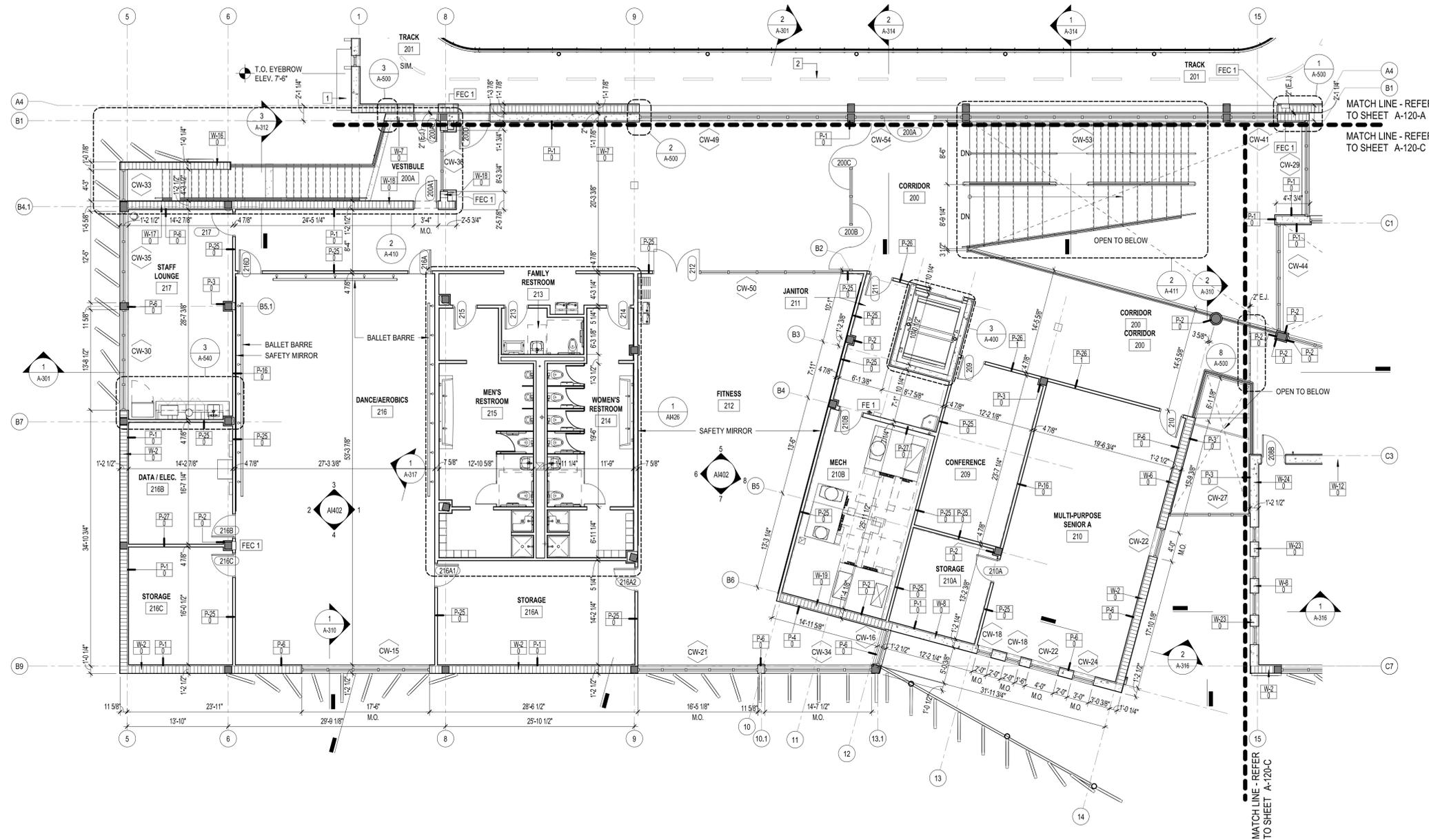
REVISIONS:

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO:
2122

SHEET:
A-120-A

SPRAB SUBMITTAL 07-16-2022



FLOOR PLAN - SECOND LEVEL (AREA B)
Scale: 1/8" = 1'-0"

SECOND LEVEL GENERAL NOTES

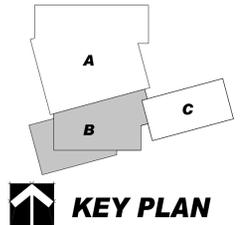
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FLOOR PLAN LEGEND

- CONCRETE WALL (CUT)
- CONCRETE MASONRY WALL (CUT)
- PAINTED STRIPING ON CONCRETE
- EXISTING ELEMENT
- MATCH LINE
- CONCRETE COLUMN
- INDICATES DOOR NUMBER
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- FIRE HOSE CONNECTION
- SURFACE MOUNTED AED AND CABINET
- SPECIAL PATTERN CONC.
- RAKE FINISH CONC. (1/16" TEXTURE RELIEF)
- INDICATES ROOM NAME AND NUMBER
- SECTION DIRECTION
- SECTION NUMBER ON SHEET
- INDICATES ELEVATIONS AND SECTIONS
- SHEET NUMBER
- ELEVATION NUMBER ON SHEET
- SHEET NUMBER
- INDICATES INTERIOR ELEVATIONS
- ELEVATION DIRECTION
- SCOPE OF DETAIL
- INDICATES CALLOUT PLAN REFERENCE
- DETAIL NUMBER ON SHEET
- SHEET NUMBER

FLOOR PLAN KEY NOTES

- EYEBROW OVER DOOR
- RUNNING TRACK STRIPING
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Juan Justiniano
ARB4371
2022.07.25
16:29:29-0400'

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST. DELRAY BEACH
FL 33444

REVISIONS:

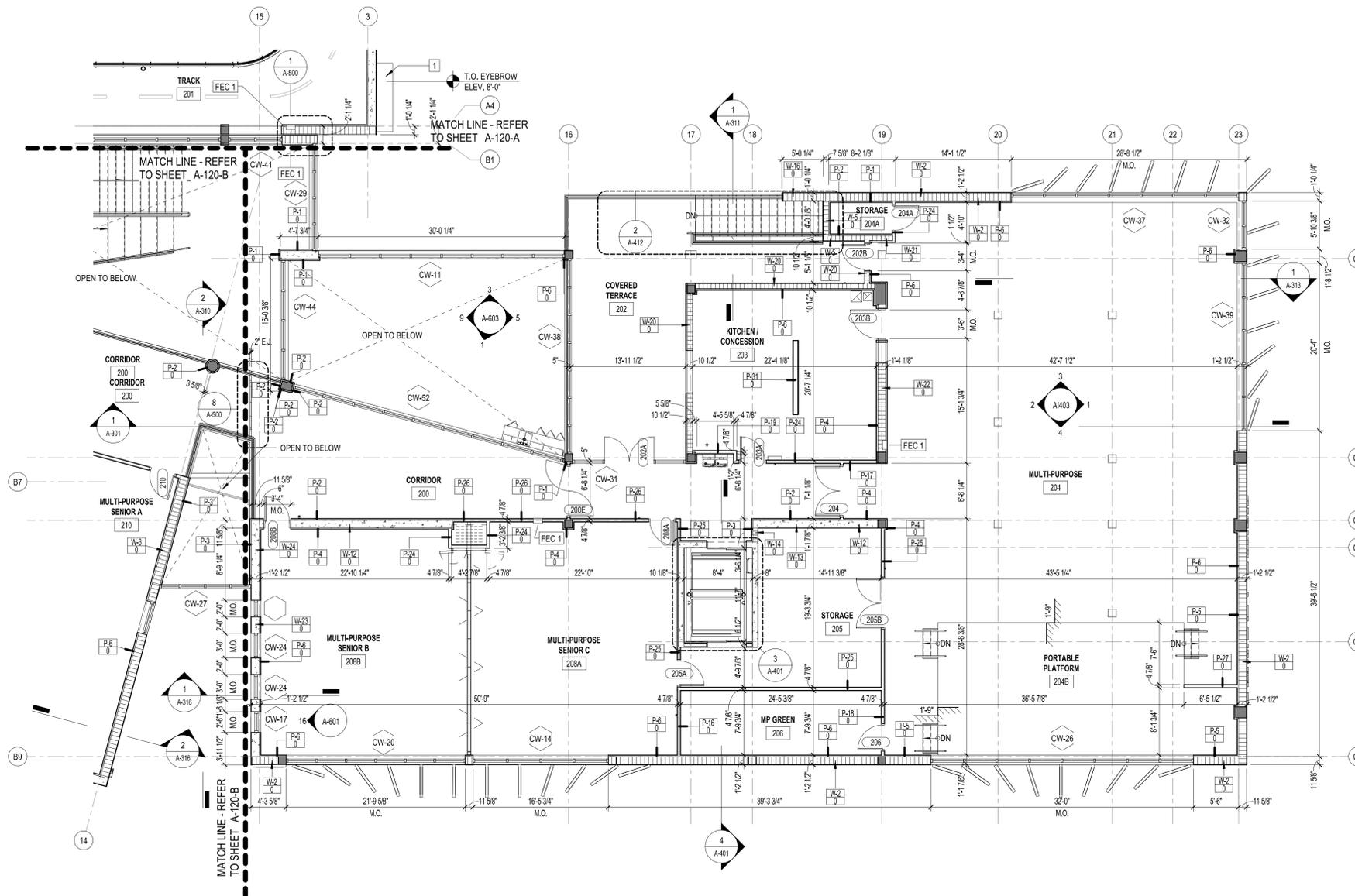
TITLE:
SECOND LEVEL FLOOR PLAN
- AREA B

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO:
2122

SHEET:
A-120-B

SPRAB SUBMITTAL 07-16-2022



FLOOR PLAN - SECOND LEVEL (AREA C)
Scale: 1/8" = 1'-0"

SECOND LEVEL GENERAL NOTES

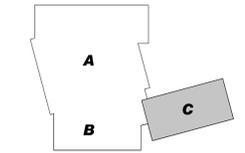
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FLOOR PLAN LEGEND

	CONCRETE WALL (CUT)
	CONCRETE MASONRY WALL (CUT)
	PAINTED STRIPING ON CONCRETE
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	MATCH LINE
	CONCRETE COLUMN
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	SURFACE MOUNTED STAINLESS STEEL FIRE EXTINGUISHER CABINET WITH A 10 LB, 4A-80B-C FIRE EXTINGUISHER
	FIRE HOSE CONNECTION
	SURFACE MOUNTED AED AND CABINET
	SPECIAL PATTERN CONC.
	RAKE FINISH CONC. (1/16" TEXTURE RELIEF)
	INDICATES ROOM NAME AND NUMBER
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	SHEET NUMBER
	ELEVATION NUMBER ON SHEET
	INDICATES INTERIOR ELEVATIONS
	SCOPE OF DETAIL
	INDICATES CALLOUT PLAN REFERENCE
	DETAIL NUMBER ON SHEET
	SHEET NUMBER

FLOOR PLAN KEY NOTES

- EYEBROW OVER DOOR
- RUNNING TRACK STRIPING
- NCAA BASKETBALL COURT
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- VERTICAL CLEARANCE GUARD UNDER STAIR
- BLEACHERS BANK IN RETRACTED POSITION
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FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justino
ARB4371
2022.07.25
16:28:37-0400'
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PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

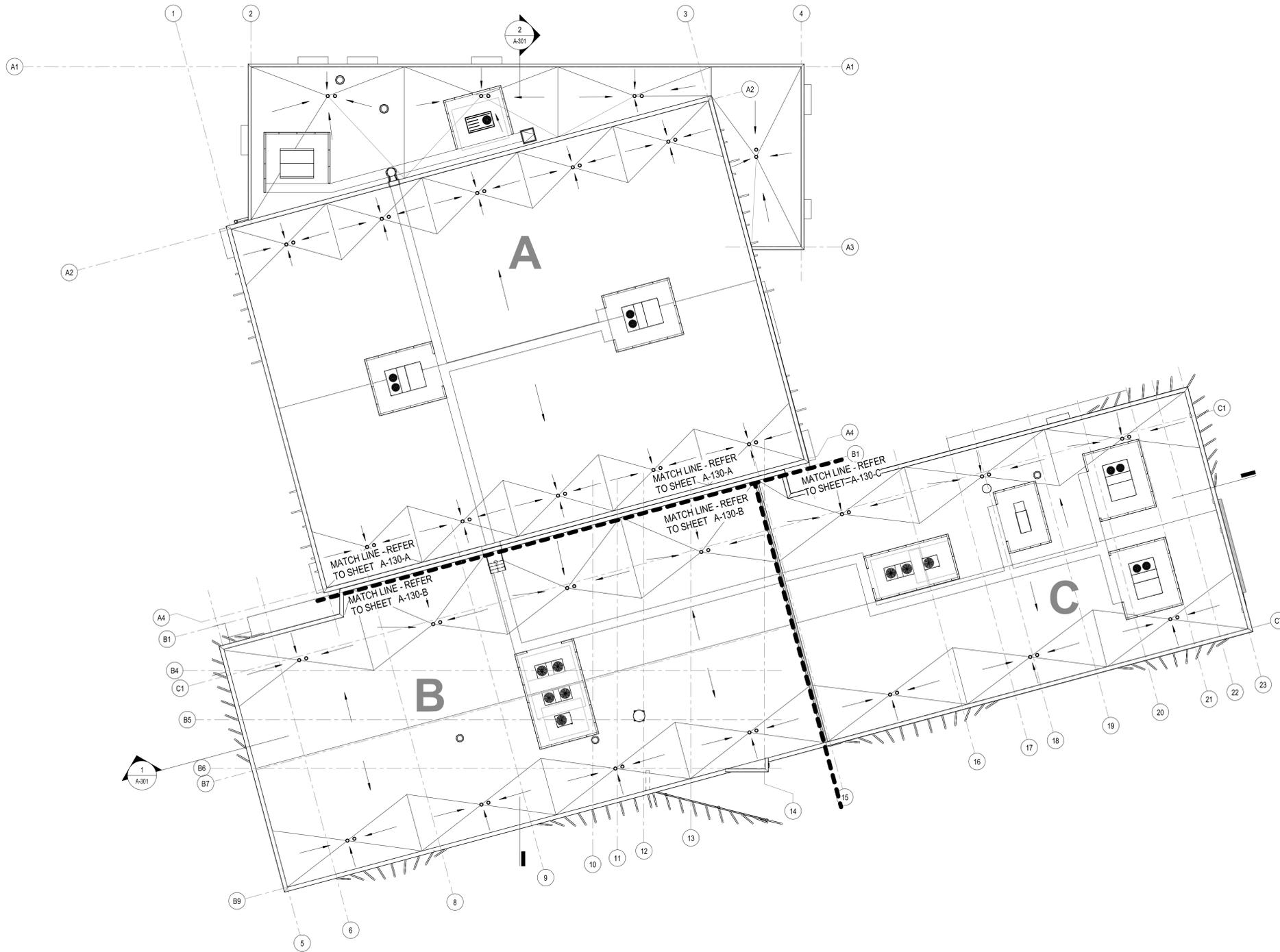
REVISIONS:

TITLE: SECOND LEVEL FLOOR PLAN - AREA C
DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

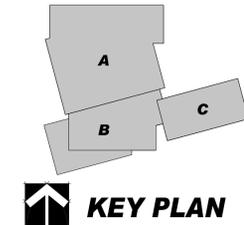
JOB NO: 2122

SHEET: A-120-C

SPRAB SUBMITTAL 07-16-2022



ROOF PLAN
Scale: 1/16" = 1'-0"



KEY PLAN

ROOF GENERAL NOTES

- ALL ROOF TOP UNITS AND EQUIPMENT WILL HAVE HORIZONTAL SCREENING AS SHOWN.
- MINIMUM 4" SEPARATION BETWEEN UNITS AND ROOF TOP SCREEN SYSTEM, WITH MINIMUM 5' CLEAR ACCESS.
- ROOF TOP UNITS AND EQUIPMENT ARE SHOWN AT APPROXIMATE LOCATIONS. REFERENCE MECHANICAL AND STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION AND SPECS.
- MAINTAIN MINIMUM 10" SEPARATION BETWEEN ROOF TOP UNITS FRESH AIR INTAKES AND EXHAUST FANS.
- ALL ROOF SLOPES ARE MINIMUM 1/4" / FT.
- ALL ROOF TOP CONDENSING UNITS WILL SIT ON METAL STANDS WITH 24" MIN. CLEARANCE UNDERNEAT. REFER TO TABLE 1510.10.

ROOF PLAN KEY NOTES

- SLOPE ALL ROOFS 1/4" PER FOOT MINIMUM. DRAIN AWAY FROM WALLS TO PROPOSED ROOF DRAINS.
- 4" ROOF DRAIN WITH OVERFLOW DRAIN 2" ABOVE ROOF DRAIN. MANUFACTURER ZURN OR APPROVED EQUAL. SEE PLUMBING DOCUMENTS.
- CONTINUE ROOFING MEMBRANE UP TO TOP OF PARAPET. FASTEN UNDER COUNTERFLASHING.
- CONTINUOUS METAL CAP COUNTER FLASHING, COLOR TO MATCH DECOR
- COMPETITION POOL SCOREBOARD
- ROOF TOP UNIT. SEE MECHANICAL DOCUMENTS
- EXHAUST FAN. SEE MECHANICAL DOCUMENTS
- WALL HUNG CANOPY ABOVE ENTRANCE DOOR
- ROOF ACCESS HATCH, BILCO OR APPROVED EQUAL
- ROOF TOP UNIT HURRICANE SCREEN SYSTEM, MODEL V6JF BY ARCHITECTURAL LOUVERS OR APPROVED EQUAL. PROVIDES HORIZONTAL SCREENING FOR ALL ROOF TOP UNITS OR EQUIPMENT. COLOR WHITE (TYPICAL)
- CONTINUOUS SERVICE WALKING PAD, 30" WIDE
- SUN SCREENS MECHANICALLY FASTENED TO SIDE OF BUILDING
- SHIP ACCESS LADDER FOR ROOF LEVEL ACCESS
- 30" GALVANIZED LADDER SAFETY RAILS. REFER TO SECTIONS AND DETAILS.
- ROOF EXPANSION JOINT

ROOF ELEMENTS LEGEND

- R.D. ROOF DRAIN
- O.D. OVERFLOW DRAIN
- 1/4" / 12" MIN. ROOF SLOPE
- EXHAUST FAN
- WALKING PAD (ROLL 30" WIDE)
- ROOFTOP CONDENSING UNIT ON BENCH / STANDS
- ROOFTOP RTU ON CURB
- ROOF ACCESS HATCH, BILCO OR APPROVED EQUAL
- ROOF TOP UNIT SCREEN SYSTEM

FLORIDA OR MIAMI-DADE PRODUCT APPROVAL

- MECHANICALLY FASTENED SINGLE-PLY ROOF SYSTEM OVER STEEL DECK, FIBERLITE XT50, NOA NO. 20-0414.10 EXPIRATION DATE JAN 5, 2026
- FULLY ADHERED SINGLE-PLY ROOF SYSTEM OVER LIGHTWEIGHT CONCRETE DECKS, NOA NO. 20-0414.08 EXPIRATION DATE JAN 5, 2026
- METAL DECK SYSTEM S-236, IN THE FBC APPROVAL FL 4930.1-R20
- ALUMINUM A/CI STAND
- POLYISOCYANURATE INSULATION WITH MINIMUM R-VALUE 19, NOA NO. 20-0414, EXPIRATION DATE JAN 5, 2026
- FIBERLITE WALK WAY MATERIAL 30" X 50" WITH YELLOW PIGMENT AND DEEP HERRINGBONE RIBBED TEXTURE.
- ROOFTOP UNIT SCREENING, V6JF STANDARD FLAT BLADE 6" DEEP, HEAVY GAUGE 0.081" 4" BLADE SPACING, COLOR: WHITE. PROVIDES HORIZONTAL SCREENING FOR ALL ROOFTOP UNITS AND EQUIPMENT.

CLEARANCE BELOW RAISED ROOF MOUNTED MECH. UNITS (TABLE 1510.10)

WIDTH OF MECH. UNIT (IN.)	MIN. CLEARANCE ABOVE SURFACES (IN.)
< 24	14
24 < 36	18
36 < 48	24
48 < 60	30
> 60	48

CARTAYA & ASSOCIATES ARCHITECTS P.A.
cartayaandassociates.com

2401 E. COMMERCIAL BLVD. SUITE 201
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PROJECT:
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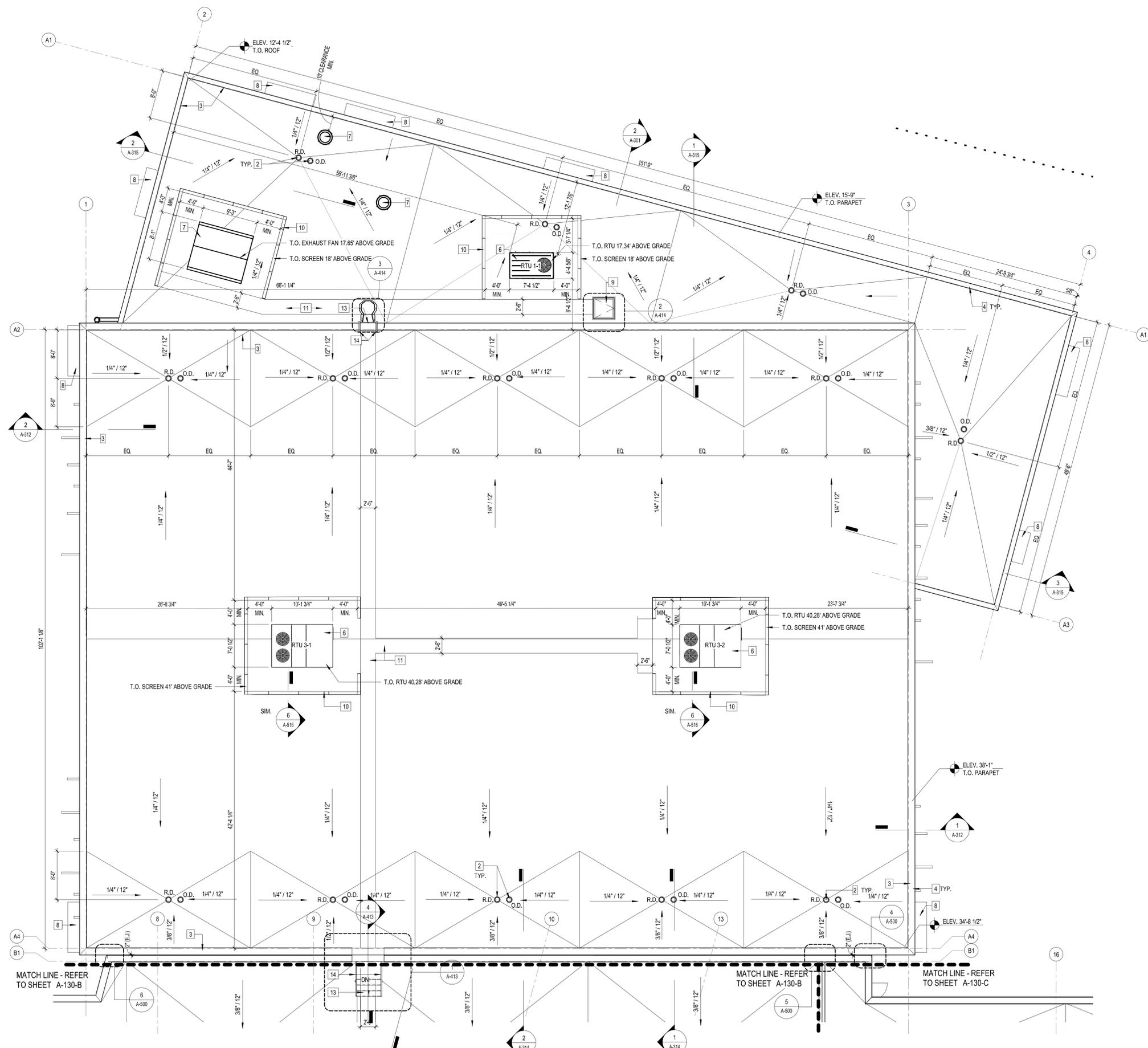
REVISIONS:

TITLE: ROOF PLAN
DATE: July 15, 2022
DRAWN BY: CC, EE, JS
CHECKED BY: JJ, JS

JOB NO: 2122

SHEET: A-130

SPRAB SUBMITTAL 07-16-2022



ROOF PLAN - AREA A
Scale: 1/8" = 1'-0"



ROOF GENERAL NOTES

- ALL ROOF TOP UNITS AND EQUIPMENT WILL HAVE HORIZONTAL SCREENING AS SHOWN.
- MINIMUM 4" SEPARATION BETWEEN UNITS AND ROOF TOP SCREEN SYSTEM, WITH MINIMUM 5' CLEAR ACCESS.
- ROOF TOP UNITS AND EQUIPMENT ARE SHOWN AT APPROXIMATE LOCATIONS. REFERENCE MECHANICAL AND STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION AND SPECS.
- MAINTAIN MINIMUM 10" SEPARATION BETWEEN ROOF TOP UNITS FRESH AIR INTAKES AND EXHAUST FANS.
- ALL ROOF SLOPES ARE MINIMUM 1/4" / 12'.
- ALL ROOF TOP CONDENSING UNITS WILL SIT ON METAL STANDS WITH 24" MIN. CLEARANCE UNDERNEAT. REFER TO TABLE 1510.10.

ROOF PLAN KEY NOTES

- SLOPE ALL ROOFS 1/4" PER FOOT MINIMUM. DRAIN AWAY FROM WALLS TO PROPOSED ROOF DRAINS.
- 4" ROOF DRAIN WITH OVERFLOW DRAIN 2" ABOVE ROOF DRAIN. MANUFACTURER ZURN OR APPROVED EQUAL. SEE PLUMBING DOCUMENTS.
- CONTINUE ROOFING MEMBRANE UP TO TOP OF PARAPET. FASTEN UNDER COUNTERFLASHING.
- CONTINUOUS METAL CAP COUNTER FLASHING, COLOR TO MATCH DECOR.
- COMPETITION POOL SCOREBOARD.
- ROOF TOP UNIT. SEE MECHANICAL DOCUMENTS.
- EXHAUST FAN. SEE MECHANICAL DOCUMENTS.
- WALL HUNG CANOPY ABOVE ENTRANCE DOOR.
- ROOF ACCESS HATCH, BILCO OR APPROVED EQUAL.
- ROOF TOP UNIT HURRICANE SCREEN SYSTEM, MODEL V6JF BY ARCHITECTURAL LOUVERS OR APPROVED EQUAL. PROVIDES HORIZONTAL SCREENING FOR ALL ROOF TOP UNITS OR EQUIPMENT. COLOR WHITE (TYPICAL).
- CONTINUOUS SERVICE WALKING PAD, 30" WIDE.
- SUN SCREENS MECHANICALLY FASTENED TO SIDE OF BUILDING.
- SHIP ACCESS LADDER FOR ROOF LEVEL ACCESS.
- 30" GALVANIZED LADDER SAFETY RAILS. REFER TO SECTIONS AND DETAILS.
- ROOF EXPANSION JOINT.

ROOF ELEMENTS LEGEND

- R.D. ROOF DRAIN
- O.D. OVERFLOW DRAIN
- 1/4" / 12' MIN. ROOF SLOPE
- E.F. EXHAUST FAN
- WALKING PAD (ROLL 30" WIDE)
- ROOF TOP CONDENSING UNIT ON BENCH / STANDS
- ROOF TOP RTU ON CURB
- ROOF ACCESS HATCH, BILCO OR APPROVED EQUAL
- ROOF TOP UNIT SCREEN SYSTEM

FLORIDA OR MIAMI-DADE PRODUCT APPROVAL

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- ALUMINUM A/CI STAND
- POLYISOCYANURATE INSULATION WITH MINIMUM R-VALUE 19, NOA NO. 20-0414, EXPIRATION DATE JAN 5, 2026
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> 60	48

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Juan Justino
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16:28:59-0400'

AA COO1388

SEAL:

**CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444
EL. 33444**

PROJECT:

REVISIONS:

TITLE: ROOF PLAN - AREA A

DATE: July 15, 2022

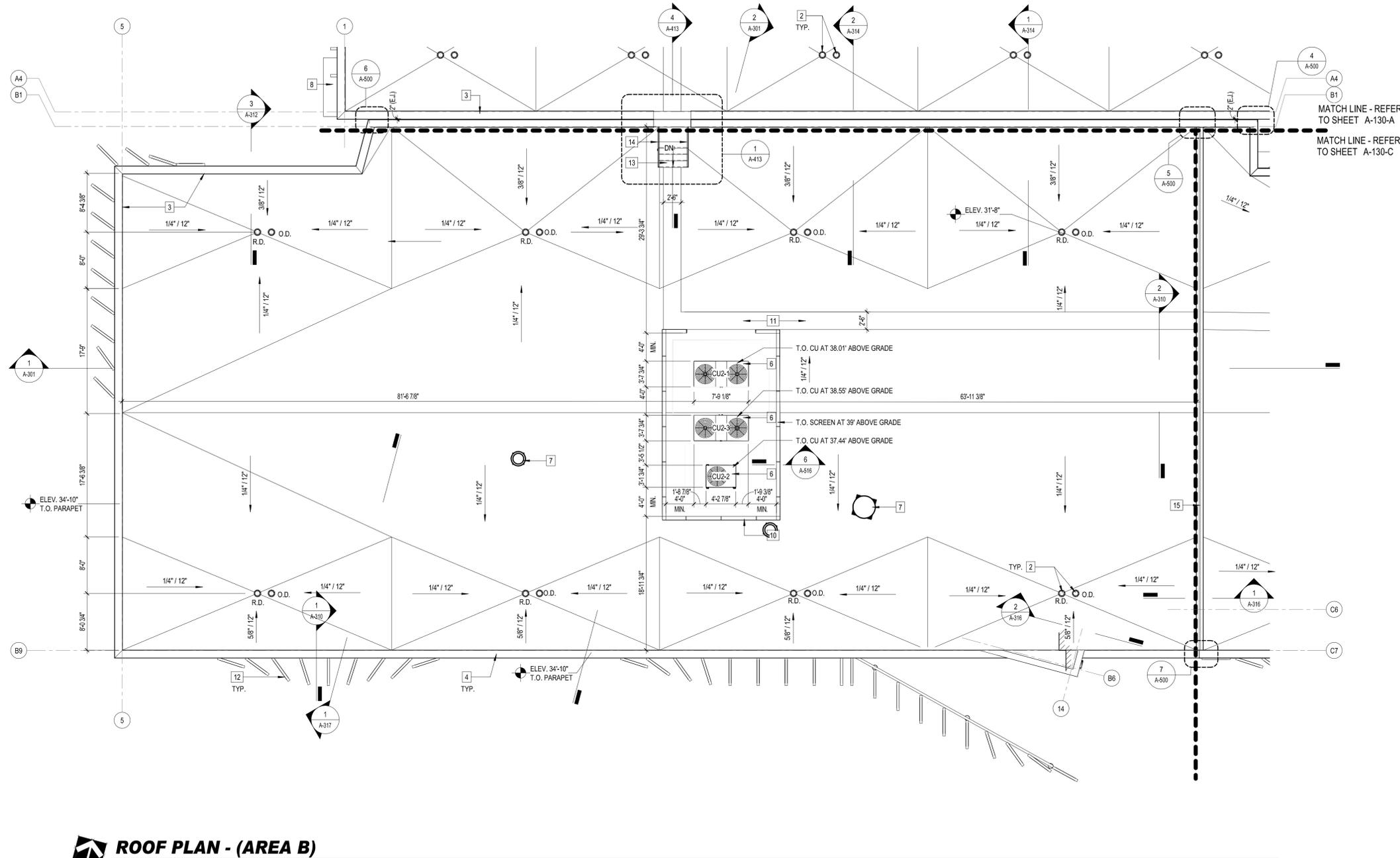
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CHECKED BY: JJ, JS

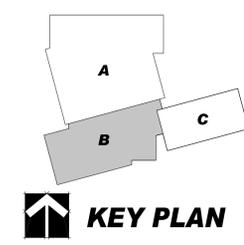
JOB NO: 2122

SHEET: A-130-A

SPRAB SUBMITTAL 07-16-2022



ROOF PLAN - (AREA B)
Scale: 1/8" = 1'-0"



- ROOF GENERAL NOTES**
- ALL ROOF TOP UNITS AND EQUIPMENT WILL HAVE HORIZONTAL SCREENING AS SHOWN.
 - MINIMUM 4" SEPARATION BETWEEN UNITS AND ROOF TOP SCREEN SYSTEM, WITH MINIMUM 5' CLEAR ACCESS.
 - ROOF TOP UNITS AND EQUIPMENT ARE SHOWN AT APPROXIMATE LOCATIONS. REFERENCE MECHANICAL AND STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION AND SPECS.
 - MAINTAIN MINIMUM 10" SEPARATION BETWEEN ROOF TOP UNITS FRESH AIR INTAKES AND EXHAUST FANS.
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 - ALL ROOF TOP CONDENSING UNITS WILL SIT ON METAL STANDS WITH 24" MIN. CLEARANCE UNDERNEAT. REFER TO TABLE 1510.10.
- ROOF PLAN KEY NOTES**
- SLOPE ALL ROOFS 1/4" PER FOOT MINIMUM. DRAIN AWAY FROM WALLS TO PROPOSED ROOF DRAINS.
 - 4" ROOF DRAIN WITH OVERFLOW DRAIN 2" ABOVE ROOF DRAIN. MANUFACTURER ZURN OR APPROVED EQUAL. SEE PLUMBING DOCUMENTS.
 - CONTINUE ROOFING MEMBRANE UP TO TOP OF PARAPET. FASTEN UNDER COUNTERFLASHING.
 - CONTINUOUS METAL CAP COUNTER FLASHING, COLOR TO MATCH DECOR.
 - COMPETITION POOL SCOREBOARD
 - ROOF TOP UNIT. SEE MECHANICAL DOCUMENTS
 - EXHAUST FAN. SEE MECHANICAL DOCUMENTS
 - WALL HUNG CANOPY ABOVE ENTRANCE DOOR
 - ROOF ACCESS HATCH, BILCO OR APPROVED EQUAL
 - ROOF TOP UNIT HURRICANE SCREEN SYSTEM, MODEL V6JF BY ARCHITECTURAL LOUVERS OR APPROVED EQUAL. PROVIDES HORIZONTAL SCREENING FOR ALL ROOF TOP UNITS OR EQUIPMENT. COLOR WHITE, (TYPICAL)
 - CONTINUOUS SERVICE WALKING PAD, 30" WIDE
 - SUN SCREENS MECHANICALLY FASTENED TO SIDE OF BUILDING
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 - 30" GALVANIZED LADDER SAFETY RAILS. REFER TO SECTIONS AND DETAILS.
 - ROOF EXPANSION JOINT

- ROOF ELEMENTS LEGEND**
- R.D. ROOF DRAIN
 - O.D. OVERFLOW DRAIN
 - 1/4" / 12' MIN. ROOF SLOPE
 - EXHAUST FAN
 - WALKING PAD (ROLL 30" WIDE)
 - ROOF TOP CONDENSING UNIT ON BENCH / STANDS
 - ROOF TOP RTU ON CURB
 - ROOF ACCESS HATCH, BILCO OR APPROVED EQUAL
 - ROOF TOP UNIT SCREEN SYSTEM

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Juan Justiniانو
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PROJECT:
CITY OF DELRAY BEACH
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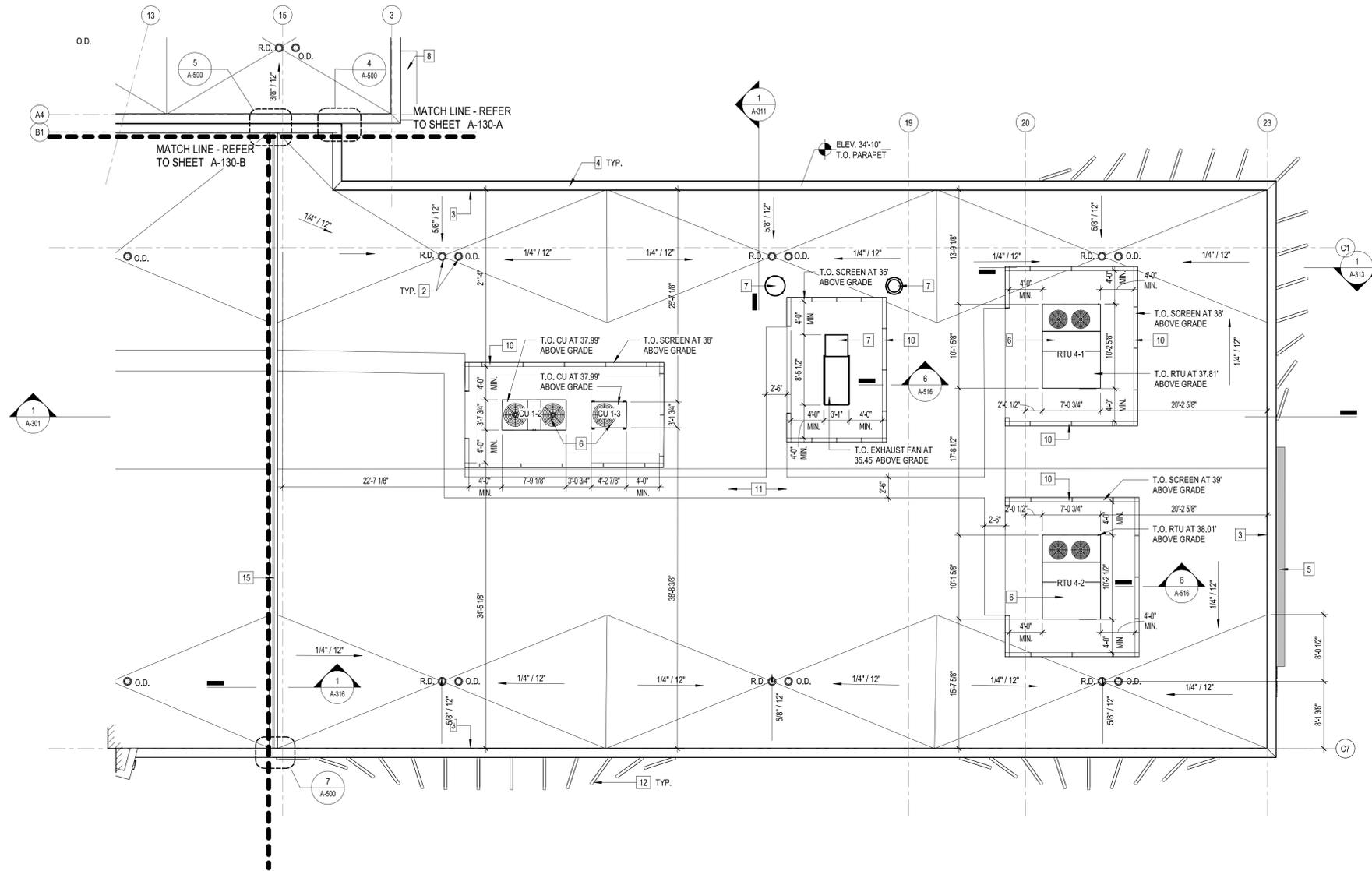
REVISIONS:

TITLE: ROOF PLAN - AREA B
DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

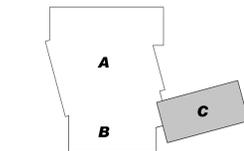
JOB NO: 2122

SHEET: A-130-B

SPRAB SUBMITTAL 07-16-2022



ROOF PLAN - (AREA C)
Scale: 1/8" = 1'-0"



KEY PLAN

ROOF GENERAL NOTES

- ALL ROOF TOP UNITS AND EQUIPMENT WILL HAVE HORIZONTAL SCREENING AS SHOWN.
- MINIMUM 4" SEPARATION BETWEEN UNITS AND ROOF TOP SCREEN SYSTEM, WITH MINIMUM 5' CLEAR ACCESS.
- ROOF TOP UNITS AND EQUIPMENT ARE SHOWN AT APPROXIMATE LOCATIONS. REFERENCE MECHANICAL AND STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION AND SPECS.
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ROOF PLAN KEY NOTES

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- 4" ROOF DRAIN WITH OVERFLOW DRAIN 2" ABOVE ROOF DRAIN. MANUFACTURER ZURN OR APPROVED EQUAL. SEE PLUMBING DOCUMENTS.
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- CONTINUOUS METAL CAP COUNTER FLASHING, COLOR TO MATCH DECOR.
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- CONTINUOUS SERVICE WALKING PAD, 30" WIDE
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- SHIP ACCESS LADDER FOR ROOF LEVEL ACCESS
- 30" GALVANIZED LADDER SAFETY RAILS. REFER TO SECTIONS AND DETAILS.
- ROOF EXPANSION JOINT

ROOF ELEMENTS LEGEND

- R.OOF DRAIN
- OVERFLOW DRAIN
- 1/4" / 12" MIN. ROOF SLOPE
- EXHAUST FAN
- WALKING PAD (ROLL 30" WIDE)
- ROOFTOP CONDENSING UNIT ON BENCH / STANDS
- ROOFTOP RTU ON CURB
- ROOF ACCESS HATCH. BILCO OR APPROVED EQUAL
- ROOF TOP UNIT SCREEN SYSTEM

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CLEARANCE BELOW RAISED ROOF MOUNTED MECH. UNITS (TABLE 1510.10)

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AA COO1388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
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REVISIONS:

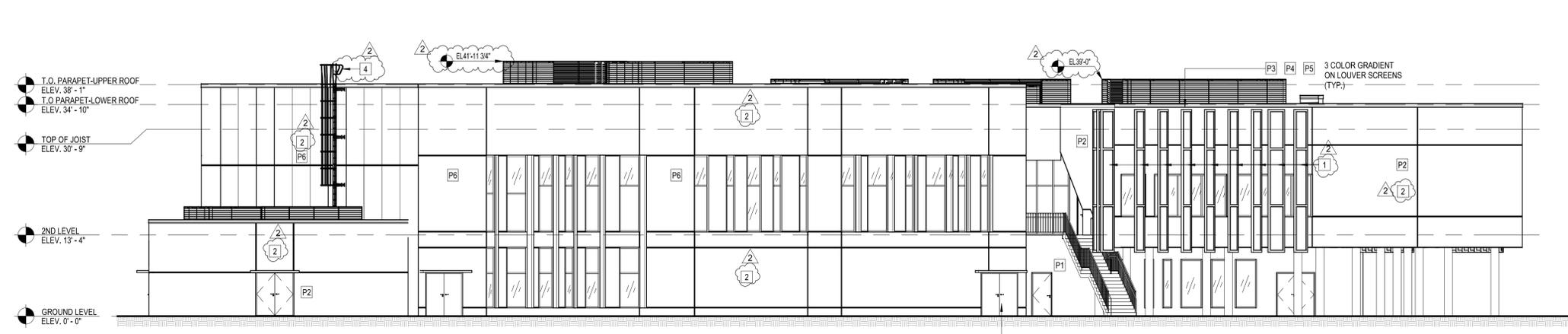
TITLE: ROOF PLAN - AREA C
DATE: July 15, 2022
DRAWN BY: CC, EE, JS
CHECKED BY: JJ, JS

JOB NO: 2122

SHEET: A-130-C

SPRAB SUBMITTAL 07-16-2022

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4 WEST ELEVATION
 Scale: 3/32" = 1'-0"

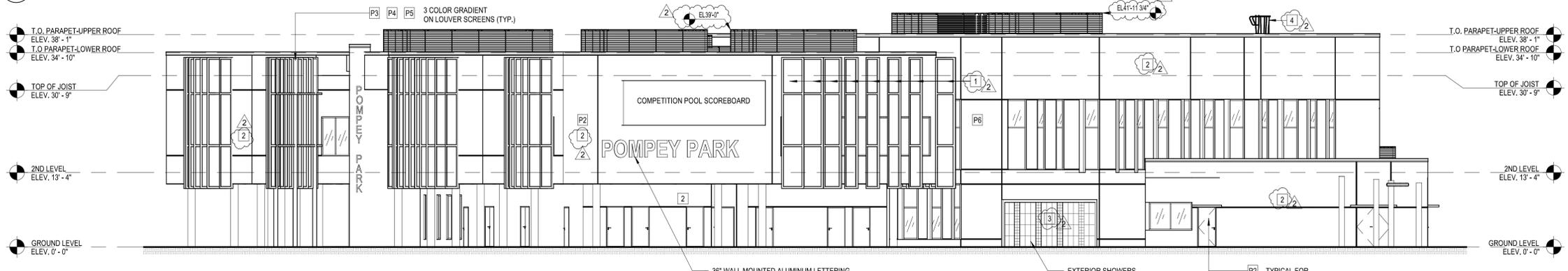
EXTERIOR PAINT FINISH SCHEDULE				
TAG	MANUFACTURER	PAINT COLOR	FINISH	REMARKS
P1	SHERWIN-WILLIAMS	SW9052 - BLITHE BLUE	SEMI-GLOSS	-
P2	SHERWIN-WILLIAMS	SW7006 - EXTRA WHITE	SEMI-GLOSS	-
P3	SHERWIN-WILLIAMS	SW6789 - BLUE MOSQUE	SEMI-GLOSS	-
P4	SHERWIN-WILLIAMS	SW6788 - CAPRI	SEMI-GLOSS	-
P5	SHERWIN-WILLIAMS	SW9048 - SURFIN	SEMI-GLOSS	-
P6	SHERWIN-WILLIAMS	SW6371 - VANILLIN	SEMI-GLOSS	-
P7	SHERWIN-WILLIAMS	SW7031 - NETWORK GRAY	SEMI-GLOSS	-
P8	NUCOR	PEARL GRAY PUDF	METALLIC	-

FLORIDA | MIAMI-DADE PRODUCT APPROVAL

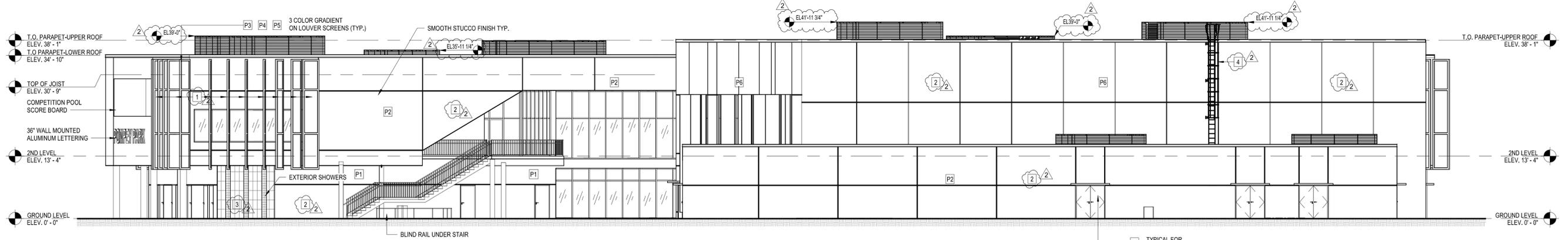
1. FRAMED MCNICHOLS - POWDER COATED ALUMINUM PERFORATED PANEL SUN SCREENS AND CONNECTIONS TO BE PROVIDED BY SPECIALTY ENGINEER.

ELEVATIONS KEYNOTES

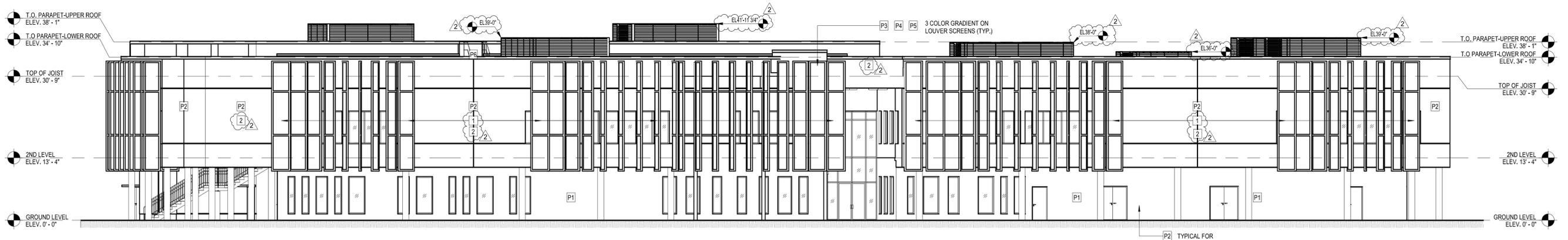
1. POWDER COATED ALUMINUM SUN SCREENS PANELS
 2. SMOOTH STUCCO FINISH TYP.
 3. TILE FINISH
 4. CAGE LADDER
 NOTE: REFERENCE MATERIAL BOARD SHEET FOR ADDITIONAL INFORMATION



2 EAST ELEVATION
 Scale: 3/32" = 1'-0"



3 NORTH ELEVATION
 Scale: 3/32" = 1'-0"



1 SOUTH ELEVATION
 Scale: 3/32" = 1'-0"



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 16:29:30-0400
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PROJECT:
 CITY OF DELRAY BEACH
 POMPEY PARK REC CENTER
 1101 NW 2ND ST, DELRAY BEACH
 FL 33444

REVISIONS:
 2 07-16-2022 SPRAB REVIEW

TITLE:
 BUILDING ELEVATIONS

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO.:
 2122

SHEET:
 A-201

SPRAB SUBMITTAL 07-16-2022

- BUILDING SECTION NOTES**
- PROJECT REFERENCE ELEVATION 0'-0" = N.A.V.D. 17.50'.
 - PROVIDE SPRAY APPLIED FIRE PREVENTIVE MATERIAL TO ALL STEEL BEAMS AND DECKS.
 - WHERE THERMAL INSULATION IS SPECIFIED AT WALLS, INTERIOR OR EXTERIOR LOCATIONS, IT SHALL BE PROVIDED TO FULL HEIGHT FROM FLOOR TO DECK.
 - PROVIDE SPRAY-APPLIED FIRE RESISTANT MATERIAL (SFRM) MEDIUM DURABILITY FOR INTERIOR USE. APPLY TO ALL STEEL BEAMS AND STEEL DECKS, BELOW 20'-0" A.F.F. LEVEL.
 - PROVIDE SPRAY-APPLIED TERMINAL INSULATION WITH MINIMUM R-VALUE: 19, AT ALL EXTERIOR LOCATIONS AND INTERIOR AT NON-CONDITIONING SPACES.



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2022.07.25
16:29:43-0400'

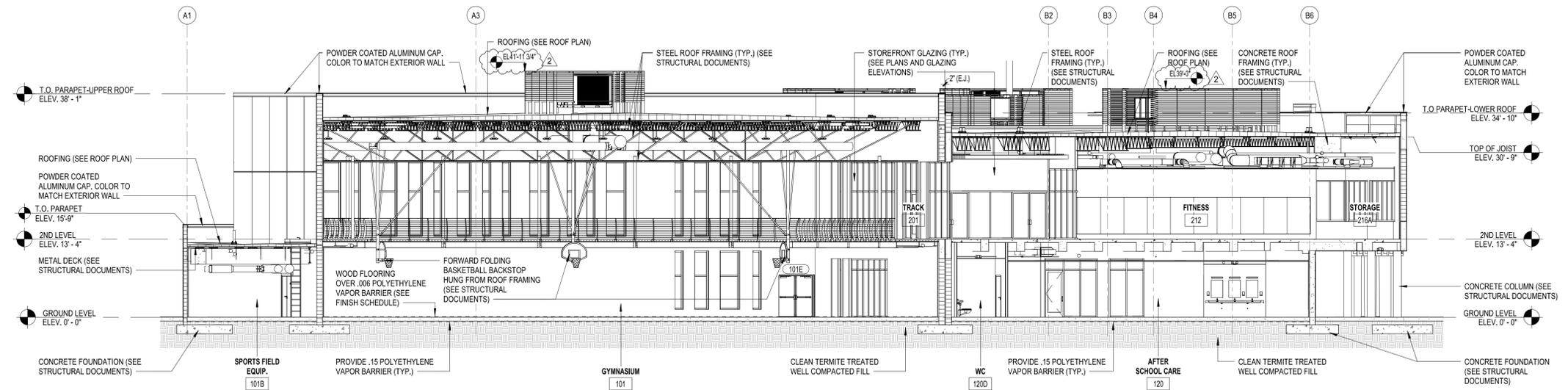
PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:
2 07-16-2022 SPRAB REVIEW

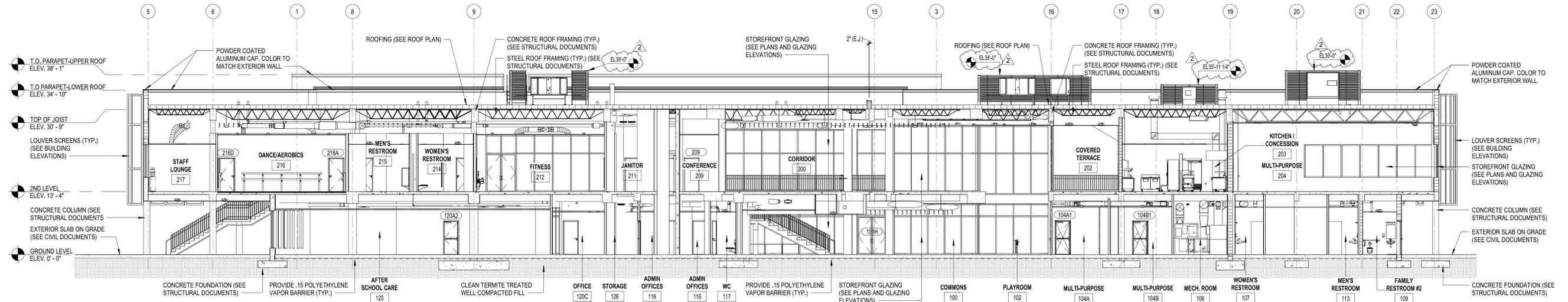
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BUILDING SECTIONS

DATE: July 15, 2022
DRAWN BY: CC, EE, LS
CHECKED BY: JJ, JS

JOB NO.: 2122
SHEET: A-301



2 BUILDING SECTION
A-301 Scale: 3/32" = 1'-0"



1 BUILDING SECTION
A-301 Scale: 3/32" = 1'-0"

C:\Users\lscotomay\Documents\2122 - Pompey Park - V2021_LauraScotomay.rvt 7/22/2022 5:41:47 PM

SPRAB SUBMITTAL 07-16-2022

Pompey Park 1/2 Mile Radius Vicinity Map



1- Fairfield Inn & Suites



2- S.D. Spadey Elementary School



3- Morton Downey Resource Center



4- Lake Ida Church



Juan Justiniano
ARB4371
2022.07.25
16:29:54-0400'





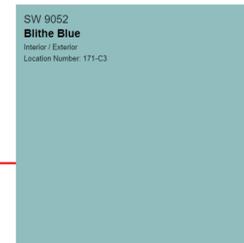
EXTERIOR WALL PAINT
ON SMOOTH STUCCO FINISH



SW 6371
Vanillin
Interior / Exterior
Location Number: 262-C6



SW 7006
Extra White
Interior / Exterior
Location Number: 257-C1



SW 9052
Blithe Blue
Interior / Exterior
Location Number: 171-C3

ALUMINUM MESH



SW 6789
Blue Mosque
Interior / Exterior
Location Number: 167-C6

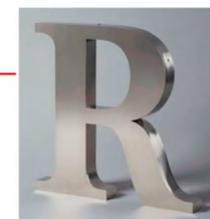


SW 6788
Capri
Interior / Exterior
Location Number: 167-C6



SW 9048
Surfing
Interior / Exterior
Location Number: 167-C3

REVERSE CHANNEL
ALUMINUM LETTERING



2400 E. COMMERCIAL BLVD, SUITE 210
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
ARB4371
2022.07.25
16:30:17-0400'
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PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

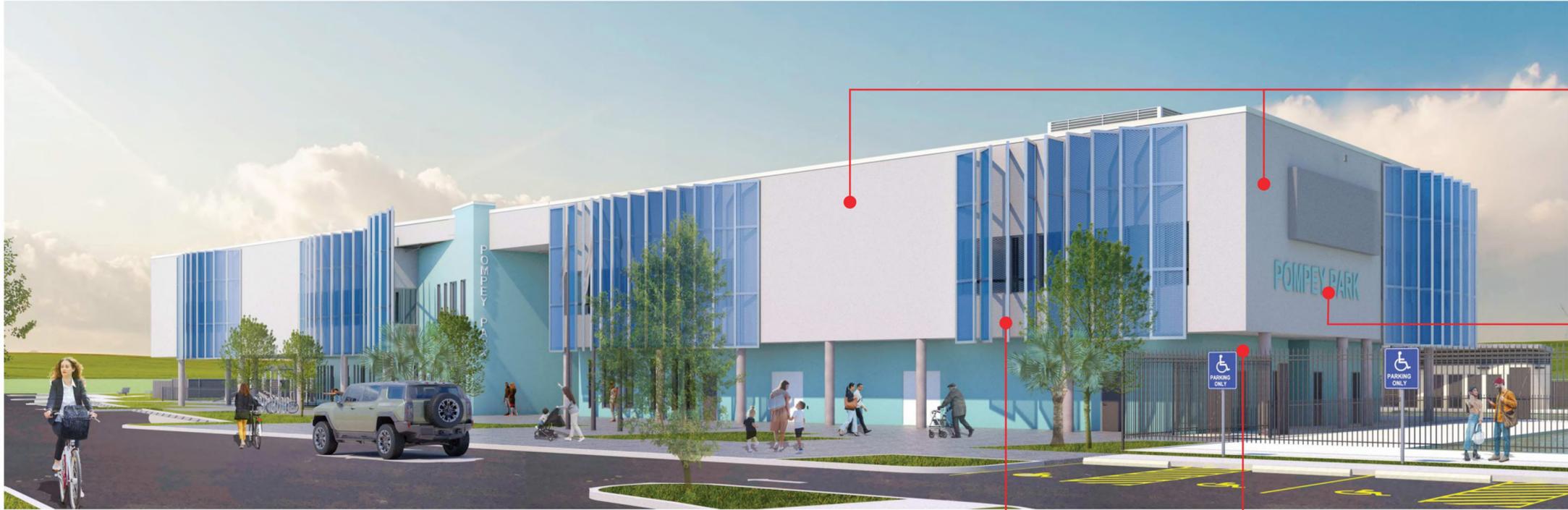
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DATE: 05/25/2022
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CHECKED BY: Checker

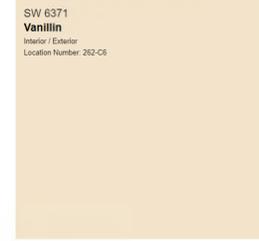
JOB NO: 2122

SHEET: AA200.1
OF

SPRAB SUBMITTAL 07-16-2022



EXTERIOR WALL PAINT
ON SMOOTH STUCCO FINISH

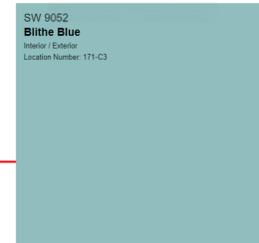


SW 6371
Vanillin
Interior / Exterior
Location Number: 262-C6



SW 7006
Extra White
Interior / Exterior
Location Number: 257-C1

REVERSE CHANNEL
ALUMINUM LETTERING



SW 9052
Blithe Blue
Interior / Exterior
Location Number: 171-C3

ALUMINUM MESH



SW 6789
Blue Mosque
Interior / Exterior
Location Number: 167-C5



SW 6788
Capri
Interior / Exterior
Location Number: 167-C5



SW 9048
Surfin'
Interior / Exterior
Location Number: 167-C3



2400 E. COMMERCIAL BLVD, SUITE 210
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
ARB4371
2022.07.25
16:30:29-0400'
SEAL: AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:

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DATE: 05/25/2022
DRAWN BY: Author
CHECKED BY: Checker

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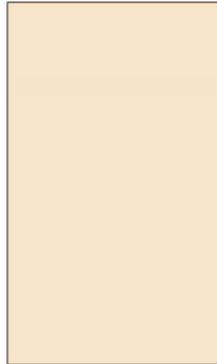
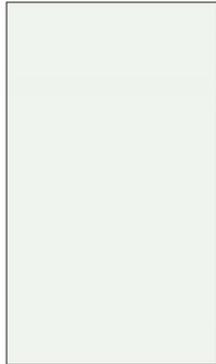
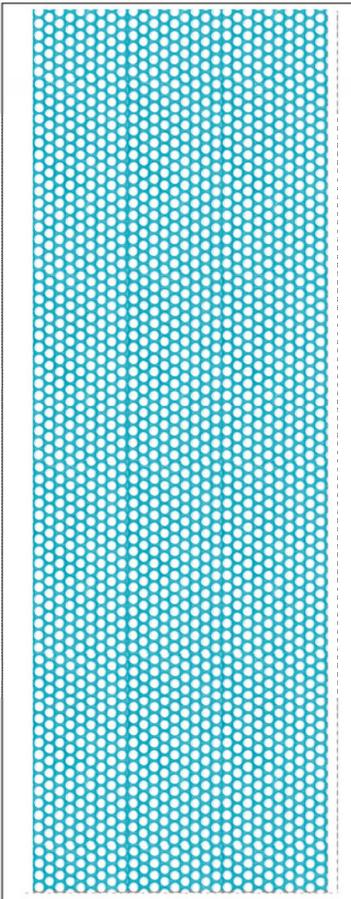
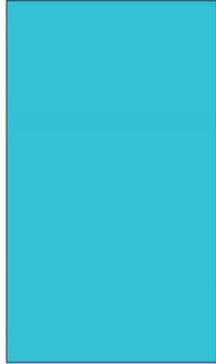
SPRAB SUBMITTAL 07-16-2022

CITY OF DELRAY BEACH
 POMPEY PARK REC CENTER
 1101 NW 2ND STREET, DELRAY BEACH
 FLORIDA 33444

BUILDING COLOR SAMPLES AND FINISHES

DECEMBER 6, 2021---



COLOR / FINISH TEXTURE / MATERIAL	SAMPLE	COLOR / FINISH TEXTURE / MATERIAL	SAMPLE	COLOR / FINISH TEXTURE / MATERIAL	SAMPLE	COLOR / FINISH TEXTURE / MATERIAL	SAMPLE
EXTERIOR PAINT- #1 SHERWIN WILLIAMS VANILLIN SW 6371		EXTERIOR PAINT- #2 SHERWIN WILLIAMS BLITHE BLUE SW 9052		EXTERIOR PAINT- #3 SHERWIN WILLIAMS EXTRA WHITE SW 7006		SUNSHADE MESH PERFORATED METAL MCNICHOLS MODEL A L 3003H14.063GA 1/4 RD 58% OPEN	
SUNSHADE MESH COLOR- #1 SHERWIN WILLIAMS BLUE MOSQUE SW 6789		SUNSHADE MESH COLOR- #2 SHERWIN WILLIAMS CAPRI SW 6788		SUNSHADE MESH COLOR- #3 SHERWIN WILLIAMS SURFIN' SW 9048			

SRAB SUBMITTAL 07-16-2022



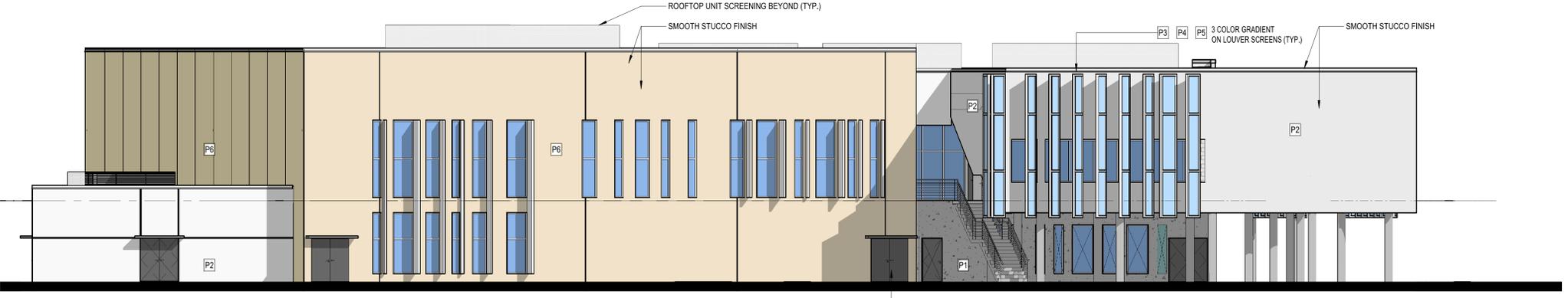
SOUTH ELEVATION
Scale: 3/32" = 1'-0"



EAST ELEVATION
Scale: 3/32" = 1'-0"

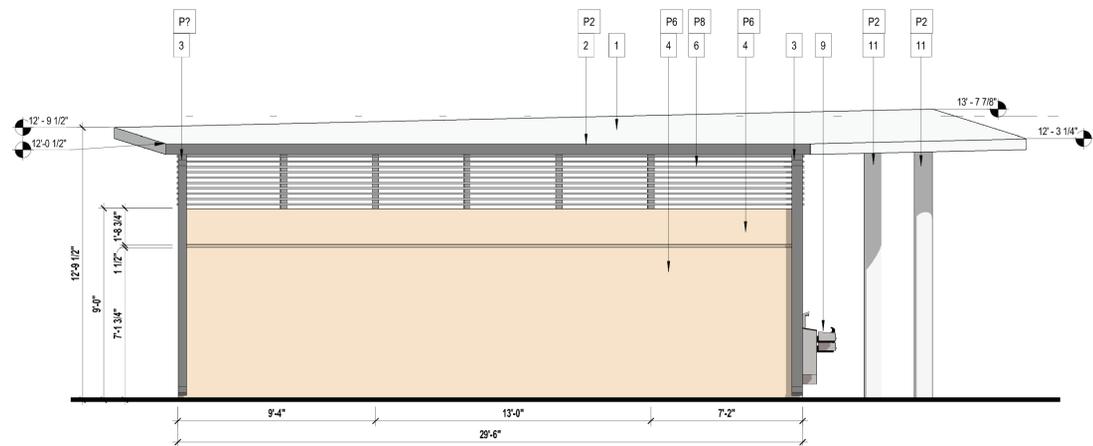


NORTH ELEVATION
Scale: 3/32" = 1'-0"



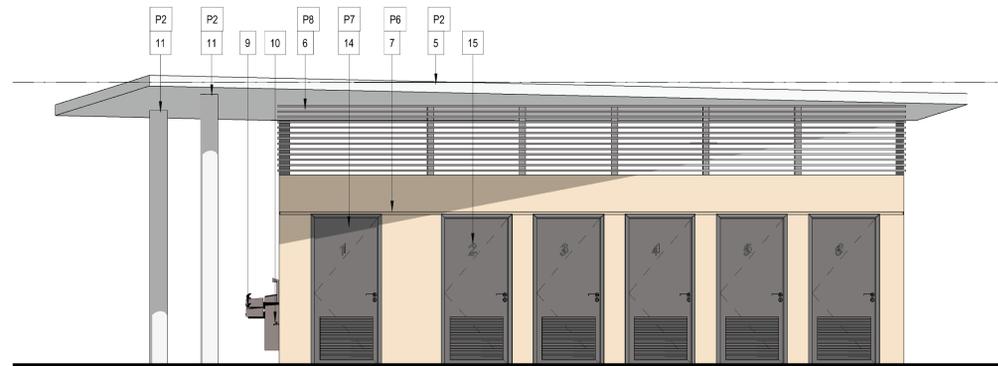
WEST ELEVATION
Scale: 3/32" = 1'-0"

EXTERIOR PAINT FINISH SCHEDULE		
#	MANUFACTURER'S SPECS	FINISH
P1	SW9052 - BLITHE BLUE	SEMI-GLOSS
P2	SW7006 - EXTRA WHITE	SEMI-GLOSS
P3	SW6789 - BLUE MOSQUE	SEMI-GLOSS
P4	SW6788 - CAPRI	SEMI-GLOSS
P5	SW9048 - SURFIN'	SEMI-GLOSS
P6	SW6371 - VANILLIN	SEMI-GLOSS
P7	SW7031 - NETWORK GRAY	SEMI-GLOSS
P8	NUCOR - PEARL GRAY PUDF	METALLIC



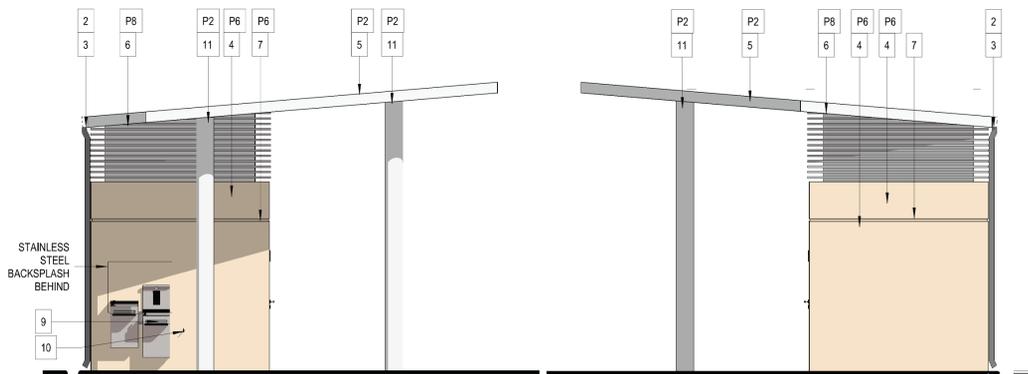
CABANA NORTH ELEVATION

Scale: 1/4" = 1'-0"



CABANA SOUTH ELEVATION

Scale: 1/4" = 1'-0"

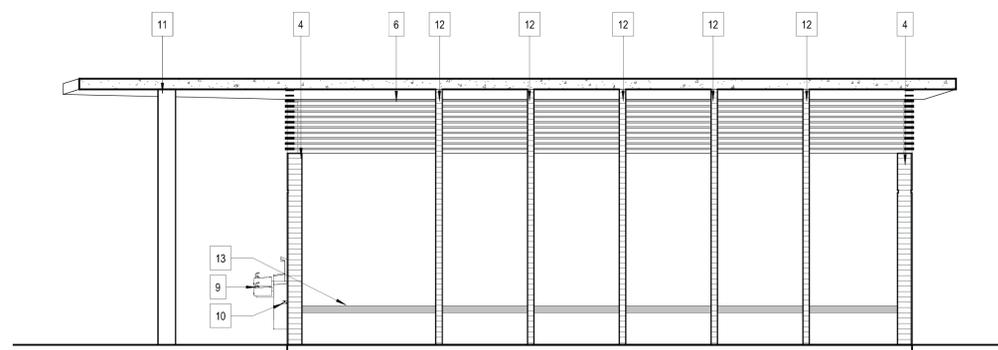


CABANA WEST ELEVATION

Scale: 1/4" = 1'-0"

CABANA EAST ELEVATION

Scale: 1/4" = 1'-0"

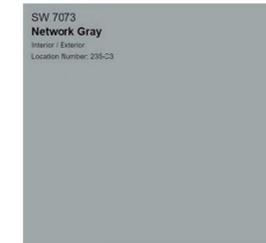


CABANA SECTION

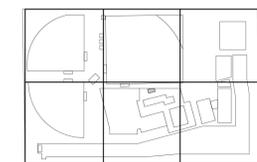
Scale: 1/4" = 1'-0"



EXTERIOR PAINT



#	MANUFACTURE'S SPECS	FINISH
P1	SW1002 - BLITHE BLUE	SEMI-GLOSS
P2	SW7006 - EXTRA WHITE	SEMI-GLOSS
P3	SW879 - BLUE MOSQUE	SEMI-GLOSS
P4	SW526 - CAPRI	SEMI-GLOSS
P5	SW604 - SURFIN'	SEMI-GLOSS
P6	SW671 - VANILIN	SEMI-GLOSS
P7	SW703 - NETWORK GRAY	SEMI-GLOSS
P8	NUCOR - PEARL GRAY PUDF	METALLIC



KEY PLAN



2400 E. COMMERCIAL BLVD. SUITE 210
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
ARB4371
2022.07.25
16:31:12-0400'

PROJECT:
CITY OF DELRAY BEAC
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

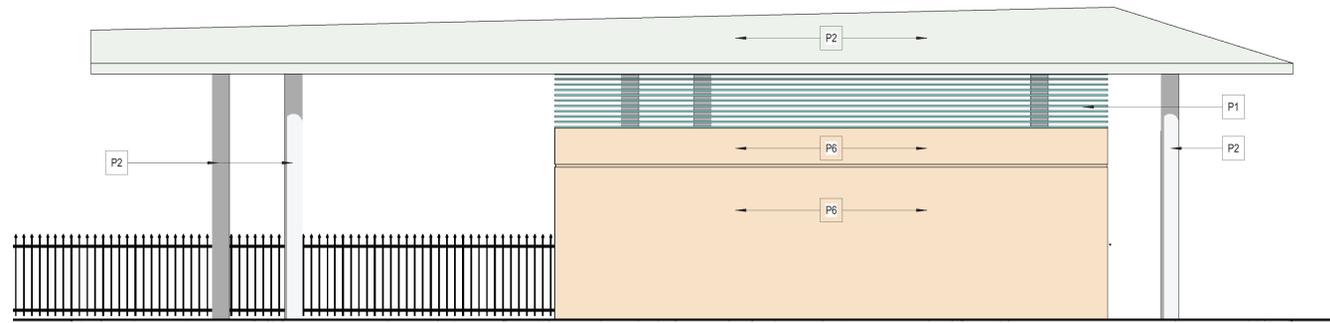
REVISIONS:

DATE: 09/08/21
DRAWN BY: CC
CHECKED BY: JS

SHEET:
AS4010
OF

SPRAB SUBMITTAL 07-16-2022

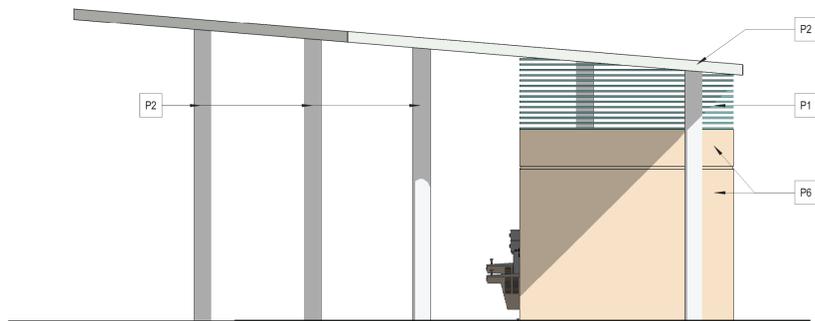
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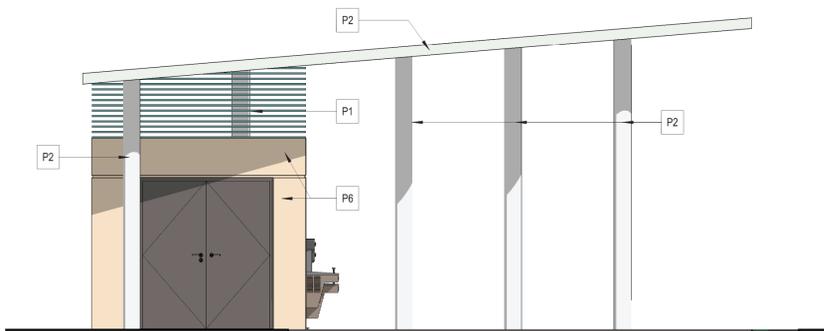
3 BASKETBALL PAVILION SOUTH ELEVATION
Scale: 1/4" = 1'-0"



2 BASKETBALL PAVILION NORTH ELEVATION
Scale: 1/4" = 1'-0"



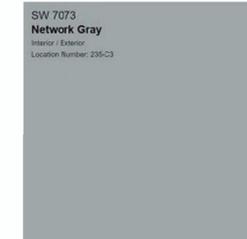
5 BASKETBALL PAVILION WEST ELEVATION
Scale: 1/4" = 1'-0"



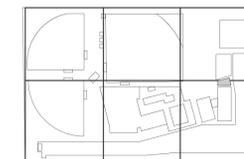
4 BASKETBALL PAVILION EAST ELEVATION
Scale: 1/4" = 1'-0"



EXTERIOR PAINT



#	MANUFACTURE'S SPECS	FINISH
P1	SW1002 - BLITHE BLUE	SEMI-GLOSS
P2	SW7006 - EXTRA WHITE	SEMI-GLOSS
P3	SW8789 - BLUE MOSQUE	SEMI-GLOSS
P4	SW9286 - CAPRI	SEMI-GLOSS
P5	SW9048 - SURFIN'	SEMI-GLOSS
P6	SW6371 - VANILLIN	SEMI-GLOSS
P7	SW7073 - NETWORK GRAY	SEMI-GLOSS
P8	NUCOR - PEARL GRAY PUDF	METALLIC



KEY PLAN



2400 E. COMMERCIAL BLVD., SUITE 210
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
ARB4371
2022.07.25
16:21:31-0400'
AA CO01388

PROJECT:
CITY OF DELRAY BEA
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:

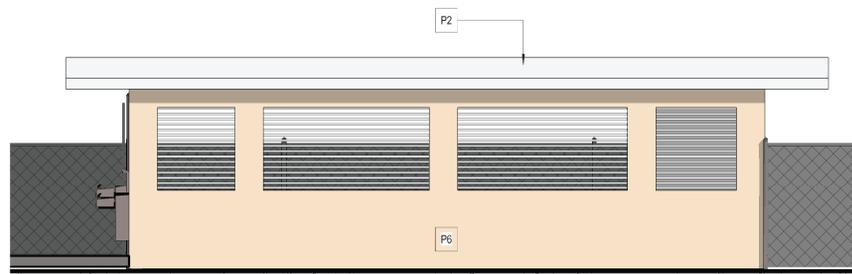
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CHECKED BY: Checker

JOB NO:
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SHEET:
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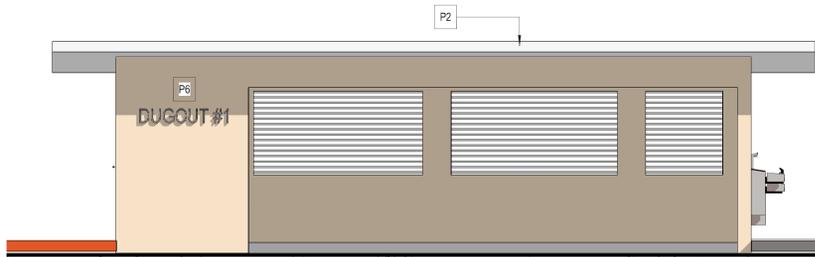
SPRAB SUBMITTAL 07-16-2022

TITLE: FLOOR PLANS, RCP, ELEVATIONS, SECTION - BASKETBALL PAVILION



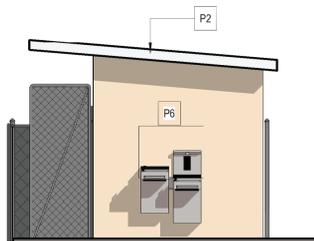
DUGOUT NORTH ELEVATION

Scale: 1/4" = 1'-0"



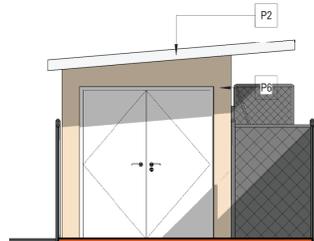
DUGOUT SOUTH ELEVATION

Scale: 1/4" = 1'-0"



DUGOUT EAST ELEVATION

Scale: 1/4" = 1'-0"

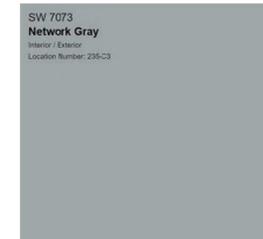
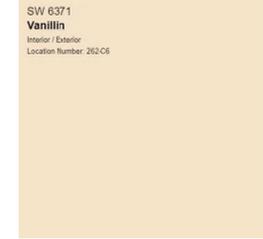


DUGOUT WEST ELEVATION

Scale: 1/4" = 1'-0"



EXTERIOR PAINT



#	MANUFACTURE'S SPECS	FINISH
P1	SW1002 - BLITHE BLUE	SEMI-GLOSS
P2	SW7006 - EXTRA WHITE	SEMI-GLOSS
P3	SW879 - BLUE MOSQUE	SEMI-GLOSS
P4	SW926 - CAPRI	SEMI-GLOSS
P5	SW604 - SURFIN'	SEMI-GLOSS
P6	SW671 - VANILLIN	SEMI-GLOSS
P7	SW703 - NETWORK GRAY	SEMI-GLOSS
P8	NUCOR - PEARL GRAY PUDF	METALLIC



KEY PLAN



2400 E. COMMERCIAL BLVD., SUITE 210
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
ARB4371
2022.07.25
16:31:52-0400'

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:

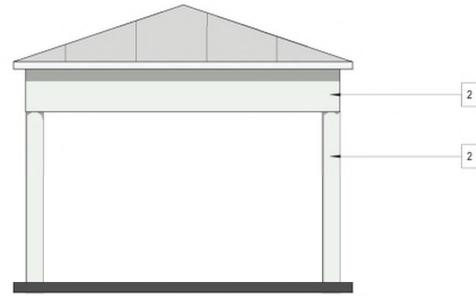
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CHECKED BY: JS

JOB NO:
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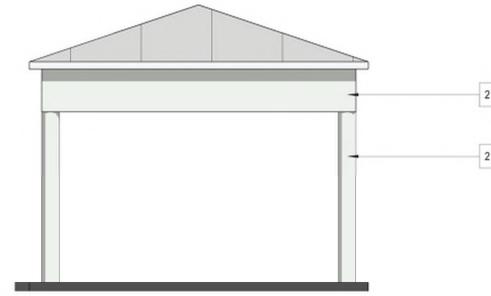
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OF

SPRAB SUBMITTAL 07-16-2022

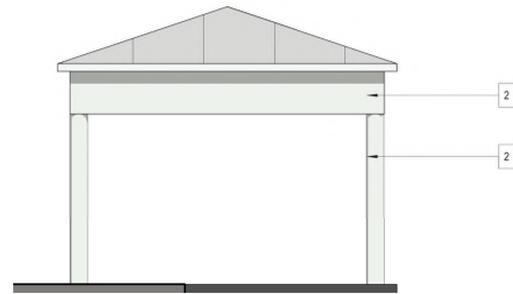
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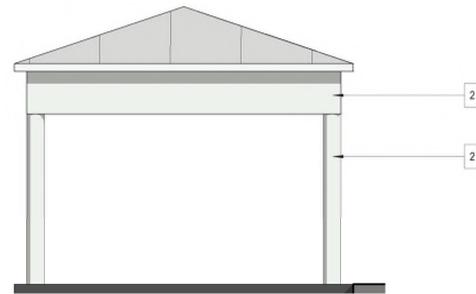
8 PAVILION EAST ELEVATION
Scale: 1/4" = 1'-0"



6 PAVILION SOUTH ELEVATION
Scale: 1/4" = 1'-0"



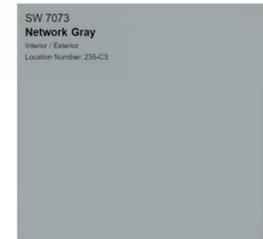
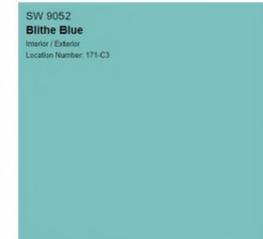
7 PAVILION WEST ELEVATION
Scale: 1/4" = 1'-0"



5 PAVILION NORTH ELEVATION
Scale: 1/4" = 1'-0"



EXTERIOR PAINT



#	MANUFACTURE'S SPECS	FINISH
P1	SW952 - BLITHE BLUE	SEMI-GLOSS
P2	SW706 - EXTRA WHITE	SEMI-GLOSS
P3	SW679 - BLUE MOSQUE	SEMI-GLOSS
P4	SW678 - CAPRI	SEMI-GLOSS
P5	SW048 - SURFIN	SEMI-GLOSS
P6	SW6371 - VANILLIN	SEMI-GLOSS
P7	SW7031 - NETWORK GRAY	SEMI-GLOSS
P8	NUCOR - PEARL GRAY PUDF	METALLIC



KEY PLAN



CARTAYA & ASSOCIATES ARCHITECTS P.A.
cartayaandassociates.com

2407 E. COMMERCIAL BLVD. SUITE 210
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

Juan Justiniano
AR#4371
2022.07.25
18-02-12-0400'

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:

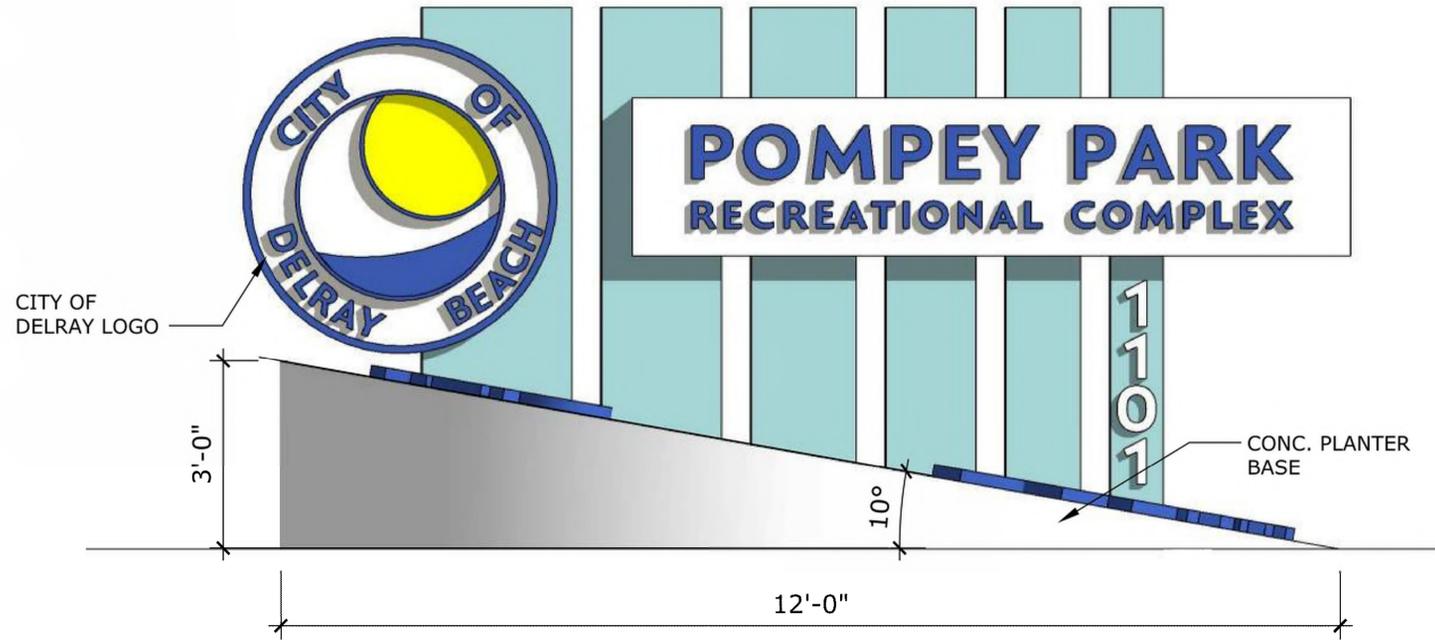
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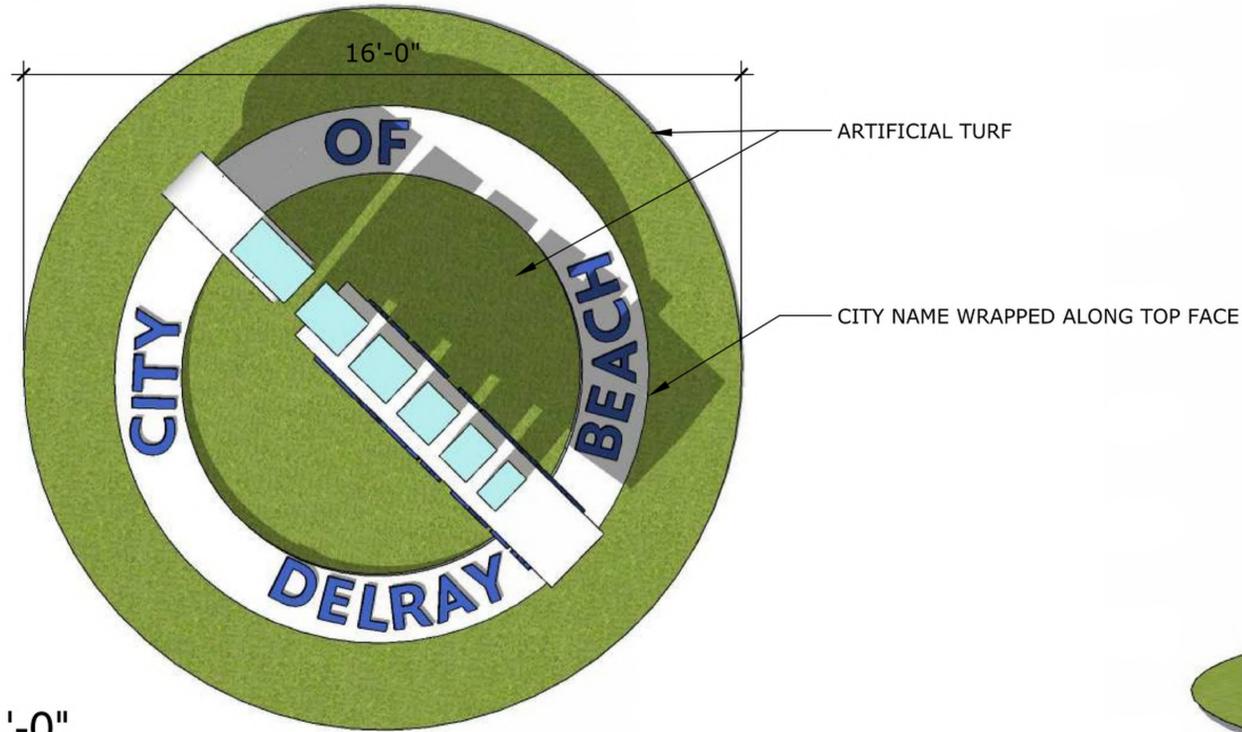
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AS407C
OF

SPRAB SUBMITTAL 07-16-2022

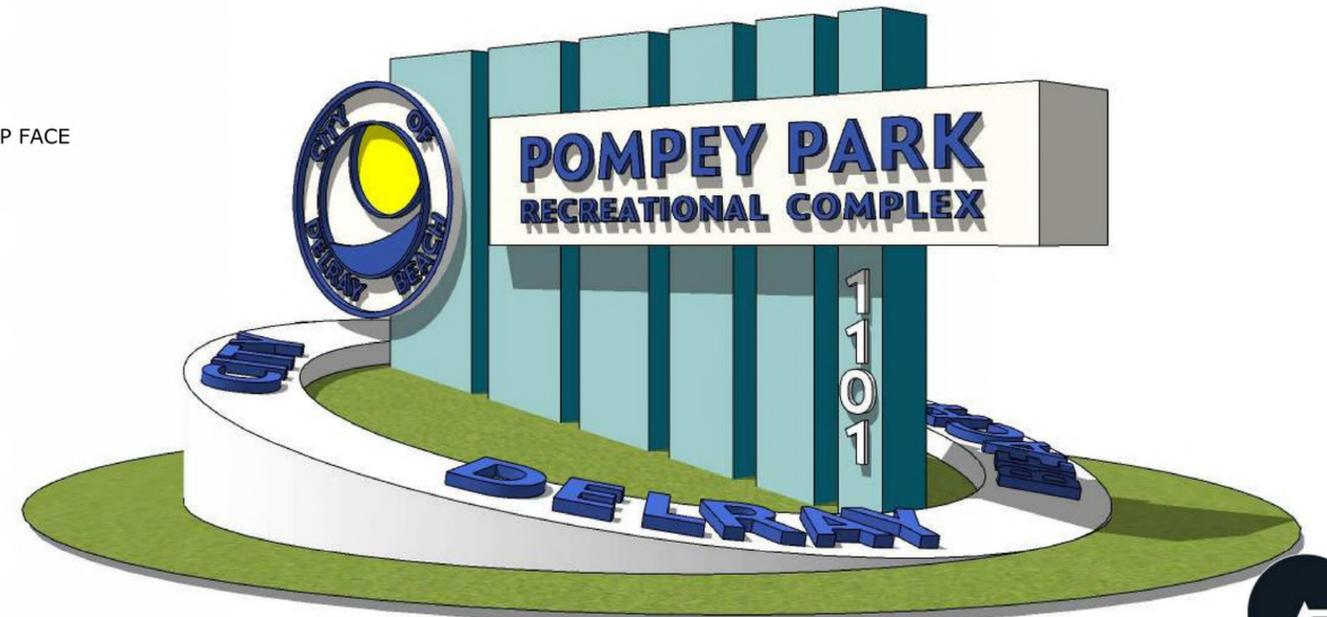
TITLE: FLOOR PLANS, RCP, ELEVATIONS, SECTION - PAVILION



SCALE: 1/2" = 1'-0"



SCALE: 1/4" = 1'-0"



2122 - POMPEY PARK COMMUNITY CENTER & COMPLEX SIGNAGE: SCHEME 4