



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

PLANNING AND ZONING BOARD STAFF REPORT

Delray Nissan

Meeting	File No.	Application Type
April 15, 2024	2024-002	Level 3 Site Plan Application
Property Owner	Agent	
MDR Delray Auto, LLC	Michael Weiner, Sachs Sax Caplan, PL	

Request

Consideration of a Level 3 Site Plan and Architectural Elevations Modifications to modify the existing elevations and to enclose 1,794 square feet of the existing outdoor display area with glass and 1,552 square foot existing canopy with glass overhead doors for indoor vehicle display (3,346 square feet total) for Delray Nissan located at 2200 S. Federal Highway.

Site Data & Information

Location: 2200 S. Federal Hwy

PCN: 12-43-46-28-21-001-0000

Property Size: 4.14 acres (180,309.19 square feet)

Land Use Designation: General Commercial (GC)

Zoning: Automotive Commercial (AC)

Adjacent Zoning:

- **North:** AC
- **East:** AC
- **South:** AC
- **West:** Open Space Recreation (OSR)

Existing Use:

Automotive Dealership

Proposed Addition:

Modify the existing elevations and enclose 1,794 square feet of the existing outdoor display area with glass and 1,552 square foot existing canopy with glass overhead doors for indoor vehicle display (3,346 square feet total).

Lot Coverage:

- **Maximum Allowed:** 25% Non-Vehicular Open Space
- **Existing:** 5.8%

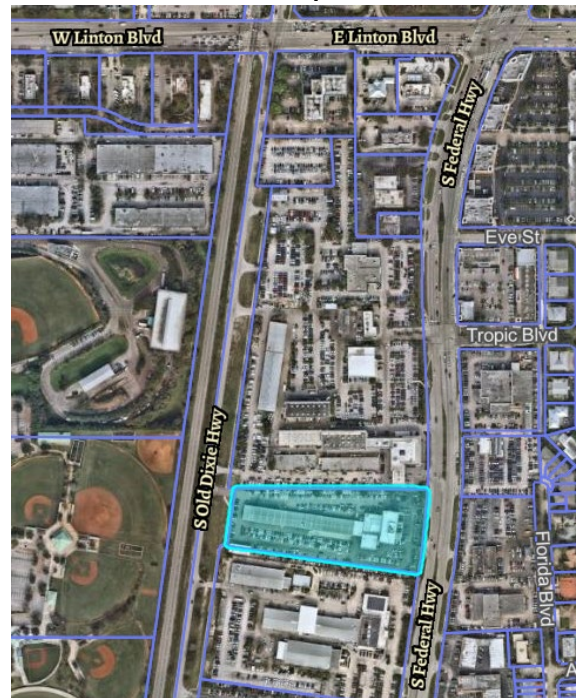
Water Service: Existing on-site

Sewer Service: Existing on-site

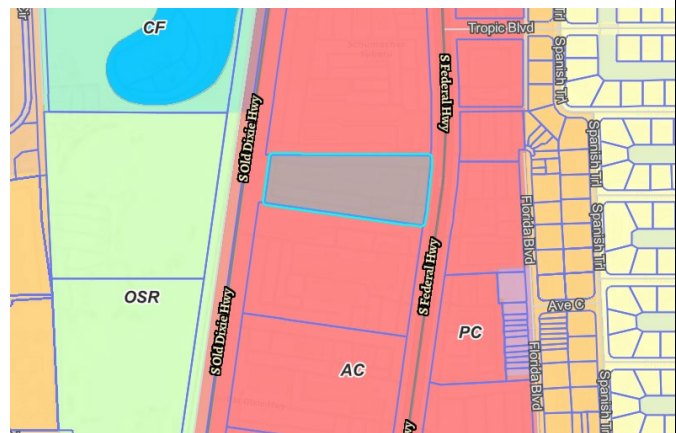
Floor Area Ratio:

- **Maximum Allowed:** 3.0
- **Proposed:** 0.266

Location Map



Land Use



Project Planner:

Alexia Howald, Senior Planner
HowaldA@mydelraybeach.com
561-243-7325

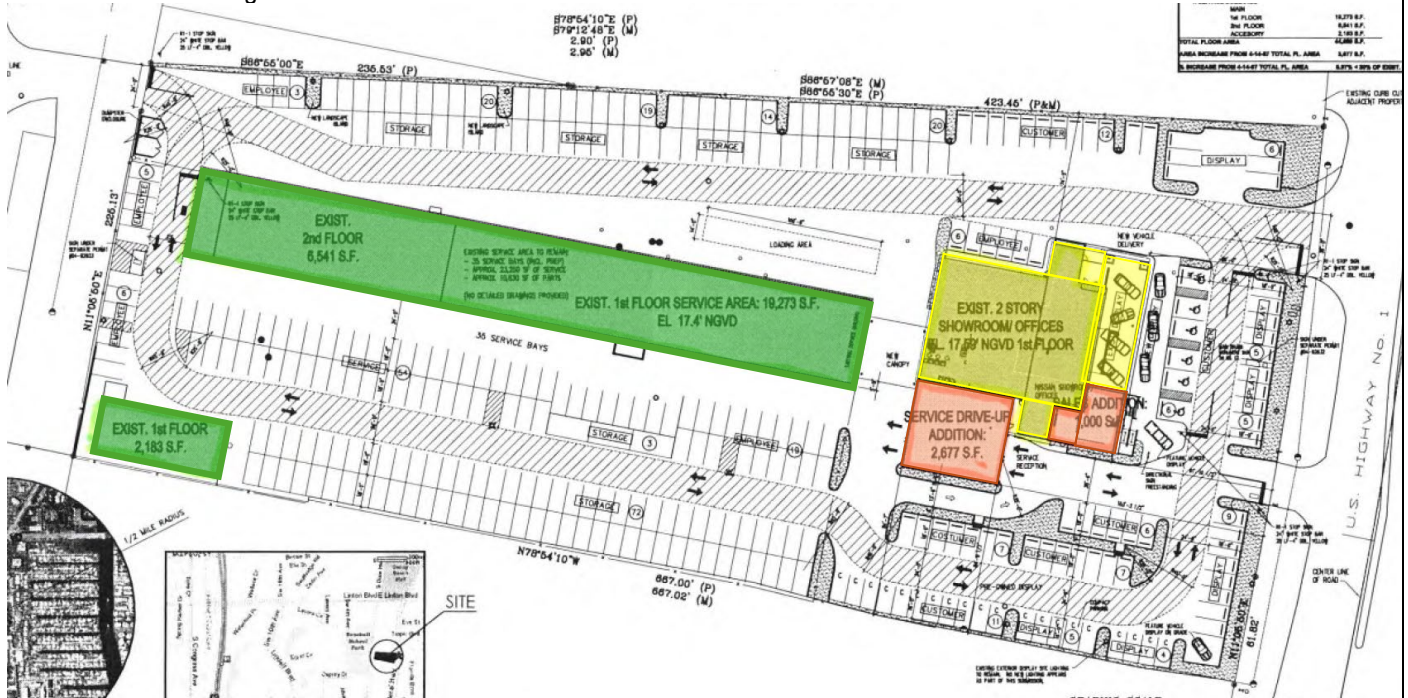
Attachments:

- Site Plan
- Architectural Elevations

Background

The property consists of Tract "A" of the GM's Acres subdivision and contains 4.14 acres. The site contains an existing 2-story showroom/office containing 13,015 square feet (yellow); an existing 2-story service building that contains 27,997 square feet (green); which includes an existing 2,183 square foot accessory building on the SW corner of the property. These existing structures were built in several phases between 1970 and 1985. The most recent substantial change occurred in 2005 with the construction of 2,677 square foot service drive-up addition and a 1,000 square foot sales office addition (orange).

The property was annexed to the City in 1969 with the C-2, General Commercial, zoning designation. In 1972, the property was rezoned to SC, Specialized Commercial, in conjunction with Citywide rezoning and adoption of a new Zoning Code. As part of the Citywide rezoning and adoption of the Land Development Regulations (LDR) in October 1990, the property was rezoned from SC to PC, Planned Commercial. In 1993, the City Commission rezoned the property from PC to AC, Automotive Commercial, as part of a corrective rezoning.



Description of Proposal

The applicant is requesting approval of a Level 3 Site Plan to enclose 1,794 square feet of the existing outdoor display area with glass and 1,552 square foot existing canopy with glass overhead doors for vehicle display towards the rear of the building (3,346 square feet total). The application also includes modification to the architectural elevations.



On February 22, 2023, the Site Plan and Appearance Board reviewed and approved a color change from light grey aluminum panels to grey aluminum panels and beige stucco to grey stucco color; the modifications were never made, however.

Review & Analysis

Site Plan and Zoning

LDR Section 2.4.10, Site Plan Applications

The request is considered a Level 3 Site Plan, which is subject to compliance with the required findings in Chapter 3, Performance Standards.

LDR Section 3.1.1 Required Findings

Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

The Required Findings relate to the land use map, concurrency, consistency, and compliance with the comprehensive plan. Compliance with the required findings is discussed below.

(A) Land Use Map. *The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.*

The subject property has a Land Use Map designation of General Commercial (GC), and a zoning designation of Automotive Commercial (AC). Pursuant to Table NDC-1 of the Always Delray Comprehensive Plan, AC is one of the five preferred zoning districts for the implementation of the GC land use designation. This deliberate compatibility between land use and zoning designations is a crucial element in ensuring a harmonious and purposeful development. Additionally, the use as a full service automotive dealership is allowed in the AC zoning district. This compatibility is a key factor in the analysis, indicating that both the

existing and proposed use are consistent with the Land Use Map.

The existing covered structures (the east and rear elevations) are currently used as an outdoor display area for vehicle sales. These areas will be used as fully enclosed indoor display area for vehicles sales only. The automotive dealership use on the subject property not only complies with the zoning district regulations but is also in harmony with many broader land use goals in the Comprehensive Plan (discussed in detail below).

(B) Concurrency. *Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.*

Potable Water and Sewer: The survey indicates City water and Sewer service will continue to be provided to the site.

Drainage: Stormwater is collected via an existing system of catch basins and pipes. Public Works Department determined that the application request will not create any additional drainage requirement.

Transportation: The proposed enclosure of the existing outdoor showroom will not generate additional traffic, given that the current use will remain unchanged and the sole modification pertains to enclosing the pre-existing outdoor showroom space.

Parks and Open Space: Not applicable. Parks impact fees are only required for residential development.

Solid Waste: The request to enclose the existing outdoor showroom will not generate additional solid waste as the current use is already established.

Public School: Not applicable. The facility is not residential use.

(C) Consistency. *A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.*

LDR Section 3.2.1, Basis for Determining Consistency requires a determination of overall consistency with the Comprehensive Plan, and **LDR Section 3.2.3, Standards for site plan and/or plat actions** provides standards for site plan actions (discussed further below). The proposed site plan modification generally aligns with each of these standards, and there are no identified concerns regarding its overall consistency with Article 3.2.

LDR Section 3.2.1. The following applicable objectives or policies from the Always Delray Comprehensive Plan apply to the request.

Economic Prosperity Element

Policy ECP 6.3.6 *Continue to provide specific and appropriate locations for the automotive dealership cluster.*

Neighborhoods, Districts, and Corridors Element

Objective 2.5 Automotive Dealerships *Recognize that automotive dealers and auto-related uses are local legacy industries with unique impacts that require appropriate and strategic locations.*

Policy NDC 2.5.1 *Accommodate automotive dealerships and auto-related uses on land with a General Commercial land use designation, zoned Automotive Commercial, and located: north of George Bush Boulevard, between North Federal and Dixie Highways, on the east side of North Federal Highway north of 2200 North Federal Highway, south of Linton Boulevard, between South Federal and Dixie Highways, south of Linton Boulevard, between South Federal and Dixie Highways, on the north side of*

West Linton Boulevard, between Interstate 95 and SW 10th Avenue, or; along Wallace Drive.

Approval of the request would support the continued operations of the legacy industry, and provide a more comfortable experience for vehicle buyers.

LDR Section 3.2.3, Standards for site plan action. The following standards are applicable to the request:

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.*
- C. Open space enhancements and recreational amenities shall be provided to meet Objective OPR 1.4 and other requirements of the Goals, Objectives and Policies, as applicable, of both the Open Space, Parks, and Recreation Element and Conservation Element.*
- H. Consideration shall be given to the effect a development will have on the safety, livability, and stability of surrounding neighborhoods and residential areas. Factors such as but not limited to, noise, odors, dust, and traffic volumes and circulation patterns shall be reviewed and if found to result in a degradation of the surrounding areas, the project shall be modified accordingly or denied.*
- K. Development shall not exceed the maximum limits established in the Table NDC-1, Land Use Designations: Density, Intensity, and Implementing Zoning Districts, of the Neighborhoods, Districts, and Corridors Element or specific standards established in the zoning districts that limit density (dwelling units per acre) or intensity (floor area ratio) and must adhere to whichever limit is lower. Development in areas included in density or incentive programs (i.e. workforce housing programs specified in Article 4.7-Family/Workforce Housing) may exceed the Standard density limit, up to the specified Revitalization/Incentive density established for the program; development in all other areas shall not exceed the Standard density.*

The proposed 3,346 square foot enclosure of the existing covered outdoor display is currently within the envelope of the existing Nissan Dealership footprint; it increases building floor area, but not lot coverage. The development will not impact the safety or stability of the surrounding neighborhoods nor create unwarranted distractions of visibility to traffic circulation.

LDR Section 3.2.4, Standards for Specific Areas or Purposes. Subsection (A), *Wellfield protection zones. The City shall continue to assure compliance with the County Wellfield Protection Ordinance by including compliance as a performance standard for which a specific finding must be made upon approval of any site plan or conditional use action, for any development or site improvements within a designated wellfield protection zone as designated on Map AD-20, in accordance with Goal 2, Water Resources, Conservation, and Protection, of the Conservation, Sustainability, and Resiliency Element.*

The subject property is within Zone 4, which is the outer most zone, and has the least restrictions. The purpose of the zones is to regulate uncontrolled substances to protect ground water supply for the ground water plant, if something were to spill and percolate down to the ground. However, no controlled substances are proposed with this addition. The applicant is aware of the best management practices for the construction industry.

LDR Section 3.2.4, Standards for Specific Areas or Purposes. Subsection (G), *Transportation demand management. A land use application, which will add use area or establish a new use, that will result in the addition on the premises of more than 50 employees, located in the City's Transportation Concurrency Exception Area (TCEA), shall include submittal of a program to implement employer-based Transportation Demand Management (TDM) activities. These activities may include, but are not limited to, ride sharing, van pooling, and flexible work hours.*

The proposed 3,346 square foot enclosure of the existing covered outdoor display of the Nissan Dealership is currently within the envelope of the existing structure. Therefore, the proposed enclosure of the existing covered areas will not result in the addition of any employees.

(D) Compliance with the LDR. *Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.*

LDR Section 4.4.10 Automotive Commercial (AC) District

Full service automotive dealership is listed as permitted use within the AC Zoning District.

The applicable regulations are outlined in **LDR Section 4.3.4(K), Development Standards Matrix** table below.

Standard/Regulation	Review
Setbacks Development Standards Matrix 4.3.4(K)	Required: Front Setback: 15 feet Provided: Front Setback: 91 feet 10 inches The existing building is located on the west side of S. Federal Highway and only involves the front setback from S. Federal Highway.
Lot Size, Width and Depth Development Standards Matrix 4.3.4(K)	Min. Lot Size Required: 10,000sf Provided: 180, 309 sf Min. Lot Width Required: 50 feet Provided: 256.51 feet Min Lot Depth Required: 100 feet Provided: 693 feet
Lot Frontage Development Standards Matrix 4.3.4(K)	Min. Lot Frontage Required: 50 feet Provided: 256.51 feet
Max Lot Coverage Development Standards Matrix 4.3.4(K)	Min. Non-Vehicular Open Space Required: 25% Existing: 5.8% The covered area proposed to be enclosed exists and is less than 30% of the total building area. Therefore, this requirement is not applicable.
Height Base district development standards 4.3.4(J)(1)	Maximum: 48 Feet Proposed: 30 feet, 8 inches from the highest parapet The structure is existing and the only change to the height is the increase in the parapet.

The site plan also complies with other applicable requirements, detailed as follows.

LDR Section 4.4.10(H)(2), Special Regulations, Compliance upon expansion of building area. *When there is not a change of use, but there is an expansion of building area and such expansion involves an increase in total floor area of 30 percent, or greater, in a cumulative amount, than that which existed as of April 14, 1987, the entire site shall be brought into compliance with the standards and supplemental regulations of this Section. If such expansion is less than 30 percent, the standards and design portions of the supplemental regulations shall apply only to that portion of the site which is adjacent to and required to be improved to comply with landscape and parking requirements made necessary by the addition. This provision for total site upgrading may be waived by the approving body in instances where because of the small size of the structure in relationship to the totality of the site, the upgrade is infeasible or impractical.*

Nissan Dealership is a long-established full service automotive dealership built between 1970 and 1985 on 4.14 acres, featuring 16, 692 square feet of showroom/sales, and 27,997 square feet of service building. The proposed existing covered showroom display area to be enclosed is a cumulative floor area of 3,346 square feet and is less than 30 percent of the total floor area. Therefore, the supplemental regulations shall apply only to that portion of the site which is adjacent to and required to be improved to comply with landscape and parking requirements by the addition.

- **LDR Section 4.6.9, Off-Street Parking:** Auto sales, auto rental agencies, recreational vehicle sales and rental, and truck sales and rental, shall provide four spaces per 1,000 square feet of total building(s) gross floor area, except indoor display areas. The proposed indoor display area is exempt from the parking requirement.

Compliance with the Landscape Plan and Architectural Elevations are discussed below.

Landscape Plan

LDR Section 2.4.10(A)(3)(c), Findings

All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.

(c) Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

The proposed enclosures of the existing covered structures is consistent with the requirement of LDR Section 4.6.16 Landscape Regulations.

Architectural Elevations

LDR Section 4.6.18, Architectural Elevations and Aesthetics

Pursuant to **LDR Section 2.4.10(A)(3)(d), Findings**, Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of LDR Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.

While no defined architectural style is required in this zoning district, the building architecture can be described as influenced modern style (image at right and elevations below). The modification incorporates the proposed enclosures and updates the design consistent with current Nissan branding.



There are five subsections for consideration in **LDR Section 4.6.18**: (A) Minimum requirements, (B) Building and structure requirements, (C) Exterior space, (D) Parking lots and vehicular use areas, and (E) Criteria for board action. Relevant requirements from (A), (B), and (E) are discussed below in detail.

(A) Minimum Requirements

- (1) *The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.*
- (2) *It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

B) Building and structure requirements.

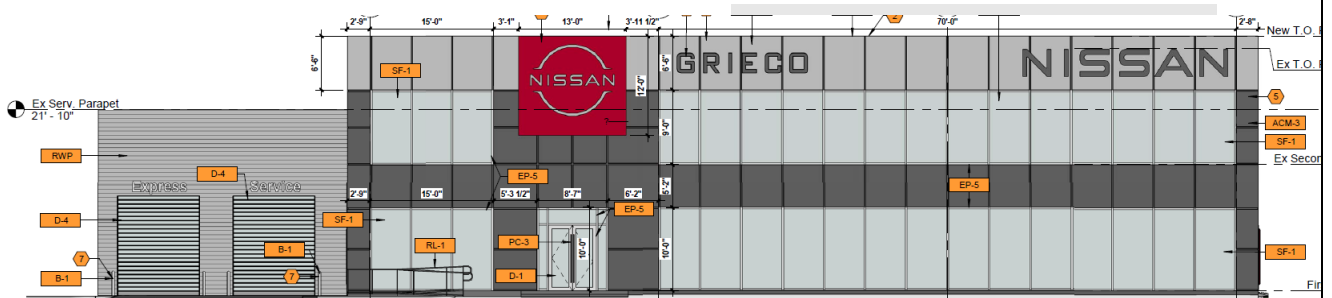
- (2) *Buildings or structures located along strips of land or on single sites, and not a part of a unified multi-building complex, shall strive to achieve visual harmony with the surroundings. If they are built in undeveloped areas, the three primary requirements shall be met: express honest design construction, show proper design concepts, and be appropriate to the City.*
- (3) *All facades visible to public or adjacent property shall be designed to create a harmonious whole. Materials shall express their function clearly and not appear as a material foreign to the rest of the building.*
- (10) *All exterior forms, attached or not to buildings, shall be in conformity to, and secondary to, the building. They shall be an asset to the aesthetics of the site and to the neighborhood.*
- (14) *Architectural features and building structures constructed or placed above the roof, such as stair towers, restroom facilities, and elevator overruns, shall be incorporated into the overall building design and shall be consistent with the architectural style.*
- (15) *Flat roofs shall be screened from the lateral view of adjacent properties by a parapet. New or replacement rooftop appurtenances, including mechanical equipment, shall be screened by a parapet, enclosure, or other method equal in height to the appurtenance. The screening must be integrated and compatible with the building architecture.*

(E) Criteria for Board Action. *The following criteria shall be considered by the [approving body] in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.*

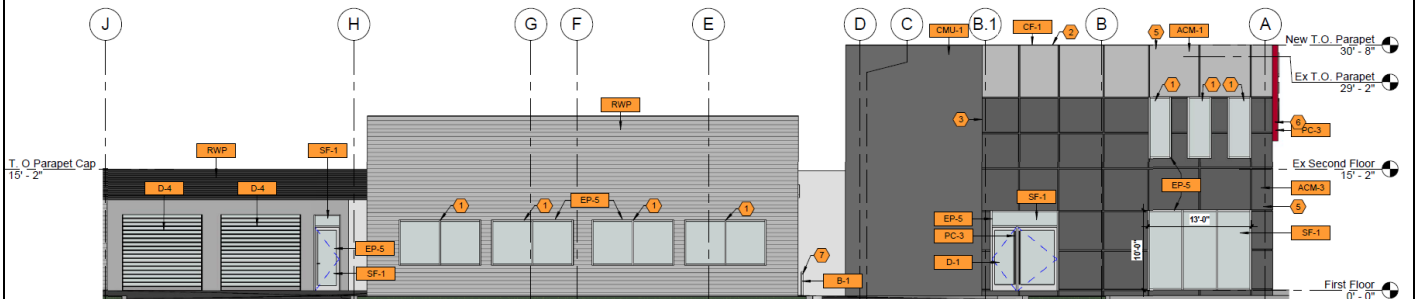
- (1) *The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
- (2) *The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
- (3) *The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

The proposed modification before the Board to the elevations are requested to incorporate the proposed enclosure and to reflect the new Nissan prototype. The proposed modifications to the south elevation include the addition of display windows on the first and second floor facing South Federal Highway. The modifications to the façade of the service bay include changes to the metal panel from corrugated to ribbed panel and large rectangle glass overhead doors to thin rectangle glass overhead doors. The Nissan logo with red background will be reviewed under a separate sign permit application as well as to the Greico and Nissan sign.

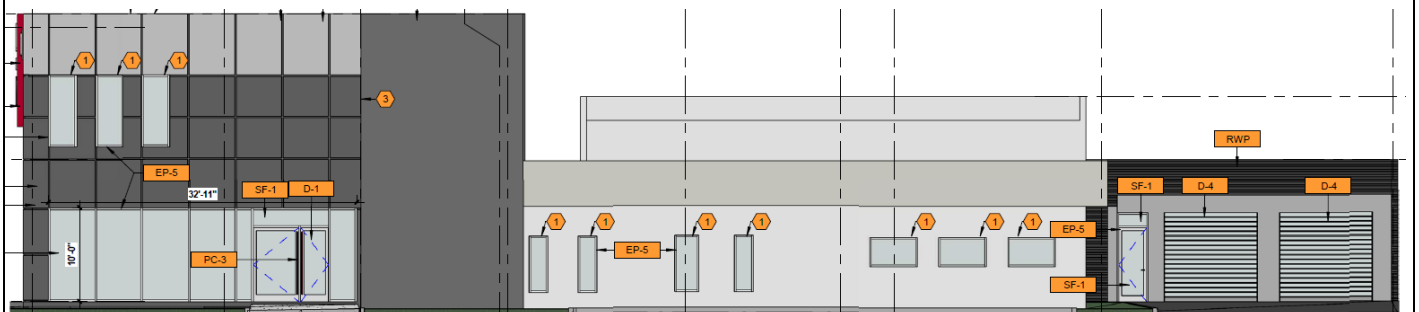
The proposed elevations reflect the new Nissan standard design, which enhance the existing grey tones and clean lines to create a harmonious whole on the overall site. The corrugated panels will be replaced with sliver ribbed metal panels. The modifications to the existing canopy will include roll-up glass doors to allow an indoor car display area towards the rear of the building as shown on the south and north elevations.



Proposed East Elevation



Proposed South Elevation



Proposed North Elevation

Options for Board Action

- A. **Move approval** of the Level 3 (2024-002) Site Plan, and Architectural Elevations, to modify the existing elevations and to enclose 1,794 square feet of the existing outdoor display area with glass and 1,552 square foot existing canopy with glass overhead doors for indoor vehicle display (3,346 square feet total), for Delray Nissan located at **2200 S. Federal Highway**,

by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.

- B. **Move approval, as amended**, of the Level 3 (2024-002) Site Plan, and Architectural Elevations, to modify the existing elevations and to enclose 1,794 square feet of the existing outdoor display area with glass and 1,552 square foot existing canopy with glass overhead doors for indoor vehicle display (3,346 square feet total), for Delray Nissan located at **2200 S. Federal Highway**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- C. **Move denial** of the Level 3 (2024-002) Site Plan, and Architectural Elevations, to modify the existing elevations and to enclose 1,794 square feet of the existing outdoor display area with glass and 1,552 square foot existing canopy with glass overhead doors for indoor vehicle display (3,346 square feet total), for Delray Nissan located at **2200 S. Federal Highway**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.
- D. **Move to continue with direction.**

TENANT IMPROVEMENTS FOR:
GRIECO NISSAN OF DELRAY
BEACH



PROJECT TEAM :

Architect:

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Project Description

03

- A-0.0 Cover
- --- Survey
- A-1.0 Proposed Site Plan
- A-2.1 Existing & Proposed Elevations
- A-2.2 Existing & Proposed Elevations
- A-2.3 Exterior Elevations
- A-2.4 Exterior Elevations
- A-2.5 Colored Existing & Proposed Elevations
- A-2.6 Colored Existing & Proposed Elevations
- A-3.1 First Floor Life Safety Plan
- A-4.2A Renderings
- A-4.2B Renderings



LEGAL DESCRIPTION

Tract "A", of GM'S ACRES, according to the plat thereof, as recorded in Plat Book 29, Page 12, of the public records of Palm Beach County, Florida, TOGETHER WITH the South Half (S1/2) of Avenue A, as abandoned by that certain Resolution No. R-73-28, recorded in Official Records Book 2130, Page 1841, of the Public Records of Palm Beach County, Florida, LESS AND EXCEPT those certain lands described in Official Records Book 2055, Page 1261, of the Public Records of Palm Beach County, Florida

Said lands situate, lying and being in the City of Delray Beach, Palm Beach County, Florida and containing 186,031 square feet or 4.2707 acres, more or less.

Index Of Drawings

05

1/2 Mile Radius Map

04

Location Plan

02

Project Information

01

CONSULTANT
STATE OF FLORIDA
REGISTERED ARCHITECT
Gregory b. Molina
FL REG. #AR93354
DATE: 02-08-24
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ALL RIGHTS RESERVED. THIS DOCUMENT
DESIGN, OR PARTS THEREOF, MAY NOT BE
REPRODUCED IN ANY FORM WITHOUT
WRITTEN CONSENT FROM GBM ARCHITECTURE, P.A.

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GRIECO NISSAN OF DELRAY BEACH
PROPOSED SCHEMATIC ELEVATIONS
2200 S Federal Hwy
Delray Beach, FL 33483

DRAWING ISSUE DATES:

Cover

SHEET
A-0.0
PROJECT 230426
PERMIT SET 02-08-24
PERMIT NO.



**TRACT "A" GM'S ACRES
PLAT BOOK 29, PAGE 12, P.B.C.R.**



There are no other Easements, Road Reservations, or Rights-of-Ways of record affecting this property per First American Title Insurance Company, Commitment Number 7222-6375676, dated May 3, 2023 at 8:00AM.

- 9) *Matters per Plat Book 29, Block 12 of the Public Records of Palm Beach County, Florida and O.R. Book 29, Page 12 of the Public Records of Palm Beach County, Florida and O.R. Book 2045, Page 1511 of the Public Records of Palm Beach County, Florida affects this property and as shown.*
- 10) *Easement per O.R. Book 3012, Page 1801 of the Public Records of Palm Beach County, Florida does not affect this property lies North of and adjacent to.*
- 11) *Lease per O.R. Book 30238, Page 1497 of the Public Records of Palm Beach County, Florida affects this property (not a survey matter).*
- 12) *Declaration per O.R. Book 31769, Page 740 of the Public Records of Palm Beach County, Florida the Legal Description in document is not this site.*

*THIS
SURVEY*

Location Sketch
Not To Scale

NOTES:

- 1) This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements road reservations or rights-of-way of record by McLaughlin Engineering Company.
- 2) Underground Improvements if any not located.
- 3) This drawing is not valid unless sealed with an embossed surveyors seal.
- 4) Boundary survey information does not infer Title or Ownership.
- 5) All iron rods 5/8", unless otherwise noted.
- 6) Reference Bench Mark: Palm Beach County Engineering Department, Benchmark # AD269, Elevation= 15.62 (NGVD29) converted to 14.070 (NAVD88).
- 7) Elevations shown refer to North American Vertical Datum (1988), and are indicated thus: e.g.° , Elev. = 6.39
- 8) This property lies in Flood Zone "X", Minimal Chance of Flood Hazard Per Flood Insurance Rate Map No. 120989C0987 L, Dated: October 5th, 2017, Community Panel No. 125102.
- 9) Underground Utility locations shown hereon, if any, are based upon paint marks in the ground provided by others. McLaughlin Engineering Company did not confirm the accuracy of this data. The exact location of all utilities should be confirmed prior to design or construction.
- 10) Bearings shown hereon refer to record plat to (29/12) and assume the East Right-of way line of Dixie Highway as South 11°05'50" West.
- 11) This property has access to Dixie Highway and Federal Highway, both Publicly Dedicated Right-of-Ways.

LEGEND

A = CENTRAL ANGLE (DELTA)	MHW = MEAN HIGH WATER
A/C = AIR CONDITIONING	MISC. = MISCELLANEOUS
A/L = ALSO KNOWN AS	M.L.P.(O) = METAL LOG POINT
ALP = ALUMINUM LIGHT POLE	± = MORE OR LESS
ALTA = AMERICAN LAND TITLE ASSOCIATION	MW = MONITORING WELL
A OR = ARC LENGTH	NATIONAL GEODETIC SURVEY
B.C.R. = BROWARD COUNTY RECORDS	NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
B.F.P. = BACK FLOW PREVENTOR	NOV29 = NATIONAL GEODETIC REFERENCE DATUM (1929)
B.H. = BULKHEAD	NOV88 = NORTH AMERICAN VERTICAL DATUM (1988)
B = BASE LINE	N.S.I.D. = NORTH SPRINGS IMPROVEMENT DISTRICT
B.B. = BOTTOM OF STRUCTURE	NO. = NUMBER
C.A.T.V. = CABLE TV TERMINAL OR BOX	O.R.B. = OFFICIAL RECORDS BOOK
CALC. = CALCULATED	O/S = OFFSET
C.B.C. = CONCRETE BLOCK AND STUCCO	O.U. = OVERHEAD UTILITY LINES
C.C.L. = COASTAL CONSTRUCTION CONTROL LINE	P.G. = PAGE
C.E.P. = CENTRAL ENERGY PLANT	P.B.R. = PLAT BOOK
CHORD	P.B.R. = PALM BEACH COUNTY RECORDS
CHRG. = CHORD BEARING	P.C. = POINT OF CURVE
C = CENTERLINE OF RIGHT-OF-WAY	P.C.D. = POLLUTION CONTROL DEVICE
CL = CHAIN LINK FENCE	P.I. = POINT OF INTERSECTION
C.L.P. = CONCRETE LIGHT POLE	P.I.V. = POST INDICATOR VALVE
C.M. = CURB MOUNTED DOUBLE POLE	P.L. = PROPERTY
C.P.L.P. = CONCRETE POWER LIGHT POLE	P.O.B. = POINT OF BEGINNING
C.P. = CONCRETE POWER POLE	P.O.C. = POINT OF COMMENCEMENT
CO = COMPANY	P.O.R. = POINT OF REVERSE CURVE
CONC. = CONCRETE	P.R. = PERMANENT REFERENCE MONUMENT
COO = CLEAN OUT	R = RADIOS
D.B. = DRED BED BOOK	R.C.P. = REINFORCED CONCRETE PIPE
DESC. = DESCRIPTION FROM FORMER DESCRIPTION	R/W = RIGHT-OF-WAY
D.I. = DIAMETER	S. = SOUTHERN BELL TELEPHONE
D.H. = DIAMETER AT BREAST HEIGHT	SV = SEWER VALVE
ELEC. = ELECTRIC	S.H.W. = SEASONAL HIGH WATER
ELEV. OR E.L. = ELEVATION	S.L. = STAIRY LAKE
R. FEET	S.Q.F. = SQUARE FEET
F.H. = FIRE HYDRANT	S. FL. = SURVEY LINE
F.D.O.I. = FLORIDA DEPARTMENT OF TRANSPORTATION	TAN. = TANGENT
F.I.N. = FLORIDA INLAND NAVIGATION DISTRICT	TAN/B.R. = TANGENT BEARING
F.K. = FORMERLY KNOWN AS	T.O.P. = TOP OF CURVE
F.P.L. = FLORIDA POWER AND LIGHT CO.	T.O.W. = TOP OF WALL
GA. = GAS VALVE	W. = WATER METER
G.M. = GRASSY DIRT MANHOLE	W.D. = WATER VALVE
H.H. = HAND HOLE	W.B.H. = WOOD FACE OF BULKHEAD
I.C.V. = IRRIGATION CONTROL VALVE	W.F. = WET FACE OF PILE
INVERT	W.L.P. = WOOD STREET LIGHT POLE
L.P.G. = LIQUID PROPANE GAS	W.L.P.L. = WOOD POWER STREET LIGHT POLE
LD = LEASED BUSINESS	W.P.P. = WOOD POWER POLE
MAG. = MAGNETIC	W/M/L CAP. = WITH McLAUGHLIN ENGINEERING CO. CAP
M.D.C.R. = MIAMI DADE COUNTY RECORDS	W/W.C. = WITH WILSON & SONS
MEAS. = FIELD MEASUREMENT	W. = WIDENED PARKING SPACE
M = PARKING SPACES	NON-VEHICULAR ACCESS LINE

ALTA/NSPS CERTIFICATION

TO:
MDR Delray Auto LLC, a Florida limited liability company
Bank of America, N.A.
Weisman & Margolies, P.A.
Bass Sox Mercer
First American Title Insurance Company

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1, 2, 3, 4, 7a, 7b, 7c, 8, 9, 11(as to observed evidence only), 16(none observed), 17(none apparent), 19. The fieldwork was completed on May 11th, 2023.

Legal Description

Tract "A", of G/M'S ACRES, according to the plat thereof, as recorded in Plat Book 29, Page 12, of the public records of Palm Beach County, Florida, TOGETHER WITH the South Half (Sh) of Avenue A, as abandoned by that certain Resolution No. R-73-28, recorded in Official Records Book 2130, Page 1841, of the Public Records of Palm Beach County, Florida, LESS AND EXCEPT those certain lands described in Official Records Book 2055, Page 1261, of the Public Records of Palm Beach County, Florida


Said lands situate, lying and being in the City of Delray Beach, Palm Beach County, Florida and containing 186,031 square feet or 4.2707 acres, more or less.

CERTIFICATION

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

*Dated at Fort Lauderdale, Florida, this 12th day of December, 2017.
Resurveyed this 17th day of October, 2018.
Resurveyed this 11th day of May, 2023.*

McLAUGHLIN ENGINEERING COMPANY


JERALD A. McLAUGHLIN
Registered Land Surveyor No. 5269
State of Florida.

OFFICE NOTES

FIELD BOOK NO. EFB, LB# 368/61, PRINT, GPS, PRINT

JOB ORDER NO. V-2858, V-3807, V-7709

ORDERED BY:

CHECKED BY: _____
DRAWN BY: RDR, KT

FILE NO: 18-3-030(23)

SITE DATA:

EXISTING SITE AREA AS OF 08/27/2004 180,309,19 S.F. 4.14 ACRES

SITE AREA CALCULATIONS (EXISTING)

IMPERVIOUS BUILDING (FOOTPRINTS)	
1. SHOWROOM / OFFICES	7,295 S.F.
2. SERVICE BUILDINGS	
MAIN	19,273 S.F.
ACCESORY	2,183 S.F.
PAVED AREA	146,281 S.F.

TOTAL IMPERVIOUS 175,032 S.F.

PERVIOUS	
EXISTING LANDSCAPE	5,277 S.F.
% OF SITE AREA	2.93%

SETBACKS
FRONT: 15' / SIDE INTERIOR : 0' / REAR : 10'

SITE AREA CALCULATIONS (PROPOSED)

IMPERVIOUS BUILDING (FOOTPRINTS)	
1. ADDITION	3,677 S.F.
2. SHOWROOM / OFFICES	7,295 S.F.
3. SERVICE BUILDINGS	
MAIN	19,273 S.F.
ACCESORY	2,183 S.F.
PAVED AREA	137,264 S.F.

TOTAL IMPERVIOUS 169,692 S.F.

PERVIOUS	
PROPOSED NEW LANDSCAPE	5,340 S.F.
PROPOSED TOTAL LANDSCAPE	10,617 S.F.
% OF SITE AREA	5.8%

25% OF SITE AREA FOR NON-VEHICULAR OPEN SPACE REQUIRED 45,077 S.F. (NOT APPLICABLE)
AS PER LDR SECTION 4.4,10 (H) (3) : ADDITION < 30% OF EXIST. BLDG. AREA)

BUILDING DATA:

AS IT RELATES TO SECTION 4.4.10 (H) (3)
OF CITY OF DELRAY BEACH LAND DEVELOPMENT REGULATIONS (COMPLIANCE UPON
EXPANSION OF BLDG.AREA LESS THAN 30%)

EXISTING SITE AREA AS OF 08/27/2004 180,309,19 S.F. 4.14 ACRES

FLOOR AREA CALCULATIONS (ORIGINAL BUILDINGS)

BASED ON DRAWINGS PREPARED BY ROY M.SIMON AIA ON SEPTEMBER 18,1985

BUILDINGS:

1. ORIGINAL SHOWROOM /SALES BLDG. 4,270S.F.
2. SERVICE BUILDINGS

MAIN	
1ST FLOOR	19,273 S.F.
2ND FLOOR	6,541 S.F.
ACCESORY	2,183 S.F.

ORIGINAL TOTAL FLOOR AREA 32,267 S.F.

FLOOR AREA CALCULATIONS (1985 ADDITION)
BASED ON DRAWINGS PREPARED BY ROY M.SIMON AIA ON SEPTEMBER 18,1985

BUILDINGS:

1. ORIGINAL SHOWROOM /SALES BLDG. 4,270 S.F.
2. 1985 ADDITION
3. SERVICE BUILDINGS

1ST FLOOR	3,025 S.F.
2ND FLOOR	5,720 S.F.
MAIN	
1ST FLOOR	19,273 S.F.
2ND FLOOR	6,541 S.F.
ACCESORY	2,183 S.F.

ORIGINAL TOTAL FLOOR AREA AS OF 4-14-87 41,012 S.F.

AREA INCREASE FROM ORIGINAL AREA	8,745 S.F.
% INCREASE FROM ORIGINAL AREA	27.10%

FLOOR AREA CALCULATIONS (PROPOSED NEW ADDITION)
BASED ON DRAWINGS PREPARED BY ROY M.SIMON AIA ON SEPTEMBER 18,1985

BUILDINGS:

1. ORIGINAL SHOWROOM /SALES BLDG. 4,270 S.F.
2. 1985 ADDITION
3. PROPOSED NEW ADDITION
4. SERVICE BUILDINGS

1ST FLOOR	3,025 S.F.
2ND FLOOR	5,720 S.F.
1ST FLOOR	3,677 S.F.
MAIN	
1ST FLOOR	19,273 S.F.
2ND FLOOR	6,541 S.F.
ACCESORY	2,183 S.F.

TOTAL FLOOR AREA 44,689 S.F.

AREA INCREASE FROM 4-14-87 TOTAL FL. AREA 3,677 S.F.

% INCREASE FROM 4-14-87 TOTAL FL. AREA 8.97% < 30% OF EXISTING BLDG.OK

SITE DATA:

EXISTING SITE AREA AS OF 08/27/2004 180,309,19 S.F. 4.14 ACRES

SITE AREA CALCULATIONS (EXISTING)

IMPERVIOUS BUILDING (FOOTPRINTS)	
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2. SERVICE BUILDINGS	
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TOTAL IMPERVIOUS 175,032 S.F.

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EXISTING LANDSCAPE	5,277 S.F.
% OF SITE AREA	2.93%

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FRONT: 15' / SIDE INTERIOR : 0' / REAR : 10'

SITE AREA CALCULATIONS (PROPOSED)

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1. ADDITION	3,677 S.F.
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% OF SITE AREA	5.8%

25% OF SITE AREA FOR NON-VEHICULAR OPEN SPACE REQUIRED 45,077 S.F. (NOT APPLICABLE)
AS PER LDR SECTION 4.4,10 (H) (3) : ADDITION < 30% OF EXIST. BLDG. AREA)

EXISTING IMPERVIOUS TO
REMAIN - NO PROPOSED CHANGE
TO THE FOOTPRINT OF BUILDING

BUILDING DATA:

AS IT RELATES TO SECTION 4.4.10 (H) (3)
OF CITY OF DELRAY BEACH LAND DEVELOPMENT REGULATIONS (COMPLIANCE UPON
EXPANSION OF BLDG.AREA LESS THAN 30%)

EXISTING SITE AREA AS OF 08/27/2004 180,309,19 S.F. 4.14 ACRES

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ORIGINAL TOTAL FLOOR AREA 32,267 S.F.

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ACCESORY	2,183 S.F.

TOTAL FLOOR AREA 44,689 S.F.

AREA INCREASE FROM 4-14-87 TOTAL FL. AREA 3,677 S.F.

% INCREASE FROM 4-14-87 TOTAL FL. AREA 8.97% < 30% OF EXISTING BLDG.OK

PROPOSED EXISTING COVERED
SHOWROOM DISPLAY TO BE
ENCLOSED

1,794 + 1,552 S.F.
= 3,346 S.F.

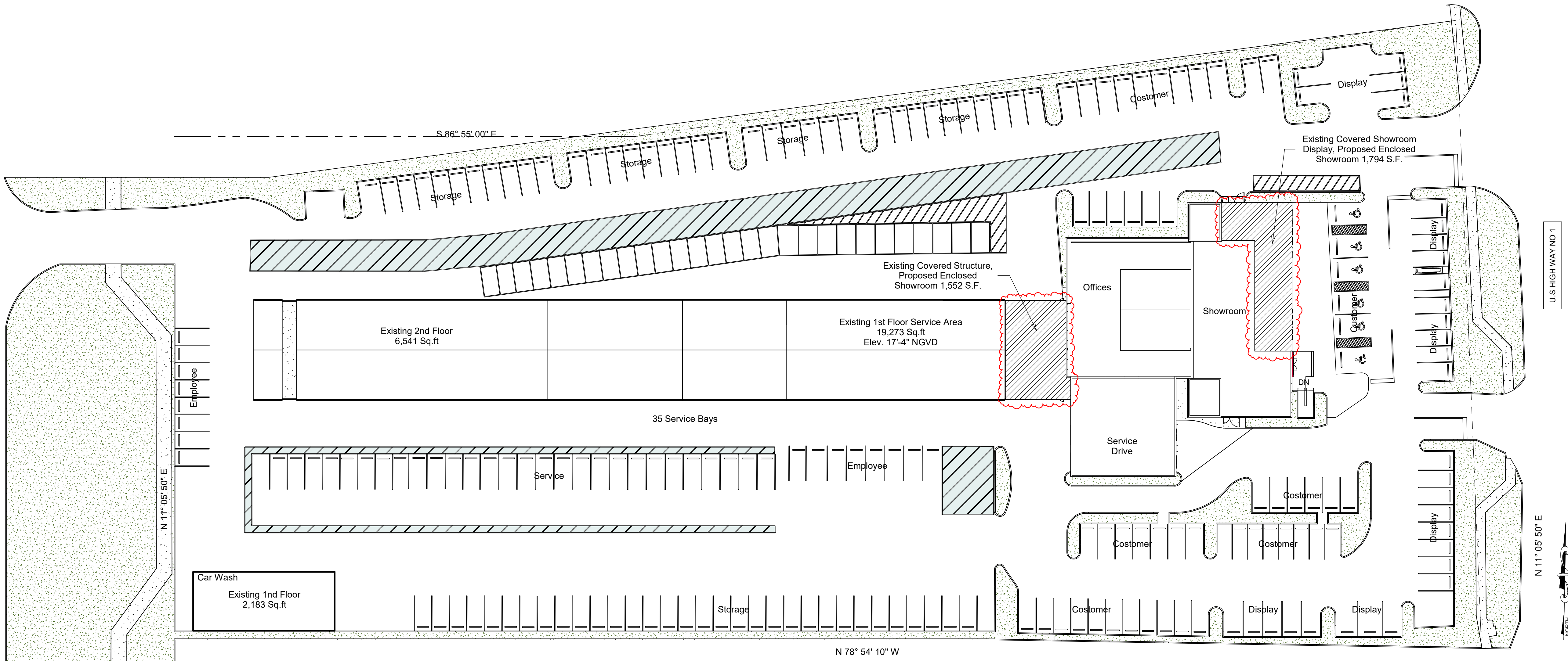
PROPOSED TOTAL FLOOR AREA =
48,035 S.F.

Previously Approved Site Plan Data

03

Proposed Site Plan Data

02



Site Plan

SCALE: 1" = 30'-0"

01

CONSULTANT



Gregory b. Molina

FL. REG. #AR93354

DATE: 02-08-24

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GRIECO NISSAN OF DELRAY BEACH
PROPOSED SCHEMATIC ELEVATIONS
2200 S Federal Hwy
Delray Beach, FL 33483

DRAWING ISSUE DATES:

Site Plan

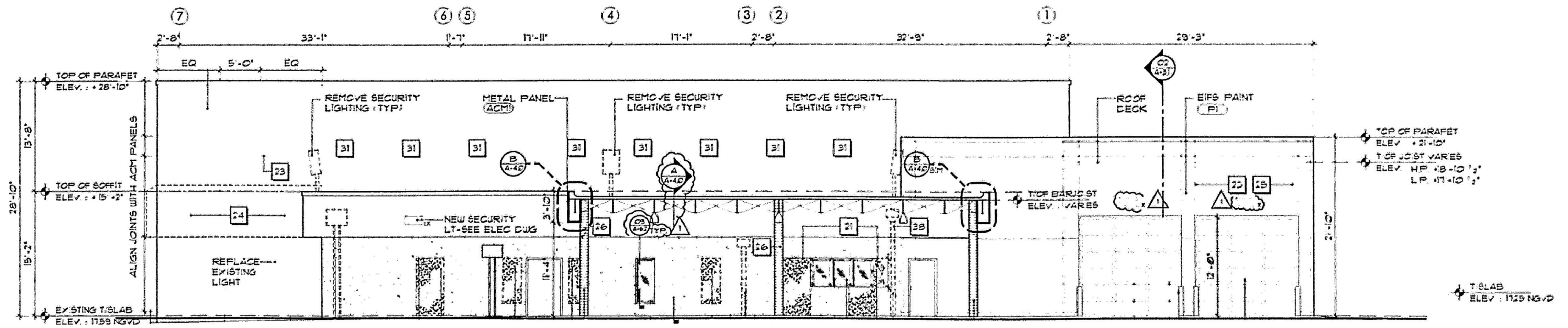
SHEET

A-1.0

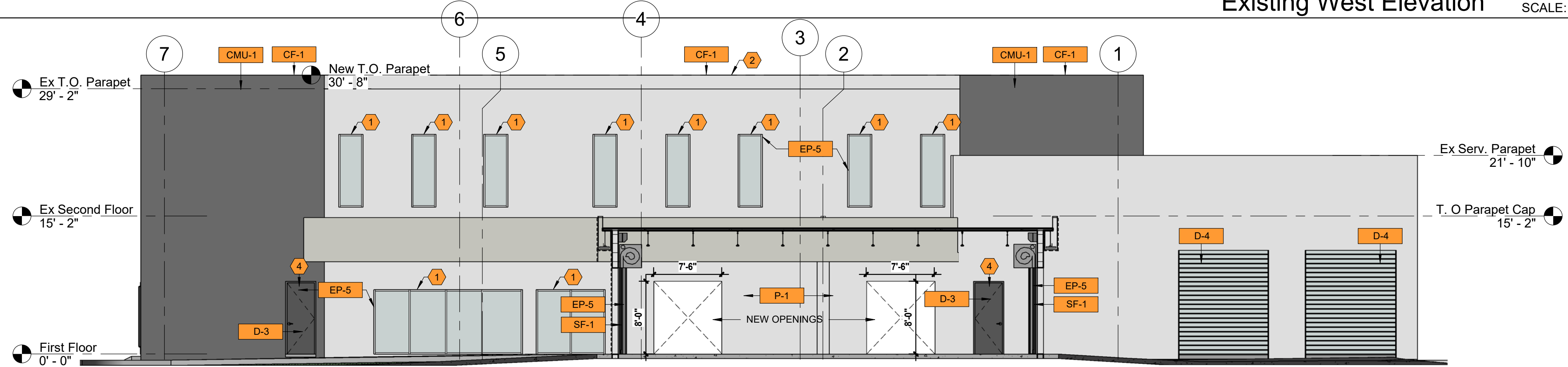
PROJECT 230426

PERMIT SET 02-08-24

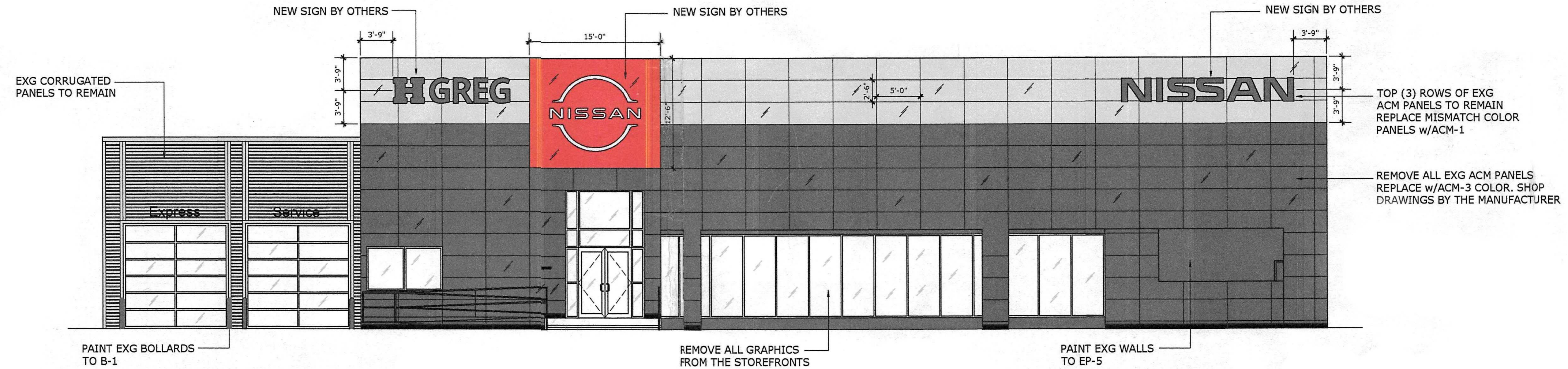
PERMIT NO.



Existing West Elevation SCALE: 1/8" = 1'-0" 04

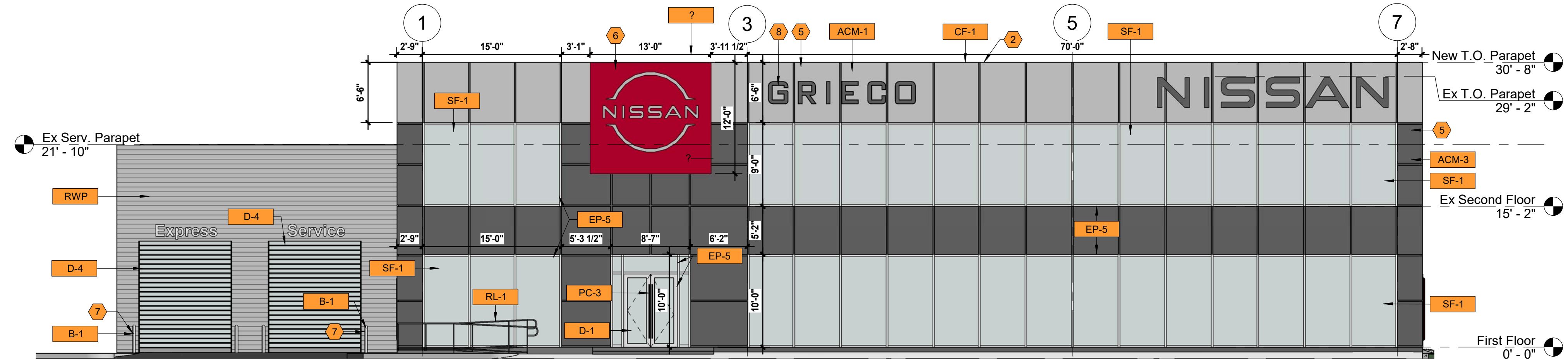


Proposed West Elevation. SCALE: 1/8" = 1'-0" 03



Previously Approved East Elevation SCALE: 1/8" = 1'-0" 02

NOTE:
ALL SIGNS WILL REQUIRE A SEPARATE
PERMIT AND COMPLY WITH THE SIGN CODE.



Proposed East Elevation. SCALE: 1/8" = 1'-0" 01

Metal Composite Panel Schedule:

- ACM-1** ALUMINUM COMPOSITE MATERIAL - SILVER
MANUFACTURER: MITSUBISHI PLASTICS 3A COMPOSITS ARCONIC
PRODUCT: ALPOLIC, ALUCOBOND, REYNOBOND
COLOR: BSX SILVER METALLIC SUNRISE SILVER II, STERLING SILVER NOW BRIGHT SILVER METALLIC
SIZE: 4MM THICKNESS
LOCATION: GENERAL FAÇADE SITE SIGNAGE
NOTES: WALL PACKS, SPEAKERS, CAMERAS & WIFI TO BE SILVER
- ACM-3** ALUMINUM COMPOSITE MATERIAL - DARK GRAY
MANUFACTURER: MITSUBISHI PLASTICS 3A COMPOSITS ARCONIC
PRODUCT: LPOLIC 732L878 (FEVE), ALUCOBOND, REYNOBOND
COLOR: NSG NISSAN GRAY, NISSAN GRAY, STORMY GRAY
SIZE: N/A
LOCATION: SERVICE DRIVE, GENERAL FAÇADE, ENTRY
NOTES: WALL PACKS, SPEAKERS, CAMERAS & WIFI TO MATCH WALL OR SILVER DOWNSPOUTS / LAMBS TONGUE DRAIN TO BE SILVER - DO NOT USE BRONZE
- CF-1** CAP FLASH
MANUFACTURER: ACM-1 / ARCHITECT CHOSEN VENDOR
PRODUCT: CAP FLASH
COLOR: ACM PREFERRED, COLOR TO MATCH ADJACENT WALL
ACM-1 / ACM-3 / CMU-1 / EIFS-1 / EP-5
SIZE: 6"
LOCATION: PERIMETER OF BUILDING
NOTES: N/A

RWP RIB WALL PANELS - SILVER
MANUFACTURER: ARCONIC RIBBED METAL PANEL 7.2
PRODUCT: N/A
COLOR: COLORWELD
SIZE: N/A
LOCATION: SERVICE DRIVE, GENERAL FAÇADE, ENTRY
NOTES: 500- SLATE GREY (BNSA179B), 30% GLOSS

CMU-1 CONCRETE MASONRY UNIT
MANUFACTURER: BRAMPTON BRICK
PRODUCT: PROFILE SERIES CONCRETE BLOCK
COLOR: ABSOLUTE BLACK QUARTZ (ACTUAL COLOR DK. GRAY MATCHING ACM-3 & EP-5)
SIZE: STD. INDUSTRY SIZE
LOCATION: ALL PARTS OF BUILDING NOT CLAD IN ACM (I.E. SERVICE)
NOTES: STANDARD SPLIT OR SMOOTH FACE BLOCK NO RIBBING
STANDARD CMU PAINTED EP-5 IS AN APPROVED ALTERNATE IF USING PRE-ENGINEERED METAL COLOR IS TO MATCH EP-5 AND SAMPLE TO BE SENT TO RCC.

SF-1 ALUMINUM STOREFRONT/ CURTAIN WALL IMPACT RESISTANT CLEAR GLASS.
MANUFACTURER: CRL US ALUMINUM KAWNEER
PRODUCT: KAWNEER: 1600 UT SYSTEM 1 ULTRA THERMAL CURTAIN WALL SYSTEM
COLOR: GRAPHITE GRAY
SIZE: CRL: 2 1/2 " SIGHTLINE X 7 1/2 " DEPTH KAWNEER: 2 1/2" SIGHTLINE X 6" DEPTH
LOCATION: ALL GLAZED FAÇADE ELEMENTS
NOTES: N/A

PC-3 POWDER COATING - RED
MANUFACTURER: TIGER DRYLAC U.S.A., INC
PRODUCT: N/A
COLOR: RAL 3002 / PANTONE 200
SIZE: N/A
LOCATION: DOOR PULLS AT: MAIN ENTRY (BOTH SIDES, NOT ON INTERIOR VESTIBULE DOORS) NEW VEHICLE DELIVERY (ONLY APPLICABLE ON DOOR TO EXTERIOR - BOTH SIDES) SERVICE WRITE-UP (DOOR FROM DRIVE TO WRITE UP - BOTH SIDES)
NOTES: N/A

EP-5 PAINT - DARK GRAY
MANUFACTURER: ARCHITECT CHOSEN VENDOR
PRODUCT: N/A
COLOR: SHERWIN WILLIAMS 7076 'CYBERSPACE' OR RAL 7024 'GRAPHITE GRAY'
SIZE: N/A
LOCATION: ALL GLAZED FAÇADE ELEMENTS
NOTES: ALL NON-GLAZED, SOLID EXTERIOR BUILDING SURFACES NOT COVERED WITH ACM AND ELEMENTS (I.E. DOWNSPOUTS, OVERFLOWS, LIGHTS, ETC), INCLUDING SOLID MAN AND OVERHEAD DOORS, BUILDING BASE, GATES AND FENCING (AS AN ALTERNATE, GATES AND FENCING CAN BE SILVER/GRAY).
IF USING PRE-ENGINEERED METAL ON SERVICE ELEVATIONS COLOR IS TO MATCH EP-5 AND SAMPLE TO BE SENT TO RCC. ANCILLARY BUILDINGS AND FIXTURES INCLUDING CAR WASH, DUMPSTER ENCLOSURE, MAKE READY, ETC.

B-1 BOLLARD
MANUFACTURER: ID METALCO SHERWIN WILLIAMS
PRODUCT: PRE FINISHED BOLLARD PAINT
COLOR: STAINLESS STEEL EP-5 (CYBERSPACE), OR B71S200 BOND-PLX IN ALUMINUM FINISH
SIZE: HEIGHT: 30" - 36", DIAMETER: 8"
LOCATION: SITE
NOTES: PAINTED CONCRETE BOLLARDS ARE AN APPROVED ALTERNATE.

RL-1 RAILING
MANUFACTURER: ARCHITECT OR RECORD CHOSEN VENDOR
PRODUCT: RAILING
COLOR: EP-5 CYBERSPACE / RAL 7024 GRAPHITE GRAY
SIZE: N/A
LOCATION: AT BUILDING
NOTES: N/A

D-1 GLASS MAIN DOOR
MANUFACTURER: HAAS DOOR COMPANY ARCHITECT OF RECORD CHOSEN
PRODUCT: CRL ENTICE ULTRA NARROW STYLE WITH FULL FRAMED PERFORMANCE DOORS.
COLOR: ALUMINUM WITH CLEAR GLASS: PC-2 FOR FL CODE APPROVED SERIES 250: KYNAR MATCHING P-2
SIZE: 36" WIDE, 96" TALL, 1/2" THICK GLASS
LOCATION: SHOWROOM ENTRY NEW VEHICLE DELIVERY - MATCHING STOREFRONT GRAPHITE GRAY
NOTES: USE BLACK HINGES

D-2 GLASS DOORS
MANUFACTURER: ARCHITECT OR RECORD CHOSEN VENDOR
PRODUCT: N/A
COLOR: HAAS - CHARCOALEP-5 / LIGHTER GRAY IN SAME TONE
SIZE: 36" WIDE, 96" TALL, 1/2" THICK GLASS
LOCATION: SERVICE RECEPTION & NEW SHOWROOM
NOTES: N/A

D-3 SOLID MAIN DOORS
MANUFACTURER: ARCHITECT OR RECORD CHOSEN VENDOR
PRODUCT: N/A
COLOR: HAAS - CHARCOALEP-5 / LIGHTER GRAY IN SAME TONE
SIZE: 36" WIDE
LOCATION: SERVICE BAYS EXTERIOR STAIR WELL ANY EXTERIOR DOORS
NOTES: GC MAY CONTACT SW OR ANOTHER PAINT SUPPLIER FOR METAL DOOR HIGH PERFORMANCE ACRYLIC SYSTEM OR EPOXY PRIMER WITH URETHANE TOPCOAT

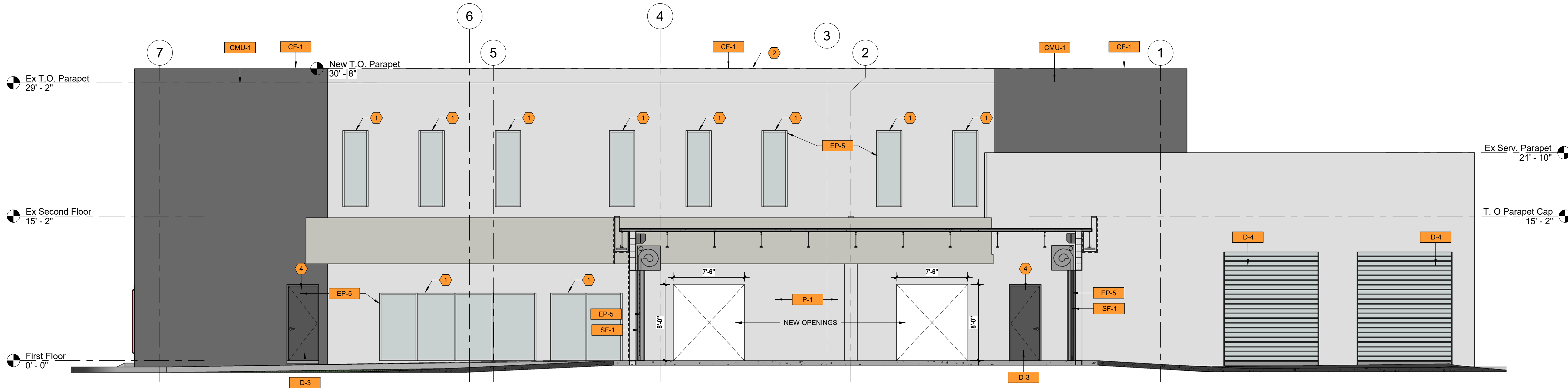
D-4 FV GLAZED OVERHEAD DOORS
MANUFACTURER: HAAS DOOR CO. RYTEC
PRODUCT: HAAS CA 320 FV GLASS OVERHEAD DOORS / OR FV GLASS HIGH SPEED RYTEC SPIRAL FV DOOR
COLOR: CLEAR GLASS (LOW-E) NON-GLAZED PORTIONS OF DOOR: HAAS - CHARCOAL (STANDARD) RYTEC - MATCH PC-2 IF DOOR HAS NARROW FRAME CLEAR ANNOIDIZED ALUMINUM MAY BE USED
SIZE: SEE DRAWING FOR SIZE (SERVICE RECEPTION ENTRY & DOORS TO BE A MINIMUM OF 12' W)
LOCATION: SERVICE BAYS EXTERIOR STAIRWELL ANY EXTERIOR DOORS
NOTES: GC MAY CONTACT SW OR ANOTHER PAINT SUPPLIER FOR METAL DOOR HIGH PERFORMANCE ACRYLIC SYSTEM OR EPOXY PRIMER WITH URETHANE TOPCOAT

Drawings Notes

- EXISTING WINDOWS TO REMAIN. FRAMES TO BE PAINTED WITH GRAPHITE GREY
- METAL FLASHING TO MATCH ADJACENT MATERIAL COLOR. USE SIMILAR DETAIL TO CAPTURE BOTTOM EDGE OF METAL SIDING.
- ACM PANELS TO MEET ADJACENT STUCCO. REFER DETAIL.
- EXISTING DOORS TO REMAIN. FRAMES TO BE PAINTED GRAPHITE GREY
- REFER TO ACM PANEL DETAILS SHEETS.
- NEW NISSAN LOGO BY OTHERS. REF. TO GRAPHICS SHEET.
- BOLLARDS TO BE STAINLESS STEEL OR PAINTED WITH EP-5
- DEALER NAME LETTERS & NISSAN WORD MARK. REF. TO GRAPHICS SHEET.
- ALIGN WITH SECOND FLOOR WINDOWS.

ELEVATION NOTES

03

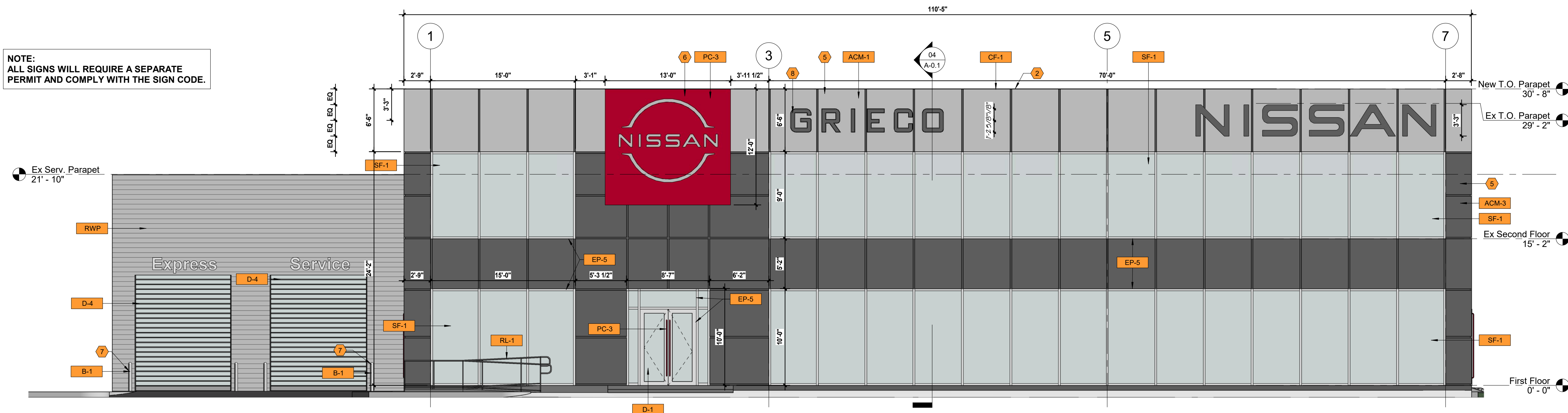


Proposed West Elevation

SCALE: 3/16" = 1'-0"

03

NOTE:
ALL SIGNS WILL REQUIRE A SEPARATE PERMIT AND COMPLY WITH THE SIGN CODE.



Proposed East Elevation

SCALE: 3/16" = 1'-0"

01

CONSULTANT



Gregory B. Molina

FL REG. # AR93354

DATE: 02-08-24

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WEB: WWW.GBMARCHITECTURE.COM
T: 954.713.6101
C: 954.999.5633

GRIECO
NISSAN OF DELRAY BEACH
PROPOSED SCHEMATIC ELEVATIONS
2200 S Federal Hwy
Delray Beach, FL 33483

DRAWING ISSUE DATES:

Exterior Elevations

SHEET

A-2.3

PROJECT 230426

PERMIT SET 02-08-24

PERMIT NO.

ACM-1	<p>ALUMINUM COMPOSITE MATERIAL - SILVER</p> <p>MANUFACTURER: MITSUBISHI PLASTICS 3A COMPOSITS ARCONIC</p> <p>PRODUCT: ALPOLIC, ALUCOBOND, REYNOBOND</p> <p>COLOR: BSX SILVER METALLIC SUNRISE SILVER II, STERLING SILVER NOW BRIGHT SILVER METALLIC</p> <p>SIZE: 4MM THICKNESS</p> <p>LOCATION: GENERAL FAÇADE SITE SIGNAGE</p> <p>NOTES: WALL PACKS, SPEAKERS, CAMERAS & WIFI TO BE SILVER</p>
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ACM-3 ALUMINUM COMPOSITE MATERIAL - DARK GRAY
MANUFACTURER: MITSUBISHI PLASTICS 3A COMPOSITS ARCONIC
PRODUCT: LPOLIC 732L878 (FEVE), ALUCOBOND, REYNOLBOND
COLOR: NSG NISSAN GRAY, NISSAN GRAY, STORMY GRAY
SIZE: N/A
LOCATION: SERVICE DRIVE, GENERAL FAÇADE, ENTRY
NOTES: WALL PACKS, SPEAKERS, CAMERAS & WIFI TO MATCH
WALL OR SILVER DOWNPOUTS / LAMBS TONGUE DRAIN TO BE
SILVER - DO NOT USE BRONZE

CF-1 CAP FLASH
MANUFACTURER: ACM-1 / ARCHITECT CHOSEN VENDOR
PRODUCT: CAP FLASH
COLOR: ACM PREFERRED, COLOR TO MATCH ADJACENT WALL
ACM-1 / ACM-3 / CMU-1 / EIFS-1 / EP-5
SIZE: 6"
LOCATION: PERIMETER OF BUILDING
NOTES: N/A

RWP	RIB WALL PANELS - SILVER MANUFACTURER: ARCONIC RIBBED METAL PANEL 7.2 PRODUCT: N/A COLOR: COLORWELD SIZE: N/A LOCATION: SERVICE DRIVE, GENERAL FAÇADE, ENTRY NOTES: 500- SLATE GREY (BN5A179B), 30% GLOSS
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CMU-1	<p>CONCRETE MASONRY UNIT MANUFACTURER: BRAMPTON BRICK PRODUCT: PROFILE SERIES CONCRETE BLOCK COLOR: ABSOLUTE BLACK QUARTZ (ACTUAL COLOR DK. GRAY MATCHING ACM-3 & EP-5) SIZE: STD. INDUSTRY SIZE LOCATION: ALL PARTS OF BUILDING NOT CLAD IN ACM (I.E. SERVICE) NOTES: STANDARD SPLIT OR SMOOTH FACE BLOCK NO RIBBING STANDARD CMU PAINTED EP-5 IS AN APPROVED ALTERNATE IF USING PRE-ENGINEERED METAL COLOR IS TO MATCH EP-5 AND SAMPLE TO BE SENT TO RCC.</p>
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SF-1	<p>ALUMINUM STOREFRONT/ CURTAIN WALL IMPACT RESISTANT CLEAR GLASS. MANUFACTURER: CRL US ALUMINUM KAWNEER</p> <p>PRODUCT: KAWNEER: 1600 UT SYSTEM 1 ULTRA THERMAL CURTAIN WALL SYSTEM</p> <p>COLOR: GRAPHITE GRAY</p> <p>SIZE: CRL: 2 1/2" SIGHTLINE X 7 1/2" DEPTH KAWNEER: 2 1/2" SIGHTLINE X 6" DEPTH</p> <p>LOCATION: ALL GLAZED FAÇADE ELEMENTS</p> <p>NOTES: N/A</p>
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PC-3	POWDER COATING - RED MANUFACTURER: TIGER DRYLAC U.S.A., INC. PRODUCT: N/A COLOR: RAL 3002 / PANTONE 200 SIZE: N/A LOCATION: DOOR PULLS AT: MAIN ENTRY (BOTH INTERIOR VESTIBULE DOORS) NEW VEHICLE APPLICABLE ON DOOR TO EXTERIOR - BOTH UP (DOOR FROM DRIVE TO WRITE UP - BOTH NOTES: N/A
------	--

EP-5 PAINT - DARK GRAY
 MANUFACTURER: ARCHITECT CHOSEN VENDOR
 PRODUCT: N/A
 COLOR: SHERWIN WILLIAMS 7076 "CYBERSPACE" OR RAL 7024 "GRAPHITE GRAY"
 SIZE: N/A
 LOCATION: ALL GLAZED FACADE ELEMENTS
 NOTES: ALL NON-GLAZED, SOLID EXTERIOR BUILDING SURFACES NOT COVERED WITH ACM AND ELEMENTS (I.E. DOWNSPOUTS, DOWNSPUTTER, LIGHT FIXTURES, ETC.) TO BE SENT TO RC/CANILARY DOORS, BUILDING BASE, GATES AND FENCING (AS AN ALTERNATE, GATES AND FENCING CAN BE SILVER/GRAY).
 IF USING PRE-ENGINEERED METAL ON SERVICE VEHICLES COLOR IS WHITE/GRAY-5 AND SAMPLE TO BE SENT TO RC/CANILARY BUILDINGS AND FIXTURES INCLUDING CAR WASH, DUMPSTER ENCLOSURE, MAKE READY, ETC.

B-1 BOLLARD
MANUFACTURER: ID METALCO SHERWIN WILLIAMS
PRODUCT: PRE FINISHED BOLLARD PAINT
COLOR: STAINLESS STEEL EP-5 (CYBERSPACE), OR B71S200
BOND-EX IN ALUMINUM FINISH
SIZE: HEIGHT: 30" - 36", DIAMETER: 8"
LOCATION: SITE
NOTES: PAINTED CONCRETE BOLLARDS ARE AN APPROVED
ALTERNATE.

RL-1 RAILING
MANUFACTURER: ARCHITECT OR RECORD CHOSEN
VENDOR
PRODUCT: RAILING
COLOR: EP-5 CYBERSPACE / RAL 7024 GRAPHITE GRAY
SIZE: N/A
LOCATION: AT BUILDING
NOTES: N/A

D-1 GLASS MAIN DOOR
MANUFACTURER: HAAS DOOR COMPANY ARCHITECT OF RECORD
CHOSEN
PRODUCT: CRL ENTICE ULTRA NARROW STYLE WITH FULL FRAMED
PERFORMANCE DOORS
COLOR: ALUMINUM WITH CLEAR GLASS; PC-2 FOR FL CODE
APPROVED SERIES 250; KYNAR MATCHING P-2
SIZE: 36" WIDE, 96" TALL, 1/2" THICK GLASS
LOCATION: SHOWROOM ENTRY NEW VEHICLE DELIVERY - MATCHING
STOREFRONT GRAPHITE GRAY)
NOTES: USE BLACK HINGES

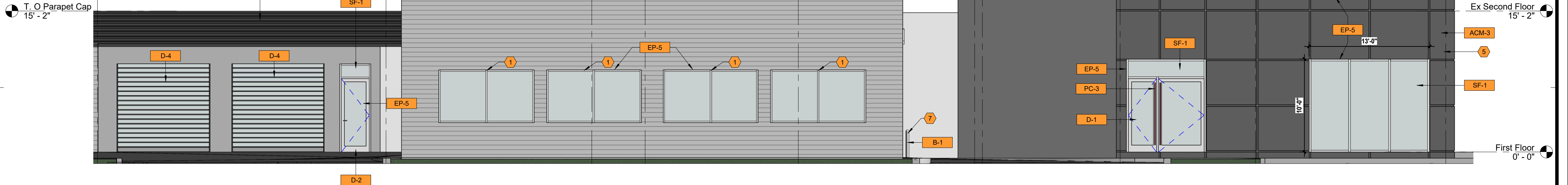
D-2 GLASS DOORS
MANUFACTURER: ARCHITECT OR RECORD CHOSEN VENDOR
PRODUCT: N/A
COLOR: HAAS - CHARCOAL/EP-5 / LIGHTER GRAY IN SAME TONE
SIZE: 36" WIDE, 96" TALL, 1/2" THICK GLASS
LOCATION: SERVICE RECEPTION & NEW SHOWROOM
NOTES: N/A

D-3	<p>SOLID MAIN DOORS</p> <p>MANUFACTURER: ARCHITECT OR RECORD CHOSEN VENDOR</p> <p>PRODUCT: N/A</p> <p>COLOR: HANS - CHARCOALEP-5 / LIGHTER GRAY IN SAME TONE</p> <p>SIZE: 36" WIDE</p> <p>LOCATION: SERVICE BAYS EXTERIOR STAIR WELL ANY EXTERIOR DOORS</p> <p>NOTES: GC MAY CONTACT SW OR ANOTHER PAINT SUPPLIER FOR METAL DOOR HIGH PERFORMANCE ACRYLIC SYSTEM OR EPOXY PRIMER WITH URETHANE TOPCOAT</p>
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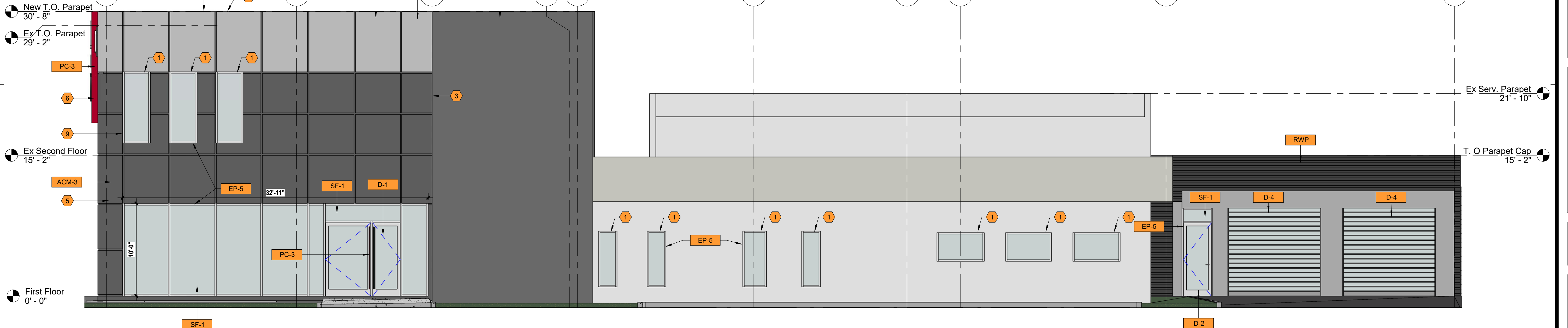
D-4	<p>FV GLAZED OVERHEAD DOORS</p> <p>MANUFACTURER: HAAS DOOR CO. RYTEC</p> <p>PRODUCT: HAAS CA-1000 FV GLAZED OVERHEAD DOORS / OR FV GLASS</p> <p>HIGH SPEED RYTEC SPIRAL FV DOOR</p> <p>COLOR: CLEAR GLASS (LOW-E) NON-GLAZED PORTIONS OF DOOR: HAAS - CHARCOAL (STANDARD) RYTEC - MATCH PC-2 IF DOOR HAS NARROW</p> <p>GLASS CLEAR ANODIZED ALUMINUM FRAME CAN BE USED</p> <p>SIZE: SEE DRAWING FOR SIZE (SERVICE RECEPTION ENTRY & DOORS TO BE A MINIMUM OF 12' W)</p> <p>LOCATION: SERVICE BAYS EXTERIOR STAIRWELL/EXTERIOR DOORS</p> <p>FINISH: GC MAY REQUEST SW OR ANOTHER PAINT SUPPLIER FOR METAL</p> <p>DOOR HIGH PERFORMANCE ACRYLIC SYSTEM OR EPOXY PRIMER WITH URETHANE TOPCOAT</p>
-----	--

1. EXISTING WINDOWS TO REMAIN. FRAMES TO BE PAINTED WITH GRAPHITE GREY
2. METAL FLASHING TO MATCH ADJACENT MATERIAL COLOR. USE SIMILAR DETAIL TO CAPTURE BOTTOM EDGE OF METAL SIDING.
3. ACM PANELS TO MEET ADJACENT STUCCO . REFER DETAIL.
4. EXISTING DOORS TO REMAIN. FRAMES TO BE PAINTED GRAPHITE GREY
5. REFER TO ACM PANEL DETAILS SHEETS.
6. NEW NISSAN LOGO BY OTHERS. REF. TO GRAPHICS SHEET.
7. BOLLARDS TO BE STAINLESS STEEL OR PAINTED WITH EP-5
8. DEALER NAME LETTERS & NISSAN WORD MARK. REF. TO GRAPHICS SHEET.
9. ALIGN WITH SECOND FLOOR WINDOWS.

03 |



SCALE: 3/16" = 1'-0"



SCALE: 3/16" = 1'-0"

Metal Composite Panel Schedule:

ACM-1 ALUMINUM COMPOSITE MATERIAL - SILVER
MANUFACTURER: MITSUBISHI PLASTICS 3A COMPOSITS ARCONIC
PRODUCT: ALPOLIC, ALUCOBOND, REYNOBOND
COLOR: BSX SILVER METALLIC SUNRISE SILVER II, STERLING SILVER NOW BRIGHT SILVER METALLIC
SIZE: 4MM THICKNESS
LOCATION: GENERAL FAÇADE SITE SIGNAGE
NOTES: WALL PACKS, SPEAKERS, CAMERAS & WIFI TO BE SILVER

ACM-3 ALUMINUM COMPOSITE MATERIAL - DARK GRAY
MANUFACTURER: MITSUBISHI PLASTICS 3A COMPOSITS ARCONIC
PRODUCT: LPOLIC 732L878 (FEVE), ALUCOBOND, REYNOBOND
COLOR: NSG NISSAN GRAY, NISSAN GRAY, STORMY GRAY
SIZE: N/A
LOCATION: SERVICE DRIVE, GENERAL FAÇADE, ENTRY
NOTES: WALL PACKS, SPEAKERS, CAMERAS & WIFI TO MATCH WALL OR SILVER DOWNSPOUTS / LAMBS TONGUE DRAIN TO BE SILVER - DO NOT USE BRONZE

CF-1 CAP FLASH
MANUFACTURER: ACM-1 / ARCHITECT CHOSEN VENDOR
PRODUCT: CAP FLASH
COLOR: ACM PREFERRED, COLOR TO MATCH ADJACENT WALL
ACM-1 / ACM-3 / CMU-1 / EIFS-1 / EP-5
SIZE: 6"
LOCATION: PERIMETER OF BUILDING
NOTES: N/A

RWP RIB WALL PANELS - SILVER
MANUFACTURER: ARCONIC RIBBED METAL PANEL 7.2
PRODUCT: N/A
COLOR: COLORWELD
SIZE: N/A
LOCATION: SERVICE DRIVE, GENERAL FAÇADE, ENTRY
NOTES: 500- SLATE GREY (BNSA179B), 30% GLOSS

CMU-1 CONCRETE MASONRY UNIT
MANUFACTURER: BRAMPTON BRICK
PRODUCT: PROFILE SERIES CONCRETE BLOCK
COLOR: ABSOLUTE BLACK QUARTZ (ACTUAL COLOR DK. GRAY)
MATCHING ACM-3 & EP-5
SIZE: STD. INDUSTRY SIZE
LOCATION: ALL PARTS OF BUILDING NOT CLAD IN ACM (I.E. SERVICE)
NOTES: STANDARD SPLIT OR SMOOTH FACE BLOCK NO RIBBING
STANDARD CMU PAINTED EP-5 IS AN APPROVED ALTERNATE IF USING PRE-ENGINEERED METAL COLOR IS TO MATCH EP-5 AND SAMPLE TO BE SENT TO RCC.

SF-1 ALUMINUM STOREFRONT CURTAIN WALL IMPACT RESISTANT CLEAR GLASS.
MANUFACTURER: CRL US ALUMINUM KAWNEER
PRODUCT: KAWNEER: 1600 UT SYSTEM 1 ULTRA THERMAL CURTAIN WALL SYSTEM
COLOR: GRAPHITE GRAY
SIZE: CRL: 2 1/2" SIGHTLINE X 7 1/2" DEPTH KAWNEER: 2 1/2" SIGHTLINE X 6" DEPTH
LOCATION: ALL GLAZED FAÇADE ELEMENTS
NOTES: N/A

PC-3 POWDER COATING - RED
MANUFACTURER: TIGER DRYLAC U.S.A., INC
PRODUCT: N/A
COLOR: RAL 3002 / PANTONE 200
SIZE: N/A
LOCATION: DOOR PULLS AT: MAIN ENTRY (BOTH SIDES, NOT ON INTERIOR VESTIBULE DOORS) NEW VEHICLE DELIVERY (ONLY APPLICABLE ON DOOR TO EXTERIOR - BOTH SIDES) SERVICE WRITE-UP (DOOR FROM DRIVE TO WRITE UP - BOTH SIDES)
NOTES: N/A

EP-5 PAINT - DARK GRAY
MANUFACTURER: ARCHITECT CHOSEN VENDOR
PRODUCT: N/A
COLOR: SHERWIN WILLIAMS 7076 'CYBERSPACE' OR RAL 7024 'GRAPHITE GRAY'
SIZE: N/A
LOCATION: ALL GLAZED FAÇADE ELEMENTS
NOTES: ALL NON-GLAZED, SOLID EXTERIOR BUILDING SURFACES NOT COVERED WITH ACM AND ELEMENTS (I.E. DOWNSPOUTS, OVERFLOWS, LIGHTS, ETC), INCLUDING SOLID MAN AND OVERHEAD DOORS, BUILDING BASE, GATES AND FENCING (AS AN ALTERNATE, GATES AND FENCING CAN BE SILVER/GRAY).
IF USING PRE-ENGINEERED METAL ON SERVICE ELEVATIONS COLOR IS TO MATCH EP-5 AND SAMPLE TO BE SENT TO RCC. ANCILLARY BUILDINGS AND FIXTURES INCLUDING CAR WASH, DUMPSTER ENCLOSURE, MAKE READY, ETC.

B-1 BOLLARD
MANUFACTURER: ID METALCO SHERWIN WILLIAMS
PRODUCT: PRE FINISHED BOLLARD PAINT
COLOR: STAINLESS STEEL EP-5 (CYBERSPACE), OR B71S200 BOND-PLEX IN ALUMINUM FINISH
SIZE: HEIGHT: 30" - 36", DIAMETER: 8"
LOCATION: SITE
NOTES: PAINTED CONCRETE BOLLARDS ARE AN APPROVED ALTERNATE.

RL-1 RAILING
MANUFACTURER: ARCHITECT OR RECORD CHOSEN VENDOR
PRODUCT: RAILING
COLOR: EP-5 CYBERSPACE / RAL 7024 GRAPHITE GRAY
SIZE: N/A
LOCATION: AT BUILDING
NOTES: N/A

D-1 GLASS MAIN DOOR
MANUFACTURER: HAAS DOOR COMPANY ARCHITECT OF RECORD CHOSEN
PRODUCT: CRL ENTICE ULTRA NARROW STYLE WITH FULL FRAMED PERFORMANCE DOORS
COLOR: ALUMINUM WITH CLEAR GLASS: PC-2 FOR FL CODE APPROVED SERIES 250: KYNAR MATCHING P-2
SIZE: 36" WIDE, 96" TALL, 1/2" THICK GLASS
LOCATION: SHOWROOM ENTRY NEW VEHICLE DELIVERY - MATCHING STOREFRONT GRAPHITE GRAY
NOTES: USE BLACK HINGES

D-2 GLASS DOORS
MANUFACTURER: ARCHITECT OR RECORD CHOSEN VENDOR
PRODUCT: N/A
COLOR: HAAS - CHARCOALEP-5 / LIGHTER GRAY IN SAME TONE
SIZE: 36" WIDE, 96" TALL, 1/2" THICK GLASS
LOCATION: SERVICE RECEPTION & NEW SHOWROOM
NOTES: N/A

D-3 SOLID MAIN DOORS
MANUFACTURER: ARCHITECT OR RECORD CHOSEN VENDOR
PRODUCT: N/A
COLOR: HAAS - CHARCOALEP-5 / LIGHTER GRAY IN SAME TONE
SIZE: 36" WIDE
LOCATION: SERVICE BAYS EXTERIOR STAIR WELL ANY EXTERIOR DOORS
NOTES: GC MAY CONTACT SW OR ANOTHER PAINT SUPPLIER FOR METAL DOOR HIGH PERFORMANCE ACRYLIC SYSTEM OR EPOXY PRIMER WITH URETHANE TOPCOAT

D-4 FV GLAZED OVERHEAD DOORS
MANUFACTURER: HAAS DOOR CO RYTEC
PRODUCT: HAAS CA 320 FV GLASS OVERHEAD DOORS / OR FV GLASS HIGH SPEED RYTEC SPIRAL FV DOOR
COLOR: CLEAR GLASS (LOW-E) NON-GLAZED PORTIONS OF DOOR: HAAS - CHARCOAL (STANDARD) RYTEC - MATCH PC-2 IF DOOR HAS NARROW FRAME CLEAR ANNOIDIZED ALUMINUM MAY BE USED
SIZE: SEE DRAWING FOR SIZE (SERVICE RECEPTION ENTRY & DOORS TO BE A MINIMUM OF 12' W)
LOCATION: SERVICE BAYS EXTERIOR STAIRWELL ANY EXTERIOR DOORS
NOTES: GC MAY CONTACT SW OR ANOTHER PAINT SUPPLIER FOR METAL DOOR HIGH PERFORMANCE ACRYLIC SYSTEM OR EPOXY PRIMER WITH URETHANE TOPCOAT

Drawings Notes

- EXISTING WINDOWS TO REMAIN. FRAMES TO BE PAINTED WITH GRAPHITE GREY
- METAL FLASHING TO MATCH ADJACENT MATERIAL COLOR. USE SIMILAR DETAIL TO CAPTURE BOTTOM EDGE OF METAL SIDING.
- ACM PANELS TO MEET ADJACENT STUCCO. REFER DETAIL.
- EXISTING DOORS TO REMAIN. FRAMES TO BE PAINTED GRAPHITE GREY
- REFER TO ACM PANEL DETAILS SHEETS.
- NEW NISSAN LOGO BY OTHERS. REF. TO GRAPHICS SHEET.
- BOLLARDS TO BE STAINLESS STEEL OR PAINTED WITH EP-5
- DEALER NAME LETTERS & NISSAN WORD MARK. REF. TO GRAPHICS SHEET.
- ALIGN WITH SECOND FLOOR WINDOWS.

ELEVATION NOTES

03



South Elevation.

SCALE: 3/16" = 1'-0"

02



North Elevation.

SCALE: 3/16" = 1'-0"

01

CONSULTANT



Gregory B. Molina

FL REG. # AR93354

DATE: 02-08-24

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PROPOSED SCHEMATIC ELEVATIONS
2200 S Federal Hwy
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DRAWING ISSUE DATES:

Colored Exterior Elevation

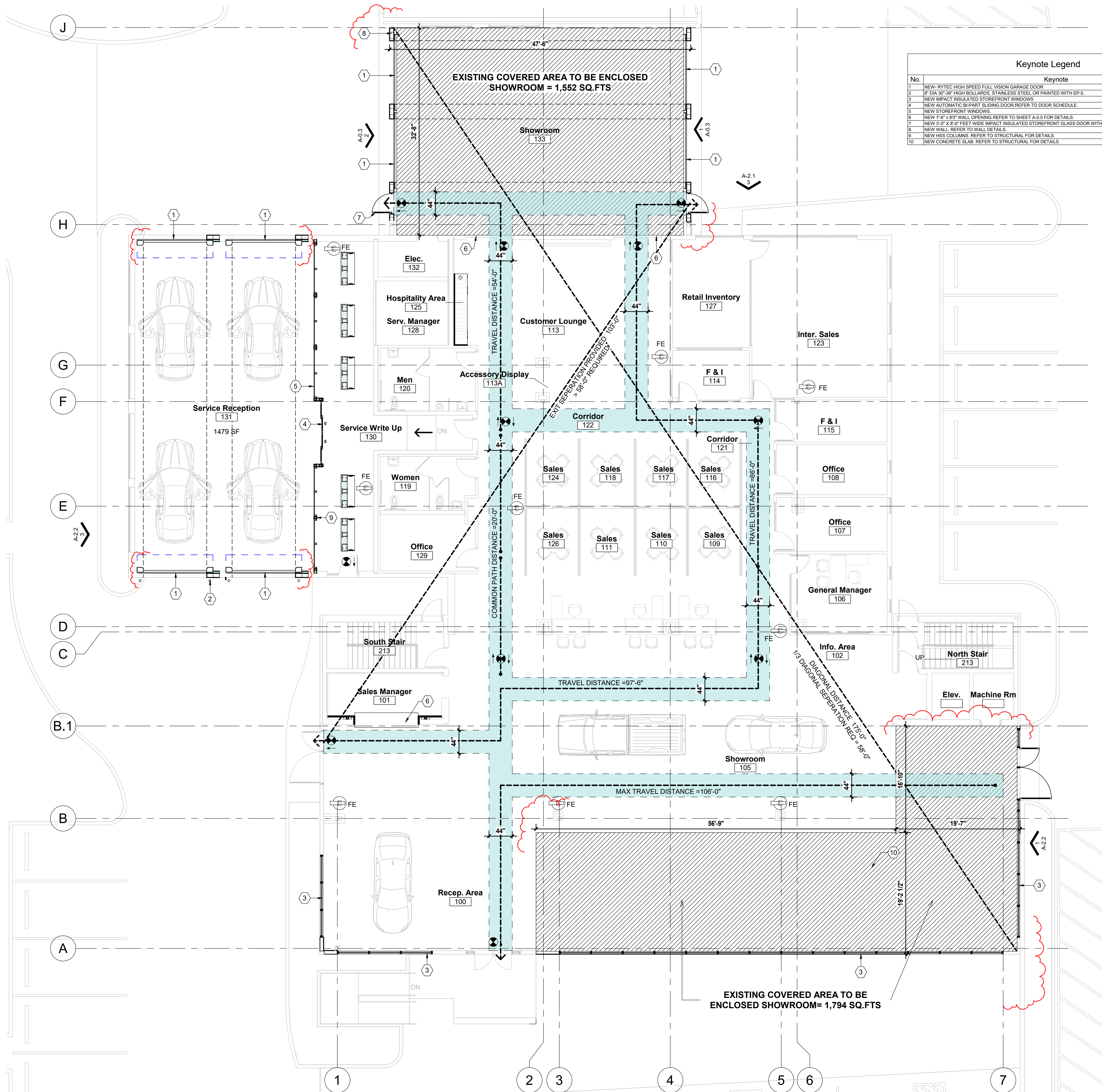
SHEET

A-2.6

PROJECT 230426

PERMIT SET 02-08-24

PERMIT NO.



Keynote Legend	
No.	Keynote
1	NEW: RYTEC HIGH SPEED FULL VISION GARAGE DOOR
2	8" DIA 30'-30" HIGH BOLLARDS, STAINLESS STEEL OR PAINTED WITH EP-5
3	NEW IMPACT INSULATED STOREFRONT WINDOWS
4	NEW AUTOMATIC BI-PART SLIDING DOOR REFER TO DOOR SCHEDULE
5	NEW STOREFRONT WINDOWS
6	NEW 7'-0" X 8'-0" WALL OPENING REFER TO SHEET A-0.5 FOR DETAILS
7	NEW 3'-0" X 8'-0" FEET WIDE IMPACT INSULATED STOREFRONT GLASS DOOR WITH TOP LIGHT
8	NEW WALL REFER TO WALL DETAILS
9	NEW HSS COLUMNS, REFER TO STRUCTURAL FOR DETAILS
10	NEW CONCRETE SLAB, REFER TO STRUCTURAL FOR DETAILS

LIFE SAFETY REQUIREMENTS: GROUP B / NS / TYPE V-B

OCCUPANCY: GROUP "B" MOTOR VEHICLE SHOWROOM / SALES

2ND FLOOR:
5,729 SF EXISTING NO WORK PROPOSED

1ST FLOOR:
10,975 SF EXISTING PLUS (1,552 SF + 1,794 SF) = 14,321 SF PROPOSED - 15,750 SF ALLOWED
TOTAL GROSS AREA OF THIS PROJECT: 20,050 SF PROPOSED - 22,500 SF ALLOWED

GROSS SF:

TOTAL NUMBER OF OCCUPANTS BY AREA:

GROUP "B" @ 1/150 GROSS = 20,050 SF/150 134

TOTAL OCCUPANTS:

134 OCC

FIRE SPRINKLER PROVIDED: NO
FIRE ALARM PROVIDED: YES

NUMBER OF MEANS OF EGRESS REQUIRED (per NFPA 38.2.4.1): (2) PER LEVEL
NUMBER OF MEANS OF EGRESS PROVIDED: (4) ON FIRST FL
(2) ON SECOND FL

MAXIMUM TRAVEL DISTANCE ALLOWED FOR GROUP "B" / NS 200'-0"

MAXIMUM TRAVEL DISTANCE FOR THIS PROJECT: 106'-0"

MAXIMUM COMMON PATH ALLOWED: 75'-0"
MAXIMUM COMMON PATH PROVIDED: 20'-0" NFPA 38.2.5.3.3

MAXIMUM DEAD END ALLOWED: GROUP "B" 20'-0"

MAXIMUM DEAD END ALLOWED: PROVIDED 0'-0"

MINIMUM CORRIDOR / EGRESS AISLE WIDTH REQUIRED: 44"
(FOR AREAS GREATER THAN 50 OCCUPANTS)

MINIMUM AISLE WIDTH REQUIRED: 36"
(FOR AREAS WITH LESS THAN 50 OCCUPANTS)

TABLE 6.1.1.14.4.1 (B) REQUIRED SEPERATION OF OCCUPANCIES:
BETWEEN GROUP "B" & GROUP "S-1" = 2 HOUR ALLOWED TO REDUCE TO 1 HOUR WITH
AUTOMATIC FIRE SPRINKLERS: 1 HOUR PROVIDED

FIRE EXTINGUISHERS REQUIRED: 14,321 S.F. / 2,500= 6
(1 F.E. PER 2,500 S.F.)
NO GREATER THAN 75'-0" APART
NUMBER OF FIRE EXTINGUISHERS PROVIDED: 9 ON GROUND FL

FIRE SPRINKLER DRAWINGS:

EXISTING BUILDING DOES NOT HAS FIRE SPRINKLERS

LIFE SAFETY PLAN LEGEND

- EGRESS AISLE:
INDICATES REQUIRED MEANS OF EGRESS
- WALL OR CEILING, MOUNTED EXIT SIGN, PROVIDE
DIRECTIONAL ARROW WHERE INDICATED ON PLAN
(EXISTING TO REMAIN IN WAREHOUSE, REFER TO E-1.2 FOR
OFFICE)
- CEILING / WALL MOUNTED EMERGENCY LIGHT W / BACK-UP
BATTERY (EXISTING TO REAN IN WAREHOUSE, REFER TO
E-1.2 FOR OFFICE)
- WALL MOUNTED FIRE EXTINGUISHER:
FIRE EXTINGUISHER MOUNTED TO WALL W/ WALL BRACKET
W/ MP5 2A-10 BC FIRE EXTINGUISHER

ALLOWABLE BUILDING HEIGHT ABOVE GRADE. FBC TABLE 504.3

GROUP "B" / NS / TYPE V-B / 40' FBC ALLOWED. 30'-8" EXISTING
= LESS THAN 48' PER ZONING MAXIMUM HEIGHT ALLOWANCE.

ALLOWABLE NUMBER OF STORIES HEIGHT. FBC TABLE 504.4

GROUP "B" / NS / TYPE V-B / 2 STORIES ALLOWED. 2 STORY EXISTING

ALLOWABLE BUILDING AREA. FBC TABLE 506.2

GROUP "B" / NS / TYPE V-B / SM= 9,000 SF ALLOWED PLUS 13,500 SF

506.2.3 SINGLE-OCCUPANCY, MULTISTORY BUILDINGS.

The allowable area of a single-occupancy building with more than one story above grade plane shall
be determined in accordance with Equation 5-2: $A_a = [A_s + (NS \times J)] \times S_j$

J_f = Area factor increase due to frontage (percent) as calculated in accordance with Section 506.3.
Percentage (%) of Perimeter = 75%
30 feet or greater = .75

ALLOWABLE AREA = 22,500 ALLOWED
MAX PER FLOOR 15,750 ALLOWED 14,321 PROPOSED

REQUIRED FIRE ASSEMBLIES. CONSTRUCTION TYPE V-B / NS

FIRE SPRINKLERS PROVIDED: NO
FIRE ALARM PROVIDED: YES EXISTING

FBC TABLE 601: FIRE RESISTANCE RATING REQUIREMENTS BUILDING ELEMENTS (HOURS)

STRUCTURAL ELEMENTS	FIRE RATING REQUIRED	FIRE RATING PROVIDED
STRUCTURAL FRAMES (INCL. COLUMNS, GIRDERS, TRUSSES)	0	0
BEARING WALLS: EXTERIOR INTERIOR	0	0
NON BEARING EXTERIOR WALLS & PARTITIONS	0	0
NON BEARING INTERIOR WALLS & PARTITIONS	0	0

FBC TABLE 602: FIRE RATING FOR EXTERIOR WALLS ON FIRE SEPERATION DISTANCE X>30'=0



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GRIECO NISSAN OF DELRAY BEACH
PROPOSED SCHEMATIC ELEVATIONS
2200 S Federal Hwy
Delray Beach, FL 33483

DRAWING ISSUE DATES:

Renderings

SHEET
A-4.2A
PROJECT 230426
PERMIT SET 02-08-24
PERMIT NO.



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REGISTERED ARCHITECT
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Renderings

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