

# 100 GLEASON STREET

DELRAY BEACH,  
FLORIDA

RICHARD JONES  
ARCHITECTURE  
10 S.E. FIRST AVENUE | SUITE 102  
DELRAY BEACH, FLORIDA 33444  
V. 561.274.9186 | F. 561.274.9196  
AA26001617 | IB26001056  
WWW.RJARCHITECTURE.COM

100 GLEASON STREET  
DELRAY BEACH  
JOHN DELEONIBUS  
100 GLEASON STREET  
DELRAY BEACH, FL 33483

FLORIDA LICENSURE  
AA26001617 | IB26001056  
COMMISSION # 17-058  
DESIGNER: RJ  
DRAWN BY: GsJ  
PLAN REVIEW: RJ  
SUBMITTALS: CLASS V SPECIAL SITE PLAN SUBMITTAL 12.03.19

REVISIONS:  
COVER SHEET  
CVR

## DRAWING INDEX

### ARCHITECTURAL

CVR COVER SHEET  
SP-1 SITE PLAN  
A-1.1 GROUND FLOOR PLAN  
A-1.2 SECOND FLOOR PLAN  
A-1.3 THIRD FLOOR PLAN  
A-1.4 ROOF TERRACE PLAN #1  
A-1.5 ROOF TERRACE PLAN #2  
A-2 UPPER ROOF PLAN  
A-3.1 EAST AND NORTH ELEVATIONS  
A-3.2 WEST AND SOUTH ELEVATIONS  
A-3.3 MASSING STUDY  
A-3.4 RENDERING

## CODE RESEARCH

PROPOSED PROJECT: 3 STORY DUPLEX WITH (2) CAR GARAGE AND ROOF TOP APPURTENANCE  
GOVERNING CODE: FBC RESIDENTIAL 6th EDITION (2017), FFPC 6th EDITION (2017), NFPA 1 UFC FLORIDA 2015 EDITION, NFPA 101 LSC FLORIDA 2018 ED.  
BUILDING HEIGHT: 35'-0" TO BASE BUILDING ELEVATION  
TYPE OF CONSTRUCTION: TYPE VB SPRINKLERED FOR 3-STORY UNITS  
BLDG. DESIGNED: ENCLOSED  
WIND SPEED: 170 MPH ULTIMATE WIND SPEED  
EXPOSURE: D  
ZONING DISTRICT: RM-MEDIUM HIGH DENSITY  
HAZARD CLASSIFICATION: ORDINARY HAZARD  
REQ'D. SETBACKS: PROVIDED:  
FRONT SETBACK = 25'-0"/30'-0" FRONT SETBACK = 25'-0"/30'-0"  
REAR SETBACK = 15'-0" REAR SETBACK = 15'-0 3/4"  
SIDE INTERIOR SETBACK = 15'-0"/30'-0" SIDE INTERIOR = 15'-0 1/4"/30'-0"  
SIDE STREET = 25'-0"/30'-0" SIDE STREET = 25'-0" 30'-0"

## DESIGN PARAMETERS

OCCUPANCY (SINGLE FAMILY, DUPLEX, MULTI-FAMILY, COMMERCIAL, INDUSTRIAL - DESCRIBE) MULTI-FAMILY(DUPLEX)  
EXPOSURE CONDITION D  SEC. R301.2.1.4.3 5th EDITION (2014) FLORIDA RESIDENTIAL CODE  
MEAN ROOF HEIGHT 35'-0" TO BASE BUILDING ELEVATION  ASCE 7-10 CHAPTER 26  
BUILDING HEIGHT  ≤ 60 FT. (MAY USE LOW RISE PROVISIONS OF THE 5th EDITION (2014) FLORIDA RESIDENTIAL CODE)  > 60 FT. (ASCE 7-10 CHAPTER 26)  
BUILDING DESIGNED AS  PARTIALLY ENCLOSED  ENCLOSED  OPEN  TESTED (WIND TUNNEL)  
IMPORTANCE FACTOR (DETERMINED BY BUILDING USE/OCCUPANCY, REFER TO 5th EDITION (2014) FLORIDA RESIDENTIAL CODE OR ASCE 7-10 CHAPTER 26) 1.0  
BASIC WIND VELOCITY PRESSURES : 5th ADDITION (2014) FLORIDA RESIDENTIAL CODE  
VERIFY APPROPRIATE POSITIVE/NEGATIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS AND CLADDING AS APPLICABLE: 40 PSF  
5th EDITION (2014) FLORIDA RESIDENTIAL CODE- ULTIMATE WIND SPEED 170 (3 SECOND GUST) BASIC VELOCITY PRESSURE  
ASCE 7-10 CH 26- WIND SPEED NA (3 SECOND GUST) BASIC VELOCITY PRESSURE NA PSF  
NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST BE INDICATED ON CONSTRUCTION PLANS.  
ROOF DEAD LOAD (ACTUAL DEAD LOAD OF MATERIAL USED FOR DETERMINING UPLIFT REACTIONS) 5 PSF  
SOIL BEARING CAPACITY 2500 PSF  
REVIEWED FOR SHEAR WALL REQUIREMENTS  YES  NO (IF NO, INDICATE REASON)

## CIVIL ENGINEER

ENVIRODESIGN ASSOCIATES, INC.  
298 NE 2ND AVENUE  
DELRAY BEACH, FL 33444  
TELEPHONE: 561-274-6500  
FAX: 561-274-8558

## ARCHITECT

RICHARD JONES ARCHITECTURE  
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DELRAY BEACH, FL. 33444  
TELEPHONE: 561-274-9186

## STRUCTURAL

ENGINEERING PLUS  
19528 SEDGEFIELD TERRACE  
BOCA RATON, FL 33498  
TELEPHONE: 561-756 4106

## LANDSCAPE

DAVE BODKER LANDSCAPE PLANNING  
601 N CONGRESS AVE SUITE 105-A  
DELRAY BEACH, FL 33445  
TELEPHONE: 561-276-6311



## OWNER

JOHN DELEONIBUS  
100 GLEASON STREET  
DELRAY BEACH, FL 33483

# ERICH JONES JONARD ARCHITECTURE

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COMMISSION # 17-058  
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SUBMITTALS:  
CLASS V 12.03.19  
SPECIAL SITE  
PLAN

## VISIONS:

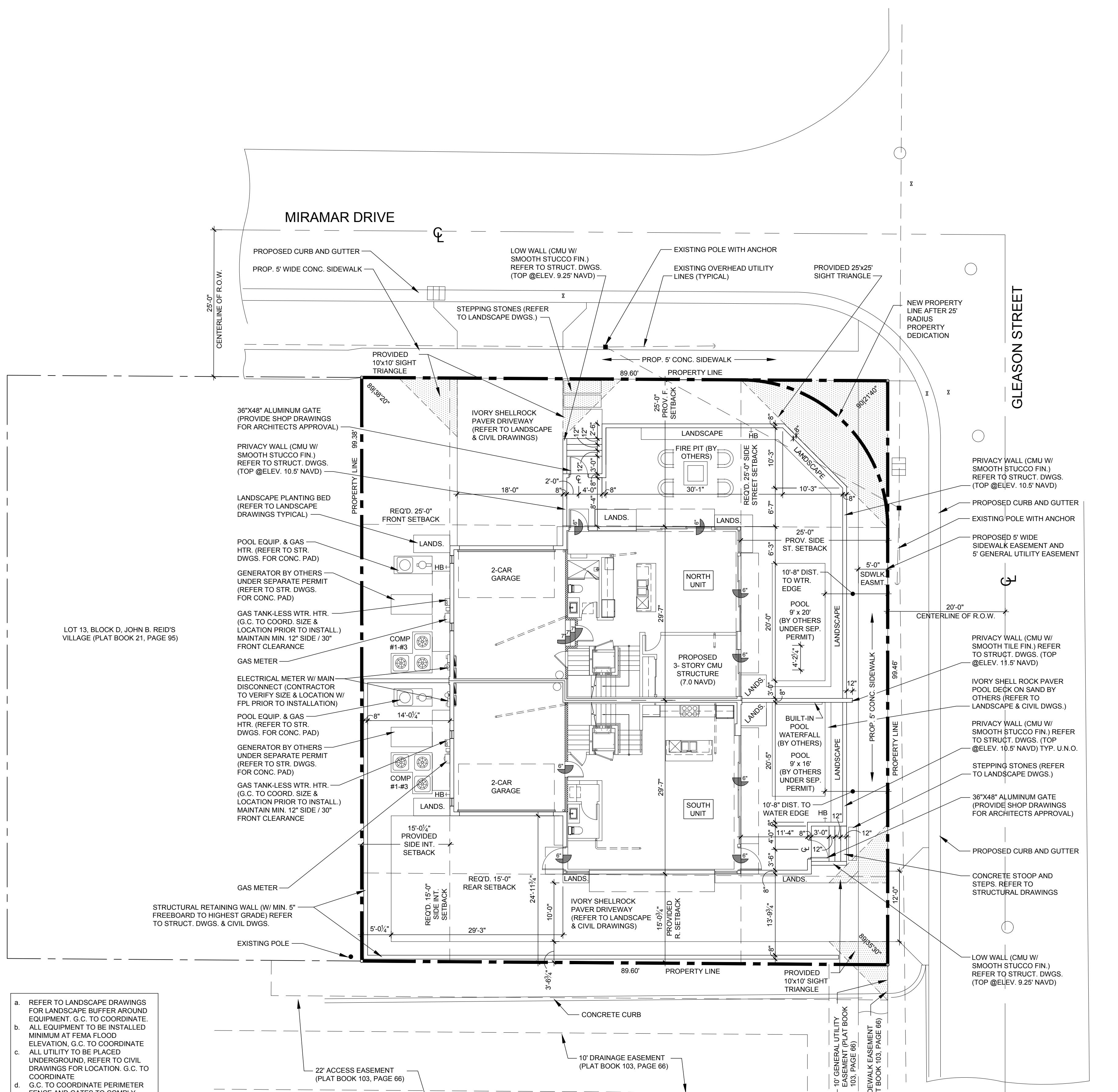
THE INFLUENCE OF CULTURE ON PARENTING

10

THE INFLUENCE OF CULTURE ON PARENTING

## SITE PLAN

SP-1



# Site Plan

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Scale: 1"=10'



## LEGAL DESCRIPTION

FEET OF LOT 13, BLOCK D, JOHN B. REID'S VILLAGE, ACCORDING TO  
REOF, RECORDED IN PLAT BOOK 21, PAGE 95, OF THE PUBLIC  
PALM BEACH COUNTY, FLORIDA.

## BUILDING SETBACKS

	Required	Provided	
North)	25'-0"	25'-0"	
South)	15'-0"	15'-0 3/4"	
ack (West)	15'-0"	15'-0 1/4"	
ack (East)	25' 0"	25' 0"	

## SITE DATA CHART

	PROVIDED	REQUIRED
Bldg Footprint =	2,680 SQ.FT.	
Previous Area =		
Pervious Area =		
Total Site Area =	8,908 SQ.FT.	
Lot Coverage =	30%	40%
% Impervious =		
% Pervious =		
%Open Space =		25% Non-Vehicular
Lot Width =	89.60'	
Lot Depth =	99.46'	
Lot Frontage =	89.60'	
Building Height =	35'-0"	35'-0" (FROM C. OF R.)

## KEY NOTES

1. 48" REFRIGERATOR/FREEZER (REFER TO I.D. DRAWINGS).
2. DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).
3. 48" GAS RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
4. UNDER COUNTER MICROWAVE DRAWER (REFER TO ID DRAWINGS).
5. DISHWASHER (REFER TO ID DRAWINGS).
6. ELECTRIC CAR CHARGING STATION W/ DEDICATED CIRCUIT (G.C. TO COORD. W/ OWNER)
7. KITCHEN ISLAND w/ KNEE SPACE - COUNTER +36" A.F.F. (REFER TO I.D. DWGS.)
8. HOSE BIB (ALSO REFER TO SHEET SP-1 SITE PLAN FOR ADDITIONAL LOCATIONS).
9. WASHING MACHINE (REFER TO I.D. DRAWINGS).
10. DRYER - VENT TO EXTERIOR (REFER TO I.D. DRAWINGS).
11. UNDER COUNTER REFRIGERATOR (REFER TO I.D. DRAWINGS).
12. FLAT HEADER +8'-0" ABOVE FINISH FLOOR.
13. LAUNDRY SINK (REFER TO I.D. DRAWINGS).
14. LAVATORY (REFER TO I.D. DRAWINGS).
15. WATER CLOSET (REFER TO I.D. DRAWINGS).
16. MASONRY PARAPET +42" ABOVE FINISH ROOF DECK.
17. AIR HANDLER UNIT #1 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.
18. AIR HANDLER UNIT #2 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.
19. AIR HANDLER UNIT #3 W/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.
20. FLOOR DRAIN. VERIFY LOCATION IN FIELD. SLOPE FLR. TO DRAIN
21. CONCRETE STEPS (REFER TO STRUCTURAL DRAWINGS).
22. R-11 INSULATION AND TYPE 'X' GYPSUM BOARD AT GARAGE CEILING.
23. R-11 INSULATION AT GARAGE WALL.
24. TEMP. GLS. SHWR. ENCLOS. (W/ TEMP. GLS. DOOR WHERE APPLICABLE) SEE I.D. DRAWINGS.
25. INTERIOR STAIR WITH RAILING SYSTEM - SEE ENLARGED STAIR DETAILS SHEET A-7.1 (REFER TO I.D. DRAWINGS) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL.
26. PANTRY BUILT-IN (BY OTHERS - REFER TO I.D. DRAWINGS).
27. BUILT-IN (BY OTHERS) SEE CABINET SHOP DRAWINGS FOR DIMENSIONS.
28. ELECTRICAL PANEL IN G.W.B BUILT OUT (REFER TO ELEC. SHEETS E-1 THRU E-4).
29. DASHED LINE INDICATES BALCONY ABOVE.
30. CANTILEVERED CONCRETE EYEBROW BELOW - SLOPE MAXIMUM 1/8" PER FOOT.
31. STRUCTURAL COLUMN (REFER TO STRUCTURAL DRAWINGS).
32. GAS METER.
33. 6' PEDESTAL TUB (REFER TO I.D. DRAWINGS).
34. SHOWER (REFER TO I.D. DRAWINGS).
35. WET BAR SINK (REFER TO I.D. DRAWINGS).
36. POURED CONCRETE COLUMN.
37. 42" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS SILVER POWDER COATED (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
38. 12" VENTILATED WIRE SHELVING AND HANGING ROD.
39. 2" GARAGE DOOR RAIN RECESS (TYPICAL).
40. NOMINAL STORM DRAIN ROUTE AT THIS FLOOR LEVEL.
41. FIRE SPRINKLER RISER LOCATION.
42. TANK-LESS GAS WATER HEATER (G.C. TO SIZE ACCORDINGLY).
43. NOMINAL STORM DRAIN ROUTE IN CEILING PLENUM FROM FLOOR ABOVE (DASHED LINE).
44. COUNTER +36" A.F.F. (REFER TO INTERIOR DESIGNER DRAWINGS).
45. TERRACE / BALCONY WATER PROOFING & FLASHING SYSTEM - WATERPROOF CLEAR SEALER OVER TILE WITH THIN SET "LATICRETE" EPOXY GROUT OVER TREMCO 350/351 SYSTEM (OR EQUAL) SLOPE MINIMUM 1/8" PER FOOT (INSTALL PER MANUFACTURER'S SPECIFICATIONS) UNDERSIDE OF DECK MINIMUM 3" ICYNENE PRO SEAL INSULATION (AVG. R-19 INSULATION ENTIRE ASSEMBLY) WHERE TERRACE / BALCONY ENCLOSES A/C SPACE BELOW.
46. 42" H. TEMP. SAFETY GLASS RAILING SYSTEM W/ ALUM. FRAME (TO REJECT 4" SPHERE) SILVER POWDER COATED (PROV. SHOP DWGS. FOR ARCHITECTS REVIEW & APPROVAL).
47. ELEC. METER W/ MAIN DISC. (G.C. TO VERIFY LOCATION W/ FPL PRIOR TO INSTALLATION).
48. 28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
49. 22"x36" ACCESS PANEL (FOR EMERGENCY ACCESS TO ELEVATOR MOTOR).
50. SMART VENT FLOOD VENT BLOCKS (VENT MUST BE INSTALLED 0" TO 12" A.F.F. ENTIRE VENT MUST BE BELOW BASE FLOOD ELEVATION / DESIGN FLOOD ELEVATION).
51. 2" STRUCTURAL BUMP OUT.
52. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #1 ABOVE AT SECOND FLOOR.
53. 2-HOUR DEMISING WALL.
54. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #3 ABOVE AT APPURTENANCE FLOOR.
55. 13" HIGH MASONRY PARAPET.
56. ROOF DECK WATER DRAIN.
57. MASONRY KNEE WALL +42" ABOVE FINISH DECK.
58. MASONRY PRIVACY WALL +6'-4" ABOVE FINISH DECK.
59. FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
60. MASONRY PRIVACY WALL +7'-2" ABV. FIN. DECK W/ COLOR COORD. ALUM. DRIP EDGE CAP.
61. ALUM. GATE (SEE SITE PLAN & DTL.) PROV. SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL.
62. PRE-FAB GAS FIRE PIT (BY OTHERS) G.C. TO COORD. W/ OWNER (REFER TO I.D. DRAWINGS).
63. OPTIONAL FREE STANDING SPA (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
64. TRACTION ELEVATOR (BY OTHERS).
65. CENTRAL VACUUM SYSTEM (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
66. 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.
67. DASHED LINE INDICATES EYEBROW ABOVE.
68. TERRACE / AMENITY DECK WATER DRAIN.
69. GENERATOR (BY OTHERS UNDER SEPARATE PERMIT) G.C. TO COORDINATE SIZING REQ'S.
70. EPOXY PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER / I.D. DWGS.).
71. T.V. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).
72. 48" ELECTRIC / INDUCTION RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
73. GAS BARBECUE.
74. RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCH'S. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
75. APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.
76. FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).
77. STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).
78. SHOWER SEAT - 221A E.F.F. (REFER TO INTERIOR DRAWINGS).

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## NOTES

1. ALL FINISHES AND PAINT COLORS SHALL BE SELECTED BY INTERIOR DESIGNER.
2. 5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.
3. MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.
4. ALL EXPOSED GYP. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
5. ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
6. FINISH FOR CLOSETS SHALL BE SAME AS FINISH OF ROOM CLOSET IS IN (U.O.N.).
7. ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.

NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44' A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20". MIN. CI FAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ FT. @ 1ST FLOOR)

## WALL HATCH SCHEDULE

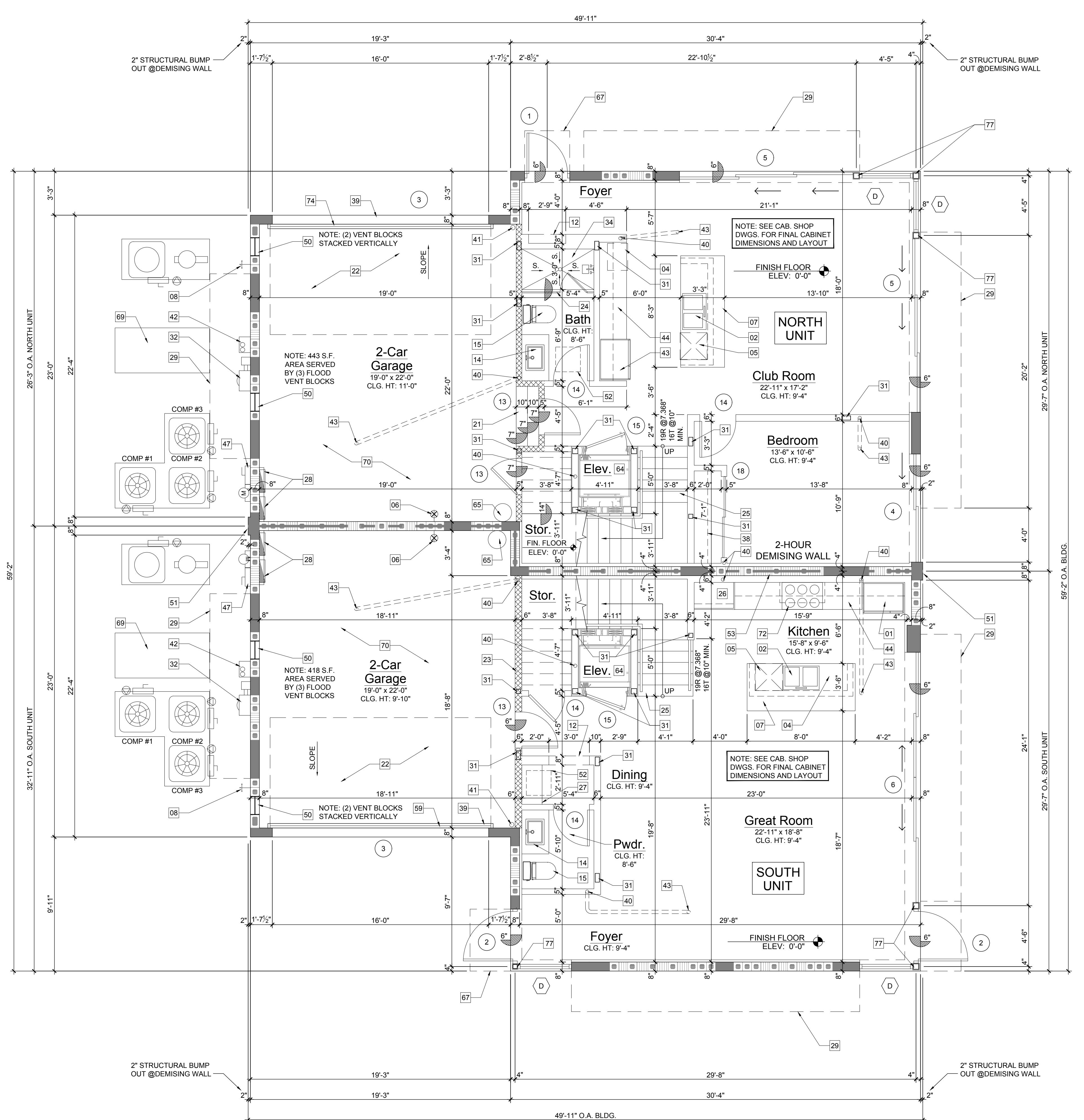
	DENOTES SOUND ATTENUATION INSULATION WITHIN WALL
	DENOTES R-11 BATT INSULATION WITHIN WALL

## NORTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	886
SECOND FLOOR A/C	1,322
THIRD FLOOR A/C	694
APPURTENNANCE A/C	145
TOTAL A/C	3,047
<hr/>	
GARAGE	452
BALCONIES	560
TERRACE	472

## SOUTH UNIT BUILDING AREA CALCULATIONS

SOUTH UNIT BUILDING AREA CALCULATIONS	
GROUND FLOOR A/C	889
SECOND FLOOR A/C	1,324
THIRD FLOOR A/C	680
APPURTENANCE A/C	175
<b>TOTAL A/C</b>	<b>3,068</b>
GARAGE	452
BALCONIES	565
TERRACE	427
<b>TOTAL BUILDING FLOOR AREA</b>	<b>4,512</b>



## Ground Floor Plan

For more information, contact the Office of the Vice President for Research and the Office of the Vice President for Student Affairs.



## A-1.1

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# 1100 GLEASON STREET DELRAY BEACH

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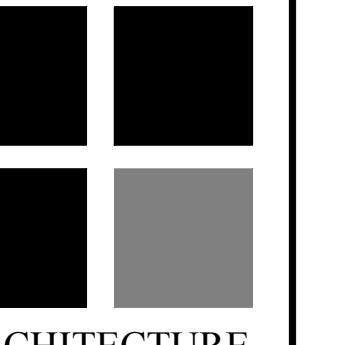
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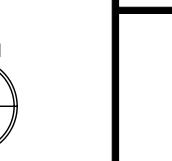
VISIONS

# REICHARD JONES ARCHITECTURE

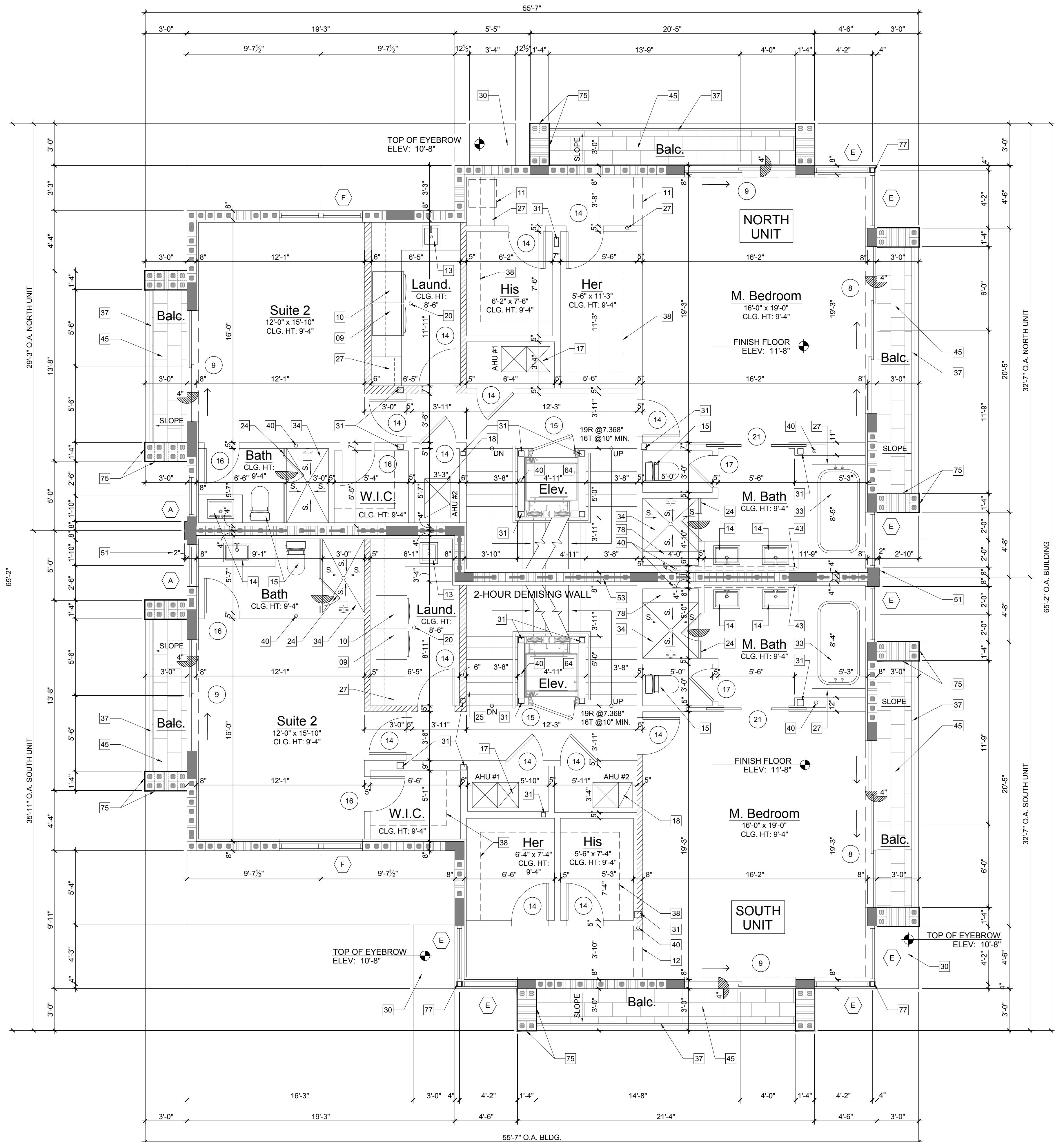
<b>RICHARD JONES</b>  <b>ARCHITECTURE</b> 10 S.E. FIRST AVENUE   SUITE 102 DELRAY BEACH, FLORIDA 33444 V. 561.274.9186   F. 561.274.9196 AA26001617   IB26001056 <a href="http://WWW.RJARCHITECTURE.COM">WWW.RJARCHITECTURE.COM</a>
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Second Floor Plan

Scale: 1/4"=1'-0"



A-1.2



**KEY NOTES**

- 48" REFRIGERATOR/FREEZER (REFER TO I.D. DRAWINGS).
- DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).
- 48" GAS RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
- UNDER COUNTER MICROWAVE DRAWER (REFER TO ID DRAWINGS).
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- FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
- MASONRY PRIVACY WALL +7'-2" ABV. FIN. DECK W/ COLOR COORD. ALUM. DRIP EDGE CAP.
- ALUM. GATE (SEE SITE PLAN & DTL.) (PRO. SHOP DWGS. FOR ARCH. REVIEW & APPROVAL).
- PRIVACY FENCE (BY OTHERS) G.C. TO COORD. W/ OWNER (REFER TO I.D. DRAWINGS).
- OPTIONAL FREE STANDING SPA (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
- TRACTION ELEVATOR BY OTHERS.
- CENTRAL VACUUM SYSTEM (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
- 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.
- DASHED LINE INDICATES EYEBROW ABOVE.
- TERRACE / AMENITY DECK WATER DRAIN.
- GENERATOR (BY OTHERS UNDER SEPARATE PERMIT) G.C. TO COORDINATE SIZING REQ'S.
- EOXY PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER / I.D. DWGS.).
- T.V. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).
- 48" ELECTRIC / INDUCTION RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
- GAS BARBECUE.
- RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCH. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
- APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.
- FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).
- STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).
- SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

**NOTES**

- ALL FINISHES AND PAINT COLORS SHALL BE SELECTED BY INTERIOR DESIGNER.
- 5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.
- MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.
- ALL EXPOSED GYP. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
- ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
- FINISH FOR CLOSETS SHALL BE SAME AS FINISH OF ROOM CLOSET IS IN (U.O.).
- ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.

NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20". MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ. FT. @ 1ST FLOOR)

**WALL HATCH SCHEDULE**

Denotes Sound Attenuation Insulation Within Wall  
Denotes R-11 Batt Insulation Within Wall

**NORTH UNIT BUILDING AREA CALCULATIONS**

GROUND FLOOR A/C	886 SQ.FT.
SECOND FLOOR A/C	1,322 SQ.FT.
THIRD FLOOR A/C	694 SQ.FT.
APPURTENANCE A/C	145 SQ.FT.
TOTAL A/C	3,047 SQ.FT.
GARAGE	452 SQ.FT.
BALCONIES	560 SQ.FT.
TERRACE	472 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,531 SQ.FT.

**SOUTH UNIT BUILDING AREA CALCULATIONS**

GROUND FLOOR A/C	889 SQ.FT.
SECOND FLOOR A/C	1,324 SQ.FT.
THIRD FLOOR A/C	680 SQ.FT.
APPURTENANCE A/C	175 SQ.FT.
TOTAL A/C	3,068 SQ.FT.
GARAGE	452 SQ.FT.
BALCONIES	565 SQ.FT.
TERRACE	427 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,512 SQ.FT.

SECOND FLOOR PLAN

A-1.2



Scale: 1/4"=1'-0"

NORTH

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COMMISSION # 17-058

DESIGNER: RJ

DRAWN BY: GsJ

PLAN REVIEW: RJ

SUBMITTALS:  
CLASS V  
SPECIAL SITE  
PLAN  
SUBMITTAL

12.03.19  
REVISIONS:

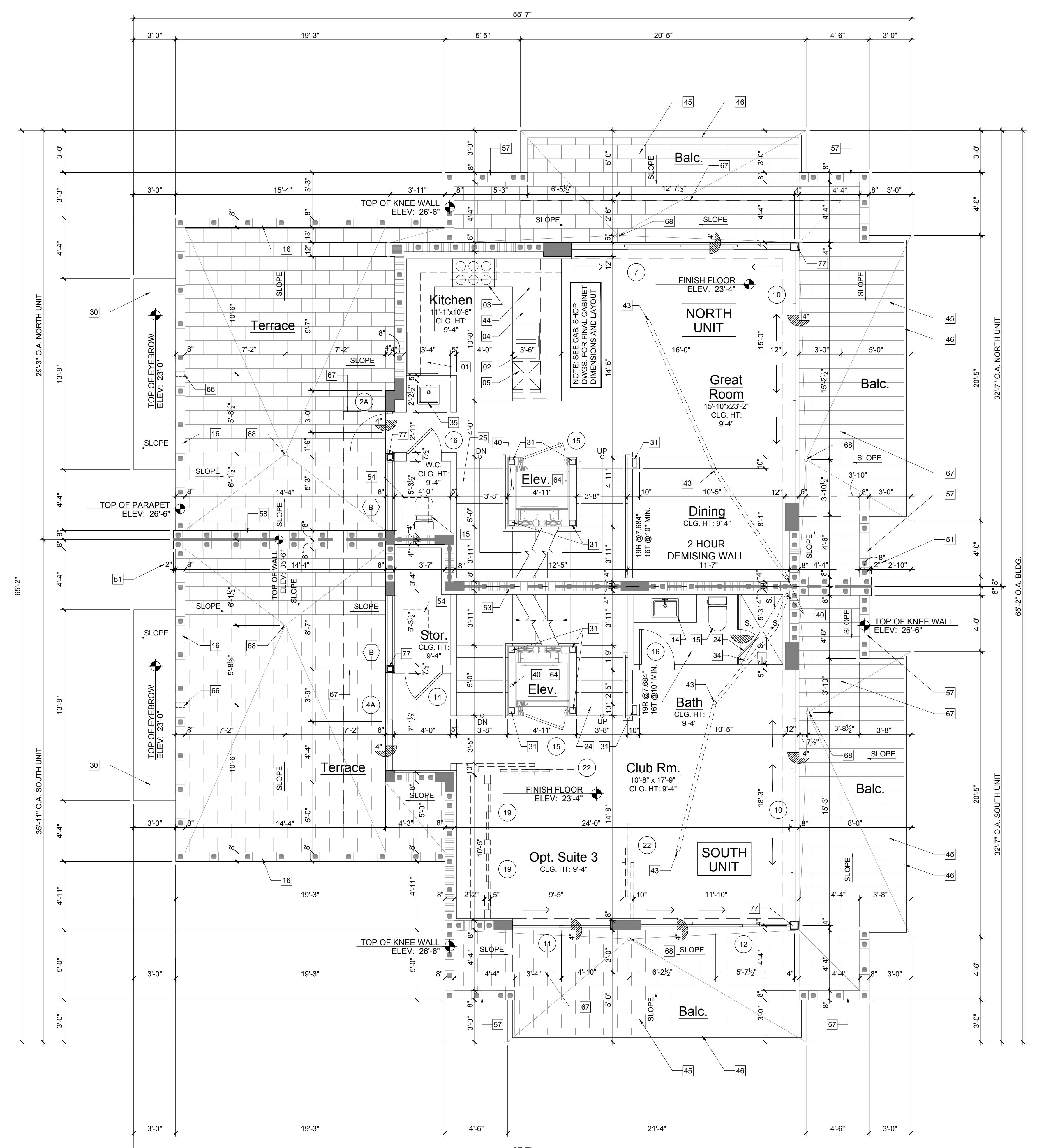
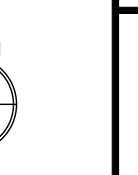
THIRD  
FLOOR  
PLAN

A-1.3

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Third Floor Plan

Scale: 1/4"=1'-0"



## KEY NOTES

- 48" REFRIGERATOR/FREEZER (REFER TO I.D. DRAWINGS).
- DOBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).
- 48" GAS RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
- UNDER COUNTER MICROWAVE DRAWER (REFER TO I.D. DRAWINGS).
- DRINKWARE CENTER (REFER TO I.D. DRAWINGS).
- ELECTRIC CAR-CHARGING STATION w/ DEDICATED CIRCUIT (G.C. TO COORD. W/ OWNER)
- KITCHEN ISLAND w/ KNEE SPACE, COUNTER +36" A.F.F. (REFER TO I.D. DWGS.)
- HOSE BIB (ALSO REFER TO SHEET SP-1 SITE PLAN FOR ADDITIONAL LOCATIONS).
- WASHING MACHINE (REFER TO I.D. DRAWINGS).
- DRYER - VENT TO EXTERIOR (REFER TO I.D. DRAWINGS).
- UNDER COUNTER REFRIGERATOR (REFER TO I.D. DRAWINGS).
- FLAT HEADER +8" ABOVE FINISH FLOOR.
- LAUNDRY SINK (REFER TO I.D. DRAWINGS).
- LAVATORY (REFER TO I.D. DRAWINGS).
- WATER CLOSET (REFER TO I.D. DRAWINGS).
- MASONRY PARAPET +42" ABOVE FINISH ROOF DECK.
- AIR HANDLER UNIT #1 W/ DUAL CONDENATE OVERFLOW EMERG. SHUT OFF SENSORS.
- AIR HANDLER UNIT #2 W/ DUAL CONDENATE OVERFLOW EMERG. SHUT OFF SENSORS.
- AIR HANDLER UNIT #3 W/ DUAL CONDENATE OVERFLOW EMERG. SHUT OFF SENSORS.
- FLOOR DRAIN, VERIFY LOCATION IN FIELD, SLOPE FLR. TO DRAIN
- CONCRETE STEPS (REFER TO STRUCTURAL DRAWINGS).
- R-11 INSULATION AND TYPE X' GYPSUM BOARD AT GARAGE CEILING.
- R-11 INSULATION AT GARAGE WALL.
- TEMP. GLS. SHWR. GLS. DOOR WHERE APPLICABLE SEE I.D. DRAWINGS.
- INTERIOR STAIR WITH RAILING SYSTEM - SEE ENLARGED STAIR DETAILS SHEET A-7.1 (REFER TO I.D. DRAWINGS) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL.
- PANTRY BUILT-IN (BY OTHERS - REFER TO I.D. DRAWINGS).
- BUILT-IN (BY OTHERS) SEE CABIN. SHOP DRAWINGS FOR DIMENSIONS.
- ELECTRICAL PANEL IN G.W.B. BUILT OUT (REFER TO ELEC. SHEETS E-1 THRU E-4).
- LINE INDICATES BALCONY ABOVE.
- CANTILEVERED CONCRETE EYEBROW BELOW - SLOPE MAXIMUM 1/8" PER FOOT.
- STRUCTURAL COLUMN (REFER TO STRUCTURAL DRAWINGS).
- GAS METER.
- 6' PEDESTAL TUB (REFER TO I.D. DRAWINGS).
- SHOWER (REFER TO I.D. DRAWINGS).
- WET-BAR SINK (REFER TO I.D. DRAWINGS).
- POURED CONCRETE COLUMN.
- 42" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS SILVER POWDER COATED (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
- 12" VENTILATED WIRE SHELVING AND HANGING ROD.
- 2" GARAGE DOOR Recess (TYPICAL).
- NOMINAL STORM DRAIN ROUTE AT THIS FLOOR LEVEL.
- FIRE SPRINKLER RISER LOCATION.
- TANK-LESS GAS WATER HEATER (G.C. TO SIZE ACCORDINGLY).
- NOMINAL STORM DRAIN ROUTE IN CEILING PLENUM FROM FLOOR ABOVE (DASHED LINE).
- COUNTER +36" A.F.F. (REFER TO INTERIOR DESIGNER DRAWINGS).
- TERACE / BALCONY WATER PROOFING & FLASHING SYSTEM - WATERPROOF CLEAR SEALER OVER TILE WITH THIN SET "LATERICRETE" EPOXY GROUT OVER TREMCO 350/351 SYSTEM (OR EQUAL) SLOPE MINIMUM 1/8" PER FOOT (INSTALL PER MANUFACTURER'S SPECIFICATIONS) UNDERSIDE OF DECK MINIMUM 3" ICYNENE PRO SEAL INSULATION (AVG. R-19 INSULATION ENTIRE ASSEMBLY) WHERE TERRACE / BALCONY ENCLOSES A/C SPACE BELOW.
- 42" H. TEMP. SAFETY GLASS RAILING SYSTEM W/ ALUM. FRAME (TO REJECT 4" SQUARE) (REFER TO I.D. DRAWINGS) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL).
- ALC. METER W/ MAIN DISC. (G.C. TO VERIFY LOCATION W/ FPL. PRIOR TO INSTALLATION).
- 28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
- 22"x36" ACCESS PANEL (FOR EMERGENCY ACCESS TO ELEVATOR MOTOR).
- SMART VENT FLOOD VENT BLOCKS (VENT MUST BE INSTALLED 0" TO 12" A.F.F. ENTIRE VENT MUST BE BELOW BASE FLOOD ELEVATION / DESIGN FLOOR ELEVATION).
- 2" STRUCTURAL BUMP OUT.
- NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #1 ABOVE AT SECOND FLOOR.
- 2-HOUR DEMISING WALL.
- NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #3 ABOVE AT APPURTENANCE FLOOR.
- 13" HIGH MASONRY PARAPET.
- ROOF DECK WATER DRAIN.
- MASONRY KNEE WALL +42" ABOVE FINISH DECK.
- MASONRY PRIVACY WALL +6' 4" ABOVE FINISH DECK.
- FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
- MASONRY PRIVACY WALL +7'-2" ABV. HN. DECK W/ COLOR COORD. ALUM. DRIP EDGE CAP.
- ALUM. RAILING (SEE SITE PLAN & PROVIDE SHOP DWGS. FOR ARCH. REVIEW & APPROVAL).
- PRE-FAB GAS FIRE PIT (BY OTHERS) G.C. TO COORD. W/ OWNER (REFER TO I.D. DRAWINGS).
- OPTIONAL FREE STANDING SPA (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
- TRACTION ELEVATOR BY OTHERS.
- CENTRAL VACUUM SYSTEM (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
- 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.
- DASHED LINE INDICATES EYEBROW ABOVE.
- TERACE / AMENITY DECK WATER DRAIN.
- GENERATOR (BY OTHERS UNDER SEPARATE PERMIT) G.C. TO COORDINATE SIZING REQ'S.
- EPoxy PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER I.D. DWGS.).
- T.V. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).
- 48" ELECTRIC / INDUCTION RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
- GAS BARBECUE.
- RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCH. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
- APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. #2ND FLR. BALCONY END BUMP-OUTS.
- FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).
- STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).
- SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

## NOTES

- ALL FINISHES AND PAINT COLORS SHALL BE SELECTED BY INTERIOR DESIGNER.
- 5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.
- MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.
- ALL EXPOSED GYP. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
- ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
- FINISH FOR CLOSETS SHALL BE SAME AS FINISH OF ROOM CLOSET IS IN (U.O.N.).
- ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.

NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20". MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ. FT. @ 1ST FLOOR)

## WALL HATCH SCHEDULE

DENOTES SOUND ATTENUATION INSULATION WITHIN WALL  
DENOTES R-11 BATT INSULATION WITHIN WALL

## NORTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	886 SQ.FT.
SECOND FLOOR A/C	1,322 SQ.FT.
THIRD FLOOR A/C	694 SQ.FT.
APPURTENANCE A/C	145 SQ.FT.
TOTAL A/C	3,047 SQ.FT.

GARAGE	452 SQ.FT.
BALCONIES	560 SQ.FT.
TERACE	472 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,531 SQ.FT.

## SOUTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	889 SQ.FT.
SECOND FLOOR A/C	1,324 SQ.FT.
THIRD FLOOR A/C	680 SQ.FT.
APPURTENANCE A/C	175 SQ.FT.
TOTAL A/C	3,068 SQ.FT.

GARAGE	452 SQ.FT.
BALCONIES	565 SQ.FT.
TERACE	427 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,512 SQ.FT.

# ROOF TERRACE PLAN #1

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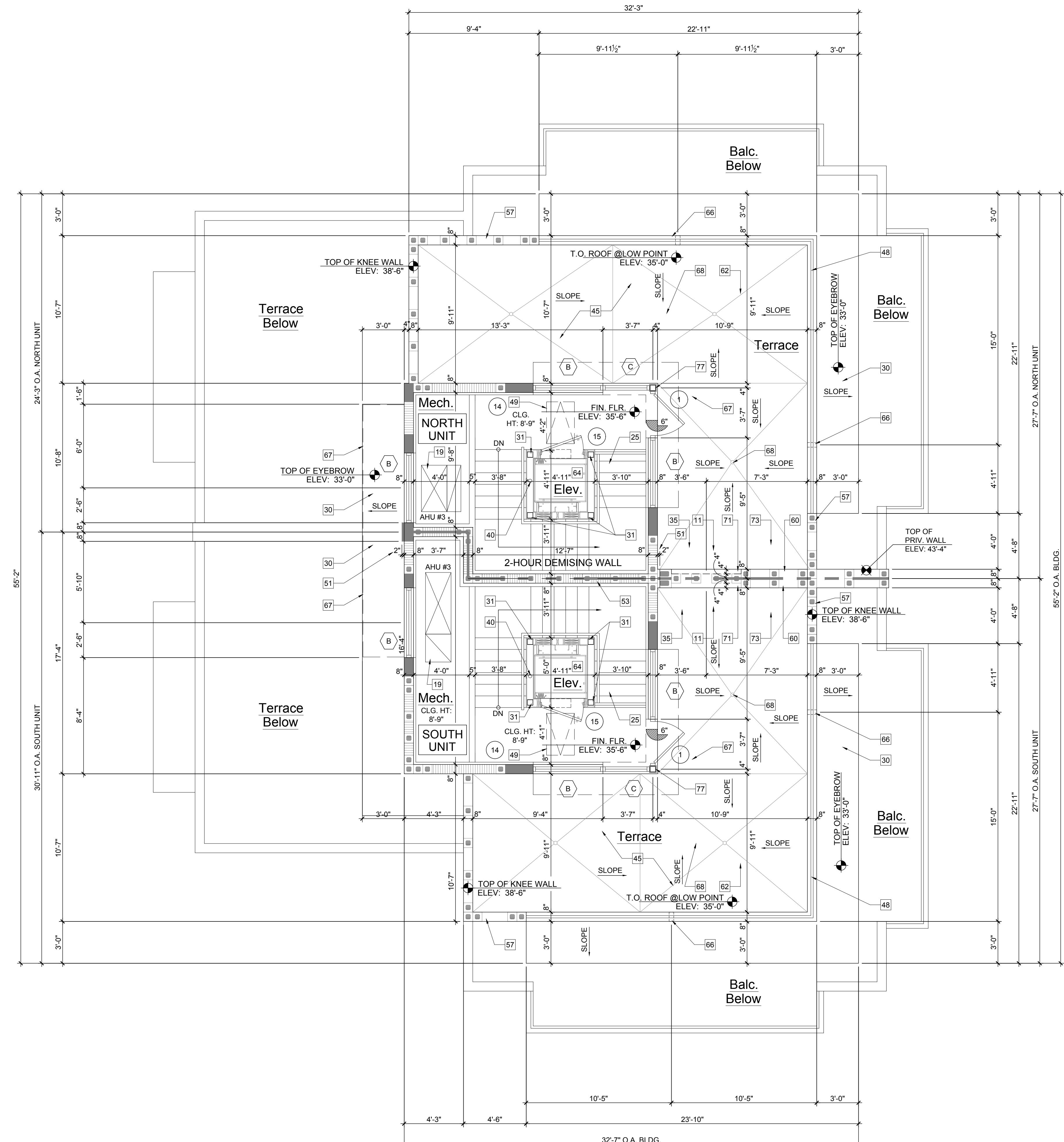
<b>RICHARD JONES</b>  <b>ARCHITECTURE</b> 10 S.E. FIRST AVENUE   SUITE 102 DELRAY BEACH, FLORIDA 33444 V. 561.274.9186   F. 561.274.9196 AA26001617   IB26001056 <a href="http://WWW.RJARCHITECTURE.COM">WWW.RJARCHITECTURE.COM</a>	
<b>FLORIDA LICENSURE</b> AA26001617   IB26001056 COMMISSION # 17-058 DESIGNER: RJ DRAWN BY: GsJ PLAN REVIEW: RJ  SUBMITTALS: CLASS V 12.03.19 SPECIAL SITE PLAN SUBMITTAL  REVISIONS:	<b>100 GLEASON STREET</b> <b>DELRAY BEACH</b> JOHN DELONIBUS 100 GLEASON STREET DELRAY BEACH, FL 33483

Roof Terrace Plan #1

Scale: 1/4"=1'-0"



A-1.4



## KEY NOTES

- 48" REFRIGERATOR/FREEZER (REFER TO I.D. DRAWINGS).
- DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).
- 48" GAS RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
- UNDER COUNTER MICROWAVE DRAWER (REFER TO I.D. DRAWINGS).
- DISHWASHER (REFER TO I.D. DRAWINGS).
- ELECTRIC CAR CHARGING STATION w/ DEDICATED CIRCUIT (G.C. TO COORD. W/ OWNER)
- KITCHEN ISLAND w/ KNIFE SPACE - COUNTER +30" A.F.F. (REFER TO I.D. DWGS.)
- HOSE BIB (ALSO REFER TO SHEET SP-1 SITE PLAN FOR ADDITIONAL LOCATIONS).
- WASHING MACHINE (REFER TO I.D. DRAWINGS).
- DRYER VENT TO EXTERIOR (REFER TO I.D. DRAWINGS).
- UNDER COUNTER REFRIGERATOR (REFER TO I.D. DRAWINGS).
- FLAT HEADER +8'-0" ABOVE FINISH FLOOR.
- LAUNDRY SINK (REFER TO I.D. DRAWINGS).
- LAVATORY (REFER TO I.D. DRAWINGS).
- WATER CLOSET (REFER TO I.D. DRAWINGS).
- MASONRY PARAPET +42" ABOVE FINISH ROOF DECK.
- AIR HANDLER UNIT #1 w/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.
- AIR HANDLER UNIT #2 w/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.
- AIR HANDLER UNIT #3 w/ DUAL CONDENSATE OVERFLOW EMERG. SHUT OFF SENSORS.
- FLOOR DRAIN VERIFICATION LOCATION IN FIELD. SLOPE FLR. TO DRAIN
- CONCRETE STEPS (REFER TO STRUCTURAL DRAWINGS).
- R-11 INSULATION AND TYPE X' GYPSUM BOARD AT GARAGE CEILING.
- R-11 INSULATION AT GARAGE WALL.
- TEMP. GLS. SHWR. ENCL. (W/ TEMP. GLS. DOOR WHERE APPLICABLE) SEE I.D. DRAWINGS.
- INTERIOR STAIR WITH RAILING SYSTEM - SEE ENLARGED STAIR DETAILS SHEET A-7.1 (REFER TO I.D. DRAWINGS) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL.
- PANTRY BUILT-IN (BY OTHERS - REFER TO I.D. DRAWINGS).
- BUILT-IN (BY OTHERS) SEE CABINET SHOP DRAWINGS FOR DIMENSIONS.
- ELECTRICAL PANEL IN G.W.B. BUILT OUT (REFER TO ELEC. SHEETS E-1 THRU E-4).
- DADED LINE INDICATES BALCONY ABOVE.
- CONCRETE REVERSED CONCRETE EYEBROW BELOW - SLOPE MAXIMUM 1/8" PER FOOT.
- STRUCTURAL COLUMN (REFER TO STRUCTURAL DRAWINGS).
- GAS METER.
- 6' PEDESTAL TUB (REFER TO I.D. DRAWINGS).
- SHOWER (REFER TO I.D. DRAWINGS).
- WET-BAR SINK (REFER TO I.D. DRAWINGS).
- POURED CONCRETE COLUMN.
- 42" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS (SILVER POWDER COATED (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
- 12" VENTILATED WIRE SHELVING AND HANGING ROD.
- 2" GARAGE DOOR RIM RECESS (TYPICAL).
- NOMINAL STORM DRAIN ROUTE AT THIS FLOOR LEVEL.
- FIRE SPRINKLER RISER LOCATION.
- TANK-LESS GAS WATER HEATER (G.C. TO SIZE ACCORDINGLY).
- COUNTER +30" A.F.F. (REFER TO INTERIOR DESIGNER DRAWINGS).
- TERrace / BALCONY WATER PROOFING & FLASHING SYSTEM - WATERPROOF CLEAR SEALER OVER TILE WITH THIN SET "LATRICOTE" EPOXY GROUT OVER TREMCO 350/351 SYSTEM (OR EQUAL) SLOPE MINIMUM 1/8" PER FOOT (INSTALL PER MANUFACTURER'S SPECIFICATIONS) UNDERSIDE OF DECK MINIMUM 3" ICYNENE PRO SEAL INSULATION (AVG. R-19 INSULATION ENTIRE ASSEMBLY) WHERE TERRACE / BALCONY ENCLOSURES A/C SPACE BELOW.
- 42" H. TEMP. SAFETY GLASS RAILING SYSTEM W/ ALUM. FRAME (TO REJECT 4" SPHERE) (SEE ELEC. SHEET E-1 FOR LOCATION W/ FPL. PRIOR TO INSTALLATION).
- ELEC. METER W/ MAIN DISC. (G.C. TO VERIFY LOCATION W/ FPL. PRIOR TO INSTALLATION).
- 28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
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- SMART VENT FLOOD VENT BLOCKS (VENT MUST BE INSTALLED 0" TO 12" A.F.F. ENTIRE VENT MUST BE BELOW BASE FLOOD ELEVATION / DESIGN FLOOD ELEVATION).
- 2" STRUCTURAL BUMP OUT.
- NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #1 ABOVE AT SECOND FLOOR.
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- 13" HIGH MASONRY PARAPET.
- ROOF DECK WATER DRAIN.
- MASONRY KNEE WALL +42" ABOVE FINISH DECK.
- MASONRY PRIVACY WALL +6'-4" ABOVE FINISH DECK.
- FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
- MASONRY PRIVACY WALL +7'-2" ABV. FIN. DECK W/ COLOR COORD. ALUM. DRIP EDGE CAP.
- ALL GATE (SEE SITE PLAN & DTL.) (PROVIDE SHOP DWGS. FOR ARCH. REVIEW & APPROVAL).
- PRE-PAINTED PLATE (BY OTHERS) G.C. TO COORD. W/ OWNER (REFER TO I.D. DRAWINGS).
- OPTIONAL FREE STANDING SPA (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
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- 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.
- DASHED LINE INDICATES EYEBROW ABOVE.
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- GENERATOR (BY OTHERS UNDER SEPARATE PERMIT) G.C. TO COORDINATE SIZING REQ'S.
- EPoxy PAINT FINISH ON GARAGE FLOOR (G.C. TO COORDINATE W/ OWNER / I.D. DWGS.)
- T.W. NICHE 4" INSET FROM FACE OF MASONRY WALL (G.C. TO COORD. SIZING W/ ELEC. SUB).
- 48" ELECTRIC / INDUCTION RANGE W/ HOOD (REFER TO I.D. DRAWINGS).
- GAS BARBECUE.
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- APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.
- FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).
- STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).
- SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

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- MIRRORS SHALL BE INSTALLED OVER ALL VANITIES. HEIGHT & WIDTH SHALL BE DETERMINED BY INTERIOR DESIGNER.
- ALL EXPOSED GY. BD. WALLS AND CEILING SHALL RECEIVE 2 COATS OF FLAT LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
- ALL INTERIOR WOOD, DOORS, BASE OR TRIM SHALL RECEIVE 2 COATS OF SEMI-GLOSS LATEX PAINT AS MANUF. BY SHERWIN WILLIAMS OR EQUAL.
- FINISH FOR CLOSETS SHALL BE SAME AS FINISH OF ROOM CLOSET IS IN (U.O.N.).
- ALL KITCHEN, LAUNDRY ROOM, FINISHED BATHROOMS & POWDER ROOMS SHALL HAVE IMPERVIOUS FLOORING & BASE.

NOTE: ALL WINDOWS NOTED AS EGRESS WINDOWS SHALL COMPLY WITH F.B.C. SILL HEIGHT SHALL NOT EXCEED 44" A.F.F. MIN. OPG. HT. SHALL BE 24" AND MIN OPG. WIDTH SHALL BE 20". MIN. CLEAR OPEN AREA SHALL BE 5.7 SQ. FT. (5.0 SQ. FT. @ 1ST FLOOR)

## WALL HATCH SCHEDULE

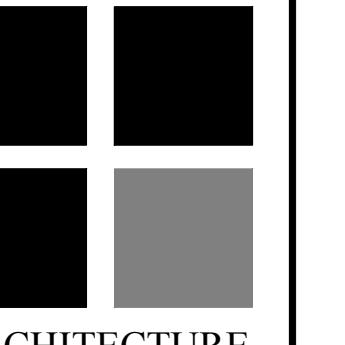
DENOTES SOUND ATTENUATION INSULATION WITHIN WALL  
 DENOTES R-11 BATT INSULATION WITHIN WALL

## NORTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	886 SQ.FT.
SECOND FLOOR A/C	1,322 SQ.FT.
THIRD FLOOR A/C	694 SQ.FT.
APPURTENANCE A/C	145 SQ.FT.
TOTAL A/C	3,047 SQ.FT.
GARAGE	452 SQ.FT.
BALCONIES	560 SQ.FT.
TERrace	472 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,531 SQ.FT.

## SOUTH UNIT BUILDING AREA CALCULATIONS

GROUND FLOOR A/C	889 SQ.FT.
SECOND FLOOR A/C	1,324 SQ.FT.
THIRD FLOOR A/C	680 SQ.FT.
APPURTENANCE A/C	175 SQ.FT.
TOTAL A/C	3,068 SQ.FT.
GARAGE	452 SQ.FT.
BALCONIES	565 SQ.FT.
TERrace	427 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,512 SQ.FT.

<b>RICHARD JONES</b>  <b>ARCHITECTURE</b> 10 S.E. FIRST AVENUE   SUITE 102 DELRAY BEACH, FLORIDA 33444 V. 561.274.9186   F. 561.274.9196 AA26001617   IB26001056 <a href="http://WWW.RJARCHITECTURE.COM">WWW.RJARCHITECTURE.COM</a>
<b>100 GLEASON STREET</b> <b>DELRAY BEACH</b> JOHN DELONIBUS 100 GLEASON STREET DELRAY BEACH, FL 33483

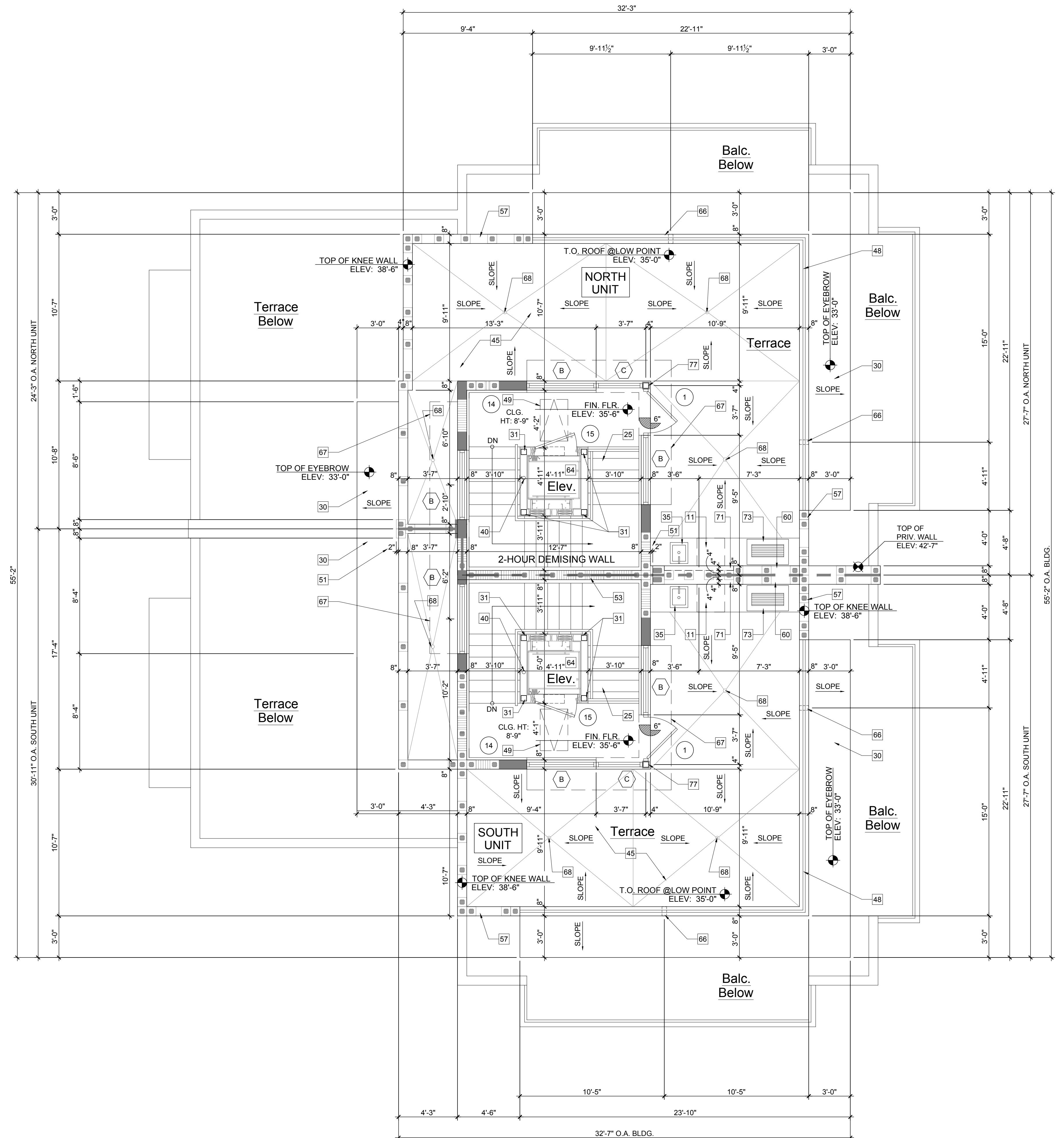
NORTH



A-1.5

Roof Terrace Plan #2

Scale: 1/4"=1'-0"



**KEY NOTES**

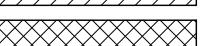
1. 48" REFRIGERATOR/FREEZER (REFER TO I.D. DRAWINGS).
2. DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).
3. 48" GAS RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
4. UNDER COUNTER MICROWAVE DRAWER (REFER TO I.D. DRAWINGS).
5. DISHWASHER (REFER TO I.D. DRAWINGS).
6. ELECTRIC CAR CHARGING STATION w/ DEDICATED CIRCUIT (G.C. TO COORD. W/ OWNER)
7. KITCHEN ISLAND w/ KNEE WALL COUNTER +36" A.F.F. (REFER TO I.D. DWGS.)
8. HOSE BIB (ALSO REFER TO SHEET SP-1 SITE PLAN FOR ADDITIONAL LOCATIONS).
9. WASHING MACHINE (REFER TO I.D. DRAWINGS).
10. DRYER VENT TO EXTERIOR (REFER TO I.D. DRAWINGS).
11. UNDER COUNTER REFRIGERATOR (REFER TO I.D. DRAWINGS).
12. FLAT HEADER 48"-0" ABOVE FINISH FLOOR.
13. LAUNDRY SINK (REFER TO I.D. DRAWINGS).
14. LAVATORY (REFER TO I.D. DRAWINGS).
15. WATER CLOSET (REFER TO I.D. DRAWINGS).
16. MASONRY PARAPET +42" ABOVE FINISH ROOF DECK.
17. AIR HANDLER UNIT #1 W/ DUAL CONDENSADE OVERFLOW EMERG. SHUT OFF SENSORS.
18. AIR HANDLER UNIT #2 W/ DUAL CONDENSADE OVERFLOW EMERG. SHUT OFF SENSORS.
19. AIR HANDLER UNIT #3 W/ DUAL CONDENSADE OVERFLOW EMERG. SHUT OFF SENSORS.
20. FLOOR DRAIN VERIFY LOCATION IN FIELD SLOPE FLR. TO DRAIN
21. CONCRETE STEPS (REFER TO STRUCTURAL DRAWINGS).
22. R-11 INSULATION AND TYPE X' GYPSUM BOARD AT GARAGE CEILING.
23. R-11 INSULATION AT GARAGE WALL.
24. TEMP. GLS. SHWR. ENCLOS. (W/ TEMP. GLS. DOOR WHERE APPLICABLE) SEE I.D. DRAWINGS.
25. INTERIOR STAIR WITH RAILING SYSTEM - SEE ENLARGED STAIR DETAILS SHEET A-7.1 (REFER TO I.D. DRAWINGS) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL.
26. PANTRY BUILT-IN (BY OTHERS - REFER TO I.D. DRAWINGS).
27. BUILT-IN (BY OTHERS) SEE CABINET SHOP DRAWINGS FOR DIMENSIONS.
28. ELECTRICAL PANEL IN G.W.B. BUILT OUT (REFER TO ELEC. SHEETS E-1 THRU E-4).
29. DASHED LINE INDICATES BALCONY ABOVE.
30. CANTILEVERED CONCRETE EYEBROW BELOW - SLOPE MAXIMUM 1/8" PER FOOT.
31. STRUCTURAL COLUMN (REFER TO STRUCTURAL DRAWINGS).
32. GAS METER.
33. 6' PEDESTAL TUB (REFER TO I.D. DRAWINGS).
34. SHOWER (REFER TO I.D. DRAWINGS).
35. WET-BAR SINK (REFER TO I.D. DRAWINGS).
36. POURED CONCRETE COLUMN.
37. 42" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS SILVER POWDER COATED (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
38. 12" VENTILATED WIRE SHELVING AND HANGING ROD.
39. 2" GARAGE DOOR RIM RECESS (TYPICAL).
40. NOMINAL STORM DRAIN ROUTE AT THIS FLOOR LEVEL.
41. FIRE SPRINKLER RISER LOCATION.
42. TANK-LESS GAS WATER HEATER (G.C. TO SIZE ACCORDINGLY).
43. NOMINAL STORM DRAIN ROUTE IN CEILING PLENUM FROM FLOOR ABOVE (DASHED LINE).
44. COUNTER +36" A.F.F. (REFER TO INTERIOR DESIGNER DRAWINGS).
45. TERRACE / BALCONY WATER PROOFING & FLASHING SYSTEM - WATERPROOF CLEAR SEALER OVER TILE WITH THIN SET "LATRICRETE" EPOXY GROUT OVER TREMCO 350/351 SYSTEM (OR EQUAL) SLOPE MINIMUM 1/8" PER FOOT (INSTALL PER MANUFACTURER'S SPECIFICATIONS) UNDERSIDE OF DECK MINIMUM 3" ICYNENE PRIME SEAL INSULATION (AVG. R-19 INSULATION ENTIRE ASSEMBLY) WHERE TERRACE / BALCONY ENCLOSURES A/C SPACE BELOW.
46. 42" H. TEMP. SAFETY GLASS RAILING SYSTEM W/ ALUM. FRAME (TO REJECT 4" SPHERE)
47. ELEC. METER W/ MAIN DISC. (G.C. TO VERIFY LOCATION W/ FPL PRIOR TO INSTALLATION).
48. 28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORIZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
49. 22"x36" ACCESS PANEL (FOR EMERGENCY ACCESS TO ELEVATOR MOTOR).
50. SMART VENT FLOOD VENTS (VENT MUST BE INSTALLED 0" TO 12" A.F.F. ENTIRE VENT MUST BE BELOW BASE FLOOD ELEVATION / DESIGN FLOOD ELEVATION).
51. 2" STRUCTURAL BUMP OUT.
52. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #1 ABOVE AT SECOND FLOOR.
53. 2-HOUR DEMISING WALL.
54. NOMINAL ROUTE OF HVAC SUPPLY FROM AHU #3 ABOVE AT APPURTENANCE FLOOR.
55. 13" HIGH MASONRY PARAPET.
56. ROOF DECK WATER DRAIN.
57. MASONRY KNEE WALL +42" ABOVE FINISH DECK.
58. MASONRY PRIVACY WALL +6'-4" ABOVE FINISH DECK.
59. FLUSH PANEL METAL GARAGE DOOR W/ PAINTED FINISH (PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
60. MASONRY PRIVACY WALL +7'-2" ABV. FIN. DECK W/ COLOR COORD. ALUM. DRIP EDGE CAP.
61. ALUM. GATE (SEE SITE PLN. & DRAWS. PRO. SHOP DWGS. FOR ARCH. REVIEW & APPROVAL).
62. 2-HOUR DEMISING WALL (BY OTHERS) G.C. TO COORD. W/ OWNER (REFER TO I.D. DRAWINGS).
63. OPTIONAL FREE STANDING SPA (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
64. TRACTION ELEVATOR (BY OTHERS).
65. CENTRAL VACUUM SYSTEM (BY OTHERS) G.C. TO COORDINATE W/ OWNER.
66. 4" WIDE x 2" HIGH EMERGENCY OVERFLOW SCUPPER.
67. DASHED LINE INDICATES EYEBROW ABOVE.
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73. GAS BARBECUE.
74. RAYNOR GLASS OVER HEAD DOOR (PROVIDE NOA AND SHOP DWGS. FOR ARCH. REVIEW & APPROVAL) REFER TO DOOR SCHEDULE.
75. APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER) TYP. @2ND FLR. BALCONY END BUMP-OUTS.
76. FASCIA BOARD CONCEALED DRAPERY POCKET (REFER TO I.D. DRAWINGS).
77. STRUCT. COL. CLAD IN CLEAR ANODIZED ALUM. TO MATCH WINDOW (SEE STRUCT. DWGS.).
78. SHOWER SEAT +22" A.F.F. (REFER TO INTERIOR DRAWINGS).

**NOTES**

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2. 5/8" THICK DENS-SHIELD SHALL BE INSTALLED IN LIEU OF GYPSUM BD. @ ALL WET AREAS.
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ROOF

TERRACE

PLAN

REVISIONS:

SUBMITTALS:  
CLASS V  
SPECIAL SITE  
PLAN  
SUBMITTAL

12.03.19  
12.03.19  
12.03.19  
12.03.19

COMMISSION # 17-058  
DESIGNER: RJ  
DRAWN BY: GsJ  
PLAN REVIEW: RJ

AA26001617 | IB26001056

FLORIDA LICENSURE

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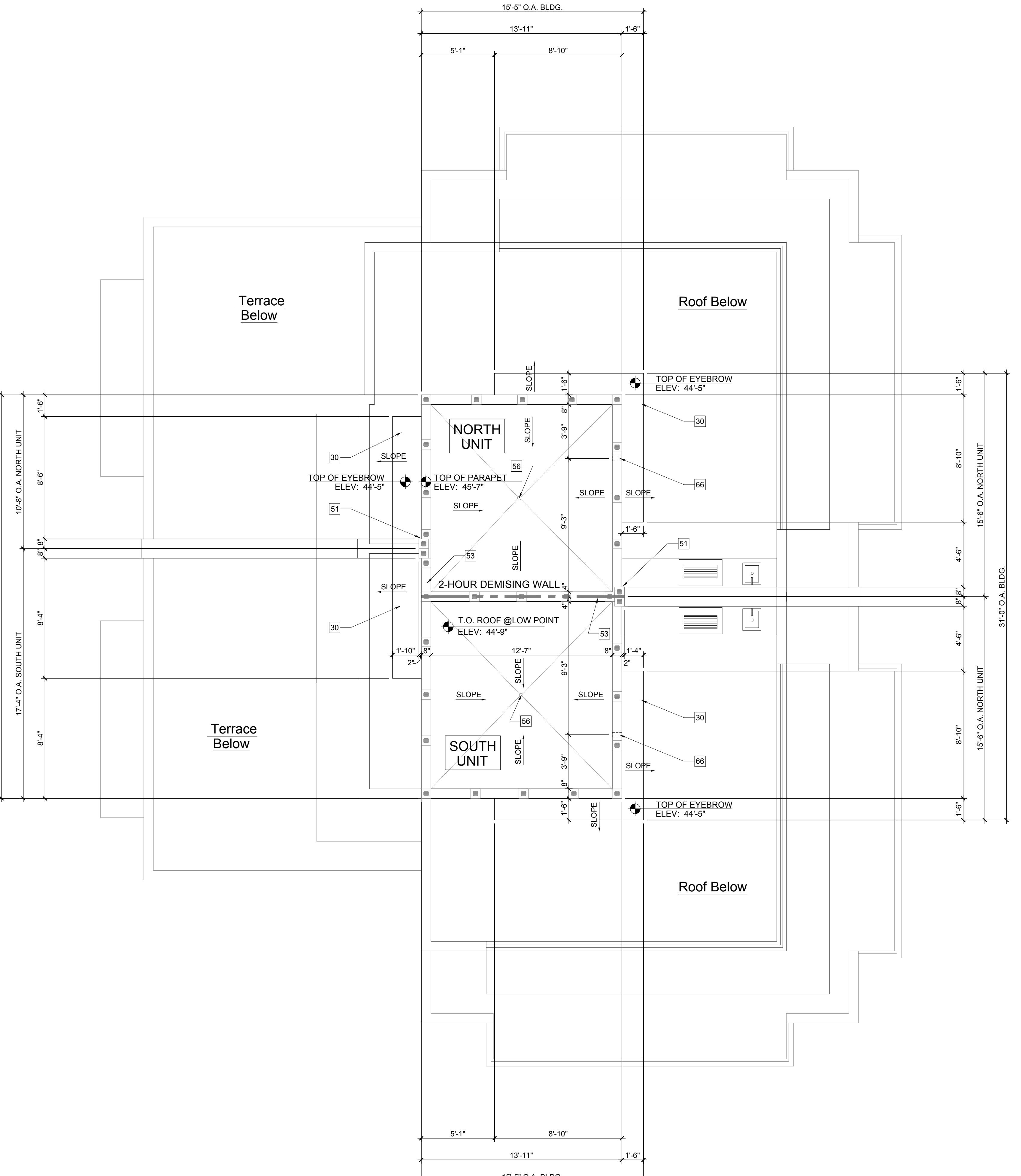
REVISIONS:



A-2

Upper Roof Plan

Scale: 1/4"=1'-0"



KEY NOTES

- 48" REFRIGERATOR/FREEZER (REFER TO I.D. DRAWINGS).
- DOUBLE BOWL SINK w/ DISPOSAL (REFER TO I.D. DRAWINGS).
- 48" GAS RANGE w/ HOOD (REFER TO I.D. DRAWINGS).
- UNDER COUNTER MICROWAVE DRAWER (REFER TO ID DRAWINGS).
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- EL. VACUUM CAR & DRYING STATION (DEDICATED CIRCUIT (G.C. TO COORD. W/ OWNER)
- KITCHEN ISLAND w/ KNIFE BLOCK COUNTER +30" A.F.F. (REFER TO I.D. DWGS.)
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- FLOOR DRAIN. VERIFY LOCATION IN FIELD. SLOPE FLR. TO DRAIN
- CONCRETE STEPS (REFER TO STRUCTURAL DRAWINGS).
- R-11 INSULATION AND TYPE X' GYPSUM BOARD AT GARAGE CEILING.
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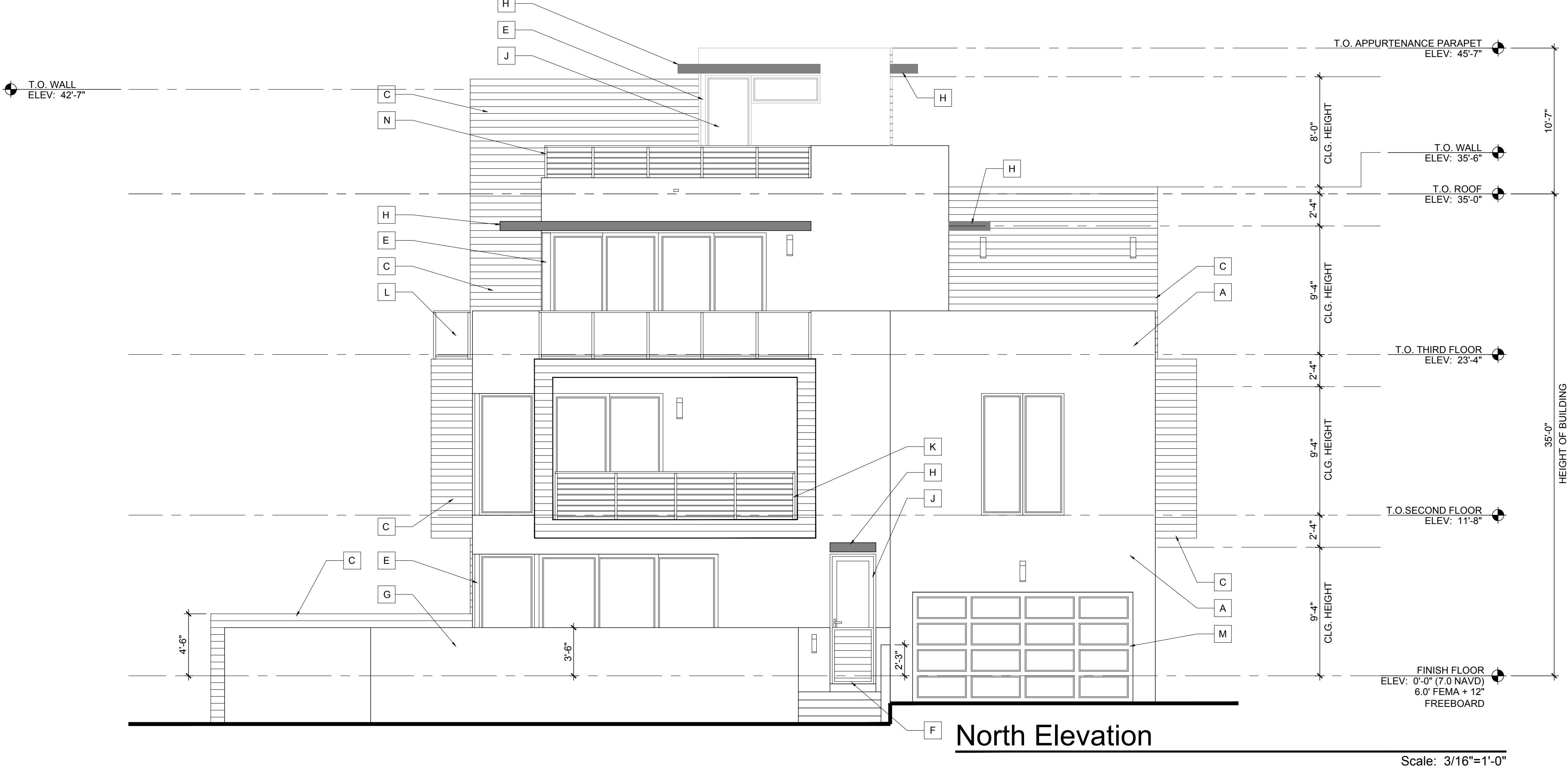
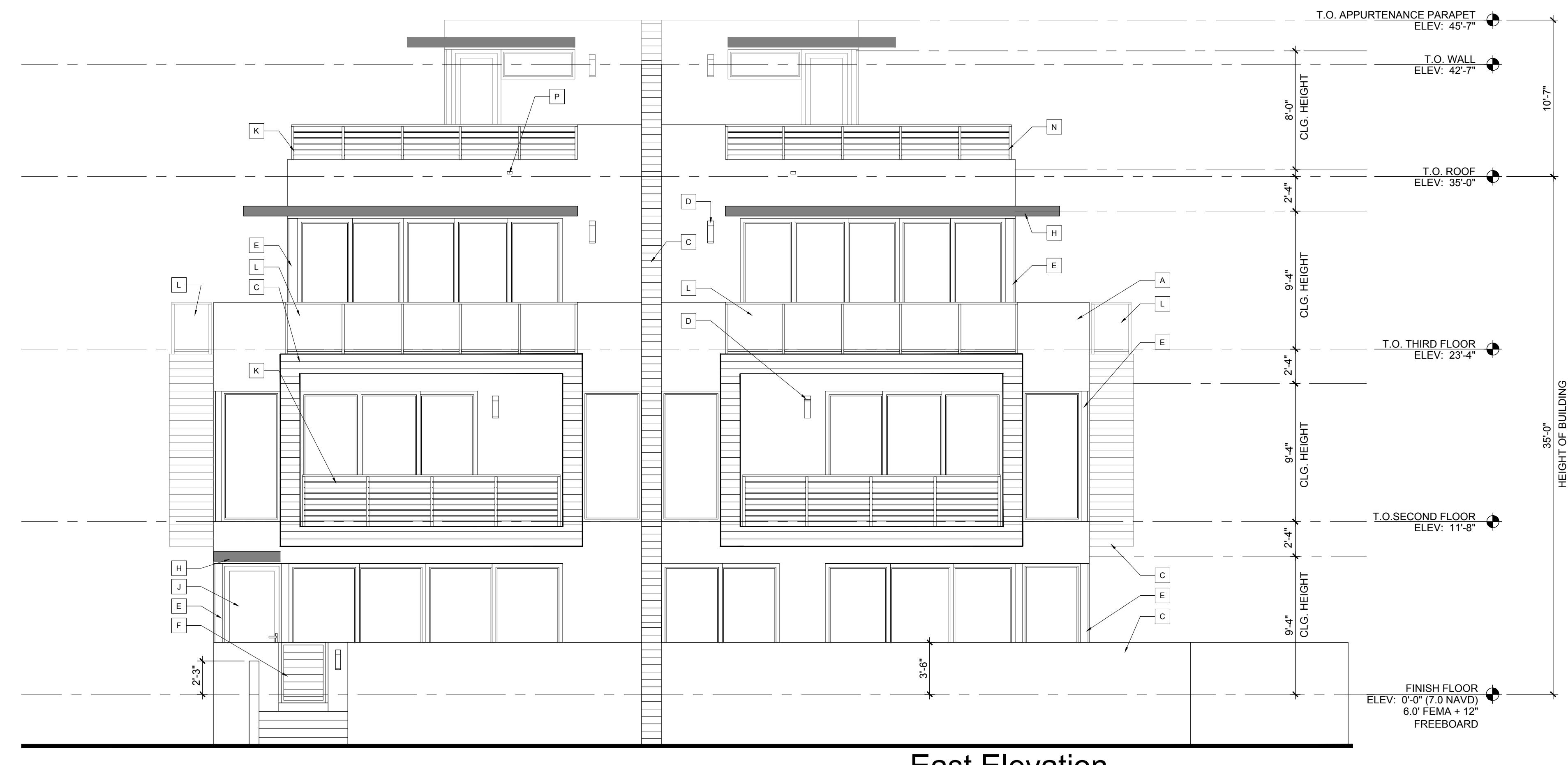
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BALCONIES	565 SQ.FT.
TERRACE	427 SQ.FT.
TOTAL BUILDING FLOOR AREA	4,512 SQ.FT.



ELEVATION NOTES	
<b>A</b>	SMOOTH STUCCO FINISH
<b>B</b>	FLUSH PANEL METAL GARAGE DOOR W/ SILVER FINISH - SEE DOOR SCHEDULE (PROVIDE NOA & SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL)
<b>C</b>	APPLIED PORCELAIN TILE OVER WATER PROOFING ON MASONRY WALL (G.C. TO COORDINATE FINISH SELECTION WITH OWNER).
<b>D</b>	LIGHT FIXTURE (TO BE SELECTED BY OWNER)
<b>E</b>	STRUCTURAL STEEL COLUMN WRAPPED IN BREAK METAL TO MATCH WINDOW/DOOR FRAME
<b>F</b>	ALUMINUM GATES BY SOUTHERN FLORIDA ALUMINUM (OR EQUAL) REFER TO FLOOR PLAN & DETAILS
<b>G</b>	MASONRY GARDEN WALL W/ SMOOTH STUCCO FINISH (REFER TO STRUCTURAL DRAWINGS)
<b>H</b>	CONCRETE ROOF/EYEBROW (REFER TO STRUCTURAL DRAWINGS)
<b>I</b>	IMPACT RESISTANT WINDOW AND DOOR PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL
<b>K</b>	42" HIGH ALUMINUM RAILING SYSTEM W/ 3/4" SQ. HORIZONTAL TUBING W/ RECESSED MOUNTED POSTS (TO REJECT 4" DIA. SPHERE) PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL
<b>L</b>	42" HIGH TEMPERED SAFETY GLASS RAILING SYSTEM W/ ALUMINUM FRAME (TO REJECT 4" DIAMETER SPHERE) PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL
<b>M</b>	RAYNOR GLASS / METAL GARAGE DOOR W/ CLEAR ANODIZED FINISH - SEE DOOR SCHEDULE (PROVIDE NOA & SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL)
<b>N</b>	28" H. ALUM. RAILING SYSTEM W/ 3/4" SQ. HORZ. TUBING W/ RECESSED MOUNTED POSTS ON 14" H. CONC. LOW WALL (PROVIDE SHOP DWGS. FOR ARCHITECT'S REVIEW & APPROVAL).
<b>P</b>	EMERGENCY OVERFLOW SCUPPER (REFER TO DETAIL 2 SHEET A-7.3)

BUILDING COLORS	
WALLS	SHERWIN WILLIAMS PURE WHITE 7005
EYEBROWS	SHERWIN WILLIAMS SKYLINE STEEL 1015
DOORS AND WINDOWS	CLEAR ANODIZED
RAILING	SILVER POWDER COATED

A-3.1

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FLORIDA LICENSURE

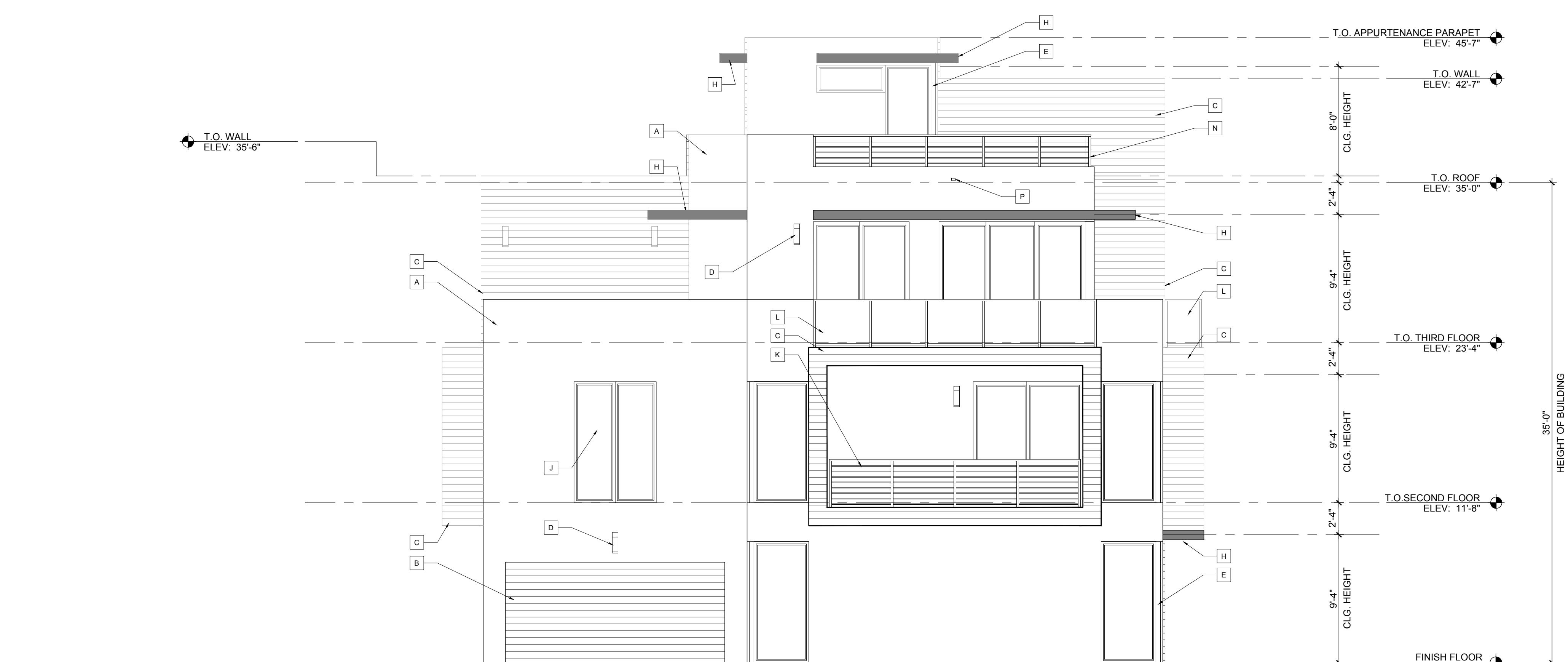
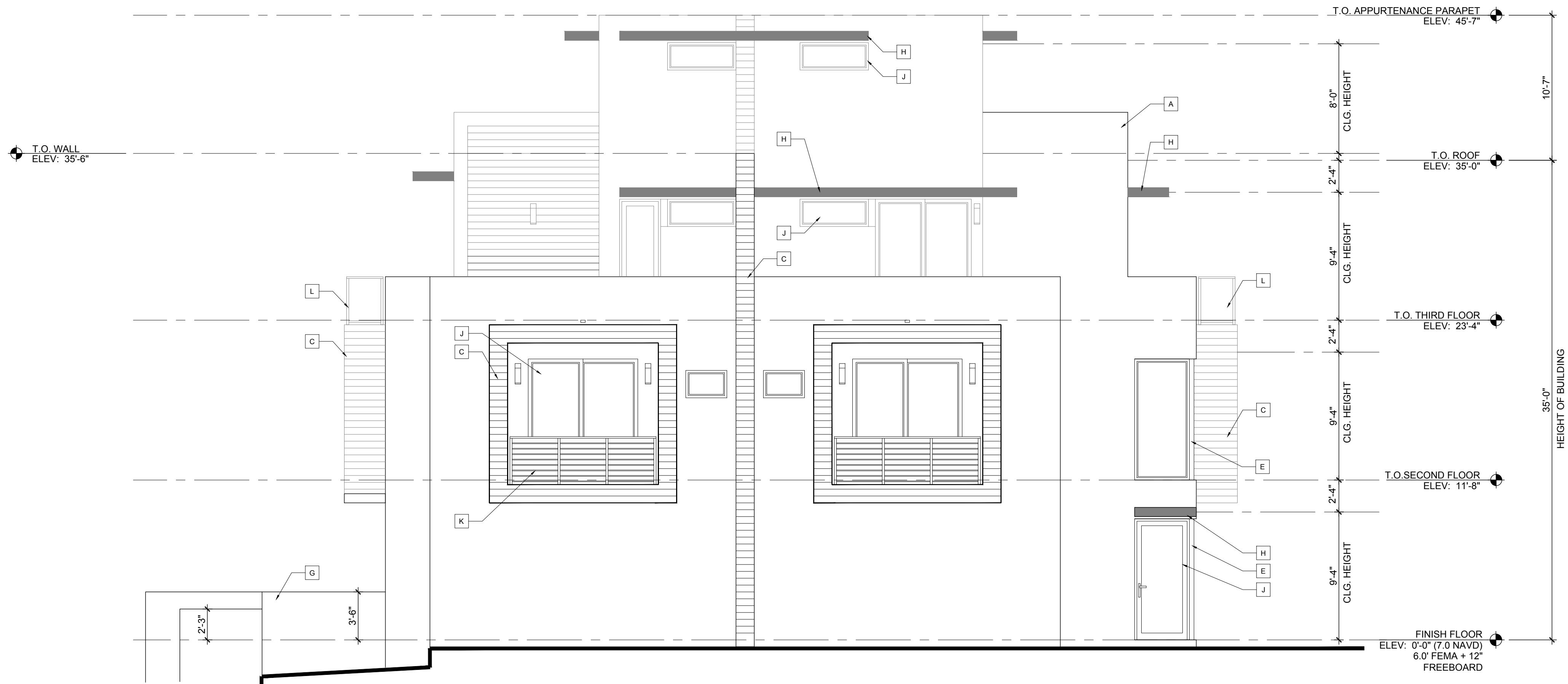
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COMMISSION # 17-058  
DESIGNER: RJ  
DRAWN BY: GsJ  
PLAN REVIEW: RJ

SUBMITTALS:  
CLASS V  
SPECIAL SITE  
PLAN  
SUBMITTAL

12.03.19

REVISIONS:



ELEVATION NOTES	
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EYEBROWS	SHERWIN WILLIAMS SKYLINE STEEL 1015
DOORS AND WINDOWS	CLEAR ANODIZED
RAILING	SILVER POWDER COATED

**A-3.2**

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COMMISSION # 17-058  
DESIGNER: RJ  
DRAWN BY: GsJ  
PLAN REVIEW: RJ

SUBMITTALS:  
CLASS V  
SPECIAL SITE  
PLAN  
SUBMITTAL  
12.03.19

REVISIONS:

WEST AND  
SOUTH  
ELEVATION

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DESIGNER: RJ  
DRAWN BY: GsJ  
PLAN REVIEW: RJ

SUBMITTALS:  
CLASS V  
SPECIAL SITE  
PLAN  
SUBMITTAL 12.03.19

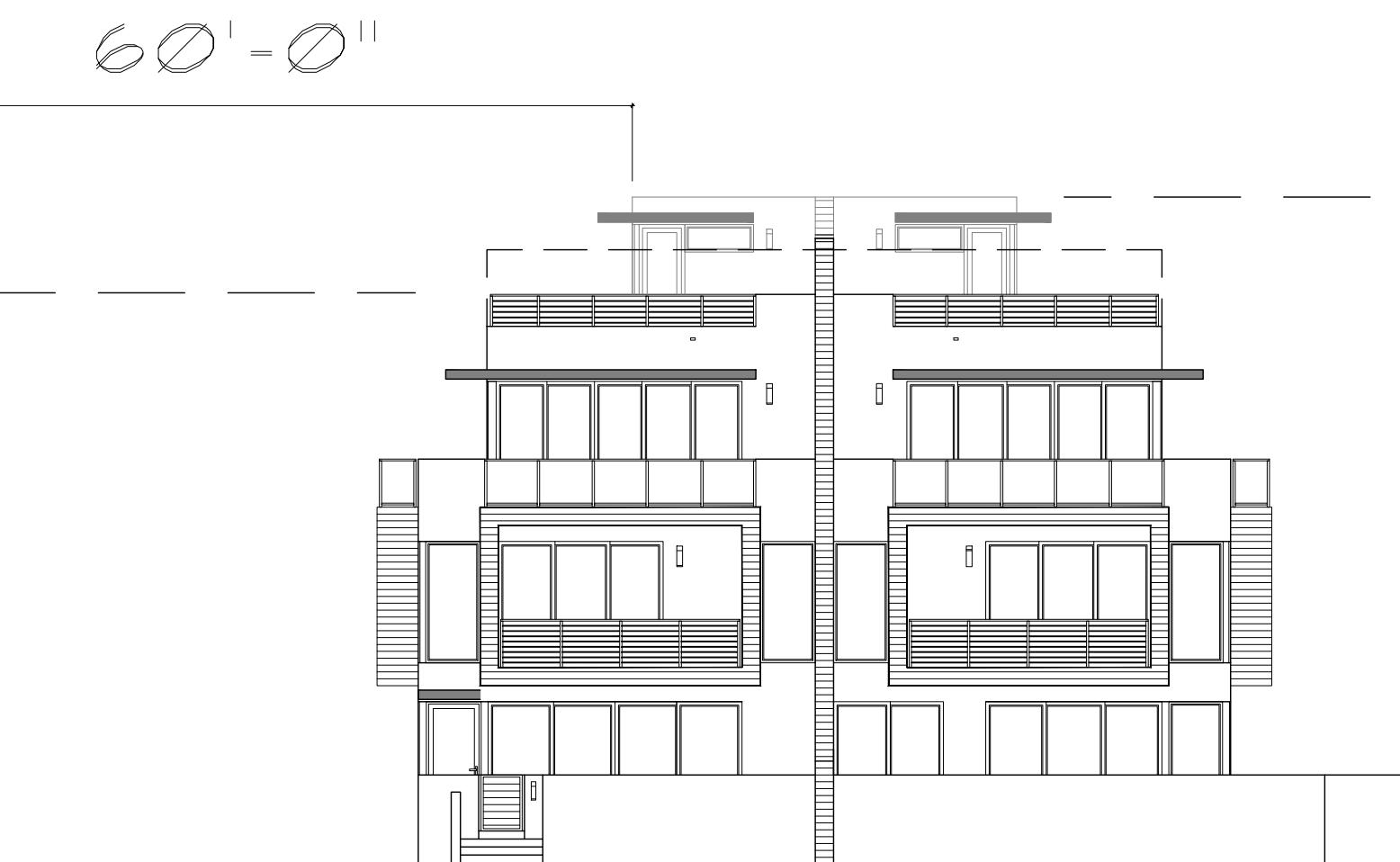
REVISIONS:

MASSING  
STUDY

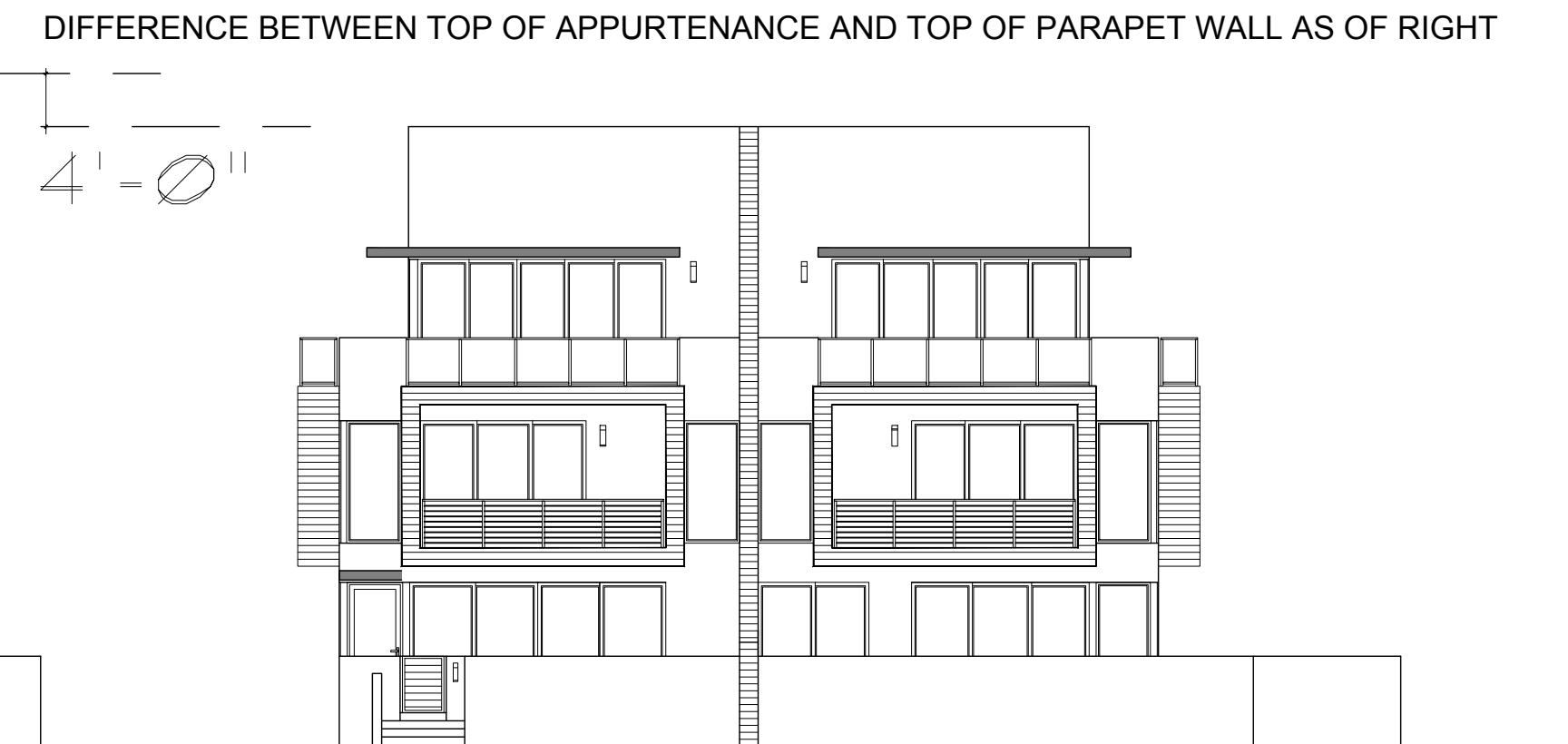
A-3.3



BELLA VISTA CONDOMINIUMS



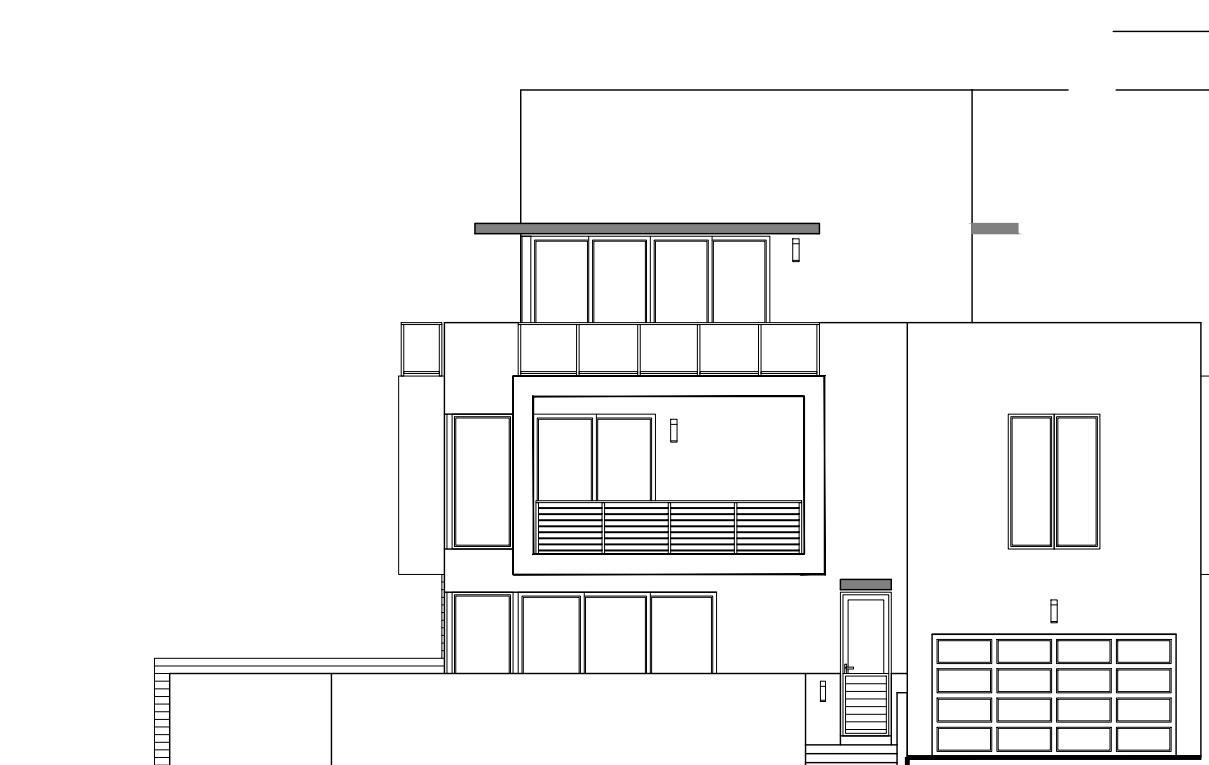
100 GLEASON



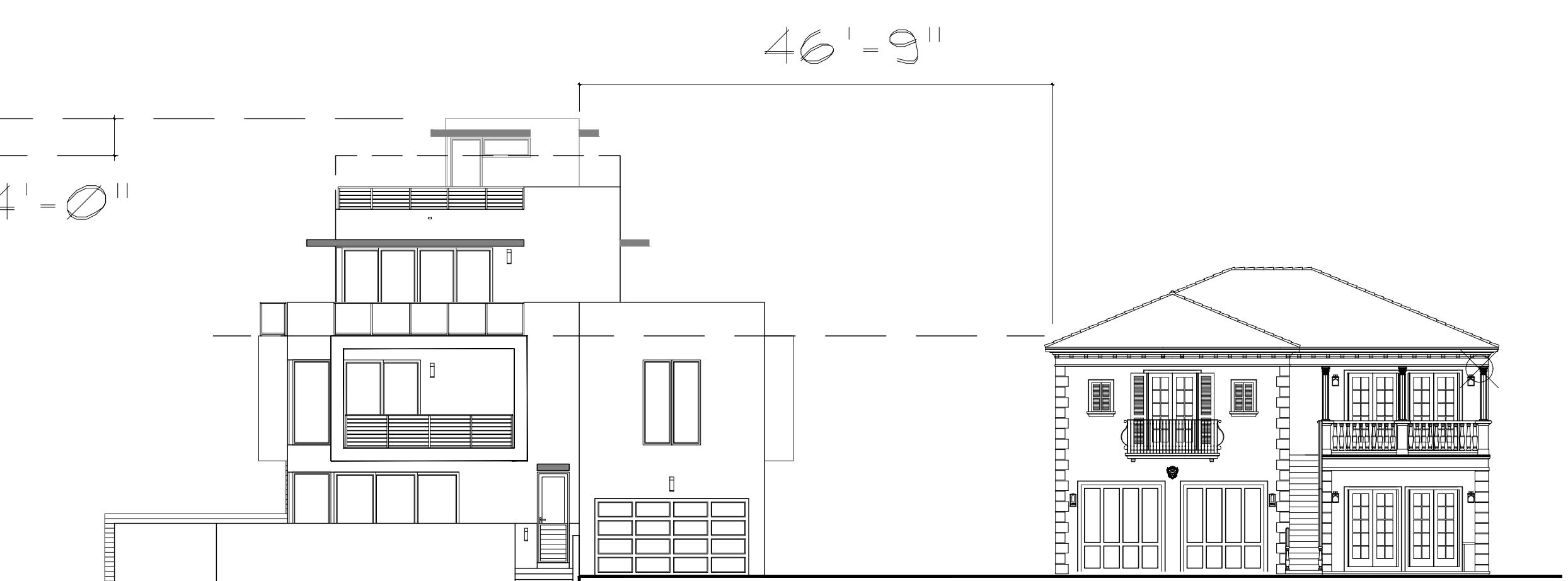
100 GLEASON - AS OF RIGHT - NO SPRAB REQUIRED

## GLEASON STREETSCAPE

DIFFERENCE BETWEEN TOP OF APPURTEANCE AND TOP OF PARAPET WALL AS OF RIGHT



100 GLEASON - AS OF RIGHT - NO SPRAB REQUIRED



100 GLEASON



BELLA VISTA SINGLE FAMILY

## MIRAMAR STREETSCAPE

60'-0"

DIFFERENCE BETWEEN TOP OF APPURTEANCE AND TOP OF PARAPET WALL AS OF RIGHT

4'-0"

46'-0"

60'-0"

DIFFERENCE BETWEEN TOP OF APPURTEANCE AND TOP OF PARAPET WALL AS OF RIGHT

4'-0"

46'-0"

# RICHARD JONES ARCHITECTURE

RICHARD JONES  
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SPECIAL SITE  
PLAN  
SUBMITTAL 12.03.19

REVISIONS:

RENDERING

A-3.4

