

AIA[®] Document A133[®] – 2019 Exhibit A

Guaranteed Maximum Price Amendment

This Amendment No. 2 dated the 1st day of June in the year 2026, is incorporated into the executed AIA Document A133[™]-2019, Standard Form of Agreement Between Owner and Construction Manager as Constructor where the basis of payment is the Cost of the Work Plus a Fee with a Guaranteed Maximum Price dated May 20, 2025 (the "Agreement")

for the following **PROJECT**:
(Name and address or location)

RFQ No. 2024-031, Construction Manager at Risk for Pompey Park Recreation Center
1101 NW 2nd St, Delray Beach, FL 33444
City of Delray Beach Project No. 16-102

THE OWNER:
(Name, legal status, and address)

The City of Delray Beach, Florida
A municipal corporation and a political subdivision of the State of Florida, its successors and assigns
100 NW 1st Avenue
Delray Beach, FL 33444

THE CONSTRUCTION MANAGER:
(Name, legal status, and address)

CORE Construction Services of Florida, LLC
1 E Broward Blvd., #205W & 303W
Fort Lauderdale, FL 33301

TABLE OF ARTICLES

- A.1 GUARANTEED MAXIMUM PRICE
- A.2 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION
- A.3 INFORMATION UPON WHICH AMENDMENT IS BASED

ARTICLE A.1 GUARANTEED MAXIMUM PRICE

§ A.1.1 Guaranteed Maximum Price

Pursuant to Section 3.2.6 of the Agreement, the Owner and Construction Manager hereby amend the Agreement to establish a Guaranteed Maximum Price. As agreed by the Owner and Construction Manager, the Guaranteed Maximum Price is an amount that the Contract Sum shall not exceed. The Contract Sum consists of the Construction Manager's Fee plus the Cost of the Work, as that term is defined in Article 6 of the Agreement. Except as provided herein, all other terms and conditions of the Agreements remain in full force and effect and are hereby confirmed. This Agreement, Amendment No. 1 and this Amendment No. 2 represent the entire understanding between the parties on the issues contained herein, either written or oral, and may only be amended by written instrument signed by both parties.

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

AIA Document A201[™]-2017, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.

Init.

§ A.1.1.1 Inclusive of Preconstruction Services, the Contract Sum is guaranteed by the Construction Manager not to exceed Fifty-Nine Million One Hundred Ninety-Three Thousand Three Hundred and Sixty-Three Dollars (\$ 59,193,363.00), subject to additions and deductions by Change Order as provided in the Contract Documents.

§ A.1.1.2 **Itemized Statement of the Guaranteed Maximum Price.** Provided below is an itemized statement of the Guaranteed Maximum Price organized by trade categories, including allowances; the Construction Manager's contingency; alternates; the Construction Manager's Fee; and other items that comprise the Guaranteed Maximum Price as defined in Section 3.2.1 of the Agreement, except that the Construction Manager's Preconstruction Phase Services Fee included in the Guaranteed Maximum Price for the sum of \$202,871.00 was already paid via invoice on April 3, 2026. (Provide itemized statement below or reference an attachment.)

See attached Exhibit A.0 – GMP Estimate, Dated 06/01/2026

Notwithstanding the itemization above, there is one overall Guaranteed Maximum Price and the individual line items are not separate price maximums.

§ A.1.1.3 The Construction Manager's Fee is set forth in Section 6.1.2 of the Agreement.

§ A.1.1.4 The method of adjustment of the Construction Manager's Fee for changes in the Work is set forth in Section 6.1.3 of the Agreement.

§ A.1.1.5 **Alternates**

§ A.1.1.5.1 Alternates, if any, included in the Guaranteed Maximum Price:

Item

See attached Exhibit A.0 GMP Estimate, dated 6/1/2026.

§ A.1.1.5.2 Intentionally deleted.

(Table deleted)

(Table deleted)

(Paragraphs deleted)

ARTICLE A.2 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ A.2.1 The

(Paragraphs deleted)

Date of Commencement of the Work shall be pursuant to Section 3.3.1.2 of the Agreement and Exhibit A.0 GMP Estimate, dated 6/1/2026.

§ A.2.2 Unless otherwise provided, the Contract Time is the period of time, including authorized adjustments, allotted in the Contract Documents for Substantial Completion of the Work. The Contract Time shall be measured from the Date of Commencement of the Work.

§ A.2.3 **Substantial Completion**

§ A.2.3.1 Subject to adjustments of the Contract Time as provided in the Contract Documents, the Construction Manager shall achieve Substantial Completion of the entire Work:

(Check one of the following boxes and complete the necessary information.)

Phase I Interim Milestone: Not later than Six Hundred Fifty-Four (654) calendar days from the Date of Commencement of the Work.

Phase 2 Interim Milestone: Not later than Nine Hundred Eighteen (918) calendar days from the Date of Commencement of the Work.

§ A.2.3.2 Subject to adjustments of the Contract Time as provided in the Contract Documents, if portions of the Work are to be completed prior to Substantial Completion of the entire Work, the Construction Manager shall achieve Substantial Completion of such portions by the following dates:

Portion of Work
See Section A.2.3.1 above

Substantial Completion Date
N/A

§ A.2.3.3 If the Construction Manager fails to achieve Substantial Completion as provided in this Section A.2.3, liquidated damages, if any, shall be assessed as set forth in Section 6.1.6 of the Agreement.

ARTICLE A.3 INFORMATION UPON WHICH AMENDMENT IS BASED

§ A.3.1 The Guaranteed Maximum Price and Contract Time set forth in this Amendment are based on the Contract Documents and the following:

§ A.3.1.1 The following Supplementary and other Conditions of the Contract:

Document	Title	Date	Pages
N/A			

§ A.3.1.2 The following Specifications:
(Either list the Specifications here, or refer to an exhibit attached to this Amendment.)

See attached Exhibit A.0 GMP Estimate, dated 6/1/2026.
(Table deleted)

§ A.3.1.3 The following Drawings:
(Either list the Drawings here, or refer to an exhibit attached to this Amendment.)

See attached Exhibit A.0 GMP Estimate, dated 6/1/2026.
(Table deleted)

§ A.3.1.4 The Sustainability Plan, if any:
(If the Owner identified a Sustainable Objective in the Owner's Criteria, identify the document or documents that comprise the Sustainability Plan by title, date and number of pages, and include other identifying information. The Sustainability Plan identifies and describes the Sustainable Objective; the targeted Sustainable Measures; implementation strategies selected to achieve the Sustainable Measures; the Owner's and Construction Manager's roles and responsibilities associated with achieving the Sustainable Measures; the specific details about design reviews, testing or metrics to verify achievement of each Sustainable Measure; and the Sustainability Documentation required for the Project, as those terms are defined in Exhibit C to the Agreement.)

Title	Date	Pages
N/A		

Other identifying information:

§ A.3.1.5
(Paragraphs deleted)
Intentionally deleted.

§ A.3.1.6 Allowances, Assumptions and Clarifications, if any, upon which the Guaranteed Maximum Price is based:
(Identify each assumption and clarification.)

See attached Exhibit A.0 GMP Estimate, dated 6/1/2026.

§ A.3.1.7 The Guaranteed Maximum Price is based upon the following other documents and information:
(List any other documents or information here, or refer to an exhibit attached to this Amendment.)

See attached Exhibit A.0 GMP Estimate, dated 6/1/2026

§ A.3.1.8 The AIA Document A133 – 2019 the following sections are revised as provided below: :

TABLE OF ARTICLES

Init.

LIST OF EXHIBITS

Exhibit A – GUARANTEED MAXIMUM PRICE AMENDMENT 6/1/2026

Exhibit A.0 – Guaranteed Maximum Price Estimate 06/01/2026

- Exhibit A.1 – Accepted GMP Schedule – Included in A.0
- Exhibit A.2 – Initial Schedule of Values – Included in A.0
- Exhibit A.3 – Construction Manager’s Key Personnel – Included in A.0

EXHIBIT B – INSURANCE AND BONDS*

EXHIBIT B.1 – CONSTRUCTION MANAGER INSURANCE*

EXHIBIT C – WARRANTY FORMS *

Exhibit D – HURRICANE PREPAREDNESS PLAN 6/1/2026

Exhibit E – PROJECT SAFETY PLAN 6/1/2026

EXHIBIT F – PHASE 1 SCOPE OF SERVICES (PRE-CONSTRUCTION) *

EXHIBIT G – RFQ NO. 2024-031*

Exhibit H – QUALITY ASSURANCE PLAN 6/1/2026

EXHIBIT I – LIEN WAIVER AND RELEASE FORMS*

*Included in the initial Agreement dated 05/20/2025.

§ 3.2 Phase 2: Construction Services, Guaranteed Maximum Price Proposal, and Contract Time

§ 3.2.1 At a time to be mutually agreed upon by the Owner and the Construction Manager, the Construction Manager, in consultation with the A/E Professional and Owner’s Representative, shall prepare a Guaranteed Maximum Price proposal, supported by all subcontractor and material supplier costing documentation with quantities, for the Owner’s and A/E Professional and/or Owner’s Representative’s review and the Owner’s acceptance. The Guaranteed Maximum Price in the proposal shall be the sum of the contract price elements as follows:

A. Cost of the Work	\$44,124,403
B. General Conditions, including Management Services	\$10,003,492
C. Construction Manager’s Fee (Not to Exceed 4.5% of A+B) (described in Section 3.2.1.1)	\$2,435,755*
D. Construction Manager’s Contingency (described in Section 3.2.1.3)	\$1,434,043
E. Document Completion/Owner Contingency (described in Section 3.2.1.2)	\$882,488
F. Escalation Contingency(described in Section 3.2.1.5)	\$110,311
G. Construction Manager’s Preconstruction Phase Services (Exhibit F)	\$202,871**

*Plus any Fee on dollars paid from Document Completion/Owner Contingency upon Owner approval. And excludes Fee on subcontracted Management Services.

**Actual amount paid for Preconstruction Phase Services.

= **Guaranteed Maximum Price (GMP)** **\$ 59,193,363**

§ 3.2.1.1 Construction Manager’s Fee

The Construction Manager’s Fee is the stated amount to be paid to Construction Manager for the services rendered to the Owner pursuant to Section 3.2 of the Agreement. The Construction Manager’s Fee shall be increased by the distribution of the Construction Manager’s Contingency to other Price Elements within the Guaranteed Maximum Price. The Owner shall increase the Fee when the use of the Document Completion/Owner Contingency increases the scope of the Work, through no fault of Construction Manager, for work unanticipated within the original Guaranteed Maximum Price. All Owner approved increases to the Construction Manager’s Fee shall be documented on the same Contract Price Element Adjustment Memorandum (CPEAM)* prepared for the related transfer of Document Completion Contingency funds to the other Price Elements. Increases to the Construction Manager’s Fee shall be limited to 4.5% as defined by Section 6.3.5.

*Contract Price Element Adjustment Memorandum (CPEAM) is the document issued by the Owner to memorialize the reallocation of sums between contract price elements included in the Contract Sum.

§ 3.3.1.2 The Construction Phase shall commence 15 days after Construction Manager's receipt of the latter of the following ("Commencement Date") and the Contract Time shall be measured starting from the Commencement Date:

1. Fully executed Agreement including the GMP Amendment
2. Issuance of Purchase Order by the Owner.
3. Issuance of all Permits required to commence Work and maintain progress without delaying the critical path of the Project.
4. Owner's Notice to Proceed with Construction.
5. Access to the Project site and any off-site Work.

§ 6.1.2 The Construction Manager's Fee:

(State a lump sum, percentage of Cost of the Work or other provision for determining the Construction Manager's Fee.)

[4.5%] of the Cost of the Work and General Conditions.

§ 6.1.3 The method of adjustment of the Construction Manager's Fee for changes in the Work:

For approved changes in the Work, the rate of the Construction Manager's Fee shall not be adjusted and shall remain equal to [4.5%] of the Cost of the Work directly attributable to any such change that is incurred or paid by the Construction Manager during performance of the Work, plus increases in insurance costs and bond costs (if any) based on the stipulated rates set forth in Article 7, below. Consequently, the total amount earned by the Construction Manager as the Construction Manager's Fee may increase, but the basis of the Construction Manager's Fee shall always remain [4.5%] of the Cost of the Work that is actually incurred by the Construction Manager. A deductive Change Order shall reduce the GMP by the Cost of the Work for the Change in the Work, but any deductions associated with Owner's direct purchases of materials or equipment shall not reduce the basis to which Construction Manager's fee, insurance, and bond percentage are applied.

§ 6.1.4 Limitations, if any, on a Subcontractor's overhead and profit for increases in the cost of its portion of the Work:

In the event Owner approves and executes a Change Order or Construction Change Directive pursuant to the terms and conditions of the Contract Documents, the maximum cumulative mark-up for overhead and profit to all Subcontractors, if any, for such change Work shall in no event exceed [10%] of the actual Cost of the Work associated with such Change Order or Construction Change Directive, as the case may be.

§ 6.1.5 Rental rates for Construction Manager-owned equipment shall not exceed [85%] of the standard rental rate paid at the place of the Project.

§ 15.2 The following documents comprise the Agreement:

1. AIA Document A133™-2019, Modified Standard Form of Agreement Between Owner and Construction Manager as Constructor where the basis of payment is the Cost of the Work Plus a Fee with a Guaranteed Maximum Price
2. AIA Document A133™-2019, Exhibit A, Guaranteed Maximum Price Amendment, if executed
3. AIA Document A133™-2019, Exhibit B, Insurance and Bonds
4. Exhibit B.1, Construction Manager Provided Insurance
5. AIA Document A201™-2017, Modified General Conditions of the Contract for Construction
6. Other documents, if any, listed below:

(List here any additional documents that are intended to form part of the Contract Documents. AIA Document A201-2017 provides that the advertisement or invitation to bid, Instructions to Bidders, sample forms, the Construction Manager's bid or proposal, portions of Addenda relating to bidding or proposal requirements, and other information furnished by the Owner in anticipation of receiving bids or proposals, are not part of the Contract Documents unless enumerated in this Agreement. Any such documents should be listed here only if intended to be part of the Contract Documents.)

Exhibit A – GUARANTEED MAXIMUM PRICE AMENDMENT 6/1/2026

Exhibit A.0 – Guaranteed Maximum Price Estimate 06/01/2026

Exhibit A.1 – Accepted GMP Schedule – Included in A.0

Exhibit A.2 – Initial Schedule of Values – Included in A.0

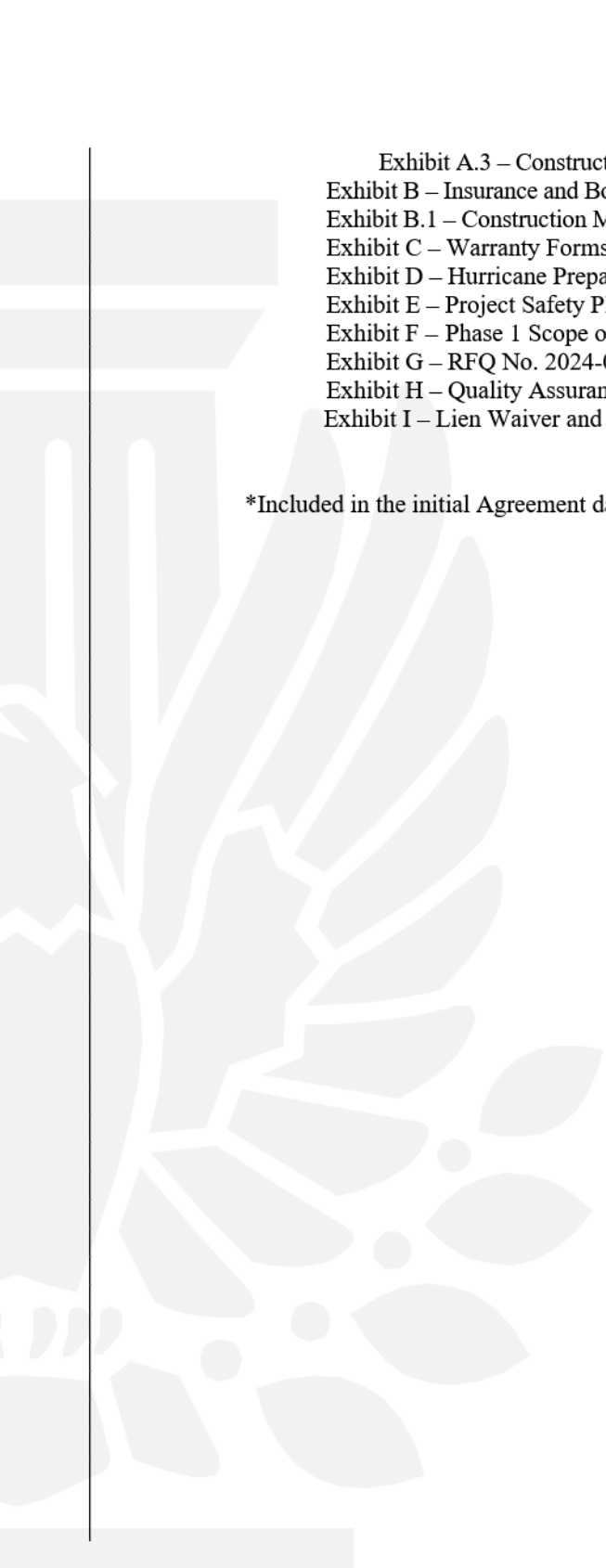


Exhibit A.3 – Construction Manager’s Key Personnel – Included in A.0
Exhibit B – Insurance and Bonds
Exhibit B.1 – Construction Manager Insurance
Exhibit C – Warranty Forms
Exhibit D – Hurricane Preparedness Plan - 06/01/2026
Exhibit E – Project Safety Plan - 06/01/2026
Exhibit F – Phase 1 Scope of Services (Preconstruction)*
Exhibit G – RFQ No. 2024-031
Exhibit H – Quality Assurance Plan - 06/01/2026
Exhibit I – Lien Waiver and Release Forms

*Included in the initial Agreement dated 05/20/2025.

This Amendment to the Agreement entered into as of the day and year first written above.



OWNER *(Signature)*

CONSTRUCTION MANAGER *(Signature)*

(Printed name and title)

Brent R. Elliott, Vice President
(Printed name and title)

Init.

/

Pompey Park Recreation Center

EXHIBIT A.0

GMP ESTIMATE

06.01.2026

CORE

HATCHER
CONSTRUCTION & DEVELOPMENT

RG **RANDOLPH**
CONSTRUCTION GROUP

www.coreconstruction.com



Pompey Park Recreation Center

GMP ESTIMATE

06.01.2026



TABLE OF CONTENTS

1	SUMMARY ESTIMATE
2	ALTERNATES SUMMARY
3	GENERAL CONDITIONS
4	GENERAL REQUIREMENTS
5	BASIS OF ESTIMATE (CLARIFICATIONS)
6	CONSTRUCTION SCHEDULE
7	PHASING PLAN/LOGISTICS
8	ENUMERATION OF DOCUMENTS

Pompey Park Recreation Center

GMP ESTIMATE

06.01.2026



1

SUMMARY ESTIMATE

Exhibit A.2 – Initial Schedule of Values



Pompey Park Recreation Center
 GMP - 06/01/2026
 LOCATION: Delray Beach, FL
 ARCHITECT: Justin Architects
 DURATION(mnths): 29
 SQUARE FOOTAGE: 54,191

#	Description		Base Price
EXISTING CONDITIONS			
1	DEMOLITION		\$323,195
1B - SITE DEVELOPMENT			
6	SITE DEVELOPMENT PACKAGE		\$4,739,564
24	SURVEYING		\$102,560
1C - LANDSCAPING & SITE AMENITIES			
26	SWIMMING POOLS		\$2,936,398
27	FENCES & GATES		\$842,984
29	SITE FURNISHINGS		\$162,049
30	ATHLETIC EQUIPMENT - SITE		\$202,050
31	LANDSCAPING / IRRIGATION		\$1,578,621
33	PLAY COURTS	(SEE LINE #34)	\$0
34	ATHLETIC FIELDS & PLAY COURTS		\$2,233,148
35	SHADE STRUCTURES		\$187,426
1D - BUILDING STRUCTURE			
36	CONCRETE & MASONRY		\$5,090,700
41	MASONRY	(SEE LINE #36)	\$0
42	STRUCTURAL STEEL		\$1,637,959
1F - BUILDING ENVELOPE			
59	WATERPROOFING		\$131,840
61	SPRAY INSULATION		\$57,000
62	SPRAY FIREPROOFING		\$212,000
63	ROOFING & SHEET METAL		\$829,300
70	STUCCO		\$609,886
1G - DOORS & WINDOWS			
72	DOORS, FRAMES & HW		\$531,877
77	ALUMINUM STOREFRONTS & CURTAIN WALL		\$1,448,108
1H - FINISHES			
82	CABINETS & COUNTERTOPS		\$76,275
83	METAL FRAMING & DRYWALL		\$970,219
89	ACOUSTICAL CEILINGS & WALL PANELS		\$585,480
91	FLOORING		\$666,696
92	WOOD FLOORING		\$275,605
96	PAINTING		\$233,096
97	FINAL CLEANING		\$36,450
1I - SPECIALTIES			
99	GENERAL SPECIALTIES		\$124,545
103	OPERABLE PARTITIONS		\$63,000
110	FLAGPOLES		\$80,697
111	SIGNAGE		\$87,128
112	LOCKERS		\$18,864
120	LOUVERS & EQUIPMENT SCREENS		\$489,842
122	SUNSHADES - FINS		\$691,102
123	ALUMINUM CANOPIES		\$119,599
1J - EQUIPMENT & FURNISHINGS			
126	ATHLETIC EQUIP.		\$180,517
133	FOOD SERVICE EQUIP.		\$245,079
135	PLAYGROUND EQUIPMENT		\$1,329,399
144	TELESCOPIC SEATING		\$166,415
145	FURNITURE		\$664,182
1K - VERTICAL CONVEYANCE			
148	ELEVATORS		\$386,170
1L - MEP SYSTEMS			
151	FIRE SPRINKLER SYSTEM		\$271,923
152	PLUMBING		\$1,507,169
153	HVAC		\$2,546,782
155	ELECTRICAL & SPORTS LIGHTING		\$9,727,776

Subtotal			\$45,400,675
-----------------	--	--	---------------------

GMP Alternates and Other VE Considerations			SUB TOTAL
GMP Alternates (See section 2 of GMP Submission)			-\$895,359
Other VE Considerations (See section 2 of GMP Submission)			-\$380,913

Subtotal (with Alternates and VE)			\$44,124,403
--	--	--	---------------------

GENERAL CONDITIONS & REQUIREMENTS			SUB TOTAL
General Conditions			\$5,085,600
General Requirements			\$1,330,184
Reach Group			\$319,549

Subtotal (with General Conditions)			\$50,859,736
---	--	--	---------------------

RATE	INSURANCE, BONDS, AND BUILDERS RISK	BASED ON	SUB TOTAL
1.40%	General Liability	\$58,990,492	\$825,867
1.75%	Subcontractor Default Insurance	\$45,400,675	\$794,512
1.375%	Payment and Performance Bond	\$58,990,492	\$811,119
	Builders Risk Insurance		\$836,661

Subtotal (with GC's & Insurance)			\$54,127,895
---	--	--	---------------------

RATE	CONTRACTOR'S FEE	BASED ON	SUB TOTAL
4.50%	Construction Manager At Risk Fee	\$54,127,895	\$2,435,755

Subtotal (GC's, Insurance & Fee)			\$56,563,650
---	--	--	---------------------

RATE	CM CONTINGENCIES	BASED ON	SUB TOTAL
3.25%	Construction Manager's Contingency	\$44,124,403	\$1,434,043
0.25%	Cost Escalation Contingency	\$44,124,403	\$110,311

Estimate Total			\$58,108,004
-----------------------	--	--	---------------------

RATE	OWNER'S CONTINGENCIES	BASED ON	SUB TOTAL
2.00%	Owner's Contingency	\$44,124,403	\$882,488

Construction GMP Estimate with Owner Contingency			\$58,990,492
---	--	--	---------------------

RATE	PRECONSTRUCTION SERVICES	BASED ON	SUB TOTAL
LS	Preconstruction Services	Lump Sum	\$202,871

Total Project GMP Estimate (Construction & Precon)			\$59,193,363
---	--	--	---------------------

Pompey Park Recreation Center

GMP ESTIMATE

06.01.2026



2

ALTERNATES SUMMARY

CORE POMPEY PARK - GMP ALTERNATES & OTHER VE CONSIDERATIONS

TOTAL - ALL SAVINGS FROM ALTERNATES AND OTHER VE CONSIDERATIONS	-\$1,276,272	
1 - GMP ALTERNATES	-\$895,359	
GMP ALTERNATES PACKAGE DATED NOVEMBER 24, 2025 FROM JUSTIN ARCHITECTS	-\$895,359	
ALT #1 ELIMINATE FITNESS EQUIPMENT AREA	-\$206,542	ACCEPTED
ALT #2 ELIMINATE NORTHEAST MONUMENT SIGN	-\$43,843	ACCEPTED
ALT #3 MODIFY SPORTS LIGHTING DESIGN	-\$50,000	ACCEPTED
ALT #4 ELIMINATE BULLPENS AT ADULT FIELD	-\$5,900	ACCEPTED
ALT #5 ELIMINATE HALF OF BATTING CAGES	-\$50,012	ACCEPTED
ALT #6 REMOVAL OF PERGOLA	-\$88,426	ACCEPTED
ALT #7 ELIMINATE ONE BASKETBALL HALF COURT	-\$34,485	ACCEPTED
ALT #8 ELIMINATE ALL WORK AT TENNIS COURTS	-\$31,373	ACCEPTED
ALT #9 CHANGE ACOUSTICAL CEILING ACT-1 TO ARMSTRONG CALLA	-\$13,407	ACCEPTED
ALT #10 CARLISLE SURE-FLEX 60 MIL KEE HP IN LIEU OF FIBERTITE 50 MIL KEE ROOFING	-\$17,200	ACCEPTED
ALT #11 INSULATED PVC IN LIEU OF CAST IRON SW PIPING ABOVE GROUND		NO SAVINGS
ALT #12 4" THICK STANDARD BROOM FINISH IN LIEU OF 5" THICK SCORED CONCRETE WITH A ROCK SALT FINISH	-\$40,463	ACCEPTED
ALT #13 CHANGE ACOUSTICAL CEILING ACT-2 TO ARMSTRONG CALLA #2820 (ALL LIGHTS AT THESE LOCATIONS MUST CHANGE TO 2X2)	-\$50,000	ACCEPTED
ALT #14 UTILIZE LESS EXPENSIVE TIMING SYSTEM AT COMPETITION POOL	-\$135,663	ACCEPTED
ALT #15 INSULATED PVC IN LIEU OF CAST IRON SANITARY SEWER PIPING ABOVE GRADE		NO SAVINGS
ALT #16 JOHN MANVILLE PVC 60 MIL IN LIEU OF FIBERTITE 50 MIL KEE ROOFING		NO SAVINGS
ALT #17 CHANGE SPECIFIED GLASS FABRICATOR FROM VIRACON TO VITRO AND ALUMINUM STOREFRONT FROM YKK TO ENVIALUM		NO SAVINGS
ALT #18 MODIFY INTERIOR LIGHTING FIXTURES	-\$1,500	ACCEPTED
ALT #19 SIMPLIFY LANDSCAPE PACKAGE	-\$12,998	ACCEPTED
ALT #20 CHANGE ACOUSTICAL BAFFLE CEILING ACT-3 TO ARMSTRONG SOUNDSCAPE BAFFLES	-\$44,000	ACCEPTED
ALT #21 FIBERTITE 45 MIL KEE ROOFING IN LIEU OF FIBERTITE 50 MIL KEE ROOFING		NO SAVINGS
ALT #22 REDUCE GYMNASIUM SCOREBOARDS FROM FOUR TO TWO AT GYMNASIUM	-\$15,300	ACCEPTED
ALT #23 CHANGE PLAYGROUND SURFACING FROM POURED IN PLACE TO SYNTHETIC TURF	-\$24,047	ACCEPTED
ALT #24 PAC-CLAD SNAP-CLAD METAL ROOF PANEL IN LIEU OF GARLAND MECHANICALLY SEAMED METAL ROOF PANEL		NO SAVINGS
ALT #25 INSTALL 5/8" HIGH ABUSE GYPSUM WALL BOARD UP TO 8' AFF IN LIEU OF 5/8" IMPACT RESISTANT GYPSUM WALL BOARD	-\$1,500	ACCEPTED
ALT #26 CPVC IN LIEU OF COPPER DOMESTIC WATER LINES ABOVE GRADE	-\$18,900	ACCEPTED
ALT #27 CHANGE LUXURY VINYL TILE LVT-1 TO MILLIKEN FORTIFIED FOUNDATIONS OR MILLIKEN LOCAL MEASURE		NO SAVINGS
ALT #28 PVC IN LIEU OF COPPER CONDENSATE PIPING ABOVE GRADE		NO SAVINGS
ALT #29 EXTENDED COVERAGE FIRE SUPPRESSION HEADS IN LIEU OF STANDARD HEADS		NO SAVINGS
ALT #30 FLEXIBLE FIRE SUPPRESSION DROPS IN LIEU OF RIGID DROPS		NO SAVINGS
ALT #31 REMOVAL OF FIRE PROTECTION SYSTEM LOCATED IN THE CABANAS, SHELTER & RESTROOMS	-\$9,800	ACCEPTED
2 - OTHER CONSIDERATIONS	-\$380,913	
TIFTUF SOD IN LIEU OF 419 BERMUDA SOD	-\$19,000	ACCEPTED
REMOVAL OF SAND UNDER INFIELDS AND WARNING TRACKS	-\$198,385	ACCEPTED
REPLACE HOME PLACE WITH HP-200 Home Plates with Anchors by Jaypro Sports	-\$1,250	ACCEPTED
REPLACE PITCHING RUBBERS WITH PR-624 Pitching Rubbers by Jaypro Sports	-\$1,900	ACCEPTED
REPLACE BASES WITH BB-500 Bases by Jaypro Sports	-\$1,450	ACCEPTED
REPLACE FOUL POLES WITH BBCFP-20 Foul Poles by Jaypro Sports	-\$17,200	ACCEPTED
REPLACE BASKETBALL BACKSTOPS WITH 996-FABT-DR Basketball Backstops by Jaypro Sports	-\$15,400	ACCEPTED
REPLACE STAINLESS STEEL FLAGPOLES WITH ALUMINUM POLES	-\$26,328	ACCEPTED
REMOVAL OF COST LOADED SCHEDULE REQUIREMENTS (See Basis of Estimate Clarification)	-\$100,000	ACCEPTED
ALTERNATE 'BALLFABRICS' BASEBALL NETTING MANUFACTURER (Not included in GMP - Potential Savings of \$30,204)		PENDING
REMOVE WARNING TRACKS		REJECTED
REMOVE REQUIREMENT FOR CANADIAN PEAT MOSS IN ROOF ZONE FOR BASEBALL SOD		REJECTED
ALTERNATIVE SHADE STRUCTURE MANUFACTURER BY HOOVER		REJECTED
PORCELAIN TILE AT WET WALLS ONLY		REJECTED
LOCATE SPOILS ONSITE IN LIEU OF HAULING OFFSITE		REJECTED
REPLACE BAT RACKS WITH PBR-14 Bat Racks by Jaypro Sports		REJECTED
ALTERNATE MANUFACTURER; LOCKERS - ASI STORAGE; TOILET ACCESSORIES - AMERICAN SPECIALTIES; TOILET PARTITIONS - GLOBAL		REJECTED
REMOVE NETTING FROM OUTFIELD FENCE		REJECTED
REMOVE TREE CELLS		REJECTED
REMOVE FENCING FOR CIVIC LAWN AREA		REJECTED
REDUCE STUCCO QTY BY 50% AND REPLACE WITH TEXTURED PAINT		REJECTED
ALTERNATE PLAYGROUND PACKAGE - FLORIDA RECREATIONAL / BURKE PRODUCTS		REJECTED
ALTERNATE FURNITURE PACKAGE		REJECTED
REMOVE SUN SCREENS		REJECTED
DO NOT RESKIN LITTLE LEAGUE FIELD OR TEDDY'S FIELD		REJECTED
ALTERNATE PLAYGROUND PACKAGE - PREMIER RECREATION EQUIPMENT		REJECTED
REDUCE THE SIZE OF THE POOL DECK & COATING		REJECTED
FF&E BY OWNER		REJECTED
DEDUCT TO USE 1/4 TEMPERED GLASS FOR INTERIOR APPLICATIONS		REJECTED

Pompey Park Recreation Center

GMP ESTIMATE

06.01.2026



3

GENERAL CONDITIONS

Exhibit A.3 – Construction Manager’s Key Personnel



City of Delray Beach Pompey Park
GENERAL CONDITIONS - Staffing and Support

Schedule

Weeks	126
Months	29.00
Months (including close out)	32.00

Description	Qty	Unit	Unit Cost	Sub-Total
MANAGEMENT & SUPERVISION				\$ 4,887,816
PX - CORE	952	HRS	238	226,576
PX - Randolph	519	HRS	200	103,800
PX - Hatcher	519	HRS	200	103,800
Sr Project Manager	4,436	HRS	127	563,372
Asst Project Manager	5,074	HRS	102	517,548
Project Engineer	4,988	HRS	76	379,088
Senior Superintendent	4,988	HRS	161	803,068
Superintendent 1 - Rec center	3,700	HRS	122	451,400
Asst Superintendent 1 - Rec center- Randolph	2,092	HRS	115	240,580
Asst Superintendent 2 - Rec center	965	HRS	93	89,745
Superintendent 2 - Site / Fields	4,022	HRS	122	490,684
General Superintendent	1,073	HRS	174	186,702
Superintendent 3 - Demo / Pools / Outbuildings	1,609	HRS	122	196,298
Asst Superintendent 3 - Hatcher	1,770	HRS	115	203,550
BIM Manager	484	HRS	69	33,396
Accountant	1,661	HRS	69	114,609
Safety	900	HRS	102	91,800
Quality	900	HRS	102	91,800
VEHICLE AND FUEL				\$ 197,784
<u>VEHICLE AND FUEL</u>				
VEHICLE AND FUEL - PX - CORE	24	WK	350	8,400
VEHICLE AND FUEL - Sr Project Manager	111	WK	280	31,080
VEHICLE AND FUEL - Asst Project Manager	127	WK	224	28,448
VEHICLE AND FUEL - Project Engineer	125	WK	80	10,000
VEHICLE AND FUEL - Senior Superintendent	125	WK	280	35,000
VEHICLE AND FUEL - Superintendent 1 - Rec center	93	WK	280	26,040
VEHICLE AND FUEL - Asst Superintendent 2 - Rec center	24	WK	80	1,920
VEHICLE AND FUEL - Superintendent 2 - Site / Fields	101	WK	280	28,280
VEHICLE AND FUEL - General Superintendent	27	WK	280	7,560
VEHICLE AND FUEL - Superintendent 3 - Demo / Pools / Outbuildings	40	WK	280	11,200
VEHICLE AND FUEL - Safety	22	WK	224	4,928
VEHICLE AND FUEL - Quality	22	WK	224	4,928
GENERAL CONDITIONS TOTAL				\$ 5,085,600
<i>PER MONTH</i>				<i>\$ 158,925</i>

Pompey Park Recreation Center

GMP ESTIMATE

06.01.2026



4

GENERAL REQUIREMENTS

City of Delray Beach Pompey Park

GMP [General Requirements]

June 1, 2026



Description	Qty	Unit	Unit Rate	Total
01 - MANAGEMENT SERVICES				133,975
SCHEDULER	105	WE	1,200.00	126,000
STARLINK EQUIPMENT (Includes Start-UP & Initial Equipment Purchase)	29	MO	275.00	7,975
02 - FIELD OFFICE				426,962
PH.1 & 2 FIELD OFFICE (Furnished) - [1 TRIPLE-WIDE CM]	29	MO	4,583.00	132,907
PH.1 & 2 FIELD OFFICE - DELIVERY, INSTALLATION & RETURN [1 TRIPLE-WIDE CM]	1	LS	32,130.00	32,130
PH.1 & 2 FIELD OFFICE EQUIPMENT [1 TRIPLE-WIDE CM] (Fridges, Water Coolers, Whiteboards, Microwaves, Etc.)	1	EA	3,500.00	3,500
FIELD OFFICE INTERNET SERVICE	29	MO	150.00	4,350
FIELD OFFICE PRINTER (x1)	29	MO	350.00	10,150
FIELD OFFICE SHIPPING/MAIL	29	MO	250.00	7,250
FIELD OFFICE SUPPLIES	29	MO	250.00	7,250
COMPUTERS, MICE, AND KEYBOARDS	9	EA	4,250.00	38,250
ROUTER, HARDWARE, UPS, AND WIRING	1	LS	9,375.00	9,375
COMPUTER SCREENS	18	EA	450.00	8,100
TRAILER SETUP TECHNICIAN	60	HRS	175.00	10,500
TECH SUPPORT	627	HRS	150.00	94,050
SOFTWARE LICENSING (P6, MICROSOFT OFFICE SUIT, VISTA, CONCUR, MIMICAST, BLUEBEAM)	9	USER	3,850.00	34,650
CYBER SECURITY	29	MO	1,000.00	29,000
TELEVISION SCREENS, BRACKETS, SURGE PROTECTION, IPU	4	EA	1,000.00	4,000
CONFERENCE ROOM VIDEO EQUIPMENT	1	LS	1,500.00	1,500
03 - JOBSITE CONTROLS & SAFETY				120,927
DRUG SCREENINGS (Operators)	10	EA	110.00	1,100
CONSTRUCTION WATER & SEWER	29	MO	2,000.00	58,000
DRINKING WATER	29	MO	200.00	5,800
JOB DEMOBILIZATION	1	LS	5,000.00	5,000
JOB MOBILIZATION	1	LS	8,500.00	8,500
JOB SIGNAGE	75	EA	150.00	11,250
SAFETY SUPPLIES, RAILS & EQUIPMENT	29	MO	759.00	22,011
STORAGE TRAILERS (2X)	29	MO	255.00	7,395
STORAGE TRAILERS Delivery/Pickup	1	LS	1,871.00	1,871
TEMPORARY ELECTRIC - POST-AIR CONDITION - REMOVED	5	MO	9,800.00	0
TEMPORARY ELECTRIC - PRE AIR CONDITION - REMOVED	24	MO	3,000.00	0
04 - SANITARY FACILITIES & CLEAN-UP				380,350
DAILY CLEAN UP	6,120	HRS	40.00	244,800
DUMPSTER PULLS	122	EA	600.00	73,200
(2) HOLDING TANKS - REDUCED	29	MO	440.00	12,760
TEMPORARY TOILETS / HANDWASH STATIONS [LARGE PROJECT] - INCREASED PER RATES	29	MO	1,710.00	49,590
05 - EQUIPMENT				68,150
HAND TOOLS	29	MO	600.00	17,400
GATOR (4X4, FUEL, MAINTENANCE, HOUSING)	29	MO	1,750.00	50,750
06 - MISCELLANEOUS				8,700
COURIER SERVICE FOR PROJECT DOCUMENTS	29	MO	200.00	5,800
PROJECT MEETINGS	29	MO	100.00	2,900
08 - PROJECT DOCUMENTATION				191,120
CLOSEOUT DOCUMENTS	1	LS	6,000.00	6,000
STRUCTION SITE (\$200 / \$1M)	0.0002	RATE	59,500,000.00	11,900
PHOTO DOCUMENTATION OF EXISTING CONDITION	1	LS	5,900.00	5,900
PROCORE	0.0010	RATE	59,500,000.00	59,500
SMART PM	29	MO	130.00	3,770
TEXTURA PAYMENT MANAGEMENT FEE [\$20M-\$50M PROJECT VALUE]	1	LS	7,150.00	7,150
WARRANTY MANAGEMENT	1,020	HRS	95.00	96,900
General Requirements Total				1,330,184

Pompey Park Recreation Center

GMP ESTIMATE

06.01.2026



5

BASIS OF ESTIMATE (CLARIFICATIONS)



June 1, 2026

VIA ELECTRONIC MAIL

Mr. Kevin Matthews
Project Manager | Public Works
City of Delray Beach
434 South Swinton Avenue
Delray Beach, FL 33444

RE: GUARANTEED MAXIMUM PRICE PROPOSAL | Pompey Park Recreation Center

Dear Kevin,

On behalf of CORE Construction, I am pleased to submit our Guaranteed Maximum Price (GMP) proposal for the Pompey Park Recreation Center.

GMP Summary:

Pompey Park Recreation Center – GMP for Construction Only	\$58,990,492.00
<i>GMP Alternates #1 through #31</i>	<i>See section 2 of GMP deliverable</i>

In the following pages, you will find the Basis of GMP Clarifications. Don't hesitate to reach out to me directly with any questions or comments about the information provided.

Respectfully submitted,

Jack Melbostad
Sr. PreConstruction Manager
CORE Construction

This Basis of Estimate is a written explanation clarifying the scope, assumptions and exclusions used in establishing the GMP estimate dated June 1st, 2026.

All costs are based on CORE's incorporation of the scope shown on the 09/22/2025 Conformed Set of construction documents, Addendums #1 through #4, the enumeration of documents provided in section 8 of the GMP deliverable and the scope clarifications below.

ASSUMPTIONS, CLARIFICATIONS, & EXCLUSIONS

Schedule

This is a two-phase project, and liquidated damages shall apply only to Substantial Completion of those two phases, labeled as Phase 1 and Phase 2 within the project schedule. Project Construction Duration and Substantial Completion for phase I and phase II shall remain dependent upon All Permitting Approvals, Owner Decisions, Owner Subcontractors, and the following criteria:

- 1) Per A133 section 3.3.1.2, Commencement Date is 15 days after the latter of the following
 - (1) Fully executed agreement & GMP amendment
 - (2) Issuance of Purchase Order
 - (3) Issuance of Permits
 - (4) Issuance of Notice to Proceed
- 2) The project schedule included herein has included the owner milestones listed below. These milestones will be monitored by the construction manager during the schedule updates. Any delays resulting from these milestones will impact the Substantial Completion Date and may result in additional costs to General Conditions & General Requirements.
 - a) FPL transformer relocation and all predeceasing activities for T#1
 - b) FPL transformer relocation and all predeceasing activities for T#2
 - c) FPL permanent power swap over for new building work. Assuming 1-week of generator power for existing building during swap over period.
 - d) Owner setup potable water account and activate
 - e) Owner setup reclaim water account and activate
 - f) Offsite improvements relating to adjacent projects – shall be closely coordinated and planned with CORE in order to not impact the logistics, phasing, or schedule submitted at GMP. If the offsite improvements impact the logistics, phasing, or schedule, it shall be tracked by the Contractor and adjusted accordingly. CORE shall not be responsible for any delays incurred as a result of adjacent projects.
 - g) Owner provided data/fiber utility installation to be completed and made active
 - h) The moving of Owner's Existing Furniture
 - i) The schedule only accounts for asbestos removals activities found in the investigation report. Any unknown or presumed additional asbestos removal activities will need to be added to the schedule.
 - j) Pool preconstruction testing service and regulatory requirements
 - k) Design revisions shall be issued for demolition of the concession stand within one week the execution of this GMP and the permit of this revision needs to be issued no later than November 1, 2027.
 - l) A Biddable and Permitted Set of Construction Documents to be issued to CORE no later than November 1st, 2027.
- 3) Our schedule and GMP is based on the phasing / logistics plan provided in section 7 of the GMP. The phasing plan and schedule have been closely coordinated with the OAC team, and any changes to the proposed phasing or schedule could result in added cost.
- 4) Any delays to the project incurred by the activities above shall be determined pursuant to Article 8.3 of A201.

Owner Items

- 1) This GMP is guaranteed for 30 calendar days. After such time, CORE reserves the right to adjust the GMP based upon market conditions in effect at the time of final acceptance.
- 2) Testing, as well as any Special Inspections, are by Owner's Rep. and are not included.
- 3) Platting and/or re-platting, licensing agreements, land-use permitting, and site development permits as well as any cost related thereto, is not included.
- 4) Building permit costs, plan expediter fees, plan check fees, impact fees and their associated permits, site development permits/fees, are not included.
- 5) Gas and electrical service charges, utility recovery or tap fees, and/or water meter fees shall be paid for by Owner and are not included.

Contingency

- 1) Construction Manager's Contingency of 3.25% is included in this proposal.
- 2) Owner Contingency of 2.0% is included in this proposal.
- 3) Cost Escalation Contingency of 0.25% is included in this proposal.

Allowances

- 1) "Allowances" are considered to be an allotted sum of money included for a particular system or scope of work for which sufficient detail is not available to determine a definitive cost. A reasonable estimate for an assumed scope and quality is included as a placeholder. The Owner receives the savings for any amount under the allocation and is responsible for any amount over the allocation.

a) No Allowances have been included in this GMP submission dated 06/01/2026

Alternates

- 1) See section 2 of the GMP deliverable for a breakdown of all 31 GMP alternates.

General Assumptions

- 1) The Guaranteed Maximum Price ("GMP") is made up of the price elements defined in section 3.2.1 of the A133 for this project. The individual cost of work line items are not separate price maximums. The Construction Manager shall be permitted to reallocate the individual line items, provided that it does not exceed the GMP pursuant to section 6.1.7.1 of the A133 for this project.
- 2) We assume normal working hours in accordance with the city's construction noise ordinance. However, to maintain the schedule we may request to perform work outside of normal working hours. We will advise Owner when we plan to work outside of normal work hours.
- 3) This GMP includes state and county taxes as applicable.
- 4) This GMP includes Alternates and other Value Engineering (VE) considerations as seen in section 2 of the GMP deliverable submitted on 06/01/2026. Please reference the GMP alternates narrative dated November 24, 2025

issued by Justin Architects as well as section 2 of the GMP. In reference to the savings for cost-loaded scheduling requirements, Section 3.10.4 of the A201 General Conditions is hereby replaced in its entirety with the following:

a) § 3.10.4 The original construction schedule and all subsequently submitted updated construction schedules shall be in a detailed precedence-style, resource loaded critical path method (CPM) type format satisfactory to the Owner and the A/E Professional and/or Owner's Representative which shall also: (1) provide a graphic representation of all activities and events that will occur during performance of the Work; (2) identify each phase of construction and occupancy; and (3) set forth dates that are critical in ensuring the timely and orderly completion of the Work in accordance with the requirements of the Contract Documents (hereinafter referred to as "Milestone Dates"). Contractor shall provide Owner with the original/planned (specifically, the GMP Amendment version) As Subcontracts are executed, Subcontractor names will be assigned to each activity corresponding to the trade responsible for performing the Work described by the activity, with a separate responsibility code for each Subcontractor. Upon review and acceptance by the Owner and the A/E Professional and/or Owner's Representative of the Milestone Dates, the construction schedule shall be deemed part of the Contract Documents and attached to the Agreement as Exhibit A.1 to be incorporated in the Contract Documents. The Contractor shall monitor the progress of the Work for conformance with the requirements of the construction schedule and shall promptly advise the Owner of any delays or potential delays. The accepted construction schedule shall be updated one time each month to reflect actual conditions, and Contractor shall provide Owner with a copy of the updated schedule, the electronic files in P6 native electronic files (.xer format), at the time Contractor submits its monthly Payment Application. In the event any progress report or schedule update indicates any delays, the Contractor shall propose an affirmative plan to correct the delay, including resequencing the Work, overtime and/or additional labor, if necessary. In no event shall any progress report constitute an adjustment in the Contract Time, Milestone Dates, or the Contract Sum unless any such adjustment is agreed to by the Owner and authorized pursuant to properly executed written Change Order. Contractor shall maintain such progress schedule on a current basis in accordance with the provisions of this Section and shall keep proper records available to inspection by Owner to substantiate actual activity, duration and completion dates. Contractor is required to provide a cash flow of assumed costs on a monthly basis for the entire project which shall be updated monthly.

- 5) The following items are not included:
- a) Materials testing is by Owner's Rep.
 - b) Initial project boundary and site survey
 - c) Impact fees and engineering fees
 - d) Building permit fees including trade permits
 - e) Pool permit fees including trade permits for concrete pool structure, concrete pool deck, fencing, plumbing, and electrical
 - f) Permit fees for sidewalks, fences, landscaping, irrigation, tree removal, shrub clearing, signage, or any other permits typically imposed by the City of Delray Beach
 - g) Utility usage costs (consumables) for the existing building such as but not limited to water, propane, natural gas, electricity and irrigation costs
 - h) All water costs for irrigation
 - i) FPL infrastructure costs including temporary provisions for construction
 - j) Utility service provider meter and connection fees



- k) Utility service provider engineering fees and installation costs of FPL primaries to provide temporary power provisions to the existing building and fields to maintain operation during construction
 - l) Tariffs which may be imposed between when the project was bid and when materials are delivered to the site
 - m) Davis Bacon Wages are not included and assumed to be not applicable for this project
 - n) Any street work at the perimeter of the site (separate contract by others)
 - o) Threshold inspections
 - p) Any off-site work not delineated on the plans
 - q) Work resulting from code interpretations by the Authorities Having Jurisdiction (AHJ's) which were not contemplated in this contract
 - r) Design fees including any design-related costs that may be incurred for redesign required to incorporate accepted value engineering into the construction documents
- 6) Inclusive in this GMP, is a lump sum value of \$202,871 for the preconstruction services for the project which has already been invoiced and paid by the Owner.
- 7) Certain Division 01 Technical Specifications (aka, "General Requirements") differ from terms and conditions of the Contract and/or these Clarifications and Qualifications. In accordance with A201 section 1.2.3, in the event of a conflict, we will follow the order precedence per the contract.
- 8) The Contractor and the Owner agree that the following rates are based on the actual costs specific to the Pompey Park Recreation Center project supported by invoices as presented on the Application for Payment.
- a) In accordance with section 7.6.1 of the A133, SDI is included at a fixed rate of 1.75% multiplied by the total contract values of all subcontractors and vendors being enrolled in the program (excluding any deducts for direct purchases by Owner). Subcontractor Default Insurance shall be included in the first pay application from construction manager.
 - b) In accordance with section 7.6.1 of the A133, Payment and Performance Bond is included at a fixed rate of 1.375% multiplied by the Total Contract Value at the time of GMP (excluding any deducts for direct purchases by Owner). Payment and Performance Bond shall be included in the first pay application from construction manager.
 - c) In accordance with section 7.6.1 of the A133, GL Insurance is included at a fixed rate of 1.40% multiplied by the Total Contract Value (excluding any deducts for direct purchases by Owner). General Liability Insurance shall be charged to the Owner upon commencement.
 - d) In accordance with section 7.6.1 of the A133, Builder's Risk Insurance is included at a reimbursable cost of \$836,661. Builder's Risk Insurance shall be included in the first pay application from construction manager. Any deductibles incurred during the duration of this project are not included in this agreement. See information below regarding the Builder's Risk Insurance coverage and deductibles for this project:
 - i) Base Policy**
 - (1) Named Storm limit of \$15 million.
 - (2) Named Storm Deductible: 5% / \$250,000 (5% of the value of work in place at the time a loss occurs, with a minimum of \$250k.)
 - (3) Flood Deductible: \$50,000
 - (4) Earthquake Deductible: \$25,000
 - (5) Water Damage Deductible: \$100,000
 - (6) All Other Perils Deductible: \$25,000
 - ii) Windstorm Deductible Buydown**
 - (1) Buys down the 5% Named Storm deductible to \$100,000 for the 2027 and 2028 storm seasons. The 2026 Storm season is not included.
 - (2) Maximum recoverable per occurrence: \$3.2 million
 - (3) Maximum recoverable policy aggregate: \$6.4 million

iii) Flood Deductible Coverage

- (1) Covers the entire \$50,000 Flood deductible for 2027 and 2028
- e) In accordance with sections 3.2.1.1, 6.1.2 and 6.1.3 of the A133, Construction Manager’s Fee is included at a fixed rate of 4.5% of the Cost of the Work and General Conditions (excluding any deducts for direct purchases by Owner).
- f) The following labor fixed rates are valid through fiscal year 2028.

Position	Total Hourly Rate
Senior VP/PX - CORE	\$ 238.00
PX - Randolph	\$ 200.00
PX - Hatcher	\$ 200.00
Sr Project Manager	\$ 127.00
Asst Project Manager	\$ 102.00
Project Engineer	\$ 76.00
Senior Superintendent	\$ 161.00
Superintendent 1 - Rec center	\$ 122.00
Asst Superintendent 1 - Rec center- Randolph	\$ 115.00
Asst Superintendent 2 - Rec center	\$ 93.00
Superintendent 2 - Site / Fields	\$ 122.00
General Superintendent	\$ 174.00
Superintendent 3 - Demo / Pools / Outbuildings	\$ 122.00
Asst Superintendent 3 - Hatcher	\$ 115.00
BIM Manager	\$ 69.00
Intern	\$ 57.00
Accountant	\$ 69.00
Safety	\$ 102.00
Quality	\$ 102.00

CORE’s Labor Burden is 56.8%
 Randolph & Hatcher labor burden is 42.0%

TRADE PACKAGE CLARIFICATIONS & QUALIFICATIONS:

1- DEMOLITION & HAZARDOUS MATERIALS ABATEMENT

- 1. The following items are included:
 - a. The demolition of the concessions stand building is included in this GMP provided that the Owner meets the Schedule as set forth in Schedule 2.k of these Clarifications on Page 2 of 13. The scope work only includes the disconnecting of the building and turning over concessions building with Bahia sod upon completion of the demolition. This activity shall occur at the same time as the existing recreation center structural demolition.
 - b. If the Owner provides CORE with a new design for a new concession stand within the timeframe stipulated in the Schedule Section 2.l of these Clarifications on Page 2 of 13, CORE will build the concession stand at costs with no Construction Manger Fee assessed. For CORE to waive construction manager fee and general conditions for the new concession stand, an approved Change Order for this work shall be issued by the Owner no later than January 2028. The concession stand new work must all take place during the construction of phase 2 of this GMP. The new concession stand construction work will be competitively bid as outlined in the contract.



2. The following items are not included:
 - a. Any abatement of presumed asbestos or untested materials are not included in this contract.
 - b. Any asbestos abatement in the existing Pool Building.
 - c. New testing for contaminated materials is not included in this contract.

6- SITE DEVELOPMENT

1. The following items are included:
 - a. We have included the cost for Florida Public Utilities to extend the natural gas main to our site and install the service line meter and regulator. No cost is included for monthly payments, annual payments, account deposits, or start-up connection cost. These are assumed to be by the city when activating their new account.
 - b. 4" thick standard broom finish in lieu of 5" thick scored concrete per accepted GMP alternate #12. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.

26- SWIMMING POOLS

1. The following items are included:
 - a. Welded wire fabric reinforcing steel in concrete pool deck per RFI #B-0.317.
 - b. Alternate timing system per accepted GMP alternate #14. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.
2. The following items are not included:
 - a. Steel fiber reinforcement in pool deck concrete mix. We have welded wire fabric reinforcing steel per RFI#B-0.317.
 - b. Per direction from the City of Delray Beach on 05/18/2026, the competition pool and its associated scope of work have been removed from this GMP. The entirety of the area shown below (Exhibit 26.1) in red is now included as CYN2 Bermuda grass and irrigation to match the civic lawn. The associated scope of work includes the surrounding pool deck, pool fence, bleachers, and the shade structure within the area shown in red.

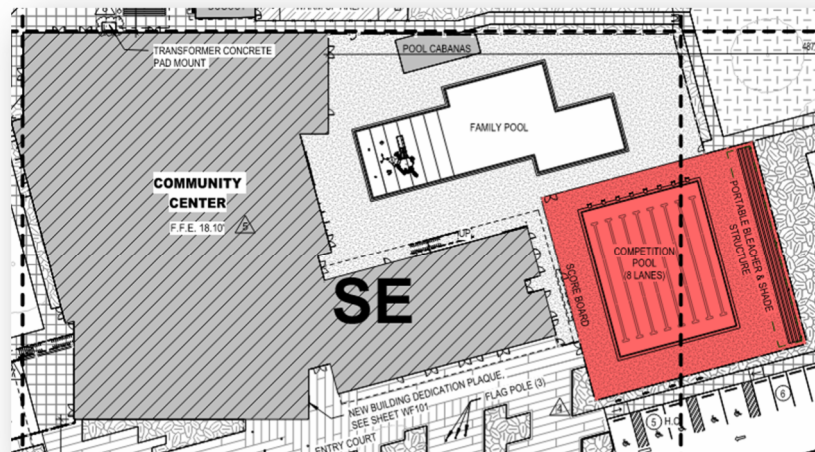


Exhibit 26.1 – Removal of Competition Pool and it's associated scope of work

27- FENCES & GATES

1. The following items are not included:
 - a. Bullpens at the adult field have been removed per accepted GMP alternate #4. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.
 - b. Half of the batting cages have been removed per accepted GMP alternate #5. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.
 - c. Per direction from the City of Delray Beach on 05/18/2026, the pool fence around the competition pool has been removed from the scope of work and is not included in this GMP. See below (Exhibit 27.1) for the run of fence, depicted by the red line, that has been deleted.

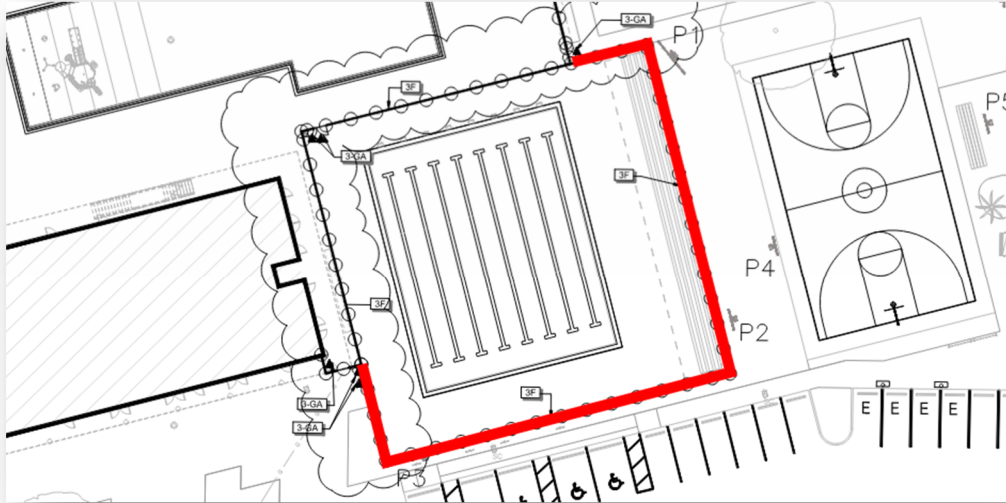


Exhibit 27.1 – Removal of Competition Pool fencing

30- ATHLETIC EQUIPMENT SITE

1. The following items are not included:
 - a. Per direction from the City of Delray Beach on 05/18/2026, the bleachers at the competition pool called out by symbol 5-AM on sheet HSA1.4 have been removed from the scope of work and are not included in this GMP.

31- LANDSCAPING / IRRIGATION

1. The following items are included:
 - a. Cost to replace all relocated trees if moving is unsuccessful. Relocations cannot be warranted.
 - b. 105,000 SF of St Augustine for areas not specifically called out in the landscape schedules on sheet L1.1 through L1.5.
 - c. Root Barrier is included with the assumed quantity of 830LF.
 - d. 20,000 SF of sod repair between phases.
 - e. Simplified landscaping package is included per accepted GMP alternate #19.
 - f. Tiftuf sod in lieu of 419 bermuda sod per accepted VE items in section 2 of the GMP deliverable.
2. The following items are not included:
 - a. Any maintenance of fields prior to gaining access to reskin.
 - b. Any maintenance that is related to wear and tear from use of the fields following turnover of each field individually in accordance with the phasing plan.

34- ATHLETIC FIELDS

1. The following items are included:
 - a. A 3-month grow in period is included for each field. 12 month guarantees for all fields following the project's substantial completion is not included due to the phasing requirements needed.
 - b. 8'-12' Clay Warning Track per RFI response B-0.327.
 - i. For the little league field and Odom's field warning track to be 8 FT
 - ii. For Teddy's field the warning track to be 12 FT
 - c. Bermuda sod
 - i. Canadian peat moss root zone
 - d. Yellow fence cover at outfield fencing
 - e. Two exterior basketball courts are included per accepted GMP alternate #7 in lieu of two and a half courts. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.
2. The following items are not included:
 - a. Any work at the tennis courts per accepted GMP alternate #8. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.
 - b. 12" of new sand as seen in the athletic field details has been removed per accepted VE items in section 2 of the GMP deliverable. It assumed the existing sand currently in place will adequately percolate and not require replacement. The cost of removing and replacing this sand in the event that it is deemed necessary would result in additional costs to the project.

35- SHADE STRUCTURES

1. The following items are included:
 - a. 12'W x 24'L x10'H Hip Cantilever Shade Structure included by the southside of Teddy's Field per Basis of Design Manufacturer limitations, in lieu of Keynote 44 per AS100-B on Addendum 2: 10'W x 25' L x 10'H.
 - b. 12'W x 96' x 12'H Hip Cantilever Shade Structure included at the Competition Pool Area per Basis of Design Manufacturer limitations, in lieu of Keynote 12 on AS100-F: 12'W x 100' L x 12'H.
 - c. The custom shade structure is included with 3 posts in lieu of 4 due to close proximity to Tree #142 and per RFI B-0.218.
 - d. Per direction from the City of Delray Beach on 05/18/2026, the competition pool shade structure called out by keynote #12 on Sheet AS100-F has been removed from the scope of work and is not included in this GMP.

36- CONCRETE & MASONRY

1. The following general notes apply:
 - a. Normal shrinkage cracking of the slab is expected and shall not be cause for removal or replacement of structurally sound slabs

42- STRUCTURAL STEEL & MISC METALS

1. The following items are included:
 - a. Brushed stainless steel railings at Stair #2
 - b. The perimeter railing along the running track with custom curved posts will be provided in shop primed steel and painted.

62- SPRAY FIREPROOFING

1. The following items are not included:
 - a. Fireproofing is not included at the underside of the running track per RFI #B-0.312
 - b. Spray fireproofing at high roof of the Gymnasium per RFI #B-0.308, as it is above 20' AFF

63- ROOFING & SHEET METAL

1. The following items are included:
 - a. We have included a 20 year warranty for the Roofing System in lieu of the 25-year warranty noted in spec section 075416.
 - b. Carlisle 60 mil KEE HP in lieu of Fibertite 50mil KEE per accepted GMP alternate #10. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.

72- DOORS, FRAMES, AND HARDWARE

1. The following items are not included:
 - a. Missile Impact level E. Specified hardware only meets missile impact level D.

83- METAL FRAMING & DRYWALL

1. The following items are included:
 - a. Level 4 finish
 - b. 5/8" high abuse gypsum wall board to 8' AFF per accepted GMP alternate #25. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.

89- ACOUSTICAL CEILINGS & WALL PANELS

1. The following items are included:
 - a. Armstrong Calla is included in lieu of ACT-1 per accepted GMP alternate #9. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.
 - b. Armstrong Calla #2820 included in lieu of ACT-2 per accepted GMP alternate #13. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.
 - c. Armstrong Soundscape Baffles included in lieu of ACT-3 per accepted GMP alternate #20. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.

91- FLOORING

1. The following items are included:
 - a. Roppe DS-100 Moisture Mitigation System is included in room 120 only (After School Care Room).
2. The following items are not included:
 - a. Moisture mitigation of any kind not specifically listed above.
 - b. STR-1 has been discontinued by the manufacturer. Pending new product selection by Architect.

99- GENERAL SPECIALTIES

1. The following items are included:
 - a. (4) additional 36" grab bars have been included for ADA showers that are not shown on plans.
 - b. 1 Knox box included in estimate. Not shown on plans.
 - c. Scranton – Hidy Hiders Series Toilet Partitions Included, Unclear on Plans/Specs. Plans call for Scranton – Hidy Hiders Series and Specs call for Bobrick Compact Laminate Phenolic Toilet Partitions.
 - d. Shower Curtain & Rods are included per OAC team request at each shower. Not shown in plans.

110- FLAGPOLES

1. The following items are included:
 - a. Aluminum flagpoles are included in lieu of stainless steel per accepted VE items in section of the GMP deliverable.

111- SIGNAGE

1. The following items are included:
 - a. Monument Signage lettering, unclear as noted, is provided as Cast Aluminum lettering
2. The following items are not included:
 - a. Precast Concrete Lettering at Monument Signs
 - b. The monument sign in the northeast corner of the site has been removed per accepted GMP alternate #2. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.

122- SUNSHADES-FINS

1. The following items are included:
 - a. Shade fins are constructed with products from ES Metals (or equal).
 - b. Aluminum Solid Panels Sunscreens are made of (or equal):
 - i. AA5052 H32, 0.1181" thick, 4"x4" aluminum frame.
 - ii. Aluminum Perforated Panels Sunscreens are AA5052 H32, 0.1181" thick, 40"x90" modulation (Max), CNC punching 50% perforated, 4"x4" substructure aluminum frame.
 - iii. Aluminum Perforated panels Sunscreens have 1 coat AAMA 2604 Dura star Custom colors for both sides of panels and 1 coat AAMA 2604 Dura-star stock color for profiles.
2. The following items are not included:
 - a. N/A

123- ALUMINUM CANOPIES

1. The following items are not included:
 - a. The pergola has been removed per accepted GMP alternate #6. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP deliverable.

126- ATHLETIC EQUIPMENT

1. The following items are included:
 - a. The following components of the athletic equipment package are to be Jaypro Sports products in lieu of the basis of design per accepted VE items in section 2 of the GMP:
 - i. Home plates
 - ii. Pitching Rubbers
 - iii. Field bases
 - iv. Foul poles
 - v. Basketball backstops

133- FOOD SERVICE EQUIP.

1. The following items are included:
 - a. 1 Point of Sale included. By GC, Material only. No Subscription included for Point of Sale Unit.
 - b. Staff Lounge 217 calls for appliances on AF120 with no specification. The following items are being provided:
 1. Keynote 20: Hon Huddle Laptop table is included by JC White furniture vendor per the proposal provided by Justin Architects.
 2. Keynote 21: Bottle Water Cooler – Gibraltar Bottled Water Cooler – 38.9"H x 12.8"W x 13.0"D.
 3. Keynote 22: Microwave – Solwave AM025FJT-SOSA00 Stainless Steel Commercial Microwave with Dial Control - 120V, 1000W.
 4. Keynote 23: Refrigerator – Summit FF18WIM - 66.5"H x 29.75"W x 31.25"D.
 5. Keynote 24: Coffee Maker - Avantco CMAPADJ Automatic Airpot Coffee Maker with Adjustable Shelf -120V, 1,650W.

135- PLAYGROUND EQUIPMENT

1. The following items are included:
 - a. The screenshot below (Exhibit 135.1), provided by the basis of design playground manufacturer, provides additional details regarding the playground surfacing that are included in our estimate.

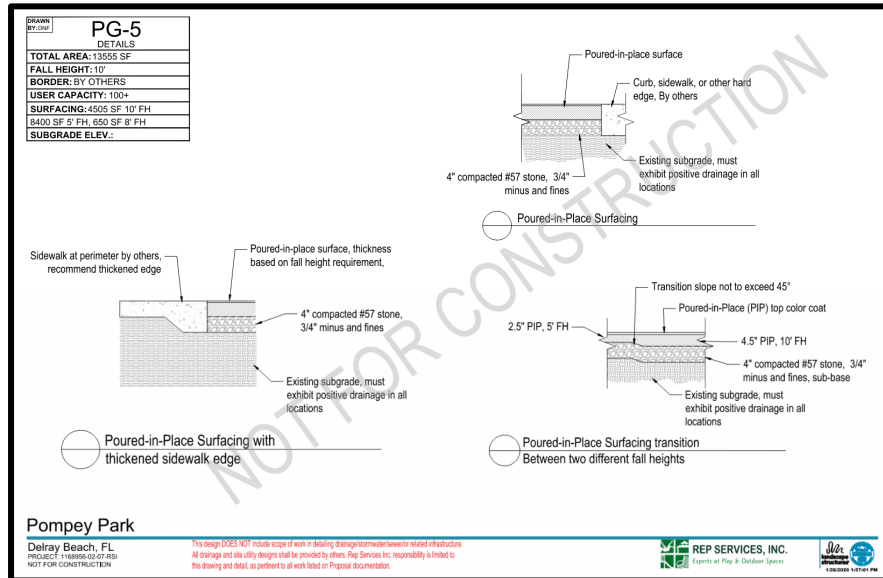


Exhibit 135.1 – Playground Surfacing Details

2. The following items are not included:
 - a. The fitness equipment and surfacing in the fitness area has been removed per accepted GMP Alternate #1. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.

145- FURNITURE

1. The following items are included:
 - a. Life Fitness gym equipment is included per the proposal dated 02.21.2026
 - b. Portable Platform by SICO American is included per the proposal dated 02.23.2026

151- FIRE SPRINKLER SYSTEM

1. The following items are not included:
 - a. Fire protection systems at the cabanas, shelter & restrooms per accepted GMP alternate #31. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.

152- PLUMBING

1. The following items are included:
 - a. A placeholder of \$2,400 for water lines at Staff Lounge 217 for coffee maker and refrigerator (not indicated on drawings).
 - b. A placeholder of \$7,500 for a sump pump for the floor drain at the Pool Pump Room 123 pit & modified routing for underground piping at the adjacent Family Restrooms per Clash Detection meetings. The plumbing drawings do not account for the presence of the pit, and the drawings were not modified in Addendum 4 when the other Clash Detection items were addressed.
 - c. CPVC in lieu of copper domestic water lines above grade per accepted GMP alternate #26. Please reference the GMP alternates narrative dated November 24, 2025 issued by Justin Architects as well as section 2 of the GMP.

2. The following items are not included:
 - a. Backflow Preventer (RPBP-1) and Mixing Valves (TV-1, TV-2). These items were not shown on the plumbing plans. The backflow preventors for domestic water and fire service lines are by the Site Utility contractor as shown on the Civil drawings.
 - b. Seismic controls for plumbing piping per section 220548.

153- HVAC

1. The following items are included:
 - a. Cost for Temporary Heat-Cool-Dehumidification services for 120-days. Temporary service cost beyond 120-days shall be the responsibility of the Owner to cover.

155- ELECTRICAL & SPORTS LIGHTING

1. The following items are included:
 - a. A placeholder of \$30,000 for the field speakers (3 pairs) and baseball PA system identified on SU100 including rough-in, wiring, field speakers, and the PA system.
 - b. A placeholder of \$6,000 for separate dedicated circuits (not indicated on drawings) for the coffee maker (20A) and microwave (15A) in Staff Lounge 217 including rough-in, wiring, receptacles, and breakers.
 - c. Electrical vehicle charging stations (2) utilizing Charge Point Model #CP6621B-50A-L5.5 based on 70A breakers in branch panel EV.
 - d. Audio-visual systems, public address systems, and clock systems by DSI Tech.
 - e. Cost for Temporary Electric Power utility services shall be the responsibility of the Owner to cover.
 - f. Cost for Temporary Electric Power services beyond FPL utility scope for construction use is covered by Contractor.
 - g. Modified sports lighting design per accepted GMP Alternate #3 is included in lieu of the base bid design.
 - h. Modified interior lighting package per accepted GMP Alternate #18 is included in lieu of base bid design.
2. The following items are not included:
 - a. FPL installation fees

Pompey Park Recreation Center

GMP ESTIMATE

06.01.2026



6

CONSTRUCTION SCHEDULE

Exhibit A.1 – Accepted GMP Schedule

Delray Beach Pompey Park Enhancement Project		Full Baseline Schedule				2026 2027 2028															
Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1		
Pompey Park - Baseline Schedule - WORKING		10-Oct-25	26-Jan-29	819	0																
MILESTONES		26-May-26	26-Jan-29	666	0																
PRECONSTRUCTION MILESTONES		26-May-26	11-Jun-26	13	0																
M1020	GMP Approval		26-May-26*	0	0	◆ GMP Approval															
M1140	Commencement Date - Notice to Proceed, Purchase Order, and Executed GMP		11-Jun-26	0	0	◆ Commencement Date - Notice to Proceed, Purchase Order, and Executed GMP															
PHASE COMPLETION MILESTONES		11-Jun-26	26-Jan-29	653	0																
M1050	Phase 1 - Start		11-Jun-26	0	45	◆ Phase 1 - Start															
M1060	Phase 1B - Teddys Field Complete		30-Aug-27	0	139	◆ Phase 1B - Teddys Field Complete															
M1070	Phase 1C - Odoms Field Complete		27-Jan-28	0	39	◆ Phase 1C - Odoms Field Complete															
M1040	Phase 1A - Community Center Building Complete		07-Mar-28	0	0	◆ Phase 1A - Community Center Building Complete															
M1080	Phase 1 - Substantial Completion		23-Mar-28	0	0	◆ Phase 1 - Substantial Completion															
M1090	Phase 2 - Start (After Owner Move-in)		28-Mar-28	0	0	◆ Phase 2 - Start (After Owner Move-in)															
M1160	Phase 1 - Final Completion		19-May-28	0	170	◆ Phase 1 - Final Completion															
M1110	Phase 2B - Little League Field Complete		25-May-28	0	135	◆ Phase 2B - Little League Field Complete															
M1120	Phase 2C - Civic Lawn / Basketball Courts Complete		11-Dec-28	0	1	◆ Phase 2C - Civic Lawn / Basketball Courts Complete															
M1100	Phase 2A - Pool Program Complete		12-Dec-28	0	0	◆ Phase 2A - Pool Program Complete															
M1150	Phase 2 - Substantial Completion		12-Dec-28	0	0	◆ Phase 2 - Substantial Completion															
M1130	Phase 2 - Final Completion		26-Jan-29	0	0	◆ Phase 2 - Final Completion															
OWNER RESPONSIBILITIES		11-Jun-26	12-Dec-28	622	0																
A14730	All Construction Permits Issued		11-Jun-26*	0	0	◆ All Construction Permits Issued															
A14830	Decommission Underground Propane Tank Complete		20-Jul-26*	0	15	◆ Decommission Underground Propane Tank Complete															
A14740	FPL Permanent Power Swap Over Complete		14-May-27*	0	107	◆ FPL Permanent Power Swap Over Complete															
A14750	FPU Gas Offsite Work Complete		01-Jun-27*	0	116	◆ FPU Gas Offsite Work Complete															
A14752	FPU Account Setup Complete		01-Jun-27*	0	116	◆ FPU Account Setup Complete															
A14760	Permanent Potable Water Account Setup Complete		08-Jun-27*	0	107	◆ Permanent Potable Water Account Setup Complete															
A14770	Permanent Reclaim Water Account Setup Complete		08-Jun-27*	0	106	◆ Permanent Reclaim Water Account Setup Complete															
A14790	Network Data/Fiber Utility Installation Complete		08-Jun-27*	0	106	◆ Network Data/Fiber Utility Installation Complete															
A14780	Offsite Improvements by Others		23-Mar-28*	0	181	◆ Offsite Improvements by Others															
A14800	Owner Furniture Moved and Completed		27-Mar-28	0	1	◆ Owner Furniture Moved and Completed															
A14850	Pool Preconstruction Testing Service and Regulatory Requirements Complete		03-Apr-28*	0	52	◆ Pool Preconstruction Testing Service and Regulatory Requirements Complete															
A14840	Additional Asbestos Removal Activities		04-Apr-28	0	0	◆ Additional Asbestos Removal Activities															
A14810	Decommissioning and Drainage of Existing Pool Complete		14-Sep-28	0	1	◆ Decommissioning and Drainage of Existing Pool Complete															
A14820	Two Pool Water Fills Complete		12-Dec-28	0	0	◆ Two Pool Water Fills Complete															
ENGINEERING AND OWNER REQUIREMENTS		10-Oct-25	02-Jul-26	180	167																
FPL POWER - T#1 REC CENTER / CONSTRUCTION TRAILERS		10-Oct-25	02-Jul-26	180	1																
A14460	FPL Engineering Design	10-Oct-25	10-Dec-25	40	1	FPL Engineering Design															
A14500	Owner Review	11-Dec-25	17-Dec-25	5	1	Owner Review															
A14520	Easement Approval	11-Dec-25	26-Jan-26	30	51	Easement Approval															
A14510	FPL Create Invoice	18-Feb-26	24-Feb-26	5	1	FPL Create Invoice															
A14530	Payment from City	25-Feb-26	07-Apr-26	30	1	Payment from City															
A14540	FPL Release to Construction Complete	08-Apr-26	02-Jul-26	60	1	FPL Release to Construction Complete															
FPL POWER - T#2 CONCESSION BUILDING / LIGHTING		10-Oct-25	02-Jul-26	180	167																
A14560	FPL Engineering Design	10-Oct-25	10-Dec-25	40	167	FPL Engineering Design															
A14590	Easement Approval	11-Dec-25	26-Jan-26	30	217	Easement Approval															
A14570	Owner Review	10-Feb-26	17-Feb-26	5	167	Owner Review															
A14580	FPL Create Invoice	18-Feb-26	24-Feb-26	5	167	FPL Create Invoice															

█ Actual Work █ Critical Remaining Work
█ Remaining Work ◆ Milestone

Delray Beach Pompey Park Enhancement Project		Full Baseline Schedule				2026 2027 2028															
Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1		
A14600	Payment from City	25-Feb-26	07-Apr-26	30	167																
A14610	FPL Release to Construction Complete	08-Apr-26	02-Jul-26	60	167																
ENABLING PHASE		22-Jun-26	31-Aug-26	50	146																
MOBILIZATION		22-Jun-26	17-Aug-26	40	5																
A14650	Site Survey / Fencing	22-Jun-26	06-Jul-26	10	0																
A14430	Enabling Phase Compound Trailers and Generators	06-Jul-26	20-Jul-26	10	10																
DEMOLITION		06-Jul-26	03-Aug-26	20	10																
A1060	Demolition of Existing Cell Tower / Raquetball Courts	06-Jul-26	13-Jul-26	5	5																
A1250	Remove Pavement / Curbing	20-Jul-26	27-Jul-26	5	10																
A1260	Remove UG Utilities	27-Jul-26	03-Aug-26	5	10																
TEMPORARY SAFETY MEASURES FOR EXISTING BUILDING		13-Jul-26	10-Aug-26	20	5																
A1150	Demolish Existing Sidewalks and Walls	13-Jul-26	20-Jul-26	5	5																
A1160	Relocate Existing Gas Systems	20-Jul-26	30-Jul-26	8	5																
A1170	Pour New Temp Sidewalks / Instal Safety Measures	30-Jul-26	10-Aug-26	7	5																
TEMPORARY SAFETY MEASURES FOR LANDSCAPING / IRRIGATION		06-Jul-26	17-Aug-26	30	5																
A1130	Rewire / Relocation of Existing Controllers	06-Jul-26	03-Aug-26	20	5																
A1140	Rerouting of existing irrigation lines	04-Aug-26	17-Aug-26	10	5																
FPL POWER		06-Jul-26	31-Aug-26	40	146																
FPL POWER - T#1 REC CENTER / CONSTRUCTION TRAILERS		06-Jul-26	17-Aug-26	30	0																
A14440	Contractor - Install Secondaries	06-Jul-26	03-Aug-26	20	0																
A14470	Contractor - Complete Inspections	03-Aug-26	10-Aug-26	5	0																
A14450	Reconnect Power to Existing Building	10-Aug-26	17-Aug-26	5	0																
A14550	FPL Activate Power to T#1		10-Aug-26	0	0																
FPL POWER - T#2 CONCESSION BUILDING / LIGHTING		03-Aug-26	31-Aug-26	20	146																
A14620	Contractor - Install Secondaries	03-Aug-26	17-Aug-26	10	155																
A14630	Contractor - Complete Inspections	17-Aug-26	24-Aug-26	5	155																
A1230	Reconnect Power to Concession / Lighting	24-Aug-26	31-Aug-26	5	155																
A14640	FPL Activate Power to T#2		24-Aug-26	0	146																
CONSTRUCTION		12-Jun-26	26-Jan-29	653	0																
SUBMITTALS / PROCUREMENT		12-Jun-26	14-Jun-27	250	403																
SUBCONTRACTOR AWARD		12-Jun-26	08-Sep-26	60	47																
A1300	Subcontractors Award	12-Jun-26	08-Sep-26	60	47																
A1310	Priority Subcontractors Award (Concrete/Masonry, Structural Steel)	12-Jun-26	13-Jul-26	20	6																
ENABLING PHASE SUBCONTRACTOR AWARD		12-Jun-26	18-Jun-26	5	35																
A14660	Fencing Subcontractor	12-Jun-26	18-Jun-26	5	0																
A14670	Electric Subcontractor	12-Jun-26	18-Jun-26	5	35																
A14680	Civil Demo/Site Contractor	12-Jun-26	18-Jun-26	5	15																
SUBMITTALS		14-Jul-26	19-Mar-27	170	433																
S1000	Rebar Shop Drawings	14-Jul-26	27-Jul-26	10	6																
A1410	Structural Steel Shop Drawings	14-Jul-26	10-Aug-26	20	38																
A11640	Vapor Barrier Shop Drawings	14-Jul-26	27-Jul-26	10	49																
S1010	Rebar Shop Drawings Review and Approval	21-Jul-26	03-Aug-26	10	6																
A11650	Vapor Barrier Shop Drawings Review and Approval	28-Jul-26	10-Aug-26	10	49																
A1420	Structural Steel Shop Drawings Review and Approval	11-Aug-26	24-Aug-26	10	38																
A1610	Roofing Systems Package	09-Sep-26	06-Oct-26	20	82																
A2030	Elevator Shop Drawings	09-Sep-26	06-Oct-26	20	225																

█ Actual Work █ Critical Remaining Work
█ Remaining Work ◆ Milestone

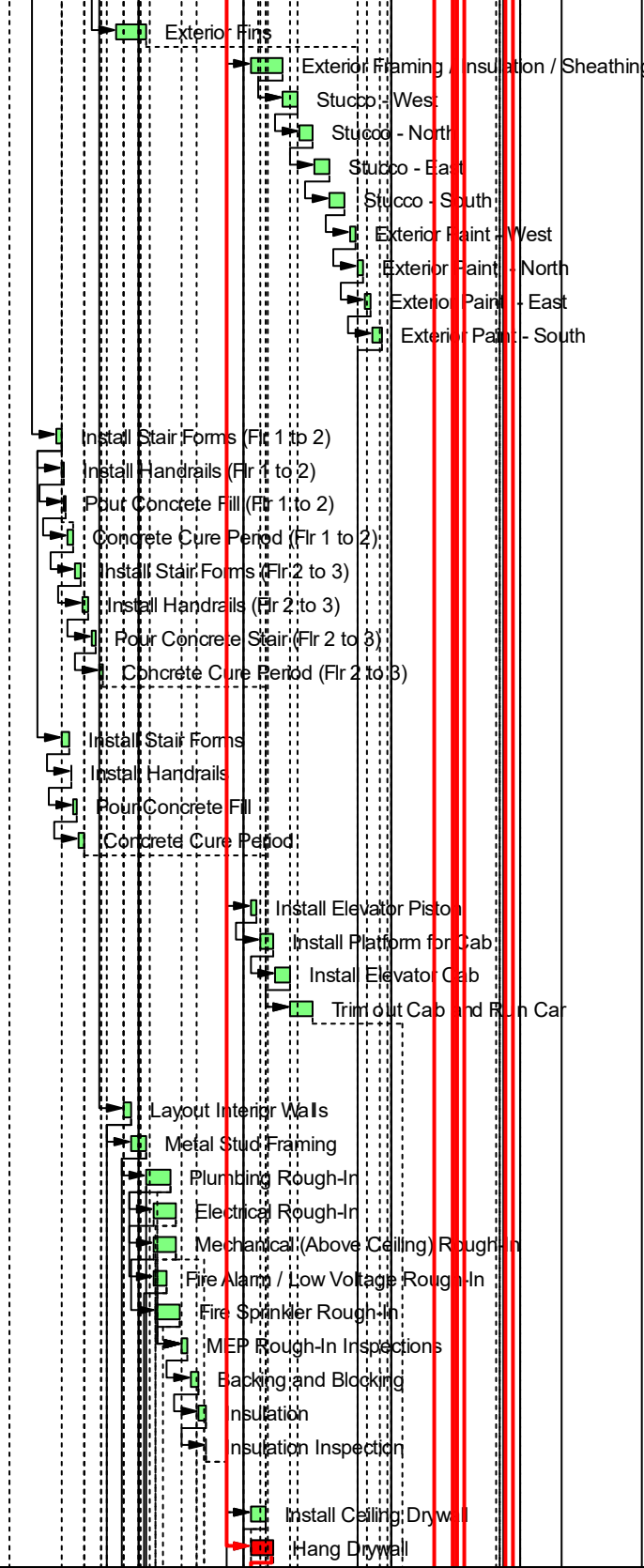
Delray Beach Pompey Park Enhancement Project		Full Baseline Schedule				2026 2027 2028															
Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1		
A5650	Grade / Prep for Foundation Work	18-Aug-26	24-Aug-26	5	0																
A5660	Layout Building Corners and Control Lines	25-Aug-26	25-Aug-26	1	0																
A5670	Excavate / Forms and Reinforcement for Footings (Dewater)	26-Aug-26	09-Sep-26	10	0																
A5680	Pour Footings	10-Sep-26	11-Sep-26	2	88																
A5700	Stem Walls / Stub Columns	14-Sep-26	25-Sep-26	10	88																
A5800	Backfill Stem Walls	28-Sep-26	02-Oct-26	5	88																
A5710	MEP Underground Start		02-Oct-26	0	88																
A5720	UG Electrical Rough-in	05-Oct-26	26-Oct-26	15	88																
A5730	UG Plumbing Rough-in	05-Oct-26	26-Oct-26	15	88																
A5740	UG MEP Inspection	27-Oct-26	29-Oct-26	3	88																
A5750	Install Vapor Barrier	30-Oct-26	02-Nov-26	2	88																
A5760	Form and Reinforce SOG	03-Nov-26	09-Nov-26	5	88																
A5790	Structural Inspection SOG		09-Nov-26	0	88																
A5770	Pour SOG	10-Nov-26	17-Nov-26	5	88																
A5780	SOG Cured	18-Nov-26	24-Nov-26	5	88																
MASONRY WALLS		25-Nov-26	13-Jan-27	32	106																
EAST AND WEST CONCRETE SHEAR WALLS		25-Nov-26	24-Dec-26	20	88																
A11830	Set Forms and Reinforce	25-Nov-26	08-Dec-26	8	88																
A11850	Pour Concrete Walls	09-Dec-26	15-Dec-26	5	88																
A11860	Concrete Cure Period	16-Dec-26	22-Dec-26	5	88																
A11870	Breakdown Forms	23-Dec-26	24-Dec-26	2	88																
NORTH MASONRY AND TIE BEAMS		28-Dec-26	13-Jan-27	12	106																
A11890	Installation of CMU	28-Dec-26	04-Jan-27	5	106																
A11900	Build Forms/Shoring for Cast in Place Concrete beams	05-Jan-27	07-Jan-27	3	106																
A11910	Pour Cast in Place Tie Beams	08-Jan-27	11-Jan-27	2	106																
A11920	Cast In Place Tie Beams Cured	12-Jan-27	13-Jan-27	2	106																
SOUTH WALL MASONRY AND TIE BEAMS		28-Dec-26	13-Jan-27	12	88																
A11930	Installation of CMU	28-Dec-26	04-Jan-27	5	88																
A11940	Build Forms/Shoring for Cast in Place Concrete beams	05-Jan-27	07-Jan-27	3	88																
A11950	Pour Cast in Place Tie Beams	08-Jan-27	11-Jan-27	2	88																
A11960	Cast In Place Tie Beams Cured	12-Jan-27	13-Jan-27	2	88																
SECOND FLOOR ELEVATED TRACK STRUCTURE		22-Feb-27	02-Apr-27	30	158																
A5980	Structural Steel Beam/Vertical Steel Rods	22-Feb-27	12-Mar-27	15	158																
A5990	Metal Decking	15-Mar-27	19-Mar-27	5	158																
A6010	Reinforce and Pour Interior Concrete Decks	22-Mar-27	26-Mar-27	5	158																
A6020	Second Floor Deck Cured	29-Mar-27	02-Apr-27	5	158																
ROOF		14-Jan-27	30-Mar-27	52	88																
NORTH - GYM ACCESSORY ROOMS		14-Jan-27	04-Mar-27	34	106																
A9500	Structural Steel Bar Joists	14-Jan-27	28-Jan-27	10	106																
A9600	Metal Decking	29-Jan-27	04-Feb-27	5	106																
A9530	Roof MEP Rough-In	05-Feb-27	08-Feb-27	2	106																
A9720	Roof Concrete Pour	09-Feb-27	10-Feb-27	2	106																
A9930	Roof Concrete Cure Period	11-Feb-27	18-Feb-27	5	106																
A9520	Roof Parapet CMU	19-Feb-27	25-Feb-27	5	106																
A9560	Roofing Membrane	26-Feb-27	04-Mar-27	5	106																
A9570	Roofing Dryin		04-Mar-27	0	106																
SOUTH - GYM		14-Jan-27	30-Mar-27	52	88																

█ Actual Work █ Critical Remaining Work
█ Remaining Work ◆ Milestone

Delray Beach Pompey Park Enhancement Project		Full Baseline Schedule				2026																2027					2028					029
Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1									
A5900	Structural Steel Bar Joists	14-Jan-27	04-Feb-27	15	88																											
A5920	Metal Decking	05-Feb-27	11-Feb-27	5	88																											
A5930	Roof MEP Rough-In	12-Feb-27	16-Feb-27	2	88																											
A5940	Structural Frame for Mechanical Enclosure	12-Feb-27	16-Feb-27	2	88																											
A11670	Roof Concrete Pour	17-Feb-27	23-Feb-27	5	88																											
A11680	Roof Concrete Cure Period	24-Feb-27	02-Mar-27	5	88																											
A9610	Roof Parapet CMU	03-Mar-27	16-Mar-27	10	88																											
A5970	Roofing Membrane	17-Mar-27	30-Mar-27	10	88																											
A5960	Roofing Dryin		30-Mar-27	0	88																											
ENVELOPE		31-Mar-27	22-Jun-27	58	77																											
A6040	Glazing / Louvers - South	31-Mar-27	06-Apr-27	5	100																											
A9620	Glazing / Louvers - East	07-Apr-27	20-Apr-27	10	100																											
A9630	Glazing / Louvers - North	21-Apr-27	27-Apr-27	5	100																											
A9640	Glazing / Louvers - West	28-Apr-27	11-May-27	10	100																											
A6050	Exterior Doors	15-Jun-27	22-Jun-27	5	77																											
A6070	Building Dried-In		22-Jun-27	0	77																											
EXTERIOR FINISHES		23-Jun-27	25-Aug-27	45	125																											
A9650	Stucco - South	23-Jun-27	29-Jun-27	5	125																											
A9660	Stucco - East	30-Jun-27	14-Jul-27	10	125																											
A9670	Stucco - North	15-Jul-27	21-Jul-27	5	125																											
A9680	Stucco - West	22-Jul-27	04-Aug-27	10	125																											
A10050	Stucco - High Wall between North and South	05-Aug-27	18-Aug-27	10	125																											
A11130	Parapet Wall - Aluminum Capping	19-Aug-27	25-Aug-27	5	125																											
INTERIOR FINISHES		31-Mar-27	13-Oct-27	136	77																											
FIRST FLOOR NORTH AND SOUTH		31-Mar-27	13-Oct-27	136	77																											
FRAMING AND MEP ROUGH-IN		31-Mar-27	07-Jun-27	47	88																											
A6090	Layout Interior Walls	31-Mar-27	06-Apr-27	5	88																											
A6100	Metal Stud Framing / Furring Strips	07-Apr-27	20-Apr-27	10	88																											
A6110	Plumbing Rough-In	21-Apr-27	29-Apr-27	7	88																											
A6120	Electrical Rough-In	28-Apr-27	11-May-27	10	90																											
A6130	Mechanical (Above Ceiling) Rough-In	28-Apr-27	11-May-27	10	88																											
A6140	Fire Alarm / Low Voltage Rough-In	28-Apr-27	04-May-27	5	95																											
A6150	Fire Sprinkler Rough-In	05-May-27	13-May-27	7	88																											
A6160	MEP Rough-In Inspections	14-May-27	20-May-27	5	88																											
A6170	Backing and Blocking	21-May-27	27-May-27	5	88																											
A6180	In-Wall Insulation	28-May-27	04-Jun-27	5	88																											
A9690	Spray Insulation around Structural Beams (Icynene)	28-May-27	04-Jun-27	5	88																											
A6190	Insulation Inspection	07-Jun-27	07-Jun-27	0	88																											
DRYWALL		23-Jun-27	28-Jul-27	25	77																											
A6210	Hang Drywall	23-Jun-27	14-Jul-27	15	77																											
A6220	Taping and Spackling	15-Jul-27	28-Jul-27	10	77																											
FINISHES		29-Jul-27	13-Oct-27	53	77																											
A6230	Paint - Prime & 1st Coat (Walls and Ceiling)	29-Jul-27	11-Aug-27	10	77																											
A6240	Ceilings - Install Acoustical Ceiling Panel System	12-Aug-27	23-Aug-27	8	77																											
A6250	Ceilings drops	12-Aug-27	18-Aug-27	5	80																											
A9700	Flooring - Concrete Floor Finishes	24-Aug-27	14-Sep-27	15	77																											
A9710	Flooring - Basketball Court Flooring	24-Aug-27	14-Sep-27	15	77																											

█ Actual Work █ Critical Remaining Work
█ Remaining Work ◆ Milestone

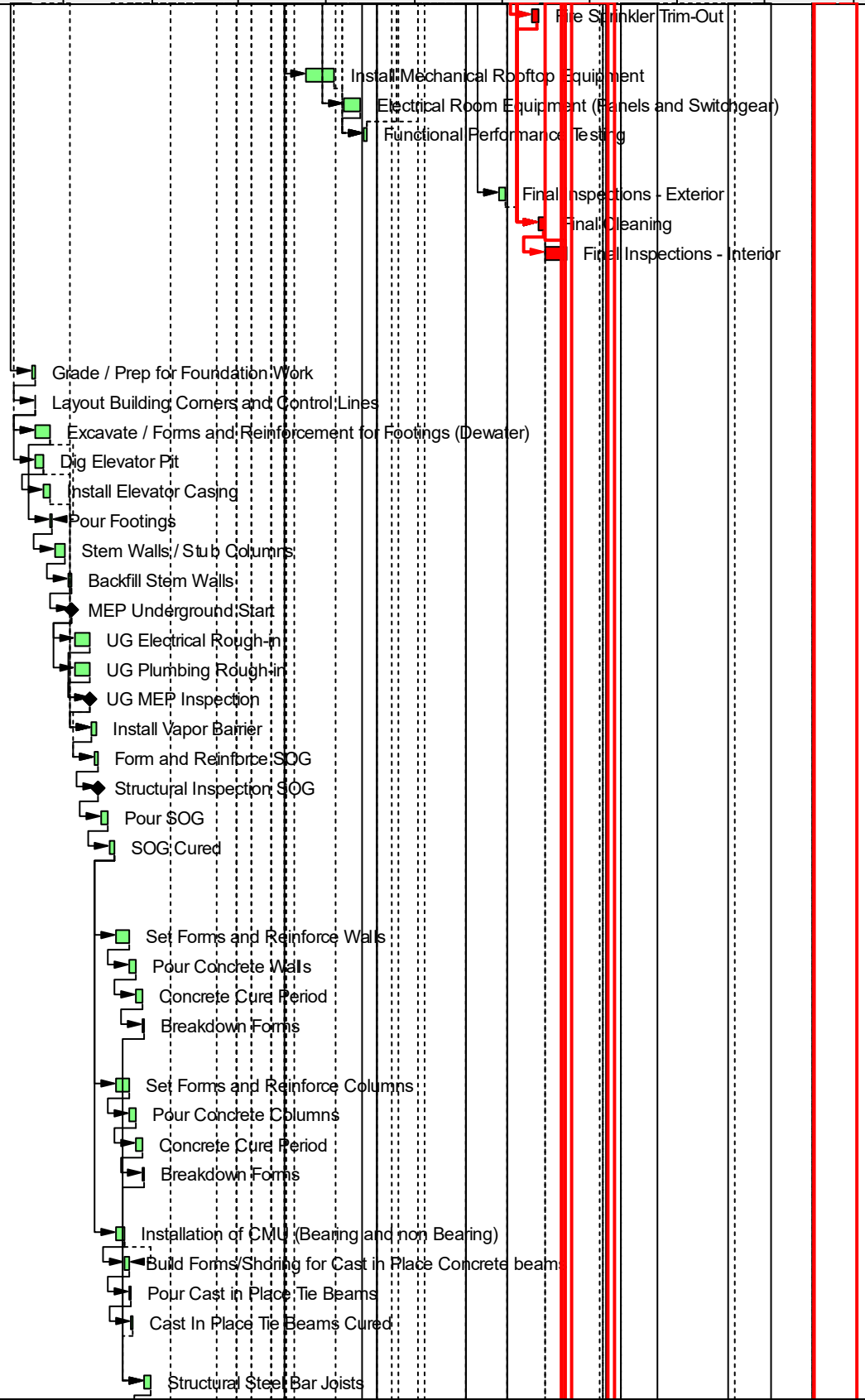
Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	2026				2027				2028				029			
						Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3		Q4	Q1	
EXTERIOR FINISHES						28-Apr-27	27-Dec-27	165	23												
A12070	Exterior Fins	28-Apr-27	25-May-27	20	168																
A10190	Exterior Framing / Insulation / Sheathing	30-Aug-27	27-Sep-27	20	23																
A10060	Stucco - West	28-Sep-27	12-Oct-27	10	23																
A10070	Stucco - North	13-Oct-27	26-Oct-27	10	23																
A10170	Stucco - East	27-Oct-27	09-Nov-27	10	23																
A10090	Stucco - South	10-Nov-27	24-Nov-27	10	23																
A10150	Exterior Paint - West	29-Nov-27	03-Dec-27	5	23																
A10160	Exterior Paint - North	06-Dec-27	10-Dec-27	5	23																
A10080	Exterior Paint - East	13-Dec-27	17-Dec-27	5	23																
A10180	Exterior Paint - South	20-Dec-27	27-Dec-27	5	23																
INTERIOR FINISHES						04-Mar-27	07-Feb-28	232	0												
CONCRETE STAIR - WEST						04-Mar-27	16-Apr-27	32	119												
A10110	Install Stair Forms (Flr 1 to 2)	04-Mar-27	09-Mar-27	4	7																
A10120	Install Handrails (Flr 1 to 2)	10-Mar-27	10-Mar-27	1	7																
A10130	Pour Concrete Fill (Flr 1 to 2)	11-Mar-27	12-Mar-27	2	7																
A10140	Concrete Cure Period (Flr 1 to 2)	15-Mar-27	19-Mar-27	5	7																
A11140	Install Stair Forms (Flr 2 to 3)	22-Mar-27	26-Mar-27	5	119																
A11160	Install Handrails (Flr 2 to 3)	29-Mar-27	02-Apr-27	5	119																
A11150	Pour Concrete Stair (Flr 2 to 3)	05-Apr-27	09-Apr-27	5	119																
A11690	Concrete Cure Period (Flr 2 to 3)	12-Apr-27	16-Apr-27	5	119																
CONCRETE MONUMENT STAIR EAST						10-Mar-27	30-Mar-27	15	132												
A1920	Install Stair Forms	10-Mar-27	16-Mar-27	5	132																
A1930	Install Handrails	17-Mar-27	18-Mar-27	2	132																
A1940	Pour Concrete Fill	19-Mar-27	23-Mar-27	3	132																
A1950	Concrete Cure Period	24-Mar-27	30-Mar-27	5	132																
ELEVATOR						30-Aug-27	26-Oct-27	40	68												
A2250	Install Elevator Piston	30-Aug-27	03-Sep-27	5	68																
A2260	Install Platform for Cab	07-Sep-27	20-Sep-27	10	68																
A2270	Install Elevator Cab	21-Sep-27	04-Oct-27	10	68																
A2070	Trim out Cab and Run Car	05-Oct-27	26-Oct-27	15	68																
FIRST FLOOR						05-May-27	20-Jan-28	176	7												
FRAMING AND MEP ROUGH-IN						05-May-27	20-Jul-27	51	29												
A7320	Layout Interior Walls	05-May-27	11-May-27	5	20																
A7330	Metal Stud Framing	12-May-27	25-May-27	10	20																
A7340	Plumbing Rough-In	26-May-27	16-Jun-27	15	20																
A7350	Electrical Rough-In	01-Jun-27	22-Jun-27	15	27																
A7360	Mechanical (Above Ceiling) Rough-In	01-Jun-27	22-Jun-27	15	22																
A7370	Fire Alarm / Low Voltage Rough-In	01-Jun-27	14-Jun-27	10	37																
A7380	Fire Sprinkler Rough-In	04-Jun-27	25-Jun-27	15	24																
A7390	MEP Rough-In Inspections	28-Jun-27	02-Jul-27	5	29																
A7400	Backing and Blocking	06-Jul-27	12-Jul-27	5	29																
A7410	Insulation	13-Jul-27	19-Jul-27	5	29																
A7420	Insulation Inspection	20-Jul-27	20-Jul-27	0	29																
DRYWALL						30-Aug-27	04-Oct-27	25	2												
A7430	Install Ceiling Drywall	30-Aug-27	13-Sep-27	10	7																
A7440	Hang Drywall	30-Aug-27	20-Sep-27	15	0																



Delray Beach Pompey Park Enhancement Project		Full Baseline Schedule				2026																2027				2028				029
Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1							
A7450	Taping and Spackling	21-Sep-27	04-Oct-27	10	2																									
FINISHES		05-Oct-27	20-Jan-28	71	7																									
A7460	Paint - Prime & 1st Coat (Walls and Ceiling)	05-Oct-27	19-Oct-27	10	2																									
A7470	Ceilings - Install Acoustical Ceiling Panel System	20-Oct-27	29-Oct-27	8	2																									
A7480	Ceilings - Install Acoustical Wood Plank Ceiling System	20-Oct-27	26-Oct-27	5	5																									
A7490	Flooring - Concrete Floor Finishes	01-Nov-27	18-Nov-27	13	2																									
A7500	Flooring - Tile and Carpet Tile	01-Nov-27	18-Nov-27	13	2																									
A7510	Doors and Hardware	19-Nov-27	06-Dec-27	10	7																									
A7520	Millwork	19-Nov-27	13-Dec-27	15	2																									
A7530	Specialties (Kitchenette Equipment, Data Center)	19-Nov-27	13-Dec-27	15	2																									
A7540	Final Paint	14-Dec-27	28-Dec-27	10	2																									
A7550	Plumbing Trim-Out	29-Dec-27	05-Jan-28	5	4																									
A7560	Electrical Trim-Out	06-Jan-28	18-Jan-28	8	4																									
A7570	Mechanical Trim-Out	06-Jan-28	12-Jan-28	5	7																									
A7580	Fire Alarm / Low Voltage Trim-Out	13-Jan-28	20-Jan-28	5	7																									
A7590	Fire Sprinkler Trim-Out	13-Jan-28	20-Jan-28	5	7																									
SECOND FLOOR		12-May-27	07-Feb-28	183	0																									
FRAMING AND MEP ROUGH-IN		12-May-27	23-Aug-27	70	20																									
A7600	Layout Interior Walls	12-May-27	18-May-27	5	30																									
A7610	Metal Stud Framing	26-May-27	09-Jun-27	10	25																									
A7650	Fire Alarm / Low Voltage Rough-In	15-Jun-27	29-Jun-27	10	37																									
A7620	Plumbing Rough-In	17-Jun-27	09-Jul-27	15	20																									
A7630	Electrical Rough-In	25-Jun-27	16-Jul-27	15	25																									
A7640	Mechanical (Above Ceiling) Rough-In	25-Jun-27	16-Jul-27	15	20																									
A7660	Fire Sprinkler Rough-In	02-Jul-27	23-Jul-27	15	20																									
A7670	MEP Rough-In Inspections	26-Jul-27	30-Jul-27	5	20																									
A7680	Backing and Blocking	02-Aug-27	06-Aug-27	5	20																									
A7690	Insulation and Spray Foam insulation of Structural Steel (Icynene)	09-Aug-27	20-Aug-27	10	20																									
A7700	Insulation Inspection	23-Aug-27	23-Aug-27	0	20																									
DRYWALL		14-Sep-27	26-Oct-27	30	0																									
A7710	Install Ceiling Drywall Bathrooms	14-Sep-27	20-Sep-27	5	15																									
A7720	Hang Drywall	21-Sep-27	12-Oct-27	15	0																									
A7730	Taping and Spackling	13-Oct-27	26-Oct-27	10	0																									
FINISHES		13-Oct-27	07-Feb-28	78	0																									
A7790	Doors and Hardware	13-Oct-27	26-Oct-27	10	0																									
A7740	Paint - Prime & 1st Coat (Walls and Ceiling)	27-Oct-27	09-Nov-27	10	0																									
A7750	Ceilings - Install Acoustical Ceiling Panel System	10-Nov-27	24-Nov-27	10	0																									
A7760	Ceilings - Install Acoustical Wood Plank Ceiling System	10-Nov-27	24-Nov-27	10	0																									
A7770	Flooring - Concrete Floor Finishes	29-Nov-27	15-Dec-27	13	0																									
A7780	Flooring - Tile and Carpet Tile	29-Nov-27	15-Dec-27	13	0																									
A7800	Millwork	16-Dec-27	30-Dec-27	10	0																									
A7810	Specialties (Hardwired Furniture and Equipment)	16-Dec-27	30-Dec-27	10	0																									
A7820	Final Paint	03-Jan-28	14-Jan-28	10	0																									
A7830	Plumbing Trim-Out (All Fixtures)	18-Jan-28	24-Jan-28	5	0																									
A7840	Electrical Trim-Out	25-Jan-28	02-Feb-28	7	0																									
A7850	Mechanical Trim-Out	25-Jan-28	31-Jan-28	5	0																									
A7860	Fire Alarm / Low Voltage Trim-Out	01-Feb-28	07-Feb-28	5	0																									

█ Actual Work █ Critical Remaining Work
█ Remaining Work ◆ Milestone

Delray Beach Pompey Park Enhancement Project		Full Baseline Schedule				2026 2027 2028															
Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1		
A7870	Fire Sprinkler Trim-Out	01-Feb-28	07-Feb-28	5	0																
MEP EQUIPMENT		10-Jun-27	13-Aug-27	45	37																
A8080	Install Mechanical Rooftop Equipment	10-Jun-27	09-Jul-27	20	57																
A8100	Electrical Room Equipment (Panels and Switchgear)	19-Jul-27	06-Aug-27	15	37																
A8090	Functional Performance Testing	09-Aug-27	13-Aug-27	5	37																
FINAL CLEAN AND INSPECTIONS		28-Dec-27	07-Mar-28	48	0																
A8070	Final Inspections - Exterior	28-Dec-27	04-Jan-28	5	23																
A8050	Final Cleaning	08-Feb-28	14-Feb-28	5	0																
A8060	Final Inspections - Interior	15-Feb-28	07-Mar-28	15	0																
SECTION C - TEEN/MULTI/LOCKER ROOMS		28-Aug-26	20-Dec-27	325	52																
STRUCTURE		28-Aug-26	20-Oct-27	285	67																
FOUNDATION		28-Aug-26	23-Nov-26	59	52																
A10200	Grade / Prep for Foundation Work	28-Aug-26	31-Aug-26	2	52																
A10210	Layout Building Corners and Control Lines	01-Sep-26	01-Sep-26	1	52																
A10220	Excavate / Forms and Reinforcement for Footings (Dewater)	02-Sep-26	16-Sep-26	10	52																
A10250	Dig Elevator Pit	02-Sep-26	09-Sep-26	5	81																
A10350	Install Elevator Casing	10-Sep-26	16-Sep-26	5	81																
A10230	Pour Footings	17-Sep-26	18-Sep-26	2	52																
A13570	Stem Walls / Stub Columns	21-Sep-26	02-Oct-26	10	52																
A13580	Backfill Stem Walls	05-Oct-26	09-Oct-26	5	52																
A10260	MEP Underground Start		09-Oct-26	0	52																
A10270	UG Electrical Rough-in	13-Oct-26	28-Oct-26	12	52																
A10280	UG Plumbing Rough-in	13-Oct-26	28-Oct-26	12	52																
A10290	UG MEP Inspection		28-Oct-26	0	52																
A10300	Install Vapor Barrier	29-Oct-26	04-Nov-26	5	52																
A10310	Form and Reinforce SOG	02-Nov-26	06-Nov-26	5	52																
A10340	Structural Inspection SOG		06-Nov-26	0	52																
A10320	Pour SOG	09-Nov-26	16-Nov-26	5	52																
A10330	SOG Cured	17-Nov-26	23-Nov-26	5	52																
MASONRY WALLS		24-Nov-26	11-Feb-27	53	52																
CONCRETE SHEAR WALLS		24-Nov-26	23-Dec-26	20	52																
A12080	Set Forms and Reinforce Walls	24-Nov-26	07-Dec-26	8	52																
A12090	Pour Concrete Walls	08-Dec-26	14-Dec-26	5	52																
A12100	Concrete Cure Period	15-Dec-26	21-Dec-26	5	52																
A12110	Breakdown Forms	22-Dec-26	23-Dec-26	2	52																
CONCRETE COLUMNS		24-Nov-26	23-Dec-26	20	52																
A12120	Set Forms and Reinforce Columns	24-Nov-26	07-Dec-26	8	52																
A12130	Pour Concrete Columns	08-Dec-26	14-Dec-26	5	52																
A12140	Concrete Cure Period	15-Dec-26	21-Dec-26	5	52																
A12150	Breakdown Forms	22-Dec-26	23-Dec-26	2	52																
MASONRY AND TIE BEAMS - FLOOR 1		24-Nov-26	11-Dec-26	12	60																
A12220	Installation of CMU (Bearing and non Bearing)	24-Nov-26	02-Dec-26	5	60																
A12230	Build Forms/Shoring for Cast in Place Concrete beams	03-Dec-26	07-Dec-26	3	60																
A12240	Pour Cast in Place Tie Beams	08-Dec-26	09-Dec-26	2	60																
A12250	Cast In Place Tie Beams Cured	10-Dec-26	11-Dec-26	2	60																
SECOND FLOOR DECK		24-Dec-26	26-Jan-27	21	52																
A12160	Structural Steel Bar Joists	24-Dec-26	31-Dec-26	5	52																



█ Actual Work █ Critical Remaining Work
█ Remaining Work ◆ Milestone

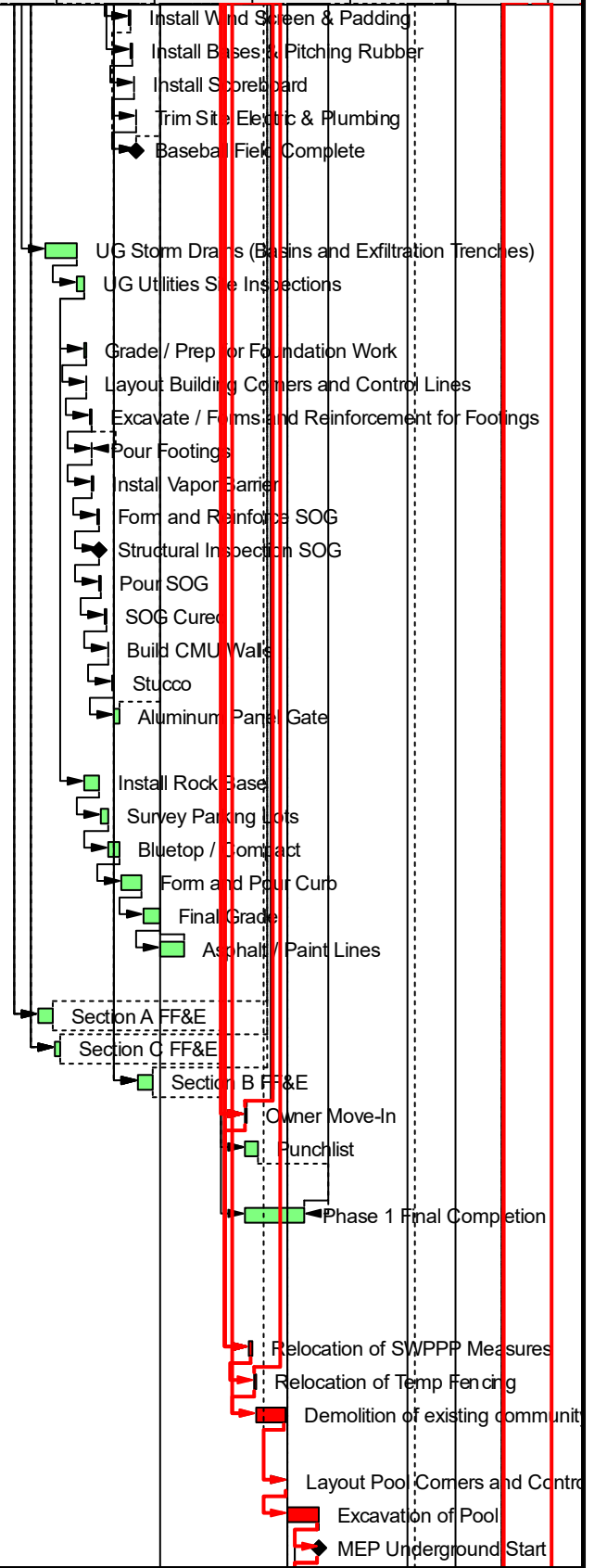
Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	2026				2027				2028				029		
						Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3		Q4	Q1
A12170	Metal Decking / Shoring	04-Jan-27	06-Jan-27	3	52															
A12180	MEP Rough-In Deck	07-Jan-27	13-Jan-27	5	52															
A12190	Reinforce and Pour Interior Concrete Decks	14-Jan-27	15-Jan-27	2	52															
A12200	Second Floor Deck Cured	19-Jan-27	25-Jan-27	5	52															
A12210	Strip Shoring	26-Jan-27	26-Jan-27	1	52															
MASONRY AND TIE BEAMS - FLOOR 2		27-Jan-27	11-Feb-27	12	52															
A12260	Installation of CMU (Bearing and non Bearing)	27-Jan-27	02-Feb-27	5	52															
A12270	Build Forms/Shoring for Cast in Place Concrete beams	03-Feb-27	05-Feb-27	3	52															
A12280	Pour Cast in Place Tie Beams	08-Feb-27	09-Feb-27	2	52															
A12290	Cast In Place Tie Beams Cured	10-Feb-27	11-Feb-27	2	52															
ROOF		12-Feb-27	21-Apr-27	48	172															
A12360	Structural Steel Bar Joists	12-Feb-27	23-Feb-27	7	52															
A12370	Metal Decking / Shoring	24-Feb-27	02-Mar-27	5	52															
A12450	Structural Steel South Projections	24-Feb-27	09-Mar-27	10	203															
A12380	Roof MEP Rough-In	03-Mar-27	04-Mar-27	2	55															
A12390	Structural Frame for Mechanical Enclosure	03-Mar-27	09-Mar-27	5	52															
A12400	Roof Concrete Pour	10-Mar-27	11-Mar-27	2	52															
A12410	Roof Concrete Cure Period	12-Mar-27	17-Mar-27	4	52															
A12420	Roof Parapet CMU	18-Mar-27	31-Mar-27	10	52															
A12460	Strip Shoring	18-Mar-27	18-Mar-27	1	66															
A12430	Roofing Membrane	01-Apr-27	21-Apr-27	15	52															
A12440	Roofing Dryin		21-Apr-27	0	52															
ENVELOPE		22-Apr-27	25-Jun-27	45	67															
A12300	Glazing / Louvers - West	22-Apr-27	05-May-27	10	67															
A12310	Glazing / Louvers - North	06-May-27	26-May-27	15	67															
A12320	Glazing / Louvers - East	27-May-27	10-Jun-27	10	67															
A12330	Glazing / Louvers - South	11-Jun-27	17-Jun-27	5	67															
A12340	Exterior doors	21-Jun-27	25-Jun-27	5	67															
A12350	Building Dried-In		25-Jun-27	0	67															
EXTERIOR FINISHES		10-Mar-27	20-Oct-27	156	67															
A12470	Exterior Fins	10-Mar-27	06-Apr-27	20	203															
A12480	Exterior Framing / Insulation / Sheathing	28-Jun-27	26-Jul-27	20	67															
A12490	Stucco - West	27-Jul-27	09-Aug-27	10	67															
A12500	Stucco - North	10-Aug-27	23-Aug-27	10	67															
A12510	Stucco - East	24-Aug-27	07-Sep-27	10	67															
A12520	Stucco - South	08-Sep-27	21-Sep-27	10	67															
A12530	Exterior Paint - West	22-Sep-27	28-Sep-27	5	67															
A12540	Exterior Paint - North	29-Sep-27	05-Oct-27	5	67															
A12550	Exterior Paint - East	06-Oct-27	13-Oct-27	5	67															
A12560	Exterior Paint - South	14-Oct-27	20-Oct-27	5	67															
INTERIOR FINISHES		27-Jan-27	18-Nov-27	205	52															
CONCRETE STAIR - EAST		27-Jan-27	17-Feb-27	15	159															
A12570	Install Stair Forms	27-Jan-27	02-Feb-27	5	159															
A12580	Install Handrails	03-Feb-27	04-Feb-27	2	159															
A12590	Pour Concrete Fill	05-Feb-27	09-Feb-27	3	159															
A12600	Concrete Cure Period	10-Feb-27	17-Feb-27	5	159															
ELEVATOR		28-Jun-27	23-Aug-27	40	112															

█ Actual Work █ Critical Remaining Work
█ Remaining Work ◆ Milestone

Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	2026													2027				2028					029				
						Q4					Q1				Q2				Q3				Q4				Q1					
																			Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1					
A11180	Install Elevator Piston	28-Jun-27	02-Jul-27	5	112																				Install Elevator Piston							
A11190	Install Platform for Cab	06-Jul-27	19-Jul-27	10	112																				Install Platform for Cab							
A11200	Install Elevator Cab	20-Jul-27	02-Aug-27	10	112																				Install Elevator Cab							
A11170	Trim out Cab and Run Car	03-Aug-27	23-Aug-27	15	112																				Trim out Cab and Run Car							
FIRST FLOOR						18-Mar-27	21-Oct-27	151	66																							
FRAMING AND MEP ROUGH-IN						18-Mar-27	02-Jun-27	53	59																							
A10470	Layout Interior Walls	18-Mar-27	24-Mar-27	5	52																				Layout Interior Walls							
A10480	Metal Stud Framing	25-Mar-27	07-Apr-27	10	52																				Metal Stud Framing							
A10490	Plumbing Rough-In	08-Apr-27	28-Apr-27	15	52																				Plumbing Rough-In							
A10500	Electrical Rough-In	13-Apr-27	03-May-27	15	59																				Electrical Rough-In							
A10510	Mechanical (Above Ceiling) Rough-In	13-Apr-27	03-May-27	15	54																				Mechanical (Above Ceiling) Rough-In							
A10520	Fire Alarm / Low Voltage Rough-In	13-Apr-27	26-Apr-27	10	69																				Fire Alarm / Low Voltage Rough-In							
A10530	Fire Sprinkler Rough-In	20-Apr-27	10-May-27	15	54																				Fire Sprinkler Rough-In							
A10540	MEP Rough-In Inspections	11-May-27	17-May-27	5	59																				MEP Rough-In Inspections							
A10550	Backing and Blocking	18-May-27	24-May-27	5	59																				Backing and Blocking							
A10560	Insulation	25-May-27	01-Jun-27	5	59																				Insulation							
A10570	Insulation Inspection	02-Jun-27	02-Jun-27	0	59																				Insulation Inspection							
DRYWALL						02-Jun-27	08-Jul-27	25	61																							
A10580	Install Ceiling Drywall	02-Jun-27	15-Jun-27	10	66																				Install Ceiling Drywall							
A10590	Hang Drywall	02-Jun-27	23-Jun-27	15	59																				Hang Drywall							
A10600	Taping and Spackling	24-Jun-27	08-Jul-27	10	61																				Taping and Spackling							
FINISHES						09-Jul-27	21-Oct-27	73	66																							
A10610	Paint - Prime & 1st Coat (Walls and Ceiling)	09-Jul-27	22-Jul-27	10	61																				Paint - Prime & 1st Coat (Walls and Ceiling)							
A10620	Ceilings - Install Acoustical Ceiling Panel System	23-Jul-27	03-Aug-27	8	61																				Ceilings - Install Acoustical Ceiling Panel System							
A10630	Ceilings - Install Acoustical Wood Plank Ceiling System	23-Jul-27	29-Jul-27	5	64																				Ceilings - Install Acoustical Wood Plank Ceiling System							
A10640	Flooring - Concrete Floor Finishes	04-Aug-27	24-Aug-27	15	61																				Flooring - Concrete Floor Finishes							
A10650	Flooring - Tile and Carpet Tile	04-Aug-27	24-Aug-27	15	61																				Flooring - Tile and Carpet Tile							
A10660	Doors and Hardware	25-Aug-27	08-Sep-27	10	66																				Doors and Hardware							
A10670	Millwork	25-Aug-27	15-Sep-27	15	61																				Millwork							
A10680	Specialties (Pool Equipment / Pump House)	25-Aug-27	15-Sep-27	15	61																				Specialties (Pool Equipment / Pump House)							
A10690	Final Paint	16-Sep-27	29-Sep-27	10	61																				Final Paint							
A10700	Plumbing Trim-Out	30-Sep-27	06-Oct-27	5	63																				Plumbing Trim-Out							
A10710	Electrical Trim-Out	07-Oct-27	19-Oct-27	8	63																				Electrical Trim-Out							
A10720	Mechanical Trim-Out	07-Oct-27	14-Oct-27	5	66																				Mechanical Trim-Out							
A10730	Fire Alarm / Low Voltage Trim-Out	15-Oct-27	21-Oct-27	5	66																				Fire Alarm / Low Voltage Trim-Out							
A10740	Fire Sprinkler Trim-Out	15-Oct-27	21-Oct-27	5	66																				Fire Sprinkler Trim-Out							
SECOND FLOOR						25-Mar-27	18-Nov-27	165	52																							
FRAMING AND MEP ROUGH-IN						25-Mar-27	06-Jul-27	70	52																							
A10750	Layout Interior Walls	25-Mar-27	31-Mar-27	5	62																				Layout Interior Walls							
A10760	Metal Stud Framing	08-Apr-27	21-Apr-27	10	57																				Metal Stud Framing							
A10800	Fire Alarm / Low Voltage Rough-In	27-Apr-27	10-May-27	10	69																				Fire Alarm / Low Voltage Rough-In							
A10770	Plumbing Rough-In	29-Apr-27	19-May-27	15	52																				Plumbing Rough-In							
A10780	Electrical Rough-In	06-May-27	26-May-27	15	57																				Electrical Rough-In							
A10790	Mechanical (Above Ceiling) Rough-In	06-May-27	26-May-27	15	52																				Mechanical (Above Ceiling) Rough-In							
A10810	Fire Sprinkler Rough-In	13-May-27	03-Jun-27	15	52																				Fire Sprinkler Rough-In							
A10820	MEP Rough-In Inspections	04-Jun-27	10-Jun-27	5	52																				MEP Rough-In Inspections							
A10830	Backing and Blocking	11-Jun-27	17-Jun-27	5	52																				Backing and Blocking							

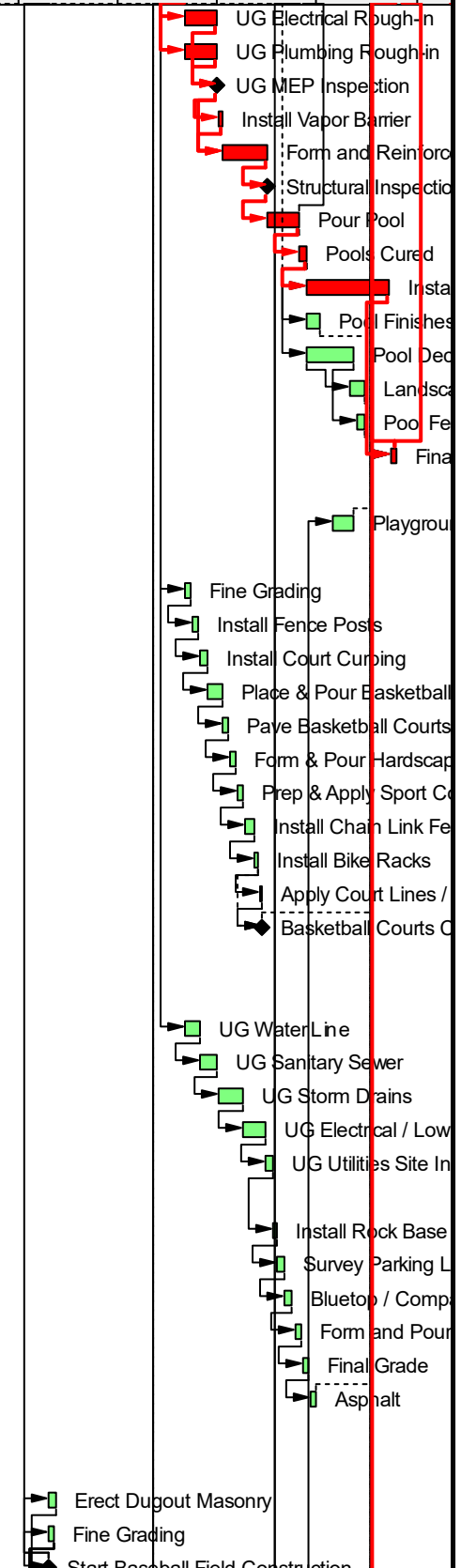
Actual Work Remaining Work Critical Remaining Work Milestone

Delray Beach Pompey Park Enhancement Project		Full Baseline Schedule					2026												2027				2028				029
Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1								
A5150	Install Wind Screen & Padding	08-Dec-27	09-Dec-27	2	71																						
A5170	Install Bases & Pitching Rubber	10-Dec-27	10-Dec-27	1	68																						
A5180	Install Scoreboard	13-Dec-27	13-Dec-27	1	68																						
A5190	Trim Site Electric & Plumbing	14-Dec-27	14-Dec-27	1	68																						
A5200	Baseball Field Complete		14-Dec-27	0	68																						
SITE WORK		22-Sep-27	27-Jan-28	85	39																						
UTILITIES		22-Sep-27	27-Oct-27	25	39																						
A13690	UG Storm Drains (Basins and Exfiltration Trenches)	22-Sep-27	20-Oct-27	20	39																						
A13700	UG Utilities Site Inspections	21-Oct-27	27-Oct-27	5	39																						
TRASH ENCLOSURE		28-Oct-27	29-Nov-27	20	79																						
A14110	Grade / Prep for Foundation Work	28-Oct-27	28-Oct-27	1	79																						
A14120	Layout Building Corners and Control Lines	29-Oct-27	29-Oct-27	1	79																						
A14130	Excavate / Forms and Reinforcement for Footings	01-Nov-27	02-Nov-27	2	79																						
A14140	Pour Footings	03-Nov-27	03-Nov-27	1	79																						
A14150	Install Vapor Barrier	04-Nov-27	04-Nov-27	1	79																						
A14160	Form and Reinforce SOG	08-Nov-27	09-Nov-27	2	79																						
A14190	Structural Inspection SOG		09-Nov-27	0	79																						
A14170	Pour SOG	10-Nov-27	12-Nov-27	2	79																						
A14180	SOG Cured	15-Nov-27	17-Nov-27	3	79																						
A14220	Build CMU Walls	18-Nov-27	19-Nov-27	2	79																						
A14200	Stucco	22-Nov-27	23-Nov-27	2	79																						
A14210	Aluminum Panel Gate	24-Nov-27	29-Nov-27	2	79																						
PAVING / CURBS / SIDEWALKS		28-Oct-27	27-Jan-28	60	39																						
A13710	Install Rock Base	28-Oct-27	10-Nov-27	10	39																						
A13720	Survey Parking Lots	12-Nov-27	18-Nov-27	5	39																						
A13730	Bluetop / Compact	19-Nov-27	29-Nov-27	5	39																						
A13740	Form and Pour Curb	30-Nov-27	20-Dec-27	15	39																						
A13750	Final Grade	21-Dec-27	05-Jan-28	10	39																						
A13760	Asphalt / Paint Lines	06-Jan-28	27-Jan-28	15	39																						
PHASE 1 - OWNER MOVE-IN		15-Sep-27	06-Apr-28	139	201																						
A13830	Section A FF&E	15-Sep-27	28-Sep-27	10	119																						
A14700	Section C FF&E	29-Sep-27	05-Oct-27	5	114																						
A14690	Section B FF&E	16-Dec-27	30-Dec-27	10	57																						
A13590	Owner Move-In	24-Mar-28	27-Mar-28	2	0																						
A13600	Punchlist	24-Mar-28	06-Apr-28	10	201																						
PHASE 1 - FINAL COMPLETION		24-Mar-28	19-May-28	41	170																						
A14710	Phase 1 Final Completion	24-Mar-28	19-May-28	41	170																						
PHASE 2		28-Jan-28	12-Dec-28	219	0																						
PHASE 2A - DEMO OF OLD COMMUNITY CENTER/NEW POOLS		29-Mar-28	12-Dec-28	177	0																						
DEMO OF OLD COMMUNITY CENTER		29-Mar-28	02-May-28	25	0																						
A9730	Relocation of SWPPP Measures	29-Mar-28	31-Mar-28	3	0																						
A9740	Relocation of Temp Fencing	03-Apr-28	04-Apr-28	2	0																						
A9750	Demolition of existing community center	05-Apr-28	02-May-28	20	0																						
POOL, DECKING AND FENCING PROGRAM		03-May-28	12-Dec-28	152	0																						
A9760	Layout Pool Corners and Control Lines	03-May-28	03-May-28	1	0																						
A9780	Excavation of Pool	04-May-28	01-Jun-28	20	0																						
A9790	MEP Underground Start		01-Jun-28	0	0																						



█ Actual Work █ Critical Remaining Work
█ Remaining Work ◆ Milestone

Delray Beach Pompey Park Enhancement Project		Full Baseline Schedule					2026												2027				2028				2029
Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1								
A9800	UG Electrical Rough-in	02-Jun-28	30-Jun-28	20	0																						
A9810	UG Plumbing Rough-in	02-Jun-28	30-Jun-28	20	0																						
A9820	UG MEP Inspection		30-Jun-28	0	0																						
A9830	Install Vapor Barrier	03-Jul-28	05-Jul-28	2	0																						
A9840	Form and Reinforce Pool	06-Jul-28	16-Aug-28	30	0																						
A9850	Structural Inspection Pool		16-Aug-28	0	0																						
A9860	Pour Pool	17-Aug-28	14-Sep-28	20	0																						
A9870	Pools Cured	15-Sep-28	21-Sep-28	5	0																						
A9880	Installation of Speciality Pool equipment / Startup	22-Sep-28	06-Dec-28	50	0																						
A9890	Pool Finishes (Diamond Bright)	22-Sep-28	03-Oct-28	8	42																						
A9900	Pool Deck / Flatwork	22-Sep-28	03-Nov-28	30	15																						
A10360	Landscaping & Irrigation	30-Oct-28	13-Nov-28	10	15																						
A10100	Pool Fencing	06-Nov-28	13-Nov-28	5	15																						
A10240	Final Inspections / HRS Inspections	07-Dec-28	12-Dec-28	4	0																						
PLAYGROUND		16-Oct-28	03-Nov-28	15	24																						
A13780	Playground	16-Oct-28	03-Nov-28	15	24																						
BASKETBALL COURTS		02-Jun-28	10-Aug-28	48	83																						
A12710	Fine Grading	02-Jun-28	07-Jun-28	4	83																						
A12720	Install Fence Posts	08-Jun-28	14-Jun-28	5	83																						
A12730	Install Court Curbing	15-Jun-28	22-Jun-28	5	83																						
A12740	Place & Pour Basketball Hoops	23-Jun-28	05-Jul-28	8	83																						
A12750	Pave Basketball Courts	06-Jul-28	11-Jul-28	4	83																						
A12760	Form & Pour Hardscape for Bike Parking	12-Jul-28	18-Jul-28	5	83																						
A12770	Prep & Apply Sport Coating	19-Jul-28	25-Jul-28	5	83																						
A12780	Install Chain Link Fencing & Gates	26-Jul-28	03-Aug-28	7	83																						
A12790	Install Bike Racks	04-Aug-28	08-Aug-28	3	83																						
A12890	Apply Court Lines / Striping	09-Aug-28	10-Aug-28	2	83																						
A12800	Basketball Courts Complete		10-Aug-28	0	83																						
SITWORK		02-Jun-28	29-Sep-28	83	48																						
UTILITIES		02-Jun-28	21-Aug-28	55	48																						
A13610	UG Water Line	02-Jun-28	15-Jun-28	10	48																						
A13620	UG Sanitary Sewer	16-Jun-28	30-Jun-28	10	48																						
A13640	UG Storm Drains	03-Jul-28	24-Jul-28	15	48																						
A13650	UG Electrical / Low Voltage	25-Jul-28	14-Aug-28	15	48																						
A13660	UG Utilities Site Inspections	15-Aug-28	21-Aug-28	5	48																						
PAVING / CURBS / SIDEWALKS		22-Aug-28	29-Sep-28	28	48																						
A11470	Install Rock Base	22-Aug-28	24-Aug-28	3	48																						
A11480	Survey Parking Lots	25-Aug-28	31-Aug-28	5	48																						
A11490	Bluetop / Compact	01-Sep-28	08-Sep-28	5	48																						
A11500	Form and Pour Curb	11-Sep-28	15-Sep-28	5	48																						
A11510	Final Grade	18-Sep-28	22-Sep-28	5	48																						
A11520	Asphalt	25-Sep-28	29-Sep-28	5	48																						
PHASE 2B - LITTLE LEAGUE FIELD		28-Jan-28	25-May-28	84	135																						
BASEBALL FIELD		28-Jan-28	17-Apr-28	56	163																						
A5260	Erect Dugout Masonry	28-Jan-28	03-Feb-28	5	173																						
A5220	Fine Grading	28-Jan-28	02-Feb-28	4	135																						
A5210	Start Baseball Field Construction	28-Jan-28		0	135																						



█ Actual Work █ Critical Remaining Work
█ Remaining Work ◆ Milestone

Delray Beach Pompey Park Enhancement Project		Full Baseline Schedule																		
Activity ID	Activity Name	Start	Finish	Planned Duration	Total Float	2026				2027				2028				029		
						Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	
PAVILIONS		03-Feb-28	25-May-28	80	135															
A13970	Grade / Prep for Foundation Work	03-Feb-28	09-Feb-28	5	135															
A13980	Layout Building Corners and Control Lines	10-Feb-28	11-Feb-28	2	135															
A13990	Excavate / Forms and Reinforcement for Footings	14-Feb-28	18-Feb-28	5	135															
A14000	Pour Footings	22-Feb-28	28-Feb-28	5	135															
A14010	Install Vapor Barrier	29-Feb-28	03-Mar-28	4	135															
A14020	Form and Reinforce SOG	02-Mar-28	13-Mar-28	8	135															
A14030	Structural Inspection SOG		13-Mar-28	0	135															
A14040	Pour SOG	14-Mar-28	20-Mar-28	5	135															
A14050	SOG Cured	21-Mar-28	23-Mar-28	3	135															
A14060	Build Forms for Concrete Columns	24-Mar-28	06-Apr-28	10	135															
A14070	Pour Concrete Columns	07-Apr-28	18-Apr-28	8	135															
A14080	Concrete Columns Cured	19-Apr-28	24-Apr-28	4	135															
A14090	Installation of Pre-Fabricated Steel Beams / Truss System	25-Apr-28	15-May-28	15	135															
A14100	Standing Seam Metal Roof System	16-May-28	25-May-28	8	135															
PHASE 2C - CIVIC LAWN AND COURTS		15-Sep-28	11-Dec-28	58	1															
DEMOLITION		15-Sep-28	13-Oct-28	20	1															
A11530	Demolition of Pool Pump House, Existing Facilities, and Courts	15-Sep-28	13-Oct-28	20	1															
CIVIC LAWN		16-Oct-28	03-Nov-28	15	24															
A12680	Grading	16-Oct-28	20-Oct-28	5	24															
A12690	Irrigation	23-Oct-28	27-Oct-28	5	24															
A12700	Seeding	30-Oct-28	03-Nov-28	5	24															
TENNIS COURTS		16-Oct-28	09-Nov-28	19	20															
A12810	Fine Grading	16-Oct-28	17-Oct-28	2	20															
A12820	Install Fence Posts	18-Oct-28	24-Oct-28	5	20															
A12830	Install Court Curbing	25-Oct-28	26-Oct-28	2	20															
A12840	Pave Tennis Courts	27-Oct-28	27-Oct-28	1	20															
A12850	Prep & Apply Sport Coating	30-Oct-28	03-Nov-28	5	20															
A12860	Install Bleachers	06-Nov-28	06-Nov-28	1	20															
A12870	Install Chain Link Fencing & Gates	07-Nov-28	09-Nov-28	3	20															
A12880	Tennis Courts Complete		09-Nov-28	0	20															
SITWORK		16-Oct-28	11-Dec-28	38	1															
UTILITIES		16-Oct-28	27-Oct-28	10	1															
A13670	UG Sanitary Sewer	16-Oct-28	20-Oct-28	5	1															
A13680	UG Storm Drains	23-Oct-28	27-Oct-28	5	1															
PAVING / CURBS / SIDEWALKS		30-Oct-28	11-Dec-28	28	1															
A11550	Install Rock Base	30-Oct-28	01-Nov-28	3	1															
A11560	Survey Parking Lots	02-Nov-28	08-Nov-28	5	1															
A11570	Bluetop / Compact	09-Nov-28	16-Nov-28	5	1															
A11580	Form and Pour Curb	17-Nov-28	27-Nov-28	5	1															
A11590	Final Grade	28-Nov-28	04-Dec-28	5	1															
A11600	Asphalt	05-Dec-28	11-Dec-28	5	1															
PHASE 2 FINAL COMPLETION		13-Dec-28	26-Jan-29	31	0															
A14720	Phase 2 Final Completion	13-Dec-28	26-Jan-29	31	0															

█ Actual Work █ Critical Remaining Work
█ Remaining Work ◆ Milestone

Pompey Park Recreation Center

GMP ESTIMATE

06.01.2026

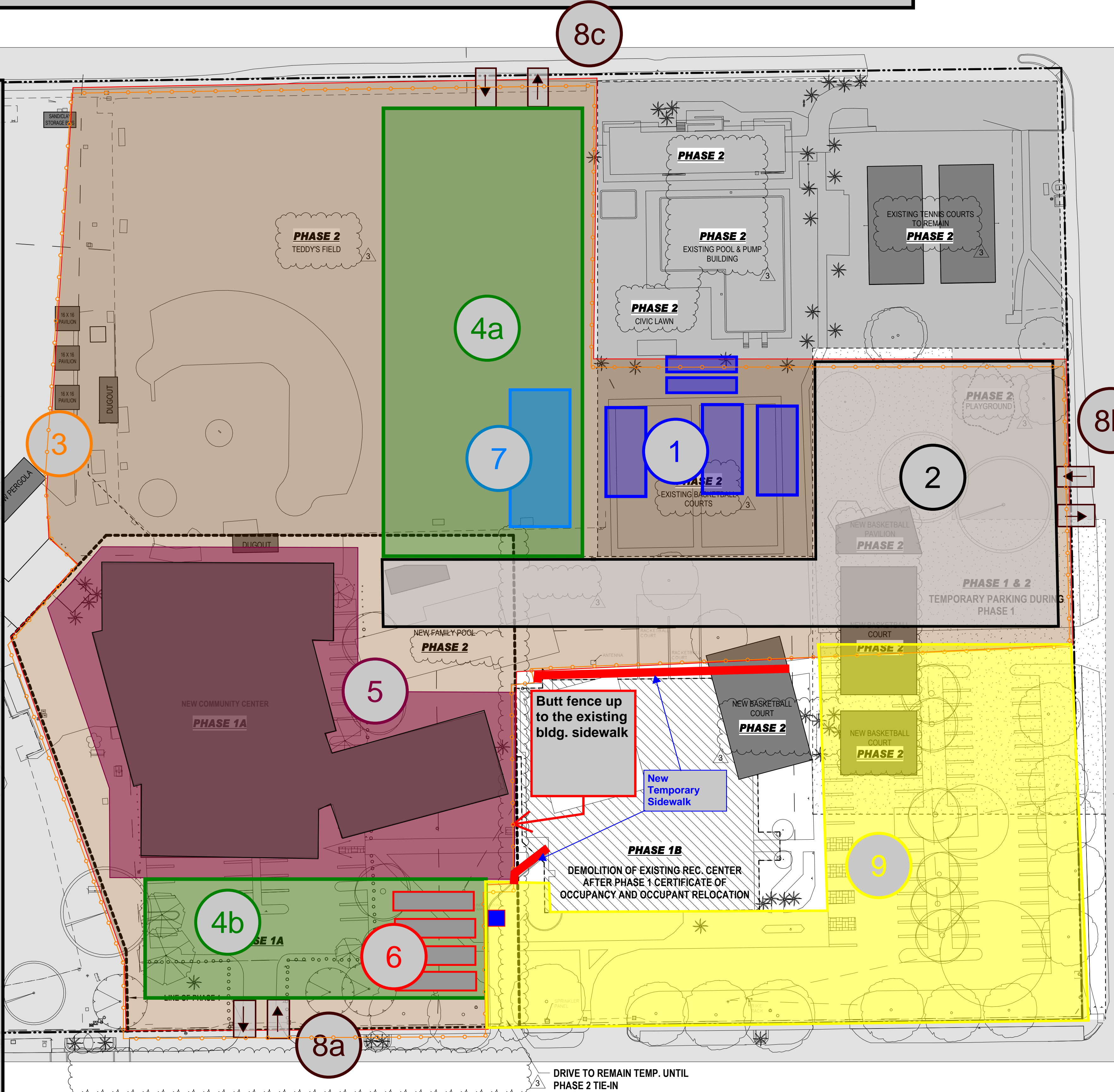


7

PHASING PLAN/ LOGISTICS

PHASE 1A - LOGISTICS PLAN- POMPEY PARK

- 1 Constructor/Owner/Subs Trailers + Storage
- 2 Job-site Parking + Access Road (Stabilized 57 Stone)
- 3 Security Fencing
- 4a Material Lay Down
- 4b Masonry/Concrete Zone
- 5 Building Construction Egress (Stabilized 57 Stone)
- 6 Dumpsters
- 7 Cool Down/Break Station
- 8a South Entrance/Exit (Concrete/Masonry/Dumpsters)
- 8b East Entrance/Exit (Job-site & Trailer Parking)
- 8c North Entrance/Exit (Material Lay Down)
- 9 Public Parking



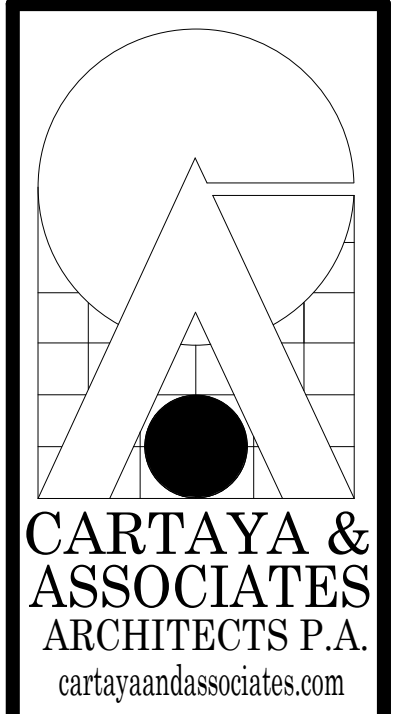
PHASING GENERAL NOTES

ROAD IMPROVEMENT, MUST ASSIGN - PERIMETER ROADS NW 10TH AVE., NW 13TH AVE. AND NW 3RD ST.
REFER TO SHEET PH101 INDICATING LIMITS OF WORK FOR ROAD IMPROVEMENT ALONG ABOVE REFERENCED PERIMETER STREETS. NOTE THAT SCOPE OF WORK INCLUDES PARKING SPACES, SIDEWALKS, LANDSCAPING AND IRRIGATION IS NOT PART OF THE ROAD IMPROVEMENT SCOPE OF WORK.

PHASING PLAN IS FOR BID AND REFERENCE ONLY. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS, COORDINATE WITH OWNER AND PROVIDE A CONSTRUCTION PHASING MEETING ALL PERMITTING REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK.

ANTICIPATED DURATION OF CONSTRUCTION IS 24 MONTHS WITH 2 ADDITIONAL MONTHS TO FACILITATE OWNER'S EFFECTIVE OCCUPANCY OF THE ENTIRE FACILITY.

- PHASE 1A**
- a. GENERAL CONTRACTOR (GC) TO SECURE ALL PERMITTING PRIOR TO INITIATING OF DEMOLITION. AT THE TIME OF DEMOLITION PERMIT APPLICATION, GC TO PROVIDE MAINTENANCE OF TRAFFIC (MOT) PLAN FOR OWNER AND AOR REVIEW AND APPROVAL. GC TO PROVIDE SITE STAGING PLAN TO INCLUDE THE FOLLOWING ITEMS AT A MINIMUM: CONSTRUCTION TRAILER LOCATION, EQUIPMENT STORAGE, DESIGNATED TEMPORARY PARKING AREA, FENCED OFF AREA OF DEMOLITION, AND CONSTRUCTION SITE PERIMETER.
 - b. REFER TO "TEMPORARY PARKING AREA DURING PHASE 1" ASSIGNED ON THE EAST SIDE OF THE SITE (REFER TO SHEET PH100).
 - c. INSTALL ALL APPLICABLE TEMPORARY CONSTRUCTION FENCING SIGNS.
 - d. REFER TO CIVIL AND LANDSCAPING PLANS FOR TREE PROTECTION, TEMPORARY IRRIGATION, AND TEMPORARY UTILITY.
 - e. REFER TO TECHNICAL SPECIFICATION DIVISION 1 FOR ALL GENERAL REQUIREMENTS.
 - f. DEMOLITION OF EXISTING SURFACE PARKING AREA AND ASSOCIATED UTILITIES TO ACCOMMODATE NEW RECREATION BUILDING.
 - g. BUILD NEW ADMINISTRATION FACILITY, PARKING AND SURROUNDING. COORDINATE WITH THE CITY'S BUILDING DEPARTMENT AND OWNER TO COMPLETE ALL CLOSE-OUT REQUIREMENTS TO OBTAIN CERTIFICATE OF OCCUPANCY.
 - h. COORDINATE WITH OWNER ALL FFE FOR NEW FACILITY. GC TO PROCEED WITH ALL INSTALLATION OF NEW EQUIPMENT, FURNITURE AS REQUIRED RELOCATE OVER ALL FROM EXISTING FACILITY TO NEW BUILDING.
- PHASE 1B**
- i. PROCEED WITH DEMOLITION OF EXISTING RECREATIONAL BUILDING AFTER FULL RELOCATION OF THE OLD BUILDING INTO THE NEW BUILDING. RELOCATION MUST BE COORDINATED WITH OWNER.
- PHASE 2**
- j. INSTALL ALL PERIMETER FENCING AND SIGNS AROUND CONSTRUCTION AREAS FOR ODOM'S FIELD.
 - k. PROCEED WITH DEMOLITION AND SITE PREPARATION FOR THE CONSTRUCTION OF ODOM'S FIELD.
 - l. PROCEED WITH THE CONSTRUCTION OF ODOM'S FIELD, INCLUDING FIELDS, FENCING, DUGOUT, WARMUP AREA, BLEACHERS PAVILIONS, PERGOLA, TRASH ENCLOSURE AND PARKING AREAS.
 - m. CONSTRUCTION OF MONUMENT SIGNS, PARKING, ADJACENT SURROUNDING OF NEW FACILITY AND POOL.
 - n. INSTALL ALL PERIMETER FENCING AND SIGNS AROUND CONSTRUCTION AREAS FOR LITTLE LEAGUE FIELD.
 - o. PROCEED WITH DEMOLITION AND SITE PREPARATION FOR THE CONSTRUCTION OF THE LITTLE LEAGUE FIELD.
 - p. PROCEED WITH THE CONSTRUCTION OF THE LITTLE LEAGUE FIELD, INCLUDING FIELDS, FENCING, DUGOUT, WARMUP AREA, BLEACHERS PAVILIONS, PERGOLA TRASH ENCLOSURE AND PARKING AREAS.
 - q. INSTALL ALL PERIMETER FENCING AND SIGNS AROUND CONSTRUCTION AREAS FOR TEDDY'S FIELD.
 - r. PROCEED WITH DEMOLITION AND SITE PREPARATION FOR THE CONSTRUCTION OF THE TEDDY'S FIELD.
 - s. PROCEED WITH THE CONSTRUCTION OF TEDDY'S FIELD, INCLUDING FIELDS, FENCING, DUGOUT, WARMUP AREA, BLEACHERS PAVILIONS, PERGOLA TRASH ENCLOSURE AND PARKING AREAS.
 - t. PROCEED WITH THE DEMOLITION OF EXISTING POOLS, PUMP BUILDING, BASKETBALL COURTS AND ALL UTILITIES WITHIN THE UPPER NORTH-EAST CORNER OF THE SITE.
 - u. PROCEED WITH THE CONSTRUCTION OF GENERAL AREAS, SHELTER AND RESTROOM, INTERNAL WALKWAYS, PICNIC PAVILIONS, PLAYGROUND AND GREEN SPACE CIVIC LAWN AREA.
 - v. REMOVE THE EXISTING TENNIS COURTS' SURFACE. TENNIS COURTS ARE TO REMAIN UPPER NORTH-EAST CORNER OF THE SITE), EXISTING TENNIS COURT TO BE RESURFACED.
 - w. RESURFACE AND UPGRADE TENNIS COURTS.
 - x. EXISTING TWO-STORY CONCESSION BUILDING TO RECEIVE NEW EXTERIOR FINISH. PATCH AND REPAIR ALL STUCCO FINISH TO RECEIVE NEW PAINT. ALL EXTERIOR DOORS, DOOR FRAMES, AND WINDOW FRAMES TO RECEIVE NEW PAINT. ALL EXTERIOR LIGHT FIXTURES TO BE REPLACED WITH NEW.
 - y. PROCEED WITH DEMOLITION OF EXISTING PLAYGROUND, OLD TEMPORARY PARKING DESIGNATED AREAS AND STAGING AREAS FOR CONSTRUCTION.
 - z. PROCEED WITH NEW CONSTRUCTION OF PARKING AREA, BASKETBALL COURTS, BASKETBALL PAVILIONS, PARKING, AND SHELTER AND RESTROOMS.



2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

SEAL: AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:

3	01-30-2023	PLAN REVISIONS REQUESTED BY OWNER
4	01-30-2023	BC COMMENTS

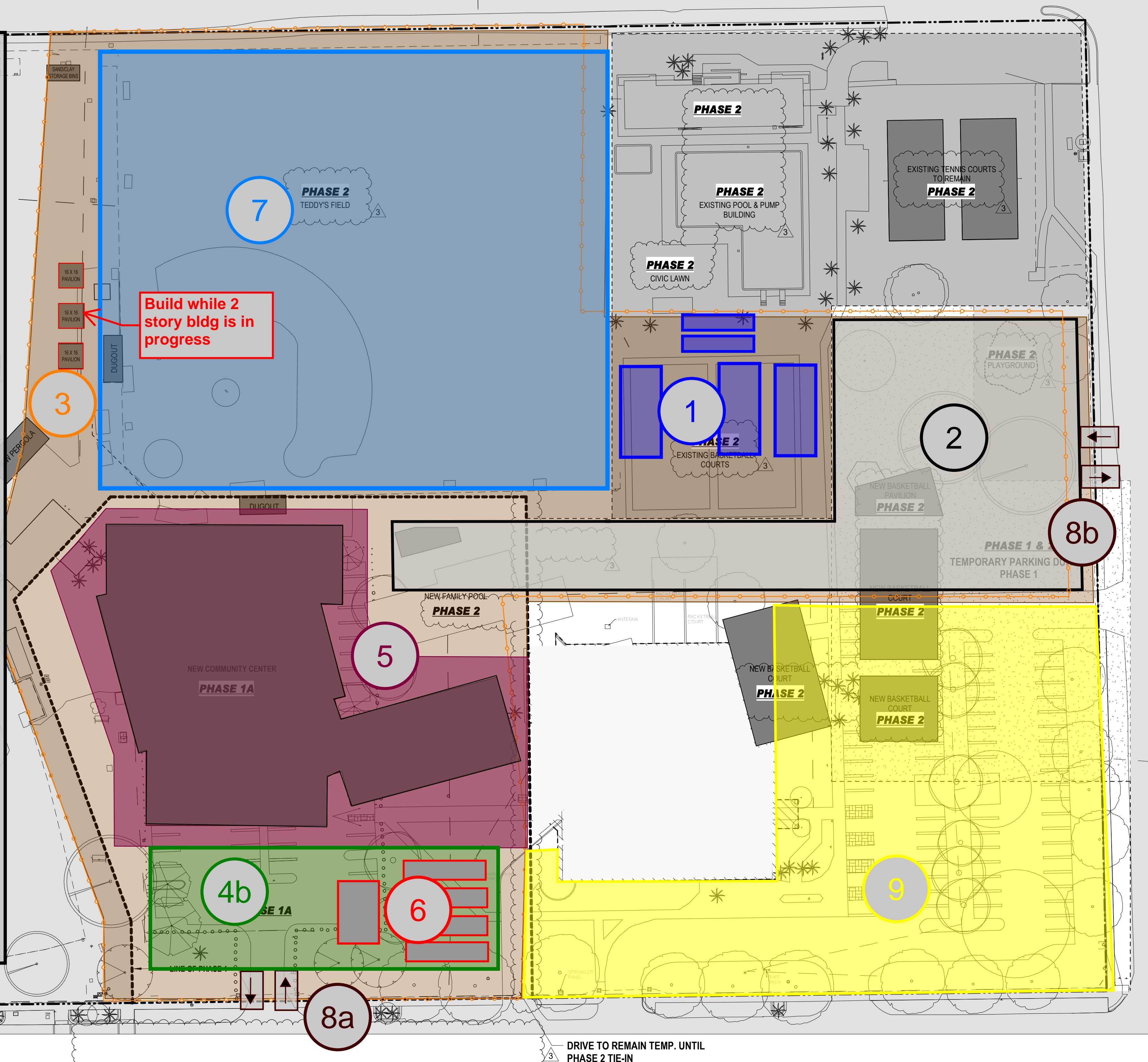
TITLE: PHASING PLAN
DATE: Dec 27, 2022
DRAWN BY: SV, CC, EE, JS
CHECKED BY: JJ, JS, JS

SHEET: PH100

PERMIT SET 12/27/2022

PHASE 1B - LOGISTICS PLAN- POMPEY PARK

- 1 Constructor/Owner/Subs Trailers + Storage
- 2 Job-site Parking
- 3 Security Fencing
- 4a Masonry/Concrete Zone
- 5 Building Construction Egress
- 6 Dumpsters + Concrete Washout (Stabilized)
- 7 Teddy's Field
- 8a South Entrance/Exit (Concrete/Masonry/Dumpsters)
- 8b East Entrance/Exit (Job-site & Trailer Parking)
- 9 Public Parking



PHASING GENERAL NOTES

ROAD IMPROVEMENT, MUST ASSIGN - PERIMETER ROADS NW 10TH AVE, NW 13TH AVE, AND NW 3RD ST.
REFER TO SHEET PH101 INDICATING LIMITS OF WORK FOR ROAD IMPROVEMENT ALONG ABOVE REFERENCED PERIMETER STREETS. NOTE THAT SCOPE OF WORK INCLUDES PARKING SPACES, SIDEWALKS, LANDSCAPING AND IRRIGATION IS NOT PART OF THE ROAD IMPROVEMENT SCOPE OF WORK.

PHASING PLAN IS FOR BID AND REFERENCE ONLY. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS, COORDINATE WITH OWNER AND PROVIDE A CONSTRUCTION PHASING MEETING ALL PERMITTING REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK.

ANTICIPATED DURATION OF CONSTRUCTION IS 24 MONTHS WITH 2 ADDITIONAL MONTHS TO FACILITATE OWNER'S EFFECTIVE OCCUPANCY OF THE ENTIRE FACILITY.

PHASE 1A

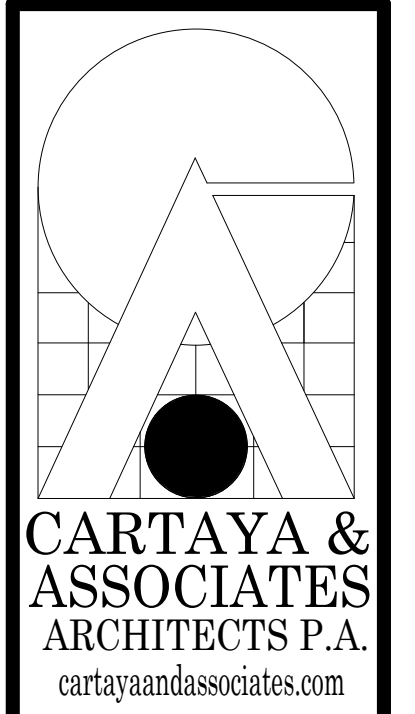
- a. GENERAL CONTRACTOR (GC) TO SECURE ALL PERMITTING PRIOR TO INITIATING OF DEMOLITION. AT THE TIME OF DEMOLITION PERMIT APPLICATION, GC TO PROVIDE MAINTENANCE OF TRAFFIC (MOT) PLAN FOR OWNER AND AOR REVIEW AND APPROVAL. GC TO PROVIDE SITE STAGING PLAN TO INCLUDE THE FOLLOWING ITEMS AT A MINIMUM: CONSTRUCTION TRAILER LOCATION, EQUIPMENT STORAGE, DESIGNATED TEMPORARY PARKING AREA, FENCED OFF AREA OF DEMOLITION, AND CONSTRUCTION SITE PERIMETER.
- b. REFER TO "TEMPORARY PARKING AREA DURING PHASE 1" ASSIGNED ON THE EAST SIDE OF THE SITE (REFER TO SHEET PH100).
- c. INSTALL ALL APPLICABLE TEMPORARY CONSTRUCTION FENCING SIGNS.
- d. REFER TO CIVIL AND LANDSCAPING PLANS FOR TREE PROTECTION, TEMPORARY IRRIGATION, AND TEMPORARY UTILITY.
- e. REFER TO TECHNICAL SPECIFICATION DIVISION 1 FOR ALL GENERAL REQUIREMENTS.
- f. DEMOLITION OF EXISTING SURFACE PARKING AREA AND ASSOCIATED UTILITIES TO ACCOMMODATE NEW RECREATION BUILDING.
- g. BUILD NEW ADMINISTRATION FACILITY, PARKING AND SURROUNDING. COORDINATE WITH THE CITY'S BUILDING DEPARTMENT AND OWNER TO COMPLETE ALL CLOSE-OUT REQUIREMENTS TO OBTAIN CERTIFICATE OF OCCUPANCY.
- h. COORDINATE WITH OWNER ALL FFE FOR NEW FACILITY. GC TO PROCEED WITH ALL INSTALLATION OF NEW EQUIPMENT, FURNITURE AS REQUIRED RELOCATE OVER ALL FROM EXISTING FACILITY TO NEW BUILDING.

PHASE 1B

1. PROCEED WITH DEMOLITION OF EXISTING RECREATIONAL BUILDING AFTER FULL RELOCATION OF THE OLD BUILDING INTO THE NEW BUILDING. RELOCATION MUST BE COORDINATED WITH OWNER.

PHASE 2

- j. INSTALL ALL PERIMETER FENCING AND SIGNS AROUND CONSTRUCTION AREAS FOR ODOM'S FIELD.
- k. PROCEED WITH DEMOLITION AND SITE PREPARATION FOR THE CONSTRUCTION OF ODOM'S FIELD.
- l. PROCEED WITH THE CONSTRUCTION OF ODOM'S FIELD, INCLUDING FIELDS, FENCING, DUGOUT, WARMUP AREA, BLEACHERS PAVILIONS, PERGOLA, TRASH ENCLOSURE AND PARKING AREAS.
- m. CONSTRUCTION OF MONUMENT SIGNS, PARKING, ADJACENT SURROUNDING OF NEW FACILITY AND POOL.
- n. INSTALL ALL PERIMETER FENCING AND SIGNS AROUND CONSTRUCTION AREAS FOR LITTLE LEAGUE FIELD.
- o. PROCEED WITH DEMOLITION AND SITE PREPARATION FOR THE CONSTRUCTION OF THE LITTLE LEAGUE FIELD.
- p. PROCEED WITH THE CONSTRUCTION OF THE LITTLE LEAGUE FIELD, INCLUDING FIELDS, FENCING, DUGOUT, WARMUP AREA, BLEACHERS PAVILIONS, PERGOLA TRASH ENCLOSURE AND PARKING AREAS.
- q. INSTALL ALL PERIMETER FENCING AND SIGNS AROUND CONSTRUCTION AREAS FOR TEDDY'S FIELD.
- r. PROCEED WITH DEMOLITION AND SITE PREPARATION FOR THE CONSTRUCTION OF THE TEDDY'S FIELD.
- s. PROCEED WITH THE CONSTRUCTION OF TEDDY'S FIELD, INCLUDING FIELDS, FENCING, DUGOUT, WARMUP AREA, BLEACHERS PAVILIONS, PERGOLA TRASH ENCLOSURE AND PARKING AREAS.
- t. PROCEED WITH THE DEMOLITION OF EXISTING POOLS, PUMP BUILDING, BASKETBALL COURTS AND ALL UTILITIES WITHIN THE UPPER NORTH-EAST CORNER OF THE SITE.
- u. PROCEED WITH THE CONSTRUCTION OF GENERAL AREAS, SHELTER AND RESTROOM, INTERNAL WALKWAYS, PICNIC PAVILIONS, PLAYGROUND AND GREEN SPACE CIVIC LAWN AREA.
- v. REMOVE THE EXISTING TENNIS COURTS' SURFACE. TENNIS COURTS ARE TO REMAIN UPPER NORTH-EAST CORNER OF THE SITE), EXISTING TENNIS COURT TO BE RESURFACED.
- w. RESURFACE AND UPGRADE TENNIS COURTS.
- x. EXISTING TWO-STORY CONCESSION BUILDING TO RECEIVE NEW EXTERIOR FINISH. PATCH AND REPAIR ALL STUCCO FINISH TO RECEIVE NEW PAINT. ALL EXTERIOR DOORS, DOOR FRAMES, AND WINDOW FRAMES TO RECEIVE NEW PAINT. ALL EXTERIOR LIGHT FIXTURES TO BE REPLACED WITH NEW.
- y. PROCEED WITH DEMOLITION OF EXISTING PLAYGROUND, OLD TEMPORARY PARKING DESIGNATED AREAS AND STAGING AREAS FOR CONSTRUCTION.
- z. PROCEED WITH NEW CONSTRUCTION OF PARKING AREA, BASKETBALL COURTS, BASKETBALL PAVILIONS, PARKING, AND SHELTER AND RESTROOMS.



2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

SEAL: AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444
EL 33444

REVISIONS:

3	01-30-2023	PHASING PLAN REVISIONS BY OWNER
4	01-30-2023	BC COMMENTS

TITLE: PHASING PLAN
DATE: Dec 27, 2022
DRAWN BY: SV, CC, ERI, LIS
CHECKED BY: JJI, LIS, JS

JOB NO: 2122

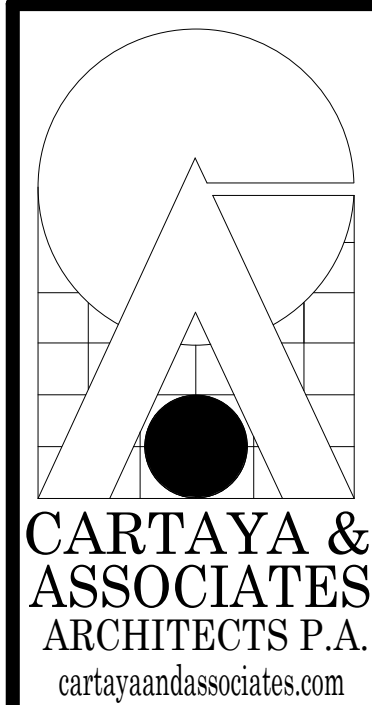
SHEET: PH100

PERMIT SET 12/27/2022

PHASE 1C - LOGISTICS PLAN- POMPEY PARK

PHASING PLAN LEGEND

IN PROJECT SCOPE ← BY ROAD WORK IMPROVEMENT PROJECT



2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

SEAL: AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:
4 03/20/2023 BD COMMENTS
5 7/10/23 REVISION

TITLE: PHASING - GENERAL SITE PLAN
DATE: 03/24/23
DRAWN BY: SV, JS
CHECKED BY: JLT, JS, JS

JOB NO: 2122

SHEET: PH101

PERMIT SET 02/28/2023

- 1 Constructor/Owner/Subs Trailers + Storage
- 2 Job-site Parking
- 3 Security Fencing
- 4a Lay Down/Deliveries
- 5 Building Construction Egress
- 6 Dumpsters
- 7 Odom's Field
- 8a South Entrance/Exit (Concrete/Masonry/Dumpsters)
- 8b East Entrance/Exit (Job-site & Trailer Parking)
- 9 Public Parking

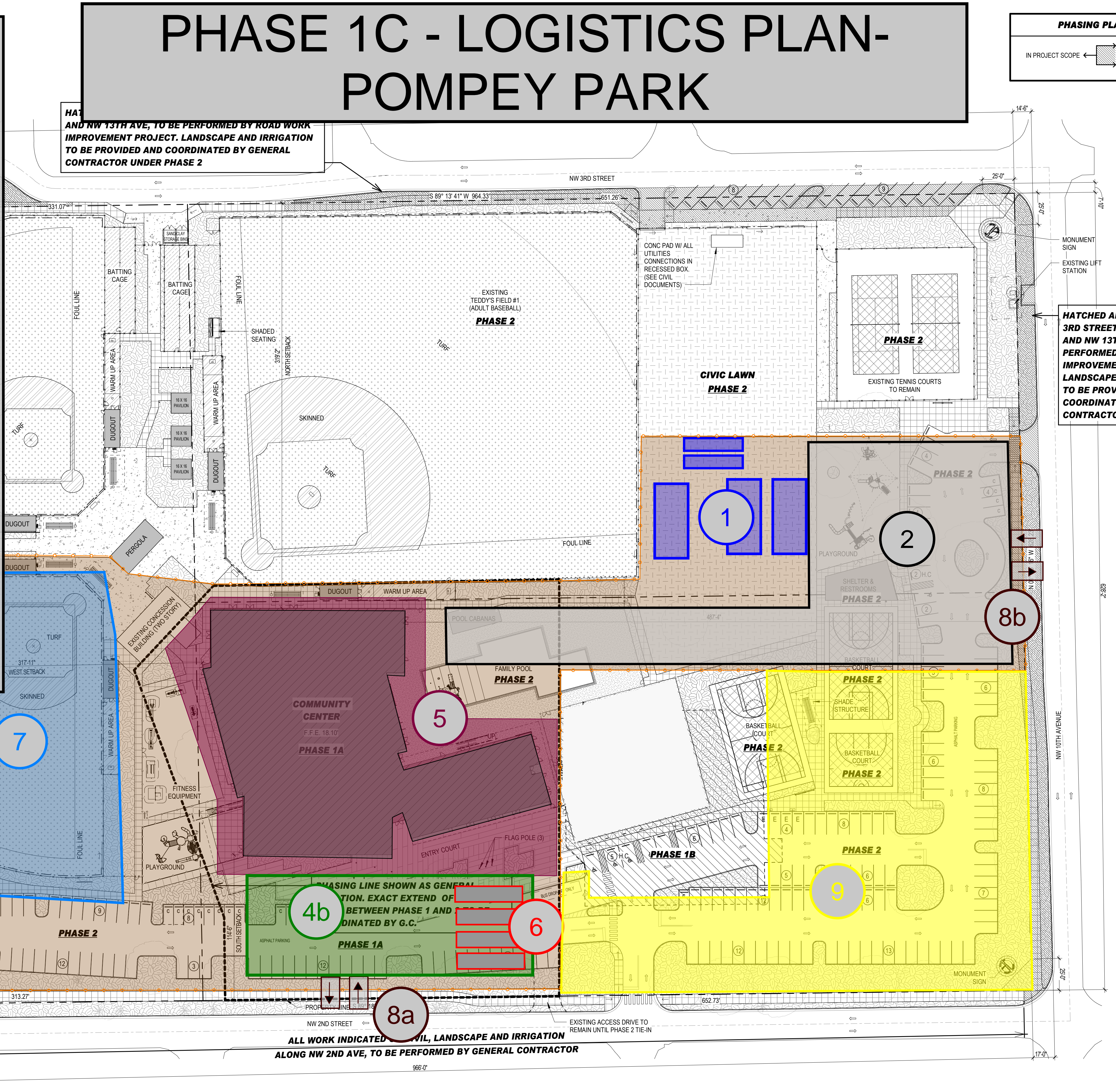
HATCHED AREAS ALONG NW 3RD STREET, NW 10TH AVE AND NW 13TH AVE, TO BE PERFORMED BY ROAD WORK IMPROVEMENT PROJECT. LANDSCAPE AND IRRIGATION TO BE PROVIDED AND COORDINATED BY GENERAL CONTRACTOR UNDER PHASE 2

HATCHED AREAS ALONG NW 3RD STREET, NW 10TH AVE AND NW 13TH AVE, TO BE PERFORMED BY ROAD WORK IMPROVEMENT PROJECT. LANDSCAPE AND IRRIGATION TO BE PROVIDED AND COORDINATED BY GENERAL CONTRACTOR UNDER PHASE 2

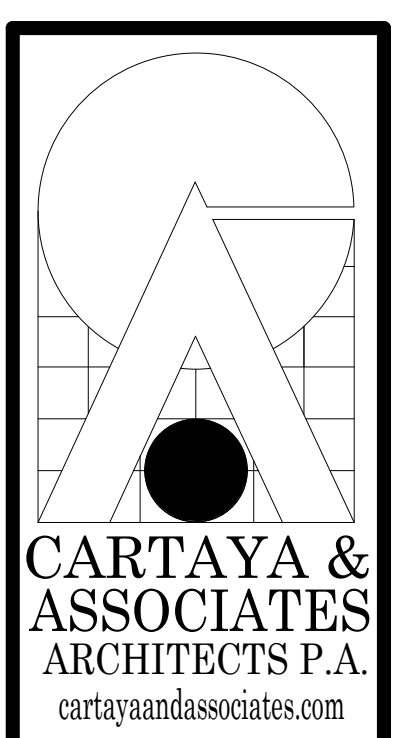
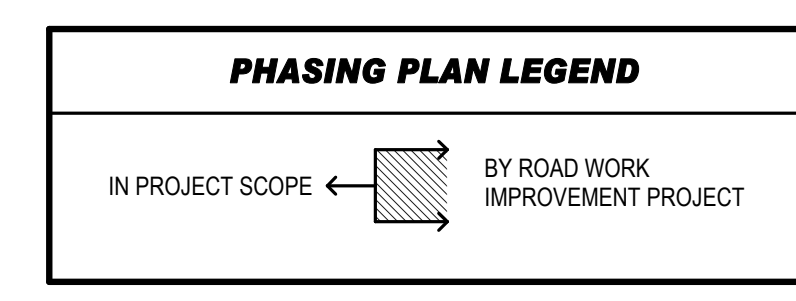
ALL WORK INDICATED CIVIL, LANDSCAPE AND IRRIGATION ALONG NW 2ND AVE, TO BE PERFORMED BY GENERAL CONTRACTOR

12/1/2023 5:15:57 PM C:\Users\sevmom\JUSTINARC\Documents\2122 - Pompey Park - V2021_sevmom\PLYUC3.rvt

PHASING - GENERAL SITE PLAN
Scale: 1" = 40'-0"



PHASE 2A - LOGISTICS PLAN- POMPEY PARK



2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

SEAL: AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST. DELRAY BEACH
FL 33444

REVISIONS:
4. 03/20/2023: BE COMMENTS
5. TBD: REVISION

TITLE: PHASING - GENERAL SITE PLAN
DATE: 03/24/23
DRAWN BY: SV, JS
CHECKED BY: JI, JS

JOB NO: 2122

SHEET: PH101

PERMIT SET 02/28/2023

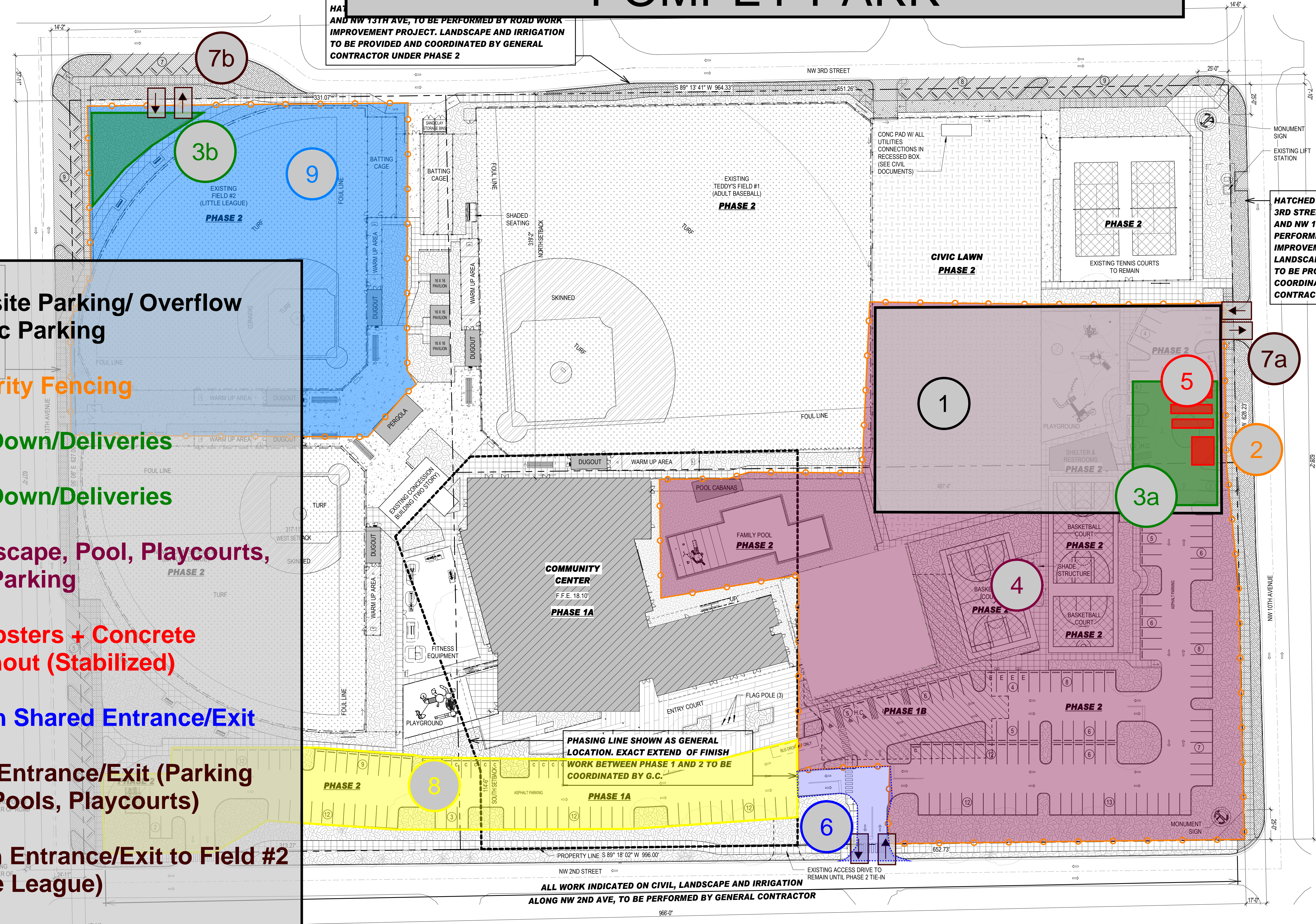
HATCHED AREAS ALONG NW 3RD STREET, NW 10TH AVE AND NW 13TH AVE, TO BE PERFORMED BY ROAD WORK IMPROVEMENT PROJECT. LANDSCAPE AND IRRIGATION TO BE PROVIDED AND COORDINATED BY GENERAL CONTRACTOR UNDER PHASE 2

HATCHED AREAS ALONG NW 3RD STREET, NW 10TH AVE AND NW 13TH AVE, TO BE PERFORMED BY ROAD WORK IMPROVEMENT PROJECT. LANDSCAPE AND IRRIGATION TO BE PROVIDED AND COORDINATED BY GENERAL CONTRACTOR UNDER PHASE 2

PHASING LINE SHOWN AS GENERAL LOCATION. EXACT EXTEND OF FINISH WORK BETWEEN PHASE 1 AND 2 TO BE COORDINATED BY G.C.

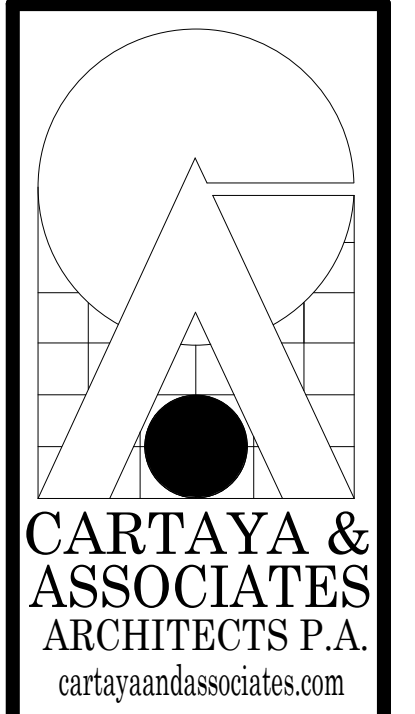
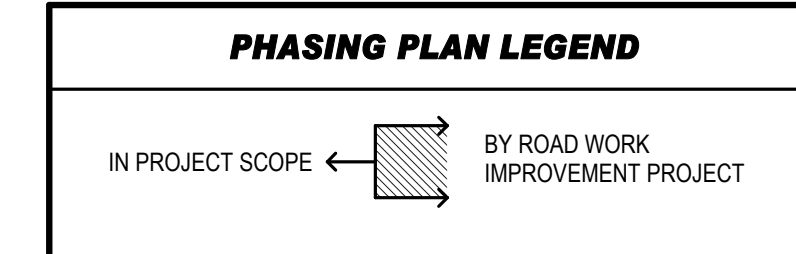
ALL WORK INDICATED ON CIVIL, LANDSCAPE AND IRRIGATION ALONG NW 2ND AVE, TO BE PERFORMED BY GENERAL CONTRACTOR

- 1 Job-site Parking/ Overflow Public Parking
- 2 Security Fencing
- 3a Lay Down/Deliveries
- 3b Lay Down/Deliveries
- 4 Hardscape, Pool, Playcourts, and Parking
- 5 Dumpsters + Concrete Washout (Stabilized)
- 6 South Shared Entrance/Exit
- 7a East Entrance/Exit (Parking Lot, Pools, Playcourts)
- 7b North Entrance/Exit to Field #2 (Little League)
- 8 Public Parking
- 9 Field #2 (Little League)



12/1/2023 5:15:57 PM C:\Users\sevmom\JUSTINARC\Documents\2122 - Pompey Park - v2021_evermon\PLUC3.rvt

PHASE 2B - LOGISTICS PLAN- POMPEY PARK



2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

SEAL: AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:
4 03/20/2023 BE COMMENTS
5 7/10/23 BE REVISION

TITLE: PHASING - GENERAL SITE PLAN
DATE: 03/24/23
DRAWN BY: SV, JS
CHECKED BY: JJ, JS, JS

JOB NO: 2122

SHEET: PH101

PERMIT SET 02/28/2023

HATCHED AREAS ALONG NW 3RD STREET, NW 10TH AVE, AND NW 13TH AVE, TO BE PERFORMED BY ROAD WORK IMPROVEMENT PROJECT. LANDSCAPE AND IRRIGATION TO BE PROVIDED AND COORDINATED BY GENERAL CONTRACTOR UNDER PHASE 2

HATCHED AREAS ALONG NW 3RD STREET, NW 10TH AVE AND NW 13TH AVE, TO BE PERFORMED BY ROAD WORK IMPROVEMENT PROJECT. LANDSCAPE AND IRRIGATION TO BE PROVIDED AND COORDINATED BY GENERAL CONTRACTOR UNDER PHASE 2

PHASING LINE SHOWN AS GENERAL LOCATION. EXACT EXTEND OF FINISH WORK BETWEEN PHASE 1 AND 2 TO BE COORDINATED BY G.C.

ALL WORK INDICATED ON CIVIL, LANDSCAPE AND IRRIGATION ALONG NW 2ND AVE, TO BE PERFORMED BY GENERAL CONTRACTOR

- 1 Job-site Parking/ Overflow Public Parking
- 2 Security Fencing
- 3 Lay Down/Deliveries
- 4 Hardscape, Pool, Playcourts, and Parking
- 5 Dumpsters + Concrete Washout (Stabilized)
- 6 South Shared Entrance/Exit
- 7 East Entrance/Exit (Parking Lot, Pools, Playcourts)
- 8 Public Parking

C:\Users\seamon.JUSTINARCI\Documents\2122 - Pompey Park - V2021_svernon\PLUC3.rvt 12/1/2023 5:15:57 PM

PHASING - GENERAL SITE PLAN
Scale: 1" = 40'-0"

PHASE 2C - LOGISTICS PLAN- POMPEY PARK

PHASING PLAN LEGEND

IN PROJECT SCOPE ← BY ROAD WORK IMPROVEMENT PROJECT

CARTAYA & ASSOCIATES ARCHITECTS P.A.
cartayaandassociates.com

2400 E. COMMERCIAL BLVD., SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

SEAL: AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:
4 03/20/2023 BE COMMENTS
5 7/10/23 REVISION

TITLE: PHASING - GENERAL SITE PLAN
DATE: 03/24/23
DRAWN BY: SV, JS
CHECKED BY: JJJ, JS, JS

JOB NO: 2122

SHEET: PH101

PERMIT SET 02/28/2023

- 1 Job-site Area
- 2 Security Fencing
- 3 Lay Down/Deliveries
- 4 Dumpsters
- 5 Construction Entrance/Exit

HATCHED AREAS ALONG NW 3RD STREET, NW 10TH AVE AND NW 13TH AVE, TO BE PERFORMED BY ROAD WORK IMPROVEMENT PROJECT. LANDSCAPE AND IRRIGATION TO BE PROVIDED AND COORDINATED BY GENERAL CONTRACTOR UNDER PHASE 2

HATCHED AREAS ALONG NW 3RD STREET, NW 10TH AVE AND NW 13TH AVE, TO BE PERFORMED BY ROAD WORK IMPROVEMENT PROJECT. LANDSCAPE AND IRRIGATION TO BE PROVIDED AND COORDINATED BY GENERAL CONTRACTOR UNDER PHASE 2

PHASING LINE SHOWN AS GENERAL LOCATION. EXACT EXTEND OF FINISH WORK BETWEEN PHASE 1 AND 2 TO BE COORDINATED BY G.C.

ALL WORK INDICATED ON CIVIL, LANDSCAPE AND IRRIGATION ALONG NW 2ND AVE, TO BE PERFORMED BY GENERAL CONTRACTOR

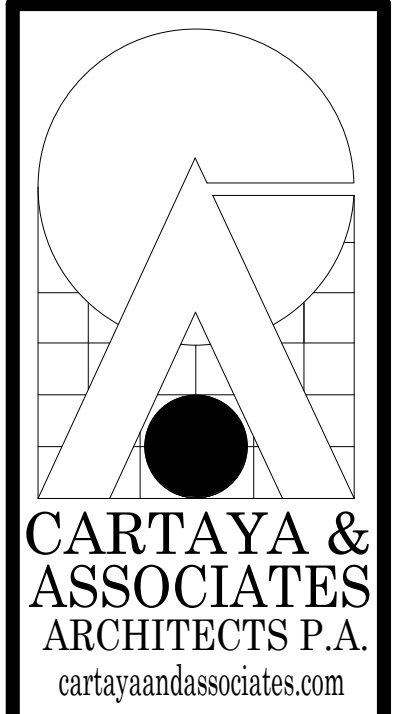
C:\Users\seamon.JUSTIN\Documents\2122 - Pompey Park - V2021_sveomon\PLUC3.rvt 12/1/2023 5:15:57 PM

PHASING - GENERAL SITE PLAN
Scale: 1" = 40'-0"

Final Phase - LOGISTICS PLAN- POMPEY PARK

PHASING PLAN LEGEND

IN PROJECT SCOPE ← [Hatched Box] BY ROAD WORK IMPROVEMENT PROJECT



2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

SEAL: [Blank] AA C001388

PROJECT:
CITY OF DELRAY BEACH
POMPEY PARK REC CENTER
1101 NW 2ND ST, DELRAY BEACH
FL 33444

REVISIONS:
4 03/20/2023 BD COMMENTS
5 7/10/23 REVISION

TITLE: PHASING - GENERAL SITE PLAN

JOB NO: 2122

DATE: 03/24/23
DRAWN BY: SV, JS
CHECKED BY: JJ, JS, JS

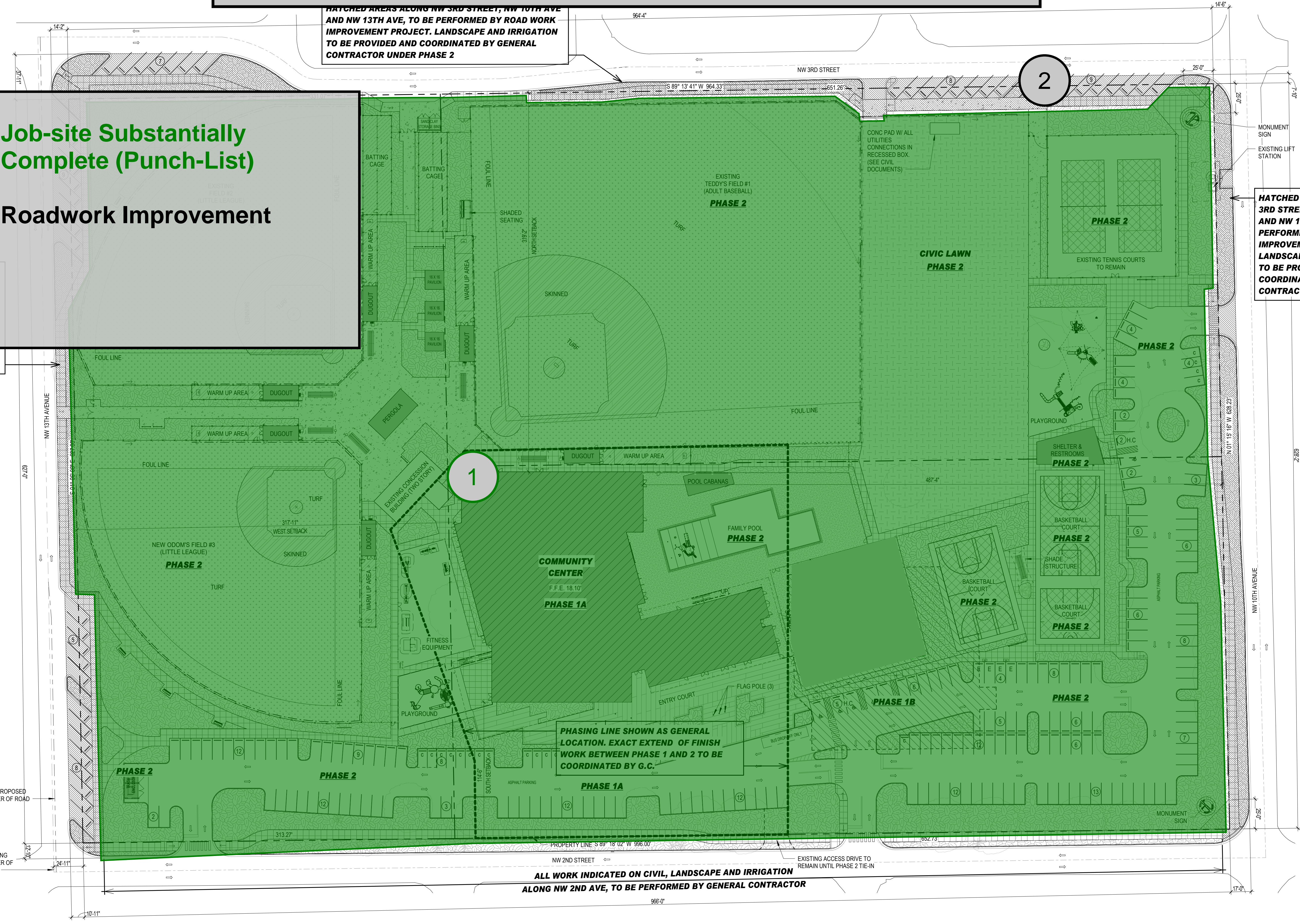
SHEET:
PH101

HATCHED AREAS ALONG NW 3RD STREET, NW 10TH AVE AND NW 13TH AVE, TO BE PERFORMED BY ROAD WORK IMPROVEMENT PROJECT. LANDSCAPE AND IRRIGATION TO BE PROVIDED AND COORDINATED BY GENERAL CONTRACTOR UNDER PHASE 2

HATCHED AREAS ALONG NW 3RD STREET, NW 10TH AVE AND NW 13TH AVE, TO BE PERFORMED BY ROAD WORK IMPROVEMENT PROJECT. LANDSCAPE AND IRRIGATION TO BE PROVIDED AND COORDINATED BY GENERAL CONTRACTOR UNDER PHASE 2

- 1 Job-site Substantially Complete (Punch-List)
- 2 Roadwork Improvement

HATCHED AREAS ALONG NW 3RD STREET, NW 10TH AVE AND NW 13TH AVE, TO BE PERFORMED BY ROAD WORK IMPROVEMENT PROJECT. LANDSCAPE AND IRRIGATION TO BE PROVIDED AND COORDINATED BY GENERAL CONTRACTOR UNDER PHASE 2



PHASING - GENERAL SITE PLAN
Scale: 1" = 40'-0"

PERMIT SET 02/28/2023

Pompey Park Recreation Center

GMP ESTIMATE

06.01.2026



8

ENUMERATION OF DOCUMENTS



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Current Drawings

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
Architectural					
A-110	FLOOR PLAN - GROUND LEVEL	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-110-A	7 GROUND LEVEL FLOOR PLAN -AREA A	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
A-110-B	GROUND LEVEL FLOOR PLAN -AREA B	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-110-C	7 GROUND LEVEL FLOOR PLAN -AREA C	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
A-120	7 FLOOR PLAN - SECOND LEVEL	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-120-A	7 SECOND LEVEL FLOOR PLAN -AREA A	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-120-B	7 SECOND LEVEL FLOOR PLAN - AREA B	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-120-C	7 SECOND LEVEL FLOOR PLAN -AREA C	3	02/10/2026	02/13/2026	Addendum 4 (02/10/26)
A-130	ROOF PLAN	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-130-A	7 ROOF PLAN -AREA A	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-130-B	7 ROOF PLAN -AREA B	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-130-C	ROOF PLAN -AREA C	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-201	11 BUILDING ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-301	12 BUILDING SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-310	13 WALL SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-311	13 WALL SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-312	13 WALL SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-313	13 WALL SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-314	13 WALL SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-315	WALL SECTIONS	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-316	13 WALL SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
A-317	13 WALL SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-400	14 ENLARGED ELEVATOR #1 PLANS AND SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-401	14 ENLARGED ELEVATOR #2 PLANS AND SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-410	14 ENLARGED STAIR #1 PLANS AND SECTION	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-411	14 ENLARGED STAIR #2 PLANS AND SECTION	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-412	14 ENLARGED STAIR #3 PLANS AND SECTION	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-413	14 ROOF ACCESS LADDER STEEL STAIR PLANS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-414	14 ROOF ACCESS LADDER STEEL STAIR PLANS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-420	14 OVERALL FLOOR PLAN - EXTERIOR FINIS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-421	14 ENLARGED SHADE FIN PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-500	15 EXPANSION JOINT DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-501	15 TYPICAL EXPANSION JOINT DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-505	15 ELEVATOR MISCELLANEOUS DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-506	15 ELEVATOR CAB ELEVATIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-510	15 STAIR MISCELLANEOUS SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-511	15 STAIR MISCELLANEOUS SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-515	15 ROOF SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-516	15 ROOF SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-520	15 RESTROOM ACCESSORY DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-525	15 MISCELLANEOUS DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-526	15 PARTITION WALL MISCELLANEOUS DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-530	15 DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-531	15 DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
					24)
A-540	15 MISCELLANEOUS MILLWORK DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-541	15 MISCELLANEOUS MILLWORK DETAILS	3	12/22/2025	12/24/2025	Addendum 1 (12/22/25)
A-600	16 EXTERIOR GLAZING ELEVATIONS	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
A-601	16 EXTERIOR GLAZING ELEVATIONS	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
A-602	16 EXTERIOR GLAZING ELEVATIONS	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
A-603	16 INTERIOR GLAZING ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-604	16 INTERIOR GLAZING ELEVATIONS	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
A-605	16 STOREFRONT GLAZING DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-606	16 STOREFRONT GLAZING DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-607	16 STOREFRONT GLAZING DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-608	16 WINDOWS SCHEDULE AND NOTES	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
A-609	16 LOUVER DETAILS AND ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-610	17 WALL TYPES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-611	17 WALL TYPES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-612	17 PARTITION TYPES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-613	17 PARTITION TYPES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-614	17 PARTITION TYPES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-620	18 UL FIRE RESISTANCE FIRE STOP SYSTEM DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-621	18 UL FIRE RESISTANCE PARTITIONS AND WALL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-622	18 UL FIRE RESISTANCE PARTITIONS AND WALL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-623	18 UL FIRE RESISTANCE SPRAY-APPLIED DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-624	18 UL FIRE RESISTANCE JOINT SYSTEM DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-625	18 UL FIRE RESISTANCE JOINT SYSTEM DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-626	18 UL FIRE RESISTANCE JOINT SYSTEM DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
A-630	18 DOOR SCHEDULE	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
A-631	18 FLOOR TRANSITION DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-632	18 DOOR DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-633	18 DOOR DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
A-640	ROOM FINISH SCHEDULE	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AC110	8 REFLECTED CEILING PLAN - GROUND LEVEL	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AC110-A	8 GROUND LEVEL REFLECTED CEILING PLAN - AREA A	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AC110-B	8 GROUND LEVEL REFLECTED CEILING PLAN - AREA B	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AC110-C	8 GROUND LEVEL REFLECTED CEILING PLAN - AREA C	5	02/10/2026	02/13/2026	Addendum 4 (02/10/26)
AC120	8 REFLECTED CEILING PLAN - SECOND LEVEL	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AC120-A	8 SECOND LEVEL REFLECTED CEILING PLAN - AREA A	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AC120-B	8 SECOND LEVEL REFLECTED CEILING PLAN - AREA B	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AC120-C	8 SECOND LEVEL REFLECTED CEILING PLAN - AREA C	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AD100	SITE DEMOLITION PLAN	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AF110	9 FURNITURE PLAN - GROUND LEVEL	3	12/22/2025	12/24/2025	Addendum 1 (12/22/25)
AF120	9 FURNITURE PLAN - SECOND LEVEL	3	12/22/2025	12/24/2025	Addendum 1 (12/22/25)
AI110	10 FLOOR FINISH PLAN - GROUND LEVEL	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI120	10 FLOOR FINISH PLAN - SECOND LEVEL	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI400	14 INTERIOR ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI401	14 INTERIOR ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI402	14 INTERIOR ELEVATIONS	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AI403	14 INTERIOR ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI404	INTERIOR ELEVATIONS	1	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AI410	14 TYPICAL FIXTURE HEIGHTS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI411	14 ENLARGED RESTROOM PLANS AND ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI420	14 ENLARGED RESTROOM PLANS AND ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI421	14 ENLARGED RESTROOM PLANS AND ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI422	14 ENLARGED RESTROOM PLANS AND ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
AI423	14 ENLARGED RESTROOM PLANS AND ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI424	14 ENLARGED RESTROOM PLANS AND ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI425	14 ENLARGED RESTROOM PLANS AND ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI426	14 ENLARGED RESTROOM PLANS AND ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI427	14 ENLARGED RESTROOM PLANS AND ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AI428	14 ENLARGED RESTROOM PLANS AND ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SG100	SIGNAGE SITE PLAN	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SG110	SIGNAGE PLAN GROUND LEVEL	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SG120	SIGNAGE PLAN SECOND LEVEL	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SG401	SIGN ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SG402	MONUMENT SIGN	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
SG410	SIGNAGE SCHEDULE	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SG411	SIGN DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SG412	SIGN DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SG413	SIGN DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SG414	SIGN DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
WF100	Wayfinding Location Site Plan	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
WF101	Signage and Plaque Details	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
Architectural Site					
AS100	SITE PLAN	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AS100-A	ENLARGED SITE PLAN - AREA SA -(E) FIELD NO 2	4	01/26/2026	01/29/2026	Addendum 3 (01/26/26)
AS100-B	ENLARGED SITE PLAN - AREA SB -TEDDY'S FIELD #1	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AS100-C	ENLARGED SITE PLAN - AREA SC -CIVIC LAWN & TENNIS COURTS	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AS100-D	ENLARGED SITE PLAN - AREA SD -ODOM'S FIELD	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AS100-E	ENLARGED SITE PLAN - AREA SE - COMMUNITY CENTER	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
AS100-F	ENLARGED SITE PLAN - AREA SF - BASKETBALL COURTS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
					24)
AS400	BASEBALL FIELD TYPICAL FLOOR PLAN	3	12/22/2025	12/24/2025	Addendum 1 (12/22/25)
AS401	POOL CABANA PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AS402	SHELTER AND RESTROOM PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AS403	SHELTER AND RESTROOM PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AS404	TYPICAL DUGOUT PLANS	3	01/26/2026	01/29/2026	Addendum 3 (01/26/26)
AS405	FLOOR PLANS, RCP, ELEVATIONS, SECTION - PERGOLA	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AS406	FLOOR PLANS, RCP, ELEVATIONS, SECTION - PAVILION	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AS407	TRASH ENCLOSURE PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AS408	STORAGE BINS PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
Civil					
C0.0	Cover Sheet	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C1.0	GENERAL NOTES & SPECIFICATIONS	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
C1.1	CIVIL LEGEND, ABBREVIATIONS & SYMBOLS	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C2.0	CLEARING & DEMOLITION KEY MAP PLAN	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
C2.1	CLEARING & DEMOLITION PLAN	3	12/22/2025	12/24/2025	Addendum 1 (12/22/25)
C2.2	CLEARING & DEMOLITION PLAN	3	12/22/2025	12/24/2025	Addendum 1 (12/22/25)
C2.3	CLEARING & DEMOLITION PLAN	3	12/22/2025	12/24/2025	Addendum 1 (12/22/25)
C2.4	CLEARING & DEMOLITION PLAN	3	12/22/2025	12/24/2025	Addendum 1 (12/22/25)
C3.0	GEOMETRY, MARKING & SIGNAGE KEY MAP PLAN	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
C3.1	GEOMETRY, MARKING & SIGNAGE PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C3.2	GEOMETRY, MARKING & SIGNAGE PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C3.3	GEOMETRY, MARKING & SIGNAGE PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C3.4	GEOMETRY, MARKING & SIGNAGE PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C3.5	GENERAL SITE CONSTRUCTION DETAILS	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
C4.0	PAVING, GRADING & DRAINAGE KEY MAP PLAN	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
C4.1	PAVING, GRADING & DRAINAGE PLAN	3	12/22/2025	12/24/2025	Addendum 1 (12/22/25)
C4.2	PAVING, GRADING & DRAINAGE PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
C4.3	PAVING, GRADING & DRAINAGE PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C4.4	PAVING, GRADING & DRAINAGE PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C4.5	TYPICAL CROSS SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C4.6	DRAINAGE STRUCTURE TABULATION	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C4.7	CITY OF DELRAY BEACH DRAINAGE DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C5.0	WATER AND SANITARY SEWER KEY MAP PLAN	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
C5.1	WATER AND SANITARY SEWER PLAN	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
C5.2	WATER AND SANITARY SEWER PLAN	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
C5.3	WATER AND SANITARY SEWER PLAN	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
C5.4	CITY OF DELRAY BEACH WATER AND SEWER DETAILS	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
C5.5	WATER AND SEWER DETAILS	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
C5.6	GREASE TRAP DETAIL	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C6.0	STORMWATER POLLUTION PREVENTION PLAN	3	12/22/2025	12/24/2025	Addendum 1 (12/22/25)
C6.1	STORMWATER POLLUTION PREVENTION PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C6.2	STORMWATER POLLUTION PREVENTION PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C6.3	STORMWATER POLLUTION PREVENTION PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C6.4	STORMWATER POLLUTION PREVENTION PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C6.5	STORMWATER POLLUTION PREVENTION DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
C7.0	COMPOSITE PLAN	0	12/27/2022	07/15/2025	Permit Set (07/15/25)
C7.1	COMPOSITE PLAN	0	12/27/2022	07/15/2025	Permit Set (07/15/25)
C7.2	COMPOSITE PLAN	0	12/27/2022	07/15/2025	Permit Set (07/15/25)
C7.3	COMPOSITE PLAN	0	12/27/2022	07/15/2025	Permit Set (07/15/25)
C7.4	COMPOSITE PLAN	0	12/27/2022	07/15/2025	Permit Set (07/15/25)
cn 1	BID SET 02/28/2023	0	12/27/2022	07/15/2025	Permit Set (07/15/25)
Electrical					
E000	ELECTRICAL ABBREVIATIONS, NOTES AND SYMBOLS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E100	ROOF LEVEL ELECTRICAL PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E500	ELECTRICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
E501	ELECTRICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E502	ELECTRICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E503	ELECTRICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E504	ELECTRICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E505	ELECTRICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E506	ELECTRICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E507	ELECTRICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E509	ELECTRICAL RISER DIAGRAM	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E600	ELECTRICAL SCHEDULES	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E601	ELECTRICAL SCHEDULES	5	02/10/2026	02/13/2026	Addendum 4 (02/10/26)
E602	ELECTRICAL SCHEDULES	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E603	ELECTRICAL SCHEDULES	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
E604	ELECTRICAL SCHEDULES	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
EL101	GROUND LEVEL LIGHTING PLAN -NORTH	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
EL102	GROUND LEVEL LIGHTING PLAN -SOUTH A	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
EL103	GROUND LEVEL LIGHTING PLAN -SOUTH B	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
EL104	SECOND LEVEL LIGHTING PLAN -NORTH	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
EL105	SECOND LEVEL LIGHTING PLAN -SOUTH A	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
EL106	SECOND LEVEL LIGHTING PLAN -SOUTH B	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
EP101	GROUND LEVEL POWER PLAN -NORTH	5	02/10/2026	02/13/2026	Addendum 4 (02/10/26)
EP102	GROUND LEVEL POWER PLAN -SOUTH	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
EP103	SECOND LEVEL POWER PLAN -NORTH	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
EP104	SECOND LEVEL POWER PLAN -SOUTH A	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
EP105	SECOND LEVEL POWER PLAN -SOUTH B	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
EP106	ELECTRICAL, IT & DATA ROOMS- POWER PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
EP107	KITCHEN CONCESSION POWER PLAN	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
EP108	119 KITCHEN POWER PLAN	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
Fire Protection					
FP000	FIRE PROTECTION ABBREVIATIONS, NOTES AND SYMBOLS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FP100-1	OVERALL GROUND LEVEL FIRE PROTECTION PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FP100-2	OVERALL SECOND FLOOR FIRE PROTECTION PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FP101	GROUND LEVEL FIRE PROTECTION PLAN - NORTH	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FP102	GROUND LEVEL FIRE PROTECTION PLAN - SOUTH	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
FP103	SECOND LEVEL FIRE PROTECTION PLAN - NORTH	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FP104	SECOND LEVEL FIRE PROTECTION PLAN - SOUTH A	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FP105	SECOND LEVEL FIRE PROTECTION PLAN - SOUTH B	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
FP500	FIRE PROTECTION DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FP700	FIRE RISER	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
Food Service					
FS110	OVERALL REFERENCE PLAN- GROUND LEVEL	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS111	EQP PLAN & SCHEDULE- KITCHEN 119	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS111E	ELEC PLAN & SCHEDULE- KITCHEN 119	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS111M	MECH PLAN & SCHEDULE- KITCHEN 119	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS111S	SPECIAL CONDITIONS PLAN- KITCHEN 119	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS120	OVERALL REFERENCE PLAN- LEVEL 02	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS121	EQP PLAN & SCHEDULE- KITCHEN CONCESSION 203	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS121E	ELEC PLAN & SCHEDULE- KITCHEN CONCESSION 203	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS121M	MECH PLAN & SCHEDULE- KITCHEN CONCESSION 203	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
FS1215	SPECIAL CONDITIONS PLAN- KITCHEN CONCESSION 203	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS500	21.101 EXHAUST HOOD DETAIL	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS501	KITCHEN 119 - ELEVATION DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS502	KITCHEN/CONCESSION 203 - ELEVATION DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
FS503	KITCHEN/CONCESSION 203 COOKLINE - ELEVATION DETAIL	0	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
General					
GN000.1	COVER	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
GN001	DRAWING INDEX	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
GN001.1	DRAWING INDEX	0	12/27/2022	07/15/2025	Permit Set (07/15/25)
GN002	CODE ANALYSIS, BUILDING DATA, & ABBREVIATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
GN003	GENERAL SUSTAINABILITY NOTES AND FGBC REQ.	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
Hardscape					
H1.0	HARDSCAPE KEY MAP PLAN	5	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
H1.1	HARDSCAPE PLANS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
H1.2	HARDSCAPE PLANS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
H1.3	HARDSCAPE PLANS	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
H1.4	HARDSCAPE PLANS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
H1.5	HARDSCAPE DETAILS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
H51.1	HARDSCAPE SILVA CELL PLANS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
H51.2	HARDSCAPE SILVA CELL DETAILS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HF1.0	HARDSCAPE FENCING KEY MAP	5	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
HF1.1	HARDSCAPE FENCING PLAN	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HF1.2	HARDSCAPE FENCING PLAN	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HF1.3	HARDSCAPE FENCING PLAN	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HF1.4	HARDSCAPE FENCING PLAN	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
HF1.5	HARDSCAPE FENCING DETAILS	4	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HF1.6	HARDSCAPE FENCING DETAILS	2	09/26/2025	09/26/2025	Revised Conformed Set (09/26/25)
HF1.7	HARDSCAPE FENCING DETAILS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HF1.8	HARDSCAPE FENCING DETAILS	2	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HS1.0	HARDSCAPE PLANS SILVA CELL LAYOUT	5	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
HSA1.0	HARDSCAPE SITE AMENITIES KEY MAP	5	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
HSA1.1	HARDSCAPE SITE AMENITIES PLAN	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSA1.2	HARDSCAPE SITE AMENITIES PLAN	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSA1.3	HARDSCAPE SITE AMENITIES PLAN	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSA1.4	HARDSCAPE SITE AMENITIES PLAN	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSA1.5	HARDSCAPE SITE AMENITIES DETAILS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSA1.6	HARDSCAPE SITE AMENITIES DETAILS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSP1.0	HARDSCAPE SPORTS KEY MAP	5	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
HSP1.1	HARDSCAPE SPORTS PLAN	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSP1.2	HARDSCAPE SPORTS PLAN	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSP1.3	HARDSCAPE SPORTS PLAN	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
HSP1.4	HARDSCAPE SPORTS PLAN	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSP1.5	HARDSCAPE SPORTS DETAILS	5	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSP1.6	HARDSCAPE SPORTS DETAILS	1	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSP1.7	HARDSCAPE SPORTS DETAILS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSP1.8	HARDSCAPE SPORTS DETAILS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSP1.9	HARDSCAPE SPORTS DETAILS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
HSP1.10	HARDSCAPE SPORTS DETAILS	3	09/22/2025	12/04/2025	Revised Hardscape Plan 12.04.2025 (12/04/25)
Irrigation					
IRR1.0	IRRIGATION KEY MAP PLAN	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
IRR1.1	IRRIGATION PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
IRR1.2	IRRIGATION PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
IRR1.3	IRRIGATION PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
IRR1.4	IRRIGATION PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
IRR1.5	IRRIGATION SCHEDULE AND NOTES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
IRR1.6	IRRIGATION DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
Landscape					
L1.0	LANDSCAPE KEY MAP PLAN	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
L1.1	LANDSCAPE PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
L1.2	LANDSCAPE PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
L1.3	LANDSCAPE PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
L1.4	LANDSCAPE PLANS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
L1.5	LANDSCAPE NOTES & SCHEDULE	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
L1.6	LANDSCAPE DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
LA000	LANDSCAPE COVER	0	12/27/2022	07/15/2025	Permit Set (07/15/25)
Life Safety					
LS110	LIFE SAFETY PLAN - GROUND LEVEL	4	01/26/2026	01/29/2026	Addendum 3 (01/26/26)
LS120	LIFE SAFETY PLAN - SECOND LEVEL	4	01/26/2026	01/29/2026	Addendum 3 (01/26/26)
LS130	LIFE SAFETY - FIRE EXTINGUISHER LOCATION DIAGRAMS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
Mechanical					
M000	MECHANICAL ABBREVIATIONS, NOTES AND LEGENDS	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M100-1	OVERALL GROUND LEVEL MECHANICAL PLAN	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M100-2	OVERALL SECOND LEVEL MECHANICAL PLAN	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M100-3	OVERALL ROOF MECHANICAL PLAN	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M101	GROUND LEVEL MECHANICAL PLAN - NORTH	4	02/10/2026	04/10/2026	Addendum 4 (02/10/26)
M102	GROUND LEVEL MECHANICAL PLAN - SOUTH	6	02/10/2026	02/13/2026	Addendum 4 (02/10/26)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
M103	SECOND LEVEL MECHANICAL PLAN -NORTH	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M104	SECOND LEVEL MECHANICAL PLAN -SOUTH A	5	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
M105	SECOND LEVEL MECHANICAL PLAN -SOUTH B	5	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
M111	GROUND LEVEL MECHANICAL CONTROLS PLAN -NORTH	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M112	GROUND LEVEL MECHANICAL CONTROLS PLAN -SOUTH	3	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M113	SECOND LEVEL MECHANICAL CONTROLS PLAN -SOUTH A	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M114	SECOND LEVEL MECHANICAL CONTROLS PLAN -SOUTH B	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M500	MECHANICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M501	MECHANICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M600	MECHANICAL SCHEDULES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M601	MECHANICAL SCHEDULES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M602	MECHANICAL SCHEDULES	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M700	MECHANICAL CONTROL DIAGRAMS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M701	MECHANICAL CONTROL DIAGRAMS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
M702	MECHANICAL CONTROL DIAGRAMS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
Plumbing					
P000	PLUMBING ABBREVIATIONS, NOTES AND LEGENDS	3	02/10/2026	02/13/2026	Addendum 4 (02/10/26)
P100-1	OVERALL GROUND LEVEL PLUMBING PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
P100-2	OVERALL SECOND LEVEL PLUMBING PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
P100-3	OVERALL ROOF PLUMBING PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
P101	ROOF LEVEL PLUMBING PLAN -NORTH	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
P102	ROOF LEVEL PLUMBING PLAN -SOUTH	3	02/10/2026	02/13/2026	Addendum 4 (02/10/26)
P500	PLUMBING DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
P501	PLUMBING DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
P502	PLUMBING DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
					24)
P600	PLUMBING SCHEDULES AND DIAGRAMS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
P700	STORM RISER	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
P701	SANITARY RISER	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
P702	WATER RISER & GAS RISER	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
PH100	4.4 PHASING PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
PH101	4.4 PHASING - GENERAL SITE PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
PS101	GROUND LEVEL PLUMBING PLAN SANITARY - NORTH	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
PS102	GROUND LEVEL PLUMBING PLAN SANITARY - SOUTH	3	02/10/2026	02/13/2026	Addendum 4 (02/10/26)
PS103	SECOND LEVEL PLUMBING PLAN SANITARY -SOUTH A	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
PS104	SECOND LEVEL PLUMBING PLAN SANITARY -SOUTH B	3	02/10/2026	02/13/2026	Addendum 4 (02/10/26)
PW101	GROUND LEVEL PLUMBING PLAN WATER - NORTH	3	12/22/2025	12/24/2025	Addendum 1 (12/22/25)
PW102	GROUND LEVEL PLUMBING PLAN WATER -SOUTH	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
PW103	SECOND LEVEL PLUMBING PLAN WATER -SOUTH A	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
PW104	SECOND LEVEL PLUMBING PLAN WATER -SOUTH B	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
Pools					
AQ000	POOL REFERENCE PLAN	3	01/26/2026	01/29/2026	Addendum 3 (01/26/26)
AQ100	COMPETITION POOL PLAN & SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ101	COMPETITION POOL TIMING SYSTEM LAYOUT	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ102	COMPETITION POOL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ103	COMPETITION POOL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ200	LEISURE POOL PLAN & SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ201	LEISURE POOL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ202	LEISURE POOL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ203	LEISURE POOL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
AQ300	POOL LOCATION POINT SCHEDULES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ301	POOL LOCATION POINT PLAN	3	01/26/2026	01/29/2026	Addendum 3 (01/26/26)
AQ400	POOL MECHANICAL NOTES & SCHEDULES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ401	POOL SUCTION PIPING PLAN	3	01/26/2026	01/29/2026	Addendum 3 (01/26/26)
AQ402	POOL RETURN PIPING PLAN	3	01/26/2026	01/29/2026	Addendum 3 (01/26/26)
AQ500	POOL MECHANICAL ROOM PLAN & SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ501	COMPETITION POOL SURGE TANK PLAN & SECTIONS	3	01/26/2026	01/29/2026	Addendum 3 (01/26/26)
AQ502	LEISURE POOL SURGE TANK PLAN & SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ503	POOL MECHANICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ504	POOL MECHANICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ505	POOL MECHANICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ506	POOL MECHANICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ507	POOL MECHANICAL DETAILS	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ600	COMPETITION POOL SYSTEMS SCHEMATIC	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ601	LEISURE POOL SYSTEMS SCHEMATIC	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ700	COMPETITION POOL STRUCTURAL PLAN	3	01/26/2026	01/29/2026	Addendum 3 (01/26/26)
AQ701	LEISURE POOL STRUCTURAL PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ702	POOL STRUCTURAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ703	POOL STRUCTURAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
AQ704	POOL STRUCTURAL SECTIONS	3	01/26/2026	01/29/2026	Addendum 3 (01/26/26)
AQ705	POOL STRUCTURAL SECTIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
Site Utility and Photometric					
SP100	SITE PHOTOMETRIC PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SP101	FIRST FLOOR PHOTOMETRIC PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SP102	SECOND FLOOR PHOTOMETRIC PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
SP103	SPORTS LIGHTING PHOTOMETRIC PLAN	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
SU100	SITE UTILITY PLAN	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
SUD101	SITE UTILITY DEMOLITION PLAN	6	02/10/2026	02/13/2026	Addendum 4 (02/10/26)
Structural					
S101	GENERAL STRUCTURAL NOTES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S102	WIND DESIGN DATA AND LOAD SCHEDULE	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S103	WIND DESIGN DATA AND LOAD SCHEDULE	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S104	WIND DESIGN DATA AND LOAD SCHEDULE	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S105	WIND DESIGN ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S106	THRESHOLD INSPECTION PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S200	OVERALL PLAN AREA	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
S201A	FOUNDATION PLAN -AREA A	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
S201B	FOUNDATION PLAN -AREA B	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S201C	FOUNDATION PLAN -AREA C	2	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
S202A	SLAB ON GRADE PLAN -AREA A	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
S202B	SLAB ON GRADE PLAN -AREA B	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S202C	SLAB ON GRADE PLAN -AREA C	2	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
S203A	2ND FLOOR FRAMING PLAN - AREA A	3	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
S203B	2ND FLOOR FRAMING PLAN - AREA B	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S203C	2ND FLOOR FRAMING PLAN - AREA C	2	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
S204A	ROOF FRAMING PLAN -AREA A	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S204B	ROOF FRAMING PLAN -AREA B	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S204C	ROOF FRAMING PLAN -AREA C	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S205	MISCELLANEOUS STRUCTURE - PAVILLON	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S206	MISCELLANEOUS STRUCTURE - NEW PERGOLA	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S207	MISCELLANEOUS STRUCTURE - DUGOUT	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S208	MISCELLANEOUS STRUCTURE - DUMPSTER ENCLOSURE	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
					24)
S209	MISCELLANEOUS STRUCTURE - SHELTER & REST ROOMS 1	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S210	MISCELLANEOUS STRUCTURE - SHELTER & REST ROOMS 1	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S211	MISCELLANEOUS STRUCTURE - SHELTER & REST ROOMS 2	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S212	MISCELLANEOUS STRUCTURE - STORAGE BIN & MONUMENT SIGN DETAILS	0	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S301	TYPICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S302	TYPICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S303	TYPICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S304	TYPICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S305	TYPICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S306	TYPICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S307	TYPICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S308	TYPICAL DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S401	MAT FOUNDATION DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S402	SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S403	SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S404	SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S405	SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S406	SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S407	SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S408	SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S409	SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S410	SECTIONS AND DETAILS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
S501	ELEVATION KEY PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S502	ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S503	ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S504	ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S505	ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S506	ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S507	ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S508	ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S509	ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S510	ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S511	ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S512	ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S520	SHEAR WALL DETAILS AND SCHEDULE	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S521	SHEAR WALL ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S522	SHEAR WALL ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S523	SHEAR WALL ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S524	SHEAR WALL ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S601	SCHEDULES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S602	SCHEDULES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S611	BEAM ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S612	BEAM ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
S613	BEAM ELEVATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)

Survey



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Drawing No.	Drawing Title	Revision	Drawing Date	Received Date	Set
1 OF 5	MAP SHOWING BOUNDARY AND TOPO SURVEY	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
2 OF 5	MAP SHOWING BOUNDARY & TOPOGRAPHIC SURVEY	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
3 OF 5	MAP SHOWING BOUNDARY & TOPOGRAPHIC SURVEY	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
4 OF 5	MAP SHOWING BOUNDARY & TOPOGRAPHIC SURVEY	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
5 OF 5	MAP SHOWING BOUNDARY & TOPOGRAPHIC SURVEY	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TS-1	TOPO SURVEY	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TS-2	Sketch of Topo Survey	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TS-3	SKETCH OF TOPOGRAPHIC SURVEY	1	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TS-4	TOPO SURVEY	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TS-5	TOPO SURVEY	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
Tree Disposition					
TDP1.0	TREE DISPOSITION KEY MAP	4	01/22/2026	01/27/2026	Addendum 2 (01/22/26)
TDP1.1	TREE DISPOSITION PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TDP1.2	TREE DISPOSITION PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TDP1.3	TREE DISPOSITION PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TDP1.4	TREE DISPOSITION PLAN	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TDP1.5	TREE DISPOSITION SCHEDULE	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TDP1.6	TREE DISPOSITION SCHEDULE	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TDP1.7	RELOCATION SCHEDULE & NOTES	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)
TDP1.8	MITIGATION SCHEDULE & CALCULATIONS	2	09/22/2025	12/01/2025	Conformed Set for GMP Bid (12/01/24)



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Current Specifications

Number	Description	Revision	Issued Date	Received Date	Set
00 - Procurement and Contracting Requirements					
000110	Table of Contents	3	01/26/26	01/29/26	Pompey Park Addendum 3 081416 Wood Doors
01 - General Requirements					
010100	Summary of Work	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
011410	Materials Testing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
012000	Price and Payment Procedures	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
013100	Project Management and Coordination	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
013200	Construction Progress Documentation	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
013216	Construction Progress Schedule	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
013300	Submittal Procedures	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
014000	Quality Requirements	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
014100	Regulatory Requirements	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
015000	Temporary Facilities and Controls	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
015100	Temporary Utilities	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
015213	Field Offices and Sheds	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
015240	Construction Waste Management	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
015610	Construction Cleaning	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
016000	Product Requirements	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
017000	Execution Requirements	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
017500	Starting and Testing of Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
017600	Protection of Installed Construction	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
017700	Closeout Procedures	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
017800	Closeout Submittals	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
017810	Project Record Documents	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
017820	Operation and Maintenance Data	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
018100	Commissioning	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
018113	Sustainable Design and Construction Requirements	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
018150	Commissioning Authority Responsibilities	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
018200	Demonstration and Training	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
02 - Existing Conditions					
022200	Site Demolition	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
03 - Concrete					
030000	Concrete	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Number	Description	Revision	Issued Date	Received Date	Set
030500	Common Work Results for Pool Deck Concrete	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
031000	Concrete Forming and Accessories	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
032000	Concrete Reinforcement	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
032900	Under-Slab Vapor Barrier/Retarder	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
033713	Shotcrete	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
035300	Concrete Topping	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
036000	Grout	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
04 - Masonry					
042000	Unit Masonry	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
042030	Reinforced Unit Masonry	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
042214	Masonry Patchwork	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
05 - Metals					
051200	Structural Steel Framing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
052100	Steel Joist Framing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
052123	Steel Joist Girder Framing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
053000	Metal Decking	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
055213	Aluminum Pipe and Tube Railings	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
06 - Wood, Plastics, and Composites					
061000	Rough Carpentry	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
061600	Sheathing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
064116	Plastic-Laminate-Clad Architectural Cabinets	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
067300	Composite Decking	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
067413	Gratings - Reinforced Plastic Glass Fiber	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
07 - Thermal and Moisture Protection					
071300	Sheet Waterproofing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
071800	Traffic Coatings	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
071923	Water Repellents	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
072100	Thermal Insulation	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
072600	Vapor Retarders	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
072700	Closed-Cell Polyurethane Foam Insulation	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
074113	Metal Roof Panels	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
075416	Mechanically Attached Ketone Ethylene Ester (KEE) Roofing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
076200	Flashing and Sheet Metal	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
077100	Roof Specialties Penetration and Flashing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
078100	Applied Fireproofing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
078413	Penetration Firestopping	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
079000	Joint Sealers	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Number	Description	Revision	Issued Date	Received Date	Set
079500	Expansion Control	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
08 - Openings					
081113	Hollow Metal Doors and Frames	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
081416	Wood Doors	1	01/26/26	01/29/26	Pompey Park Addendum 3 081416 Wood Doors
083100	Access Doors and Frames	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
084113	Aluminum-Framed Entrances & Storefronts	2	01/22/26	01/27/26	Pompey Park Addendum 2
084113.1	Aluminum-Framed Entrances & Storefronts	0	01/22/26	01/27/26	Pompey Park Addendum 2
084313	Aluminum-Framed Entrances & Storefronts	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
084413	Glazed Aluminum Curtain Wall	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
087100	Door Hardware	2	12/22/25	12/24/25	Pompey Park Addendum 1 087100 Door Hardware
088000	Glazing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
09 - Finishes					
092216	Non-Structural Metal Framing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
092400	Stucco	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
092900	Gypsum Board	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
095100	Acoustical Ceiling (Baffle)	1	01/22/26	01/27/26	Pompey Park Addendum 2
095113	Acoustical Ceiling (Lyra)	0	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
095190	Resilient Tile Flooring	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
096460	Wood Athletic & Sports Flooring	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
096519	Resilient Vinyl Flooring (LVT)	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
096536	Static Dissipative Resilient Vinyl Flooring	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
096566	Resilient Athletic Flooring	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
096723	Resinous Flooring	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
096766	Polyurethane Floor System	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
096767	Polyurethane Floor System at Running Track	0	07/18/25	07/18/25	Pompey Park Technical Specifications
096813	Tile Carpeting	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
098433	Sound Absorbing Panels	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
099113	Exterior Painting	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
099123	Interior Painting	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
10 - Specialties					
101400	Signage	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
102100	Aluminum Stationary Louvers	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
102113	Toilet Compartments	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
102226	Operable Partitions Acoustic-Seal	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
102600	Wall and Door Protection	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
102800	Toilet and Bath Accessories	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
104413	Fire Protection Specialties	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Number	Description	Revision	Issued Date	Received Date	Set
105113	Metal Lockers	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
107300	Overhead Supported Aluminum Canopy	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
107310	Protective Covers	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
107516	Ground-Set Flagpoles	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
108200	Louvered Roof Top Equipment Screens	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
11 - Equipment					
114000	Food Service Equipment	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
116500	Sport Nets	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
116501	Basketball Goal	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
116502	Ceiling Suspended Forward Fold Backstops	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
116503	Rectangular Glass Blackboards	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
116505	Gym Divider Curtains	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
116505.1	Protective Wall Padding	0	07/18/25	07/18/25	Pompey Park Technical Specifications
116507	Volleyball Floor Sleeves and Covers	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
116623	Group Controller & Keypad	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
116643	Interior Electronic Scoreboard	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
116800	Play Field Equipment and Structures	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
12 - Furnishings					
120100	Operation and Maintenance of Furnishings	0	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
126613	Telescopic Seating	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
13 - Special Construction					
131100	Swimming Pools	2	01/22/26	01/27/26	Pompey Park Addendum 2
131101	Swimming Pool Cast-in Place Concrete	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
131102	Swimming Pool Shotcrete	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
131103	Swimming Pool Tile	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
131104	Swimming Pool Cementitious Finish	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
131106	Swimming Pool Timing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
131200	Pre-engineered Shade Structures	1	01/22/26	01/27/26	Pompey Park Addendum 2
14 - Conveying Equipment					
142400	Elevators - Machine Room-Less Hydraulic Passenger Elevators	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
21 - Fire Suppression					
210400	General Conditions for Fire Protection Trades	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
210500	Common Work Results for Fire Suppression	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
210516	Expansion Fittings and Loops for Fire-Suppression Piping	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
211119	Fire Department Connections	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
211313	Wet-Pipe Sprinkler Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
22 - Plumbing					



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Number	Description	Revision	Issued Date	Received Date	Set
220400	General Conditions for Plumbing Trades	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
220500	Common Work Results for Plumbing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
220516	Expansion Fittings and Loops for Plumbing Piping	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
220523	General-Duty Valves for Plumbing Piping	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
220529	Hangers And Supports for Plumbing Piping and Equipment	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
220548	Vibration And Seismic Controls for Plumbing Piping and Equipment	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
220700	PLUMBING INSULATION	2	01/22/26	01/27/26	Pompey Park Addendum 2
221005	Plumbing Piping	2	01/22/26	01/27/26	Pompey Park Addendum 2
223000	Plumbing Equipment	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
224000	Plumbing Fixtures and Specialties	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
23 - Heating, Ventilating, and Air Conditioning (HVAC)					
230100	Operation and Maintenance of HVAC Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
230400	General Conditions for Mechanical Trades	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
230517	Sleeves And Sleeve Seals for HVAC Piping	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
230529	Hangers And Supports for HVAC Piping, Ductwork And Equipment	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
230548	EQUIPMENT	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
230553	EQUIPMENT	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
230593	Testing, Adjusting, And Balancing for HVAC	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
230700	HVAC Insulation	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
230800	Commissioning of HVAC	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
230900	Instrumentation And Controls for HVAC	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
232300	Refrigerant Piping	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
233100	HVAC Ducts and Casings	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
233300	Air Duct Accessories	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
233400	HVAC Fans	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
233600	Air Terminal Units	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
237223	Packaged Air-To-Air Energy Recovery Units	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
238109	Packaged Rooftop Air Conditioning Units - Large Capacity	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
238126	Split-System Air-Conditioners	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
26 - Electrical					
260400	General Conditions for Electrical Trades	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
260501	Electrical Demolition	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
260503	Equipment Wiring Connections	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
260519	Electrical Power Conductors and Cables	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
260526	Grounding And Bonding for Electrical Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
260529	Hangers And Supports for Electrical Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
260533	Raceway And Boxes for Electrical Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Number	Description	Revision	Issued Date	Received Date	Set
260534	Floor Boxes for Electrical Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
260536	Cable Trays For Electrical Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
260553	Identification For Electrical Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
260573	Coordination Study	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
260923	Lighting Control Devices	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
262200	Low-Voltage Dry Type Transformers	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
262413	Switchboards	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
262416	Panelboards	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
262726	Wiring Devices	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
262813	Fuses	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
262819	Enclosed Switches	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
262826	Enclosed Transfer Switches	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
262913	Enclosed Controllers	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
263213	Engine Generators	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
264113	Lightning Protection for Structures	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
265100	Lighting	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
265668	Exterior Athletic Lighting	0	01/22/26	01/27/26	Pompey Park Addendum 2
27 - Communications					
270526	Grounding And Bonding for Communications Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
270529	Hangers And Supports for Communications Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
270533	Raceway And Boxes for Communications Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
270553	Identification For Communications Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
271000	Structured Cabling	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
274100	Audio-Video Systems	0	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
275116	Public Address Systems	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
275319	Distributed Antenna System (DAS)	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
28 - Electronic Safety and Security					
280533	Raceway And Boxes for Electronic Safety and Security	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
280553	Identification For Electronic Safety and Security	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
281300	Access Control and Surveillance	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
283100	Fire Detection and Alarm System	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
31 - Earthwork					
311000	Site Clearing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
311300	Selective Tree & Shrub Removal	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
312000	Earth Moving	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
312200	Site Grading	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
312333	Excavation and Backfill for Utilities	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid



CORE Construction Services of Florida, LLC

Job #: 4-25-01-004 Pompey Park Recreation Center
 1101 NW 2nd St
 Delray Beach, Florida 33444

Number	Description	Revision	Issued Date	Received Date	Set
314500	Vibroflotation And Densification	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
32 - Exterior Improvements					
320190	Operation and Maintenance of Planting	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
321000	Asphalt Paving	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
321123	Asphalt Tennis Court Surface Color Coating System	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
321723	Pavement Marking	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
321726	Tactile Warning Surfacing	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
321824	Asphalt Basketball Court Surface Color Coating System	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
323110	Ornamental Fence	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
323119	Decorative Metal Fences and Gates	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
323170	Chain Link Fence	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
323300	Fence Site Furnishings & Amenities	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
328423	Irrigation	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
329113	Soil Preparation	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
329223	Sodding	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
329300	Planting	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
329450	Silva Cells	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
33 - Utilities					
330000	Utilities	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
331000	Water Utilities	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
333000	Sanitary Sewer System	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
334100	Storm Drainage System	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
334200	Dewatering	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid
48 - Electrical Power Generation					
481613	Geothermal Energy Heat Pumps	1	12/01/25	12/01/25	Pompey Park Technical Specifications GMP Bid

CORE HURRICANE PREPAREDNESS PLAN

The purpose of this program is to provide direction to CORE Construction employees during hurricane threats in order to minimize the damage and property loss and to provide maximum safety for personnel and equipment on construction sites. It shall be coordinated with the owner's plans/procedures.

I. SCOPE

This program applies to all CORE Construction employees and applicable subcontractors.

II. RESPONSIBILITY

Each Project Manger will be responsible as to when to implement each phase of preparedness procedures on the job site. The Project Manager will direct the Project Superintendent or other qualified delegate as to commencement of preparedness activities, suspension of preparedness activities, and initiation of clean-up activities and return to work.

Each Project Superintendent will be responsible for coordinating preparedness activities at the job site. The Superintendent is responsible for securing equipment, materials, portable facilities, and purchasing any supplies necessary for preparedness activities.

The Safety Manager will advise and assist in preparedness activities.

III. GENERAL PREPAREDNESS PROCEDURES

- A. Update and prepare an emergency phone list showing home phone numbers of our foremen and subcontractor's supervisors. Ask our foremen and subcontractors' supervisors to get phone numbers of all their employees they might need in an emergency.
- B. Broom clean entire project, inside and out, and remove trash from job site.
- C. Make sure all perimeter cables are equipped with hog wire to prevent materials from being blown out of the building. Check security of cable attachment (use u-clips, not wire).
- D. Secure all loose materials, duct, sheetrock, decking, insulation, roofing paper, metal toolboxes, plywood, etc. Band with metal straps and/or secure to columns or floors. Chain all toolboxes on casters to a column.
- E. Remove all loose gravel from roof or store in 55-gallon drums secured to the structure.
- F. Obtain extra plywood to cover windows and other openings. If Owner has supplied the Builder's Risk, discuss with them the policy enhancements which MAY pay for supplies needed during the pre-hurricane preparation process.
- G. Anticipate equipment you might need after the storm and order it (pumps, #9 tie wire,

rope, tarps, hose, power cords, Visqueen and generators). These items will not be available after the storm.

- H. Make sure all trucks and equipment are full of fuel; fill all safety cans on the job.
- I. Fill all water kegs the day before the storm. Potable water may not be available for several days after the storm.
- J. Lower all motor/crawler crane booms to the ground, all buckets, and blades. Let tower cranes weathervane. Check tower crane supporting system. Check security of counterweight wedges and clamps.
- K. Make sure all office trailers, Conex boxes and barricades are secured to the ground.
- L. PHOTOS/VIDEO - Take photos of each side of the structure and building site. This will aid in documenting damages after the storm and show precautions we have taken to prevent damage. If time allows, utilize drone to update Drone Deploy photos.
- M. Lay all ladders on the deck. Remove all boards from scaffold if not secured and tie all rolling scaffolds to a column.
- N. Fully charge all job radios. Project Superintendents may want their foremen to take their radios home in case phones are out after the storm.
- O. Take pictures of construction jobs of other contractors' jobs across the street from your job. These photographs might show materials that might be blown from the other job, damaging windows, or other property. Without the photographs, we might be blamed for this damage. Upon return take another set of pictures before work begins.
- P. Bring any heavy equipment out of an excavation, bayou, or any other low area and store on high ground in case of flooding. We also should bring compressors or welding machines out of low areas.
- Q. When first warnings are received, stop shipments of materials and equipment to the jobsite so that you will not have something else to secure for the storm.
- R. Store expensive materials and equipment inside the building and in a protected area, if possible, and not outside the building where something might fall on it.
- S. Require the subcontractors to secure loose materials with #9 wire, band irons, 5/8" rope or better, since they tend to use small gauge wire and lighter rope.
- T. If the full force of a hurricane is expected, lower the counterweight on personnel hoist as well as the cage to the ground prior to the storm. This should probably be the last thing done before leaving the jobsite. The counterweight hoist lines must be securely clamped to the tower.
- U. Provide food and water for the crew riding out the hurricane (when applicable) on a job (canned foods and other non-perishable items).
- V. Immediately after a storm, have the Project/Office Engineer or another responsible

supervisor send a “damage report” to the Safety Department so that we can report the loss to the builder’s risk carrier. Send a report even if there is no damage.

- W. If applicable, check with your guard service and have them put guard(s) on your job at the beginning of the storm who is (are) willing to stay on the job during the storm if their shift replacement can’t get to the job because of the weather. (Guard(s) will also need food and water.)
- X. Check with the electrical Supervisor and decide at what stage of the storm the temporary and/or permanent power should be shut down.
- Y. If high water will flood critical areas, you may want to order sandbags for all entrances.
- Z. Ensure that all Subcontractor Representatives are given a copy of this entire plan prior to hurricane season.

IV. EXECUTION

The execution of this plan shall be by phases according to weather conditions. Each phase has a list of activities which must be carried out. Additional activities may be required on certain projects based on the Contracting Officers specifications. These shall be addressed on a site-specific basis.

A. Phase One

Condition: “Tropical Storm” development in the Gulf of Mexico; “Tropical Storm” or “Hurricane” entering the Gulf of Mexico.

Activities:

1. The storm will be monitored, and contact established with the local weather officials to track and identify potential target area.
2. The Project Superintendent will make a list of all materials and additional storage containers necessary to ensure that preparations can be completed, identify areas of uncompleted construction that will need to be covered and/or reinforced, and consider protective measures required to secure or remove equipment or temporary facilities that may be on the job.
3. All Subcontractors working on the project shall be reissued a copy of the Hurricane Preparedness Plan and informed that Phase One is initiated and that they are expected to comply with preparedness procedures as directed by the Project Superintendent.

B. Phase Two

Condition: “Tropical Storm” or “Hurricane” approaching the Gulf or Atlantic Coast Regions, landfall probably as determined by the National Weather Service; 50 mph sustained winds within 72 hours.

Activities:

1. Review the supply list from Phase One and purchase supplies necessary to complete preparations.
2. If not completed already, begin tie down of all portable structures. If a construction trailer or Conex is on the job, it is to be tied down with metal straps and screw anchors at this time.
3. Review storage requirements from Phase One and obtain additional storage containers as needed.
4. Inform all subcontractors that Phase Two is initiated.

C. Phase Three

Condition: “Tropical Storm” or “Hurricane” watch issued by the National Weather Service; 50 mph sustained winds expected within 48 hours.

Activities:

1. If not completed already, complete tie down of all portable buildings, trailers or structures.
2. Move trash barrels and small containers inside of a building.
3. Remove rented trash dumpsters from the site.
4. All materials, loose items, and equipment must be either removed from the job site or stored and secured to ensure that objects are not moved by high winds or flooding.
5. Secure and protect all areas of uncompleted construction with attention to sealing construction areas adjoining existing occupied areas of a building.
6. Move all cranes to open area and boom down.
7. Inform all subcontractors that Phase Three is initiated.
8. Once all other activities are complete, any non-essential personnel should be sent home and instructed not to return until storm has passed or all clear has been announced.

D. Phase Four

Condition: “Tropical Storm” or “Hurricane Warning” issued by the National Weather Service; 50mph sustained winds within 24 hours. Strike imminent.

Activities:

1. Complete boarding windows and doors to all buildings as necessary.
2. Complete securing of all loose materials.

3. Complete crane tie-down, lay down, etc.
4. Perform a detailed inspection of the job site, making sure that all items are properly protected, and that each subcontractor has completed emergency preparations. The Project Superintendent shall do this.
5. Review essential personnel list and verify means of contact.
6. All remaining employees and subcontractors will be instructed to evacuate the job site after protective precautions are in place.

E. Phase Five

Condition: Return to work.

Activities:

1. After the storm has passed, the Project Superintendent will thoroughly inspect AND document the job site and report any structural, material, or equipment damage to the Project Manager. Use Drone Deploy whenever possible.
2. Recall essential personnel, make repairs as necessary and track additional costs of time and materials.
3. Recall regular personnel as necessary and return the job site to normal activities.

PROJECT SPECIFIC SAFETY PLAN AND SAFETY START-UP CHECKLIST

Completed By: _____

Date: _____

PROJECT SPECIFIC SAFETY PLAN

Purpose: The purpose of this Project Specific Safety Plan is to help identify safety concerns which may be particular to the project site mentioned below. This document will act as a companion to the CORE Construction Safety and Health Program.

Project Name and Number:		
Project Address:		
	Initial Project Start Date	Initial Project Completion Date
Key Personnel:	Name	Cell Number
Project Manager:		
Superintendent:		
Assistant PM:		
Assistant Superintendent:		
Project Engineer:		
Safety Contact:		

Client Specific Safety Requirements

	Yes	No
Safety orientation?	Yes	No
Background checks?	Yes	No
Badging?	Yes	No
Other (steel toe boots, training)	Yes	No

Project Scope:	i.e. – 3-story 15,500 S.F. student dormitory slab on grade, CMU exterior walls with brick veneer, steel truss roof framing and sheet metal sheathing.
-----------------------	---

Project Specific Hazards:	i.e. – demolition, using heavy equipment, working near high voltage power lines, performing excavation work, working on roof, working at heights above 6 feet, hot work, working near pedestrians, road work, etc.
----------------------------------	--

SITE CONDITIONS	COMMENTS
<p>Surrounding Properties: (Existing buildings, adjacent structures, sidewalks, parking)</p>	<p>i.e. – Office building 20 feet to the west of project. Windows of the office building will need to be protected prior to demoing the brick facade.</p>
<p>Utilities: (Existing utilities – underground and/or overhead. List type, location and utility will be located (i.e. private locate, pothole, hydrovac, etc.))</p>	<p>i.e. – Underground fiber optic cables are running along the west side of the project. Potholing will be performed prior to excavating to new storm.</p>
<p>Public Interactions: (Vehicular traffic, Students, Pedestrian traffic, Roads, Occupied Structures, City/County Noise Ordinance)</p>	<p>i.e. – Student foot traffic will need to be rerouted around the project. We will be using fencing, wind screen and signage to redirect students.</p>
<p>Other Considerations:</p>	

Emergency Response		Comments	
Nearest hospital to project:			
Address and phone number of hospital:			
Location of emergency assembly area:			
Where will EMS enter the site if needed?			
How would an incapacitated individual be removed from the building? (EMS, onsite man basket)			
Site Security		Comments	
Will a perimeter fence be installed? (Wind Screen)		Yes	No
Will a security service be utilized?		Yes	No
What type of security service (Camera, Guard, Alarms)?			
What will be the hours of operation for the security service?			
Perimeter signage (See startup checklist)			
Egress		Comments	
How will upper floors be accessed?			
Finished ceiling height?			
Minimum ladder height allowed on project?			
Are floors approved for lift use by structural engineer?			
Where will loading plan(s) be posted for elevated floors (drywall, steel, lift, etc.)?			
How will roof be accessed?			
Will there be a buck hoist?		Yes	No
Will there be an exterior stair tower?		Yes	No
What Company is supplying / installing / operating?			
What Company will be Inspecting? Frequency?			
Abatement		Comments	
Abatement Required?		Yes	No
Lead and Asbestos Plan printed on site?		Yes	No
Company(s) performing Abatement		Company Name	
Asbestos Abatement:			
Lead Abatement:			

Demolition		Comments	
Will the scope of work include demolition?	Yes		No
Does the demolition involve removal of structural members?	Yes		No
What structural members will be demolished or removed? (Floor, walls, ceiling, columns, beams)			
Has a Demolition Plan/Engineering Survey been completed if removing structural members?	Yes		No
Earthwork		Comments	
Will excavations and/or trenches be performed?	Yes		No
Maximum depth of excavation?			
Have excavations and/or trenches with a depth over 20 feet have an engineered protective system?	Yes		No
What is the expected soil type (A, B or C)?			
Will piers be required? If so, what are the depth and dimensions.			
What protective measures will be implemented around excavations and trenches (flagging, fall protection over 6 feet)?			
Confined Space		Comments	
Are there any existing confined spaces?			
What scope of work will create a confined space? (manhole, crawlspace, tank, underground storm system, electrical vault, attic, etc.)			
What trade partners(s) will be entering confined spaces?			
Will confined space be permit required or non-permit required?			
How will confined space rescue be achieved? (On site rescue team, fire department, non-entry rescue)			
Cranes		Comments	
What Company is supplying / maintaining?			
Type of crane(s):			
Company(s) utilizing crane:			

Number of cranes:		
Will there be critical lifts?	Yes	No
Will FFA permit be required? (Project within 3 miles of an airport)	Yes	No
Who will get FFA permit?		
Duration crane will be on site?		
Hot Work		
	Comments	
Type of hot work: (Grinding, Burning, Welding, Cutting, anything that produces spark or flame)		
How often will hotwork permit be completed (weekly, daily)?		
Mitigation plan? (Fire Extinguishers, Blankets, Fire Watch)		
Fire Protection		
	Comments	
How many portable fire extinguishers will be required on site (one fire extinguisher per every 100 feet of travel and/or 1 fire extinguisher every 3,000 sq. ft.)		
Who will inspect fire extinguishers monthly?		
Will existing fire suppression systems be removed from service?	Yes	No
Will additional fire protection services need be required? (i.e. overnight fire watch)		
Will temporary heaters be used on site?	Yes	No
What type of temporary heaters will be used? (Electric, propane, natural gas)		

CORE CONSTRUCTION

PROJECT SPECIFIC QUALITY PLAN

I. POLICY

The Project Specific Quality Plan (PSQP), is a requirement for CORE Construction projects. For projects that have additional requirements for quality activities (e.g., specification section 01400), the standard template is to be modified with the additional activities inserted where appropriate.

The PSQP is to be developed and maintained on all CORE Construction Projects.

II. PURPOSE (The Why)

The purpose of creating a PSQP for a project is to consistently gather and document the key requirements for the project from the contract documents (specifications, contract, general conditions, front end documents and drawings) and to verify proper planning and installation of critical components. The PSQP Template is a standard report which is intended to enable the project team to focus on gathering and understanding the project requirements and to minimize the effort to create the plan.

The PSQP Template is organized with a generic front-end that provides an overview of the information contained in the PSQP and how quality is integrated into CORE Construction's standard policies and procedures. The results of accomplishing the activities to create the PSQP are contained in the PSQP Appendices.

It is important to understand that the activities detailed in this section that are accomplished for the creation of the PSQP are already part of CORE Construction's policies and procedures. The intent of the PSQP is to accomplish key activities early in the project to minimize quality issues later in the project. The creation of the PSQP should be approached as systematic planning for the project.

Therefore, the approach presented in this section on the creation of the PSQP for a project is a process for gathering and organizing the key information, followed by identifying and prioritizing quality challenges for the project and integrating the quality-focused tasks into the project workflow (e.g., Vista and the Project Schedule).

The key activities to input into Vista include:

- Drawings and Specification Sections
- Submittals
- Mock-Ups and Sample Construction
- Pre-Installation Meetings
- Tests
- Verifications
- Closeout Documentation

The PSQP is being implemented as a logical approach to project execution and application of CORE Construction resources.

III. CREATING THE PSQP FOR A PROJECT

The following steps should be followed in creating the PSQP for a project. For projects that are phased (fast-track) with multiple design packages, the steps should be accomplished for each design package. The intent of accomplishing these steps is to have a systematic approach to identifying and gathering key project requirements from the contract documents.

1. Compare the requirements in the project Quality Specification (typically 01400) with the PSQP template. If there are requirements that are in 01400 and not the PSQP template, then modify the template to include information or activities required.
2. Document key project requirements by a systematic review of the Contract Documents through the population of the project Vista file. This activity can be accomplished in a variety of ways, based upon the project team's experience and size of project. For example, the following is an approach that can be utilized by the project team:
 - a. Review the contract documents (specifications, contract, general conditions, front end documents, and drawings) and input key contract requirements into Viewpoint. For example, one method of identifying the information for inputting into Vista is to highlight key activity types with different color highlighters:
 - i. Submittals – yellow
 - ii. Mock-ups and Sample Construction – green
 - iii. Closeout Requirements – blue
 - iv. Tests – pink
 - v. Verifications – purple
 - vi. Unusual items – brown
 - b. The information can be entered directly into Vista.
 - c. A key component of entering the information into Vista is the creation of key milestones in the Project Schedule for each critical activity to aid in accomplishing the activity in a timely manner.
 - d. Focused review of the drawings by field staff to identify key quality issues and items that requires additional review or discussion.

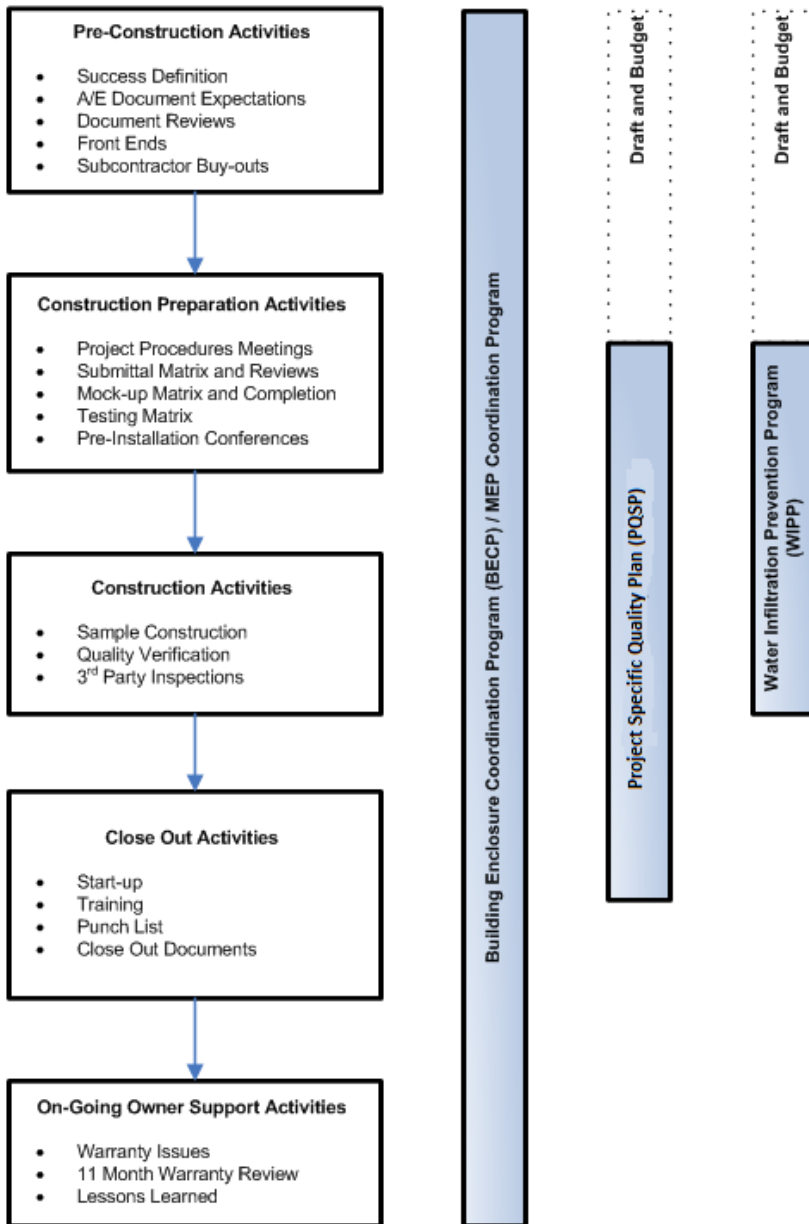
For larger projects the above activities may be accomplished by multiple CORE Construction personnel. For these projects, the method of collecting and inputting into Vista the key requirements needs to be determined by the project team.

The above is a general approach that will have to be tailored to the complexity of the project. For example, the drawings on many projects come in several packages, with changes due to value analysis, addenda, and accepted/rejected add-alternates.

3. Identify the Quality Challenges of this project. The Project Director and Project Manager are responsible for identifying the key Quality Challenges of the project through a review of the information in the draft PSQP. As part of this review the Project Manager is also responsible for identifying additional scope of work issues with the Owner (e.g., it is important that CORE Construction gets reimbursed, if possible, for efforts relative to our building enclosure and MEP coordination programs, as well as the efforts to maintain the owner's schedule and protect the work from the environment through our Water Infiltration Prevention Program).
4. Finalize PSQP and submit per contract (e.g., for some projects, the contract may require submission to the Owner for their approval).
5. Implement PSQP through the planned activities, and tracking the results and issues through Vista and the Project Schedule. This includes updating as activities are completed and information is modified.

IV. OVERVIEW OF CORE CONSTRUCTION QUALITY ACTIVITIES

The PSQP is a systematic approach to implementing CORE Construction's policies and procedures. The following chart demonstrates this by showing CORE Construction's standard activities in the left five boxes along with the key quality-based programs within CORE Construction in the three right rectangles. It is important to understand that our quality-based programs are not separate stand-alone items, but is the collection and organization of our standard project procedures – they are highlighted as unique documents and plans to provide focus and attention to key issues.



V. UTILIZATION BY PROJECT STAFF

Once the information is entered the implementation of the PSQP is accomplished through standard project activities. The actual PSQP essentially becomes a reference document to be periodically reviewed and modified throughout the life of the project.

The PSQP activities can be monitored via the project meetings through review of the various standard Vista reports already used by the project team. The following is general guidance on maintaining focus on the PSQP activities:

- Activity scheduled within 30 days: review items and identify those that are not on schedule and address in separate meeting.
- Activity scheduled within 2 weeks: review items and discuss implementation requirements.

Additional specific quality meetings may be required or necessary on a daily, weekly, or monthly basis.

Subcontractor Quality Plans are to be submitted and added to the PSQP. Subcontractor's Quality Plan should be approved prior to the commencement of the Subcontractor's field work.

VI. PSQP TEMPLATE

The PSQP Template is intended to be a starting point for creating the PSQP for a project. Therefore, the Project Director and Project Manager are responsible for organizing and completing their PSQP, including customizing the Template for project specific requirements.

The Project Director is responsible for verification of completion of the PSQP and verification of on-going implementation of the PSQP throughout construction by the CORE Construction Project Team.

For projects whose specifications/contract require submitting a draft PSQP prior to the completion of any work, it is recommended that the Template be utilized, with the main document detailing what is to be accomplished on the project and with the appendices to be filled in with details once the work commences. This provides the quickest means to meeting the contract requirements.