



*Planning, Zoning and Building Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

**Project Name:** 232 SE 7<sup>th</sup> Avenue  
**Project Location:** 232 SE 7<sup>th</sup> Avenue, Marina Historic District  
**Request:** Certificate of Appropriateness (COA)  
**Board:** Historic Preservation Board  
**Meeting Date:** January 17, 2018

**Board Action:**

Approved the COA for architectural elevation changes to an existing historic structure located at 232 SE 7<sup>th</sup> Avenue (7 to 0 vote).

**Project Description:**

The subject property consists of the North 40 Feet of Lot 16 and the South 20 Feet of Lot 17, Gracey-Byrd Subdivision. The zoning for the property is R-1-AA (Single Family Residential). The original, single-family residence is classified as contributing to the historic building stock of the Marina Historic District.

At its meeting of November 16, 2016, the Historic Preservation Board (HPB) approved a COA for removal of two existing wood decks and the existing chimney and minor alternations to the front elevation. The two decks were replaced by additions to provide additional interior living space. A variance was approved to reduce the side-interior setback from the required 10' to 5'2" on the south side of the property to accommodate a new addition in place of an existing deck.

The current proposal revises the location and configuration of the aluminum-framed, entry door and sidelite on the east elevation (front façade), centering the opening on a portion of the elevation. The proposal also includes a new roof profile to the rear of the structure in order to accommodate a shower/bath within the master bathroom.

Staff supported the Certificate of Appropriateness request.

**Board Comments:**

The Board comments were supportive.

**Public Comments:**

No members of the public spoke for or against the project.

**Associated Actions:** All required actions were taken.

**Next Action:** HPB action is final.

# HISTORIC PRESERVATION BOARD

## CITY OF DELRAY BEACH

## STAFF REPORT

**MEETING DATE:** January 17, 2018  
**ITEM:** 232 SE 7<sup>th</sup> Avenue Marina Historic District-Certificate of Appropriateness  
2017-278 exterior renovation changes.

**RECOMMENDATION:** Approve the Certificate of Appropriateness

### GENERAL DATA:

Owner:..... Roger Cousins  
Agent:..... Roger Cope, Cope Architecture, Inc.  
Location:..... West side of SE 7<sup>th</sup> Avenue,  
between SE 2<sup>nd</sup> Street and SE 3<sup>rd</sup>  
Street.  
Property Size:..... 0.186 Acres  
Historic District: ..... Marina Historic District  
Zoning:..... R-1-AA (Single-Family Residential)  
Adjacent Zoning:.....  
North: R-1-AA  
East: R-1-AA  
South: R-1-AA  
West: CBD (Central Business District)  
Existing Future Land  
Use Designation:..... LD (Low Density 0-5 DU/ Acre)  
Water Service:..... Public water service is provided  
on site.  
Sewer Service:..... Public sewer service is provided  
on site.



## ITEM BEFORE THE BOARD

The item before the Board is the consideration of a Certificate of Appropriateness (COA) request associated with additions and alterations to the contributing structure located at **232 SE 7<sup>th</sup> Avenue, Marina Historic District**, pursuant to Land Development Regulations (LDR) Section 2.4.6(H).

## BACKGROUND & PROJECT DESCRIPTION

The subject property consists of the North 40 Feet of Lot 16 and the South 20 Feet of Lot 17, Gracey-Byrd Subdivision. The zoning for the property is R-1-AA (Single Family Residential). The original, single-family residence is classified as contributing to the historic building stock of the Marina Historic District.

City Property Cards indicate that the original structure located on the property was built in 1935. The wood frame structure was originally owned by Fontaine Fox, author of the "Toonerville Trolley" cartoon strips. City records indicate that Fontaine Fox also owned and developed the lot to the south (238 SE 7<sup>th</sup> Avenue) as well as the two lots located to the north (222 & 228). The builder/developer of those properties is noted to be S.G. Owens, who developed many properties along SE 7<sup>th</sup> Avenue.

It is important to note that an additional structure within Delray Beach was associated with Fontaine Fox. That structure is located at 610 North Ocean Boulevard, is listed on the Local Register of Historic Places and is named the "Fontaine Fox House".

At its meeting of November 16, 2016, the Historic Preservation Board (HPB) approved a COA for removal of two existing wood decks and the existing chimney and minor alternations to the front elevation. The two decks were replaced by additions to provide additional interior living space. A variance was approved to reduce the side-interior setback from the required 10' to 5'2" on the south side of the property to accommodate a new addition in place of an existing deck.

The current proposal revises the location and configuration of the aluminum-framed, entry door and sidelite on the east elevation (front façade), centering the opening on a portion of the elevation. The proposal also includes a new roof profile to the rear of the structure in order to accommodate a shower/bath within the master bathroom. This roof profile is partially visible from the front façade and matches the profile of the roof of the new addition on the south side of the structure. The proposed changes do not destroy historic features that characterize the structure.

## ANALYSIS OF PROPOSAL

**Pursuant to Land Development Regulation (LDR) Section 2.4.6(H)(5), prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.**

### **LDR SECTION 4.5.1, HISTORIC PRESERVATION, DESIGNATED DISTRICTS, SITES, AND BUILDINGS**

**Pursuant to LDR Section 4.5.1(E) - Development Standards: all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.**

### **Standard 2**

**The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**

### **Standard 9**

**New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**

The proposal meets the applicable standards (above) and their intent as the proposed changes are minor and ensure an appropriate renovation of the existing historic structure.

The renovation includes a revised aluminum-framed, entry door and sidelite configuration on the front façade, centering the openings on a portion of the east elevation. The proposal also includes a new roof profile to the rear of the structure to accommodate a shower/bath within the master bathroom. This roof profile is visible from the front façade and matches the profile of the roof of the new addition on the south side of the structure. The proposed changes do not destroy historic features that characterize the structure.

Overall, the proposed changes protect the historic integrity of the existing structure while allowing for needed repairs and minor updates to the structure utilizing durable materials. The modifications are compatible with existing architectural features, protecting the historic integrity of the structure and its environment.

### **Pursuant to LDR Section 4.5.1(E)(2)(c)(4) - Minor Development.**

The subject application is considered Minor Development as it involves alteration of less than 25 percent of the existing floor area of the building and all appurtenances.

**Pursuant to LDR Section 4.5.1(E)(7) - Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m). Visual compatibility for all development on individually designated properties outside the district shall be determined by comparison to other structures within the site.**

### **Applicable Visual Compatibility Standards**

- (c) Proportion of Openings (Windows and Doors): The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.**
- (d) Rhythm of Solids to Voids: The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.**
- (g) Relationship of Materials, Texture, and Color: The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.**

**(I) Architectural Style: All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.**

The proposed changes to the overall renovation of the single-family residence are minor in nature and are appropriate and compatible with the Marina Historic District. The new aluminum framed, entry door and sidelite ensures an appropriate and symmetrical proportion of the opening with the architectural style of the structure. The proposed revised roof line to the rear of the structure accommodates an interior bathroom in place of a storage room that was once accessed from outside the structure.

The overall design maintains the modest scale and vernacular architectural details appropriate for the Marina Historic District. The proposal meets the intent of the review criteria above; thus, positive findings are made with respect to the sections indicated above.

**ALTERNATIVE ACTIONS**

- A. Continue with direction.
- B. Approve the Certificate of Appropriateness 2017-278 for **232 SE 7<sup>th</sup> Avenue, Marina Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Section 2.4.6(H)(5).
- C. Deny the Certificate of Appropriateness 2017-278 for **232 SE 7<sup>th</sup> Avenue, Marina Historic District**, by finding that the request and approval thereof does not meet the criteria set forth in the Land Development Regulations Section 2.4.6(H)(5).

**RECOMMENDATION**

**Certificate of Approval (COA)**

Approve the COA 2017-278 for **232 SE 7<sup>th</sup> Avenue, Marina Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Section 2.4.6(H)(5).

**NOTE:**

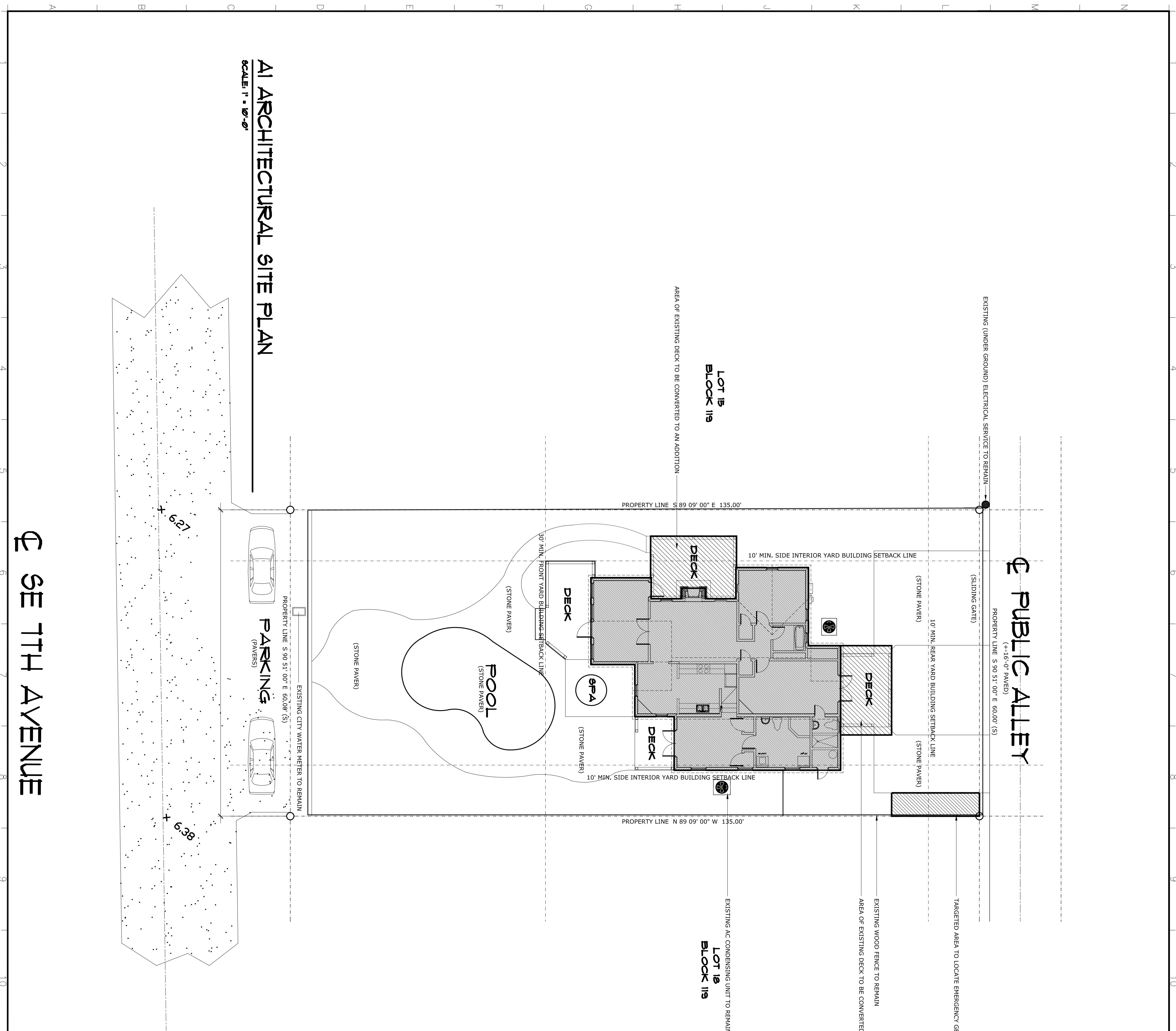
If the COA is approved, the following must be addressed prior to certification:

- 1. That the note referencing "TARGETED AREA TO LOCATE EMERGENCY GENERATOR" be removed from plan sheet A2.0.
- 2. That the wood railing surrounding the deck on the east side of the property be noted on the site and elevation plan sheets.

**Attachments:**

- Site Plan
- Floor Plan
- Elevations

**Report Prepared By:** Michelle Hoyland, Principal Planner



**A1 ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 10'-0"

**SE 7TH AVENUE**

**PUBLIC ALLEY**

LOT 1B  
BLOCK 119

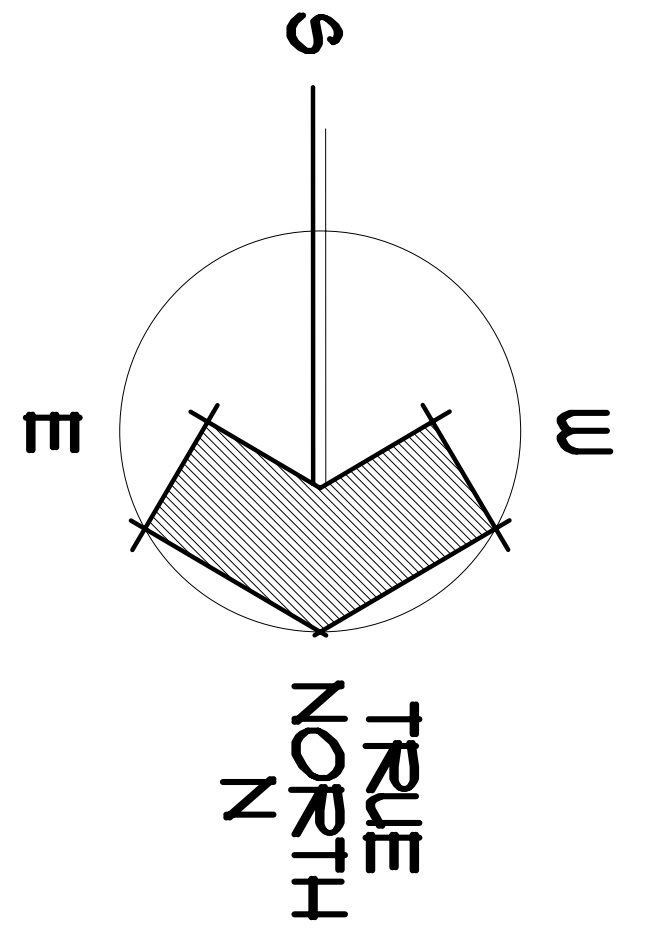
LOT 1B  
BLOCK 119

**PROPOSED PROJECT CHART:**

R-1-4A	MIN. LOT AREA (sq. ft.)	MIN. LOT WIDTH (ft.)	MIN. LOT DEPTH (ft.)	MIN. FLOOR AREA (sq. ft.)	MIN. LOT COVERAGE (%)	MIN. OPEN SPACE (%)	MIN. LOT DENSITY (LDR/BA)	MIN. FRONT YARD SETBACK (ft.)	MIN. SIDE YARD SETBACK (ft.)	MIN. REAR YARD SETBACK (ft.)	MAX. BUILDING HEIGHT (ft.)
REQUIRED	12,500	100	110	2,200	100	25/45	0/35	30	10	10	35
PROVIDED	8,100	60.00	135.00	+2,000	60.00	+75.3	+24.7	+58.9	+9.2085	+5.7285	+18'-0"
EXISTING	8,100	60.00	135.00	+1,060	60.00	+87.0	+13.0	+58.9	+9.2085	+11.485	NA

**SITE DATA:** (APPROX. 8,100 SQ. FT. OR +- 0.186 ACRES)  
ZONED: R-1-4A (RESIDENTIAL)  
PROPOSED USE: SINGLE FAMILY RESIDENCE

**LEGAL DESCRIPTION:**  
THE NORTH 40 FEET OF LOT 16 AND THE SOUTH 20 FEET OF LOT 17, BLOCK 119 - GRACEBYRD SUBDIVISION OF BLOCK 119 CITY OF DELRAY BEACH ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 10, PAGE 52, RECORDED IN THE RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING, PUBLIC AND BEING IN PALM BEACH COUNTY, FLORIDA.



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**"THE COUSINS RESIDENCE"**  
**232 SE 7TH AVENUE, DELRAY BEACH, FL. 33483**

Drawn: RYM COPE  
Project No: 2016129COUSINS  
CAD File No:  
Date: FEBRUARY 13, 2017  
Drawing No:

Florida License No. AR0013552

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**THE COUSINS RESIDENCE**  
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Drawing Title  
**NEW FLOOR PLAN**

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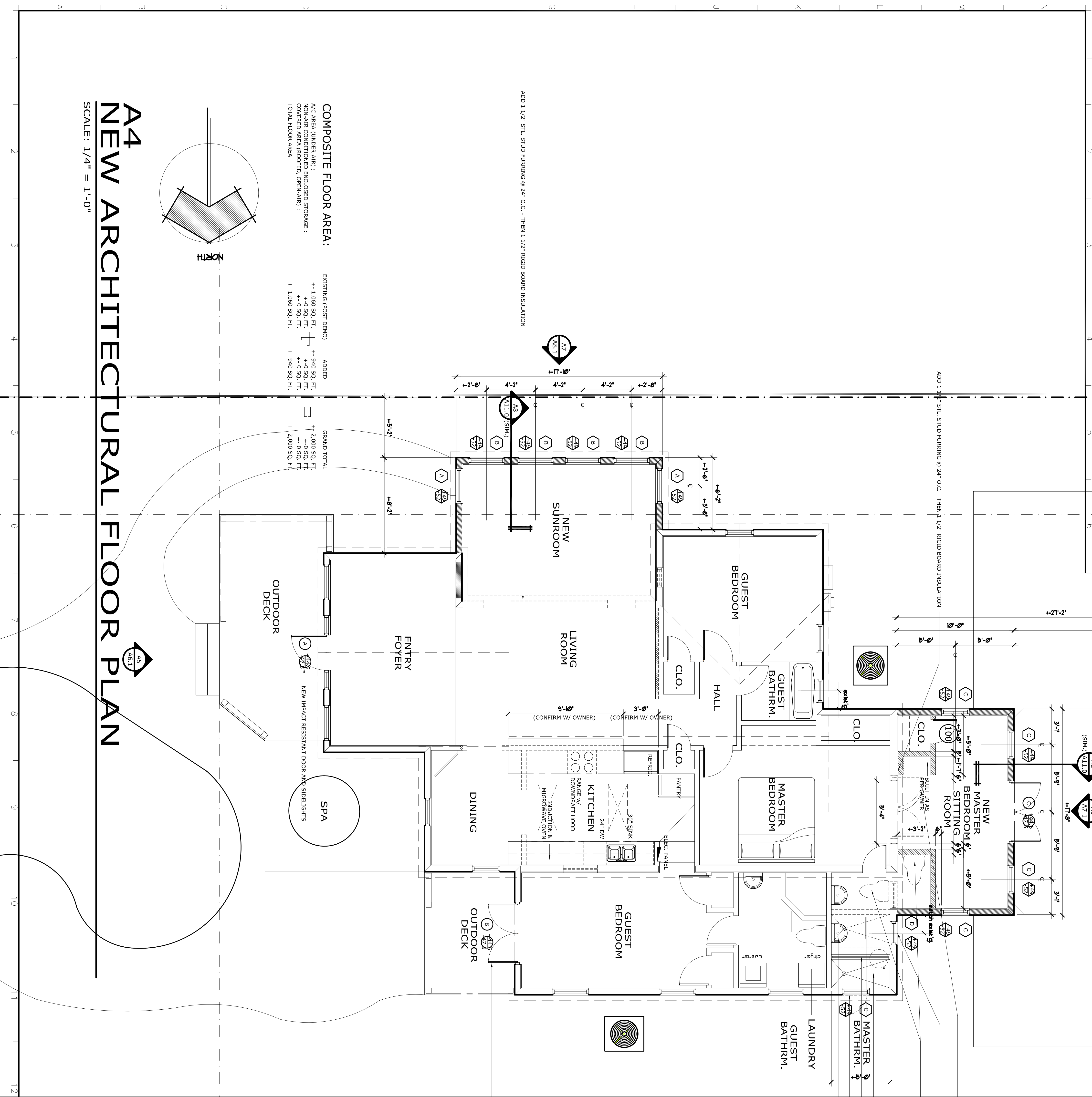
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Date  
 JULY 24, 2017

Drawing No.

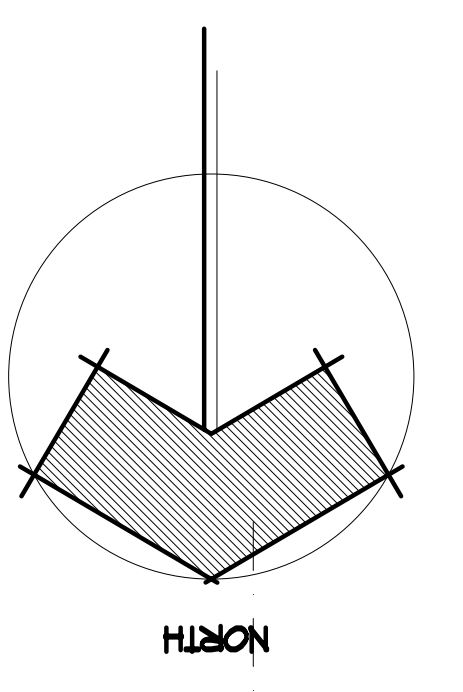
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**COMPOSITE FLOOR AREA:**

EXISTING (POST DEMO)	ADDED	GRAND TOTAL
A/C AREA (UNDER AIR) : ++ 1,060 SQ. FT.	++ 940 SQ. FT.	++ 2,000 SQ. FT.
NON-AIR CONDITIONED ENCLOSED STORAGE : ++ 0 SQ. FT.	++ 0 SQ. FT.	++ 0 SQ. FT.
COVERED AREA (ROOFED, OPEN-AIR) : ++ 0 SQ. FT.	++ 0 SQ. FT.	++ 0 SQ. FT.
TOTAL FLOOR AREA :	++ 940 SQ. FT.	++ 2,000 SQ. FT.



**A4**  
**NEW ARCHITECTURAL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

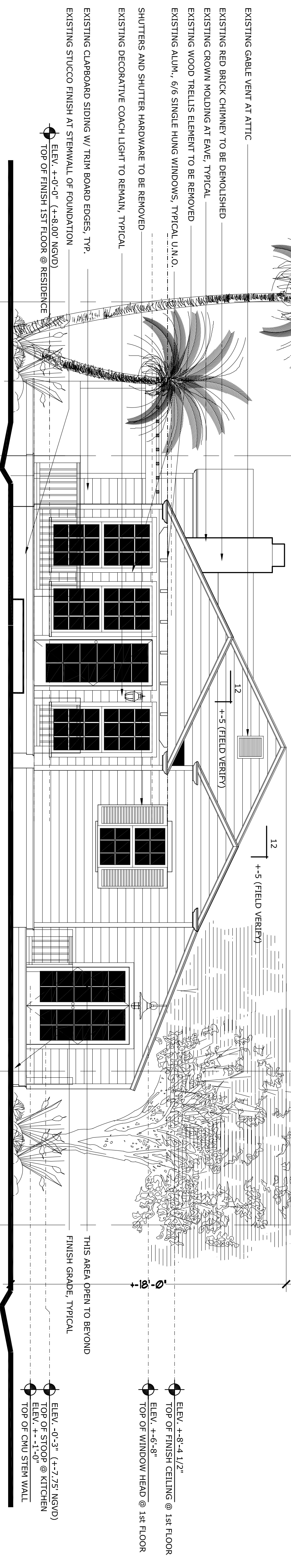
A 2 3 4 5 6 7 8 9 10 11 12 13 14

- SYMBOLS LEGEND:**
- (F) WINDOW TYPE, SEE SCHEDULE
  - (W) WINDOW PRESSURES (P.S.F.)
  - (A) EXTERIOR DOOR TYPE, SEE SCHEDULE
  - (D) EXTERIOR DOOR PRESSURES (P.S.F.)
- SYMBOLS LEGEND:**
- (100) NEW INTERIOR DOOR TYPE, SEE SCHEDULE
- WALL LEGEND:**
- NEW SOLID P.T. WOOD BLOCKING FOR ATTACHMENT OF MISC. ITEMS
  - EXISTING EXTERIOR WALL TO REMAIN
  - NEW 6" WOOD FRAMED EXTERIOR WALL TO MATCH EXISTING CONDITIONS
  - EXISTING INTERIOR FULL HEIGHT NON-LOAD BEARING PARTITION TO REMAIN
  - NEW INTERIOR FULL HEIGHT NON-LOAD BEARING PARTITION TO REMAIN (CONFORM WITH ALL SBT REGULATIONS)
  - EXISTING INTERIOR NON-LOAD BEARING PARTITION TO BE DEMOLISHED

- RELOCATE EXISTING TOILET (PLUMBING TRAP & SUPPLY) TO NEW LOCATION
- RELOCATE EXISTING WINDOW POSITIONED TO MATCH EXISTING OF OPPOSITE SIDE (ON MAINS WITH NEW PAIR EXTERIOR DOORS)
- REPOSITION EXISTING PORG SPRING (NOT DOORS) INTO CENTER OF FINISH NEW ROOM (ON MAINS WITH NEW PAIR EXTERIOR DOORS)
- RELOCATE EXISTING TOILET (PLUMBING TRAP & SUPPLY) TO NEW LOCATION
- RELOCATE EXISTING SHOWER (PLUMBING WASTE & SUPPLY) TO NEW LOCATION
- NEW FRAMELESS GLASS SHOWER ENCLOSURE
- CONVERT EXISTING WINDOW OPENING TO WINDOW WITHIN NEW SHOWER
- ADD A NEW 2ND VANITY TO MASTER BATH (RETAIN EXISTING)
- DEMO EXISTING ELECTRIC HOT WATER HEATER; REPLACE WITH TANKLESS GAS MOUNTED ON EXTERIOR
- RELOCATE EXISTING SHOWER (PLUMBING WASTE & SUPPLY) TO NEW LOCATION
- NEW FRAMELESS GLASS SHOWER ENCLOSURE
- CONVERT EXISTING WINDOW OPENING TO WINDOW WITHIN NEW SHOWER
- ADD A NEW 2ND VANITY TO MASTER BATH (RETAIN EXISTING)

REPLACE NON-IMPACT PAIR DOORS WITH NEW IMPACT RESISTANT PAIR DOORS

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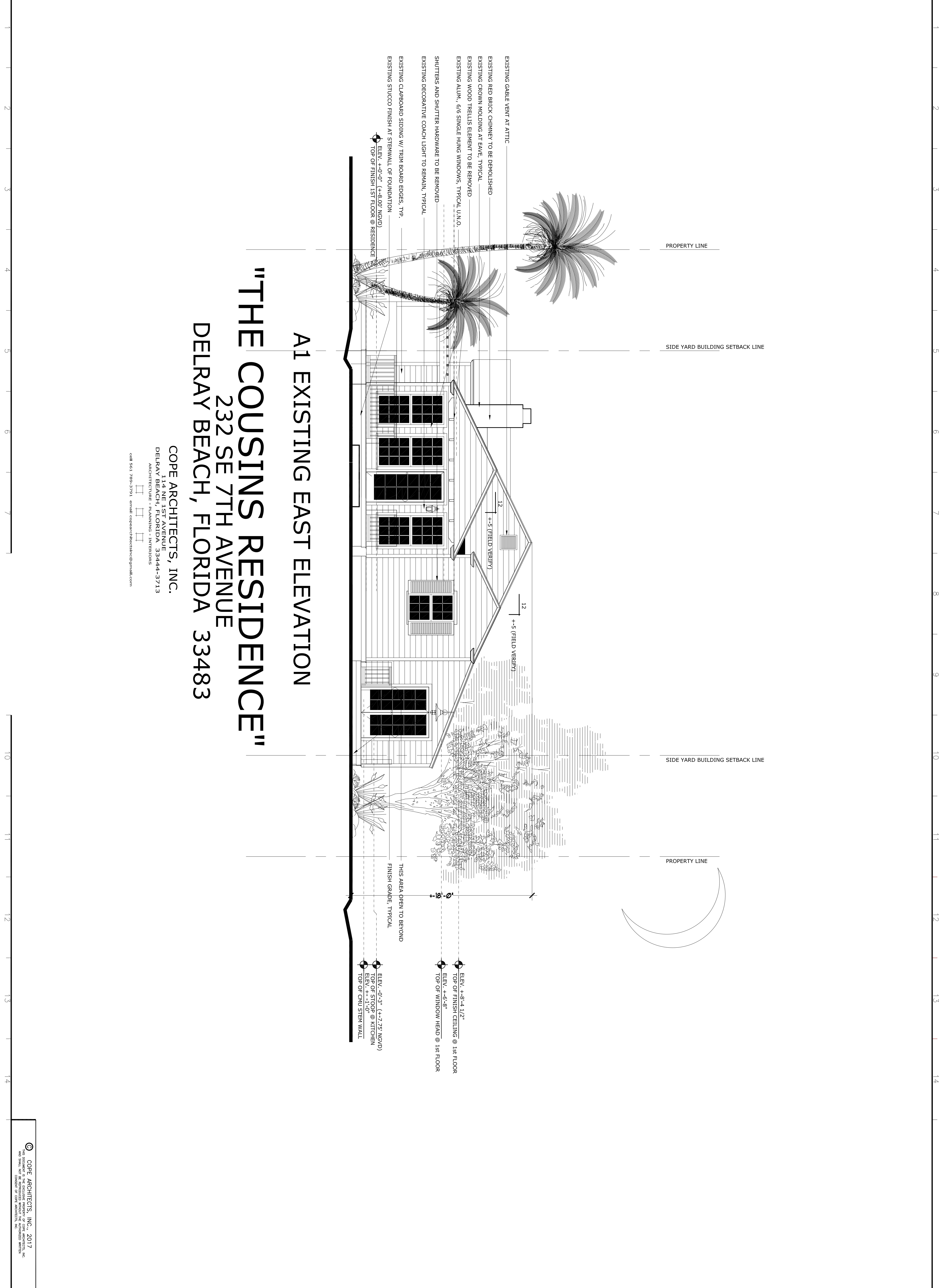
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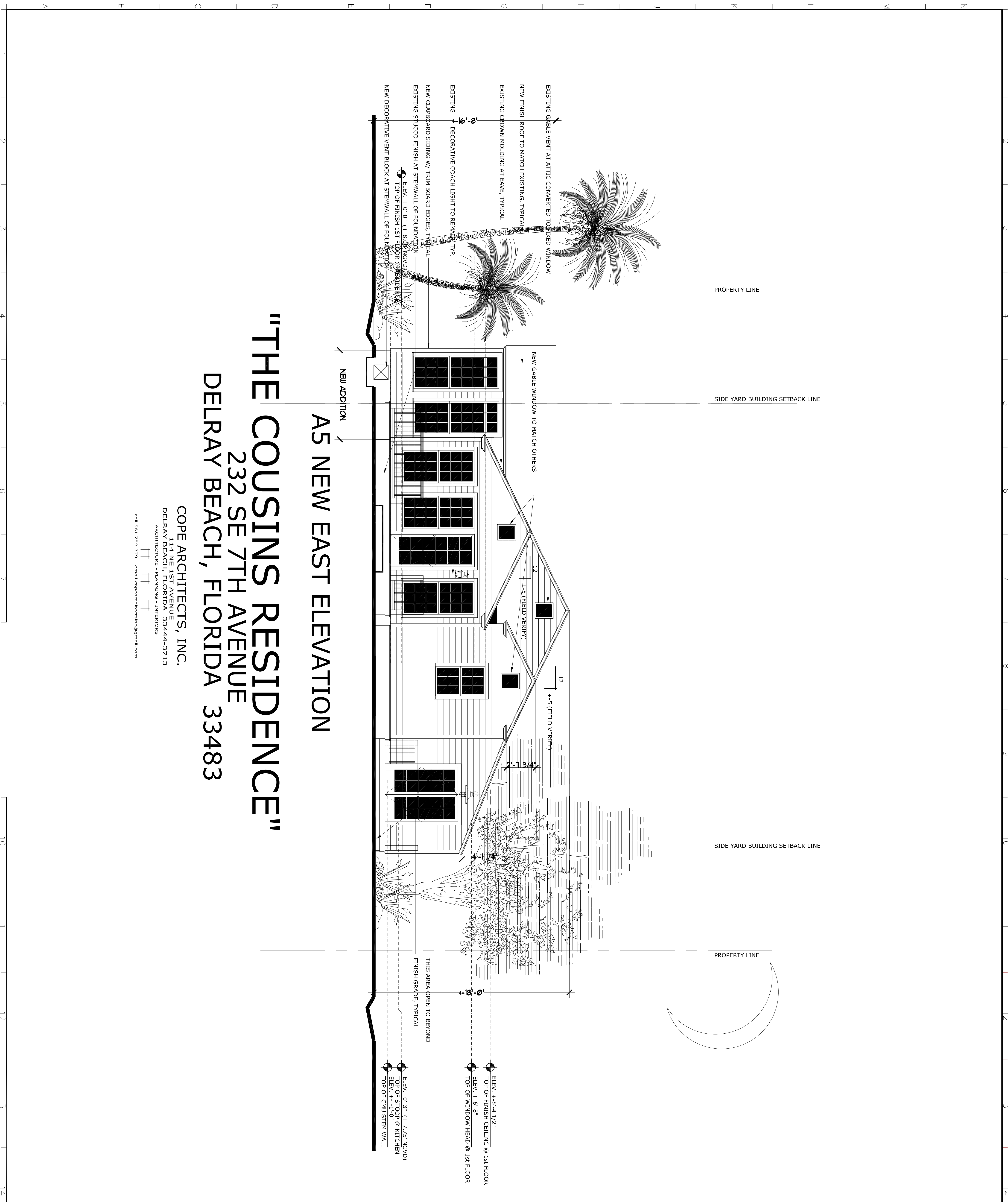
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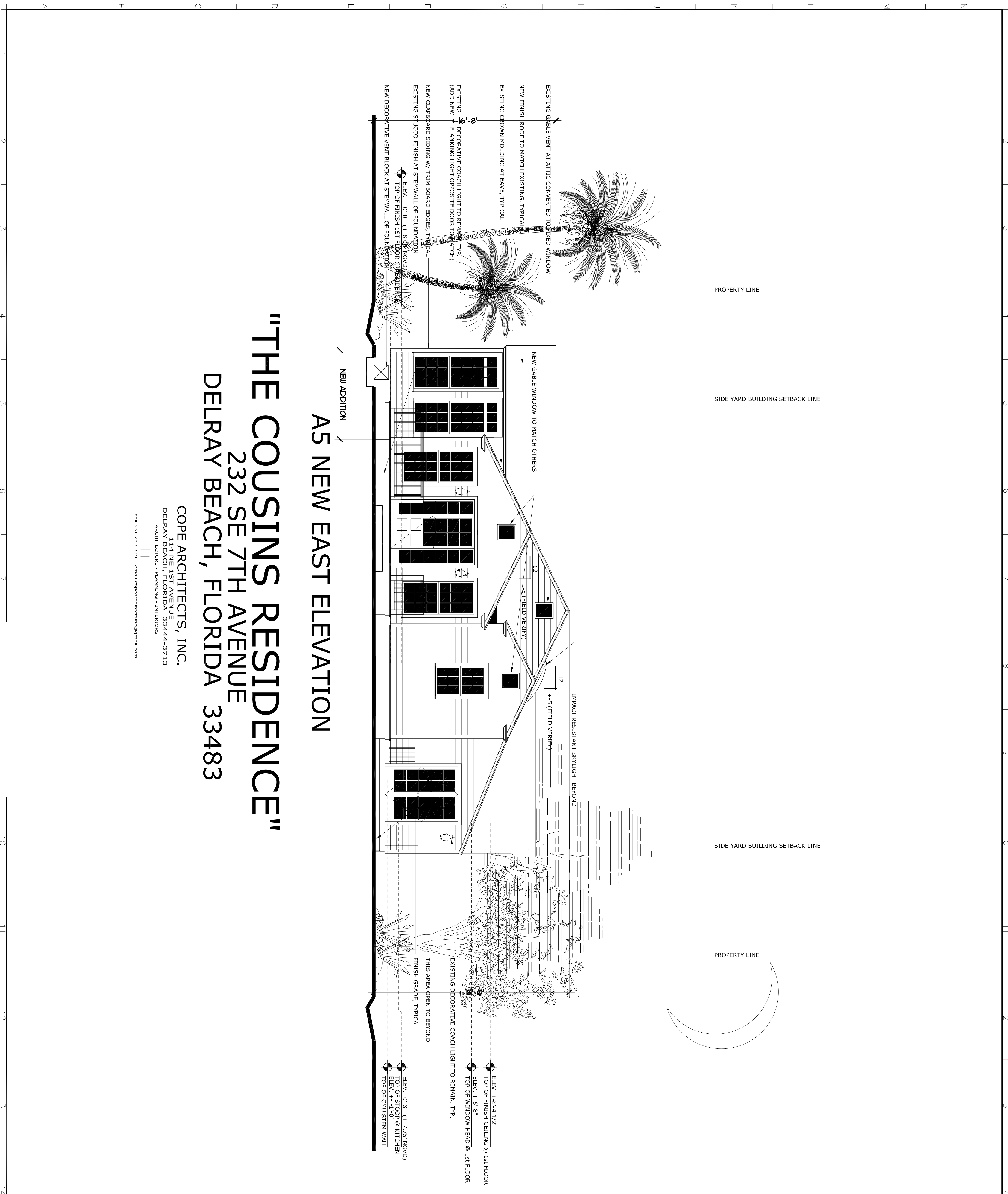




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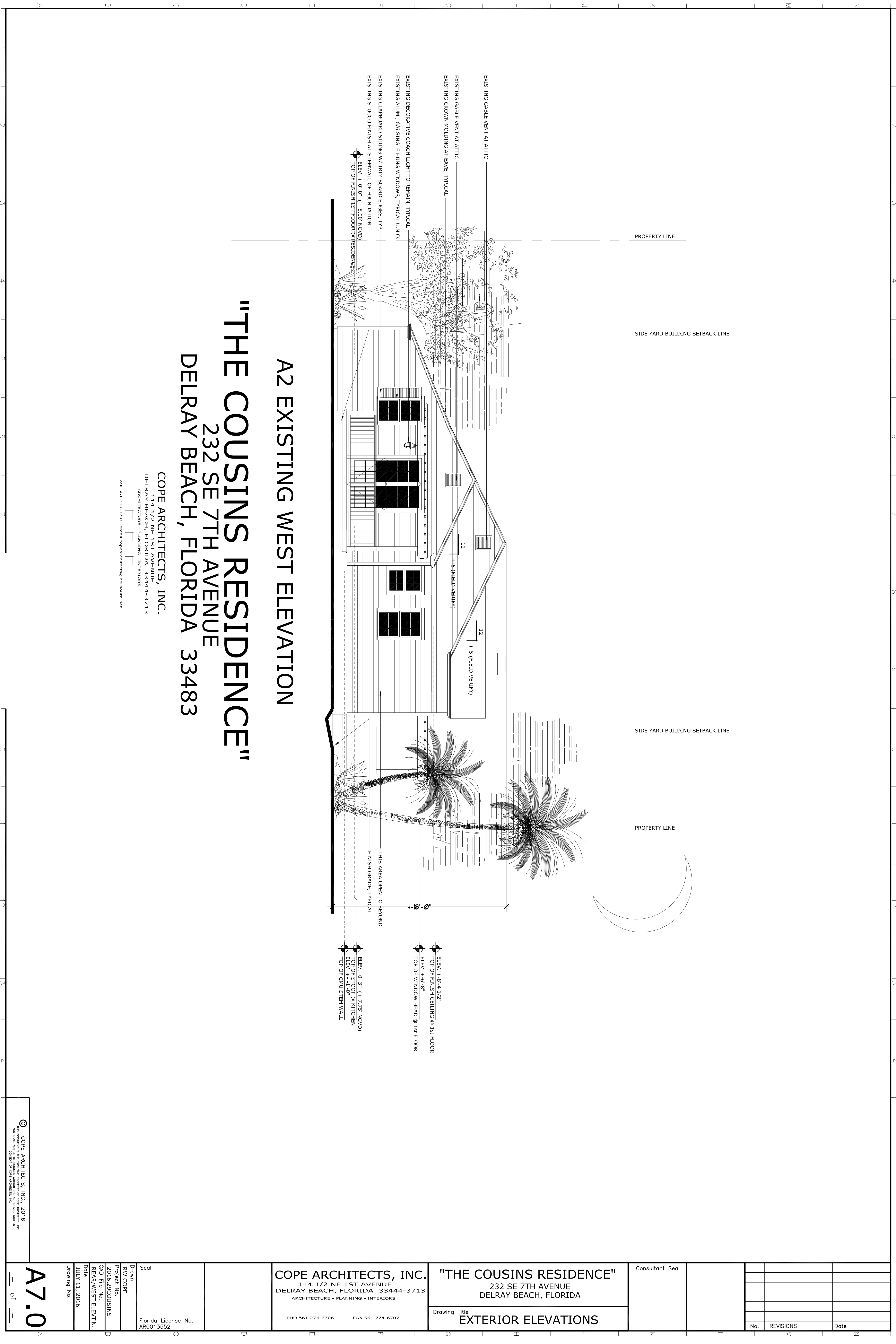
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**A2 EXISTING WEST ELEVATION**

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**232 SE 7TH AVENUE**

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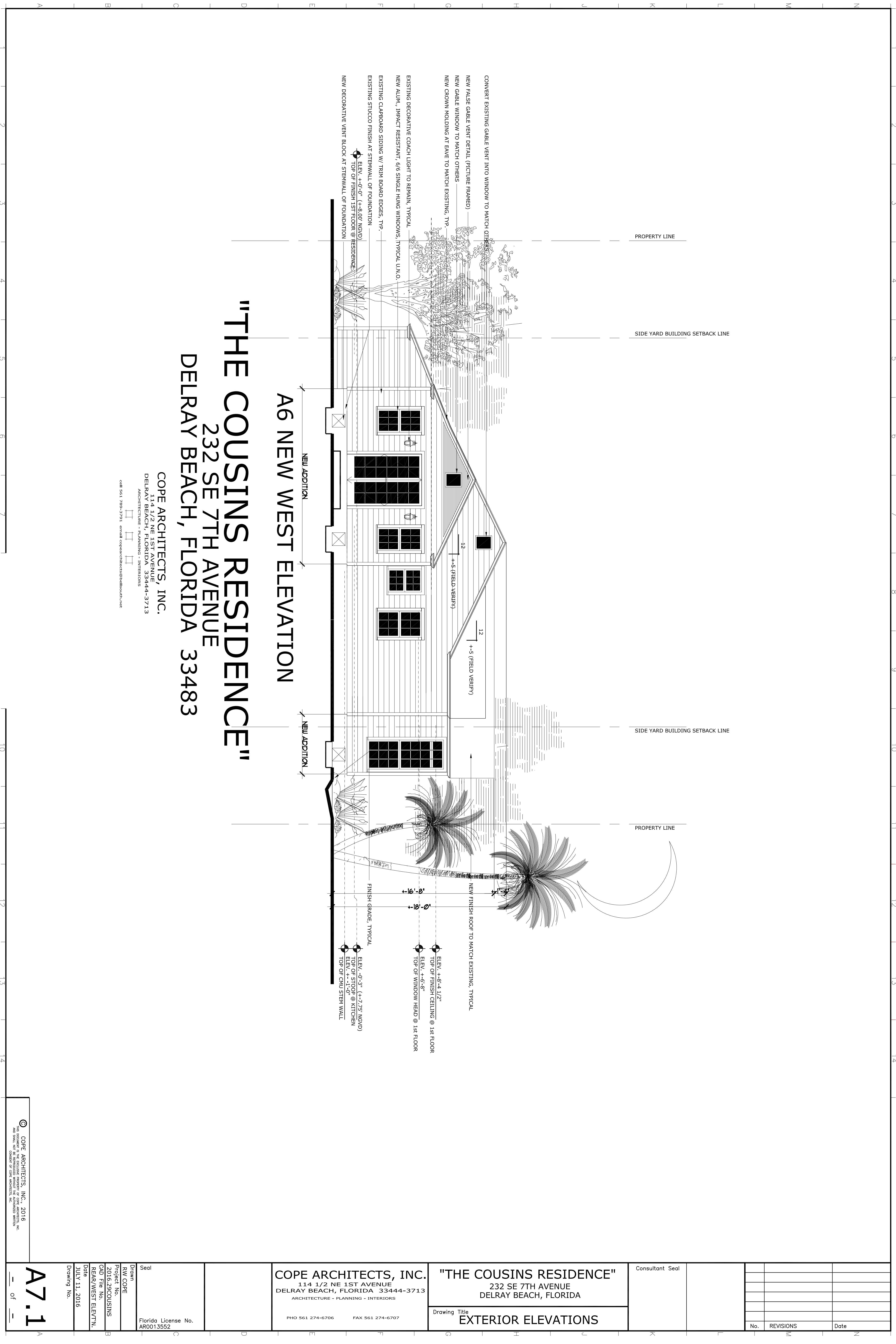
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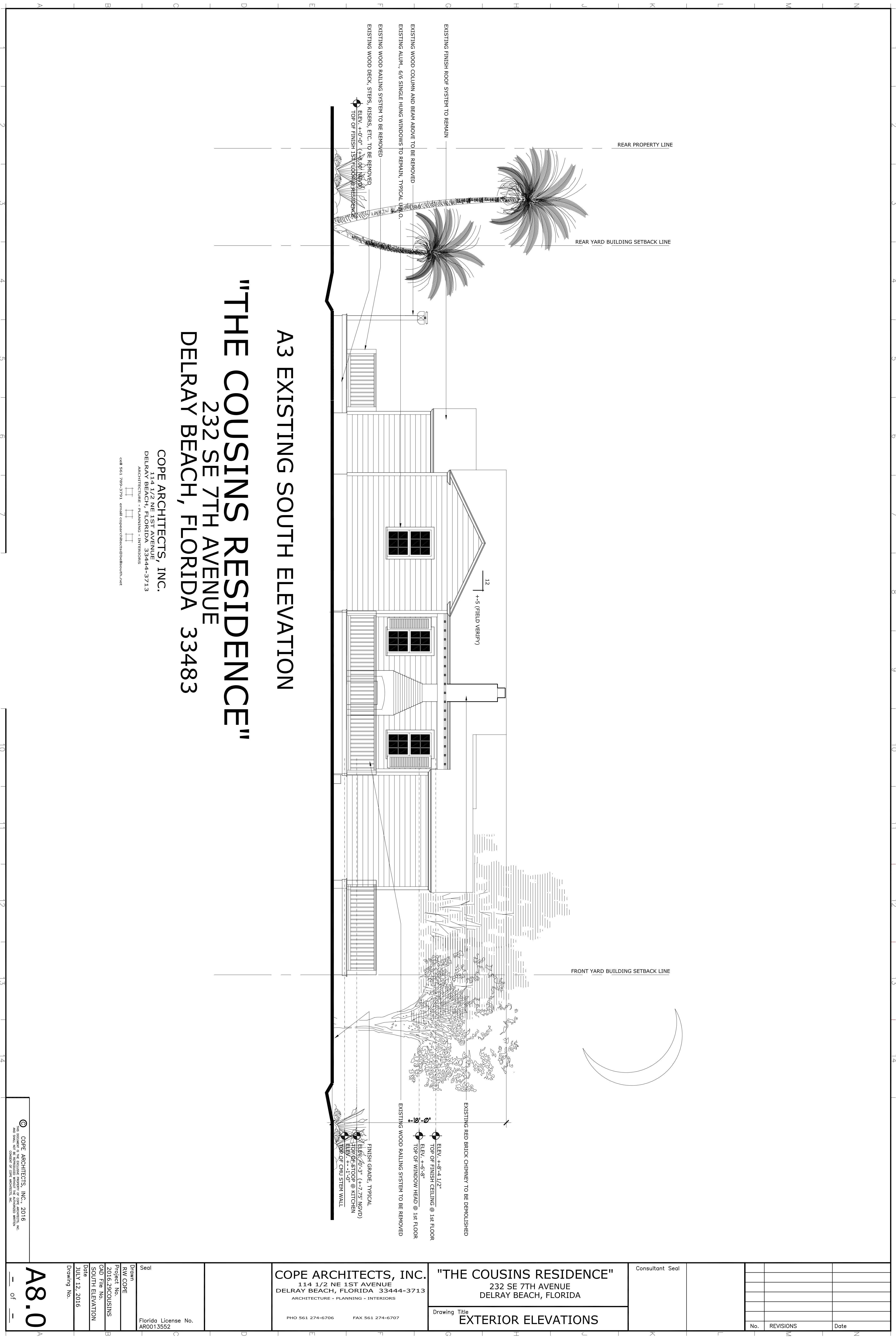
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**A3 EXISTING SOUTH ELEVATION**

**"THE COUSINS RESIDENCE"**

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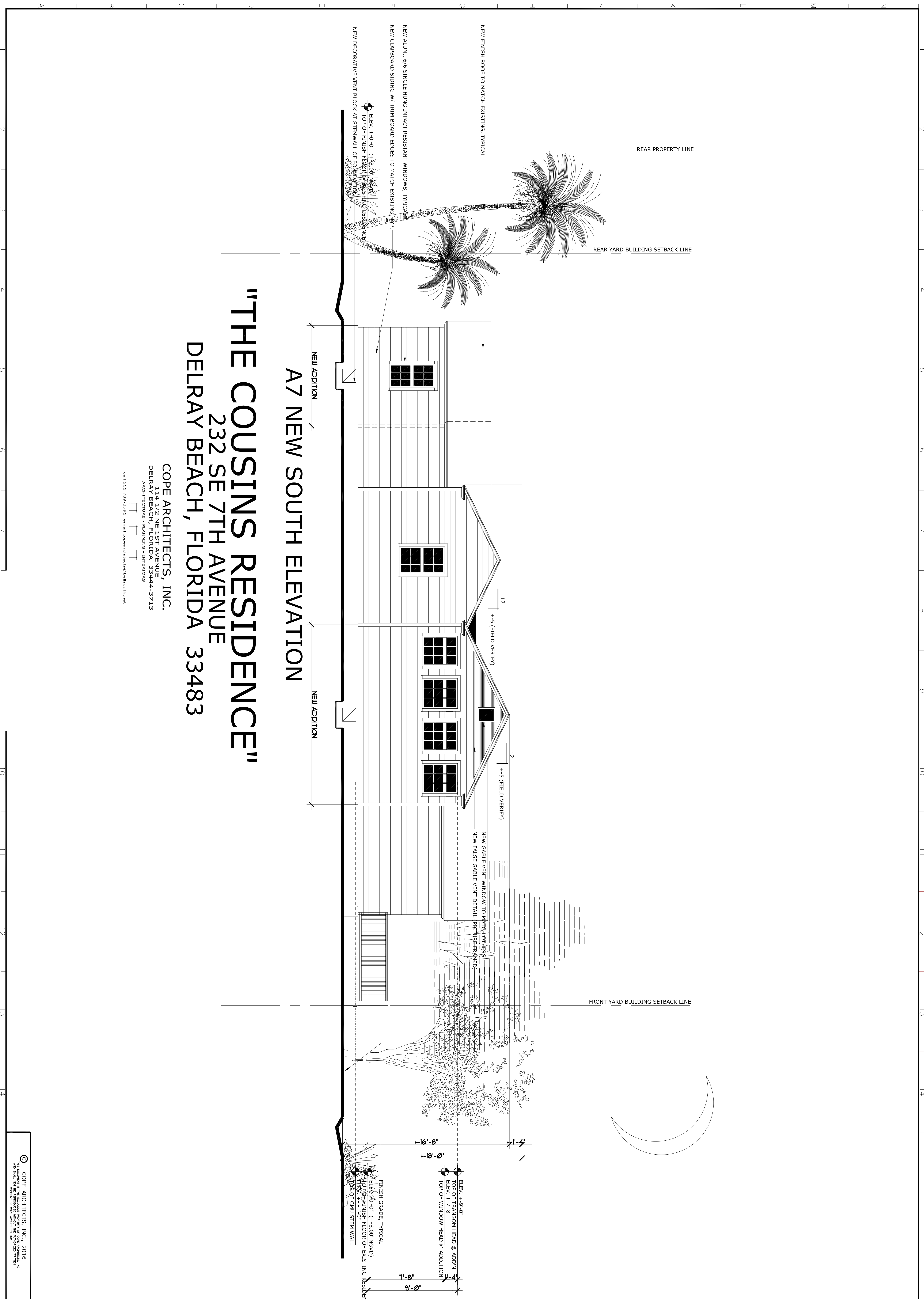
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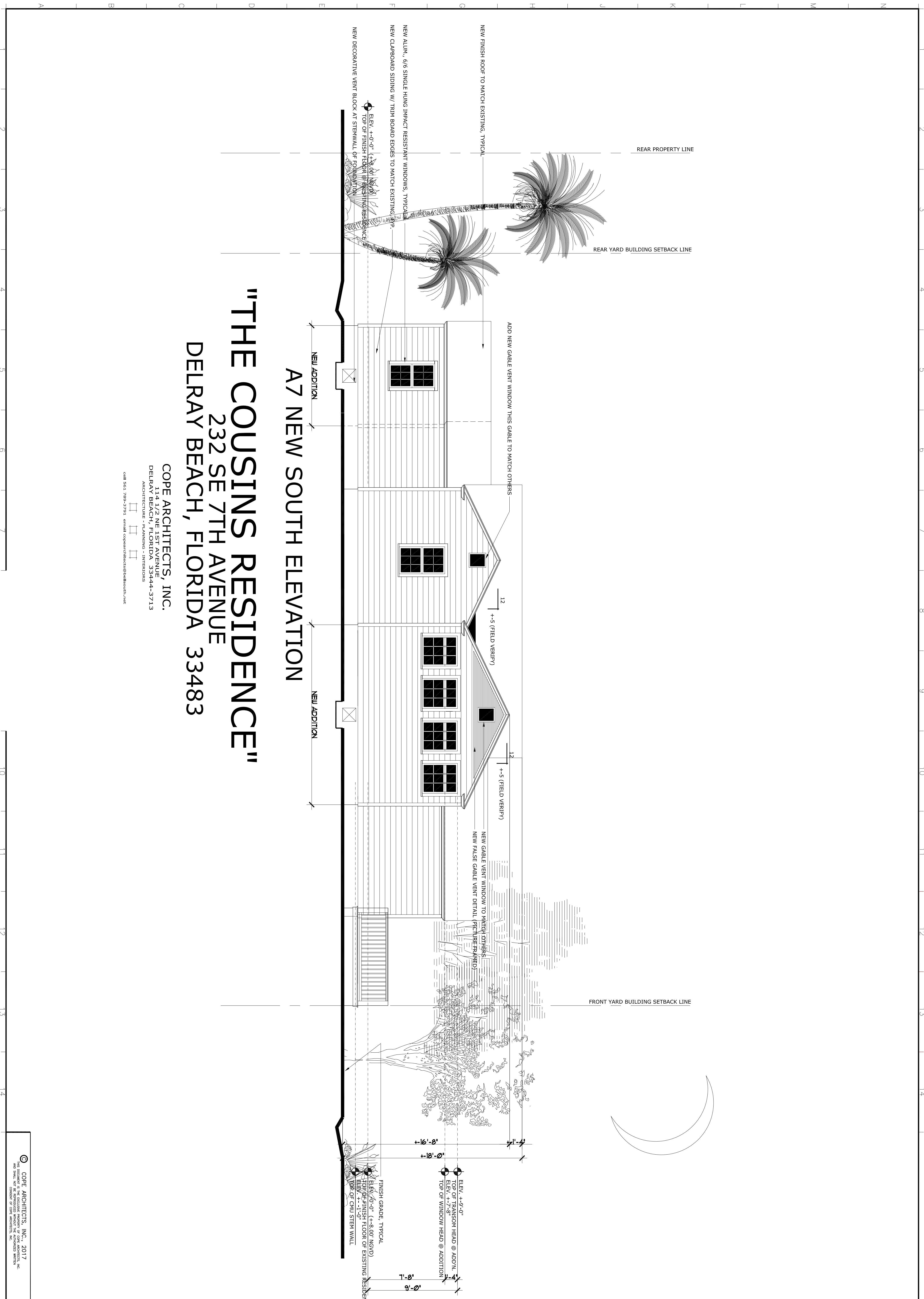
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A7 NEW SOUTH ELEVATION

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Drawing Title <b>EXTERIOR ELEVATIONS</b>	Consultant Seal	<table border="1"> <tr> <th>No.</th> <th>REVISIONS</th> <th>Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	REVISIONS	Date													COPE ARCHITECTS, INC. 114 1/2 NE 1ST AVENUE DELRAY BEACH, FLORIDA 33444-3713 ARCHITECTURE - PLANNING - INTERIORS PHO 561 274-6706 FAX 561 274-6707
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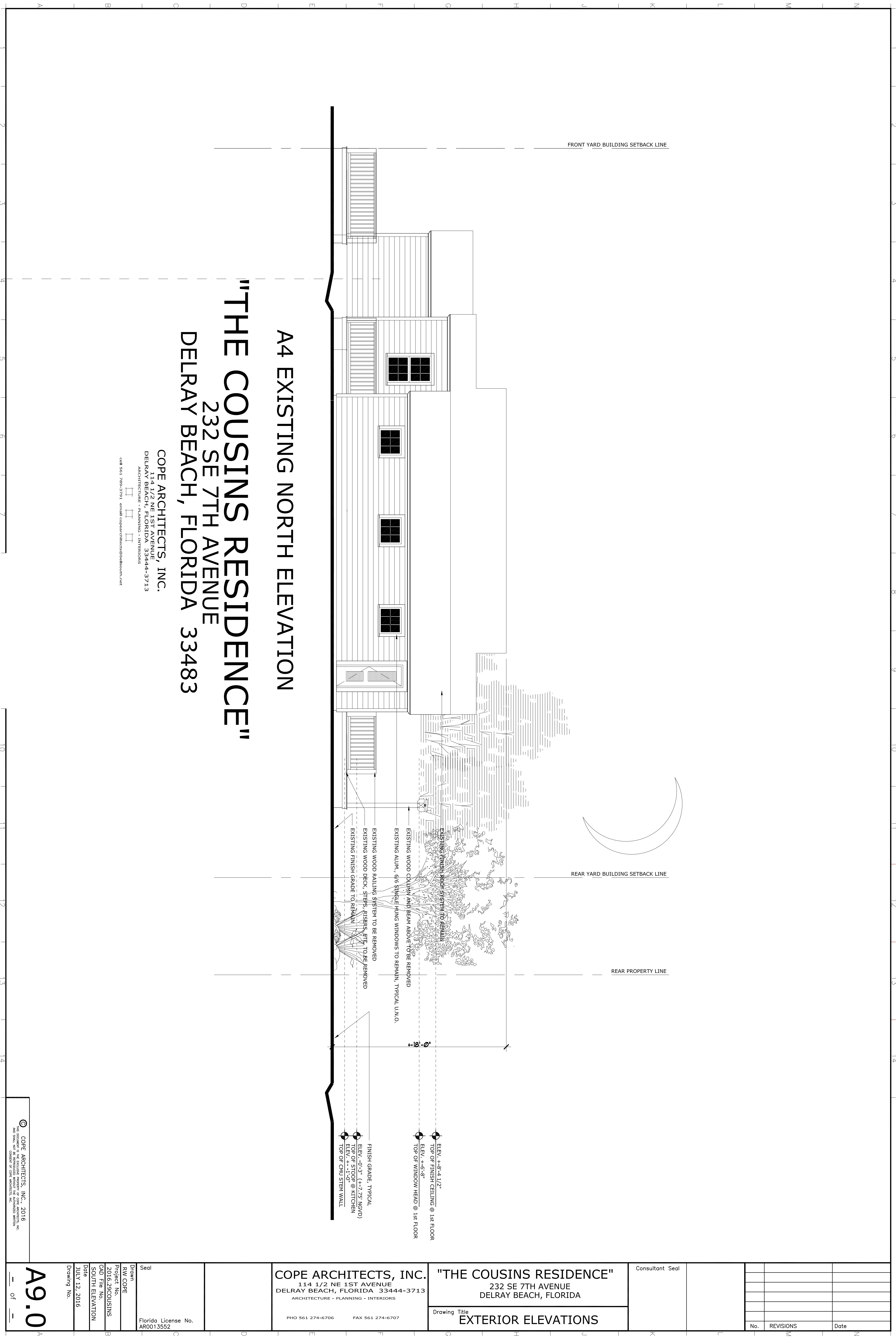
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			No.	REVISIONS	Date														
Project No. 2016129COUSINS	Drawn RAY COPE	Date MARCH 22 2017	Drawing No. <b>A8.1</b>	of															





A4 EXISTING NORTH ELEVATION

# "THE COUSINS RESIDENCE"

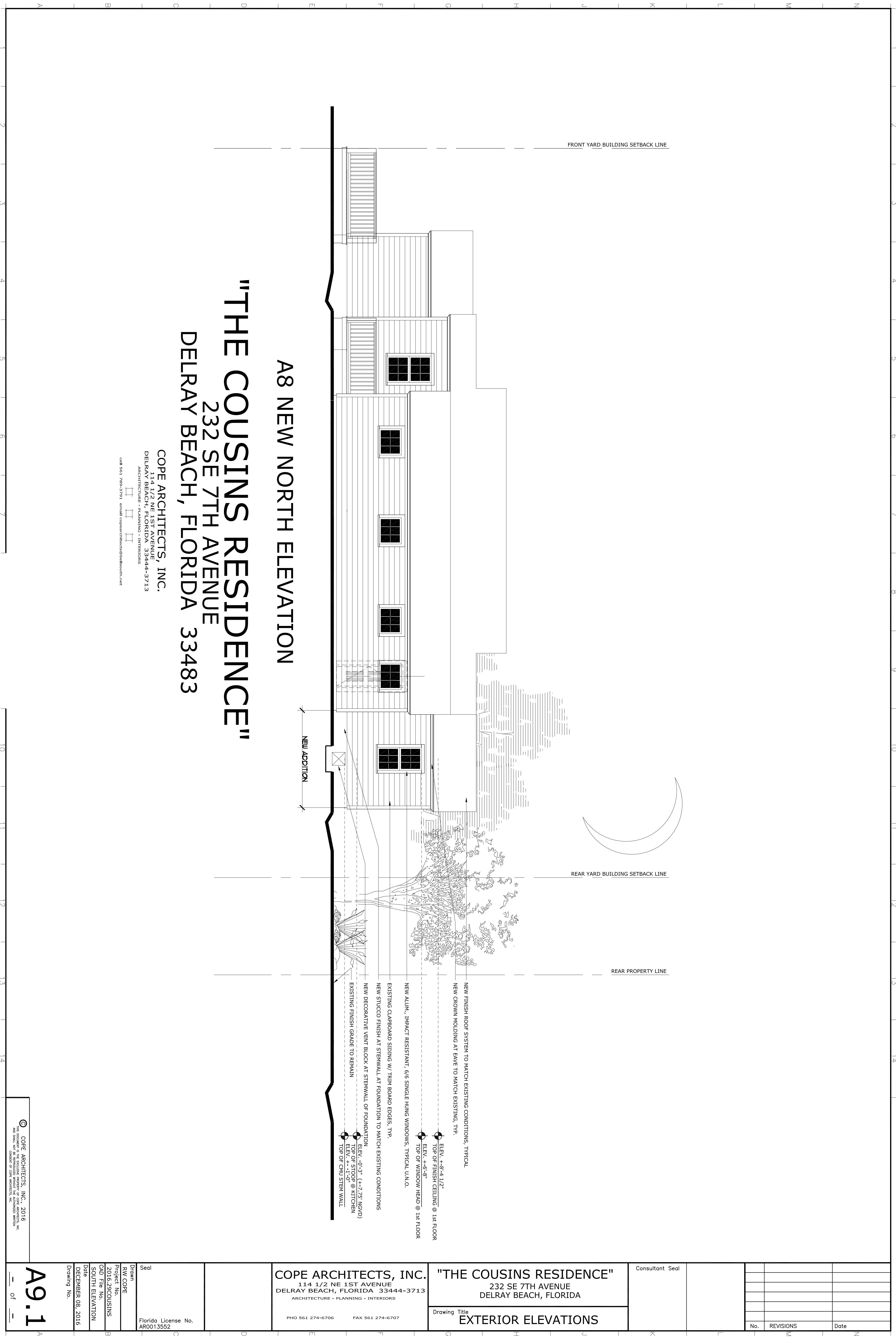
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- EXISTING FINISH WOOD RAILING SYSTEMS TO BE REMOVED
- EXISTING WOOD DECK, STEPS, RISERS, ETC. TO BE REMOVED
- EXISTING ALUM., 6/8 SINGLE HUNG WINDOWS TO REMAIN, TYPICAL U.I.N.O.
- EXISTING WOOD COLUMN AND BEAM ABOVE TO BE REMOVED
- EXISTING FINISH WOOD SYSTEMS TO REMAIN
- FINISH GRADE, TYPICAL
- ELEV. -0'-3" (+/- 2.5" NGVD)
- TOP OF STAIR @ KITCHEN
- ELEV. +1'-10"
- TOP OF WINDOW HEAD @ 1st FLOOR
- ELEV. +5'-8"
- TOP OF FINISH CEILING @ 1st FLOOR
- ELEV. +8'-4 1/2"

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<p><b>A9.0</b></p> <p>of</p>	<p>Drawn: RAY COPE          Project No: 2016129COUSINS          CAD File No: SOUTH ELEVATION          Date: JULY 12, 2016          Drawing No:</p>	<p>Florida License No. AR0013552</p>	<p><b>COPE ARCHITECTS, INC.</b>          114 1/2 NE 1ST AVENUE          DELRAY BEACH, FLORIDA 33444-3713          ARCHITECTURE - PLANNING - INTERIORS          PHO 561 274-6706 FAX 561 274-6707</p>	<p><b>"THE COUSINS RESIDENCE"</b>          232 SE 7TH AVENUE          DELRAY BEACH, FLORIDA</p>	<p>Consultant Seal</p>	<table border="1"> <tr> <th>No.</th> <th>REVISIONS</th> <th>Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>		No.	REVISIONS	Date												
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**"THE COUSINS RESIDENCE"**  
**232 SE 7TH AVENUE**  
**DELRAY BEACH, FLORIDA 33483**

**A8 NEW NORTH ELEVATION**

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NEW ADDITION

FRONT YARD BUILDING SETBACK LINE

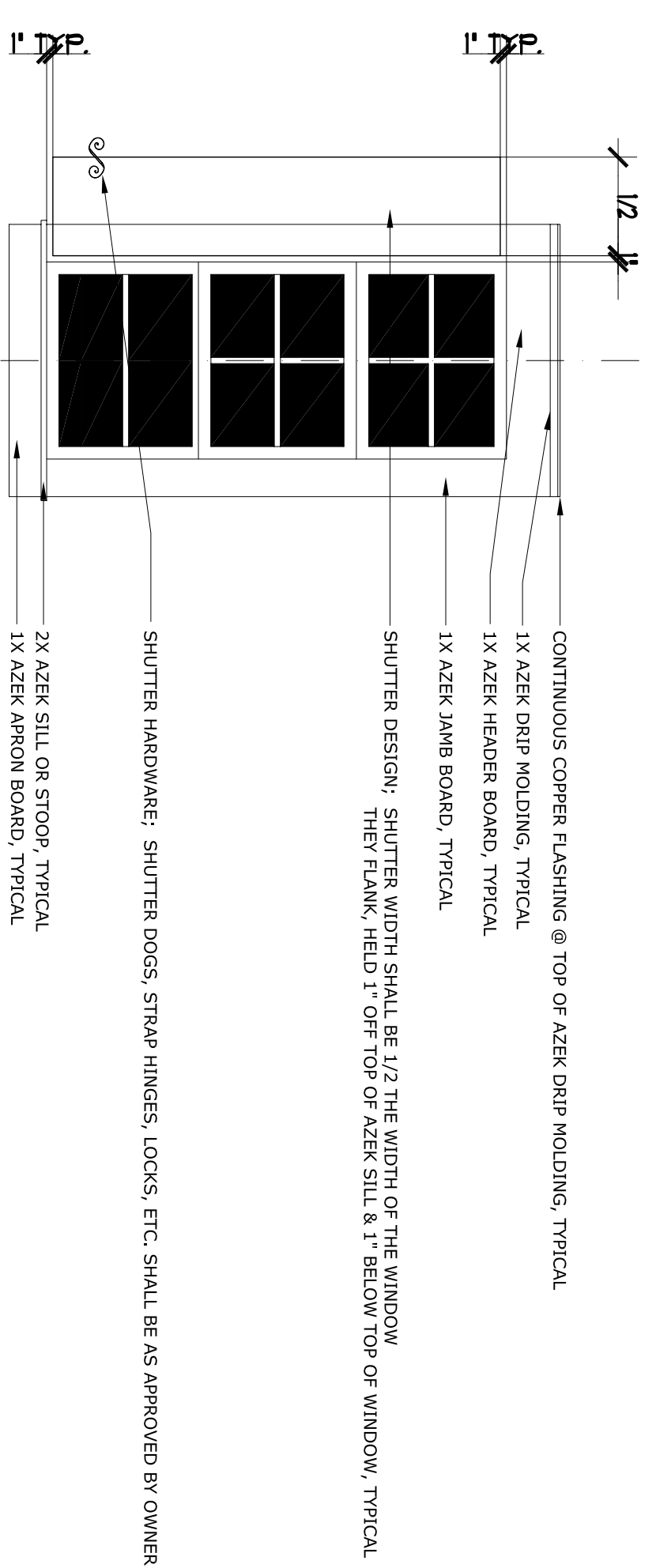
REAR YARD BUILDING SETBACK LINE

REAR PROPERTY LINE

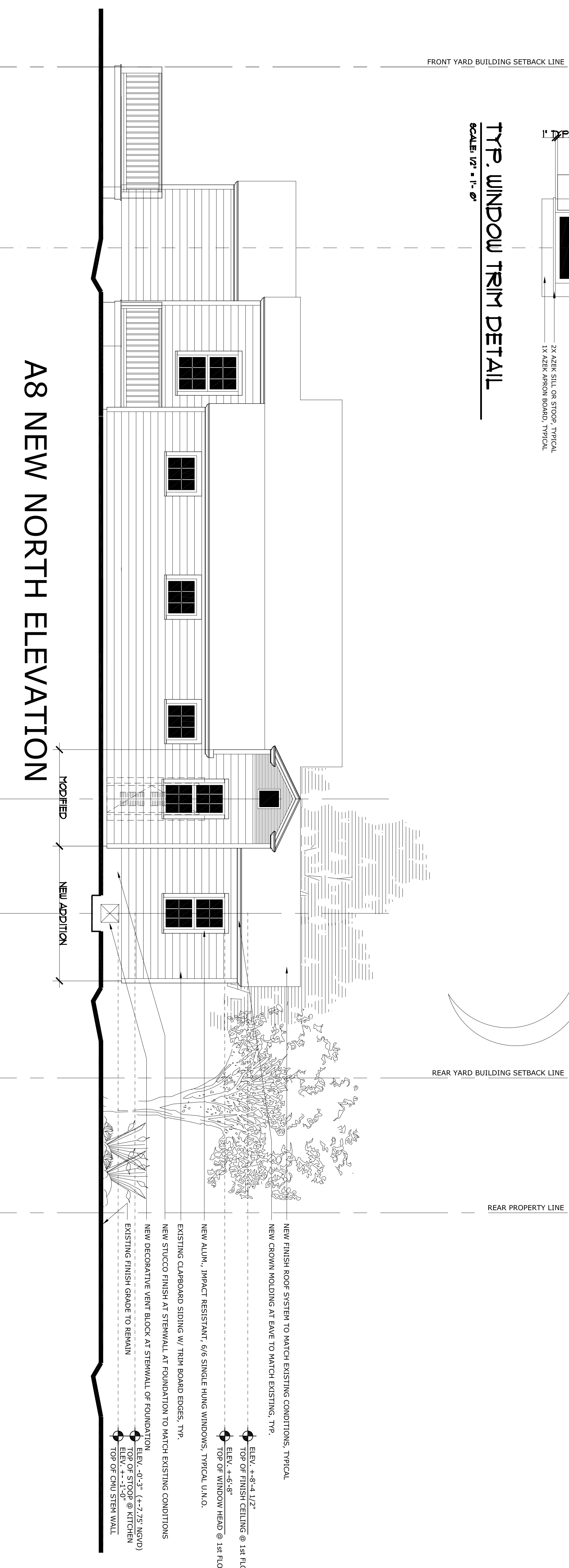
- NEW FINISH ROOF SYSTEM TO MATCH EXISTING CONDITIONS, TYPICAL
- NEW GROWN HOLDING AT EAVE TO MATCH EXISTING, TYP.
- ELEV. +8'-4 1/2" TOP OF FINISH CEILING @ 1st FLOOR
- ELEV. +6'-8" TOP OF WINDOW HEAD @ 1st FLOOR
- NEW ALUM., IMPACT RESISTANT 6/6 SINGLE HUNG WINDOWS, TYPICAL U.N.O.
- EXISTING CLARBOARD SIDING W/ TRIM BOARD EDGES, TYP.
- NEW STUCCO FINISH AT STEMWALL AT FOUNDATION TO MATCH EXISTING CONDITIONS
- NEW DECORATIVE VENT BLOCK AT STEMWALL OF FOUNDATION
- ELEV. -0'-3" (+/- 2%) NGVD TOP OF STUCCO @ KITCHEN
- ELEV. +1'-10" TOP OF CMU STEM WALL
- EXISTING FINISH GRADE TO REMAIN

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A9.1 of																				



**TYP. WINDOW TRIM DETAIL**  
 SCALE: 1/2" = 1'-0"



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No.	REVISIONS
	Date

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 Drawn  
 RAY COPE  
 Project No.  
 2016129COUSINS  
 CAD File No.  
 SOUTH ELEVATION  
 Date  
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232 S.E. 7TH AVENUE

FOUND NAIL (UNNUMBERED)

FOUND 1/2" I.R. (UNNUMBERED)

FOUND 2" X 2" (UNNUMBERED)

60.00'

20.0'

40' 89°03'35"

20'

40.0'

10'

LOT 16 BLOCK 119

LOT 17 BLOCK 119

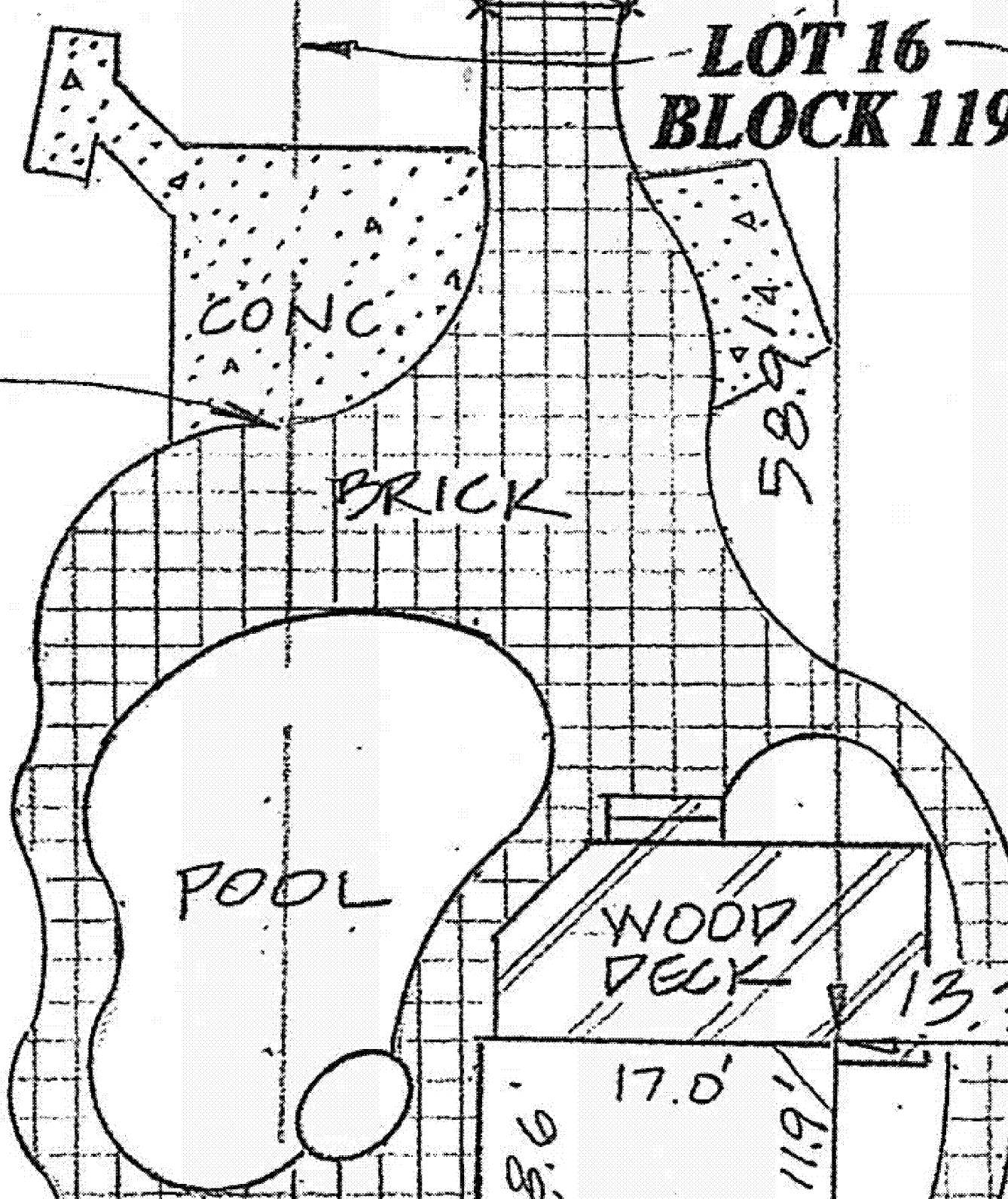
90°56'25"

LOT 18 BLOCK 119

LOT 15 BLOCK 119

135.00'

135.00'



90°56'25"

FENCE (TYP.)

89°03'35"

FOUND 2" X 2" C.M. (UNNUMBERED)

16' PLATTED ALLEY

FOUND 2" X 2" C.M. (UNNUMBERED)

60.00'