



Boynton Beach Faith-Based Community Development Corporation, Inc

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July 2, 2025

Delray Beach CRA
Community Redevelopment Agency
20 North Swinton Avenue
Delray Beach, FL 33444

Subject: Delray Beach CRA Purchase/Sale Agreement – 238 SW 14th Ave

To Whom It May Concern:

The Boynton Beach Faith Based CDC (BBFBCDC) hereby requests the following changes to be made:

- **Contractor Change:** Hatcher Construction to Pulte Homes.
 - The reason for the contractor change is the better unit pricing and size we received on the unit, along with an existing relationship with Pulte Homes. While Hatcher Construction was initially proposed, no contract had been finalized with the company.
- **Floor Plan and Model Modifications:** The original three-bedroom, two-bath layout from Hatcher Construction to the Chapman three-bedroom, two-bath plan from Pulte. See attached copies of both floor plan options below.
 - BBFBCDC confirms and attests that the new Chapman will meet all minimum requirements and specifications as stated within the RFP.
 - The air conditioned square footage was increased from 1,412 to 1,662 with the Chapman. The square footage of the garage also increased from 370 to 463.
 - Also, the Chapman model was selected because the qualified buyer better suited the family's needs.

The changes have reduced the sale price from \$295,000 to \$288,000 and will provide a larger home that better meets the family's needs. See page two of the Purchase and Sale Agreement.

Please let me know if you have any questions.

Sincerely,

Chris Plummer

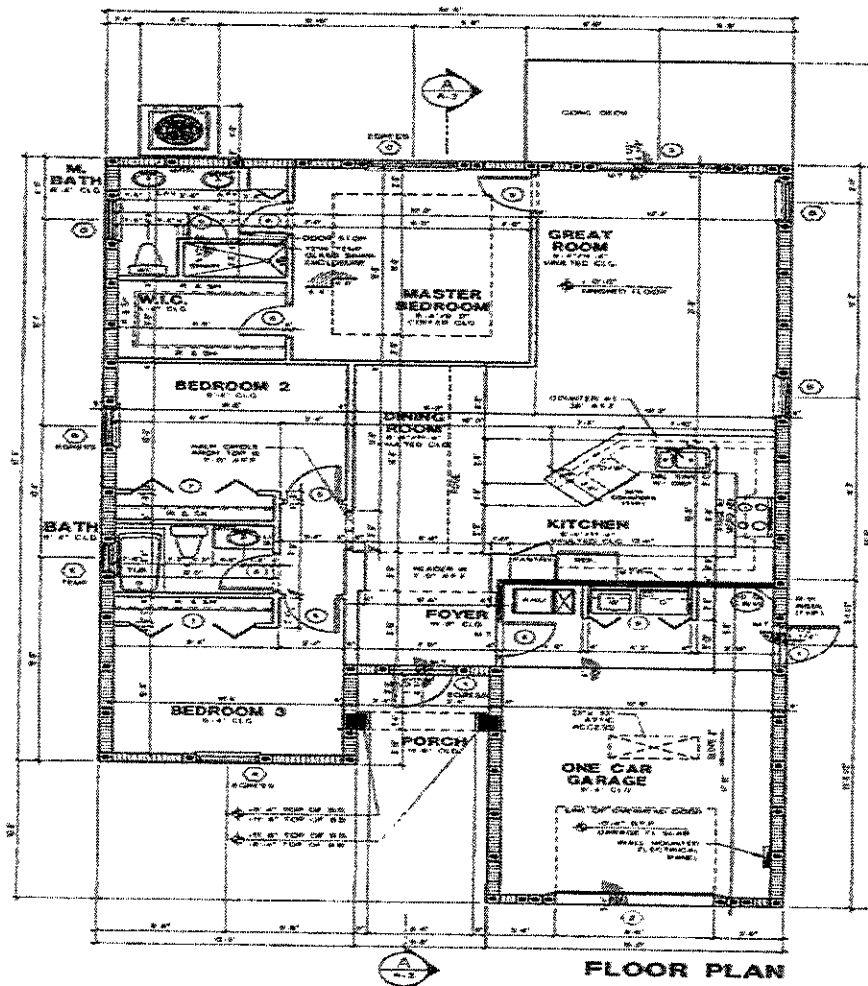
Interim Executive Director

Attachments Listed:

- Previous Model
- New Model: Chapman
- New Contractor: Pulte Homes and Amenities

PROPOSER'S DEVELOPMENT AND CONSTRUCTION PLAN

- a. Single Family House:
Covered: 1412 sq ft, Garage: 370 sq ft, Total; 1782 sq ft
- b. 3 Bedrooms and 2 Bathrooms, Covered Porch
- c. Rendering and Floor Plan



PLOTTED: October 22, 2024 / 723921 / G1.1 COVER SHEET.dwg

Chapman

CONTROL DATE
01/26/2018

DRAWING INDEX

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GENERAL NOTES

- THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:
 -FLORIDA BUILDING CODE 8TH EDITION (2023) RESIDENTIAL
 -2020 NATIONAL ELECTRIC CODE
 -BUILDING TYPE: VB

SQUARE FOOTAGES

BASE PLAN AND MASTER SET AREA TABLE

Description	Area
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: _CONDITIONED SPACE

CMU-BASE PLAN	1662 SF
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: _NON-CONDITIONED SPACE

CMU-COVERED LANAI	117 SF
CMU-FRONT PORCH (FM1 OR C1 OR C01)	25 SF
CMU-GARAGE	463 SF

WIDTH & DEPTH

	WIDTH	DEPTH
CMU-BASE HOUSE - FM1	40'-0"	58'-0"
CMU-ELEVATION FM1	0	0
CMU-ELEVATION C1	0	0
CMU-ELEVATION C01	0	0

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COVER SHEET

PRODUCT MANAGER	

INITIAL RELEASE	
DATE: 00/00/0000	
REV#	DATE/DESCRIPTION
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PROJECT TYPE	Single Family
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SPECIFICATION LEVEL	Pulte
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PLAN NAME	Chapman
NPC NUMBER	2810.500

SHEET	G1.1
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GENERAL NOTES

- DO NOT SCALE DRAWINGS
- ALL WORK MUST BE COMPLETED TO THE APPLICABLE FLORIDA BUILDING CODES
- ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO A PULTE REPRESENTATIVE
- CONTRACTORS SHALL MAINTAIN A CLEAN JOB SITE
- CONTRACTORS ARE RESPONSIBLE TO FOLLOW ALL APPLICABLE OSHA REGULATIONS
- TERMITE PROTECTION
 - TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMICIDES AND A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT
 - SOIL TREATMENT, BAITING SYSTEMS AND PESTICIDES APPLIED TO WOOD ARE ACCEPTABLE FORMS OF TREATMENT
 - INSPECTION FOR TERMITES
 - o PROVIDE 6" CLEARANCE FROM GRADE WITH EXTERIOR WOOD FRAMED WALLS
 - 4" CLEARANCE REQUIRED AT GARAGES AND PORCHES

EXTERIOR

- WATER RESISTANCE
 - o THE EXTERIOR WALL ENVELOPE SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT PREVENTS THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTANT BARRIER BEHIND THE EXTERIOR VENEER AS REQUIRED BY R703.2 AND A MEANS OF DRAINING TO THE EXTERIOR WATER THAT ENTERS THE ASSEMBLY.
 - THIS IS NOT REQUIRED OVER CMU
- FLASHING
 - o APPROVED CORROSION RESISTANT FLASHING SHALL BE INSTALLED IN A SHINGLE FASHION PER R703.4
- EXTERIOR PLASTER
 - o EXTERIOR PLASTER SHALL BE INSTALLED IN COMPLIANCE WITH ASTM C926, ASTM C1063 OR ASTM C1787 AND R703.7
- LATH
 - o LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1 ½" LONG, 11 GAGE NAILS HAVING A 7/16" HEAD, OR 1-1/2" LONG, 16 GAGE STAPLES, SPACED IN ACCORDANCE WITH ASTM C1063 OR C1787, OR AS OTHERWISE APPROVED.
- o WEEP SCREEDS, A MINIMUM 0.019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 ½ INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C926. THE WEEP SCREED SHALL BE PLACED NOT LESS THAN 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- SIDING
 - o FIBER-CEMENT SIDING IS TO BE INSTALLED IN ACCORDANCE WITH ASTM C1186 AND R703.10
- MASONRY
 - o BRICK IS TO BE INSTALLED PER R703.8
 - o ADHERED MASONRY IS TO BE INSTALLED PER R703.12

ROOFING

- UNDERLAYMENT R905.1.1 UNDERLAYMENT FOR ASPHALT, METAL, MINERAL SURFACED, SLATE AND SLATE-TYPE ROOF COVERINGS.
 - UNDERLAYMENT FOR ASPHALT SHINGLES, METAL ROOF PANELS OR SHINGLES, MINERAL SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLES, WOOD SHAKES AND WOOD SHINGLES SHALL COMPLY WITH R905.1.1
- FLASHING R903.2
 - o FLASHINGS SHALL BE USED TO SEAL ROOFING SYSTEMS, WHERE THE SYSTEM IS INTERRUPTED OR TERMINATED AND SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
- ASPHALT SHINGLES SHALL BE INSTALLED PER R905.2
- CLAY AND CONCRETE TILE SHALL BE INSTALLED PER R905.3
- METAL ROOF SHINGLES SHALL BE INSTALLED PER R905.

VENTILATION / ATTIC ACCESS

- MIN. NET FREE VENTILATION SHALL BE 1 /150 OF THE AREA OF VENTED SPACE WHEN USING SOFFIT VENTS ONLY PER R806.2
- MIN. NET FREE VENTILATION SHALL BE 1/300 OF THE AREA OF VENTED SPACE WHEN USING A COMBINATION OF ROOF AND SOFFIT VENTS PER R806.2
 - o 40%-50% OF REQUIRED VENTILATION SHALL BE PROVIDED IN THE UPPER PORTION OF THE ATTIC LOCATED NO MORE THAN 3' BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. THE REMAINING VENTILATION SHALL BE OBTAINED THROUGH SOFFIT VENTS
- PROVIDE MIN. 1" FREE SPACE BETWEEN INSULATION AND ROOF SHEATHING
- ATTIC ACCESS IS REQUIRED WHEN THE HEIGHT IS GREATER THAN 30" AND THE AREA IS GREATER THAN 30 SF

GENERAL NOTES

- o THE HEIGHT IS MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE BOTTOM OF THE ROOF FRAMING MEMBERS
- o MIN. ATTIC ACCESS SIZE IS TO BE 22"x30" WITH 30" OF UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE
- FIRE-RESISTANT CONSTRUCTION
 - DOORS FROM GARAGE TO THE RESIDENCE SHALL BE SOLID WOOD OF NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOOR NOT LESS THAN 1 3/8" IN THICKNESS OR A 20-MIN. FIRE-RATED DOOR
 - DUCTS IN THE GARAGE AND DUCTS PENETRATING WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH R302.5.3
 - ½" GYP. BOARD SHALL BE INSTALLED ON GARAGE SIDE OF WALLS ABUTTING THE RESIDENCE AND GARAGE CEILING WITHOUT HABITABLE ROOMS ABOVE
 - 5/8" TYPE X GYP. BOARD SHALL BE INSTALLED ON GARAGE CEILING W/ HABITABLE ROOMS ABOVE
 - ½" GYP. BOARD SHALL BE INSTALLED UNDER STAIRS FOR ENCLOSED ACCESSIBLE SPACES
 - FIREBLOCKING SHALL BE INSTALLED PER R302.11
 - DRAFTSTOPPING SHALL BE INSTALLED PER R302.12 AND SHALL NOT EXCEED 1,000 SF. DRAFTSTOPPING SHALL DIVIDE THE SPACE IN APPROXIMATELY EQUAL AREAS

WINDOWS/DOORS

- FIELD SHALL VERIFY ALL WINDOW/DOOR ROUGH OPENINGS
- PROVIDE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR IN ALL BEDROOMS PER R310
 - o (*) DENOTES WINDOW SHALL COMPLY WITH EMERGENCY ESCAPE AND RESCUE (EERO) REQUIREMENTS
 - o THE NET CLEAR OPENING SHALL NOT BE LESS THAN 5.7 SF (5.0 SF IF AT GRADE FLOOR) AND SHALL BE MIN. 24" HIGH AND MIN. 20" WIDE
 - o EERO WINDOW CLEAR OPENING SHALL BE INSTALLED NO MORE THAN 44" A.F.F.
- ONE EGRESS DOOR SHALL BE PROVIDED PER DWELLING UNIT WITH A CONTINUOUS AND UNOBSTRUCTED PATH WITHOUT GOING THROUGH A GARAGE
 - o MIN. CLEAR WIDTH 32" WHEN OPEN AT 90 DEGREES
 - o MIN. HEIGHT 78"
 - o FINISHED FLOOR SHALL BE MAX. 1 1/2" BELOW TOP OF THRESHOLD
 - o PORCH SHALL BE MAX. 7-3/4" BELOW TOP OF THRESHOLD FOR IN-SWING DOORS
- OPENINGS SHALL BE PROTECTED IN WIND-BORN DEBRIS AREAS IN ACCORDANCE WITH R301.2.1.2
- TEMPERED GLASS SHALL BE INSTALLED WITH THE FOLLOWING
 - o FIXED AND OPERABLE PANELS IN DOORS
 - GLAZING WITHIN 24" OF EITHER SIDE OF DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION
 - GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF THE HINGE SIDE OF AN IN-SWING DOOR.
 - o WINDOWS
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:
 - WHEN EXPOSED AREA IS OVER 9 SF
 - BOTTOM EDGE OF GLAZING IS LESS THAN 18" A.F.F.
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR; AND
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES (914 MM), MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING
 - o WINDOWS ADJACENT TO THE BOTTOM STAIR LANDING
 - WHEN BOTTOM EDGE OF GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE WALKING SURFACE
 - WHEN GLAZING IS WITHIN 60" OF BOTTOM STAIR LANDING
 - o WET AREAS
 - GLAZING IN WALLS ENCLOSURES OR FENCES CONTAINING, FACING OR ADJACENT TO HOT TUBS, SPAS, BATHTUBS, SHOWERS OR SWIMMING POOLS SHALL BE TEMPERED IF SILL HEIGHT IS LESS THAN 60" A.F.F., MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - SHOWER AND/OR TUB ENCLOSURES SHALL BE TEMPERED

WOOD

- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE-PRESERVATIVE-TREATED WOOD

INSULATION

- INSULATION SHALL BE INSTALLED PER APPROVED LOT SPECIFIC ENERGY CALCULATIONS
- INSULATE, THERMO-PLY AND SEAL AREAS BEHIND TUBS OR SHOWERS ON EXTERIOR WALLS
- INSTALL WOOD SHEATHING OR THERMO-PLY ON ATTIC SIDE WHEN CONDITIONED SPACE ABUTS UNCONDITIONED ATTIC SPACE TO CREATE A 6-SIDED INSULATION ASSEMBLY

DRYWALL

- ½" SAG-RESISTANT GYPSUM CEILING BOARD SHALL BE USED ON CEILINGS WITH 24" O.C. SPANS

ACCESSIBILITY

- ONE BATHROOM LOCATED ON HABITABLE GRADE LEVELS SHALL PROVIDE A DOOR THAT HAS A 29" CLEAR OPENING PER R320.1.1. A POWDER BATH CAN BE USED IF THERE ARE NO BATHS ON THE GROUND FLOOR WITH A TUB OR SHOWER
 - o ALL DOORS LEADING TO THE BATHROOM INCLUDING PRIVATE WATER CLOSET DOORS SHALL MEET THIS REQUIREMENT.
 - o CLEAR OPENING CAN BE ACHIEVED WITH A 2/8 SWING DOOR OPENED AT 90 DEGREES OR A 2/6 POCKET DOOR

SITE ADDRESS

- BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS SHALL BE NO LESS THAN 4" IN HEIGHT AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY

GUARDS AND WINDOW FALL PROTECTION

- GUARDS SHALL BE PROVIDED WHEN WALKING SURFACES ARE LOCATED MORE THAN 30" ABOVE GRADE (WITHIN 24" HORIZONTALLY) OR A.F.F.
- GUARDS SHALL BE MIN. 36"
 - o EXCEPTION: 34" IS ALLOWED IF THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDE OF THE STAIRS
- GUARDRAILS SHALL NOT INCLUDE OPENINGS THAT WILL ALLOW THE PASSAGE OF A 4" SPHERE
- WINDOWS WHERE THE BOTTOM OF THE CLEAR OPENING IS LESS THAN 24" A.F.F. AND GREATER THAN 72" ABOVE FINISHED GRADE OF OTHER SURFACE SHALL HAVE A WINDOW OPENING CONTROL DEVICE INSTALLED

STAIRS

- MIN. CLEAR WIDTH 36"
 - o HANDRAILS SHALL NOT PROJECT MORE THAN 4 ½" ON EITHER SIDE OF THE STAIRWAY
- MIN. HEADROOM 6'-8"
- MAX. RISE 7-3/4"
- MIN. TREAD DEPTH 10"
- HANDRAILS
 - o 34"-38" ABOVE SLOPE PLANE
- o HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT ON STAIRWAYS OF MORE THAN FOUR RISERS
- o 1 ¼"-2" GRIP SIZE OR GRASPABLE FINGER RECESS

ELECTRICAL

- SMOKE ALARMS COMPLYING WITH NFPA 72 SHALL BE INSTALLED:
 - o IN EACH SLEEPING ROOM
 - o OUTSIDE EACH SLEEPING ROOM
 - o ON EACH ADDITIONAL STORY
 - o CANNOT BE INSTALLED WITHIN 3' HORIZONTALLY OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER
 - o CAN NOT BE INSTALLED WITHIN 6' HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE
- SMOKE ALARMS SHALL BE HARD-WIRED W/ BATTERY BACKUP AND INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS
- CARBON MONOXIDE ALARMS ARE REQUIRED TO BE INSTALLED WITHIN 10' OF ALL BEDROOMS
 - o COMBINATION SMOKE/CARBON MONOXIDE ALARMS ARE PERMITTED
- THE BRANCH CIRCUIT SUPPLYING THE RECEPTACLE(S) IN A GARAGE SHALL NOT SUPPLY OUTLETS OUTSIDE OF THE GARAGE AND NOT LESS THAN ONE RECEPTACLE OUTLET SHALL BE INSTALLED FOR EACH MOTOR VEHICLE SPACE
- GROUND-FAULT CIRCUIT PROTECTION; ALL 125-VOLT THROUGH 250V RECEPTACLES INSTALLED IN 1)BATHROOMS 2) GARAGES 3) OUTDOORS - DOES NOT INCLUDE LISTED AND LABELED HVAC EQUIPMENT 4) KITCHENS (OUTLETS SERVICING COUNTERTOP SURFACES AND DISHWASHER) 5) SINKS (OUTLETS WITHIN 6' FROM TOP INSIDE EDGE OF THE BOWL OF THE SINK) 6) BATHTUBS OR SHOWER STALLS (OUTLETS WITHIN 6' OF THE OUTSIDE EDGE OF THE BATHTUB OR SHOWER STALL 7) LAUNDRY AREAS 8) INDOOR DAMP AND WET LOCATIONS SHALL HAVE GFCI CIRCUIT BREAKERS OR RECEPTACLES
- BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED WITH ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION PER FBCR E3902.16 AND SHALL BE LISTED AS TAMPER-RESISTANT
- ALL PERMANENTLY INSTALLED LUMNARIES, EXCLUDING THOSE IN KITCHEN APPLIANCES, SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS-PER-WATT OR SHALL UTILIZE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS PER WATT.
- ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE
- - AT LEAST ONE OUTLET SHALL BE PROVIDED FOR THE FIRST 9 SF, OR FRACTION THEREOF, OF COUNTERTOP WORK SURFACE. A RECEPTACLE SHALL BE PROVIDED FOR EVERY ADDITIONAL 18 SF, OR FRACTION THEREOF. OUTLETS SHALL NOT BE INSTALLED MORE THAN 12" BELOW THE COUNTERTOP OR WORKSURFACE AND SHALL NOT BE LOACATED WHERE THE COUNTERTOP OF WORK SURFACE EXTENDS MORE THAN 6" BEYOND ITS SUPPORT BASE.
- ORDER OF SWITCHES
 - FOYER, BY PROXIMITY TO THE DOOR:
 - 1) HALL/ENTRY LIGHT,
 - 2) FRONT PORCH LIGHT,
 - 3) GARAGE COACH LIGHT(S),
 - 4) SOFFIT OUTLETS.
- BEDROOMS, LOFT, GAME, MEDIA ROOM, SUNROOM, DEN OR FLEX, BY PROXIMITY TO THE DOOR:
- 1) SWITCHED OUTLET (IF PROVIDED)
- 2) CFP (LIGHT),
- 3) CFP (FAN),
- 4) OPTIONAL CEILING MOUNT LED LIGHTING.
- OWNER'S BATH, BY PROXIMITY TO THE DOOR:
- 1) VANITY LIGHTS
- 2) LED FIXTURES ABOVE SHOWER/TUB, IF ANY
- 3) EXHAUST FAN

Florida Zone

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GENERAL NOTES

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION
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PROJECT TYPE

Single Family

SPECIFICATION LEVEL

Pulte

PLAN NAME

Chapman

NPC NUMBER

2810.500

SHEET

GN

[illegible]

Florida Zone

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Bonita Spring, Florida 34134 (239)495-4800 (770)381-3450

ARCHITECTURAL PLAN HISTORY

[illegible]

PROJECT TYPE
Single Family

SPECIFICATION LEVEL

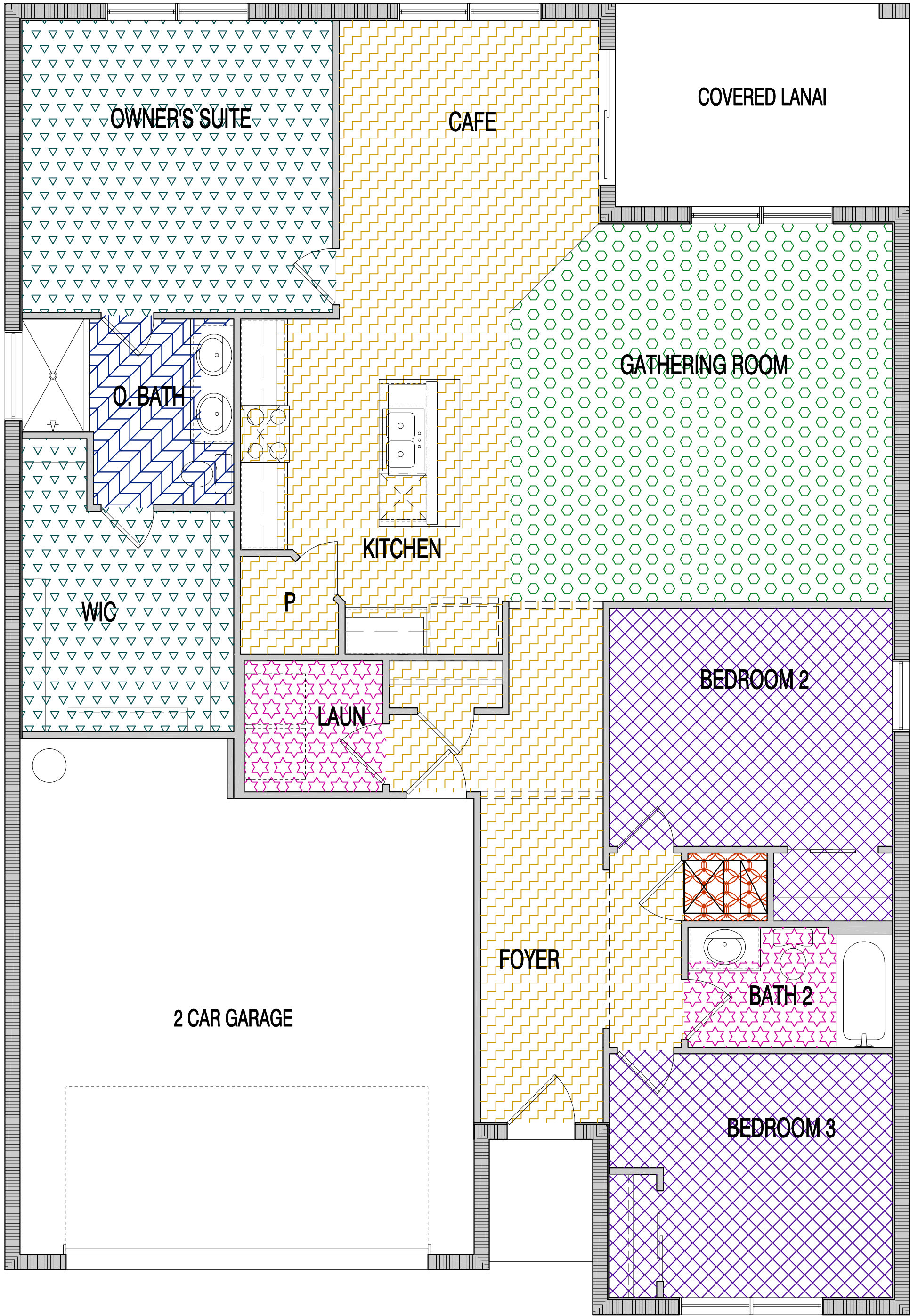
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PLAN NAME	Chapman
NPC NUMBER	2810.500

SHEET

G1.2

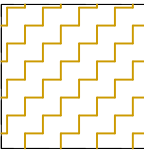
PLOTTED: April 17, 2024 / 717357 / G2.1 FIRST FLOOR FLOORING ZONES PLAN.dwg



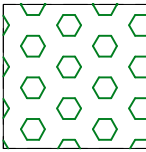
FIRST FLOOR PLAN

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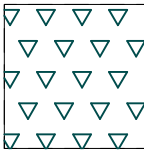
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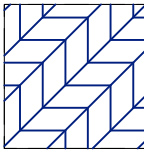
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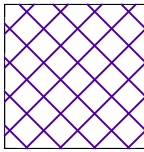
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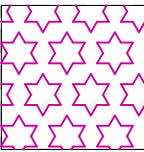
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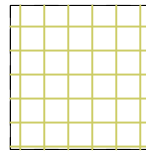
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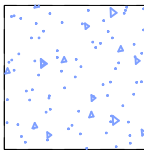
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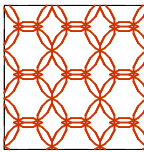
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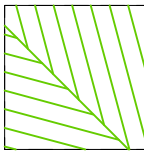
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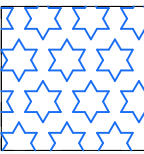
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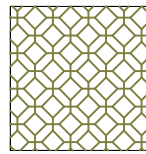
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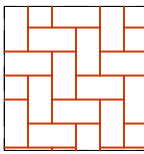
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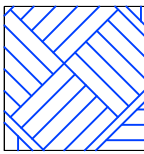
Zone 72



Zone 82



Zone 83



Zone 84

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FIRST FLOOR FLOORING ZONES PLAN
FLOORING DESIGNATIONS

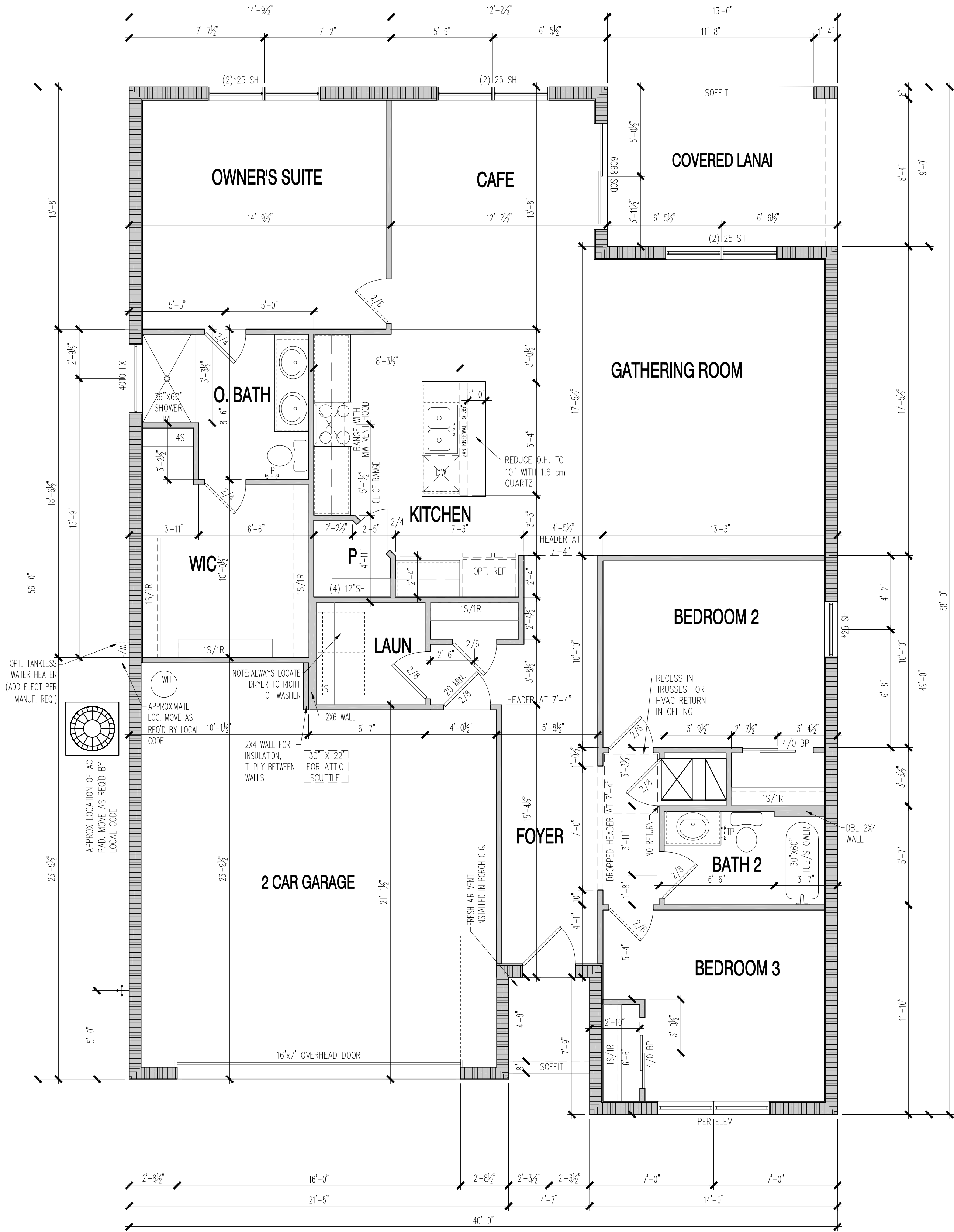
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PROJECT TYPE
Single Family

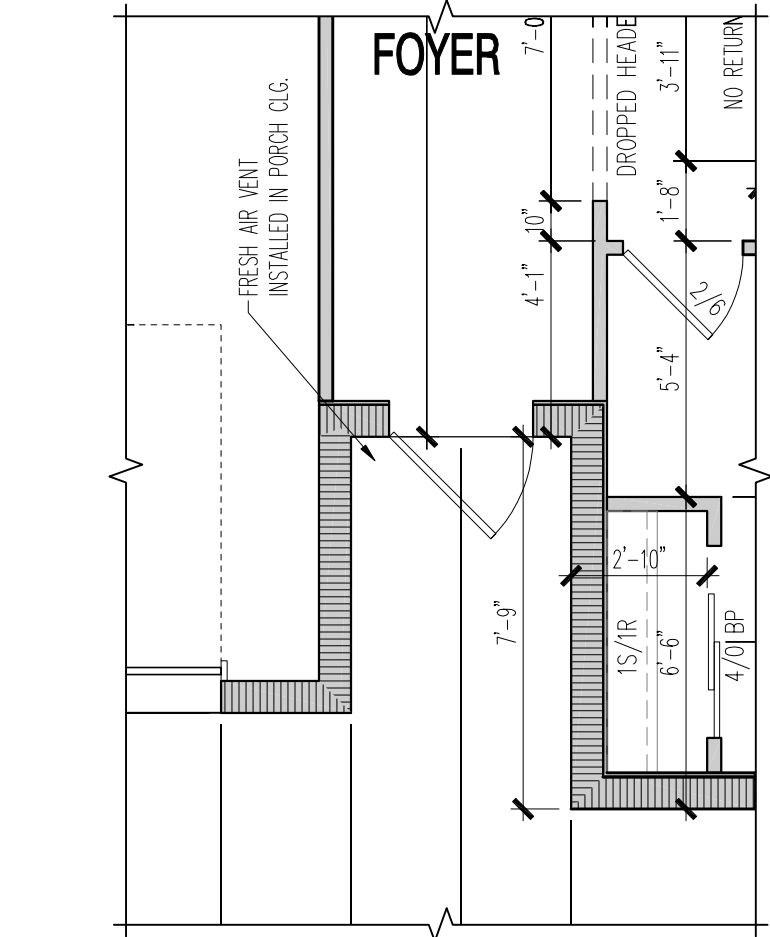
SPECIFICATION LEVEL
Pulte

PLAN NAME
Chapman
NPC NUMBER
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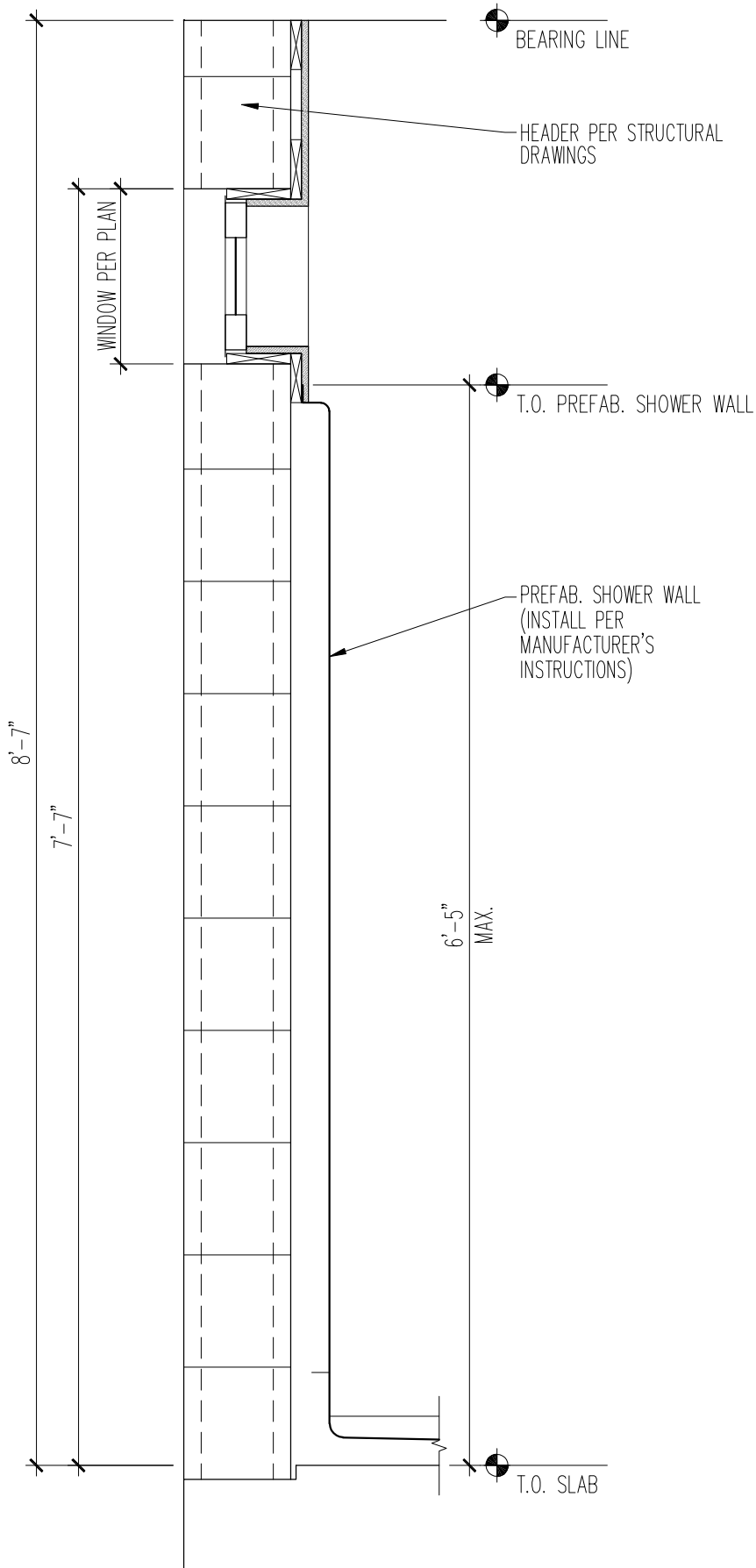
SHEET
G2.1



FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



OPT. OUTSWING DOOR
 SCALE: 1/4"=1'-0"



WINDOW DETAIL AT
 PREFAB. SHOWER WALL
 (NOT APPLICABLE W/ TILED SHOWER WALL)
 NOT TO SCALE

LEGEND

MASONRY - CONC. BLOCK OR BRICK WALL

2X FRAME WALL PER PLAN

ELEV. ELEVATION INDICATOR - ELEVATION NOTED IS RELATIVE TO FINISH FLOOR DATUM = 0'-0"

DENOTES EMERGENCY ESCAPE & RESCUE OPENING

7-1/4" FRAME DOWN DROPPED CEILINGS ARE TO BE FIELD FRAMED DOWN FROM THE BOTTOM OF THE TRUSSES 7-1/2" U.N.O.

12" TRAY UP CEILING TRAYS ARE TO BE RECESSED INTO THE TRUSSES 12" U.N.O.

ALL DIMENSIONS ARE TO THE ROUGH UNLESS NOTED OTHERWISE.

-2x4 WALLS ARE DRAWN 3 1/2" THICK

-2x6 WALLS ARE DRAWN 5 1/2" THICK

-8" BLOCK WALLS WITH FURRING ARE DRAWN 9" THICK INCLUDING FURRING

NOTE TO FRAME:

-ALL UNRESTRICTED DOOR OPENINGS TO BE FRAMED 5 1/2" FROM INSIDE CORNER

-U.N.O. RESTRICTED DOOR OPENINGS SHALL BE CENTERED IN THE SPACE.

-STUDS IN ALL WALLS AND KNEE WALLS ADJACENT TO BATHTUBS OR SHOWERS TO BE 16" O.C.

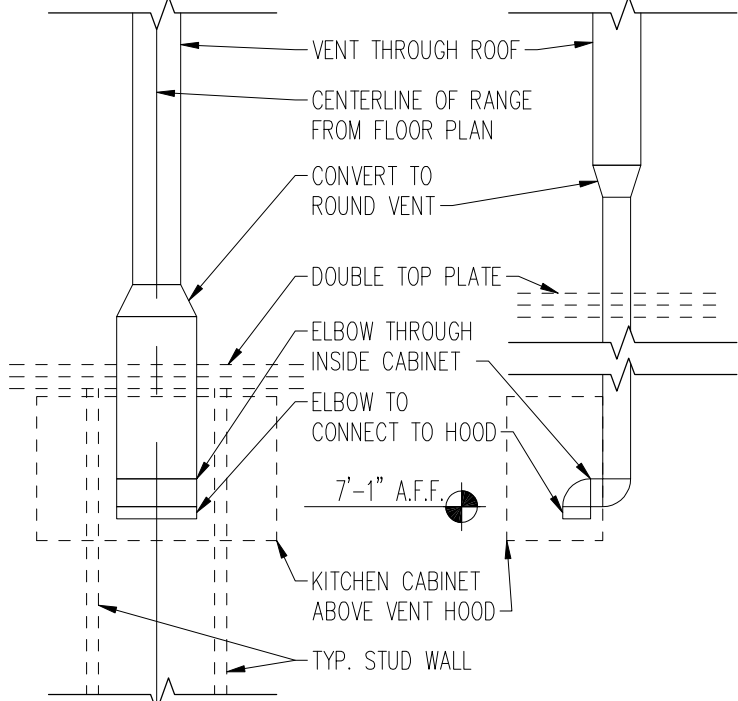
-STUDS IN ALL WALLS AND KNEE WALLS ADJACENT TO STAIRWELLS TO BE 16" O.C.

NOTE: MAX VENT LENGTH 50'-0"

3 1/2" X 10" (8.3 cm x 25.4 cm) 90° elbow 5ft (1.5 m)

3 1/2" X 10" (8.3 cm x 25.4 cm) to 6" (15.2 cm) or larger For exhaust through roof 4.5ft (1.4 m)

3 1/2" X 10" (8.3 cm x 25.4 cm) to 6" (15.2 cm) or larger 90° elbow For exhaust through rim joist 5ft (1.5 m)



RANGE HOOD
 VENT DETAIL
 SCALE : 3/4"=1'-0"

Florida Zone

24311 Walden Center Dr., Suite 300

Bonita Spring, Florida 34134 (239)495-4800 (770)381-3450



FIRST FLOOR PLAN

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION

PROJECT TYPE

Single Family

SPECIFICATION LEVEL

Pulte

PLAN NAME

Chapman

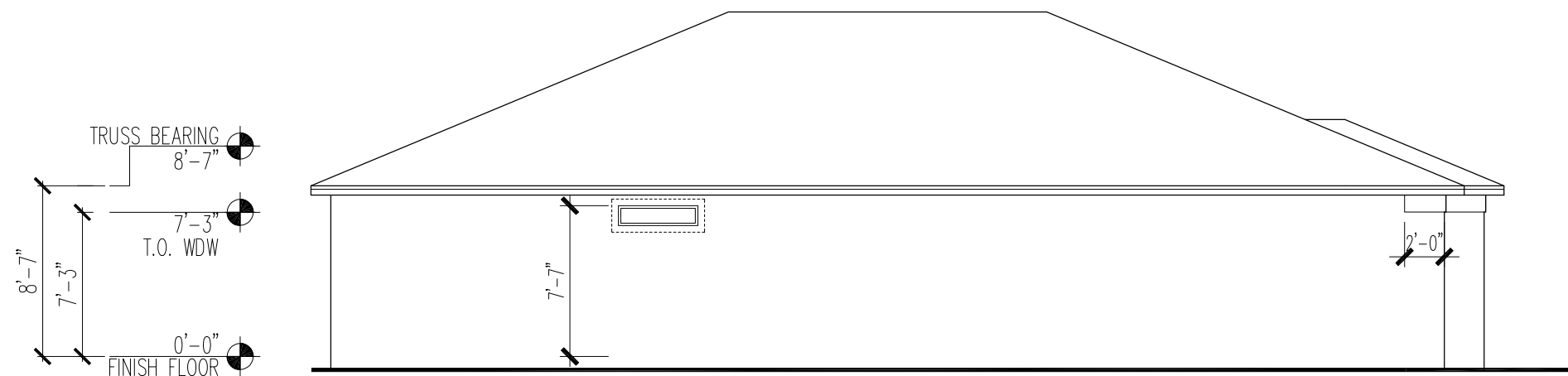
NPC NUMBER

2810.500

SHEET

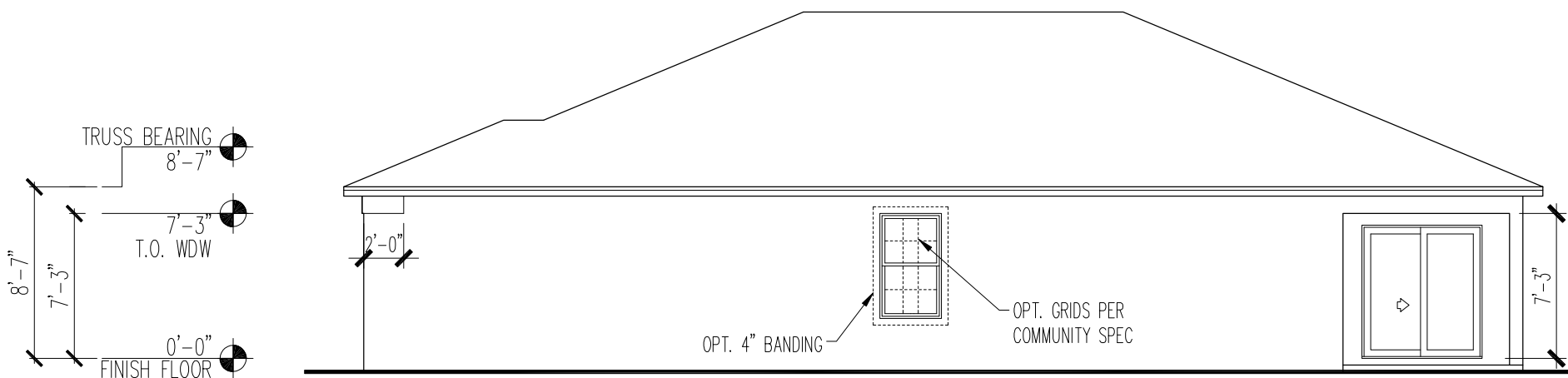
A1.1

PLOTTED: April 17, 2024 / 717357 / A2.1FM1 ELEVATION FM1.dwg



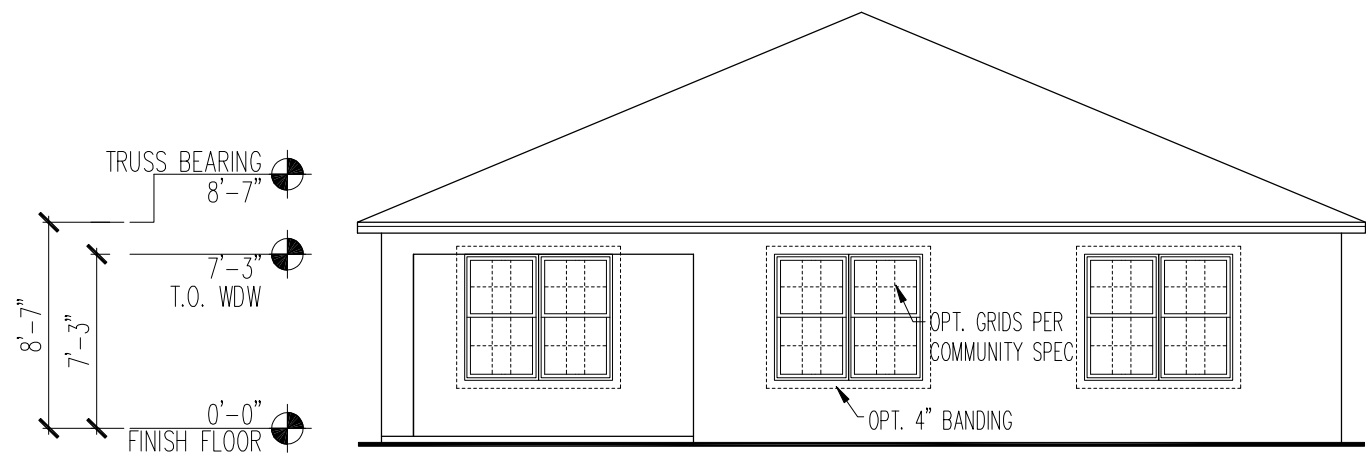
LEFT ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

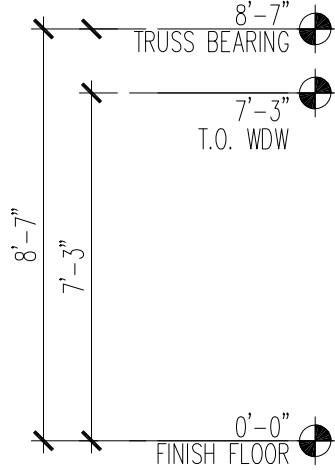
SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"

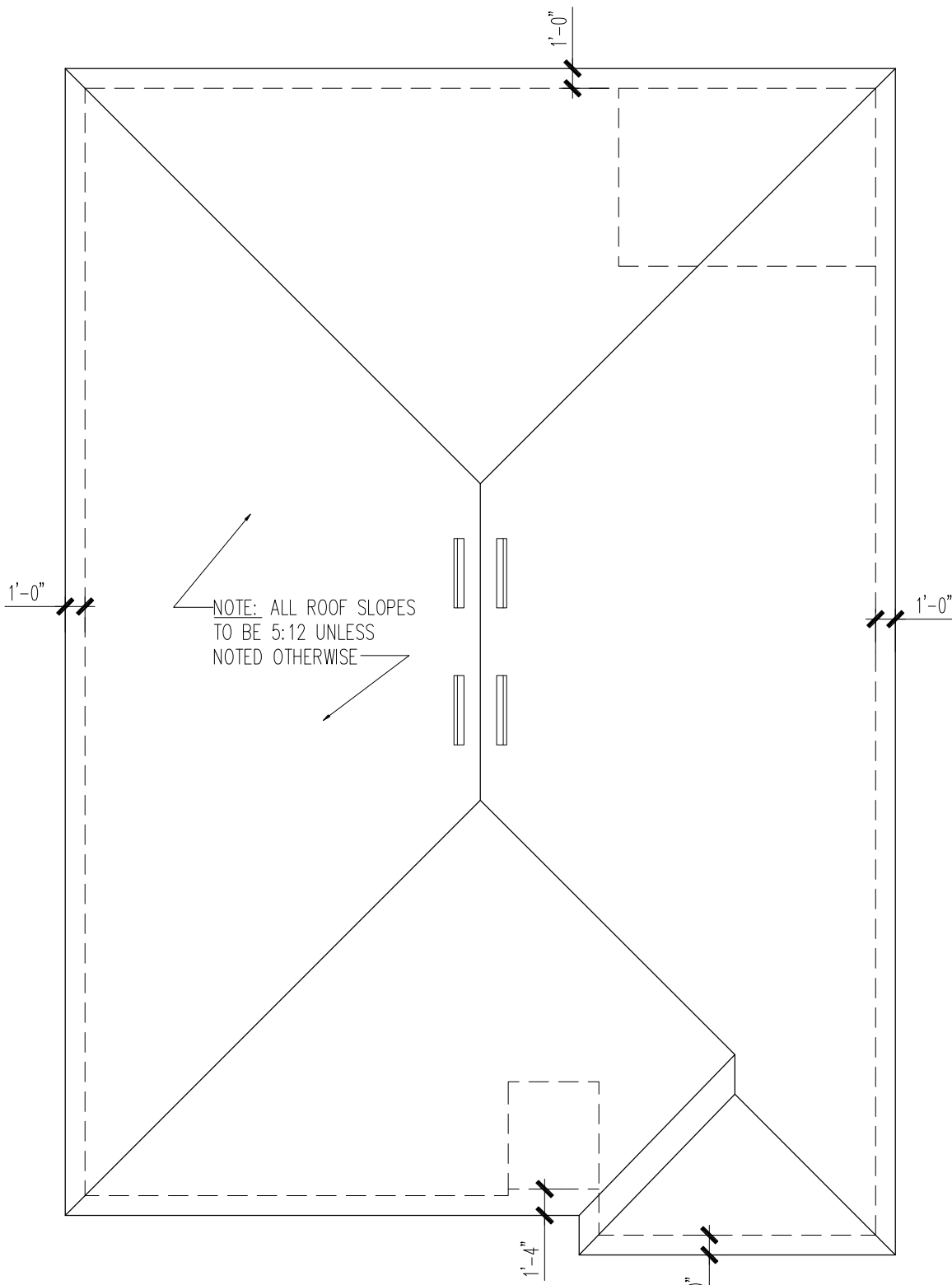
-ATTIC VENTILATION-						
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.		
2267	326448		7.557	1088.160		
ROOF VENTS REQUIRED			SOFFIT VENTS REQUIRED (SI/6.17)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LIN. FT.	
3.023	435.264	4	4.534	652.896	106	
ROOF TOP ATTIC VENT: SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 6.17 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY						



FRONT ELEVATION "FM1"

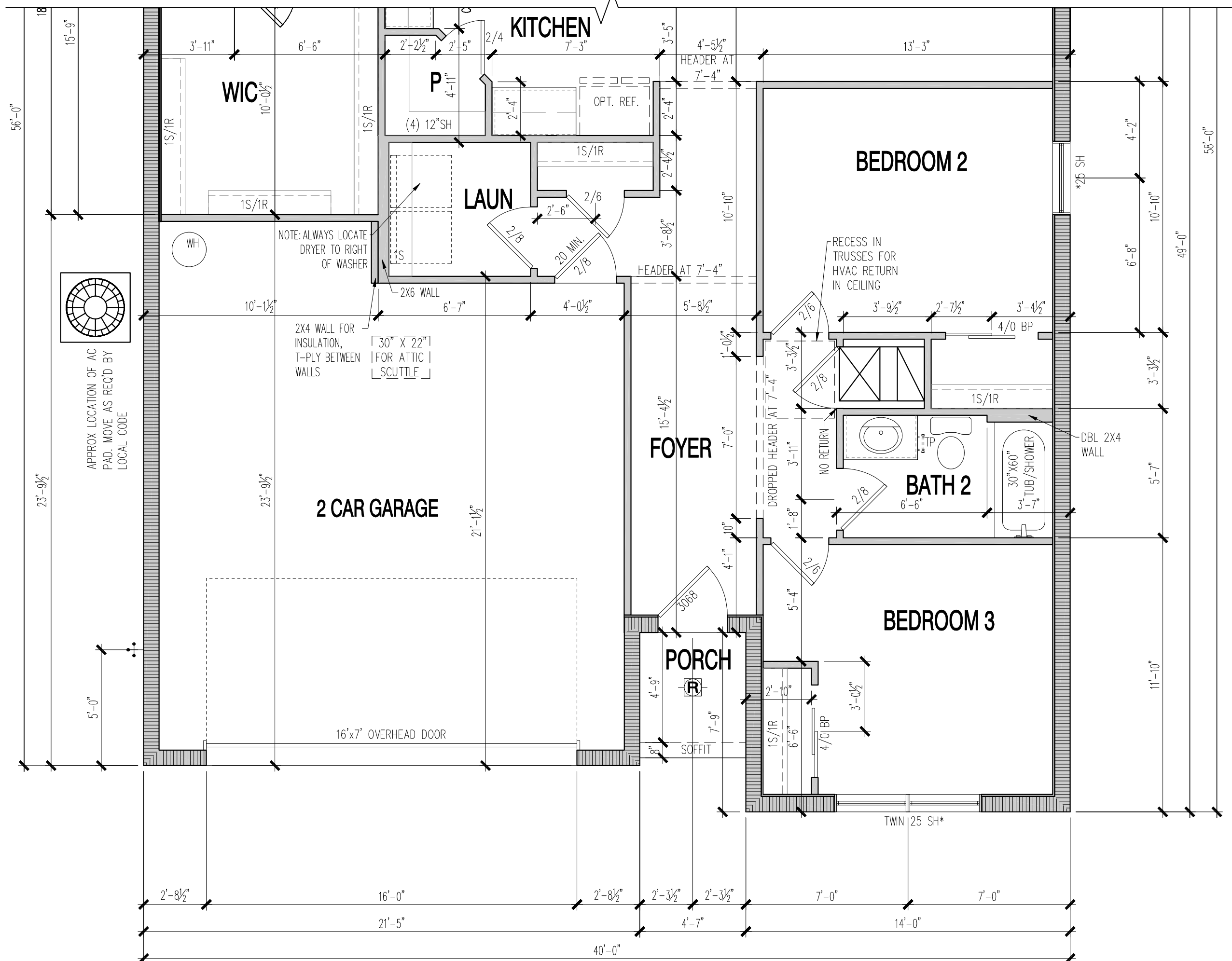
SCALE: 1/4"=1'-0"

FRONT ELEVATION WINDOW GRIDS PER COMMUNITY SPEC



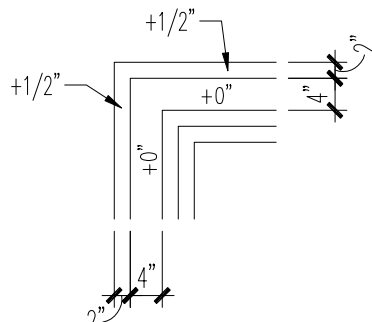
ROOF PLAN

SCALE: 1/8"=1'-0"



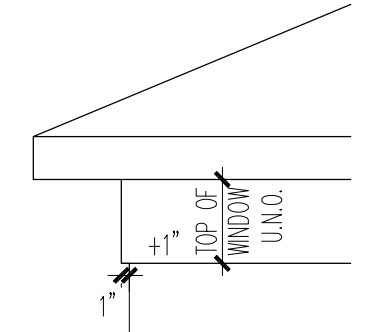
PARTIAL FIRST FLOOR PLAN "FM1"

SCALE: 1/4"=1'-0"



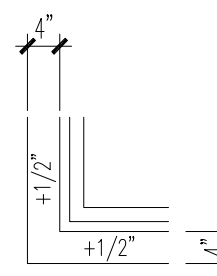
WINDOW/FRONT DOOR TRIM DETAIL

SCALE: 1/2" = 1'-0"



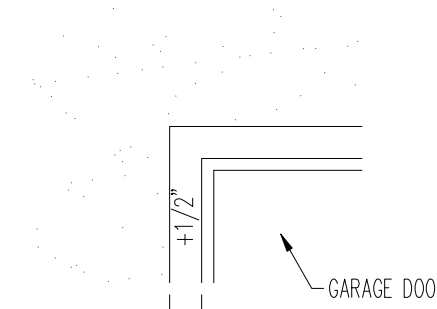
FRIEZE BANDING DTL

SCALE: 1/2" = 1'-0"



SILL DTL.

SCALE: 1/2" = 1'-0"



TRIM DETAIL

SCALE: 1/2" = 1'-0"

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Florida Zone
 24311 Walden Center Dr., Suite 300
 Bonita Spring, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION FM1
 ELEVATIONS

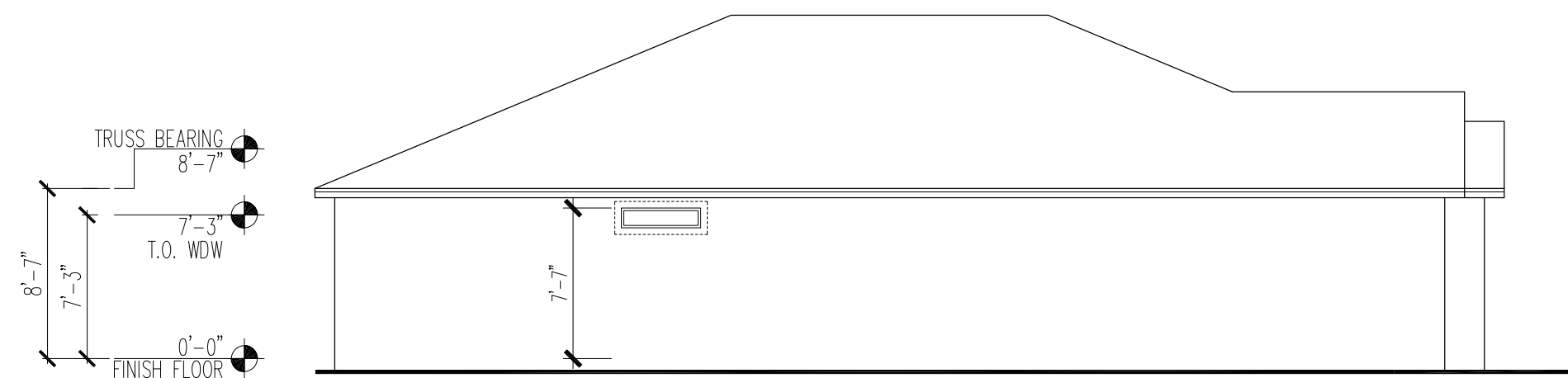
PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PROJECT TYPE
 Single Family

SPECIFICATION LEVEL
 Pulte

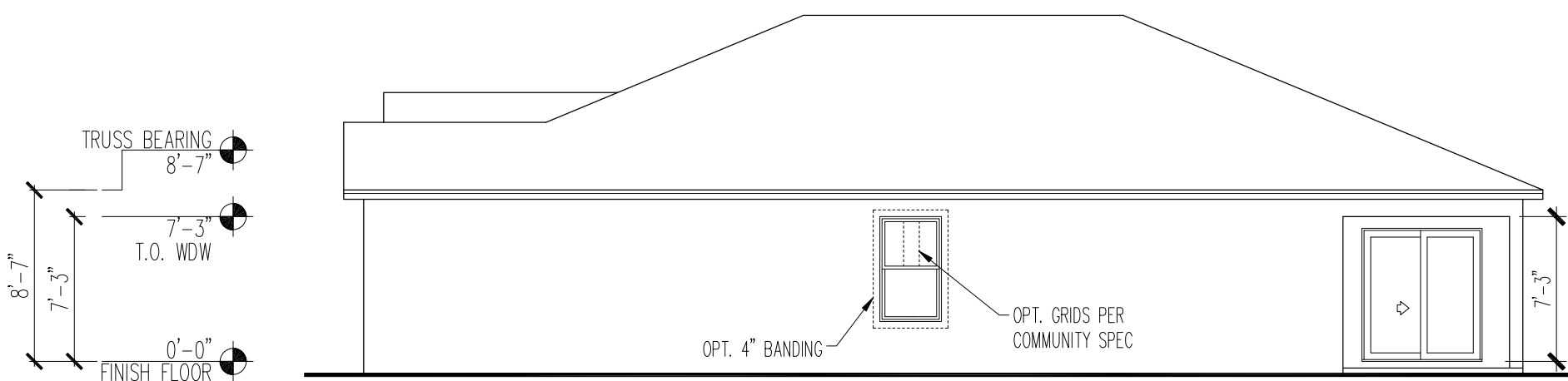
PLAN NAME
 Chapman
 NPC NUMBER
 2810.500

SHEET
 A2.1FM1



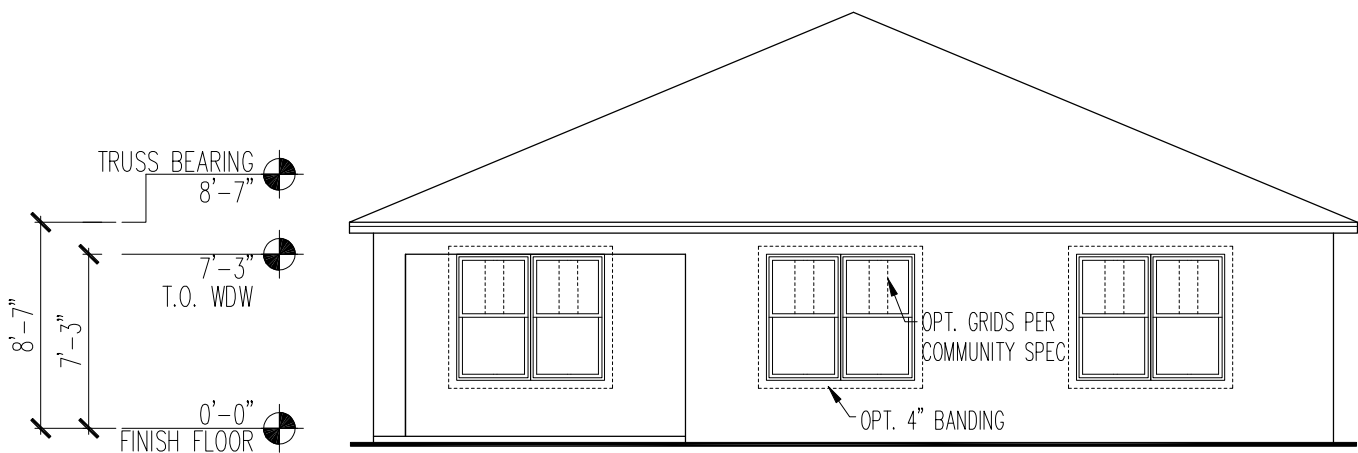
LEFT ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

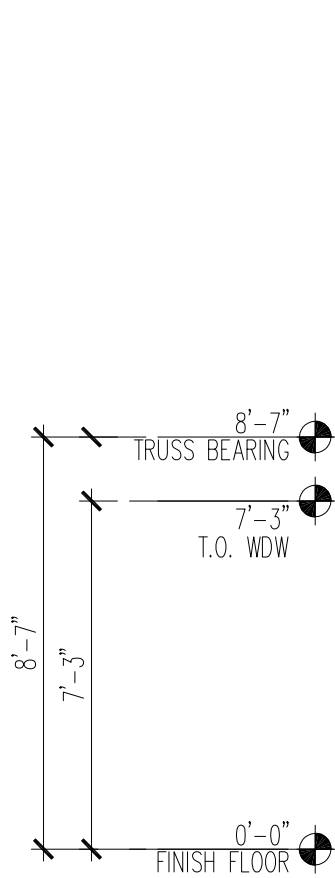
SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"

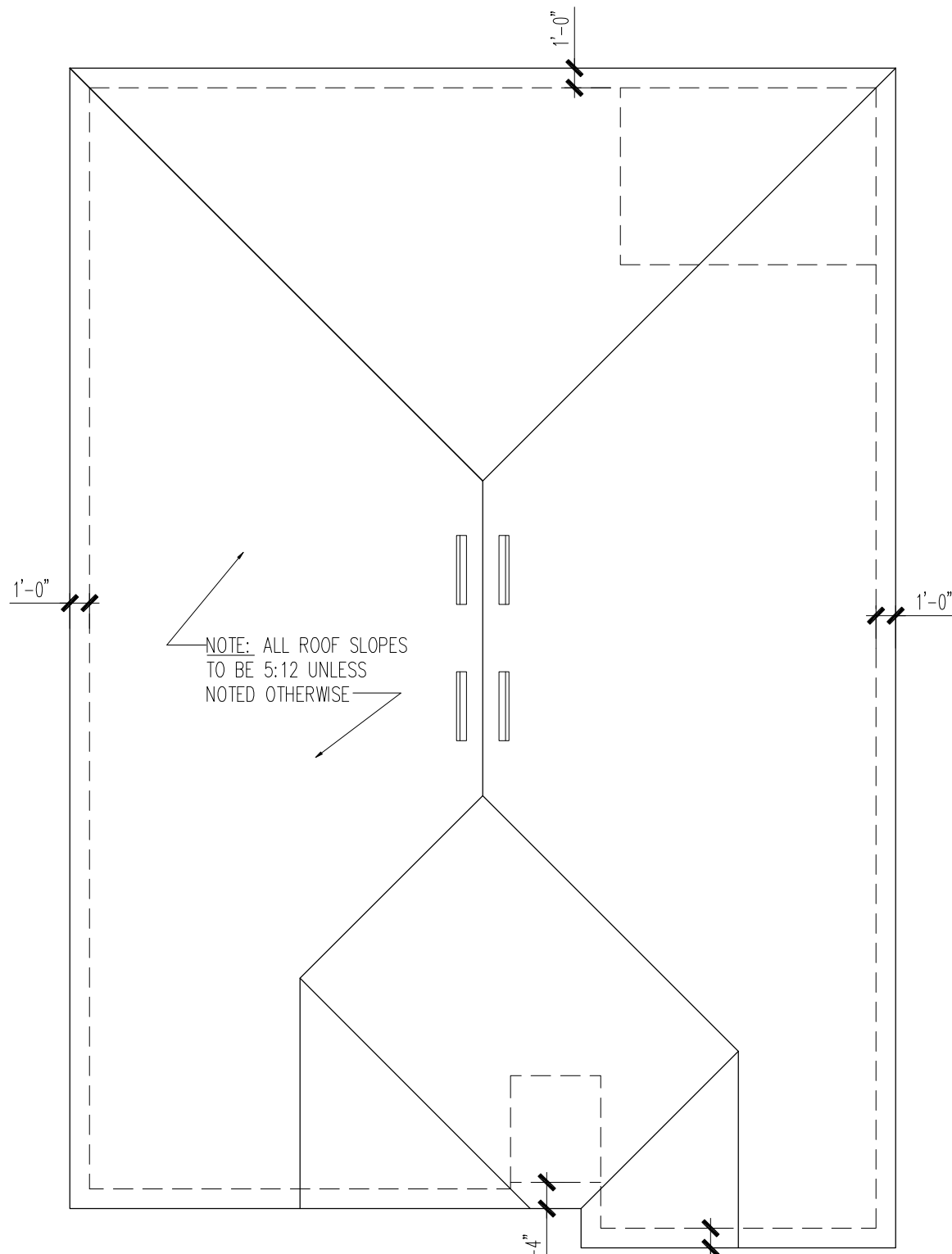
-ATTIC VENTILATION-						
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)			
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.		
2267	326448		7.557	1088.160		
ROOF VENTS REQUIRED			SOFFIT VENTS REQUIRED (SI/6.17)			
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LIN. FT.	
3.023	435.264	4	4.534	652.896	106	
ROOF TOP ATTIC VENT: SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 6.17 SQ. IN. AREA PER LINEAR FT.			
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY						



FRONT ELEVATION "C1"

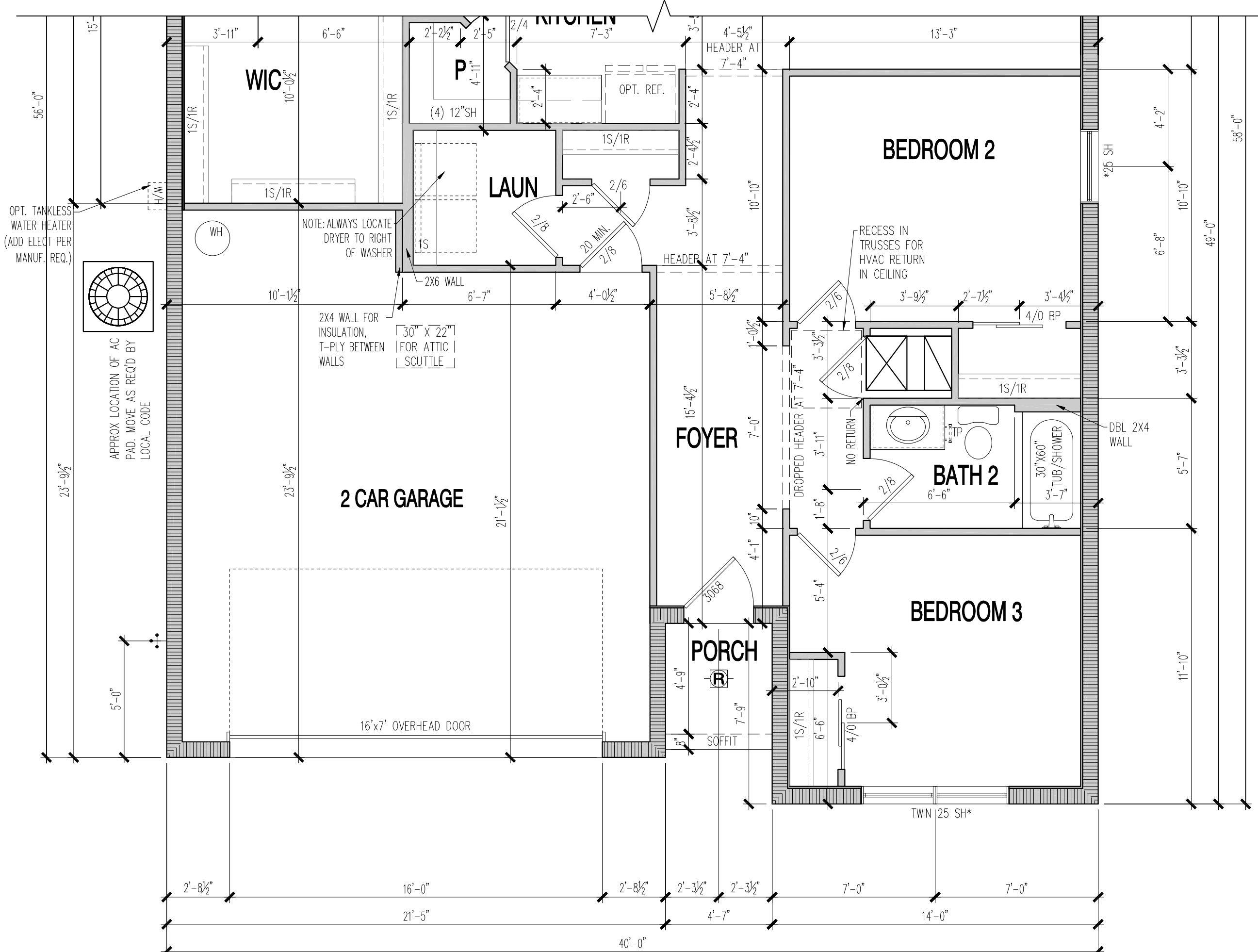
SCALE: 1/4"=1'-0"

FRONT ELEVATION WINDOW GRIDS PER COMMUNITY SPEC



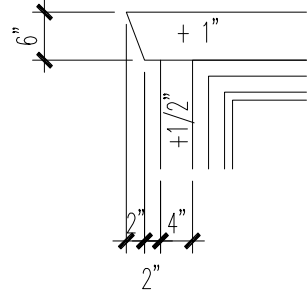
ROOF PLAN

SCALE: 1/8"=1'-0"



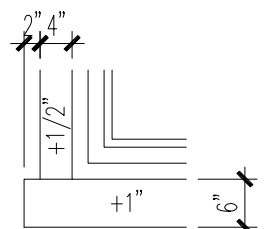
PARTIAL FIRST FLOOR PLAN "C1"

SCALE: 1/4"=1'-0"



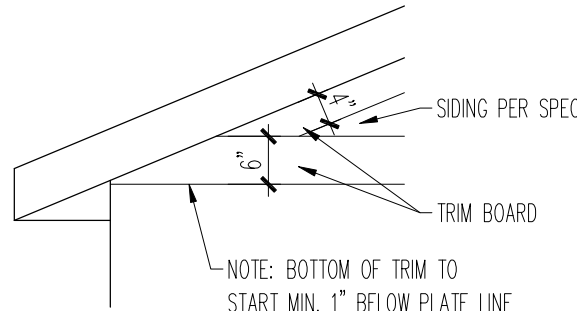
CMU HEADER DTL.

SCALE: 1/2" = 1'-0"



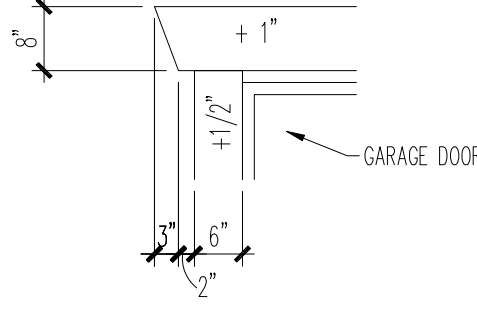
CMU SILL DETAIL

SCALE: 1/2" = 1'-0"



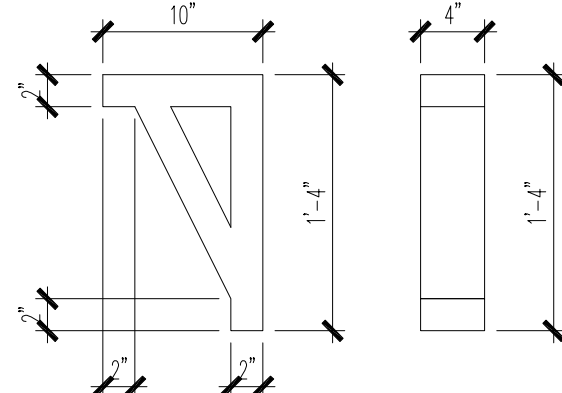
RAKE DETAIL

SCALE: 1/2" = 1'-0"



GARAGE DETAIL

SCALE: 1/2" = 1'-0"



BRACKET DETAIL

SCALE: 1" = 1'-0"



SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"

[illegible]

ROOF PLAN

SCALE: 1/8"=1'-0"



SCALE: 1/4"=1'-0"

FRONT ELEVATION WINDOW GRIDS PER COMMUNITY SPEC

SCALE: $1/4'' = 1' - 0''$ 

SCALE: 1/2" = 1'-0"



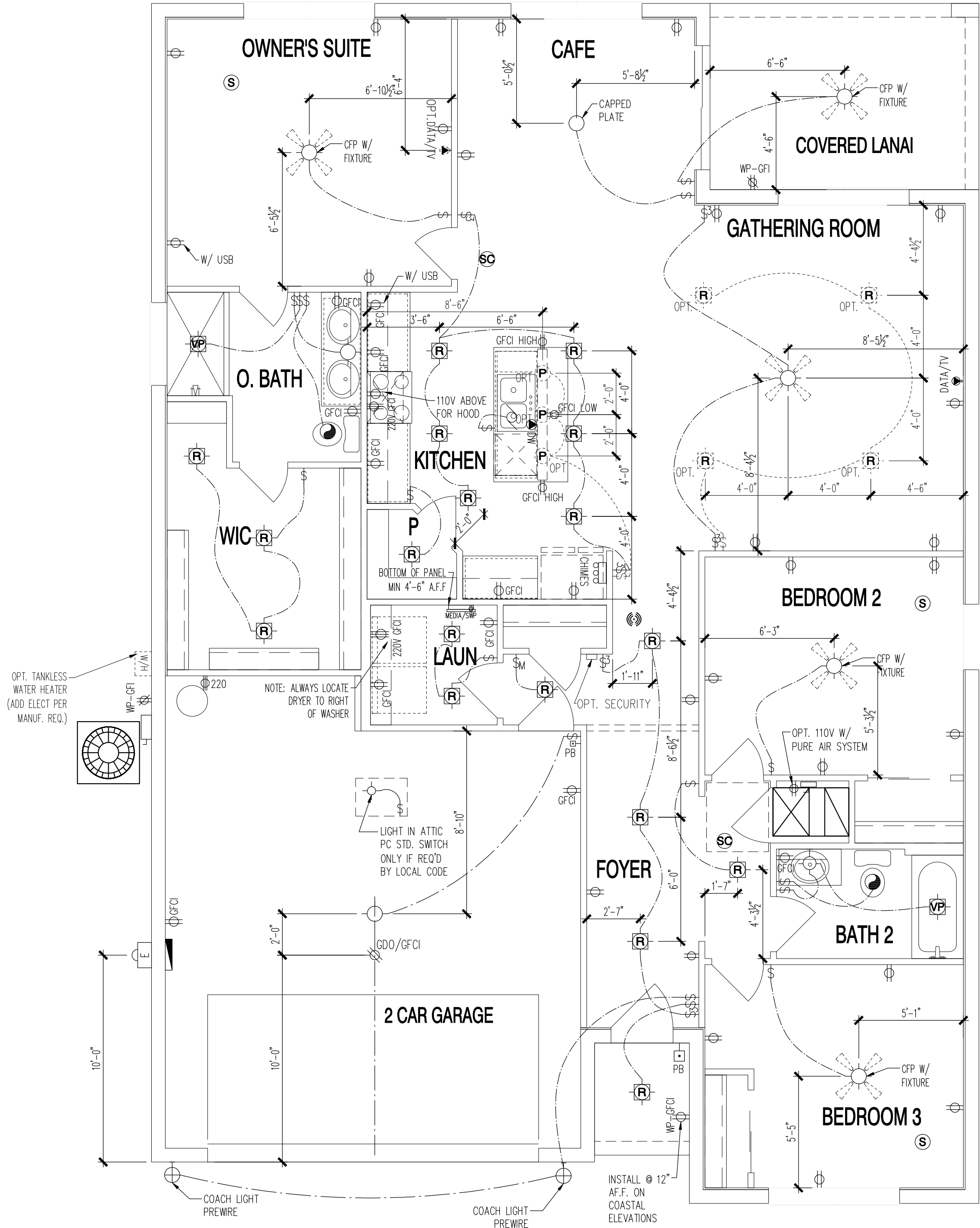
SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"



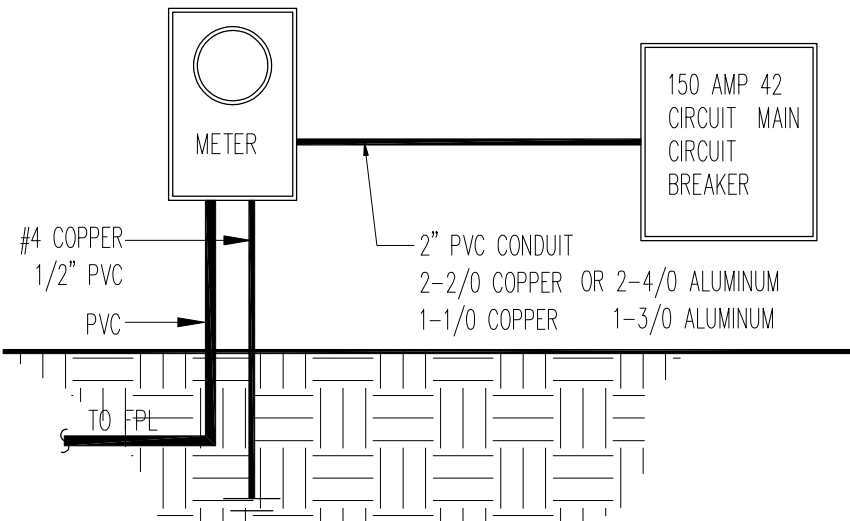
SCALE: 1/2" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"

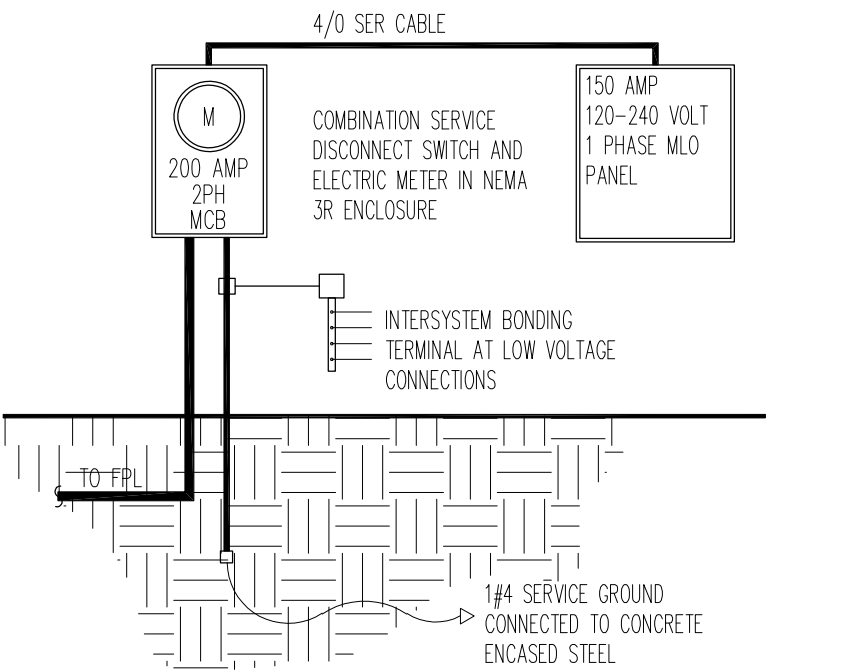
ELECTRICAL SYMBOLS	
	STANDARD AFCI 110 OUTLET (TAMPER RESISTANT)
	STANDARD AFCI 110 OUTLET - 1/2 SWITCHED (TAMPER RESISTANT)
	STANDARD 110 OUTLET - GROUND FAULT CIRCUIT INTERRUPTER
	STANDARD 110 OUTLET - WATERPROOF / G.F.C.I.
	FLOOR OUTLET
	STANDARD AFCI 220 OUTLET (GFCI PROTECTED IN KITCHEN AND LAUNDRY)
	DISHWASHER OUTLET (GFCI PROTECTED) OUTLET INSTALLED INSIDE ADJACENT SINK BASE CABINET
	SWITCH, SWITCH = 3-WAY, SWITCH = 4-WAY, SWITCH =MOTION
	LIGHT FIXTURE - CEILING MOUNT
	LIGHT FIXTURE - WALL MOUNT
	LIGHT FIXTURE - PENDANT
	LIGHT FIXTURE - PULL CORD
	LIGHT FIXTURE - COACH LIGHT
	LIGHT FIXTURE - EXTERIOR WALL MOUNT
	LIGHT FIXTURE - LED DOWNLIGHT
	LIGHT FIXTURE / VAPOR PROOF
	LIGHT FIXTURE / EXTERIOR FLOOD LIGHT
	LIGHT FIXTURE / FAN COMBINATION (EXTERIOR VENTED)
	EXHAUST FAN (EXTERIOR VENTED)
	CAPPED PLATE
	OPTIONAL PADDLE FAN / LIGHT COMBINATION PREWIRE PROVIDE FRAMING SUPPORT FOR FIXTURE
	SMOKE DETECTOR (AFCI PROTECTED)
	SMOKE/CARBON MONOXIDE COMBO DETECTOR (AFCI PROTECTED)
	THERMOSTAT
	PUSH BUTTON SWITCH
	GARBAGE DISPOSAL (GFI PROTECTED)
	GARAGE DOOR OPENER
	MEDIA /SWP BOX
	ELECTRIC PANEL
	ELECTRIC METER
	DISCONNECT
	EMERGENCY LIGHT
	TELEVISION OUTLET
	TELEPHONE OUTLET
	DOOR BELL CHIMES
	WIFI HOTSPOT
	DATA /TV OUTLET

ELECTRIC MOUNTING HEIGHTS	
STANDARD RECEPTACLES INTERIOR	18" AFF
STANDARD RECEPTACLES EXTERIOR	18" AFF
STANDARD SWITCHES	44" AFF
DEDICATED OUTLET FOR WASHER AND DRYER	32" AFF
MICROWAVE / RANGE HOOD / BUILT-IN OVEN	78" AFF
BUILT-IN MICROWAVE	66" AFF
NOTE: MOUNTING HEIGHTS ARE TO THE CENTER	



ELECTRICAL RISER DIAGRAM

NOT TO SCALE



ELECTRICAL RISER DIAGRAM

NOT TO SCALE

ALTERNATE

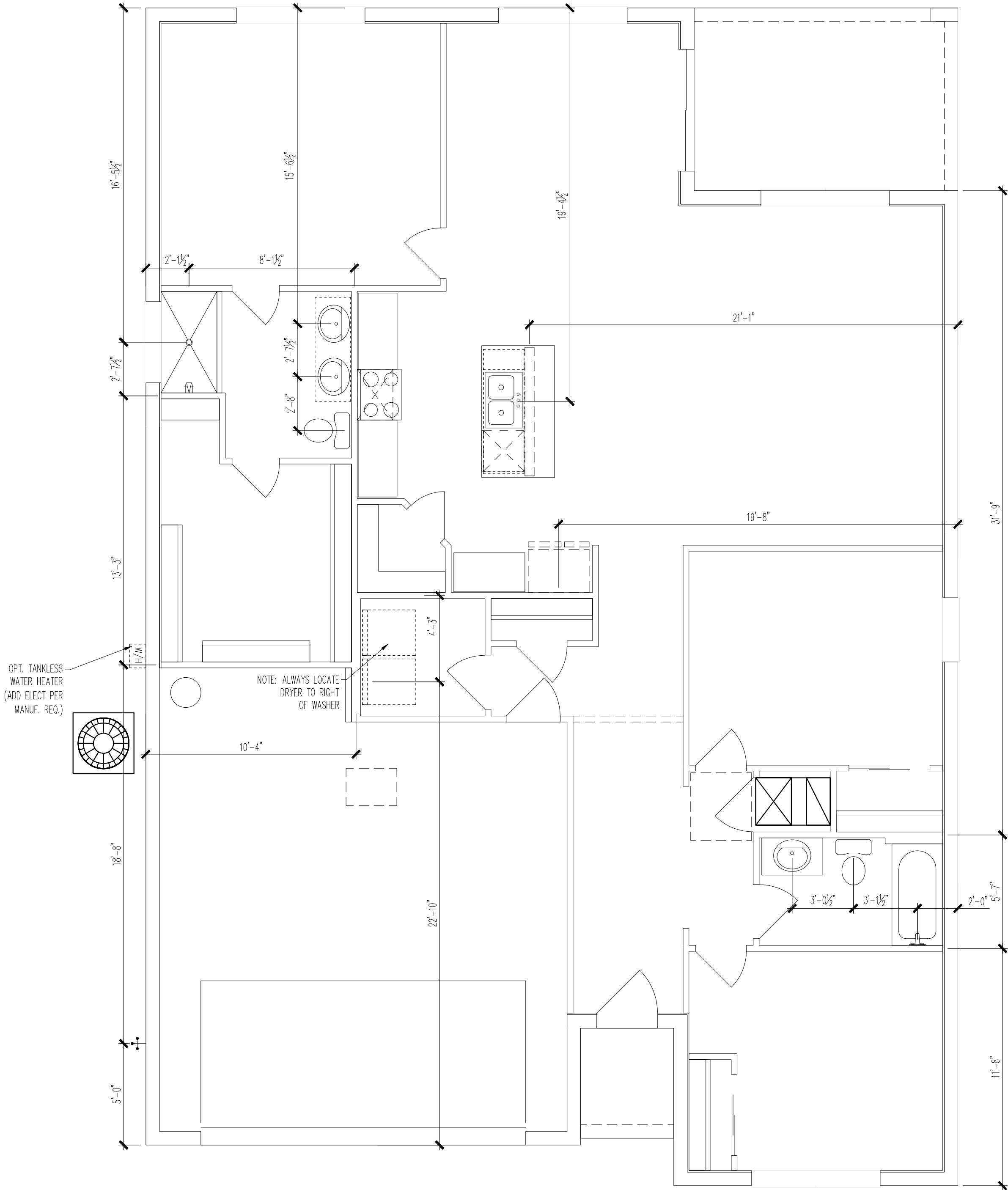
PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

PLAN NAME
Chapman
NSIC NUMBER
2810.500

SHEET
E1.1



PLUMBING FIXTURE PLAN

SCALE: 1/4"=1'-0"

THIS PLAN IS INTENDED FOR PLUMBING FIXTURE LOCATIONS ONLY

PRODUCT MANAGER	
INITIAL RELEASE	
DATE: 00/00/0000	
REV#	DATE/DESCRIPTION
△	----
△	----
△	----
△	----
△	----
△	----
△	----
△	----

PROJECT TYPE
 Single Family

SPECIFICATION LEVEL
 Pulte

PLAN NAME
 Chapman
 NPC NUMBER
 2810.500

SHEET
 P1.1

Delray Beach CRA Single Family Housing Project
238 SW 14th Avenue, Delray Beach
Additional and Revised Project Information

Home Builder Info on Pulte Homes:

Pulte Homes, one of the premier home builders in the country, offers a wide selection of single-family homes and townhomes across Florida. Known for high-quality construction and thoughtful design, Pulte creates homes that balance comfort, efficiency, and modern living.

With over 70 years of experience, Pulte builds with the homeowner in mind, incorporating Life Tested® design features and offering easy personalization options. Communities are located in both vibrant urban centers—such as Fort Lauderdale and Orlando—and relaxed coastal areas like Naples, providing convenient access to schools, amenities, and recreation.

Pulte homes appeal to a variety of lifestyles, including first-time buyers, families, and retirees, all seeking a simplified homebuying experience and lasting quality.

Pulte has experience in building homes in the City of Delray Beach and in conjunction with the Delray Beach CRA.

[New Homes for Sale | Find Your New Home | Pulte](#)

List of features:

Electrical & Plumbing

- Energy-efficient water heater
- Exterior waterproof electrical outlets
- Smoke detectors

Bathrooms

- Aristokraft bath cabinets

Exterior

- Whole house impact-resistant windows- High Velocity Hurricane Zone Rated Windows, Low E Screened Windows
- Compact fluorescent exterior lighting
- Insulated fiberglass entry door
- Automatic garage door opener with remote controls

- Professionally landscaped home site with full sod coverage and automatic sprinkler system
- Sherwin-Williams latex paint
- Ventilated aluminum soffits
- Easy to maintain decorative stucco exterior
- Shingle roof

Structural

- Professionally engineered roof trusses with hurricane tie-downs for wind protection
- Steel-reinforced concrete block construction

Kitchen

- Aristokraft kitchen cabinets with 36" upper wall cabinets

Interior

- Decorative chrome door hardware
- Walk-in owner's closet
- Tile floors in foyer, kitchen, café, baths, and laundry

Heating & Cooling

- Central air conditioning and heating system with programmable thermostat
- R-30 ceiling insulation
- Ceiling fan prewires, per plan