

THIS DOCUMENT IS THE PROPERTY OF CURRIE SOWARDS AGUILA ARCHITECTS INC.. ALL RIGHTS ARE RESERVED. ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT, WITHOUT THE WRITTEN CONSENT OF CURRIE SOWARDS AGUILA ARCHITECTS INC., IS PROHIBITED.  
8/24/2015 1:09:03 PM

# UPTOWN ATLANTIC

600, 700, 800 BLOCK W. ATLANTIC AVENUE  
DELRAY BEACH, FL



Revision Schedule		
Number	Date	Description
2	8/21/15	SPRAB CMNTS

## ARCHITECT

CURRIE SOWARDS AGUILA ARCHITECTS

185 NE 4th Avenue  
Delray Beach, FL 33483  
TEL: 561-276-4951  
FAX: 561-243-8184

## STRUCTURAL ENGINEER :

McCARTHY AND ASSOCIATES

601 North Congress Avenue  
Suite 106A  
Delray Beach, Florida 33483  
TEL: 561 921-0338  
FAX: 561 921-0340

## M.E.P. ENGINEER:

THOMPSON AND YOUNGROSS ENGINEERING  
CONSULTANTS

112 S.E. 10TH STREET  
DELRAY BEACH, FLORIDA 33483  
TEL: 561 274-0200  
FAX: 561 274-0222

## CIVIL ENGINEER:

ENVIRODESIGN ASSOCIATES, INC.

298 PINEAPPLE GROVE WAY  
DELRAY BEACH, FL 33444  
TEL: 561-274-6500  
FAX: 561-274-8558

## LANDSCAPE ARCHITECT:

COVELLI DESIGN ASSOCIATES

2295 NW CORPORATE BLVD. STE 213  
BOCA RATON, FL 33431  
TEL: 561-910-0330  
FAX: 561-549-9000

### SHEET #

### SHEET NAME

A1.01	OVERALL SITE PLAN
A1.02	ENLARGED SITE PLAN – 600 BLOCK
A1.03	ENLARGED SITE PLAN – 700 BLOCK
A1.04	ENLARGED SITE PLAN – 800 BLOCK
A2.01	FIRST FLOOR PLAN – 600 BUILDING
A2.02	SECOND FLOOR PLAN – 600 BUILDING
A2.03	MEZZANINE FLOOR PLAN – 600 BUILDING
A2.04	ROOF PLAN – 600 BUILDING
LS1.01	FIRST FLOOR – LIFE SAFETY PLANS
LS1.02	SECOND AND THIRD FLOOR – LIFE SAFETY PLANS
A3.01	ELEVATIONS – 600 BUILDING
A3.02	ELEVATIONS – 600 BUILDING
A7.01	SECTIONS – 600 BUILDING
A7.02	SECTIONS – PARTIAL – 600 BUILDING
A2.01	FIRST FLOOR PLAN – 700 BUILDING
A2.02	SECOND FLOOR PLAN – 700 BUILDING
A2.03	THIRD FLOOR PLAN – 700 BUILDING
A2.04	ROOF PLAN – 700 BUILDING
A2.10	TYPICAL UNIT PLANS – 700 BUILDING
LS1.01	LIFE SAFETY PLANS
A3.01	ELEVATIONS – 700 BUILDING
A3.02	ELEVATIONS – 700 BUILDING
A7.01	SECTIONS – 700 BUILDING
A7.02	SECTIONS – PARTIAL – 700 BUILDING

### SHEET #

### SHEET NAME

A2.01	FIRST FLOOR PLAN – 800 BUILDING
A2.02	SECOND FLOOR PLAN – 800 BUILDING
A2.03	THIRD FLOOR PLAN – 800 BUILDING
A2.04	FOURTH FLOOR PLAN – 800 BUILDING
A2.05	ROOF PLAN – 800 BUILDING
A2.10	TYPICAL UNIT PLANS – 800 BUILDING
LS1.01	FIRST & SECOND FLOOR – LIFE SAFETY PLANS
LS1.02	THIRD & FOURTH FLOOR – LIFE SAFETY PLANS
A3.01	ELEVATIONS – 800 BUILDING
A3.02	ELEVATIONS – 800 BUILDING
A7.01	SECTIONS – 800 BUILDING
A7.02	SECTIONS – PARTIAL – 800 BUILDING
A2.01	FLOOR PLAN – TOWN HOUSE – 2/2
LS1.01	LIFE SAFETY PLANS – TOWN HOUSE 600 BLOCK – 2/2
A3.01	ELEVATIONS – TOWN HOUSE – 2/2
A2.01	FLOOR PLAN – TOWN HOUSE – 1/2/1
LS1.01	LIFE SAFETY PLANS – TOWN HOUSE 700 BLOCK – 1/2/1
A3.01	ELEVATIONS – TOWN HOUSE – 1/2/1
A2.01	FLOOR PLAN – TOWN HOUSE – 2/2/1
LS1.01	LIFE SAFETY PLANS – TOWN HOUSE 700 BLOCK – 2/2/1
A3.01	ELEVATIONS – TOWN HOUSE – 2/2/1
A2.01	FLOOR PLAN – TOWN HOUSE – 2/1
LS1.01	LIFE SAFETY PLANS – TOWN HOUSE 600 BLOCK – 2/1
A3.01	ELEVATIONS – TOWN HOUSE – 2/1
ES0.1	STREET LIGHT FIXTURES
ES0.2	FIXTURE DETAILS
ES0.3	SITE PLAN – TOWNHOUSE ENTRY LIGHTING
ES1.1	SITE PLAN – BLDG 800 ENLARGED PHOTOMETRIC PLAN
ES1.2	SITE PLAN – BLDG 700 ENLARGED PHOTOMETRIC PLAN
ES1.3	SITE PLAN – BLDG 600 ENLARGED PHOTOMETRIC PLAN

### SHEET #

### SHEET NAME

1 OF 2	BOUNDARY AND TOPOGRAPHIC SURVEY
2 OF 2	BOUNDARY AND TOPOGRAPHIC SURVEY
1 OF 1	COMPOSITE UTILITY PLAN
1 OF 16	CIVIL SITE IMPROVEMENTS KEY MAP
2 OF 16	PAVING AND DRAINAGE PLAN (800 BUILDING)
3 OF 16	PAVING AND DRAINAGE PLAN (700 BUILDING)
4 OF 16	PAVING AND DRAINAGE PLAN (600 BUILDING)
5 OF 16	WATER AND WASTEWATER PLAN (800 BUILDING)
6 OF 16	WATER AND WASTEWATER PLAN (700 BUILDING)
7 OF 16	WATER AND WASTEWATER PLAN (600 BUILDING)
8 OF 16	PAVING AND DRAINAGE DETAILS
9 OF 16	PAVING AND DRAINAGE DETAILS
10 OF 16	PAVING AND DRAINAGE DETAILS
11 OF 16	PAVING AND DRAINAGE DETAILS
12 OF 16	WATER AND WASTEWATER DETAILS
13 OF 16	WATER AND WASTEWATER DETAILS
14 OF 16	EASEMENT COORDINATION PLAN
15 OF 16	DEMOLITION PLAN
16 OF 16	POLLUTION PREVENTION PLAN
LP-1	LANDSCAPE PLAN
LP-2	LANDSCAPE PLAN 600 BLOCK
LP-3	LANDSCAPE PLAN 700 BLOCK
LP-4	LANDSCAPE PLAN 800 BLOCK
LP-5	LANDSCAPE PLAN PLANTERS, COURTYARD TOWNHOUSE TYPICALS
LP-6	LANDSCAPE PLAN DETAILS AND NOTES
TP-1	TREE PRESERVATION PLAN 600 BLOCK
TP-2	TREE PRESERVATION PLAN 700 BLOCK
TP-3	TREE PRESERVATION PLAN 800 BLOCK

UPTOWN ATLANTIC

SPRAB 03-06-2014





**CURRIE  
SOWARDS  
AGUILA**  
architects

Architecture, Planning,  
Interiors, &  
Sustainable Design

AA26001584  
185 NE 4TH AVENUE, SUITE 101  
DELRAY BEACH, FL 33483

T: (561) 276-4951 F: (561) 243-8184  
E-MAIL: office@csa-architects.com

ISSUED FOR :

BIDS  
PERMIT  
CONSTRUCTION  
SEAL

PROJECT TITLE  
**UPTOWN  
ATLANTIC**

600, 700, 800 BLOCK W.  
ATLANTIC AVENUE DELRAY  
BEACH, FL

REVISIONS		
NUM.	DESCRIPTION	DATE
2	SPRAB CMNTS	8/21/15
3	Parking CMTS	11/5/15

THESE DRAWINGS ARE PREPARED  
PER ESTABLISHED INDUSTRY  
STANDARDS AND REPRESENT THE  
ARCHITECT AND ENGINEERS DESIGN  
CONCEPT. THEY ARE NOT INTENDED  
TO PROVIDE EVERY DETAIL OR  
CONDITION REQUIRED TO  
CONSTRUCT THE BUILDING. THE  
CONTRACTOR THROUGH SUBMITTALS  
AND OTHER COORDINATION EFFORTS  
IS FULLY RESPONSIBLE FOR  
PROVIDING A COMPLETE AND  
OPERATIONAL BUILDING WHETHER  
INDICATED ON THE PLANS OR NOT.  
FILE NUMBER

DRAWING TITLE  
**OVERALL SITE  
PLAN**

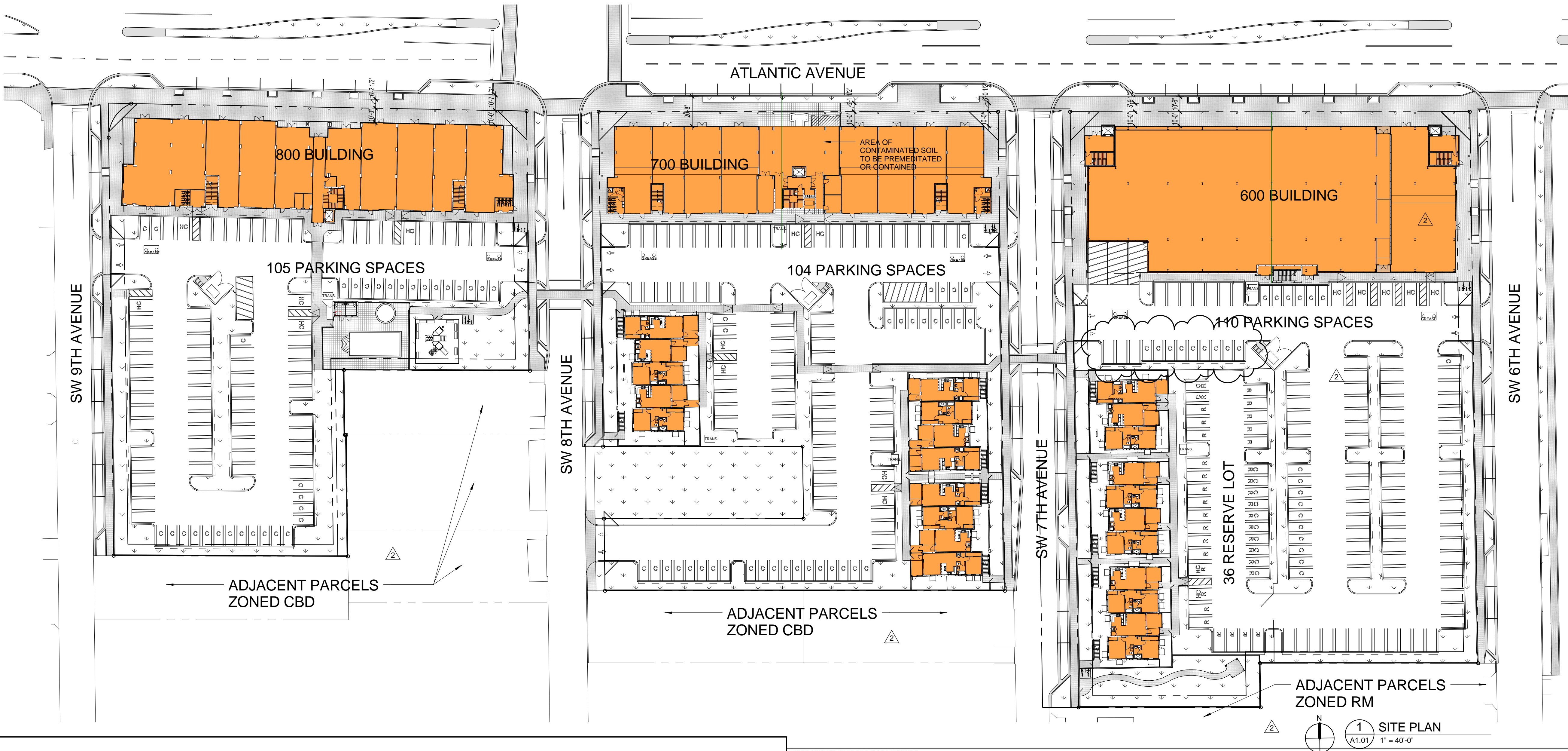
DATE  
10/6/2014

DRAWN BY  
CLA

JOB NUMBER  
121108

DRAWING NUMBER

**A1.01**



**SITE DATA**

ZONING CLASSIFICATIONS: CBD - CENTRAL BUISNESS DISTRICT  
FLUM CLASSIFICATIONS: CC - CENTRAL CORE

SITE AREA INFORMATION			RESIDENTIAL INFORMATION		
SITE AREA TOTAL	268,928 SQ FT	6.17 ACRES	NUMBER OF UNITS	112	
			UNITS PER ACRE	18	
GROUND FLOOR AREA	68,949 SQ FT	25.6 %	UNIT TYPE	# OF UNITS	SIZE
TOTAL FLOOR AREA	185,766 SQ FT	69.1 %	EFFICIENCY	15	400-411 SF
PARKING/PAVED AREA	152,421 SQ FT	56.7 %	1 BEDROOM	18	635-707 SF
OPEN (LANDSCAPED) AREA	47,558 SQ FT	17.7 %	2 BEDROOM	75	900-1102 SF
WATER BODIES	0	0 %	3 BEDROOM	4	1269 SF
WORKFORCE HOUSING NOTES					
UNITS ALLOWED PER DENSITY:			74.5 UNITS		
UNITS REQUESTED WITH COND. USE:			112 UNITS		
WORKFORCE HOUSING UNITS:			22 UNITS (58.7% OF UNITS OVER DENSITY) (20% OF TOTAL UNITS)		

SETBACKS-- CBD		
	REQUIRED	PROVIDED
FRONT	0'-0" AT ARCADE, 5'-0" COMMERCIAL, 10'-0" RESIDENTIAL	0' COMMERCIAL, 10' TOWNHOUSES
REAR	10'-0"	109'-1" AT 800 BLDG, N/A AT OTHER BUILDINGS
SIDE (CORNER)	CAN EXTEND FRONT SETBACKS FOR FIRST 60'	VARIES SEE PLAN
INTERIOR SIDE	0'-0", 10'-0" IF NO REAR ACCESS	10'-0" TYPICAL, 32'-8" AT TOWNHOUSE ON EAST SIDE OF 7TH AVE.
INTERIOR SIDE ADJACENT TO RESIDENTIAL ZONING	10'-0" WITH 6'-0" WALL OR 4 1/2" HEDGE	N/A TYP., 32'-8" AT TOWNHOUSE ON 7TH AVE EAST SIDE, 3' TALL CMU WALL WITH 3' TALL FENCE ABOVE AND 4 1/2" TALL HEDGE PROVIDED
HEIGHT	48'-0"	45'-0" @ 600 BLDG, 36'-0" @ 700 BLDG 46'-0" @ 800 BLDG, 33'-2" @ TOWNHOUSE
FLOORS	--	3 STORIES @ 600 AND 700 BLDGS, 4 STORIES @ 800 BLDG, 3 STORIES @ TOWNHOUSES

PARKING CALCULATIONS			
	UNITS/SQ FT	PARKING RATIO	REQUIRED
RESIDENTIAL TOTAL	112		231.4
EFFICIENCY	15	1/UNIT = 15	
1 BEDROOM	18	1.5/UNIT = 27	
2 BEDROOM	75	2/UNIT = 150	
3 BEDROOM	4	2/UNIT = 8	
GUEST 1-20 UNITS	20	0.5 SPACE PER UNIT 1ST 20 UNITS = 10	
GUEST 21-50 UNITS	30	0.3 SPACES PER UNIT 21-50 UNITS = 9	
GUEST 51+ UNITS	62	0.2 SPACES PER UNIT 51+ UNITS = 12.4	
OFFICE	17,267.3 SF	1 PER 300 SF NET	57.56
RESTURANTS	6,040 SF	6 PER 1000 SF GROSS	36.24
COMMERICAL/RETAIL	43,162 SF	1 PER 300 SF GROSS	143.87
TOTAL REQUIRED PARKING			469.07

SHARED PARKING CALCULATIONS							
	Required	Week Days			Weekends		
		12-6am	6-12am	9-4pm	6-12am	9-4pm	9-12am
Residential	100.4	100%	100%	60%	90%	80%	90%
Office	57.56	5%	3%	100%	58%	10%	6%
Comm/Retail	143.9	5%	7%	70%	101%	100%	144%
Hotel	0.00	80%	0%	80%	0%	80%	0%
Rest	36.2	10%	4%	50%	18%	100%	36%
Entertain	0.00	10%	0%	40%	0%	80%	0%
Other (Residential reserved)	131	100%	131%	100%	131%	100%	131%
Total Required:	245	368	393	379	361		
PARKING PROVIDED							
TOTAL ON-SITE SPACES	355						
REGULAR SPACES	232						
COMPACT SPACES	105 (29.6%)						
HANDICAPPED SPACES	18						
TOTAL PARALLEL SPACES OFF-SITE	70						
EXISTING PARALLEL SPACES	20						
NEW PARALLEL SPACES	50						
IN-LIEU PARKING REQ.	38						

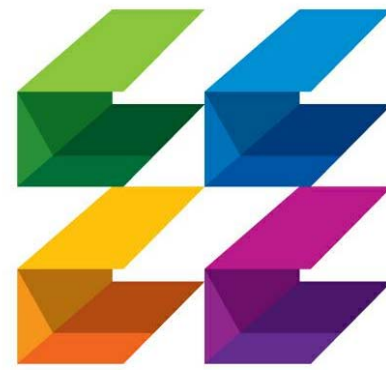
**BUILDING CODE ANALYSIS**

	600 BUILDING		700 BUILDING		800 BUILDING		TOWNHOUSE	
BUILDING OCCUPANCY	MIXED USE NONSEPARATED OCCUPANCIES: M - MERCANTILE MOST RESTRICTIVE		MIXED USE NONSEPARATED OCCUPANCIES: M - MERCANTILE MOST RESTRICTIVE		MIXED USE NONSEPARATED OCCUPANCIES: M - MERCANTILE MOST RESTRICTIVE		R-2 - RESIDENTIAL	
TYPE OF CONSTRUCTION	TYPE III - B SPRINKLERED		TYPE III - B SPRINKLERED		TYPE II - A SPRINKLERED		TYPE III - B NON-SPRINKLERED	
BUILDING HEIGHT	CODE MAX 60' WITH SPRINKLER MODIFICATION	PROPOSED 45'-0"	CODE MAX 60' WITH SPRINKLER MODIFICATION	PROPOSED 36'-0"	CODE MAX 60' WITH SPRINKLER MODIFICATION	PROPOSED 46'-0"	CODE MAX 40'-0"	PROPOSED 33'-2"
BUILDING AREA * FIX 600 CODE AREA	CODE MAX Aa = At + [At x If] + [At x Is] If = [F/P - 0.25]W/30 Is = 2 (SPINKLERED)  If = [1-0.25]x1 = 0.75 Aa = 12500 + [12500 x 0.75] + [12500 x 2] = 46875  MAX ALLOWABLE AREA 46,875 SF	PROPOSED       25,016 SF	CODE MAX Aa = At + [At x If] + [At x Is] If = [F/P - 0.25]W/30 Is = 2 (SPINKLERED)  If = [1-0.25]x1 = 0.75 Aa = 12500 + [12500 x 0.75] + [12500 x 2] = 46875  MAX ALLOWABLE AREA 46,875 SF	PROPOSED       14,479 SF	CODE MAX Aa = At + [At x If] + [At x Is] If = [F/P - 0.25]W/30 Is = 2 (SPINKLERED)  If = [1-0.25]x1 = 0.75 Aa = 21500 + [21500 x 0.75] + [21500 x 2] = 80625  MAX ALLOWABLE AREA 80,625 SF	PROPOSED       16,416 SF	CODE MAX Aa = At + [At x If] + [At x Is] If = [F/P - 0.25]W/30 Is = 0 (NON-SPINKLERED)  If = [1-0.25]x1 = 0.75 Aa = 16000 + [16000 x 0.75] + [16000 x 0] = 28000  MAX ALLOWABLE AREA 28,000 SF	PROPOSED       1,764 SF - 3,150.2 SF 3
NUMBER OF STORIES	3 - WITH SPRINKLER MODIFICATION	2 - WITH MEZZANINE	3 - WITH SPRINKLER MODIFICATION	3	5 - WITH SPRINKLER MODIFICATION	4	4	

WORKFORCE HOUSING ANALYSIS						
UNIT TYPE	NO. OF UNITS	MARKET NO.	RATE %	WORKFORCE UNITS NO.	%	LOW INCOME MODERATE INCOME
EFFICIENCY	15	15	16.67	0	0	-- --
1 BEDROOM	18	15	16.67	3	13.64	1 2
2 BEDROOM	75	60	66.66	15	68.18	4 11
3 BEDROOM	4	0	0	4	18.18	2 2
TOTAL	112	90	100	22	100	7 15
LOCATION OF WORKFORCE HOUSING: 4 IN EACH OF 4 TOWNHOUSE BUILDINGS. 18 SPLIT BETWEEN THE 700 AND 800 BUILDING SO THAT NO TWO ARE ADJACENT TO EACHOTHER AND NO MORE THAN 4 UNITS WILL BE ON ANY FLOOR						







**CURRIE  
SOWARDS  
AGUILA**  
architects

Architecture, Planning,  
Interiors, &  
Sustainable Design

AA26001584  
185 NE 4TH AVENUE, SUITE 101  
DELRAY BEACH, FL 33483

T: (561) 276-4951 F: (561) 243-8184  
E-MAIL: office@csa-architects.com

ISSUED FOR :

BIDS

PERMIT

CONSTRUCTION

SEAL

PROJECT TITLE

**UPTOWN  
ATLANTIC**

600, 700, 800 BLOCK W.  
ATLANTIC AVENUE DELRAY  
BEACH, FL

REVISIONS		
NUM.	DESCRIPTION	DATE
2	SPRAB CMNTS	8/21/15

THESE DRAWINGS ARE PREPARED  
PER ESTABLISHED INDUSTRY  
STANDARDS AND REPRESENT THE  
ARCHITECT AND ENGINEERS DESIGN  
CONCEPT. THEY ARE NOT INTENDED  
TO PROVIDE EVERY DETAIL OR  
CONDITION REQUIRED TO  
CONSTRUCT THE BUILDING. THE  
CONTRACTOR THROUGH SUBMITTALS  
AND OTHER COORDINATION EFFORTS  
IS FULLY RESPONSIBLE FOR  
PROVIDING A COMPLETE AND  
OPERATIONAL BUILDING WHETHER  
INDICATED ON THE PLANS OR NOT.  
FILE NUMBER

DRAWING TITLE

**ENLARGED SITE  
PLAN - 600  
BLOCK**

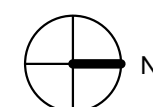
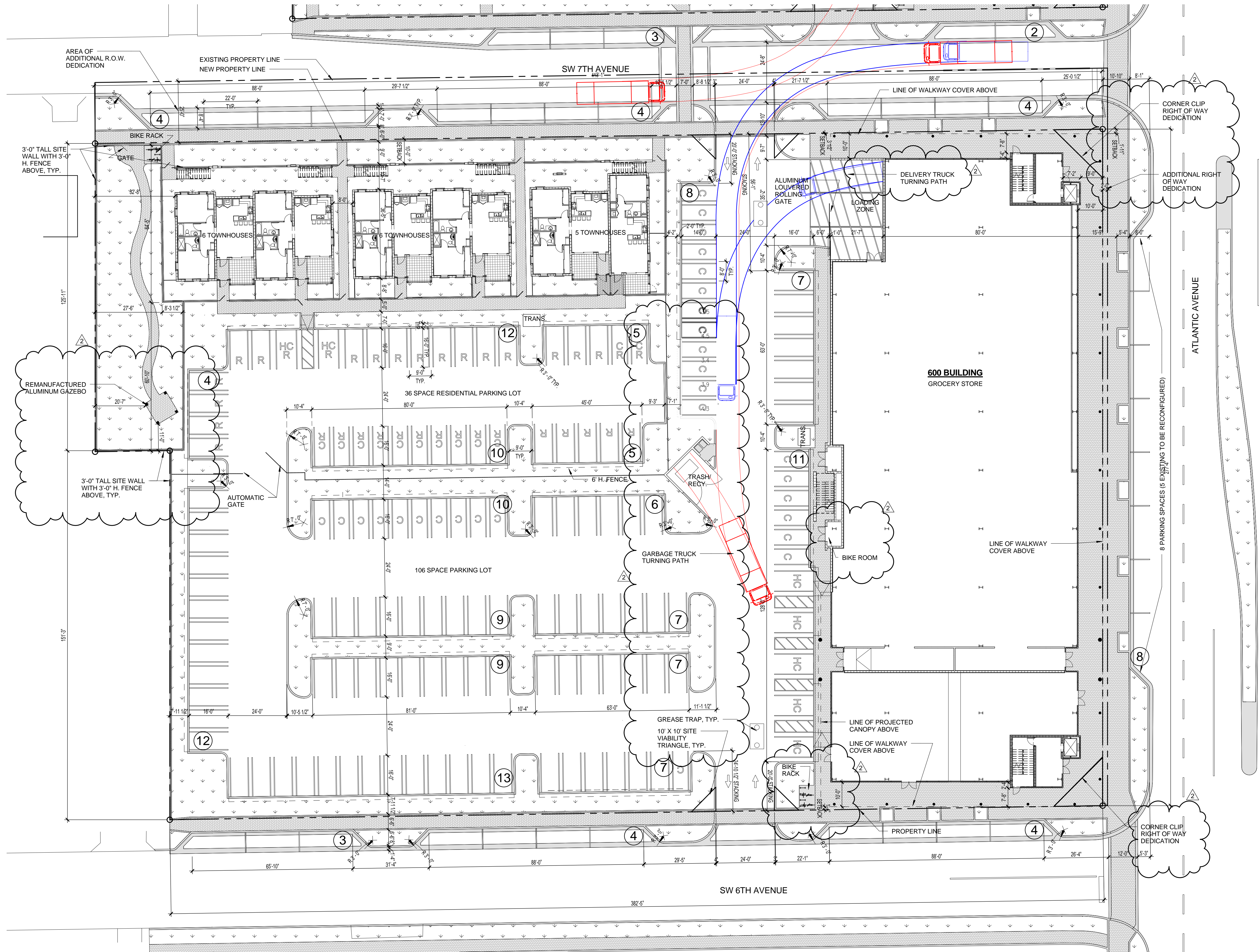
DATE  
10/6/2014

DRAWN BY  
CLA

JOB NUMBER  
121108

DRAWING NUMBER

**A1.02**



**1**  
A1.02  
1" = 20'-0"

**ENLARGED SITE PLAN - 600 BLOCK**

SPRAB 03-06-2015

THIS DOCUMENT IS THE PROPERTY OF CURRIE SOWARDS AGUILA ARCHITECTS INC.. ALL RIGHTS ARE RESERVED. ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT, WITHOUT THE WRITTEN CONSENT OF CURRIE SOWARDS AGUILA ARCHITECTS INC., IS PROHIBITED.  
8/23/2015 5:38:32 PM







