



Planning & Zoning Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Auto Zone Delray
Project Location: 220 North Federal Highway
Request: Class V Site Plan, Landscape Plan, Architectural Elevations, and a waiver request.

Board: Site Plan Review and Appearance Board
Meeting Date: April 13, 2016

Board Action:

Denied the waiver request (6-0, Andrew Youngross absent); Approved the Class V Site Plan and Landscape Plan (6-0); Approved the Architectural Elevation (5-1, Vlad Dumitrescu dissented).

Project Description:

The subject property is located at the southwest corner of NE 22nd Lane and North Federal Highway within the General Commercial (GC) zoning district, as well as the North Federal Highway overlay area. The development proposal consists of the construction of a one-story 7,381 square foot retail (auto parts) building; construction of 33 parking spaces with access from NE 22nd Lane via two two-way driveways; installation of associated landscaping; and, the provision of required site improvements including lighting and refuse collection. A waiver to LDR Section 4.4.9(F)(2)(a) was also submitted which requires a minimum building setback of 5' and a maximum setback of 15' in the North Federal Highway Area. The proposed building setback was 20'.

Staff raised concerns regarding the waiver request, and recommended denial as the setback requirement could be met. Staff recommended approval on the Site Plan and Landscape Plan subject to revising the building setback. Staff recommended approval of the Architectural Elevations as submitted.

Board comments:

The Board comments primarily focused on the building setback and the minimal revisions required to meet the requirement. The denial of the waiver will cause the building to be moved to a maximum 15 feet from North Federal Highway; the agent for the project agreed with this revision.

Public input:

No members of the public spoke for or against the project.

Associated Actions: All required actions were taken.

Next Action: SPRAB action is final.

SITE PLAN REVIEW AND APPEARANCE BOARD

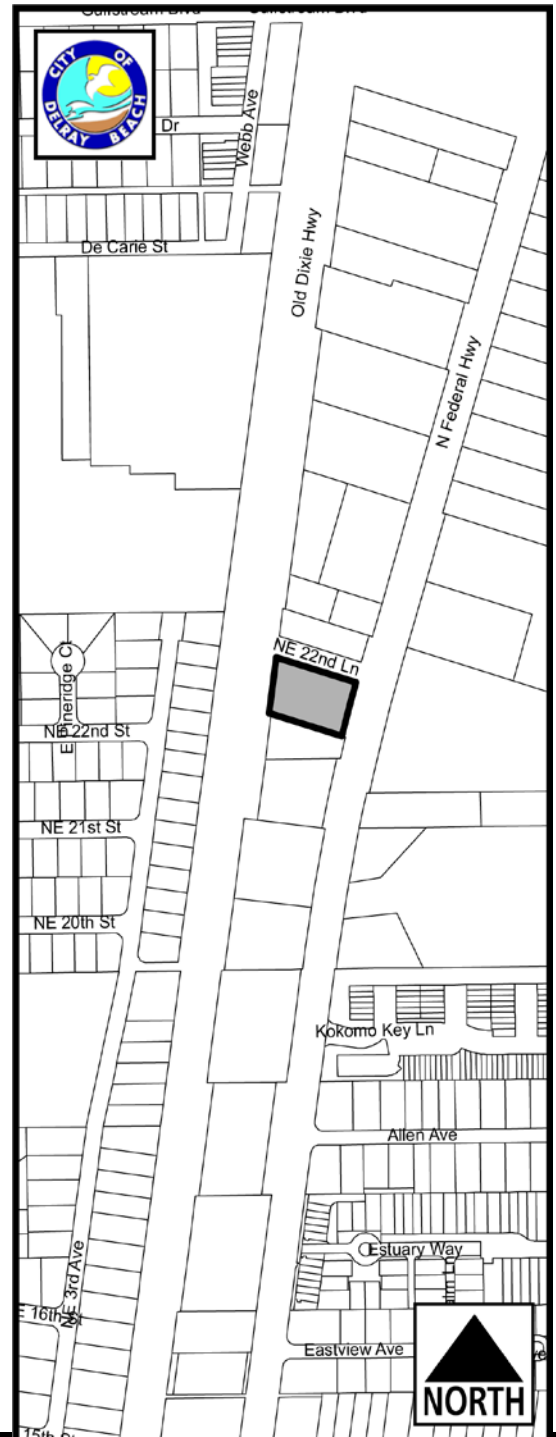
CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: April 13, 2016
ITEM: Auto Zone Delray (2015-166) – Class V Site Plan, Landscape Plan, Architectural Elevations and Waiver request for the construction of a one-story retail building and associated site improvements on the property located at 2200 North Federal Highway.
RECOMMENDATION: Approve subject to conditions.

GENERAL DATA:

Agent: Heide Belle, Henderson, PE, CPH, Inc.
Applicant: Auto Zone Stores, LLC
Owner: Bandera Holdings Company, Inc.
Location: The subject property is located on the southwest corner of Federal Highway and NE 22nd Lane.
Property Size: 0.88 Acres
Future Land Use Map: GC (General Commercial)
Current Zoning: GC
Adjacent Zoning:
North: GC
East: GC
South: GC
West: R-1-A (Single Family Residential)
Existing Land Use: Vacant
Proposed Land Use: Retail
Water Service: 8" water main connection to the west
Sewer Service: 8" sewer main connection to the west



ITEM BEFORE THE BOARD

The action before the Board is approval of a Class V Site Plan, Landscape Plan, Architectural Elevations, and a waiver request for **Auto Zone Delray**, located at **2200 North Federal Highway**, pursuant to LDR Section 2.4.5(F)(5).

BACKGROUND

The subject property consists of Lot 2 of the North Federal Highway Replat, and is located at the southwest corner of NE 22nd Lane. The vacant property, which consists of 0.88 acres, is located within the General Commercial (GC) zoning district, as well as the North Federal Highway overlay area.

At its meeting of December 8, 2010, a Class V Site Plan (2011-001) was approved for the construction of a two-story office building. Two waivers were approved with the Site Plan, one to increase the front setback to 34.5', and the other to permit the sidewalk and retaining wall to be located within the required 10' special landscape area at the front of the property. The approval for this project expired, and the property has remained vacant.

PROJECT DESCRIPTION

The development proposal consists of the following:

- Construction of a one-story 7,381 square foot retail (auto parts) building;
- Construction of 33 parking spaces with access from NE 22nd Lane via two two-way driveways;
- Installation of associated landscaping; and,
- Provision of required site improvements including lighting and refuse collection.

A waiver to LDR Section 4.4.9(F)(2)(a) has been submitted which requires a minimum building setback of 5' and a maximum setback of 15' in the North Federal Highway Area. The proposed building setback is 20'.

SITE PLAN ANALYSIS

Pursuant to **LDR Section 3.1.1(D), Compliance with LDRs**, whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. The applicable LDRs have been identified and reviewed as throughout this report.

General Commercial Zoning District Requirements

Pursuant to **LDR Section 4.4.9(B)(1)(a), General Commercial, Principal Uses and Structures Permitted**, the general retail of automotive parts is permitted.

Pursuant to **LDR Section 4.4.9(F), Development Standards**, the development standards set forth in Section 4.3.4 shall apply except as modified. The chart below illustrates the applicable development standards.

Pursuant to **LDR Section 4.4.9(F)(2)(a), Development Standards, North Federal Highway Area**, parcels shall have a minimum front building setback of 5' measured from the ultimate right-of-way line. The maximum setback shall be 15', unless it can be demonstrated to the Site Plan Review and Appearance Board that it is not feasible to comply with this standard. The proposed setbacks along the front of the building is a minimum of 20'

DEVELOPMENT STANDARDS	Requirement	Provided
Building Height (Maximum)	48'	15'10" – 17'10"*
Building Setbacks		
Front (East)	5' – 15'	20' – 27'**
Side Interior (South)	10'	12.94'
Rear (West)	10'	86.6'
Side Street (North)	10'	76.67'
Open Space	25%	35.28%
Lot Coverage	---	19.29%

*The parapet measures up a height of 21' – 23', and is utilized to screen the roof equipment.

**The applicant has requested a waiver from the front setback requirement.

The proposal meets the applicable development standards with the exception of the front setback which requires a minimum 5' front setback, and a maximum 15' front setback. These requirements are to provide a better relationship between the building and the street. The proposed setback, however, is 20' where the front columns for the front entry feature are located on a portion of the building, and the front wall plane is set further back at 27'. As previously noted, a waiver to increase the front setback has been submitted.

Special Landscape Area

Pursuant to **LDR Section 4.4.9(H)(1), Special Regulations**, the first ten feet of the front yard setback which is adjacent to a right-of-way shall be a landscaped area, except within the North Federal Highway Area as defined in 4.4.9(F)(2), which is subject to the special landscape setbacks of Section 4.3.4(H)(6)(b). Pursuant to **LDR Section 4.3.4(H)(6)(b)**, along Federal Highway (U.S. Highway 1), including the one-way pairs (5th and 6th Avenues), extending from S.E. 10th Street to the north City limits, but excluding the blocks between S.E. 1st Street and N.E. 1st Street, a 10' special landscape area shall be provided on both sides of the ultimate right-of-way.

The special landscape area shall not be required between the front building edge and the ultimate right-of-way where storefronts face the roadway and no parking or vehicular circulation areas are provided between the building and the right-of-way. However, the body acting upon the development application may require that foundation plantings, street trees or other landscape features be installed in front of the building to add interest and provide relief from the building mass.

The subject property has provided the special landscape area at the front of the property as required above. There is a 10' utility easement along the front of the property which assists in providing this required landscaping, including in front of the building.

Refuse Storage

Pursuant to **LDR Section 4.6.6(C), Restrictions on Outside Usage**, Dumpsters, recycling containers, and similar service areas must be enclosed on three sides and have vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public right-of-way.

The refuse area is located to the back of the building adjacent to the south property line. The dumpsters will be screened on three sides with a 6' tall masonry wall, accented by a 4" masonry cap. The lower portion will be finished with split face concrete, while the upper portion (separated by an 8" wood trim) will be finished with stucco. A wood (treated pine), double gate on the north side will provide access to the dumpsters.

Lighting

Pursuant to **LDR Section 4.6.8(A)(1), General Requirements, Luminaries Height**, the maximum height for luminaires on buildings and structures is 25' or eave overhang, whichever is lower, and 25' for a parking lot.

Pursuant to **LDR Section 4.6.8(A)(2), Cutoff Luminaire Required**, all perimeter exterior lighting shall be full cutoff luminaires to minimize spillover on adjacent properties. In order to decrease urban glow, no luminaires shall be directed upwards.

The proposed lighting consists of three 20' high 5" square aluminum pole in a bronze finish placed adjacent to the parking area; four wall mounted fixtures located on the north and west elevations at 12' high; and, four down lights at 12' within the roof of the covered entry. All fixtures are specified to provide LED lighting. The fixtures are directed downward, and there is minimal spillover as the perimeter levels range from 0.0 to 0.4 footcandles.

Pursuant to **LDR Section 4.6.8(A)(3), Illumination Standards**, the applicable illumination standards are as follows:

	Foot Candles		
	Max Permitted	Min. Permitted	Provided
Building Entrance	10.0	1.0	3.6-1.0
Commercial Parking Lot	12.0	1.0	4.0-1.0

The proposed lighting levels are within the minimum and maximum foot candle ranges which will provide ample lighting for the parking area and entrance.

Parking

Pursuant to **LDR Section 4.6.9(C)(3)(a), Requirements for Commercial Uses, General Commercial Uses**, shall provide 4.5 spaces per 1,000 square feet of gross floor area which includes retail floor area, associated warehouse and storage floor area, and employee and management facilities. The proposed square footage is 7,381, which requires 33 parking spaces as provided on the plans and thereby complying with the requirement. The spaces consist of 2 handicap, 9 compact, and 22 standard.

Right of Way

Pursuant to **LDR Sections 5.3.1(A) and (D)**, and **Table T-1** of the Comprehensive Plan Transportation Element, the following table describes the required rights-of-way and the existing rights-of-way adjacent to the subject property:

	ROW Requirement	Existing ROW	Proposed ROW	Required Dedication
North Federal Highway	120'	60' to center line	60' to center line	0'
NE 22 nd Lane	60'	60'	60'	0'
North Dixie Highway	60'	60'	60'	0'

In consideration of the above, it is noted that the Plat for North Federal Highway illustrates a 50' right of way to the center line of North Federal Highway plus a 10' wide Tract "B" which was dedicated with the plat. This right of way width is illustrated on the plans.

Sidewalks

A 5' sidewalk will be constructed along the west and north property lines; a sidewalk exists along the east property line, adjacent to North Federal Highway. The sidewalk along North Federal Highway, however, measures just 4' whereas 5' is required. Therefore, an additional 1' is required, and has been provided. It is noted that the sidewalk will slightly jog to the east as it adjusts around the bus shelter to located at the front of the property.

Crime Prevention Through Environmental Design (CPTED)

A review was conducted by the Police Department for compliance with CPTED principals, and found to be in compliance as good natural surveillance has been provided throughout the property. Lighting improvements will enhance safety during off hours, and vegetation species are low growing at the building entrances, which eliminates ambush points.

WAIVER ANALYSIS

Pursuant to **LDR Section 2.4.7(B)(5)**, prior to granting a waiver, the approving body shall make a finding that the granting of the waiver:

- (a) Shall not adversely affect the neighboring area;
- (b) Shall not significantly diminish the provision of public facilities;
- (c) Shall not create an unsafe situation; and
- (d) Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.

As previously indicated, **LDR Section 4.4.9(F)(2)(a)** requires that the subject property have a minimum front building setback of five feet (5') and a maximum setback shall be fifteen feet (15'), unless it can be demonstrated to the Site Plan Review and Appearance Board that it is not feasible to comply with this standard. The provided setback ranges from 20' to 27'.

The applicant has submitted the following justification in support of the waiver:

"...the requested waiver would allow room for the required building foundation planting,...the extra space will be used to connect the building to the public sidewalk creating an ADA accessible route for the public..."

The complete request letter is provided as an attachment.

The intent of the specified minimum and maximum setbacks within the North Federal Highway area is to provide a new urbanism design approach similar to the downtown commercial core area, which is more focused on the pedestrian and provides an improved relationship between the buildings and streetscape. The provided setback pushes the building further back seven to twelve feet than what is required, thereby adversely affecting the neighboring area by not meeting the intent of the requirement. While direct pedestrian access is provided from the sidewalk along North Federal Highway, compliance can be achieved via redesign and moving the building closer to North Federal Highway, by at least 5' to the east. This would permit the columns to meet the 15' maximum setback, with the balance of the building situated at 22'. ADA accessibility would remain with this revision. Therefore, the granting of this waiver request would

be considered a special privilege, as compliance appears to be possible. Given these reasons, positive findings cannot be made with respect to LDR Section 2.4.7(B)(5), Waiver Findings.

LANDSCAPE ANALYSIS

The proposed landscaping consists of a mixture of trees, 64% of which are native, shrubs, and groundcovers. The required landscape area along the front of the property will contain four White Geiger trees at an 8' height, two 20' high Royal Palms, two Montgomery Palms at 16' – 22' in height, and a 16' high Pink Trumpet Tree, in addition to the varied shrubs and groundcovers. A significant amount of landscaping, including many shade trees will be provided along the perimeter of the property.

The proposed landscape plan has been reviewed for compliance with LDR Section 4.6.16, and has been deemed complete with no outstanding technical issues remaining.

ARCHITECTURAL ELEVATIONS

Pursuant to **LDR Section 4.6.18(E), Criteria for Board Action**, the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed building is simple and typical in its design approach as it is a national chain with a commonly recognizable character and color scheme. The front elevation is accented by the covered walkway which juts out from the building, which is also located on the north elevation where patrons will enter the business. While the design itself is not indicative of Delray Beach, it is not offensive and will not materially depreciate the local environment. The color scheme consists of an array of neutral beige and orange tones, appropriate to the simplistic building style. The walls are broken up with a split face concrete base with lightly textures stucco walls on the balance of the elevations. An 8" wood banding detail separates these two finishes, similar to the detailing of the dumpster enclosure. The cornice upper banding and cornice are also specified as wood. Overall, the proposal will be complimentary to the properties surroundings and not cause material depreciation. Therefore, positive findings can be made with respect to the elevations and overall design.

It is noted that the signage has been included on the elevations, but should be removed prior to plan certification so as to not be misconstrued as approval for the signage. Signage review is required to be applied for, reviewed, and approved separately.

REQUIRED FINDINGS

Pursuant to **LDR Section 2.4.5(F)(1)(a), Class V Site Plan**, a new application for development of vacant land, or for modification of a developed property when no valid site plan of record exists and which requires full review of Performance Standards found in Section 3.1.1.

Pursuant to **Section 3.1.1, Required Findings**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body, which has the authority to approve or deny the development application. These findings relate to the following:

Section 3.1.1(A), Future Land Use Map: The subject property has a GC (General Commercial) Future Land Use Map and Zoning Map designation. As previously noted, the proposed retail use for automotive parts is permitted as a principal use in the GC zoning district. Therefore, the proposal is consistent with the Future Land Use Map designation.

Section 3.1.1(B), Concurrency: As described in Appendix A, a positive finding of concurrency can be made as it relates to water, sewer, streets and traffic, drainage, parks and recreation, open space, schools, and solid waste.

Section 3.1.1(C), Consistency (Standards for Site Plan Actions): As described in Appendix B, a positive finding of consistency can be made as it relates to Standards for Site Plan Actions.

Section 3.1.1 (D), Compliance With the Land Development Regulations: As described under the Site Plan Analysis of this report, a positive finding of compliance with the LDRs can be made, subject to approval of the setback waiver request.

Section 2.4.5 (F)(5), Compatibility (Site Plan Findings): The approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The subject property is bordered on the north and south by GC (General Commercial), on the east by AC (Automotive Commercial) zoned property (across Federal Highway) and on the west by R-1-A zoned property (across Old Dixie Highway and the FEC Railroad). The surrounding land uses are the Weatherspoon Carwash to the north, vacant property to the south, an auto dealership to the east, and residential development to the west. The proposed retail use is permitted and will be complimentary to the other auto related uses on adjacent properties, as well as a generally needed use by the local residents. A positive finding that the proposed development will be compatible with the adjacent and nearby properties can be made.

Comprehensive Plan Policies: A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable policies and objectives are noted:

Future Land Use Element Objective A-1: Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

The property has not been developed and is within a mixed use and commercial corridor (North Federal Highway). The proposed retail development is consistent with the surrounding commercial uses. Further, the proposed development is consistent with the North Federal Highway Redevelopment Plan (with the exception of the front setback requirement). There are no special physical or environmental characteristics of the land that would be negatively impacted by the proposed development.

REVIEW BY OTHERS

At its meeting of June 25, 2015, the **Community Redevelopment Agency (CRA)** reviewed and recommended approval of the proposed site plan.

Special **courtesy notices** were provided to the Homeowners Associations of **Seacrest Neighborhood, Kokomo Key** and **La Hacienda**, as well as the **Delray Citizen's Coalition**.

Letters of support and objection, if any, will be presented at the SPRAB meeting.

ASSESSMENT AND CONCLUSION

The development proposal involves the construction of a new, one-story corporate retail building. While the development will be an improvement to the vacant lot, the building is generic and not indicative of its location in Delray Beach. Further, the additional setback provided is of concern, as it does not meet the vision for the North Federal Highway area where buildings are desired to have a better relationship with the streetscape and provide an improved experience for pedestrians. The proposal does meet the City's technical requirements of the LDRs and is otherwise consistent with the Comprehensive Plan. As a result, positive findings can be made with respect to Section 2.4.5(F)(5), regarding compatibility of the proposed development with surrounding properties, subject to the recommended revisions.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the request for a waiver, Class V Site Plan, Landscape Plan, and Architectural Elevations for (2015-166) for **Auto Zone Delray**, located at **2200 North Federal Highway**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), 2.4.7(B)(5), and Chapter 3 of the Land Development Regulations, subject to the attached conditions of approval.
- C. Move denial of the request for a waiver, Class V Site Plan, Landscape Plan, and Architectural Elevations for (2015-166) for **Auto Zone Delray**, located at **2200 North Federal Highway**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(F)(5), 2.4.7(B)(5), and Chapter 3 of the Land Development Regulations.

STAFF RECOMMENDATION

By Separate Motions:

Waiver

Deny the waiver to LDR Section 4.4.9(F)(2)(a), which requires a minimum setback of 5' and a maximum setback of 15' in the North Federal Highway Area, whereas a setback of 20' to 27' is proposed at the front, based upon a failure to make positive findings with LDR Section 2.4.7(B)(5).

Site Plan

Approve the request for a Class V Site Plan (2015-166) for **Auto Zone Delray**, located at **2200 North Federal Highway**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), and Chapter 3 of the Land Development Regulations, subject to the condition that the building be relocated forward on the property by 5'.

Landscape Plan

Approve the Landscape Plan (2015-166) for **Auto Zone Delray**, located at **2200 North Federal Highway**, based upon positive findings with respect to Section 4.6.16 of the Land Development Regulations, subject to revision in accordance with the setback revision of the building.

Architectural Elevations

Approve the Architectural Elevations (2015-166) for **Auto Zone Delray**, located at **2200 North Federal Highway**, based upon positive findings with respect to LDR Section 4.6.18.

APPENDIX A CONCURRENCY FINDINGS

Pursuant to **LDR Section 3.1.1(B)** Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water & Sewer: Water service is to be provided via a service lateral connection to the existing 8" water main along the west side of the property. Adequate fire suppression is provided via three existing fire hydrants. Sewer service is to be provided via two service lateral connections to the existing 8" sewer main located within the Old Dixie Highway right-of-way.

Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Drainage: A grading plan has been submitted indicating that drainage will be accommodated via installation of an exfiltration system in the parking area, and have provided multiple swales around the perimeter of the property and within the adjacent right of way.

Streets and Traffic: A Traffic Impact Statement has been submitted that indicates that the proposed retail building will generate approximately 274 average daily trips and with 44 PM peak hour trips estimated. The Palm Beach County Traffic Engineering Division has determined that the proposal meets the Traffic Performance Standards of Palm Beach County.

Parks and Recreation Facilities: Park and recreation requirements do not apply to nonresidential uses as they do not create a need or impact on this level of service standard.

Solid Waste: Based upon the Solid Waste Authority's Trash Generation Rates, trash generated each year by the proposed 7,381 square foot retail building will be 11.22 tons of solid waste per year ($2,200 \times 10.2 \div 2,000 = 11.22$). The increase can be accommodated by existing facilities, thereby meeting this level of service standard as the Solid Waste Authority forecasts that capacity will be available through the year 2047.

School Concurrency: A finding of concurrency is not required for the non residential project.

<p style="text-align: center;">APPENDIX B STANDARDS FOR SITE PLAN ACTIONS</p>

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

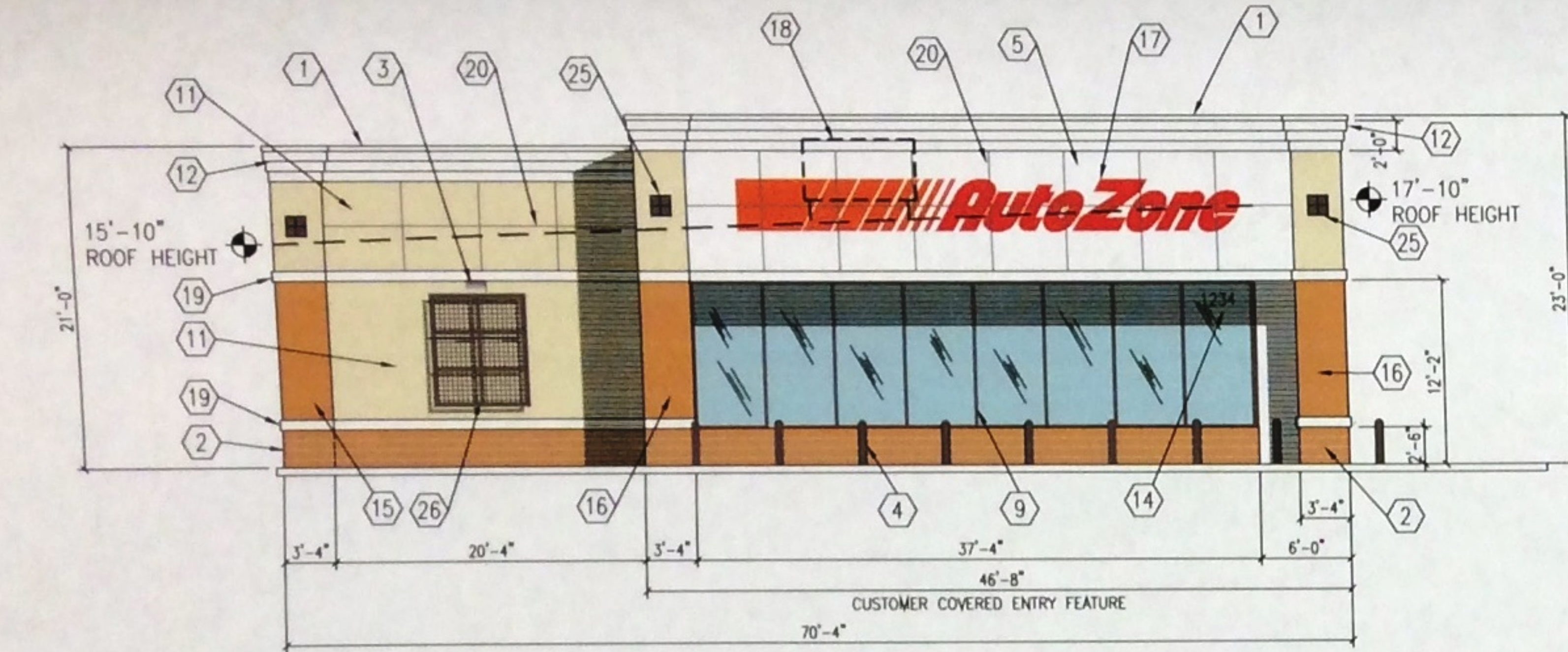
- F. Vacant property shall be developed in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable _____

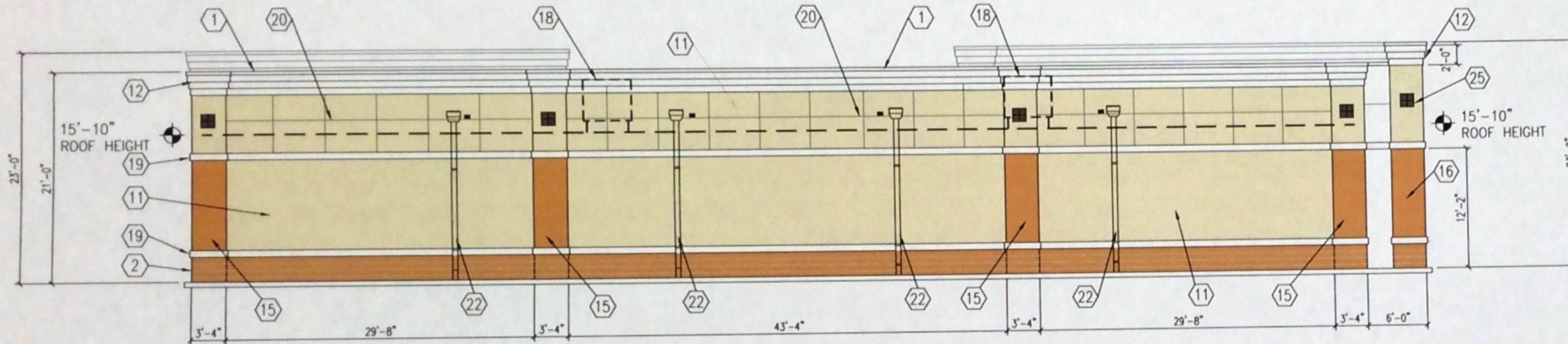
Meets intent of standard X

Does not meet intent _____

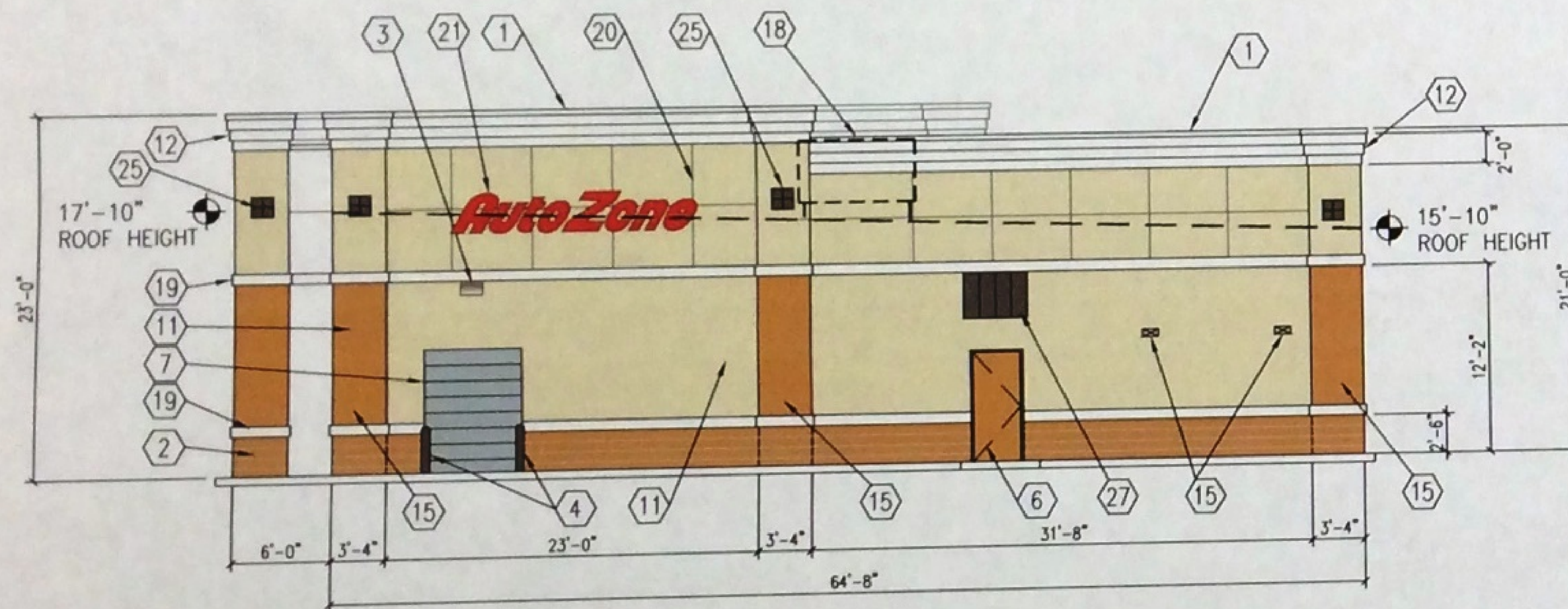
Does not meet intent



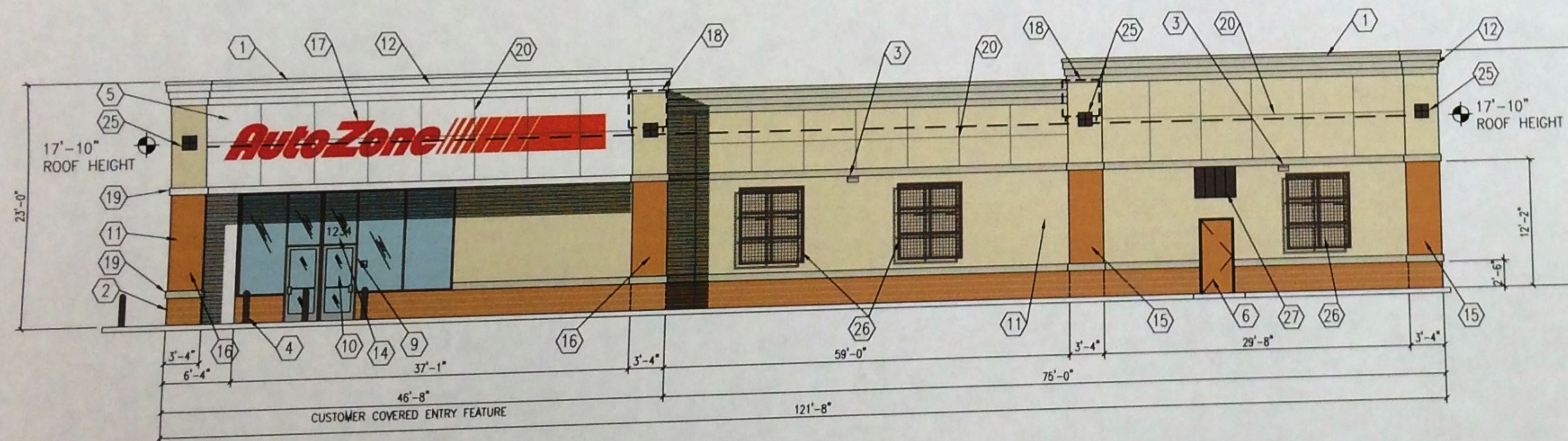
FRONT WALL
(East View)



LEFT SIDE WALL
(South View)



REAR WALL
(West View)

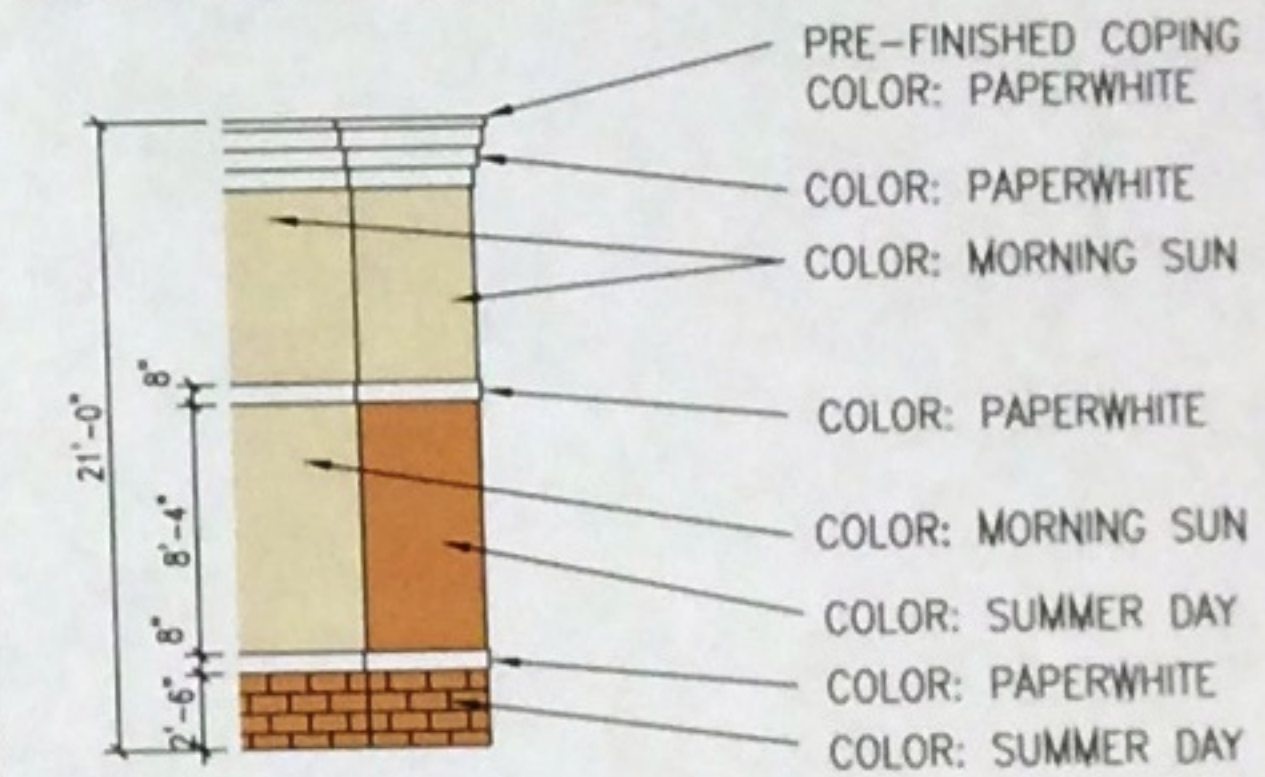


RIGHT SIDE WALL
(North View)

- 1 PREFINISHED ALUMINUM COPING COLOR: SW 7105 "PAPERWHITE"
- 2 SPLIT FACE CONCRETE MASONRY UNITS SEE PAINT DETAIL SCHEME THIS SHEET
- 3 WALL MOUNTED LIGHT FIXTURE - BRONZE FINISH
- 4 PIPE GUARD WITH ARCHITECTURAL BROWN SLEEVE
- 5 MFG. WHITE EXTERIOR INSULATED FINISH COLOR: SW 7105 "PAPERWHITE"
- 6 PAINT MAIN DOOR SW 6662 "SUMMER DAY" METAL FRAMES SW "ANTIQUE BRONZE"
- 7 OVERHEAD DOOR - DO NOT PAINT PAINT ANGLES SW "ANTIQUE BRONZE"
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT SYSTEM - BRONZE FINISH TINTED GLASS WINDOWS
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 CMU BLOCK W/ STUCCO FINISH - SEE PAINT SCHEME DETAIL THIS SHEET
- 12 DECORATIVE WOOD CORNICE COLOR: SW 6091 "RELIABLE WHITE"
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 3'-4" WIDE CMU PILASTER (4" PROJECTION)
- 16 CMU COLUMN 3'-4" SQUARE
- 17 WALL SIGN - 40" HIGH RED CHANNEL LETTERS WITH ORANGE STRIPES
- 18 HVAC UNITS SCREENED BEHIND PARAPET WALL
- 19 8" HIGH X 1" DEPTH WOOD TRIM W/ E.F.S.
- 20 1" WIDE SCORED JOINT (TYP.)
- 21 WALL SIGN - 30" HIGH RED CHANNEL LETTERS
- 22 SCUPPERS AND DOWNSPOUTS, PAINTED TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER, FLOWLINE 2" ABOVE ROOF.
- 23 N/A
- 24 N/A
- 25 (4) 8" X 8" GLAZED CERAMIC TILE MEDALLION COLOR: DARK BRONZE
- 26 METAL TRELLIS COLOR: SHERWIN WILLIAMS "ANTIQUE BRONZE"
- 27 3'-2" HIGH X 3'-2" DEPTH METAL STANDING SEAM AWNING COLOR: DARK BONZE

1 ELEVATION KEY NOTES

COLORS:
SHERWIN WILLIAMS "PAPERWHITE" - SW 7105
SHERWIN WILLIAMS "MORNING SUN" - SW 6672
SHERWIN WILLIAMS "SUMMER DAY" - SW 6662



2 EXTERIOR WALL COLOR SCHEME

GENERAL NOTES:

1. REFER TO SECTIONS 09800 AND 09900 OF THE SPECIFICATIONS FOR PAINT AND EXTERIOR COATINGS.
2. PAINT RESTROOM WALL VENTS TO MATCH THE ADJACENT WALL COLOR.
3. SEALANT AT EXPANSION JOINTS TO MATCH ADJACENT WALL COLOR.
4. ALL MASONRY JOINTS TO BE CONCAVE TOOLED.

3 GENERAL NOTES

SIGNAGE NOTES:

1. GENERAL CONTRACTOR SHALL RECEIVE AND INSTALL OWNER FURNISHED WALL MOUNTED SIGN IN THE LOCATIONS INDICATED ON THE DRAWINGS. SIGN IS INTERNALLY ILLUMINATED.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
3. INSTALL SIGN AND ANCHORAGE IN ACCORDANCE WITH ATTACHED SIGN MANUFACTURER'S DRAWINGS. SEE SN-1
4. SEE SHEET E3 FOR LOCATIONS OF J-BOXES TERMINATING EACH WALL SIGN CIRCUIT.

4 SIGNAGE NOTES - BUILDING

AUTOZONE STORES LLC
123 South Front Street
Memphis, Tennessee 38103
TEL: (901) 495-8709 FAX: (901) 495-8969

Prepared For: **AutoZone** STORE DEVELOPMENT
Store No. 6348
U S HIGHWAY 1
DERAY BEACH, FL 33483

REVISIONS

NO.	DESCRIPTION
1.	
2.	
3.	
4.	

DATE
03/31/16

PROTOTYPE SIZE
7N2

PS

COLOR ELEVATIONS

SCALE: 1/8" = 1'-0"

Drawing Name: J:\A20130\Civil\DWG\Design - A20130 - Cover.dwg, Mar 31, 2016 - 2:49pm morales

CONSTRUCTION PLANS FOR

AutoZone

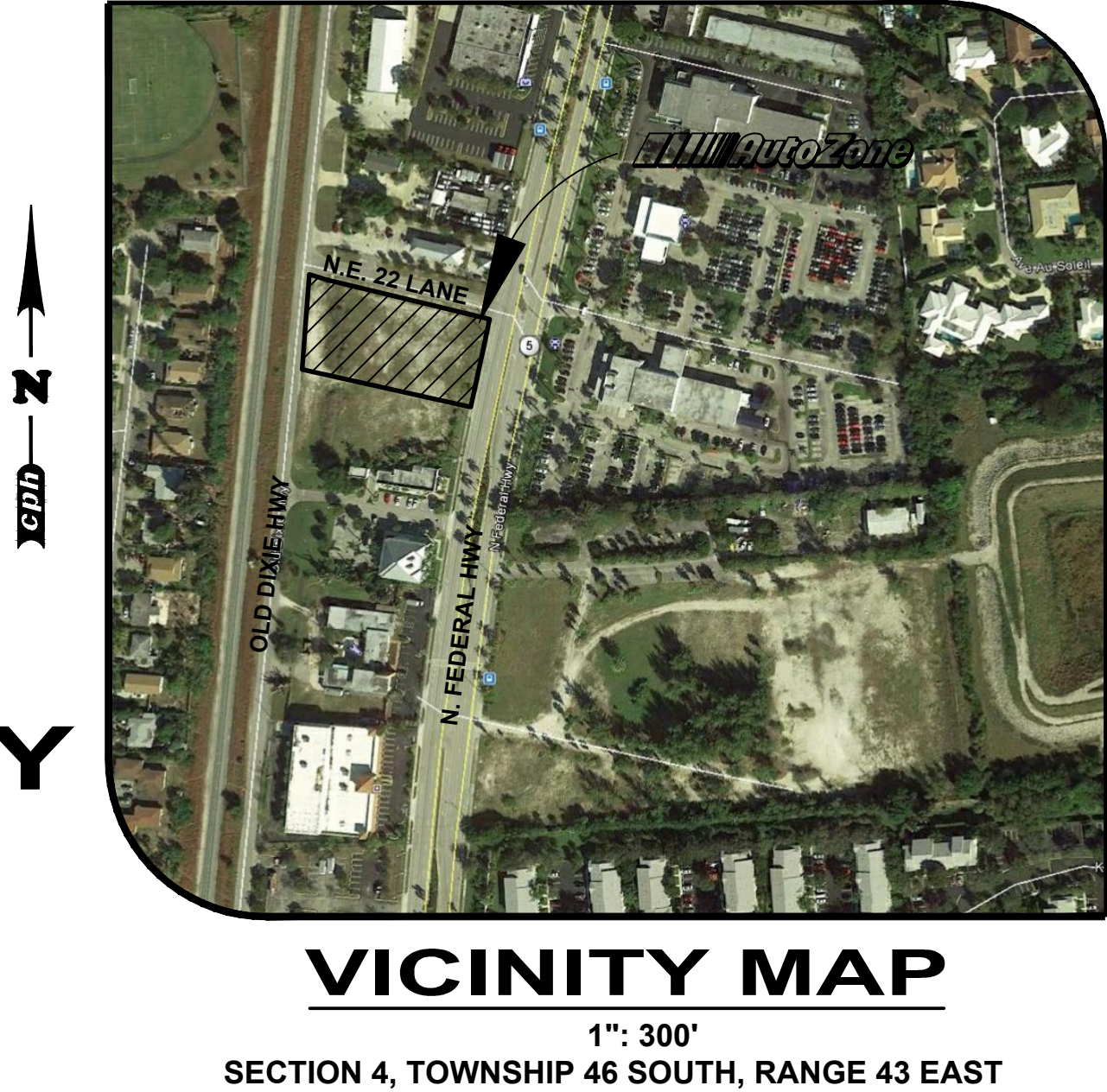
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STORE NO: 6348

S.W. CORNER OF N.E. 22ND LANE AND NORTH FEDERAL HWY

DELRAY BEACH, FLORIDA

PARCEL ID: 12-43-46-04-35-000-0020



VICINITY MAP

1"= 300'
SECTION 4, TOWNSHIP 46 SOUTH, RANGE 43 EAST

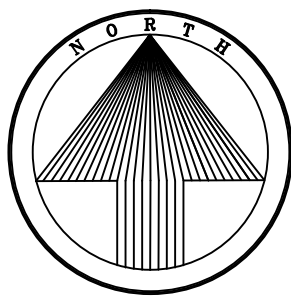
CONSULTANTS	UTILITY PROVIDERS	APPROVAL AGENCIES	INDEX OF SHEETS
<div>DEVELOPER</div> <div>AUTOZONE STORES, LLC 123 SOUTH FRONT STREET MEMPHIS, TENNESSEE 38103 (901) 495-8701 ATTN.: WADE DAVIS</div> <div>ARCHITECT</div> <div>AUTOZONE STORES, LLC 123 SOUTH FRONT STREET MEMPHIS, TENNESSEE 38103 (901) 495-8707 ATTN.: GEORGE CALLOW</div> <div>OWNER</div> <div>BANDERA HOLDING COMPANY INC. 54 SW 2ND AVENUE BOCA RATON, FLORIDA 33432 ATTN.: EDWARD B. COHEN</div> <div>UTILITIES</div> <div>SEWER & WATER: CITY OF DELRAY BEACH 100 NW 1st AVENUE DELRAY BEACH, FLORIDA 33444 (561) 243-7040</div> <div>ELECTRIC: FLORIDA POWER & LIGHT-PALM BEACH (800) 778-9140 ALT: (800) 468-8243</div> <div>COMMUNICATION: AT & T DISTRIBUTION (800) 521 - 0579</div>	<div>ENGINEER</div> <div>CPH, INC. 1992 SW 1ST STREET MIAMI, FLORIDA 33135 (305) 274-4805 ATTN.: HEIDI BELLE HENDERSON, P.E.</div> <div>SURVEYOR</div> <div>BULLSEYE SURVEYING, INC. 4590 ULMERTON ROAD, SUITE 115 CLEARWATER, FLORIDA 33762 (727) 475-8088 ATTN.: GEORGE R. MARTIN, P.S.M.</div> <div>LANDSCAPE ARCHITECT</div> <div>CPH, INC. 500 WEST FULTON STREET SANFORD, FLORIDA 32771 (407) 322-6841 ATTN.: ANNE G. WEST, R.L.A.</div>	<div>FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION</div> <div>DOMESTIC WASTEWATER COLLECTION DIVISION SOUTHEAST DISTRICT 400 NORTH CONGRESS AVENUE, SUITE 200 WEST PALM BEACH, FLORIDA 33401-2913 (561) 681-6600</div> <div>FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION</div> <div>DRINKING WATER DIVISION CENTRAL DISTRICT SOUTHEAST DISTRICT 400 NORTH CONGRESS AVENUE, SUITE 200 WEST PALM BEACH, FLORIDA 33401-2913 (561) 681-6600</div> <div>CITY OF DELRAY BEACH</div> <div>PLANNING AND ZONING 100 NW 1st AVENUE DELRAY BEACH, FLORIDA 33444 (561) 243-7040 ATTN.: LANSHINA NGURUMO</div> <div>SOUTH FLORIDA RIVER WATER MANAGEMENT DISTRICT</div> <div>3301 GUN CLUB ROAD WEST PALM BEACH, FLORIDA 33416 (516) 682-6012 ATTN.: LAURA CORRY</div>	<div>C0.0 COVER SHEET</div> <div>C0.1 GENERAL NOTES</div> <div>1 OF 2 SURVEY COVER</div> <div>2 OF 2 SURVEY</div> <div>C1.0 STORMWATER POLLUTION PREVENTION PLAN</div> <div>C1.1 STORMWATER POLLUTION PREVENTION PLAN DETAILS</div> <div>C2.0 SITE DIMENSION PLAN</div> <div>C3.0 GRADING PLAN</div> <div>C3.1 SECTIONS</div> <div>C4.0 UTILITY PLAN</div> <div>C5.0 SITE DETAILS</div> <div>C5.1 CITY OF DELRAY BEACH UTILITY DETAILS</div> <div>C5.2 CITY OF DELRAY BEACH STANDARD DETAILS</div> <div>PH1.0 PHOTOMETRICS PLAN</div> <div>L1.0 LANDSCAPE PLAN</div> <div>L2.0 LANDSCAPE NOTES AND DETAILS</div> <div>IR1.0 IRRIGATION PLAN</div> <div>IR2.0 IRRIGATION DETAILS</div>
		NOTES	
		RIGHT-OF WAY DEDICATIONS WERE DEDICATED VIA 2005 NORTH FEDERAL HIGHWAY REPLAT PER PLAT BOOK 107 PAGE 43 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.	<div>Always call 811 two full business days before you dig</div> <div>Sunshine811.com</div> <div>www.sunshine811.com</div>
		<div>HEIDI BELLE HENDERSON LICENSE No. 72304 STATE OF FLORIDA PROFESSIONAL ENGINEER</div> <div><div>cph</div><div>A Full Service A & E Firm</div><div>Architects M / E / P Engineers Planners Environmental Surveyors Landscape Architects Traffic/Transportation</div><div>www.cphcorp.com</div><div>CPH JOB NUMBER: A20130</div></div> <div>Offices In: • Florida • Puerto Rico • Connecticut • Maryland • Texas</div> <div>Plans Prepared By: CPH, Inc. 1992 SW 1st Street Miami, FL 33135 Ph: 305.274.4805 Licenses: Eng. C.O.A. No. 3215 Arch. Lic. No. AA2600926 Survey L.B. No. 7143 Landscp. Lic. No. LC0000298</div>	

Prepared for: AutoZone Store Development

Store No.: 6348

CITY OF DELRAY BEACH, FL. 33483

COVER SHEET



NONE

REVISIONS

1. PER CITY
2. PER CITY
3. PER CITY

4.

5.

6.

7.

ARCHITECT: GC

DRAFTSMAN: JFJ

CHECKED BY: JDL

DATE
APRIL 2015

PROTOTYPE SIZE
7N2

C0.0

GENERAL PROJECT DATA

FOR IDENTIFICATION OF CONTRACTUAL AGREEMENTS, THIS SET OF DRAWINGS IS DATED MARCH 2015. ANY REVISIONS THEREAFTER WILL BE NOTED AND DATED ON THE AFFECTED DRAWING(S).

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ANY UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, THAT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE ENGINEER AND THE RESPECTIVE UTILITY COMPANY FOR RELOCATION OR PROPER INSTRUCTION. DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE RELOCATION OF VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT, AND NO EXTRA COMPENSATION WILL BE ALLOWED.

SOILS INVESTIGATIONS FOR THE SITE WERE PROVIDED BY ANTICUS ENGINEERING. THE CONTRACTOR IS TO OBTAIN A COPY OF THAT SOILS REPORT FOR REVIEW PRIOR TO CONSTRUCTION, AND THE CONSTRUCTION IS TO CONFORM TO THE RECOMMENDATIONS IN THAT REPORT.

SURVEY INFORMATION PREPARED BY BULLSEYE SURVEYING, INC OF CLEARWATER, FLORIDA.

PERMITS AVAILABLE TO CONTRACTOR:
CITY OF DELRAY BEACH PLANNING AND ZONING
SOUTH FLORIDA WATER MANAGEMENT DISTRICT PERMIT
FDEP WATER
FDEP SEWER

AS-BUILTS

AS-BUILTS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER TWO WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT DATA SHALL BE PROVIDED BY A FLORIDA LICENSED SURVEYOR, SIGNED, SEALED AND DATED BY THE RESPONSIBLE PARTY. SEE INDIVIDUAL SECTIONS (PAVEMENT, WATER SYSTEM, ETC.) FOR ADDITIONAL AS-BUILT REQUIREMENTS.

PERMITS AND PERMIT REQUIREMENTS

THE CONTRACTOR SHALL OBTAIN FROM THE ENGINEER COPIES OF ALL REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS. THE CONTRACTOR SHALL BE EXPECTED TO REVIEW AND ABIDE BY ALL THE REQUIREMENTS AND LIMITATIONS SET FORTH IN THE PERMITS.

LAYOUT AND CONTROL

UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR PROVIDED BY THE CONTRACTOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

QUALITY CONTROL TESTING REQUIREMENTS

TESTING SHALL BE PROVIDED TO THE OWNER/OPERATOR AND THE ENGINEER. TESTING REQUIREMENTS ARE TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPECIFICATIONS AND REQUIREMENTS. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS.

SHOP DRAWINGS

SHOP DRAWINGS AND CERTIFICATIONS FOR ALL STORM DRAINAGE AND WATER SYSTEMS. THE CONTRACTOR SHALL SUBMIT (6) COPIES OF SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION.

STORMWATER MANAGEMENT SYSTEM

OWNER/OPERATOR

THE ENTITY THAT WILL OPERATE AND MAINTAIN THE STORMWATER SYSTEM SHOWN ON THESE PLANS IS AUTOZONE STORES, LLC. THE CONTRACTOR SHALL BE EXPECTED TO MEET ALL THE REQUIREMENTS OF AUTOZONE STORES, LLC.

MATERIAL SPECIFICATIONS

ALL MATERIALS AND CONSTRUCTION METHODS ARE TO BE IN ACCORDANCE WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION, SECTION 400 (CONCRETE STRUCTURES) AND THE APPLICABLE FOOT INDEX NUMBER DETAIL AS SHOWN IN FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).

CORRUGATED POLYETHYLENE PIPE (CPP) SMOOTH INTERIOR SHALL CONFORM WITH AASHTO DESIGNATED M251 AND M252. PIPE MUST BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES FOR CULVERT STORM DRAINAGE APPLICATIONS. PREMIUM SPLIT WATERIGHT COUPLING MEETING ASTM D3212 IS REQUIRED AT ALL JOINTS. ACCEPTABLE MANUFACTURERS: ADVANCED DRAINAGE SYSTEMS, INC. "ADS N-12", HANCOX, INC. "HI-40", "JM PERMA-LOC", OR APPROVED EQUAL.

ALL STRUCTURES ARE TO BE PLACED ON A 12" - INCH BED OF CRUSHED STONE OR EQUAL AS APPROVED BY THE COUNTY ENGINEER AND FULLY ENVELOPED WITH FIBER.

THE DENSITIES AT UTILITY AND STORM STRUCTURES (INLET / MANHOLES WITHIN ROADWAY TO 3' IN BACK OF CURB) SHALL BE 98% WITHIN PAVEMENT AREAS, AND A DENSITY OF 95% FOR STRUCTURES OUTSIDE AREAS PER AASHTO - 180 (MODIFIED) IS REQUIRED.

ALL OTHER RELATED ITEMS REQUIRED FOR THE CONSTRUCTION OF THE STORM SYSTEM (OUTFALL PROTECTION, POLLUTION CONTROL, ETC.) ARE TO BE IN ACCORDANCE WITH DETAILS SHOWN ON THE CONSTRUCTION PLANS, FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND FOOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION LATEST EDITION.

AS-BUILTS

- THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER STORM DRAINAGE AS-BUILTS. AS-BUILTS SHALL CONTAIN, AT THE MINIMUM, BUT NOT LIMITED TO, INSTALLED STRUCTURE TOP ELEVATIONS, FLOW INVERT ELEVATIONS, PIPE LENGTH AND SIZE.
- TWO SETS OF SIGNED AND SEALED AS-BUILTS ARE TO BE SUBMITTED (2) WEEKS PRIOR TO THE FINAL INSPECTION WITH AN ACCOMPANYING COPY ON DISK FOR AUTOCAD USE.
- TOP ELEVATION OF EACH MANHOLE FRAME AND COVER AS WELL AS ALL OTHER STRUCTURES' (HEADWALLS, CONTROL STRUCTURES, ETC).
- INVERT ELEVATION OF EACH LINE ENTERING AND LEAVING EACH STRUCTURE, INCLUDING UNDERDRAIN PIPES.
- ACTUAL GRADE OF PIPE BETWEEN THE STRUCTURES.
- INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENTLY VISIBLE OBJECTS. TO ALL STORM STUB-OUTS.

EARTHWORK

THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS AND CALCULATIONS AS NECESSARY TO ASSURE HIMSELF OF EARTHWORK QUANTITIES. THERE IS NO IMPLICATION THAT EARTHWORK BALANCES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPORT FILL NEEDED, OR FOR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.

EROSION CONTROL

REFER TO EROSION CONTROL PLAN C1.0

LIMITS OF DISTURBANCE

THE LIMITS OF DISTURBANCE HAVE BEEN PROVIDED TO THE CONTRACTOR ON THE CONSTRUCTION PLANS. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THESE LIMITS. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF DAMAGED AREAS IN SURROUNDING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED.

CLEARING AND GRUBBING

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND GRUBBING FOR SITE CONSTRUCTION INCLUDING CLEARING FOR PAVING, UTILITIES, DRAINAGE FACILITIES AND BUILDING CONSTRUCTION. SEE PLANS FOR LIMITS OF CLEARING AND GRUBBING.

MATERIAL STORAGE / DEBRIS REMOVAL

ALL MATERIALS EXCAVATED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED AT ON-SITE LOCATIONS AS SPECIFIED BY THE OWNER. MATERIALS SHALL BE STOCKPILED SEPARATELY AS TO USABLE (NONORGANIC) FILL STOCKPILES AND ORGANIC (MUCK) STOCKPILES IF MUCK IS ENCOUNTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE.

FILL MATERIAL

ALL FILL MATERIALS SHALL CONTAIN NO MUCK, STUMPS, ROOTS, BRUSH, VEGETATIVE MATTER, RUBBISH OR OTHER MATERIAL THAT WILL NOT COMPACT INTO A SUITABLE AND ENDURING BACKFILL.

COMPACTION

FILL MATERIALS PLACED UNDER ROADWAYS SHALL BE COMPACTED TO AT LEAST 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. ALL OTHER FILL AREAS ARE TO BE COMPACTED TO AT LEAST 95% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. FILL MATERIALS SHALL BE PLACED AND COMPACTED IN A MAXIMUM OF 12" LIFTS. REFER TO SOILS REPORT FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND OWNER WITH PASSING RESULTS IN WRITTEN FORM. RESULTS SHALL BE PROVIDED ON A TIMELY AND REGULAR BASIS PRIOR TO CONTRACTOR'S PAY REQUEST SUBMITTAL.

SURFACE DRAINAGE

THE CONTRACTOR SHALL BE EXPECTED, AT THE END OF EACH DAY, TO HAVE THE SITE GRADED IN SUCH A WAY AS TO NOT CAUSE ANY ADVERSE IMPACT FROM RUNOFF OR SITUATION TO ANY ADJACENT PROPERTIES. SITUATION BARRIERS SHALL BE MAINTAINED AND RELIEF IF REQUIRED AT THE END OF EACH WORKING DAY.

GRADING SHOWN ON THESE PLANS IS PROVIDED TO THE CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR SHALL BE EXPECTED TO GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER PRIOR TO DEMOBILIZATION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED.

PAVEMENT

OWNER/OPERATOR

THE ENTITY THAT WILL OPERATE AND MAINTAIN THE PRIVATE ROADWAYS SHOWN ON THESE PLANS IS AUTOZONE STORES, LLC. THE CONTRACTOR SHALL BE EXPECTED TO MEET ALL THE REQUIREMENTS OF AUTOZONE STORES, LLC.

GENERAL DESIGN INTENT

ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCE AND EXIT GRADES TO INTERSECTIONS WILL HAVE TO BE STABLE IN THE FIELD AT ALL DIFFERENT GRADES IN THE CENTERLINE SHOWN ON THE PLANS. IN THESE AREAS, IT MAY ALSO BECOME ADVISABLE TO MAKE MINOR LOCAL FIELD ADJUSTMENTS IN THE CENTERLINE GRADES TO ACCOMPLISH THE PURPOSES OUTLINED. IN ADDITION, THE STANDARD CURVE WILL HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY IN THE AREA OF INTERSECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH THE ABOVE AND THE ENGINEER SHALL BE CONSULTED SO THAT HE MAY MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS TO ACCOMPLISH THE INTENT OF THE PLANS.

MATERIAL/CONSTRUCTION SPECIFICATIONS

MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

PAVEMENT SECTION REQUIREMENTS

CONSTRUCTION OF THE ON-SITE PAVEMENT SHALL BE AS SHOWN ON THE SITE DETAILS, SHEET C4.1.

SIDEWALKS

SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. THE SIDEWALK SHALL BE CONSTRUCTED OF 4" OF CONCRETE WITH A 28-DAY COMPRESSION STRENGTH OF 3000 PSI. JOINTS SHALL BE EITHER TOoled OR SAWCUT AT A DISTANCE OF 5' HANDICAPPED RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS AND BE IN ACCORDANCE WITH STATE REGULATIONS FOR HANDICAP ACCESSIBILITY.

ALL SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE AND 2% RUNNING SLOPE.

PAVEMENT MARKINGS / SIGNAGE

PAVEMENT MARKINGS AND SIGNAGE SHALL BE PROVIDED AS SHOWN ON THE CONSTRUCTION PLANS AND SHALL MEET THE REQUIREMENTS OF THE OWNER/OPERATOR. SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD (LATEST EDITION). A 14 DAY PAVEMENT CURING TIME WILL BE PROVIDED PRIOR TO APPLICATION OF THE PAVEMENT MARKINGS. REFLECTIVE PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH FOOT INDEX NO. 17352.

TRAFFIC CONTROL

A MINIMUM OF 2-WAY ONE LANE TRAFFIC SHALL BE MAINTAINED IN THE WORK SITE AREA. ALL CONSTRUCTION WARNING SIGNAGE SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND BE MAINTAINED THROUGHOUT CONSTRUCTION. ACCESS SHALL BE CONTINUOUSLY MAINTAINED FOR ALL PROPERTY OWNERS ADJACENT TO THE WORK SITE AREA. LIGHTED WARNING DEVICES ARE TO BE OPERATIONAL PRIOR TO DUSK EACH NIGHT DURING CONSTRUCTION.

CURBING

CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. CONCRETE FOR CURBS SHALL BE DEPARTMENT OF TRANSPORTATION CLASS "1" CONCRETE WITH A 28-DAY COMPRESSION STRENGTH OF 4000 PSI. ALL CURBS SHALL HAVE SAW CUT CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER. CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (1991) SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.

R/W RESTORATION

ALL AREAS WITHIN THE RIGHT-OF-WAY SHALL BE FINISH GRADED WITH A SMOOTH TRANSITION INTO EXISTING GROUND. ALL SWALES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED (SOODED) AFTER FINAL GRADING IN ACCORDANCE WITH THE CONSTRUCTION PLANS PRIOR TO FINAL INSPECTION. ALL SODDING SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE BY THE OWNER/OPERATOR.

(PAVEMENT TO BE MILLED AND RESURFACED 50 FEET FROM EDGE OF TRENCH ON BOTH SIDES OF PIPE FOR THE FULL WIDTH OF THE STREET PER FOOT STANDARDS)

AS-BUILTS

THE CONTRACTOR SHALL PROVIDE OWNER AND ENGINEER PAVEMENT AS-BUILTS. AS-BUILTS SHALL CONTAIN AT A MINIMUM, BUT NOT BE LIMITED TO, PAVEMENT WIDTHS, PAVEMENT CROSS SLOPES AND DRAINAGE DIRECTIONS WITH HIGH POINTS DELINEATED. SEE "GENERAL AS-BUILT REQUIREMENTS" FOR ADDITIONAL REQUIREMENTS.

SANITARY SEWER SYSTEM

OWNER/OPERATOR

THE ENTITY THAT WILL OPERATE AND MAINTAIN THE SEWER SYSTEM SHOWN ON THESE PLANS IS AUTOZONE STORES, LLC AND THE CITY OF DELRAY BEACH SEWER AND WATER. THE CONTRACTOR SHALL BE EXPECTED TO MEET ALL THE REQUIREMENTS OF AUTOZONE STORES, LLC AND THE CITY OF DELRAY BEACH SEWER AND WATER.

MATERIALS

ALL SANITARY SEWER PIPE SHALL BE PVC SEWER PIPE CONFORMING TO ASTM D3034 SDR-35, FOR 4" THROUGH TO 15" AND ASTM F679, WALL THICKNESS T - 1.

ALL SEWER FITTINGS SHALL BE PVC MEETING THE REQUIREMENTS OF ASTM D3034. FITTINGS SHALL BE SUITABLE FOR USE WITH SDR-35 GRAVITY SEWER PIPE. ALL FITTINGS SHALL HAVE ELASTOMERIC SEALING GASKETS.

JOINTS FOR GRAVITY SEWER PIPE AND ALL FITTINGS SHALL BE ELASTOMERIC RUBBER SEALS. GASKETS SHALL CONFORM TO ASTM F477.

CONSTRUCTION METHODS

INSTALLATION OF GRAVITY SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

TRENCHING AND BACKFILL SHALL BE PER DETAILS PROVIDED IN THE CONSTRUCTION PLANS. BACKFILL SHALL BE TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 FOR UNDER PAVEMENT. ALL OTHER COMPACTED OF BACKFILL SHALL BE TO 95% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.

INSTALL ALL SEWER MAINS AT A MINIMUM 36" OF COVER.

CONNECTIONS TO EXISTING SEWER SHALL BE CONDUCTED IN SUCH A MANNER THAT THE EXISTING SEWER REMAINS IN OPERATION. PROVIDE BY PASS PUMPING OF EXISTING FLOWS OR COLLECT AND LEGALLY DISPOSE OF EXISTING SEWER FLOW AS NEEDED TO ACCOMMODATE CONSTRUCTION WHILE KEEPING EXISTING SEWER IN SERVICE.

PRIOR TO INSPECTIONS AND TESTING, CLEAN ALL INSTALLED LINES AND MANHOLES. TEST PROCEDURES SHALL BE APPROVED BY THE ENGINEER. ALL TESTS SHALL BE MADE IN THE PRESENCE OF THE ENGINEER AND UTILITY. NOTIFY THE ENGINEER AND THE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY WORK IS TO BE INSPECTED OR TESTED.

PROVIDE ALL EQUIPMENT FOR TESTING. INCREMENTS ON GAGES USED FOR LOW PRESSURE AIR TESTING SHALL BE OF SCALED TO THE NEAREST 0.1 PSI. GAGES, PUMPS, AND HOSES SHALL BE IN GOOD WORKING ORDER WITH NO NOTICEABLE LEAKS.

ALL SERVICE LATERALS SHALL BE COMPLETED PRIOR TO TESTING, AND ARE SUBJECT TO THE SAME TESTING REQUIREMENTS AS THE MAIN LINE.

PROVIDE LIGHT SOURCE AND MIRRORS FOR LAMPING OF SEWER. ANY SEWER IN WHICH THE DIRECT LIGHT OF A LAMP CANNOT BE VIEWED IN EITHER DIRECTION, FULL CIRCLE BETWEEN ADJACENT MANHOLES SHALL BE CONSIDERED UNSATISFACTORY, UNLESS THE LINE IS DESIGNED WITH HORIZONTAL DEFLECTIONS, AND SHALL BE REPAIRED BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION.

CONDUCT LOW PRESSURE AIR TESTING (4.0 PSI INITIAL PRESSURE) OF INSTALLED SEWER PIPING IN ACCORDANCE WITH ASTM F1417. MAXIMUM ALLOWABLE LEAKAGE IS 0015 CUBIC FEET PER MINUTE PER SQUARE FOOT INTERNAL SURFACE AREA BEING TESTED. ALLOWABLE AIR PRESSURE DROP DURING THE TEST IS 0.5 PSI. MINIMUM REQUIRED TEST TIME (DURATION) IS:
A) 4" PIPE = 1 MIN 53 SEC
B) 6" PIPE = 2 MIN 50 SEC, OR 0.427 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER;
C) 8" PIPE = 3 MIN 47 SEC, OR 0.760 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER;
D) 10" PIPE = 4 MIN 43 SEC, OR 1.187 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER;
E) 12" PIPE = 5 MIN 40 SEC, OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER.

CONDUCT LEAKAGE TESTING OF MANHOLES. PLUG INVERTS AND FILL MANHOLE WITH WATER. ALLOWABLE WATER DROP IN MANHOLE TO BE FIELD DETERMINED BY UTILITY AND ENGINEER. MINIMUM TEST DURATION IS 1 HOUR.

CONDUCT DEFLECTION TESTING OF PIPELINE AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. MAXIMUM ALLOWABLE PIPE DEFLECTION IS 5%. MEASURE DEFLECTION BY MANUALLY PULLING A MANDEREL THROUGH THE PIPE. THE MINIMUM MANDEREL OUTER DIAMETER SHALL BE 1/2" LESS THAN THE INSIDE DIAMETER OF THE PIPE. THE MANDEREL SHALL BE 1.25" DIAMETER. 12" SEWER = 9.08" MANDEREL; 12" SEWER = 10.79" MANDEREL; 15" SEWER = 13.20" MANDEREL; 18" SEWER = 16.13" MANDEREL; 21" SEWER = 19.00" MANDEREL; 24" SEWER = 21.36" MANDEREL; 27" SEWER = 24.06" MANDEREL.

DEFLECTION TESTING IS CONSIDERED SATISFACTORY IF THE MANDEREL CAN BE PULLED BY HAND THROUGH THE PIPE BEING TESTED. IF THE MANDEREL CANNOT BE PULLED THROUGH THE PIPE, REPLACE OR CORRECT THE PIPE AND RETEST UNTIL TESTING IS SATISFACTORY. ANY PIPE REMOVED OR CORRECTED DUE TO FAILING DEFLECTION TESTING SHALL ALSO BE RE-TESTED FOR LEAKAGE.

POLYETHYLENE WRAP USED FOR CORROSION PREVENTION ON DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/ASTM D1248. THE MINIMUM NOMINAL THICKNESS SHALL BE 0.005 IN. (8 MILS). INSTALLATION OF POLYWRAP SHALL BE IN ACCORDANCE WITH AWWA C105.

INSTALLATION OF GRAVITY SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

JOINTS SHALL MEET THE REQUIREMENTS OF ASTM D3212 USING ELASTOMERIC RUBBER SEALS. GASKETS SHALL CONFORM TO ASTM F477.

FITTINGS SHALL CONFORM TO THE SAME REQUIREMENTS AS THE PIPE. PROVIDE ADAPTERS AS REQUIRED TO JOIN PVC PIPE TO PIPE, FITTINGS AND EQUIPMENT OF OTHER MATERIALS. SOLVENT CEMENT SHALL BE AS RECOMMENDED BY THE PIPE MANUFACTURER.

PIPE IDENTIFICATION

PVC SEWER PIPES SHALL BE COLOR CODED GREEN, STENCILED "SEWER LINE" (2" LETTERING ON TWO SIDES OF THE PIPE IN AT LEAST THREE AREAS PER PIPE SECTION).

INSTALL ADDITIVE IDENTIFICATION TAPE ALONG PIPELINE. TAPE SHALL BE MINIMUM THICKNESS 4 MILS. WIDTH 8 INCHES. TESTING SIZE 1 INCH. TAPE COLOR AND LETTERING SHALL BE "SEWER LINE", BLACK PRINTING ON GREEN BACKGROUND. PLACE TAPE AS FOLLOWS: 2" - 8" PIPE - CENTER ALONG TOP HALF OF PIPE; 10" - 18" PIPE - PLACE ALONG BOTH SIDES OF THE TOP HALF OF PIPE; 20" PIPE AND LARGER - PLACE ON BOTH SIDES OF TOP HALF OF PIPE WITH A THIRD STRIP CENTERED ALONG TOP HALF OF PIPE.

INSTALL WARNING TAPE ALONG ALL SEWER PIPELINES. TAPE SHALL BE 8 INCH WIDE METALLIZED FOIL CONTINUOUS TAPE COLORED GREEN WITH BLACK LETTERING CODED AND WORDED "CAUTION: SEWER BURIED BELOW". INSTALL ALONG PIPELINE. 2 FEET ABOVE PIPE. MINIMUM OF 15" X MAX. 24" BELOW GRADE OR PER MANUFACTURER'S SPECIFICATIONS.

DEWATERING

IN THE EVENT THAT GROUND WATER IS ENCOUNTERED DURING THE CONSTRUCTION OF THE SANITARY SEWER SYSTEM, DEWATERING SHALL BE CONDUCTED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, INSTALLATION, OPERATION, AND SUBSEQUENT REMOVAL OF DEWATERING SYSTEMS AND THEIR SAFETY AND CONFORMITY WITH LOCAL CODES AND REGULATIONS. IF DEWATERING IS REQUIRED, IT SHALL NOT EXCEED ANY OF THE FOLLOWING: 1) 6" PUMP VOLUME; 2) 100,000 GPD TOTAL 24 HOUR (1 DAY) DEWATERING; AND: 3) 1,000,000 GPD PUMP CAPACITY. THE CONTRACTOR SHALL BE REQUIRED TO PERMIT THE DEWATERING SYSTEM WITH THE SURROUND. THE ENGINEER AND/OR OWNER SHALL BE NOTIFIED IMMEDIATELY IF ANY OF THE ABOVE THRESHOLDS ARE EXCEEDED.

AT ALL TIMES DURING CONSTRUCTION, KEEP EXCAVATIONS FREE FROM STANDING WATER. PUMPS, IF REQUIRED, SHALL BE LOCATED OUTSIDE OF LOAD BEARING AREAS SO THE BEARING SURFACES WILL NOT BE DISTURBED. WATER PUMPED FROM THE EXCAVATION SHALL BE DISCHARGED TO PREVENT RE-ENTRY INTO THE SOIL STRATA BEING DEWATERED. WATER CONTAINING SILT IN SUSPENSION SHALL NOT BE PUMPED INTO SEWER LINES OR ADJACENT STREAMS. THE METHOD OF DISPOSING OF WATER PUMPED FROM THE EXCAVATION SHALL BE APPROVED BY THE ENGINEER, PRIOR TO ACTUAL DISPOSAL.

PIPE EMBEDMENT

SANITARY SEWER PIPE MUST BE BEDDED TRUE TO LINE AND GRADE WITH UNIFORM AND CONTINUOUS LONGITUDINAL SUPPORT FROM A FIRM BASE. BLOCKING MUST NOT BE USED TO BRING THE PIPE TO GRADE. PIPE BED SHALL BE UNDISTURBED EARTH AND, IN THE EVENT OF OVEREXCAVATION, THE CONTRACTOR SHALL REPLACE MATERIALS WITH MATERIALS SPECIFIED BY THE ENGINEER AND COMPACTED TO A DENSITY EQUAL TO THE NATIVE SOIL.

AT ALL LOCATIONS WHERE PIPING IS TO BE INSTALLED IN AN AREA WHERE MUCK WAS NOTED IN THE SOILS TESTING OR AT ANY OTHER LOCATIONS WHERE MUCK OR ORGANIC SOILS ARE ENCOUNTERED, THE TRENCH SHALL BE OVER-EXCAVATED TO REMOVE ALL MUCK OR ORGANIC SOILS AND CLEAN FINE SAND PLACED AND COMPACTED IN THE TRENCH BOTTOM TO THE ELEVATIONS AND LOCATIONS NOTED ON THE PLANS. BACKFILL NEEDED TO BRING TRENCH TO THE PROPER GRADE SHALL BE COMPACTED TO A MINIMUM DENSITY OF 98% OF THE AASHTO T-180 MAXIMUM DENSITY.

TRENCH OR EXCAVATION BOTTOM STABILIZATION MATERIAL

- SAND
SAND SHALL BE WELL GRADED, ORGANIC FREE, DURABLE, GRANULAR MATERIAL, AND SHALL PASS A NO. 4 SIEVE. NOT MORE THAN 15 PERCENT SHALL PASS A NO. 200 SIEVE.
- PIT RUN GRAVEL
PIT RUN GRAVEL SHALL BE ORGANIC FREE AND SHALL PASS A 3/4-INCH SIEVE.
- GRANULAR MATERIAL
GRANULAR MATERIAL SHALL BE WELL GRADED, ORGANIC AND SOIL FREE, DURABLE AGGREGATE AND SHALL PASS A 3/4-INCH SIEVE. NOT MORE THAN 15 PERCENT SHALL PASS A NO. 200 SIEVE.

GENERAL UTILITY NOTES:

- SSOCOF
CHAPTER 556, FLORIDA STATUTES, REQUIRES EXCAVATORS TO NOTIFY SUNSHINE STATE ONE CALL OF FLORIDA (SSOCF) BEFORE BEGINNING AND EXCAVATION IN THE STATE OF FLORIDA UNLESS A SPECIFIC EXEMPTION LISTED IN F.S. 556.108 APPLIES. AN EXCAVATOR MUST NOTIFY SSOCOF TWO FULL BUSINESS DAYS BEFORE EXCAVATING. EXCAVATORS MAY CALL 1-800-432-4770 DURING BUSINESS HOURS OR USE THE INTERNET TO PROVIDE INFORMATION.
- TRENCH SAFETY
CONTRACTOR SHALL COMPLY WITH OSHA TRENCH SAFETY STANDARDS 29 C.F.R., S. 926.650, SUBPART F, AND ALL SUBSEQUENT REVISIONS OR UPDATES ADOPTED BY THE DEPARTMENT OF LABOR AND EMPLOYMENT.

TESTING

INFILTRATION TESTING OF THE SANITARY SEWER SYSTEM WILL BE REQUIRED TO BE PERFORMED BY THE CONTRACTOR. INFILTRATION SHALL NOT EXCEED 50 GALLONS PER DAY PER INCH OF DIAMETER PER MILE OF LENGTH. IN THE EVENT THAT GROUNDWATER IS NOT ENCOUNTERED DURING SANITARY SEWER CONSTRUCTION, OR IF THE GROUNDWATER IS ENCOUNTERED IS NOT 24" ABOVE THE TOP OF PIPE, EXFILTRATION TESTING OF THE SANITARY SEWER SYSTEM WILL BE NECESSARY. THE TESTING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, BUT WILL BE WITNESSED BY THE ENGINEER AND THE UTILITY REPRESENTATIVES. EXFILTRATION SHALL NOT EXCEED 50 GALLONS PER DAY PER INCH OF DIAMETER PER MILE OF LENGTH, INCLUDING MANHOLES.

LINE LAMPING WILL BE REQUIRED TO BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY THE ENGINEER AND OWNER/OPERATOR.

THE CONTRACTOR SHALL PROVIDE AT HIS OWN EXPENSE ALL NECESSARY TEST PUMPING EQUIPMENT, WATER, WATER METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIAL AND FACILITIES REQUIRED FOR ALL TESTING. CONTRACTOR SHALL CONTACT THE ENGINEER, OWNER/OPERATOR AND THE WINTER PARK TWENTY-FOUR (24) HOURS PRIOR OR ALL TESTING OR MEETINGS. THE CONTRACTOR SHALL PERFORM SATISFACTORY PRE-TESTING PRIOR TO NOTIFICATION.

AS-BUILT DRAWINGS

- TOP ELEVATION OF EACH MANHOLE FRAME AND COVER.
- INVERT OF EACH LINE ENTERING AND LEAVING EACH STRUCTURE.
- LENGTH OF EACH RUN OF MAIN BETWEEN MANHOLES (CENTER TO CENTER).
- ACTUAL GRADE OF PIPE BETWEEN THE STRUCTURES.
- LOCATE ALL SERVICE WYES FROM DOWN STREAM MANHOLE WITH DEPTH AT LOT LINE AND DISTANCE FROM MAIN LINE.
- LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS / ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TO POINT TIES).
- DISTANCE OF SEWER LINE FROM MANHOLE TO MANHOLE AND / OR CLEANOUT WITH TIES TO LATERALS.

TRENCH SAFETY

THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (50-96, LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.

POTABLE WATER

OWNER/OPERATOR

THE ENTITY THAT WILL OPERATE AND MAINTAIN THE POTABLE WATER SYSTEM SHOWN ON THESE PLANS IS AUTOZONE STORES, LLC AND CITY OF DELRAY BEACH, FLORIDA SEWER AND WATER. THE CITY OF DELRAY SEWER AND WATER OWN ALL WATER MAINS UP TO END OF WATER METER. THE CONTRACTOR SHALL BE EXPECTED TO MEET ALL THE REQUIREMENTS OF AUTOZONE STORES, LLC AND THE CITY OF DELRAY BEACH, FLORIDA SEWER AND WATER.

WATER SERVICES

UNLESS OTHERWISE NOTED IN THE PLANS, THE UTILITY COMPANY SHALL PROVIDE AND INSTALL WATER METERS. CONTRACTOR SHALL CONSTRUCT WATER SERVICE TO THE CURB STOP AS SHOWN ON THE CONSTRUCTION PLANS.

POLYETHYLENE (PE) PRESSURE PIPE FOR WATER SERVICES 1/2" THROUGH 3" SHALL CONFORM TO AWWA C901-96, (PE3408). MINIMUM PRESSURE CLASS IS 200 PSI, DR9.

ALL SERVICES SHALL INCLUDE THE FOLLOWING: DOUBLE STRAP SADDLE, CORPORATION STOP, SERVICE LINE, AND UNIONS AS REQUIRED. THE SERVICE SHALL BE COMPLETE TO THE CURB STOP AS SHOWN ON THE DETAIL SHEET, AND SHALL BE 1/2" OF THE TYPE REQUIRED FOR COMPATIBILITY WITH THE SERVICE LINES SPECIFIED, AND SHALL BE AS MANUFACTURED BY THE MUELLER CORPORATION OR HAYS OR FORD.

THE CONTRACTOR SHALL CUT "W" IN THE TOP CURB OF EACH WATER SERVICE AND A "V" AT ALL VALVE LOCATIONS. CUT 'W'S AND 'V'S SHALL BE HIGHLIGHTED WITH BLUE PAINT.

CONSTRUCTION METHODS

PIPE INSTALLATION

COMPACTED BACKFILL SHALL BE TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 FOR UNDER ALL PAVEMENTS. OTHER COMPACTED OF BACKFILL SHALL BE TO 95% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. SEE STANDARD DETAILS.

MINIMUM COVER OVER ALL PIPE SHALL BE 36" FROM TOP OF PIPE TO FINISHED GRADE.

ALL PLUGS, CAPS, TEES, BENDS, FIVE HYDRANTS, VALVES, ETC., SHALL BE PROVIDED WITH RESTRAINT JOINTS, REFER TO THE DETAIL SHEET.

PIPE IDENTIFICATION

BLUE LOCATE WIRE SHALL BE ATTACHED TO THE PROPOSED WATER MAIN FROM THE WATER METERS TO THE EXISTING POINT OF CONSTRUCTION. LOCATE WIRE SHALL BE SINGLE STRAND 14 GAUGE, RATED AT 600V FOR DIRECT BURY.

DISINFECTION AND TESTING

ALL PIPE SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651-92.

THE CONTRACTOR SHALL PROVIDE AT HIS OWN EXPENSE ALL NECESSARY TEST PUMPING EQUIPMENT, WATER, WATER METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIAL AND FACILITIES REQUIRED FOR ALL HYDROSTATIC AND LEAKAGE TESTING. CONTRACTOR SHALL CONTACT THE ENGINEER, OWNER/OPERATOR AND THE WINTER PARK IN WRITTEN FORM.

FORTY-EIGHT (48) HOURS IN ADVANCE OF PROPOSED TESTING. THE CONTRACTOR SHALL PERFORM SATISFACTORY PRETESTING PRIOR TO NOTIFICATION.

THE WATER SYSTEM SHALL BE TESTED FOR LEAKAGE AT 150 PSI FOR TWO (2) HOURS, WITH ALLOWABLE LEAKAGE IN ACCORDANCE WITH ABOVE STANDARDS.

PRIOR TO THE CONNECTION TO ANY EXISTING MAIN, THE PROPOSED WATER MAIN SHALL BE DISINFECTED, HAVE ENGINEER APPROVED PRESSURE TESTING AND HAVE CITY OF EDGEWATER UTILITIES CLEARANCE.

AS-BUILT DRAWINGS

THE CONTRACTOR SHALL PROVIDE VERTICAL AND HORIZONTAL "AS-BUILT" INFORMATION RELATIVE TO ALL CONSTRUCTED UTILITIES AND STRUCTURES.

CONSTRUCTION SEQUENCING TABLE											
ANTICIPATED CONSTRUCTION SEQUENCE*	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY		
CONSTRUCTION ENTRANCE											
TEMPORARY CONTROL MEASURES											
STORM FACILITIES											
ROUGH GRADE / SEDIMENT CONTROL											
FOUNDATION / BUILDING CONSTRUCTION											
SITE CONSTRUCTION											
FINISH GRADING											
PERMANENT CONTROL MEASURES											
* THIS IS ONLY A GUIDE, CONTRACTOR IS TO USE HIS JUDGMENT TO MODIFY AS NEEDED.											

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Name (Operator and/or Responsible Authority) _____ Date _____

Project Name and location information: _____

Stormwater Team		
Description	Name	Company
Contractor:		
Contractor's Responsible Authority:		
Qualified Inspector(s):		
Maintenance Personnel:		
The contractor shall complete this table identifying the individuals of the stormwater team and their responsibilities.		

ACREAGE SUMMARY	
TOTAL SITE AREA	0.88 AC.
ON-SITE DISTURBED AREA	0.88 AC.
OFF-SITE DISTURBED AREA	0.15 AC.
TOTAL DISTURBED AREA	1.03 AC.

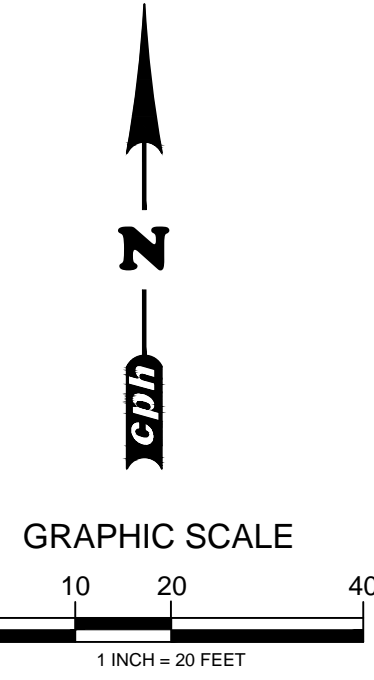
SEQUENCE OF CONSTRUCTION

THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION AS DESCRIBED BELOW. IF THE CONTRACTOR FINDS THAT THE SEQUENCE NEEDS TO BE MODIFIED, THE CONTRACTOR SHALL CONTACT THE CEC FOR FURTHER DIRECTION. THE INSTALLATION OR REMOVAL OF BMPs, EARTH DISTURBANCE, GRADING, TEMPORARY STABILIZATION AND PERMANENT STABILIZATION SHALL BE IMMEDIATELY NOTED IN THE SWPPP IMPLEMENTATION LOG AND ON THE SITE MAP. THE CONTRACTOR SHALL DISTURB ONLY THOSE AREAS NECESSARY TO INSTALL THE BMPs UNTIL DIRECTED IN THE SEQUENCE TO BEGIN CLEARING AND GRUBBING OPERATIONS. ALL TEMPORARY BMPs SHALL BE REPAIRED AND MAINTAINED UNTIL STABILIZATION HAS OCCURRED AND THERE IS NO RISK OF DISCHARGE, THEN THEY SHALL BE REMOVED.

1. POST A COPY OF THE NOI OR LETTER FROM FDEP CONFIRMING COVERAGE UNDER THE GENERIC PERMIT, AND THE NAME AND PHONE NUMBER OF THE CONTRACTOR'S REPRESENTATIVE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL, INSTALLATION AND MAINTENANCE ON A 24 HOUR BASIS.
2. INSTALL PERIMETER CONTROLS IMMEDIATELY DOWNSTREAM OF THE PLANNED LOCATION OF THE CONSTRUCTION EXIT.
3. INSTALL STABILIZED CONSTRUCTION EXIT.
4. INSTALL REMAINING PERIMETER CONTROLS.
5. INSTALL TEMPORARY PARKING AND STORAGE AREAS (TRAILER, PARKING, LAY DOWN, SANITARY FACILITIES, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC).
6. BEGIN DEMOLITION, CLEARING AND GRUBBING OPERATIONS AS APPLICABLE.
7. BEGIN CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
8. TEMPORARILY SEED, IMMEDIATELY AND THROUGHOUT CONSTRUCTION, DENuded AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
9. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
10. INSTALL RIP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS INSTALLED.
11. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
12. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
13. PREPARE SITE FOR PAVING.
14. PAVE SITE.
15. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
16. COMPLETE GRADING AND INSTALL PERMANENT STABILIZATION OVER ALL AREAS.
17. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).
18. SUBMIT NOTICE OF TERMINATION (NOT) ONCE ALL CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED PER PLAN.

LEGEND

- BARRICADES
- DIRECTION OF FLOW
- SLOPE OF FLOW
- LIMITS OF DISTURBANCE
- PROPOSED GUTTER EEL
- TEMPORARILY STABILIZED CONSTRUCTION ENTRANCE
- PERMANENT SEEDING/VEGETATION
- TEMPORARY SILT FENCE
- PROPOSED INLET PROTECTION
- SOIL TYPE: POMELLO FINE SAND
- SOIL TYPE: URBAN LAND
- PROPOSED INLET PROTECTION



STORMWATER POLLUTION PREVENTION NOTES

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, CHAPTER 17-25-FAC AND THE SOUTH FLORIDA RIVER WATER MANAGEMENT DISTRICT.

SITE DESCRIPTION
A. SITE LOCATION
S.W. CORNER OF N.E. 22ND LANE AND NORTH FEDERAL HWY, DELRAY BEACH, FLORIDA.

B. SITE CONDITIONS & ACTIVITIES NARRATIVE:
THE EXISTING CONDITION OF THE SITE IS UNDEVELOPED. THE SITE WILL REMAIN AT APPROXIMATELY THE SAME GRADE AND HAVE NO MAJOR EFFECT ON ADJUTING PROPERTIES.

WETLANDS/BUFFERS
"NO WETLANDS AND/OR WETLAND BUFFERS ARE ASSOCIATED WITH THIS PROJECT."

SWPPP INTENT
THE INTENT OF THIS SWPPP IS TO COMPLY WITH THE INTENT OF THE GENERIC PERMIT AND TO PREVENT THE RELEASE OF SOILS, TRASH, CHEMICALS, TOXINS AND OTHER POLLUTANTS, BY WATER, AIR, VEHICLE TRANSPORT OR OTHER MEANS THAT CAN IMPACT STORM WATER QUALITY. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GENERIC PERMIT AND RETAIN ON SITE FOR FUTURE REFERENCE. THE CONTRACTOR SHALL READ AND UNDERSTAND THE PERMIT, AND ENSURE THAT THE BMPs ARE INSTALLED AND THE EXECUTION OF THE WORK IS PERFORMED TO MEET THE INTENT OF THE GENERIC PERMIT AND THE SWPPP.

POTENTIAL SOURCES OF POLLUTION
THE POTENTIAL SOURCES OF POLLUTION THAT MAY REASONABLY BE EXPECTED TO AFFECT THE QUALITY OF STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY INCLUDE: OILS & GAS RELATED TO CONSTRUCTION EQUIPMENT, PAINT, STUCCO, PORTLAND CEMENT, SEDIMENTS, SEALERS, MASTIC, CAULKING, SOLVENTS, HYDRAULIC FLUID, AND DIESEL.

GENERAL NOTES
A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FILE "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES" (DEP FORM 62-621.300(4)(B) OR LATEST VERSION) TO FDEP TO THE FOLLOWING ADDRESS OR BEFORE THE FDEP ON-LINE SYSTEM AT LEAST TWO (2) DAYS BEFORE COMMENCEMENT OF CONSTRUCTION:
NPDES STORMWATER NOTICES CENTER, MS 42510 FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2000 BLAK STONE ROAD, TALLAHASSEE, FLORIDA 32309-2400

THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (NOT) WITHIN 14 CALENDAR DAYS AFTER THE SITE HAS ACHIEVED FINAL STABILIZATION (I.E. ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINAL STABILIZED, TEMPORARY BMPs HAVE BEEN REMOVED, AND STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE AUTHORIZED BY THE PERMIT HAVE BEEN ELIMINATED.

AN ENVIRONMENTAL RESOURCE PERMIT, PERMITTED THROUGH SOUTH FLORIDA WATER MANAGEMENT DISTRICT, HAS BEEN APPLIED FOR THIS PROJECT. PERMIT NUMBER IN PROCESS, ISSUED DATE TBD.

MSA OPERATOR NAME (IF ANY): GULF STREAM

THE CONTRACTOR SHALL PROVIDE A COPY OF THE NOI AND SUBSEQUENT NOT 7 DAYS OF RECEIPT. THE CONTRACTOR SHALL ALSO COORDINATE WITH THE MSA TO ENSURE THAT ALL SPECIFIC REQUIREMENTS ARE MET.

B. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES. SWALES SHALL BE CONSTRUCTED AS SHOWN ON PLANS.

C. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:

I. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
II. NEW AND EXISTING STORMWATER INLETS AND OUTFALL STRUCTURES SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED IMMEDIATELY AS REQUIRED DURING THE VARIOUS STAGES OF CONSTRUCTION.
III. PERIMETER EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL FINAL SITE STABILIZATION HAS BEEN ESTABLISHED.

D. CLEARING AND GRUBBING OPERATIONS SHALL BE CONTROLLED SO AS TO MINIMIZE UNPROTECTED ERODIBLE AREAS EXPOSED TO WEATHER. GENERAL EROSION CONTROL BMPs SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND OFF-SITE SEDIMENTATION. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED PRIOR TO ANY CONSTRUCTION ACTIVITY.

E. THE CONTRACTOR SHALL FURNISH, INSTALL PER THE SEQUENCE OF CONSTRUCTION, MAINTAIN AND SUBSEQUENTLY REMOVE, ALL NECESSARY TEMPORARY BMPs. THE CONTRACTOR WILL FURNISH AND INSTALL ALL NECESSARY PERMANENT BMPs.

F. THE CONTRACTOR SHALL ADJUST, ADD OR MODIFY BMPs AS NECESSARY TO COMPLY WITH THE INTENT OF THE GENERIC NPDES PERMIT AND THE SWPPP FOR NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL CONSULT WITH THE CEC PRIOR TO ADJUSTING, ADDING OR MODIFYING BMPs THAT AFFECT THE HYDRAULICS OF THE SITE OR BEFORE ADJUSTING BMPs NOT DETAILED IN THE SWPPP.

G. THE CONTRACTOR IS ADVISED THAT THE CONTRACT DRAWINGS ONLY INDICATE EROSION, SEDIMENT, AND TURBIDITY CONTROLS AT LOCATIONS DETERMINED IN THE DESIGN PROCESS. HOWEVER, THE CONTRACTOR IS REQUIRED TO PROVIDE ANY ADDITIONAL CONTROLS NECESSARY TO PREVENT THE POSSIBILITY OF SILTING ANY ADJACENT LOWLAND PARCEL OR RECEIVING WATER.

H. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. THE EROSION CONTROL SYSTEM DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED TO REPRESENT THE MINIMUM ACCEPTABLE STANDARDS FOR THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDENT UPON THE STAGE OF CONSTRUCTION, THE SEVERITY OF THE RAINFALL EVENT AND/OR AS DEEMED NECESSARY AS A RESULT OF ON-SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES, OR THE APPLICABLE JURISDICTIONAL AUTHORITIES. THESE ADDITIONAL MEASURES (IF NEEDED) SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE OWNER. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BEST MANAGEMENT PRACTICES (BMPs). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FOOT INDEXES #100 THROUGH #102 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO ASSURE THAT THE STORMWATER DISCHARGE FROM THE SITE DOES NOT EXCEED THE TOLERANCES ESTABLISHED BY ANY OF THE APPLICABLE JURISDICTIONAL AUTHORITIES.

I. THE CONTRACTOR SHALL KEEP THE SWPPP CURRENT AT ALL TIMES. THE CONTRACTOR SHALL SIGN AND DATE ANY CHANGES TO THE SWPPP AND KEEP THEM AS ATTACHMENTS TO THE ORIGINAL PLAN. WHENEVER ANY OF THE FOLLOWING EVENTS OCCUR, THE CONTRACTOR SHALL UPDATE THE SWPPP WITHIN 7 DAYS:
I. THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION OR MAINTENANCE THAT HAS A SIGNIFICANT EFFECT ON THE DISCHARGE FROM THE PROJECT
II. THERE IS A NEW DISCHARGE POINT OUR OUTFALL
III. THERE IS A CHANGE IN THE LOCATION OF A DISCHARGE POINT OF OUTFALL
IV. AN INSPECTION REVEALS THAT BMPs ARE INEFFECTIVE AT ELIMINATING OR MINIMIZING POLLUTANTS IN THE STORMWATER DISCHARGED FROM THE SITE
V. THERE IS A NEW SUBCONTRACTOR IMPLEMENTING ANY PORTION OF THE SWPPP
VI. A RELEASE CONTAINING A HAZARDOUS SUBSTANCE IN AN AMOUNT EQUAL TO OR GREATER THAN A REPORTABLE QUANTITY OCCURS DURING A 24-HOUR PERIOD

J. THE CONTRACTOR SHALL ENSURE THAT THE CONTRACTOR AND ALL SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING SWPPP CONTROL MEASURES FILL OUT THE CONTRACTOR / SUBCONTRACTOR CERTIFICATION TABLE INCLUDED IN THIS SWPPP.

K. THE CONTRACTOR SHALL COMPLETE THE CONSTRUCTION SEQUENCE TABLE INCLUDING IN THIS SWPPP PRIOR TO PROCEEDING WITH THE INSTALLATION OF BMPs AND PRIOR TO GROUND DISTURBING ACTIVITIES. THE CONTRACTOR SHALL COMPLETE THE TABLE WITH ANTICIPATED DATES IN WHICH THE BMP WILL BE UTILIZED OR THE ACTIVITY WILL OCCUR.

STABILIZATION
A. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED AND WILL REMAIN UNDISTURBED FOR 7 DAYS OR MORE. TEMPORARILY STABILIZED BY COVERING EXPOSED AMOUNTS OF MULCH OVER SEED AND PERIODICALLY WATER TO PROMOTE AND MAINTAIN GROWTH OF THE TEMPORARY GROUND COVER, OR BY THE USE OF AN APPROPRIATE ALTERNATIVE BMP.

B. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED IMMEDIATELY AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.

C. ALL GRASS SLOPES CONSIDERED STEEPER THAN 4H:1V SHALL BE SOODED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED.

DUST CONTROL
A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.

B. AS REQUIRED AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.

C. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE ERECTION OF DUST CONTROL FENCES. IF REQUIRED, DUST CONTROL FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL FOR A SILT FENCE EXCEPT THE MINIMUM HEIGHT SHALL BE 4 FEET.

WASTE MANAGEMENT
A. THE CONTRACTOR SHALL ENSURE THAT ALL WASTE AND DEBRIS ARE MANAGED DAILY SUCH THAT THEY WILL NOT IMPACT STORMWATER OR LEAVE THE PERMITTED AREA, AND DISPOSED OF PROPERLY IN ACCORDANCE WITH APPLICABLE STATE, LOCAL, AND FEDERAL REGULATIONS.

B. THE CONTRACTOR SHALL ENSURE THAT ALL CHEMICALS, OILS, FUELS, HAZARDOUS WASTE, UNIVERSAL WASTE AND TOXIC SUBSTANCES ARE PROPERLY MANAGED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL ENSURE THAT WASTE IS NOT DISCHARGED FROM THE SITE, AND DOES NOT IMPACT STORMWATER OR GROUNDWATER.

C. THE CONTRACTOR SHALL PROVIDE APPROPRIATE AND ADEQUATE WASHOUT FACILITIES TO ENSURE THAT CHEMICALS AND WASTE IS NOT DISCHARGED FROM THE SITE, AND DO NOT IMPACT STORMWATER OR GROUNDWATER. (I.E. CONCRETE/MASONRY WASHOUT, PAINT WASHOUT, EIPS, ETC.) THE CONTRACTOR SHALL CLEAN UP SPILLS PROMPTLY AND ENSURE THAT WASHOUT AREAS ARE PROPERLY MAINTAINED TO PROVIDE ADEQUATE VOLUME TO PREVENT OVERFLOW.

D. THE CONTRACTOR SHALL PROVIDE ADEQUATE SANITARY FACILITIES FOR SITE PERSONNEL. MAINTAIN THROUGHOUT CONSTRUCTION, AND PROVIDE FOR PROPER DISPOSAL, IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. SANITARY FACILITIES SHALL BE PROPERLY SECURED TO PREVENT TIPPING.

E. A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING FOR EXAMPLE, ABSORBENT MATERIAL SUCH AS KITTY LITTER OR SAWDUST, ACID, BASE, NEUTRALIZING AGENT, BROOM, DUST PAN, MOPS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) SHALL BE PROVIDED AT THE CONSTRUCTION SITE AND ITS LOCATION(S) SHALL BE IDENTIFIED WITH LEGIBLE SIGNAGE AND SHOWN ON THE SITE MAPS.

A. THE SPILL CONTROL AND CONTAINMENT KIT SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.

B. CONTENTS SHALL BE INSPECTED DURING THE STORMWATER INSPECTION.

F. WHEN A SPILL OR REPORTABLE QUANTITIES IS DISCOVERED ON THE SITE, THE CONTRACTOR SHALL CLEAN UP ALL SPILLED MATERIALS AND DISPOSE OF IN ACCORDANCE WITH MANUFACTURER'S AND REGULATIONS. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AUTHORITIES IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. THE OWNER AND PROJECT ENGINEER. THE CONTRACTOR SHALL RETAIN CLEANUP INFORMATION AS WELL AS DISPOSAL MANIFESTS WITH THEIR SWPPP.

MATERIALS MANAGEMENT, AND EQUIPMENT STAGING AND MAINTENANCE
A. EXCAVATED MATERIAL SHALL NOT BE DEPOSITED IN LOCATIONS WHERE IT COULD BE WASHED AWAY BY HIGH WATER OR STORMWATER RUNOFF. STOCKPILED MATERIAL SHALL BE COVERED OR ENCLOSED WITH SEDIMENT CONTAINMENT DEVICES.

B. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OR OIL, GREASE, LUBRICANTS, OR OTHER CONTAMINANTS. CONTRACTOR SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS IMMEDIATELY AFTER ANY OCCURRENCE.

C. THE CONTRACTOR SHALL ENSURE THAT ALL TOXIC / HAZARDOUS SUBSTANCES AND CHEMICALS ARE PROPERLY STORED, AND USED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL ENSURE THAT THESE PRODUCTS ARE STORED AND USED IN SUCH A MANNER THAT WILL NOT NEGATIVELY IMPACT STORMWATER, GROUNDWATER OR PROTECTED SPECIES.

D. THE CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, EQUIPMENT, DEBRIS, WASTE, TRAILERS, AND OTHER SUPPORT RELATED ITEMS ARE CONTAINED WITHIN THE PERMITTED LIMITS OF DISTURBANCE. THE CONTRACTOR SHALL ENSURE THAT THE STORAGE AND USE OF SUCH ITEMS DOES NOT NEGATIVELY IMPACT STORMWATER OR GROUNDWATER.

OFFSITE VEHICLE TRACKING
A. THE CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION EXIT IS USED BY ALL VEHICLES AND EQUIPMENT ENTERING OR LEAVING THE JOBSITE. THE CONTRACTOR SHALL MONITOR AND MAINTAIN THE CONSTRUCTION EXIT TO ENSURE THAT NO SOILS ARE TRACKED OFFSITE BY TIRES OR TRACKS, AND THAT NO SOILS ARE SPILLED BY TRUCKS OR EQUIPMENT LEAVING THE SITE. ALL TRACKED OR SPILLED SOILS SHALL BE SHOVELLED OR SWEEPED FROM THE ROADWAY AND RETURNED TO THE SITE. WATER SHALL NOT BE USED TO CLEAN THE SOILS FROM THE ROADWAY UNLESS THE WATER AND SOILS ARE RECOVERED BY THE USE OF A VACUUM TRUCK OR SIMILAR DEVICE.

FERTILIZERS, HERBICIDES AND PESTICIDES
A. THE CONTRACTOR SHALL ENSURE THAT ALL FERTILIZERS, HERBICIDES, PESTICIDES AND SIMILAR PRODUCTS ARE PROPERLY STORED, OUT OF THE WEATHER, AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL ENSURE THAT THESE PRODUCTS ARE USED IN SUCH A MANNER THAT WILL NOT NEGATIVELY IMPACT STORMWATER, GROUNDWATER OR PROTECTED SPECIES.

B. NUTRIENTS SHALL BE APPLIED ONLY AT RATES NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION.

INSPECTIONS AND MAINTENANCE
A. THE CONTRACTOR SHALL INSPECT BMPs (I.E. DISCHARGE LOCATIONS, CONSTRUCTION EXIT, PERIMETER CONTROL, INLET PROTECTION, STABILIZATION, EROSION CONTROL, DOCUMENTATION, WASTE DISPOSAL AREAS, MATERIAL STORAGE AREAS, ETC.) TO ENSURE THAT BMPs ARE NOT CAUSING OR CONTRIBUTING TO VIOLATIONS OF WATER QUALITY STANDARDS OR RESULTING IN OFFSITE SEDIMENTATION. ENSURE THAT BMPs ARE INSTALLED, MAINTAINED AND OPERATING CORRECTLY AND EFFECTIVELY. ENSURE THAT BMPs ASSOCIATED WITH STORAGE AND WASTE DISPOSAL AREAS ARE BEING USED AND MAINTAINED PROPERLY. ENSURE THAT THE CONSTRUCTION EXIT IS FUNCTION PROPERLY TO PREVENT OFFSITE TRACKING OF SEDIMENT. ENSURE THAT EROSION PREVENTION MEASURES ARE MAINTAINED TO PREVENT VISIBLE EROSION OF DISTURBED AREAS. ENSURE THAT THE SEDIMENTATION AT THE DISCHARGE POINTS, AND DETERMINE IF CONSTRUCTION ACTIVITIES HAVE ALTERED THE EFFECTIVENESS OF BMPs. INSPECTIONS MUST BE COMPLETED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, AND WITHIN 24 HOURS AFTER A RAINFALL OF 0.50 INCHES OR GREATER EVEN IF IT RAINS ON THE WEEKEND OR A HOLIDAY.

B. THE CONTRACTOR SHALL REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION USING THE STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM PROVIDED BY FDEP OR AN EQUIVALENT FORM. INSPECTION REPORTS SHALL BE SIGNED BY THE INSPECTOR AND A RESPONSIBLE AUTHORITY AS DEFINED BY THE PERMIT. INSPECTION REPORTS SHALL BE MAINTAINED WITH THE SWPPP. THE INSPECTOR MUST BE A QUALIFIED EROSION AND SEDIMENT CONTROL INSPECTOR AS DEFINED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

C. ANY MAINTENANCE, REPAIR AND NECESSARY REVISIONS TO BMP ITEMS SHALL BE ADDRESSED IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION OR IDENTIFICATION OF THE ISSUE. UNLESS OTHERWISE SPECIFIED, ACCUMULATED SEDIMENTS SHOULD BE REMOVED BEFORE THEY REACH ONE-HALF OF THE CAPACITY OF THE CONTROL DEVICE.

ALLOWABLE NON-STORMWATER DISCHARGES
THE GENERIC PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES PROHIBIT MOST NON-STORMWATER DISCHARGES DURING THE CONSTRUCTION PHASE. CERTAIN DISCHARGES ARE ALLOWED BY THE PERMIT, PROVIDED APPROPRIATE BMPs ARE UTILIZED AND THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. ALLOWABLE NON-STORMWATER DISCHARGES THAT OCCUR DURING CONSTRUCTION ON THIS PROJECT PER PART 3.2 OF THE GENERIC PERMIT ARE:
DISCHARGES FROM FIRE FIGHTING ACTIVITIES.
FIRE HYDRANT FLUSHINGS.
WATERS WITHOUT DETERGENTS USED TO SPRAY OFF LOOSE SOLIDS FROM VEHICLES.
WATERS USED TO CONTROL DUST.
POTABLE WATER SOURCES SUCH AS WATERLINE FLUSHINGS.
LANDSCAPE IRRIGATION AND DRAINAGE.
ROUTINE EXTERNAL BUILDING WASHDOWN PROVIDED NO DETERGENTS ARE USED.
PAVEMENT WASHWATERS THAT DO NOT CONTAIN DETERGENTS, LEAKS, SPILLS OF TOXIC OR HAZARDOUS MATERIALS.
AIR CONDITIONING CONDENSATE.
SPRING WATER.
FOUNDATION OR FOOTING DRAIN FLOWS THAT ARE NOT CONTAMINATED WITH PROCESS MATERIAL SUCH AS SOLVENTS.
NONCONTAMINATED GROUND WATER ASSOCIATED WITH DEWATERING ACTIVITIES AS DESCRIBED IN PART 3.4 OF THE GENERIC PERMIT.

RETENTION OF RECORDS
THE CONTRACTOR SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE (3) YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION (NOT) IS SUBMITTED.

REFERENCES
THE CONSTRUCTION PLANS AND SPECIFICATIONS FOR JOB #A20130 AS PREPARED BY CPH, INC. ON APRIL, 2015 ARE HEREBY REFERENCED AND MADE A PART OF THIS PLAN.

NOTE:
CONTRACTOR SHALL PAY CLOSE ATTENTION WHEN CLEARING AND/OR GRADING THE SITE TO ENSURE THAT WHEN EXISTING ROOTS ARE ENCOUNTERED THEY ARE CUT OFF EVENLY WITH CLEAN SHARP PRUNING TOOLS. CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING THE DAMAGE OF THE EXISTING ROOT SYSTEMS.

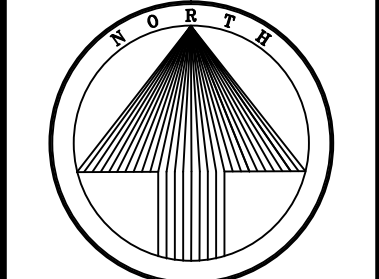


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Plans Prepared By:
CPH, Inc.
1992 SW 1st Street Miami, FL 33135
Ph: 305.274.4805
Licenses:
Eng. C.O.A. No. 3215 Arch. Lic. No. AA2600926
Survey L.B. No. 7143 Landscap. Lic. No. LC0000298

Owner / Developer:
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Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
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Prepared for:
AutoZone Store Development
Store No.: 6348
CITY OF DELRAY BEACH, FL. 33483
STORM WATER POLLUTION PREVENTION PLAN



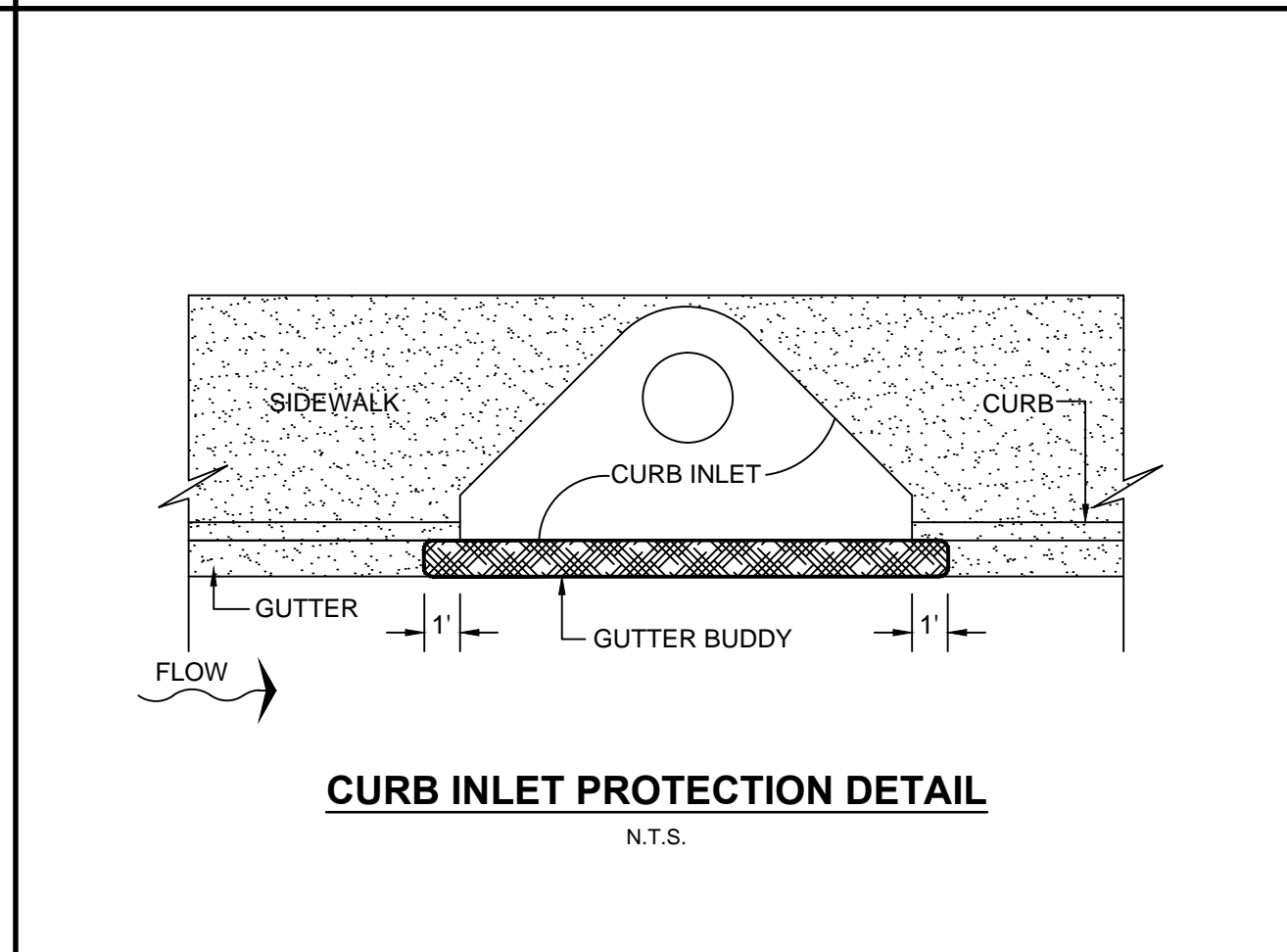
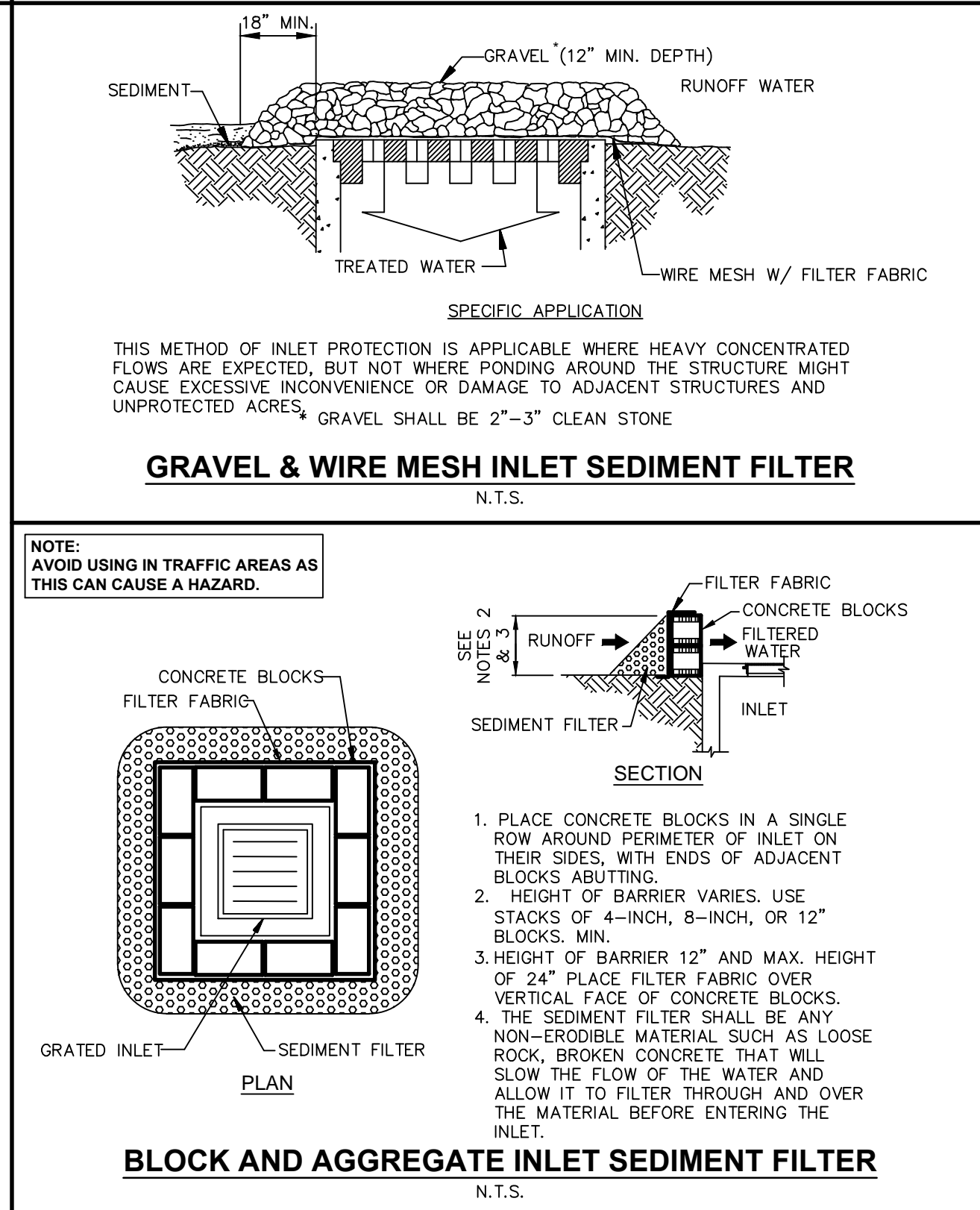
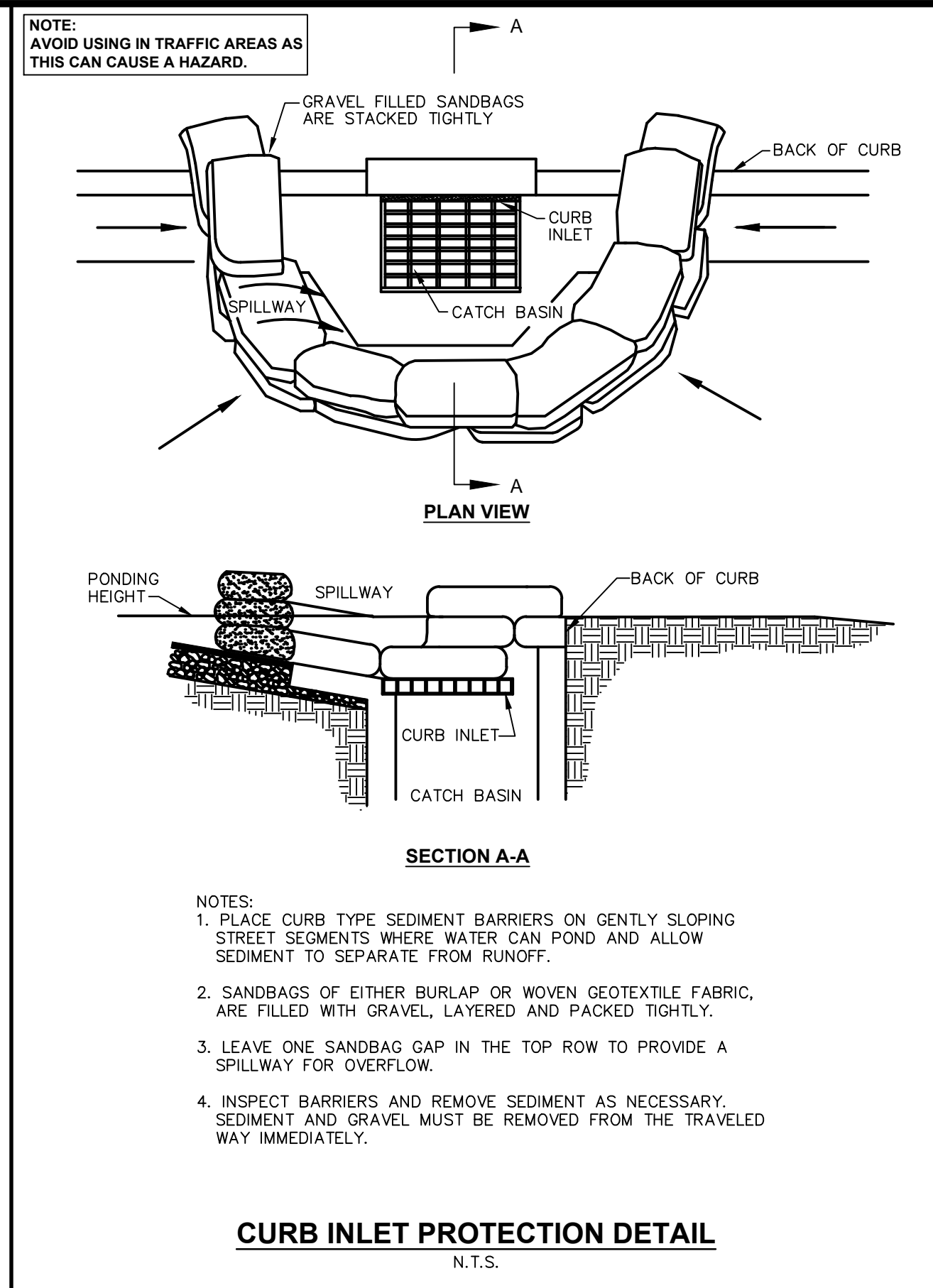
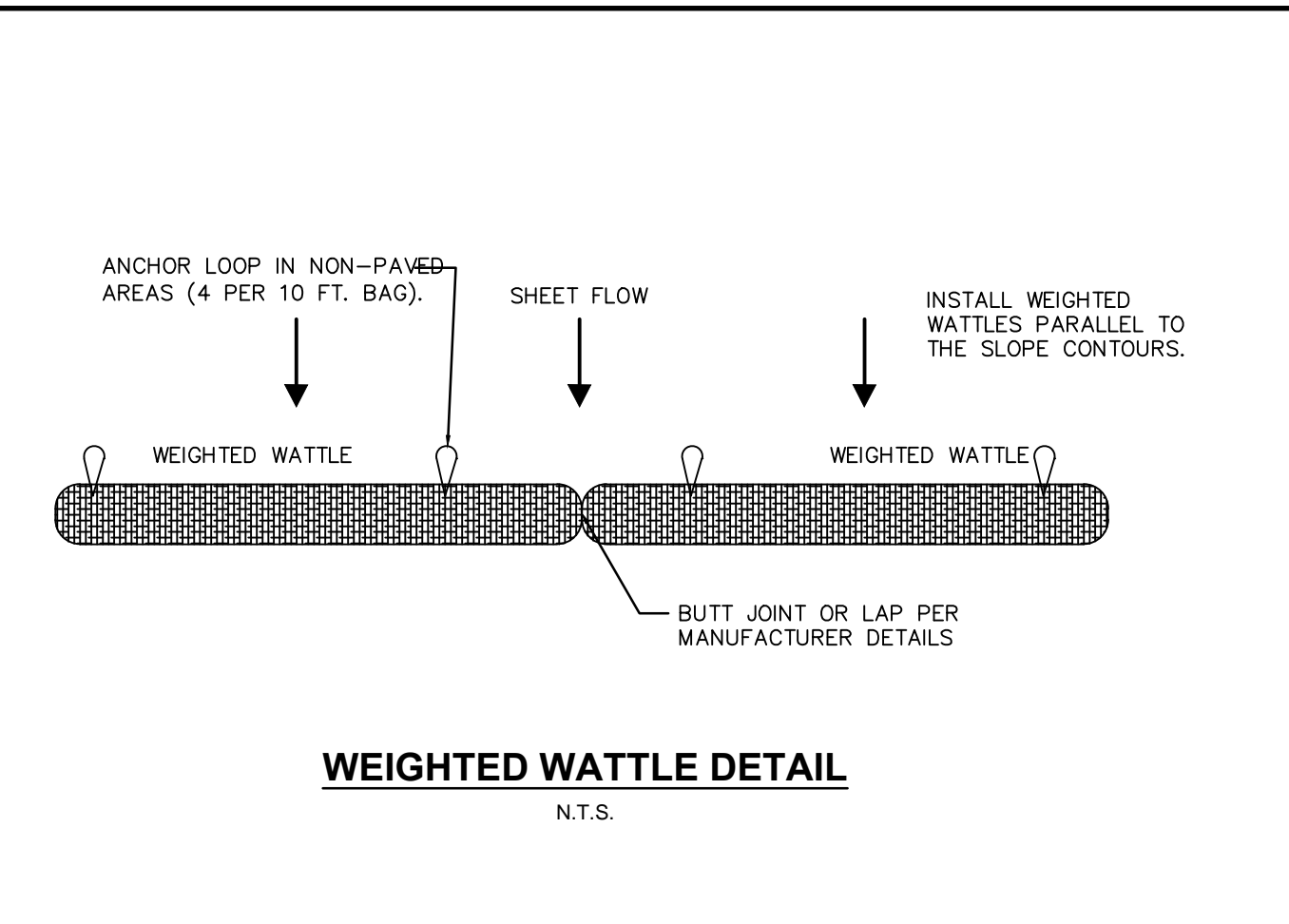
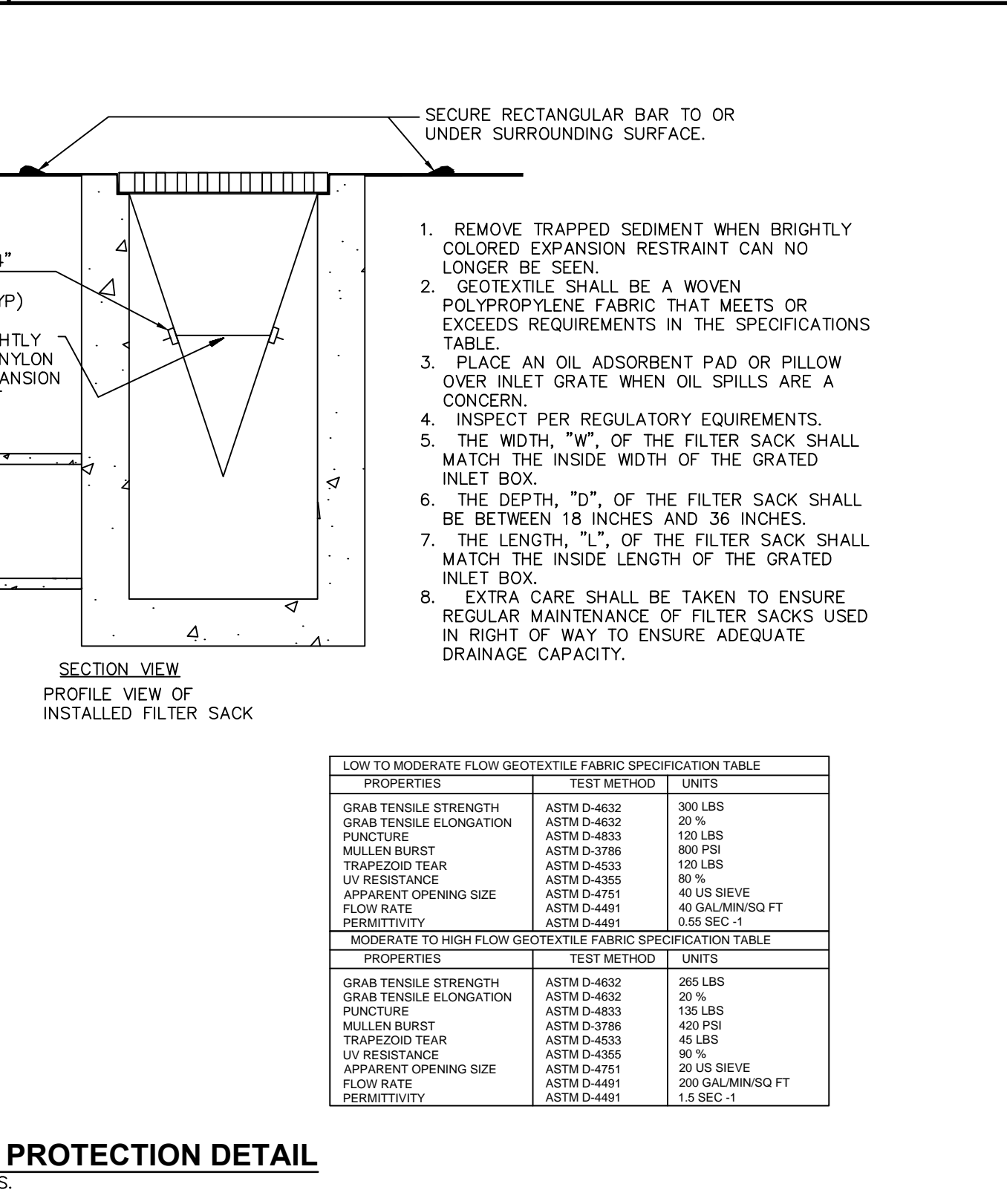
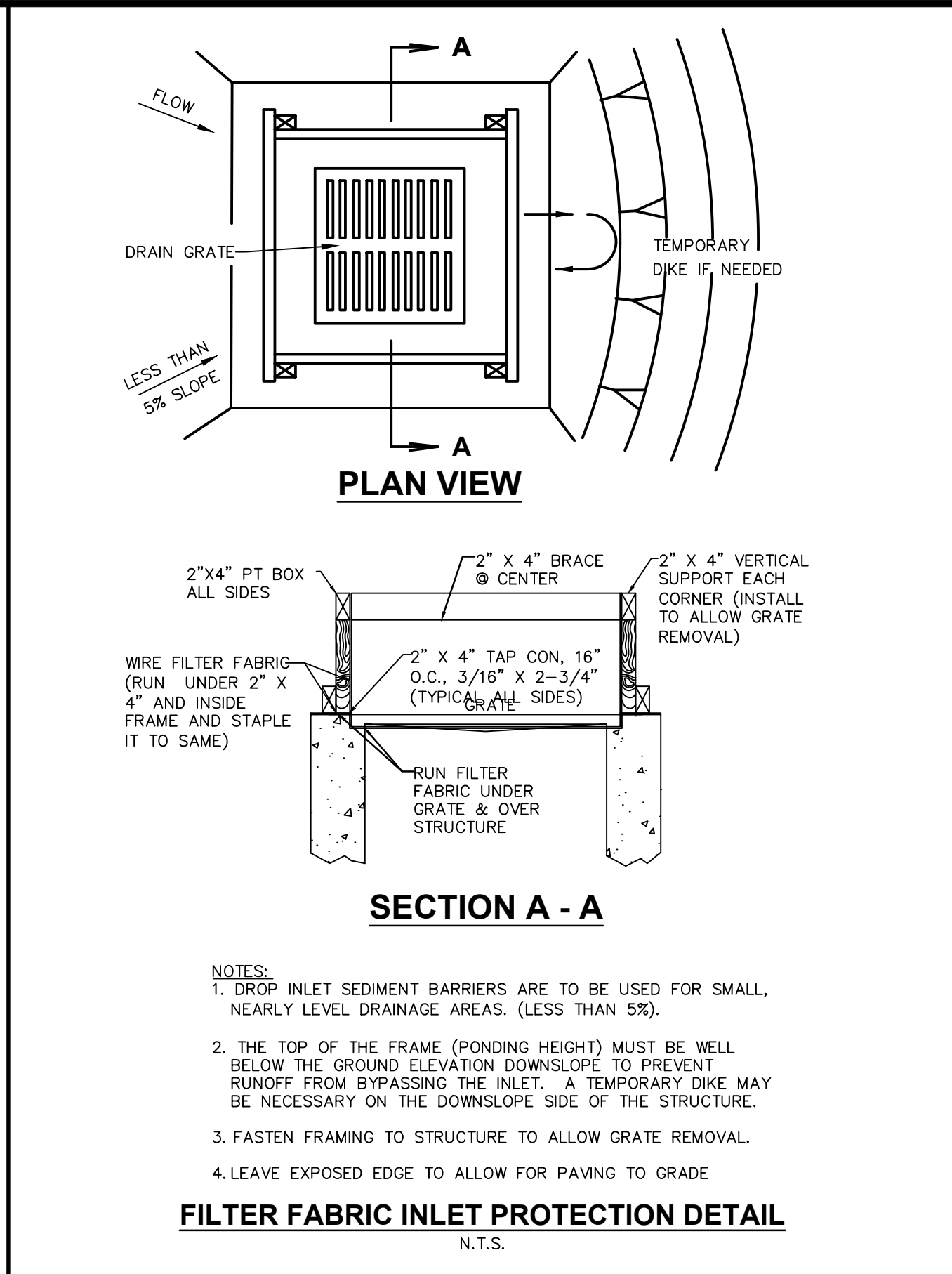
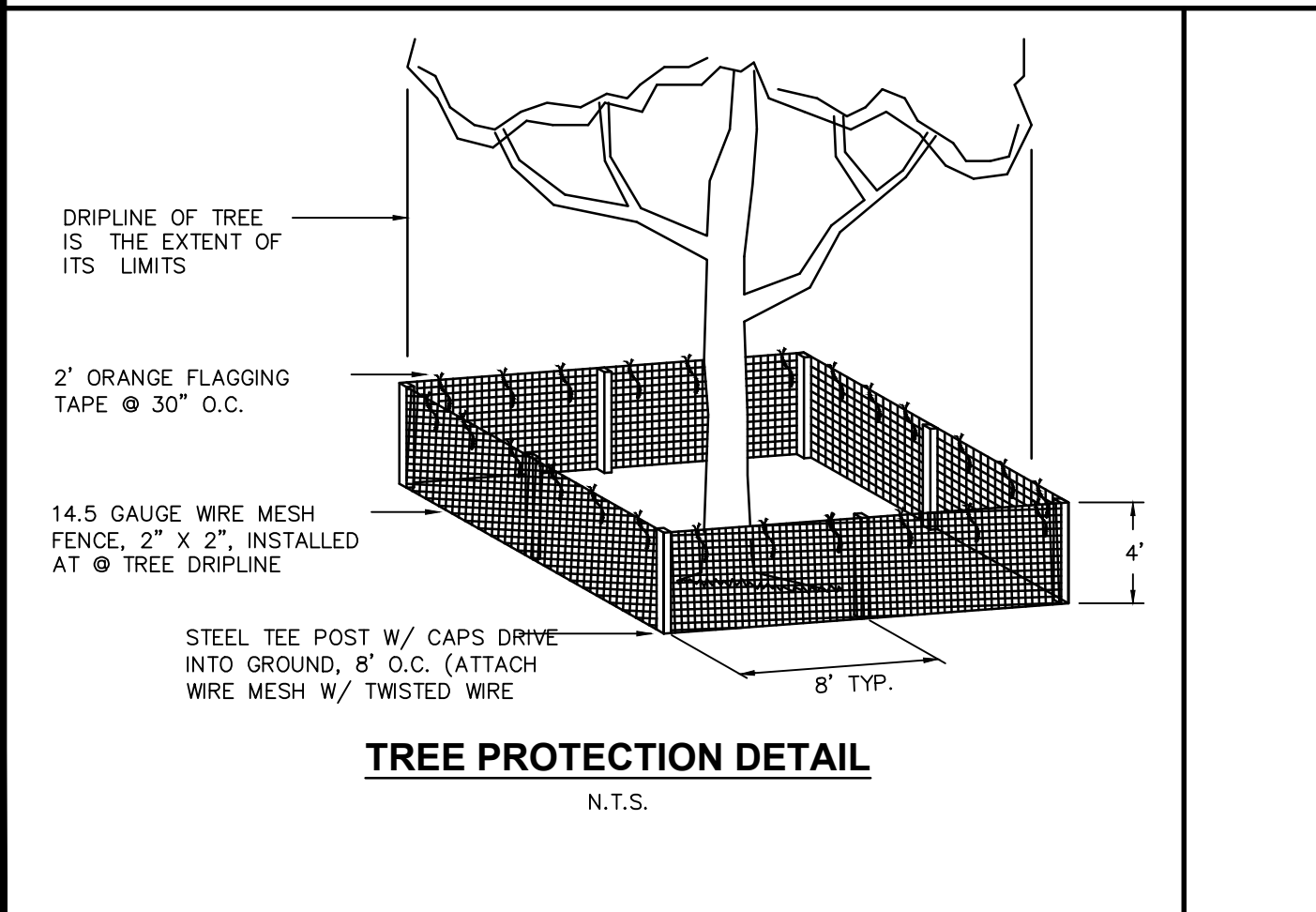
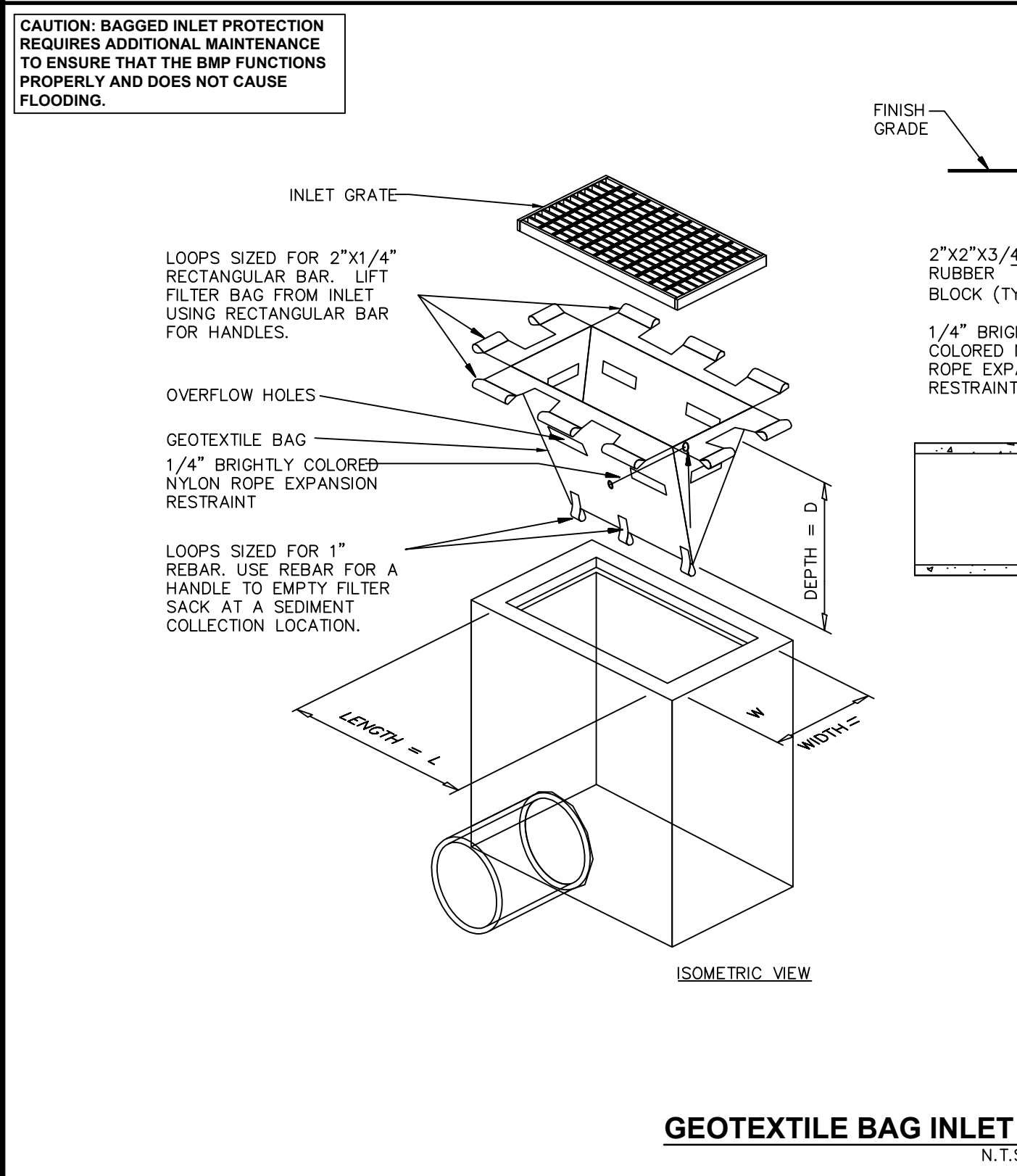
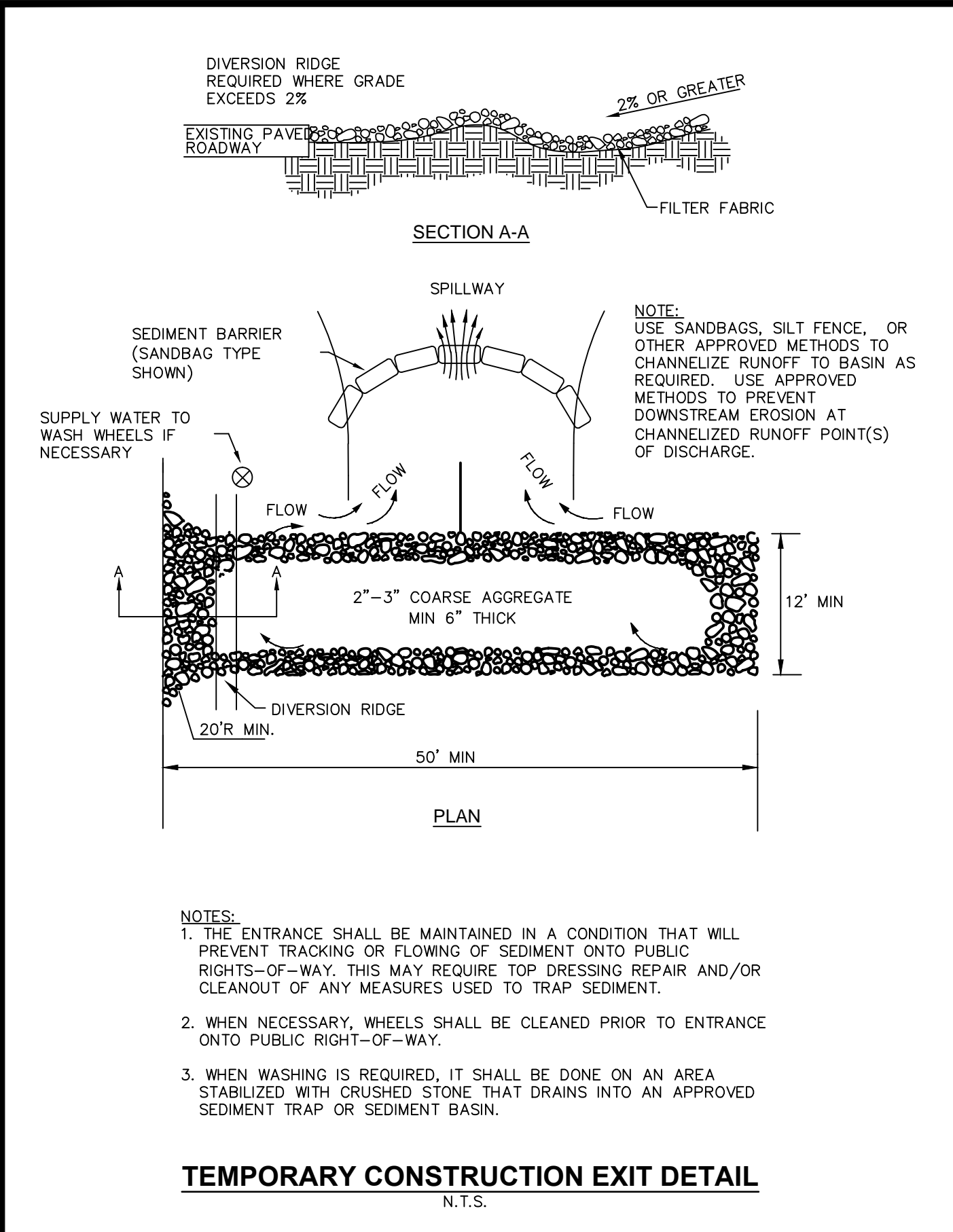
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- REVISIONS**
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ARCHITECT: GC
DRAFTSMAN: JFJ
CHECKED BY: JDL
DATE: APRIL 2015
PROTOTYPE SIZE: 7N2

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CONTRACTOR / SUBCONTRACTOR CERTIFICATION TABLE

THIS SWPPP MUST CLEARLY IDENTIFY, FOR EACH MEASURE IDENTIFIED WITHIN THE SWPPP, THE CONTRACTOR(S) OR SUBCONTRACTOR(S) WHO WILL IMPLEMENT EACH MEASURE. ALL CONTRACTOR(S) AND SUBCONTRACTOR(S) IDENTIFIED IN THE SWPPP MUST SIGN THE FOLLOWING CERTIFICATION:

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

Name / Signature	Title	Company Name, Address and Phone Number	Date

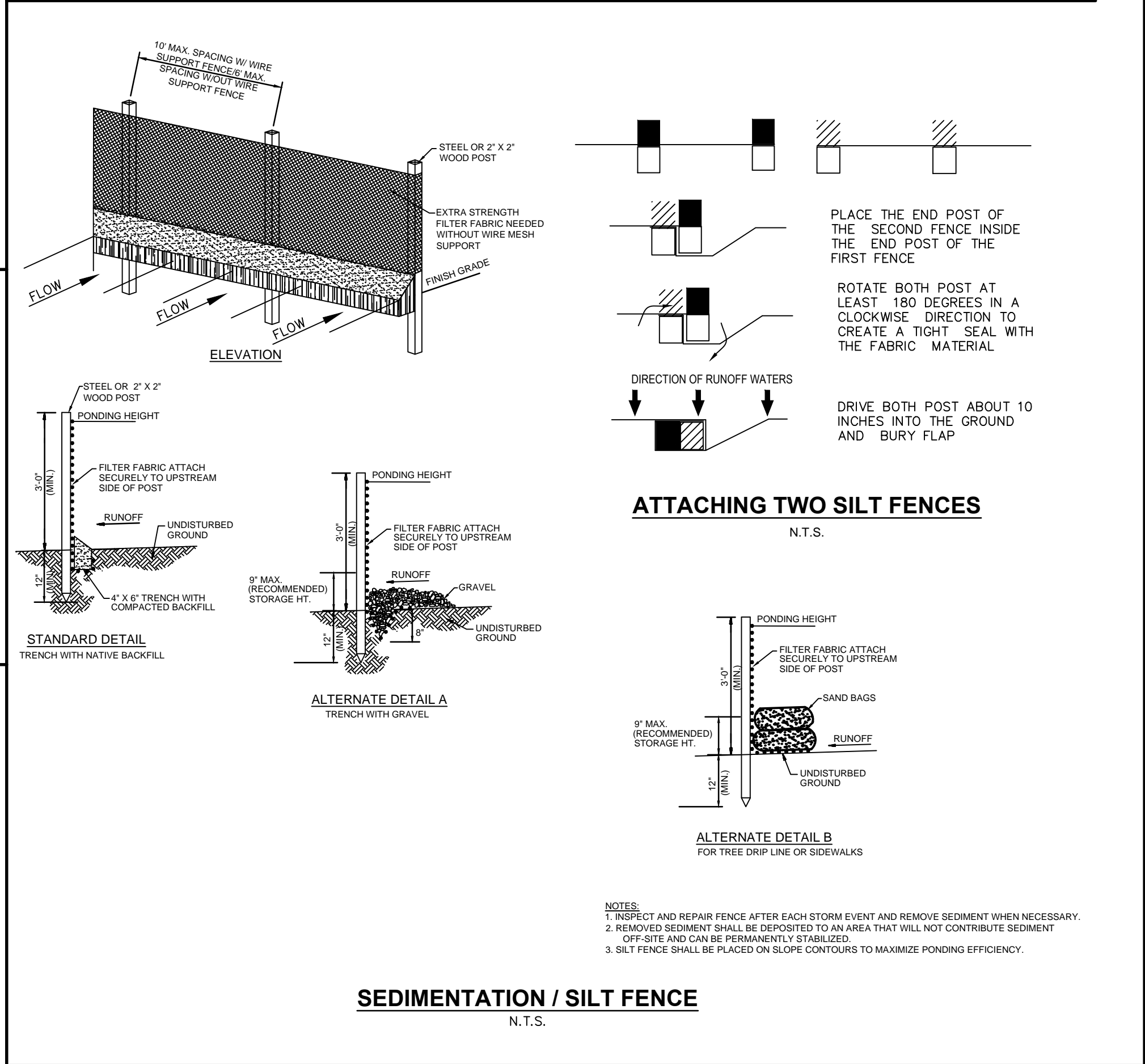
NOTE: CONTRACTOR TO ADD SHEETS TO CERTIFICATION TABLE AS NECESSARY.

SWPPP IMPLEMENTATION LOG

A RECORD OF DATES WHEN BMPs ARE INSTALLED OR REMOVED, STABILIZATION MEASURES ARE INITIATED, MAJOR GRADING ACTIVITIES OCCUR, AND CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON PORTIONS OF THE SITE. THIS FORM MUST BE UPDATED CONTINUOUSLY THROUGHOUT THE PROJECT UNTIL THE NOTICE OF TERMINATION (NOT) IS FILED.

DESCRIPTION OF ACTIVITY	LOCATION	CONTRACTOR	BEGIN DATE	END DATE

NOTE: CONTRACTOR TO ADD SHEETS TO THE 'SWPPP IMPLEMENTATION LOG' AS NECESSARY.



SEDIMENTATION / SILT FENCE
N.T.S.

ARCHITECT: GC

DRAFTSMAN: JFJ

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F.W. Dodge Plan Room Tel: (615) 884-1017

AutoZone Store Development
Store No.: 6348

CITY OF DELRAY BEACH, FL 33483

STORMWATER POLLUTION PREVENTION PLAN DETAILS

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For Bidding & Contractor Information Contact:
F.W. Dodge Plan Room Tel: (615) 884-1017

AutoZone Store Development
Store No.: 6348

CITY OF DELRAY BEACH, FL 33483

STORMWATER POLLUTION PREVENTION PLAN DETAILS

SCALE: NONE

REVISIONS

NO.	DESCRIPTION
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ARCHITECT: GC

DRAFTSMAN: JFJ

CHECKED BY: JDL

DATE: APRIL 2015

PROTOTYPE SIZE: 7N2

C1.1

AutoZone Inc.
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
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ARCHITECT: GC

DRAFTSMAN: JFJ

CHECKED BY: JDL

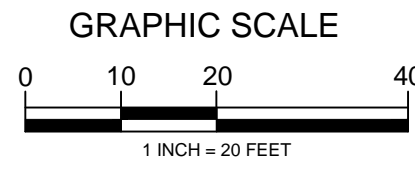
DATE: APRIL 2015

PROTOTYPE SIZE: 7N2

C1.1

AutoZone Inc.
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-

NOTE:
SIGNAGE SHALL BE REVIEWED AND APPROVED SEPARATELY.



NOTE:
RIGHT-OF-WAY DEDICATIONS WERE DEDICATED VIA 2005 NORTH
FEDERAL HIGHWAY REPLAT PER PLAT BOOK 107 PAGE 43 OF
THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SITE DATA

STATEMENT OF INTENT:
THE OWNER PROPOSES TO CONSTRUCT A NEW 7,381 S.F. AUTOZONE AND THE
REQUIRED SITE SUPPORT ELEMENTS TO SERVE IT.

SITE ADDRESS: S.W. CORNER OF N.E. 22ND LANE AND NORTH FEDERAL
HWY
PARCEL I.D. NUMBER: 12-43-46-04-35-000-020
SITE TOTAL AREA: 38,258 S.F. (0.88 AC. ±)
EXISTING USE: VACANT
PROPOSED USE: COMMERCIAL
MAX. BUILDING HEIGHT: 48' MAX.
TOTAL BUILDING AREA: 7,381 S.F.

PROPOSED AREA CALCULATIONS
BUILDING AREA: 7,381 S.F. 0.17 AC. (19.29%)
PERVIOUS AREA: 13,496 S.F. 0.31 AC. (35.28%)
IMPERVIOUS AREA: 17,381 S.F. 0.40 AC. (45.43%)
TOTAL: 38,258 S.F. 0.88 AC. (100.00%)

BUILDING SETBACKS
REQUIRED PROVIDED
NORTH: 5' 76.67'
WEST: 5' 86.60'
EAST: 5' (MIN) 15' (MAX) 20.00'
SOUTH: 10' 12.94'

LANDSCAPE SETBACKS
REQUIRED PROVIDED
NORTH: 10' 10'
WEST: 12.5'
EAST: 10' 10'
SOUTH: 5' 10'

FLOOR AREA RATIO: 0.00%

ZONING:
SUBJECT SITE: GC- GENERAL COMMERCIAL
(NORTH FEDERAL HIGHWAY OVERLAY)
NORTH: GC- GENERAL COMMERCIAL
EAST: AC- AUTOMOTIVE COMMERCIAL
SOUTH: GC- GENERAL COMMERCIAL
WEST: R-1-A- SINGLE FAMILY RESIDENTIAL

FLOOD ZONE:
THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE C, IN
ACCORDANCE WITH THE FIRM MAP OF PALM BEACH COUNTY, COMMUNITY
PANEL NUMBER 1201920206 B. MAP REVISED OCTOBER 15, 1982.

KEYNOTES LEGEND

- CONCRETE CURB - SEE DETAIL 1 /C5.0.
- G.C. TO PROVIDE ALTERNATE BID FOR CONCRETE PAVING W/
EXPANSION AND CONTROL JOINTS. MAXIMUM SPACING FOR
CONTROL JOINTS IS 12'-0" O.C. EACH WAY - SEE DETAIL 4, 21 &
22 /C5.0.
- ASPHALT PAVING - SEE DETAIL 5 /C5.0.
- HANDICAP PARKING STRIPING - SEE DETAIL RT 4.2a /C5.2.
- CONCRETE SIDEWALK, 2% MAXIMUM CROSS SLOPES, 5%
MAXIMUM LONGITUDINAL SLOPE - SEE DETAIL 19 /C5.0.
- DUMPSTER LAYOUT - SEE DETAIL 8 & 10 /C5.0.
- PROPOSED DETECTABLE WARNING, 3" DEEP TRUNCATED DOMES TO
BE OVERLAY PAD.
- CONCRETE HANDICAP RAMP - MAXIMUM SLOPE 1:12 (8.33%)
(PER A.D.A. REQUIREMENTS AND FDOT INDEX NO. 304). MAXIMUM
CROSS SLOPE 1:50 (2.00%) - SEE DETAIL 24 /C5.0.
- 7' x 1.5' MONUMENT SIGN.
- 24" WIDE WHITE PAINT STOP BAR ON PAVEMENT
PER FDOT INDEX NO. 17346. SEE DETAIL 25 /C5.0.
- PAVEMENT MARKINGS - SEE DETAIL 18 /C5.0.
- PROPOSED DYSL / 4" (LINES TO BE EXTENDED 15' FROM THE STOP BAR).
- 4" WIDE PARKING STRIPE PAINTED WHITE - SEE
DETAIL RT 4.2a.
- PROPOSED LANDSCAPE AREA.
- NO PARKING / LOADING ZONE SIGN - SEE DETAIL 14 /C5.0.
- LOADING ZONE STRIPING. SYSL / 4" SPACED AT 2' O.C. AT 45'.
- PIPE GUARD @ ROLL-UP DOOR - SEE DETAIL 15 & 16 /C5.0.
- LANDSCAPE BUFFER.
- 6" WIDE PARKING STRIPE PAINTED WHITE - SEE DETAIL RT 4.2a.
- STOP SIGN - SEE DETAIL 26 /C5.0.
- PROPOSED TRANSFORMER PAD.
- MATCH EXISTING SIDEWALK.
- PROPOSED NOSE DOWN CURB - SEE DETAIL 3 /C5.0.
- CONCRETE HANDICAP RAMP - MAXIMUM SLOPE 1:12 (8.33%) (PER
A.D.A. REQUIREMENTS AND FDOT INDEX NO. 870). MAXIMUM
CROSS SLOPE 1:50 (2.00%)
- PROPOSED ALUMINUM HANDRAIL
PER FDOT INDEX NO. 870 - SEE DETAIL 20 /C5.0.
- 10' SITE TRIANGLE REQUIRED AT ALL INGRESS/ EGRESS
POINTS
- PROPOSED PIPE GUARD, SEE DETAIL 16 /C5.0.
- PROPOSED CONCRETE PAVEMENT - SEE DETAIL 4 /C5.0.
- EXISTING 4" CHAIN LINK FENCE TO BE REMOVED.
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT, SEE
DETAIL 4 /C5.0.
- PROPOSED TYPE F CURB AND GUTTER
PER FDOT INDEX NO. 300.
- PROPOSED GROSS WALK STRIPING
PER FDOT INDEX NO. 17346.
- PROPOSED BIKE RACK - SEE DETAIL RT 13.1 /C5.2
- EDGE OF PAVEMENT (NO CURB)

GENERAL NOTES

- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING
IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND
WIRING ARE BY THE OWNER/OPERATOR.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE
DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE
EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING
ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS,
SIZES, AND CIRCUITING.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE
VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND
CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE
OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT
RECOMMENDATIONS FOR THIS PARTICULAR SITE.
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS SHOWN (BOC) WHICH
INDICATES BACK OF CURB.
- ALL STRIPING SHALL BE IN CONFORMANCE WITH LOCAL AGENCY REQUIREMENTS.
- ADJUST ALL MANHOLE RINGS AND CLEAN OUT COVERS TO BE FLUSH WITH FINISHED
GRADE. ALL PARTS TO BE TRAFFIC BEARING (AASHTO H-20 LOADING).
- ENSURE ACCESSIBILITY STICKERS ARE PLACED ON ALL APPLICABLE DOORS.
- TRANSITIONS TO BE FLUSH ALL ALONG THE ACCESSIBLE ROUTE. CONTRACTOR SHALL
ENSURE THE MAXIMUM CONSTRUCTED LEVEL TRANSITION AT EVERY JOINT DOES NOT
EXCEED THE MAXIMUM ALLOWABLE UNDER THE ADA AFTER SETTLEMENT, EXPANSION,
CONTRACTION, ETC. CHANGES IN LEVEL OF 1/4" HIGH MAXIMUM SHALL BE PERMITTED
TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4" HIGH MINIMUM AND 1/2" HIGH
MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- FILL EXPANSION / CONTROL JOINT WITH EXTERIOR GRADE CONCRETE EXPANSION JOINT
CAULKING. FILL ENTIRE LENGTH OF JOINT SUCH THAT ANY CHANGE IN ELEVATION DOES
NOT EXCEED 1/4" IN ELEVATION FROM THE ADJACENT CONCRETE SURFACES WHEN
CAULKING HAS CURED. FOR JOINTS WITH VOIDS DEEPER THAN 1/2", INSTALL
CONTINUOUS FIBERBOARD EXPANSION JOINT FILLER BELOW CAULKING TO SUPPORT
CAULKING ABOVE.
- ALL ON SITE PAVEMENT TO BE DOUBLE STRIPED.
- ADA PARKING STALL AND SPACES SHALL NOT EXCEED 2% MAX. CROSS AND/OR
RUNNING SLOPE.
- ALL ADA ROUTES MUST MEET CURRENT ADA STANDARDS.
- GENERAL CONTRACTOR TO PROVIDE LIGHT FRAME TRUSS TYPE CONSTRUCTION
IDENTIFICATION SIGNAGE PER FAC 69A-60.0081.
- PAVEMENT TO BE MILLED AND RESURFACED 50 FEET FORM EDGE OF TRENCH ON BOTH
SIDES OF PIPE FOR THE FULL WIDTH OF THE STREET PER FDOT STANDARDS.

PARKING INFORMATION

TOTAL SPACES REQUIRED	33	PARKING REQUIRED 4.5 SPACE / 1,000 S.F. 7,381 S.F./1,000, 4.5 S.F. = 33 SPACES
TOTAL SPACES PROVIDED	33	22 PROPOSED SPACES: 9' X 18' STANDARD @ 90° 2 PROPOSED SPACES: 12' X 18' ACCESSIBLE @ 90° 9 PROPOSED SPACES: 8' X 18' COMPACT @ 90° 30% MAX COMPACT SPACES ALLOWED: 27% COMPACT SPACES PROVIDED

UTILITY INFORMATION

UTILITY	LOCATION
SANITARY SEWER	LINE AT WEST SIDE OF PROPERTY
WATER	LINE AT WEST SIDE OF PROPERTY
RECLAIM WATER	N/A
STORM SEWER	INLET AT EAST SIDE OF PROPERTY
ELECTRIC	LINE AT EAST SIDE OF PROPERTY
GAS	N/A

SURVEY INFORMATION

PREPARED BY: BULLSEYE SURVEYING, INC.
4590 ULMERTON RD, SUITE 115
CLEARWATER, FLORIDA 33762
(727) 475-8088
ATTN: GEORGE R. MARTIN, PSM
10/03/2014

SITE LEGEND

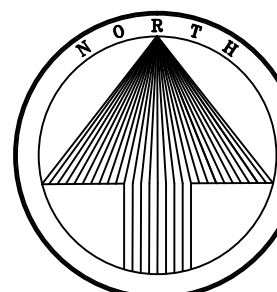
- = PROPOSED ASPHALT PAVEMENT
- = PROPOSED CONCRETE PAVEMENT
- = PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- DYSL/4" = DOUBLE YELLOW SOLID LINE / 4" WIDE
- ⊗ = PROPOSED PARKING COUNTRY
- (HC) = HANDICAP SIGN (FTP-25)
- (S) = STOP SIGN (R1-1)
- ⊕ = PROPOSED LIGHT FIXTURE
- ⊙ = PROPOSED COMPACT PARKING STALL (18' X 8')
- - - = PROPERTY LINE

SCALE: 1"=20'

Prepared for: **AutoZone Store Development**

Store No.: 6348

CITY OF DELRAY BEACH, FL. 33483
SITE DIMENSION PLAN



SCALE: 1"=20'

REVISIONS

- PER CITY
- PER CITY
- PER CITY
-
-
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-

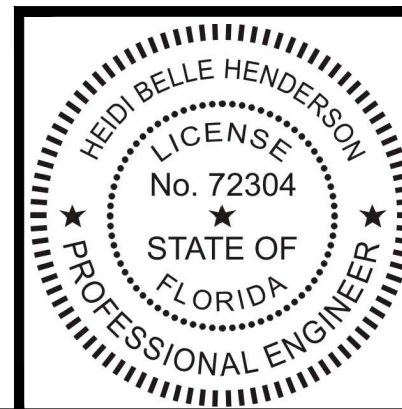
ARCHITECT: GC

DRAFTSMAN: JFJ

CHECKED BY: JDL

DATE: APRIL 2015
PROTOTYPE SIZE 7N2

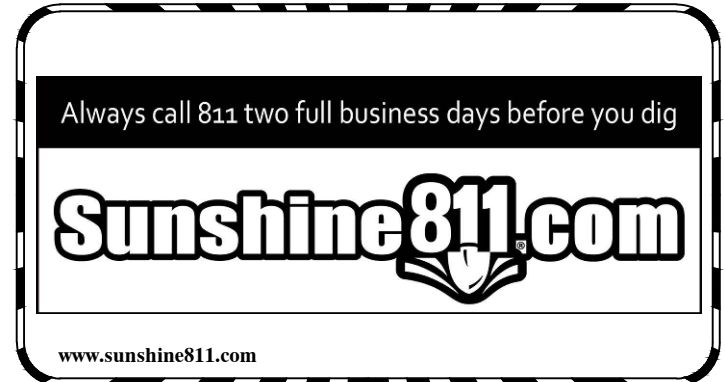
C2.0



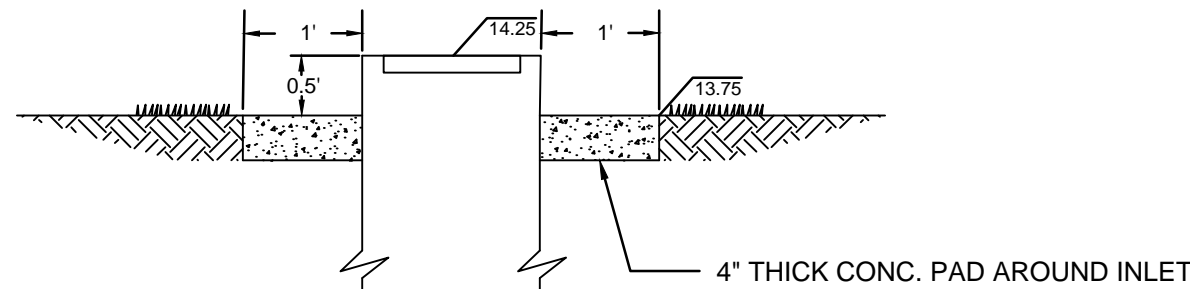
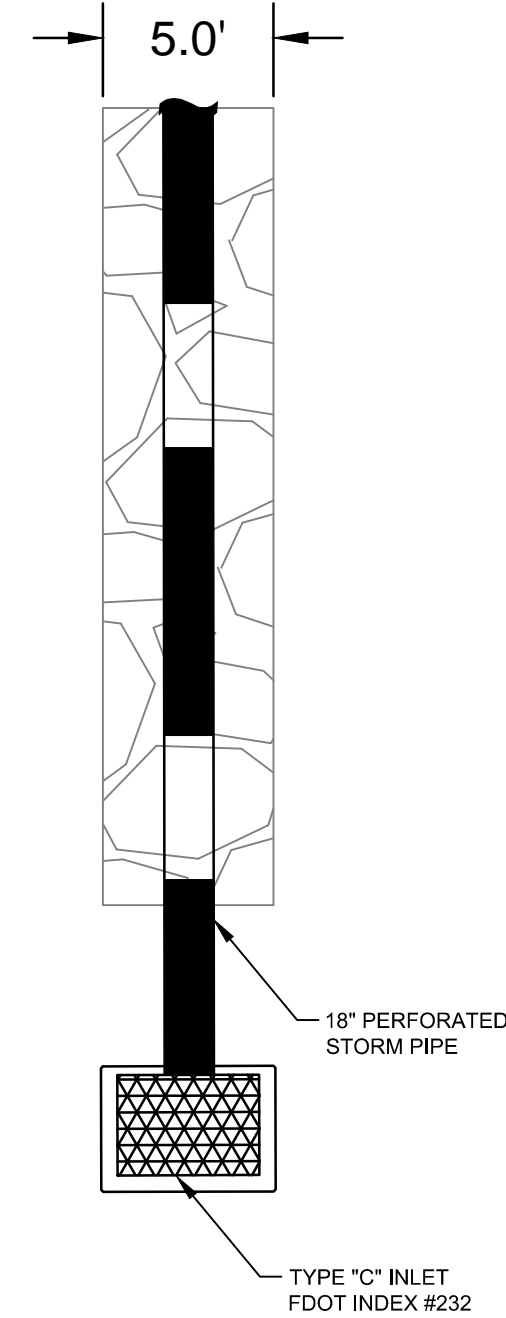
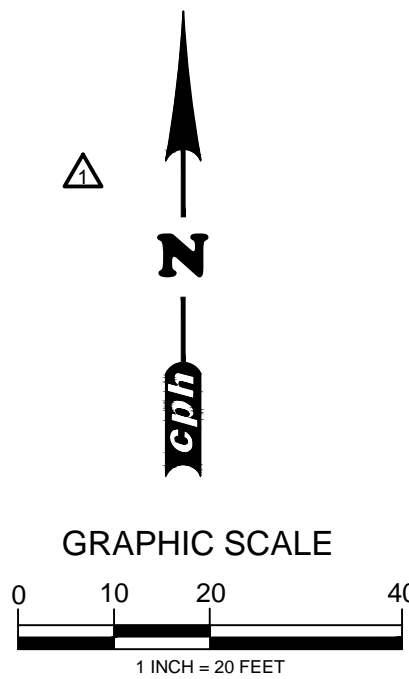
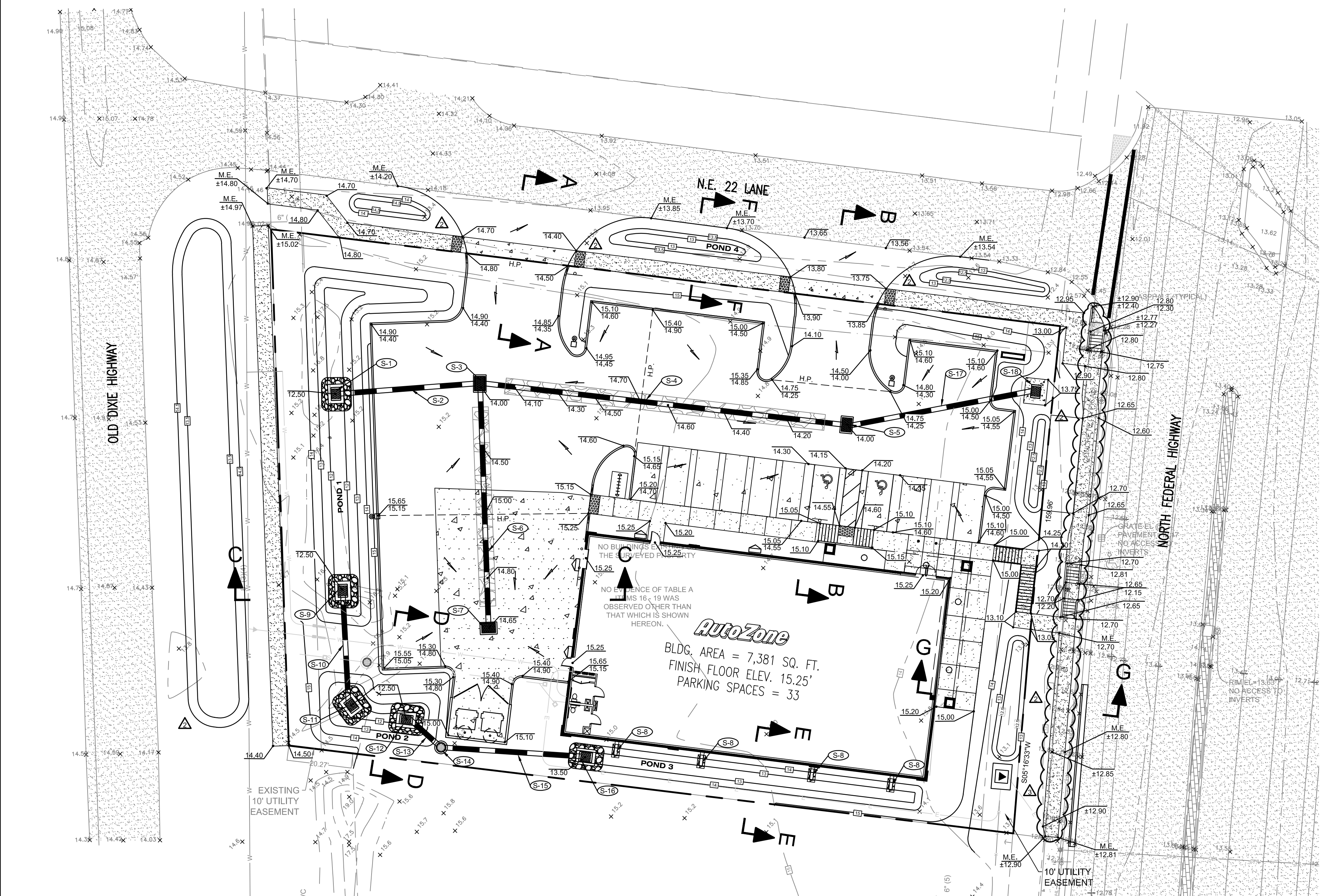
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CPH, Inc.
1992 SW 1st Street, Miami, FL 33135
Ph: 305.274.4805
Licenses:
Eng. C.O.A. No. 3215 Arch. Lic. No. AA2600926
Survey L.B. No. 7143 Landscp. Lic. No. LC0000298

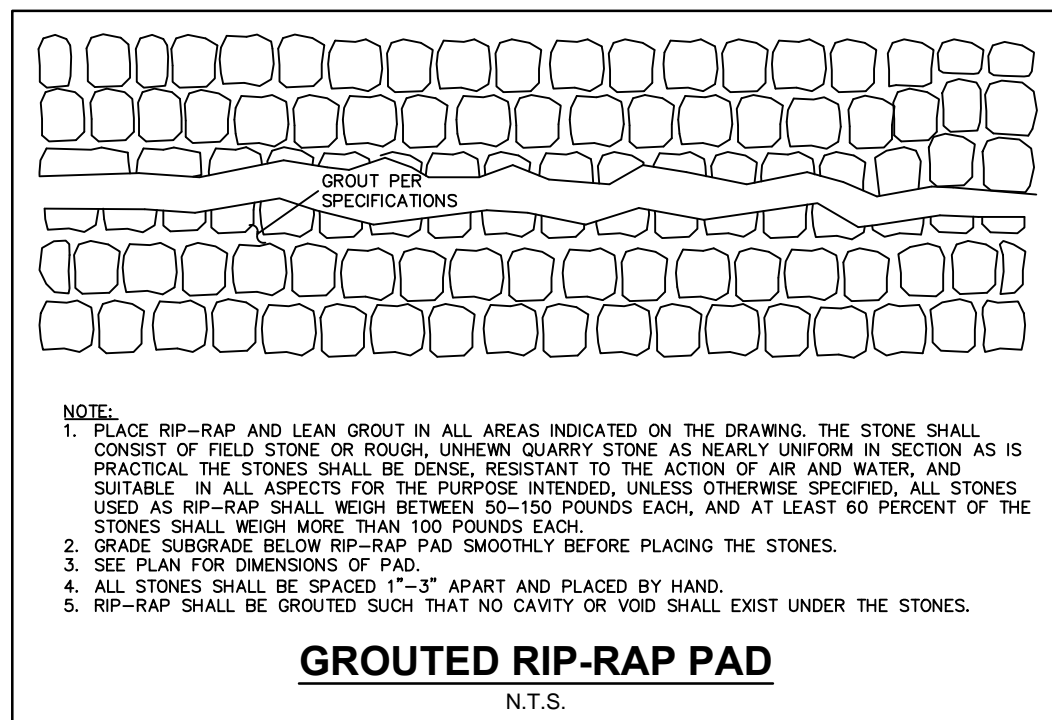


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CONCRETE PAD DETAIL
FOR S-18

N.T.S.



GROUTED RIP-RAP PAD

N.T.S.

**DETENTION AREA
STORAGE VOLUME**

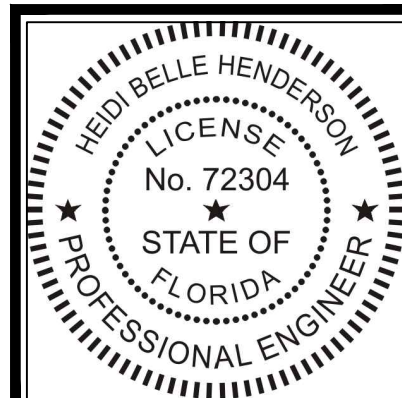
POND 1:	0.06 AC-FT
POND 2:	0.017 AC-FT
POND 3:	0.008 AC-FT
POND 4:	0.002 AC-FT

ZONE: X
(FIRM MAP 1201920206B)
ALL ELEVATIONS WITHIN THESE
PLANS ARE IN THE NORTH AMERICAN
VERTICAL DATUM OF 1988

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STORM SEWER SYSTEM NOTES

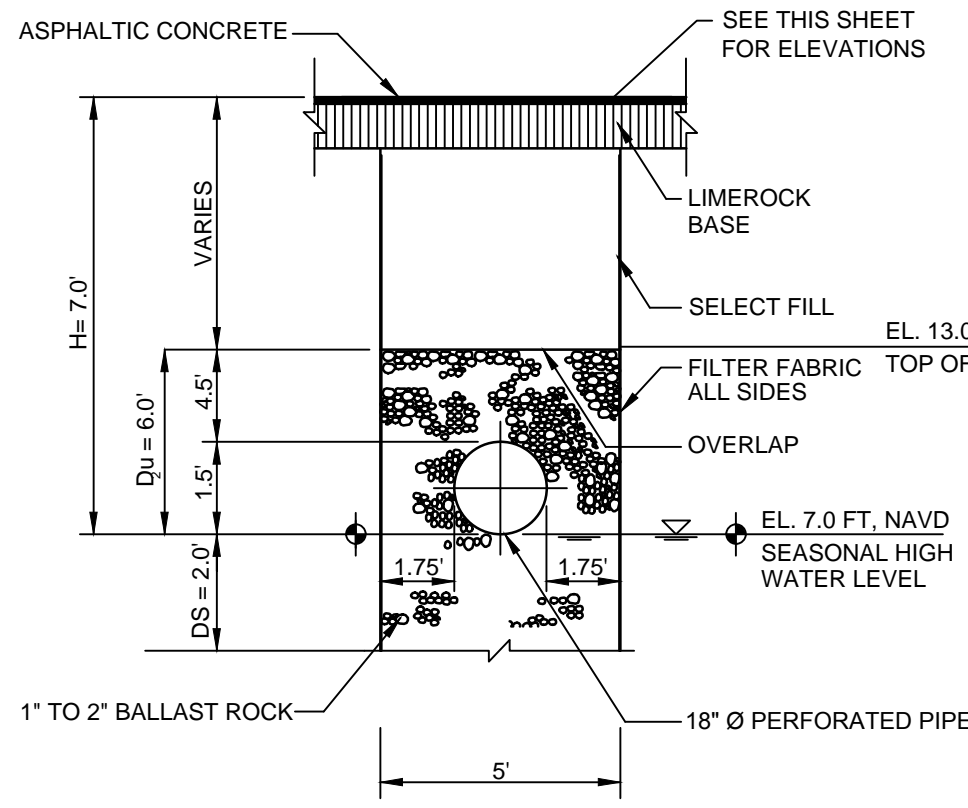
1. ALL PIPES IN LEGEND SPECIFIED AS "STORM PIPE" SHALL BE SELECTED FROM THOSE LISTED IN MATERIAL SPECIFICATIONS NOTES, SHEET C0.1.
2. FOR INLET BOTTOMS SEE FDOT INDEX NO. 200.
3. FOR SUPPLEMENTAL DETAILS SEE FDOT INDEX NO. 201.
4. ALL PROPOSED INLET GRATES SHALL BE H20 TRAFFIC BEARING RETICULINE STEEL.
5. SEE SHEET C0.1 FOR SURFACE DRAINAGE NOTES.

GENERAL GRADING NOTES

1. ALL DRAINAGE STRUCTURES INCLUDING CLEAN-OUTS SHALL BE INSTALLED WITH TRAFFIC BEARING GRATES, FRAMES, TOPS, RINGS, COVERS, ETC. AS APPLICABLE.
2. LOADING AREA: SLOPE AT MAX. 2 1/2% AWAY FROM BUILDING.
3. CONTRACTOR SHALL USE EXTREME CAUTION WHEN CROSSING EXISTING UTILITIES TO ENSURE NO DAMAGE OR LOSS OF SERVICE OCCURS. ANY DAMAGE TO SAID LINES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
4. ALL GRADES ARE RELATIVE TO NAVD 1988.
5. THE PRESENCE OF GROUNDWATER MAY BE ENCOUNTERED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
6. ADA PARKING STALL AND SPACES SHALL NOT EXCEED 2% MAX. CROSS AND/OR RUNNING SLOPE.
7. ALL ADA ROUTES MUST MEET CURRENT ADA STANDARDS.

PROPOSED STORM SEWER SCHEDULE

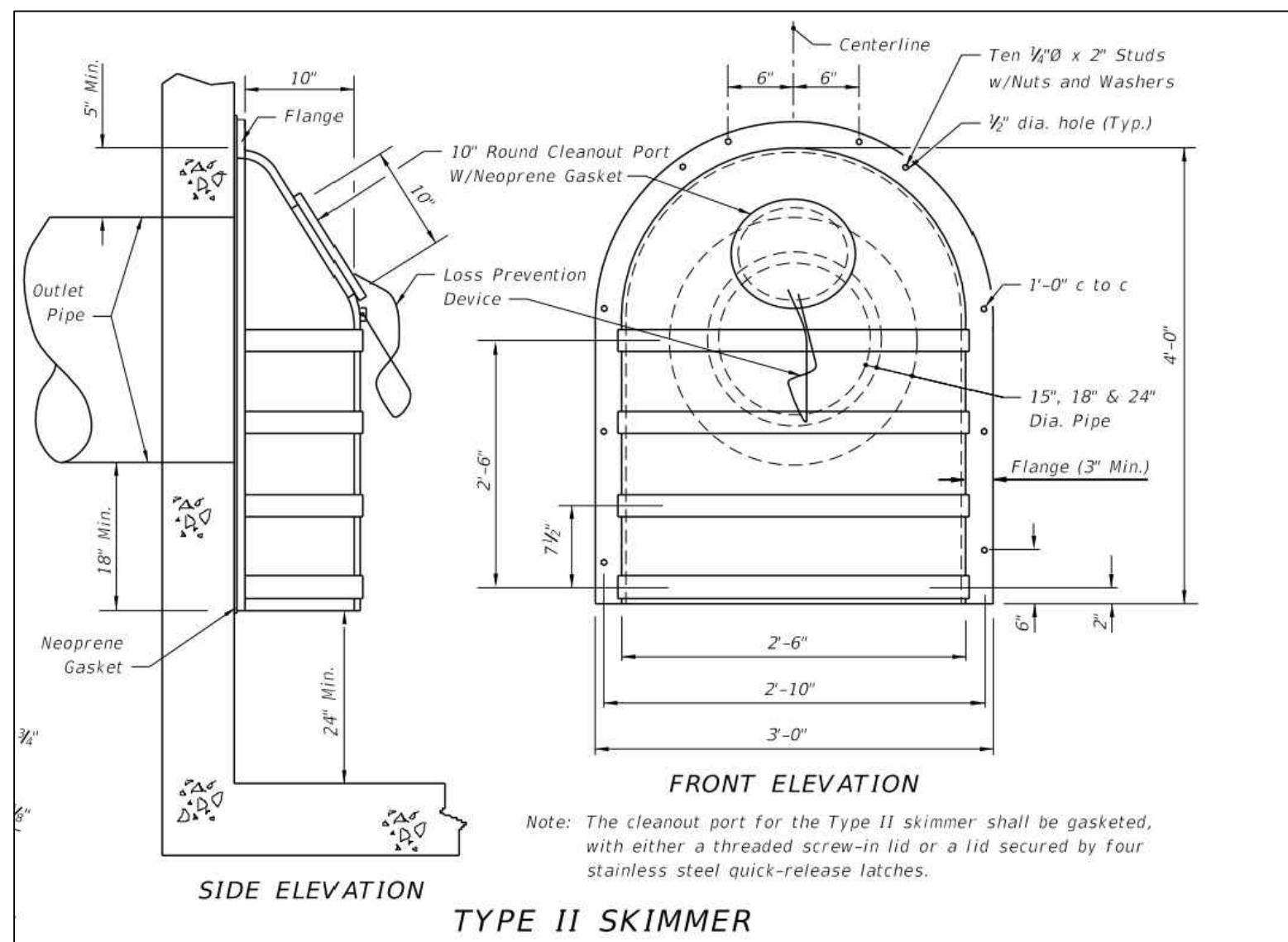
- S-1** TYPE "C" GRATE INLET, PER FDOT INDEX # 232 w/RIP-RAP
GRATE ELEV. = 12.50
E. F.L. = 8.00
- S-2** 42' L.F. - 18" STORM PIPE @ 0.00%
- S-3** TYPE "C" GRATE INLET, PER FDOT INDEX # 232
W/ MODIFIED J BOTTOM BOX PER FDOT INDEX #200 W/
TYPE II SKIMMER PER FDOT INDEX #241
GRATE ELEV. = 14.00
S. F.L. = 7.00 W/ SKIMMER
E. F.L. = 7.00 W/ SKIMMER
W. F.L. = 8.00
- S-4** 113' L.F. - 18" HDPE @ 0.00% (105 L.F. PERF.)
- S-5** TYPE "C" GRATE INLET, PER FDOT INDEX # 232
W/ MODIFIED J BOTTOM BOX PER FDOT INDEX #200 W/ TYPE
II SKIMMER PER FDOT INDEX #241
GRATE ELEV. = 14.00
W. F.L. = 7.00 W/ SKIMMER
N. F.L. = 8.00
- S-6** 73' L.F. - 18" HDPE @ 0.00% (65 L.F. PERF.)
- S-7** TYPE "C" GRATE INLET, PER FDOT INDEX # 232
W/ MODIFIED J BOTTOM BOX PER FDOT INDEX #200 W/
TYPE II SKIMMER PER FDOT INDEX #241
GRATE ELEV. = 14.65
N. F.L. = 7.00 W/ SKIMMER
- S-8** ROOF DRAIN DOWN SPOUT CONNECTION TO POND BOTTOM
SPLASH BLOCK (REFER TO ARCHITECTURAL PLANS)
TO SPLASH ON GRADE. SEE DETAIL C3.027
- S-9** TYPE "C" GRATE INLET, PER FDOT INDEX # 232 w/RIP-RAP
GRATE ELEV. = 12.50
S. F.L. = 8.00
- S-10** 32' L.F. - 18" HDP STORM PIPE @ 0.00%
- S-11** TYPE "C" GRATE INLET, PER FDOT INDEX # 232 w/RIP-RAP
GRATE ELEV. = 12.50
N. F.L. = 8.00
- S-12** TYPE "C" GRATE INLET, PER FDOT INDEX # 232 w/RIP-RAP
GRATE ELEV. = 12.50
E. F.L. = 8.00
- S-13** 13' L.F. - 18" HDP STORM PIPE @ 0.00%
- S-14** TYPE "P" MANHOLE Ø 4'
RIM ELEV. = 15.50
E. F.L. = 8.00
W. F.L. = 8.00
- S-15** 41' L.F. - 18" HDP STORM PIPE @ 0.00%
- S-16** TYPE "C" GRATE INLET, PER FDOT INDEX # 232 w/RIP-RAP
GRATE ELEV. = 13.50
W. F.L. = 8.00
- S-17** 55' L.F. - 18" HDP STORM PIPE @ 0.00%
- S-18** TYPE "C" GRATE INLET, PER FDOT INDEX # 232 w/4" CONCRETE PAD
GRATE ELEV. = 14.25
S. F.L. = 8.00



18" EXFILTRATION TRENCH SECTION

N.T.S.

- NOTE: 1. FILTER FABRIC PER FDOT INDEX NO. 199
2. SEE GRADING AND DRAINAGE PLAN FOR INLET
ELEVATIONS



TYPE II SKIMMER

BAFFLE DETAIL

N.T.S.

Note: The cleanout port for the Type II skimmer shall be gasketed,
with either a threaded screw-in lid or a lid secured by four
stainless steel quick-release latches.

Owner / Developer:

AutoZone Inc.

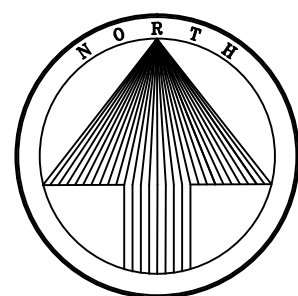
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F.W. Dodge Plan Room Tel: (615) 884-1017

Prepared for: **AutoZone Store Development**

Store No.: 6348

CITY OF DELRAY BEACH, FL. 33483

GRADING PLAN



SCALE: 1"=20'

REVISIONS

1. PER CITY
2. PER CITY
3. PER CITY
- 4.
- 5.
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ARCHITECT: GC

DRAFTSMAN: JFJ

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DATE

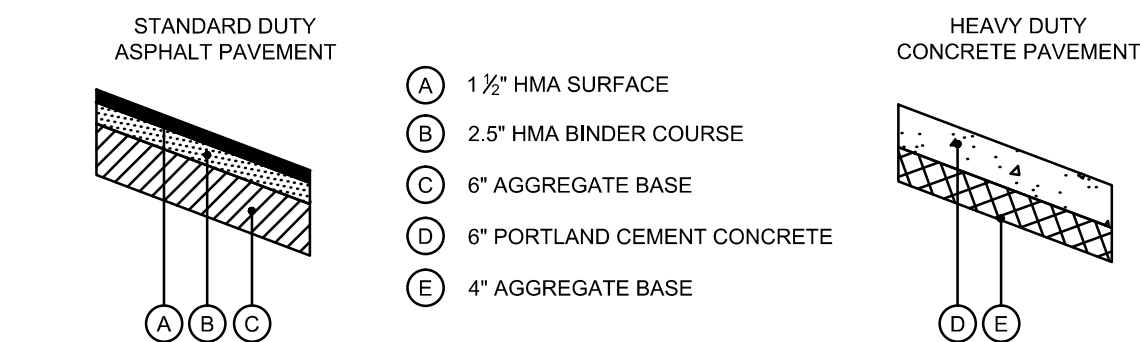
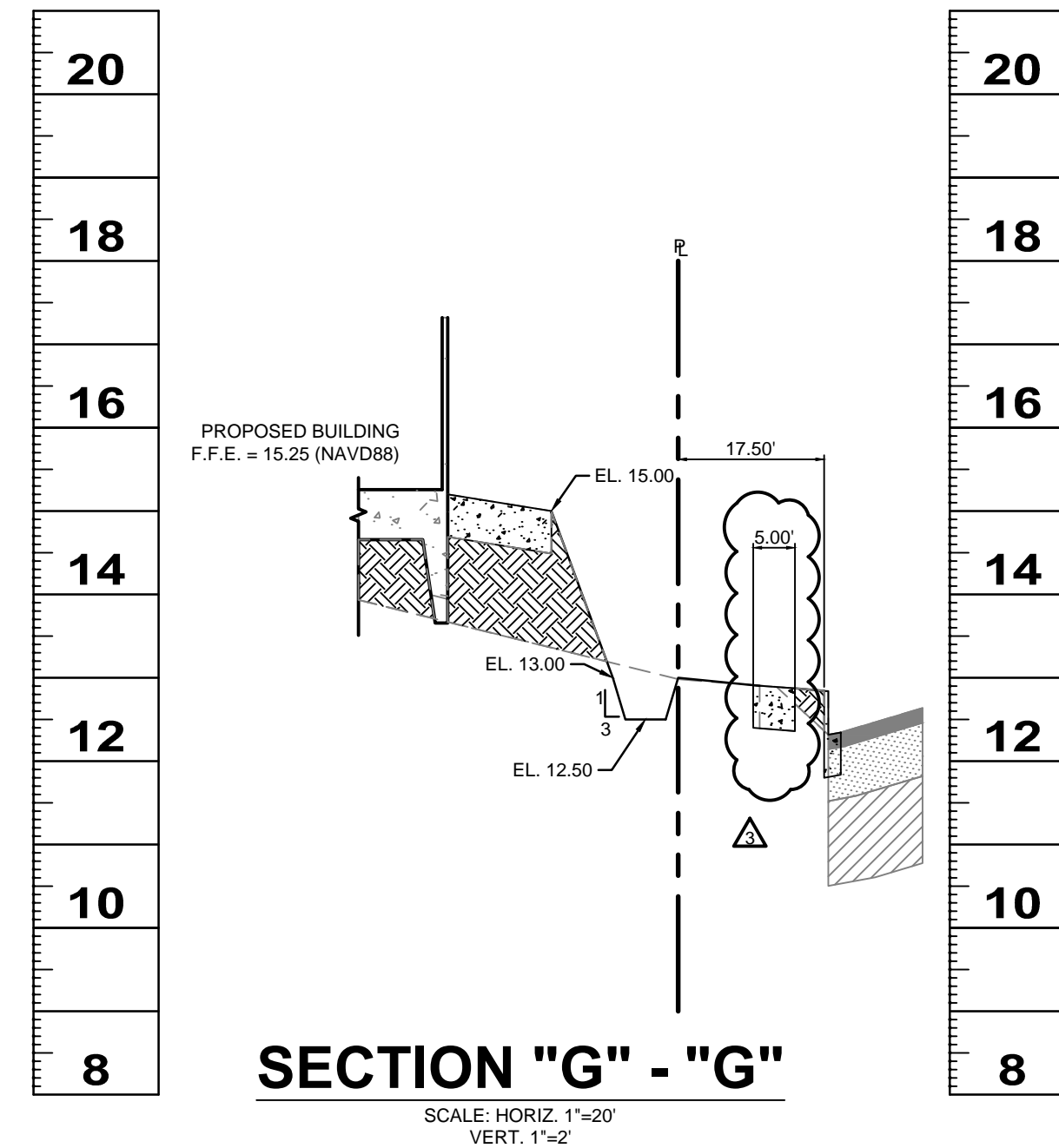
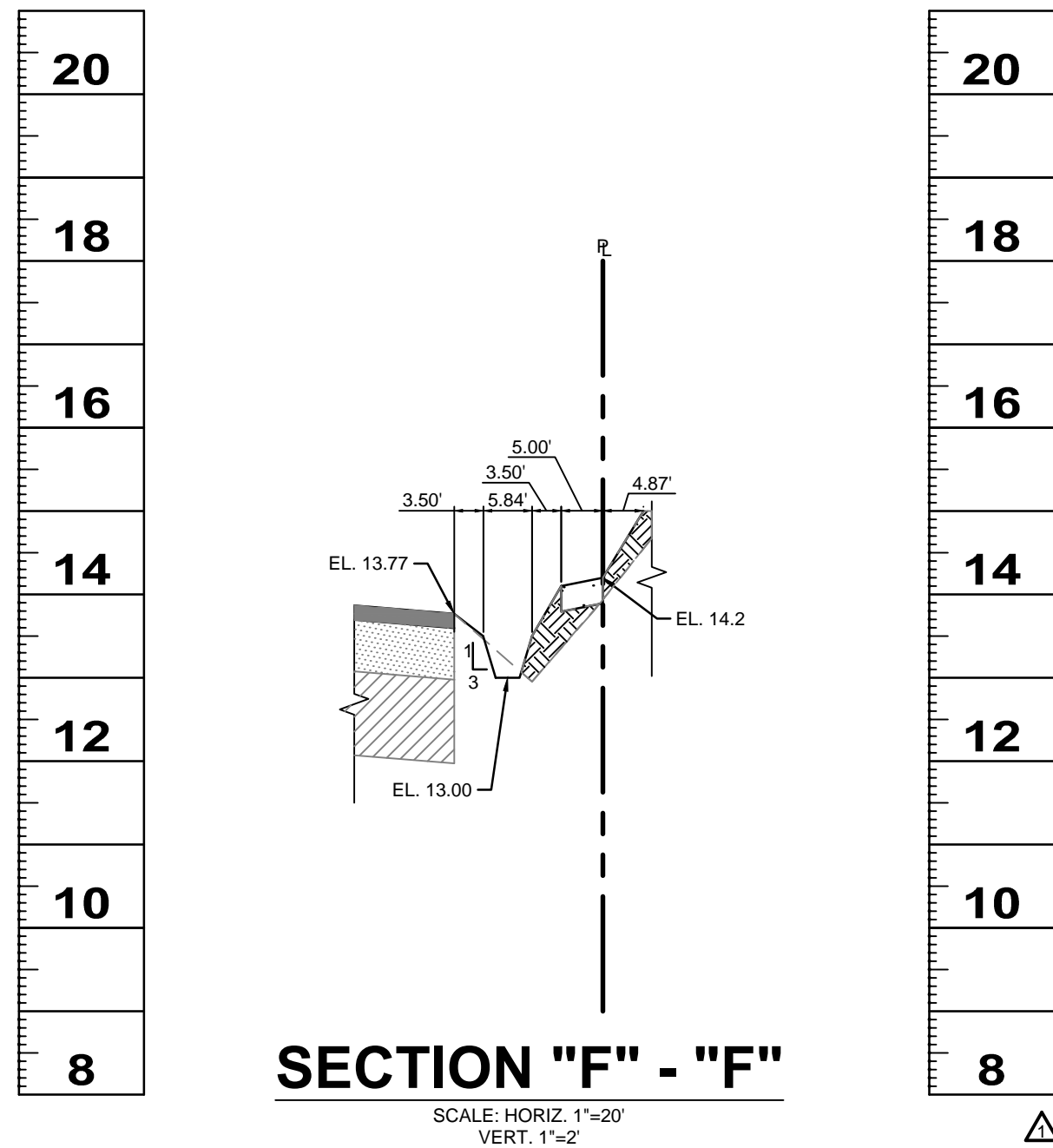
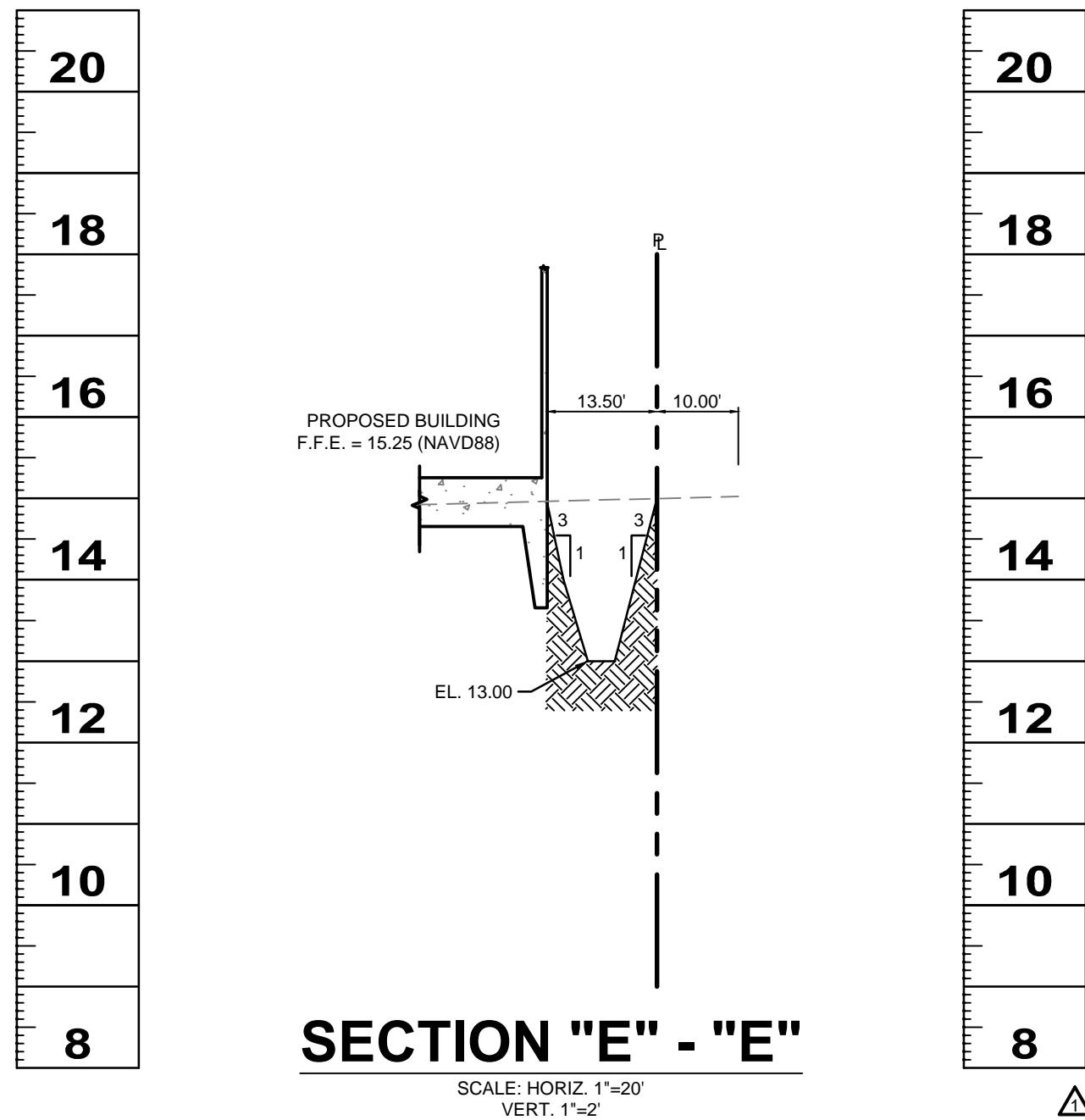
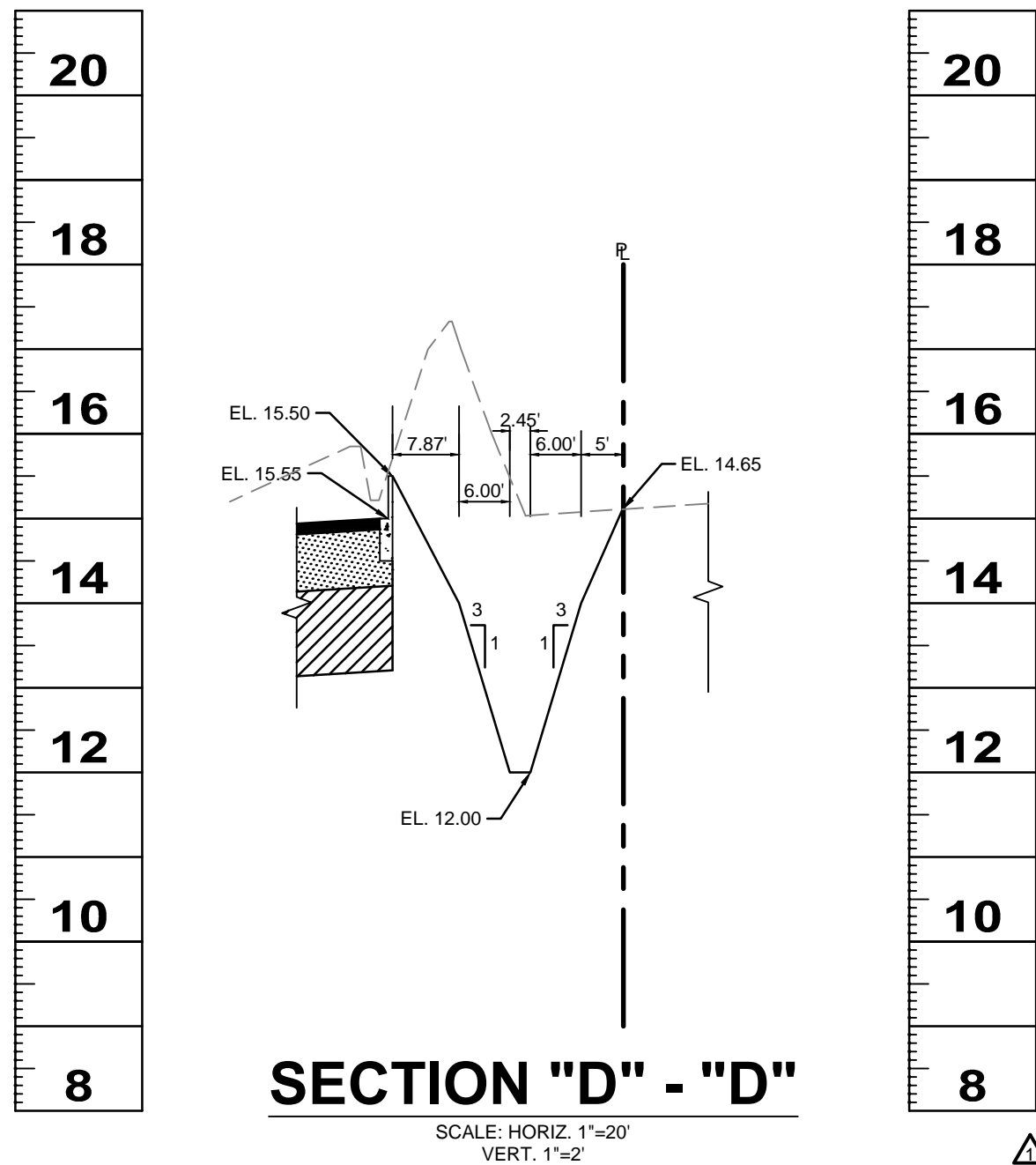
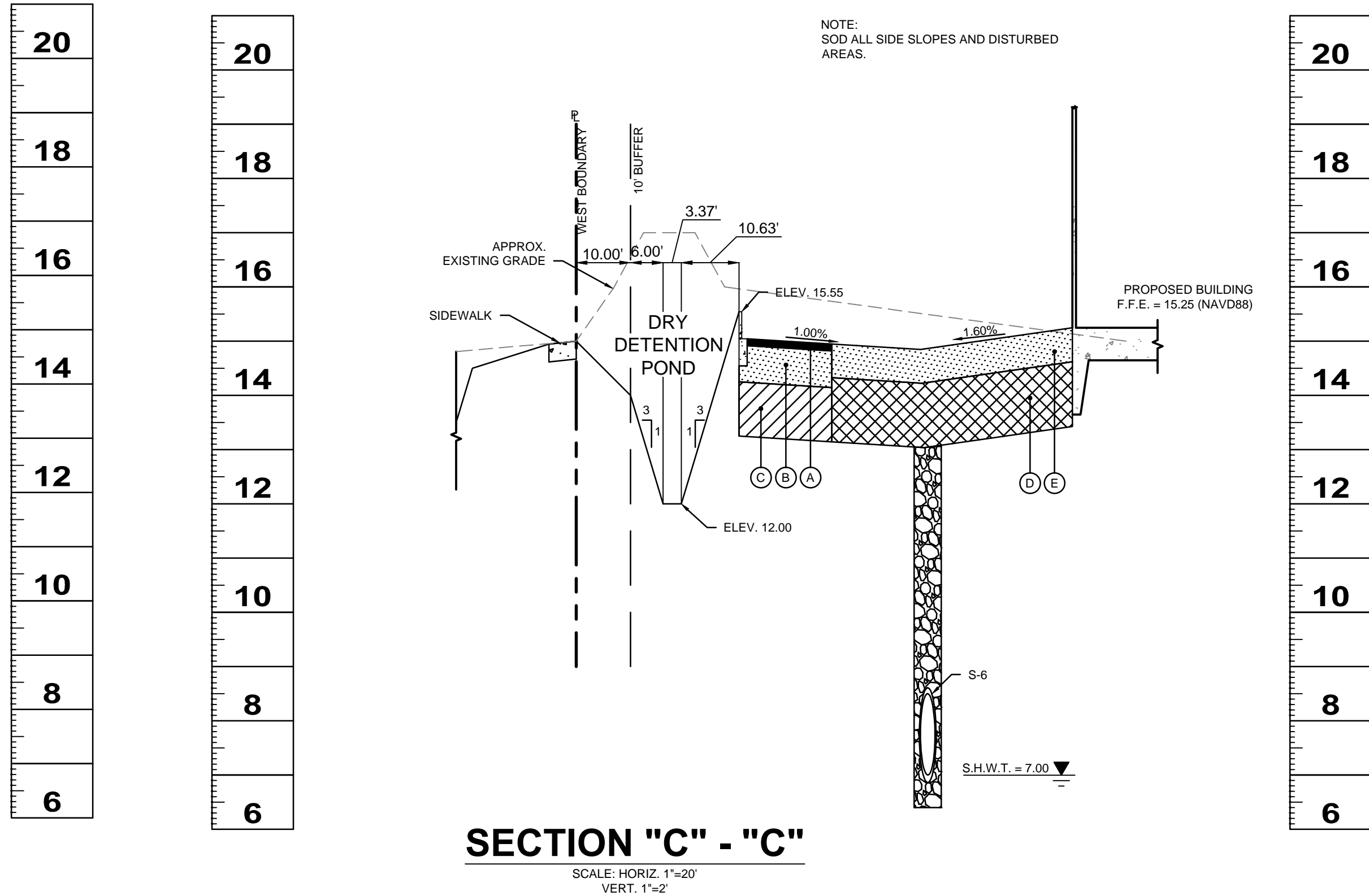
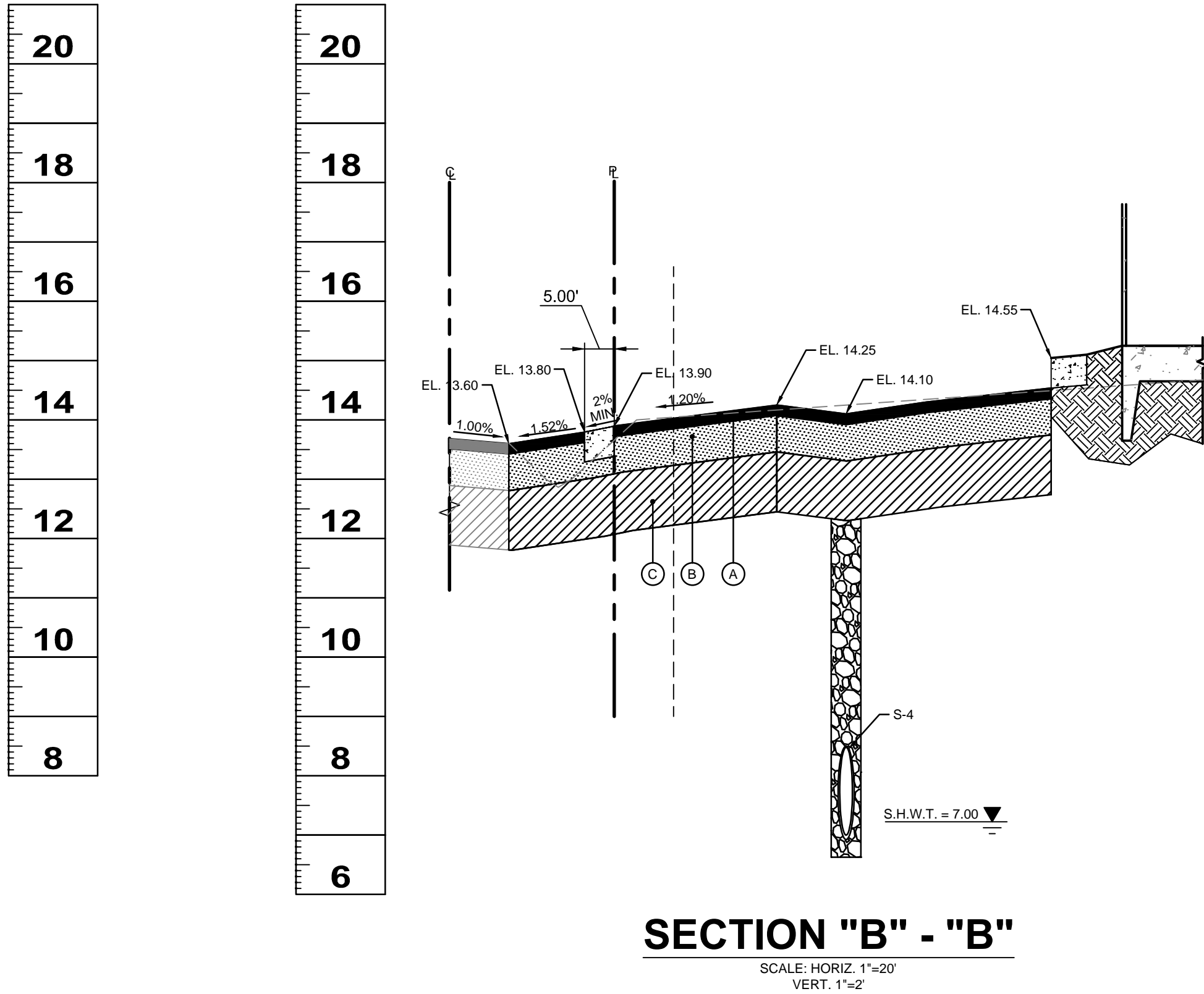
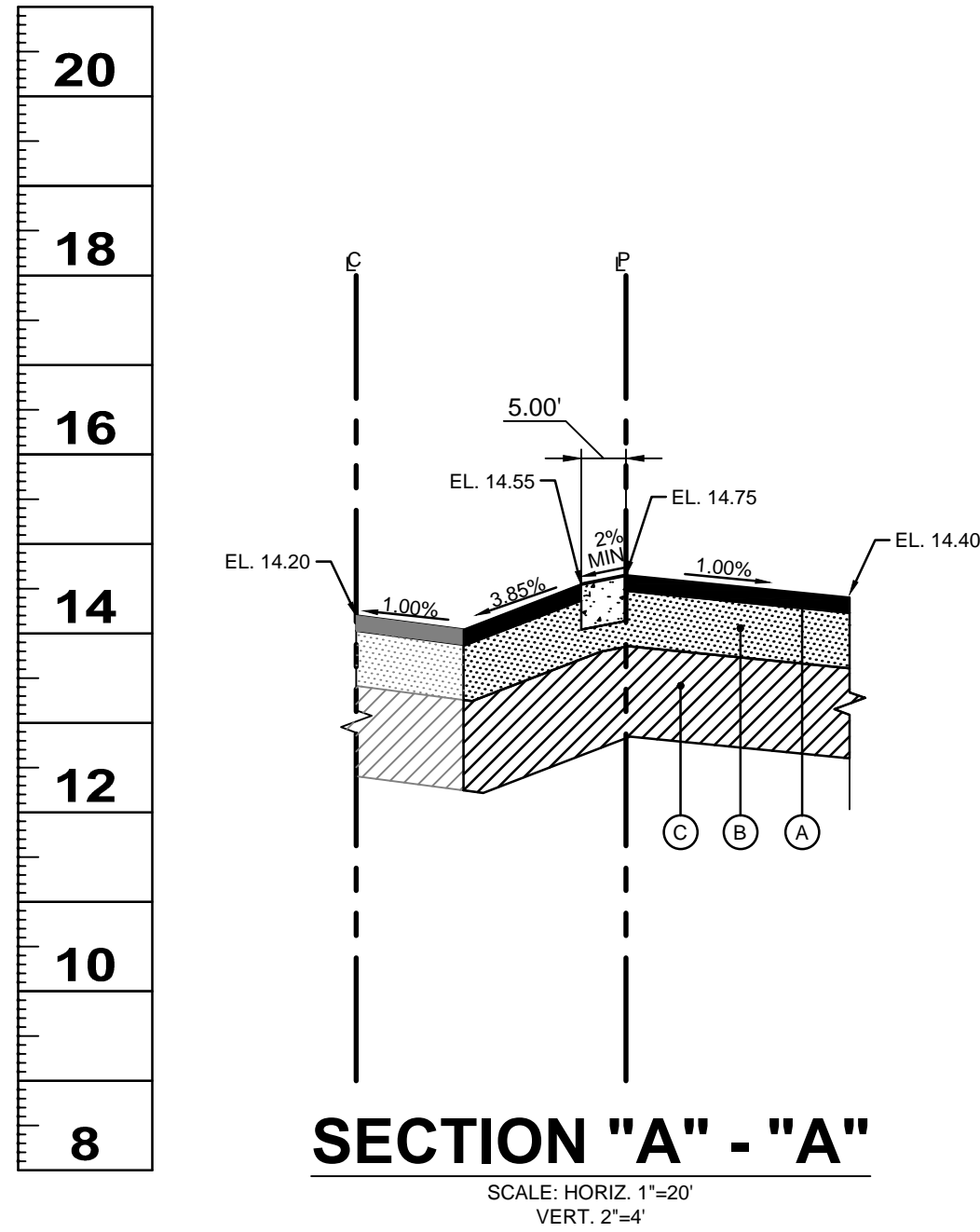
APRIL 2015

PROTOTYPE SIZE

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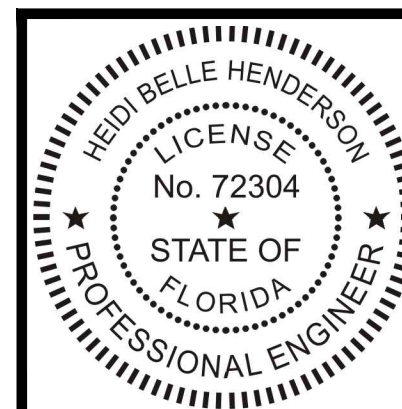
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Drawing name: J:\A20130\AutoCAD\Design\9 - A20130 - Sections 2015.05.19.dwg Mar 31, 2016 - 4:46pm jmorales



PAVEMENT DETAILS

NOTE: PLEASE REFER TO GEOTECHNICAL EVALUATION OF SUBSURFACE CONDITIONS PREPARED BY FDH ENGINEERING ON 09/26/2014



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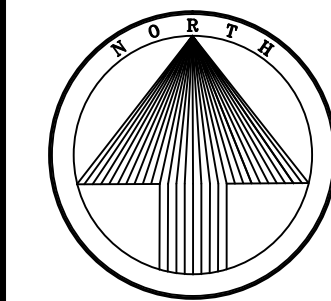
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Plans Prepared By:
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Ph: 305.274.4805
Licenses:
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APRIL 2015

PROTOTYPE SIZE

7N2

C3.1

Prepared for: **AutoZone Store Development**

Store No.: 6348

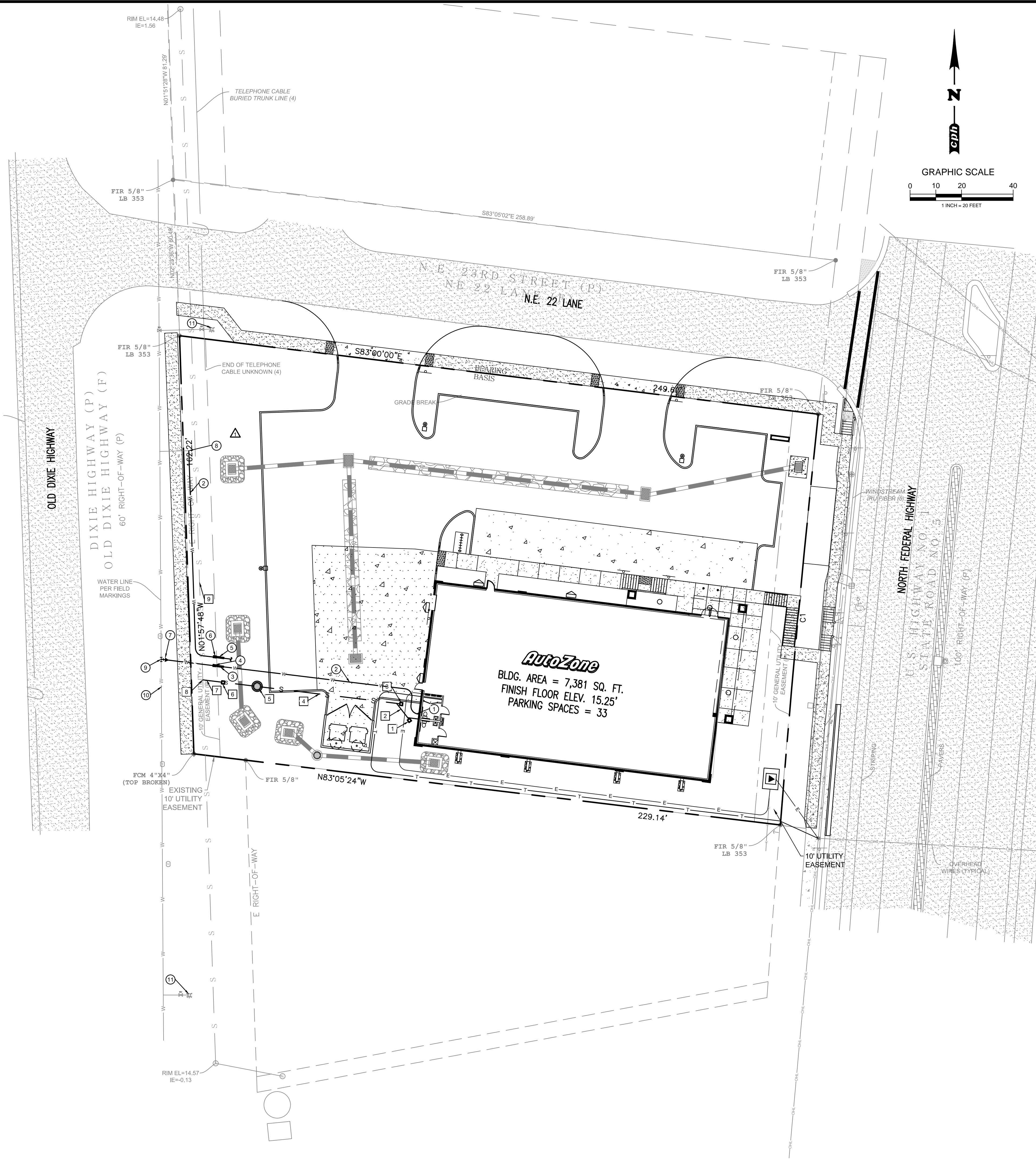
SECTIONS

CITY OF DELRAY BEACH, FL. 33483

Owner / Developer:

AutoZone Inc.

123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F.W. Dodge Plan Room Tel: (615) 884-1017



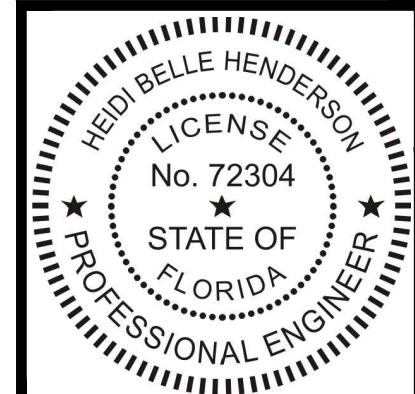
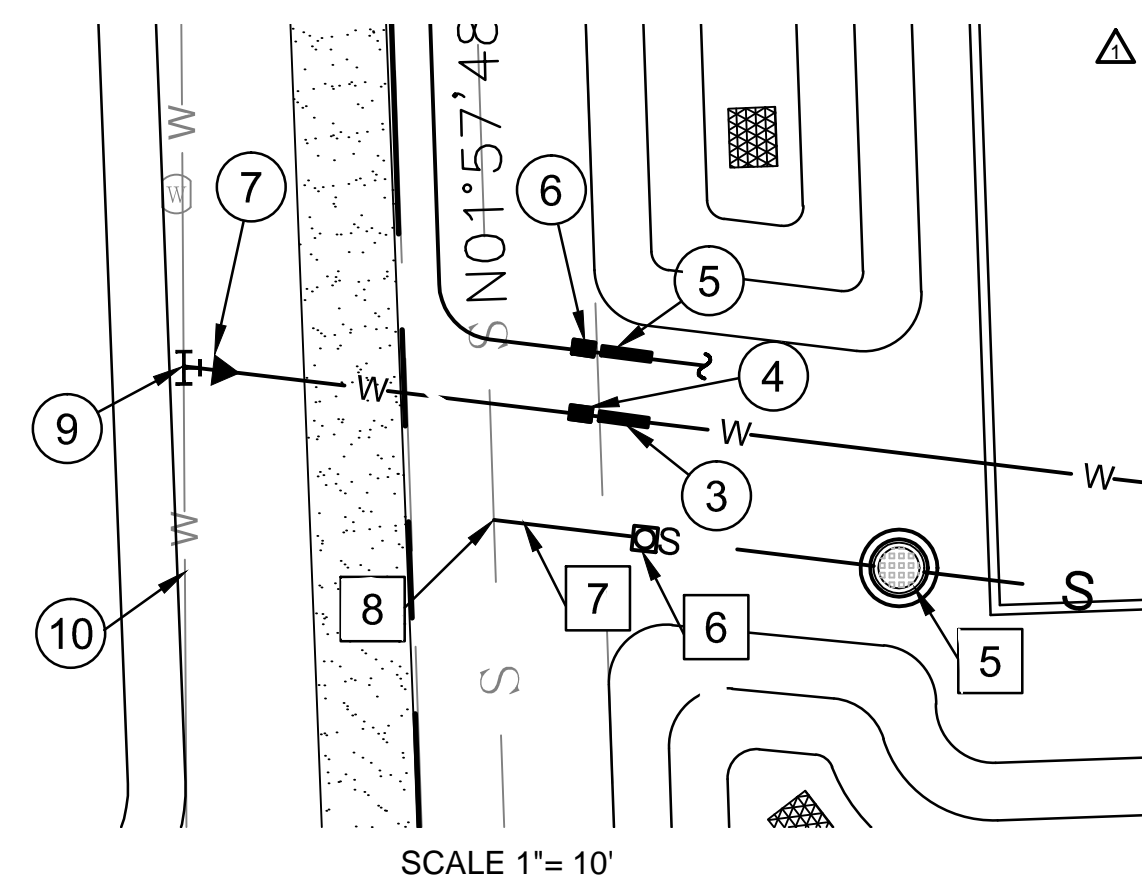
POTABLE WATER SCHEDULE	
①	1" WATER LINE TO CONNECT TO BUILDING (REFER TO ARCHITECTURAL PLANS).
②	PROPOSED 1" POLYETHYLENE WATER LINE.
③	PROPOSED REDUCED PRESSURE ZONE, BACKFLOW PREVENTION ASSEMBLY. SEE DETAIL, SHEET CS.1
④	PROPOSED 5/8" WATER METER.
⑤	PROPOSED REDUCED PRESSURE ZONE, BACKFLOW PREVENTION ASSEMBLY. SEE DETAIL, SHEET CS.1
⑥	PROPOSED 5/8" IRRIGATION METER.
⑦	PROPOSED 2"x 1" REDUCER.
⑧	CONNECT TO EXISTING WATER SERVICE CONNECTION (FIELD VERIFY).
⑨	CONNECT TO EXISTING 8" WATER MAIN WITH 2" SERVICE SADDLE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY ON TAP. REFER TO SHEET CS.1 FOR DETAILS.
⑩	EXISTING 5/8" WATER MAIN (FIELD VERIFY).
⑪	EXISTING FIRE HYDRANT TO REMAIN.

SANITARY SEWER SCHEDULE	
①	4" PVC WYE W/ CLEAN OUT INV. 12.25 (4' OUTSIDE BLDG)
②	7 L.F. - 4" P.V.C. @ 1.43%
③	4" PVC WYE W/ CLEAN OUT INV. 12.15
④	55 L.F. - 4" P.V.C. @ 1.00%
⑤	PROPOSED DROP MANHOLE SEE DETAIL, SHEET CS.1 TOP ELEV. = 15.50 E. INV. = 11.60 (TOP) E. INV. = 1.25 (BOTTOM) W. INV. = 1.15
⑥	4" PVC IN-LINE CLEANOUT
⑦	22 L.F. - 4" P.V.C. @ 3.05%
⑧	CONNECT TO EXISTING 8" SANITARY LINE INV. = 0.48
⑨	EXISTING 8" SANITARY LINE (FIELD VERIFY)

UTILITY LEGEND	
— S —	EXISTING SANITARY SEWER.
— S —	PROPOSED SANITARY SEWER.
— W —	PROPOSED WATER SERVICE.
— T —	PROPOSED TELEPHONE SERVICE.
— E —	PROPOSED ELECTRICAL SERVICE.
■	PROPOSED TRANSFORMER.
■	PROPOSED SANITARY SEWER CLEANOUT.

NOTE:
NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.

GENERAL UTILITY NOTES	
1.	SEE COVER SHEET FOR A LIST OF UTILITY COMPANIES.
2.	GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS.
3.	THE CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
4.	DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO NEW UTILITY LINES BEING INSTALLED.
5.	THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/ OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
6.	CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
7.	CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICT AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/ CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
8.	THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRASSED AREAS SHALL BE 4" ABOVE FINISHED GRADE (UNLESS NOTED OTHERWISE).
9.	ALL CLEAN-OUTS WITHIN THE PAVEMENT AREA SHALL BE INSTALLED WITH TRAFFIC BEARING PARTS AS APPLICABLE.
10.	CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
11.	CONTRACTOR SHALL PROVIDE ALL APPURTENANCES SUCH AS CHECK VALVES, BACKFLOW PREVENTERS, ETC., AS REQUIRED BY GOVERNING AUTHORITIES.
12.	ALL WATER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM OF 3' OF COVER. POLY ETHYLENE WATER SERVICE MAY BE REDUCED TO 2' WHEN NECESSARY.
13.	CONTRACTOR SHALL COORDINATE INSPECTION ON ALL UTILITIES, WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES DURING INSTALLATION.
14.	CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND REQUIREMENTS.
15.	THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
16.	ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
17.	CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT BE LIMITED, FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
18.	THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (90-96, LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
19.	ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
20.	CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING EXCAVATION.
21.	SERVICES SHALL BE TESTED, APPROVED AND DISINFECTED IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS PRIOR TO CONNECTION TO MUNICIPAL SYSTEM.
22.	THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS SIX (6) FEET, OR MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER OVER SEWER LINE IS TWELVE (12) INCHES.
23.	CHAPTER 553.851 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATING.
24.	THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY PROVIDERS 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION.
25.	CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING UTILITY SERVICE WITH EACH UTILITY COMPANY AND MUST FIELD VERIFY EXISTING UTILITY CONDITIONS. ANY DELAYS IN CONSTRUCTION DUE TO LOCATING EXISTING UTILITIES IS NOT THE RESPONSIBILITY OF THE CITY OF DELRAY.
26.	EXISTING WATER MAIN AND/OR SEWER MAIN WILL BE REMOVED ONLY AFTER PROPOSED WATER MAIN AND/OR SEWER MAIN HAS BEEN TESTED AND ACCEPTED BY PALM BEACH COUNTY HEALTH DEPARTMENT AND EXISTING SERVICES HAVE BEEN RELOCATED.
27.	CITY OF DELRAY BEACH UTILITIES DIVISION AT (561) 243-7312 MUST BE GIVEN AT LEAST 48 HOURS NOTIFICATION PRIOR TO ANY SHUT-DOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES.
28.	PRIOR TO ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT THE EXISTING SEWER LINE WILL BE TELEVIEWED AND CD SUBMITTED TO CITY OF DELRAY BEACH UTILITIES DIVISION.
29.	IRRIGATION WATER METER WILL BE PLACED AT A 90° ANGLE FROM THE WATER MAIN AND WITHIN 18" OF PROPERTY LINE.
30.	PAVEMENT TO BE MILLED AND RESURFACED 50 FEET FORM EDGE OF TRENCH ON BOTH SIDES OF PIPE FOR THE FULL WIDTH OF THE STREET PER FDOT STANDARDS.
31.	WATER METER SIZES SHALL BE DESIGNED BY ENGINEER OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION.
32.	PAVEMENT TO BE MILLED AND RESURFACED 50 FEET FORM EDGE OF TRENCH ON BOTH SIDES OF PIPE FOR THE FULL WIDTH OF THE STREET PER FDOT STANDARDS.



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Plans Prepared By:
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Ph: 305.274.4805
Licenses:
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Survey L.B. No. 7143 Landscp. Lic. No. LC0000288

Owner / Developer:
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123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
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Prepared for: **AutoZone Store Development**
Store No.: 6348

CITY OF DELRAY BEACH, FL. 33483

UTILITY PLAN

SCALE: 1"=20'

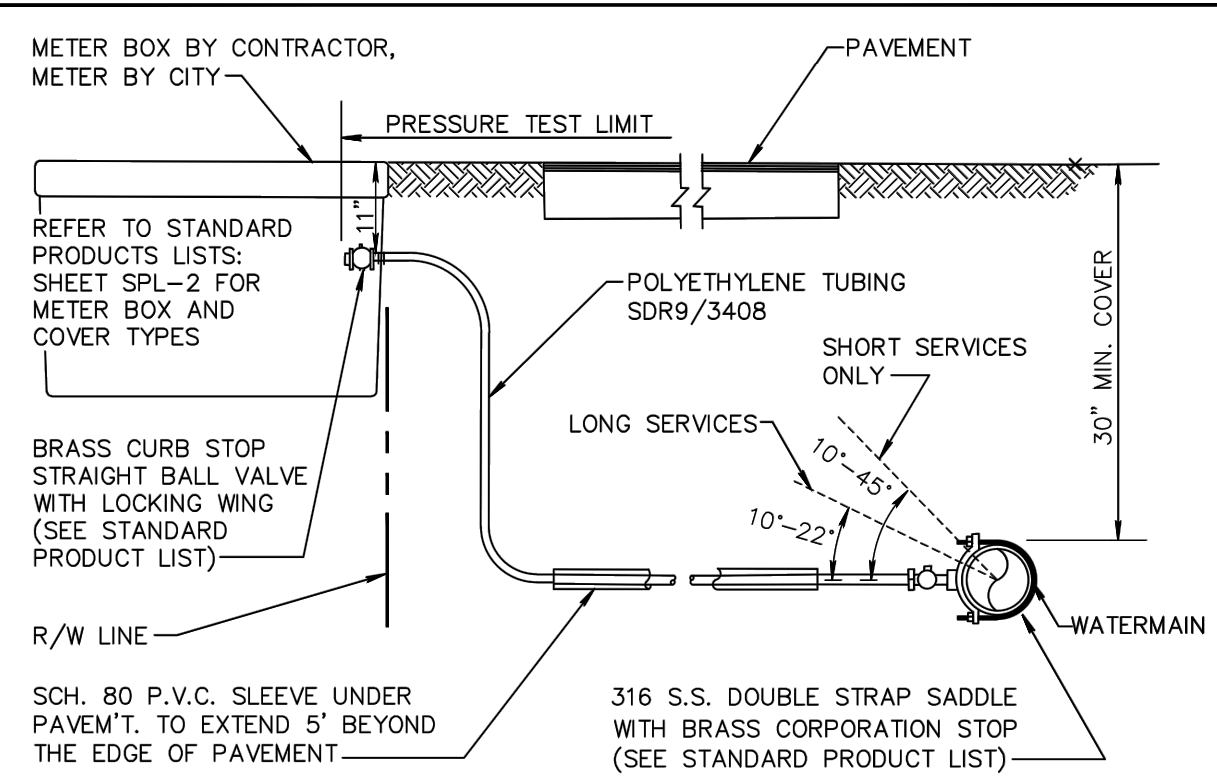
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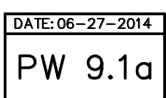


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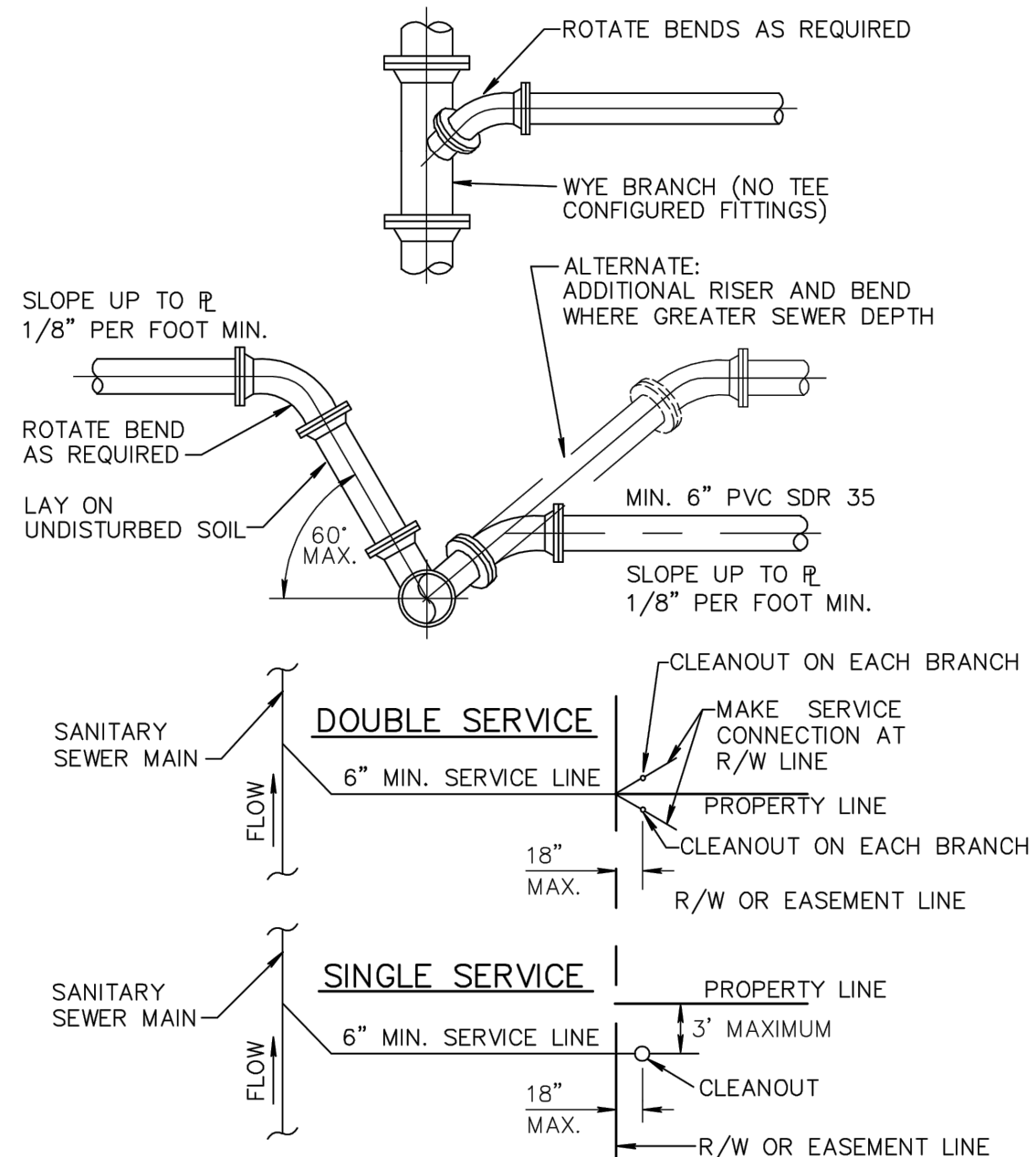
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
- SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
- ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1" MIN.).
- NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
- MAXIMUM SERVICE LENGTH IS 100' TO METER.
- CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
- MINIMUM BEND RADIUS ON SERVICES SHALL BE 14' ON ALL SERVICES BEHIND METER.
- METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
- ALL VALVES TO BE BALL VALVES.
- METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
- ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.



TYPICAL SERVICE CONNECTION



DATE: 06-27-2014
PW 9.1a

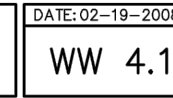


NOTE:

- SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2" X 4" TREATED STAKE.
- CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
- SEE DETAIL PW 2.1 FOR SEPARATION REQUIREMENTS.



SEWER SERVICE CONNECTION



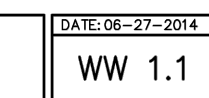
DATE: 02-19-2008
WW 4.1

GRAVITY SEWER NOTES

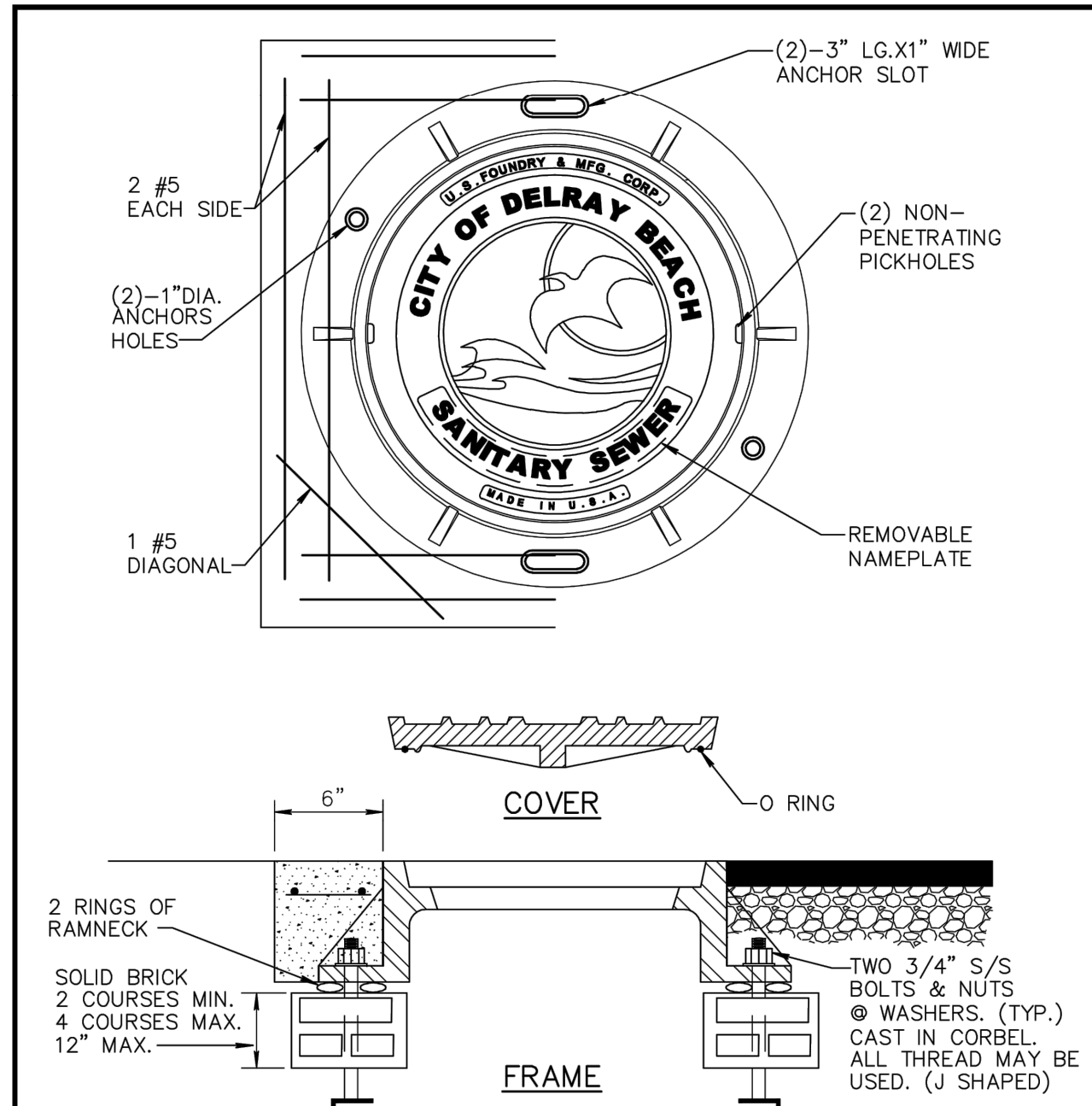
- MANHOLES SHALL BE INSPECTED BY THE ENGINEER BEFORE PLACEMENT AND SURFACE TREATMENT.
- ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT TIME OF MANUFACTURE. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORE ENTRY ONLY.
- ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE.
- (PVC) GRAVITY SEWER PIPE SHALL CONFORM TO ASTM D 3034, SDR 35, LATEST REVISIONS, WITH PUSH ON RUBBER GASKET JOINTS.
- (DIP) GRAVITY SEWER PIPE SHALL BE CLASS 350, EPOXY LINED OR AS OTHERWISE APPROVED BY ENVIRONMENTAL SERVICES DEPARTMENT.
- NO SERVICE CONNECTIONS, WYES, SERVICES OR VALVES WILL BE PERMITTED IN RESIDENTIAL DRIVEWAYS.
- MANHOLE FRAMES SHALL BE ATTACHED TO THE PRECAST STRUCTURE WITH A MINIMUM OF TWO 3/4" 316 STAINLESS STEEL BOLTS, NUTS AND WASHERS. FRAMES SHALL BE SEALED WITH A MINIMUM OF TWO 1/2" BEADS OF RAM-NEK CAULKING.
- TRENCHES SHALL BE DE-WATERED TO ENABLE PIPE AND APPURTENANCES TO BE INSTALLED FREE OF WATER ON UNDISTURBED SOIL. IF UNSUITABLE SUBSURFACE MATERIAL IS ENCOUNTERED, EXCAVATE EXTRA 6" AND BACKFILL WITH 3/4" GRAVEL.
- PVC SHALL BE LAID IN STRICT CONFORMANCE TO MANUFACTURER'S SPEC (JOHNS MANVILLE RING TITE PVC PIPE INSTALLATION GUIDE OR EQUAL). BACKFILLING OF UTILITY TRENCHES WILL NOT BE ALLOWED UNTIL INSPECTED BY THE ENGINEER.
- BACKFILL MATERIAL FOR SEWER MAIN AND LINES SHALL BE NON-COHESIVE, NON PLASTIC MATERIAL FREE OF ALL DEBRIS, LUMPS AND ORGANIC MATTER. BACKFILL MATERIAL PLACED WITHIN ONE (1) FOOT OF PIPING AND APPURTENANCES SHALL NOT CONTAIN ANY STONES LARGER THAN TWO (2) INCHES IN DIAMETER (1" FOR PVC PIPE) AND NO STONES LARGER THAN SIX (6) INCHES IN DIAMETER WILL BE PERMITTED IN ANY BACKFILL.
- ALL EXCAVATION IN EXISTING RIGHT OF WAY SHALL BE BACKFILLED AND STABILIZED AT THE END OF EACH DAY TO PERMIT PEDESTRIAN AND VEHICULAR TRAFFIC PRIOR TO THE CONTRACTOR LEAVING THE SITE.
- WHERE SEWER IS NOT WITHIN PUBLIC R/W, IT IS TO BE LOCATED IN A 12' UTILITY EASEMENT. CITY MAINTENANCE RESPONSIBILITY IS MANHOLE TO MANHOLE ONLY.
- UPON COMPLETION OF THE WORK AND PRIOR TO PLACEMENT OF ASPHALT A VISUAL INSPECTION BY THE ENGINEER SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH A LOW PRESSURE AIR TEST, AFTER ROCK BASE FINISHED & PRIMED, OR 1ST LIFT OF ASPHALT PLACED. AFTER ALL OTHER TESTING HAS BEEN COMPLETED, A CD VIDEO RECORDING SHALL BE MADE BY THE CONTRACTOR AND APPROVED BY THE ENGINEER, BEFORE THE LENGTHS ARE ACCEPTED FOR MAINTENANCE.
- EACH LINE SEGMENT SHALL BE LAMPED TO DETERMINE PROPER ROUNDNESS.
- COMPLETE "AS BUILT" INFORMATION RELATIVE TO MANHOLES, VALVES, SERVICES FITTINGS, PIPE LENGTHS, INVERTS AND SLOPES SHALL BE ACCURATELY RECORDED & SUBMITTED TO THE ENGINEER CITY SIGNED AND SEALED BY A REGISTERED LAND SURVEYOR.
- AT THE END OF THE ONE (1) YEAR WARRANTY PERIOD THE DEVELOPER/CONTRACTOR WILL T.V. INSPECT, AIR TEST EVERY JOINT, AND CHECK MANHOLE JOINTS AND CONNECTIONS TO DETERMINE IF REPAIRS ARE NECESSARY BEFORE THE WARRANTY BOND IS RELEASED.
- NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED SANITARY SEWER FACILITY.
- ANY PIPE INTRODUCED INTO AN EXISTING MANHOLE MUST HAVE CARBOLINE BITUMASTIC SOOM OR APPROVED EQUAL APPLIED EXTERNALLY WITHIN A MINIMUM 2'-FOOT RADIUS OF OPENING AND THE ENTIRE MANHOLE MUST HAVE SEWPER COAT OR APPROVED EQUAL APPLIED INTERNALLY.
- ANY REHABILITATION TO AN EXISTING MANHOLE MUST BE INTERNALLY STRIPPED AND LINED WITH SEWPER COAT OR APPROVED EQUAL.



GRAVITY SEWER NOTES



DATE: 06-27-2014
WW 1.1

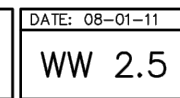


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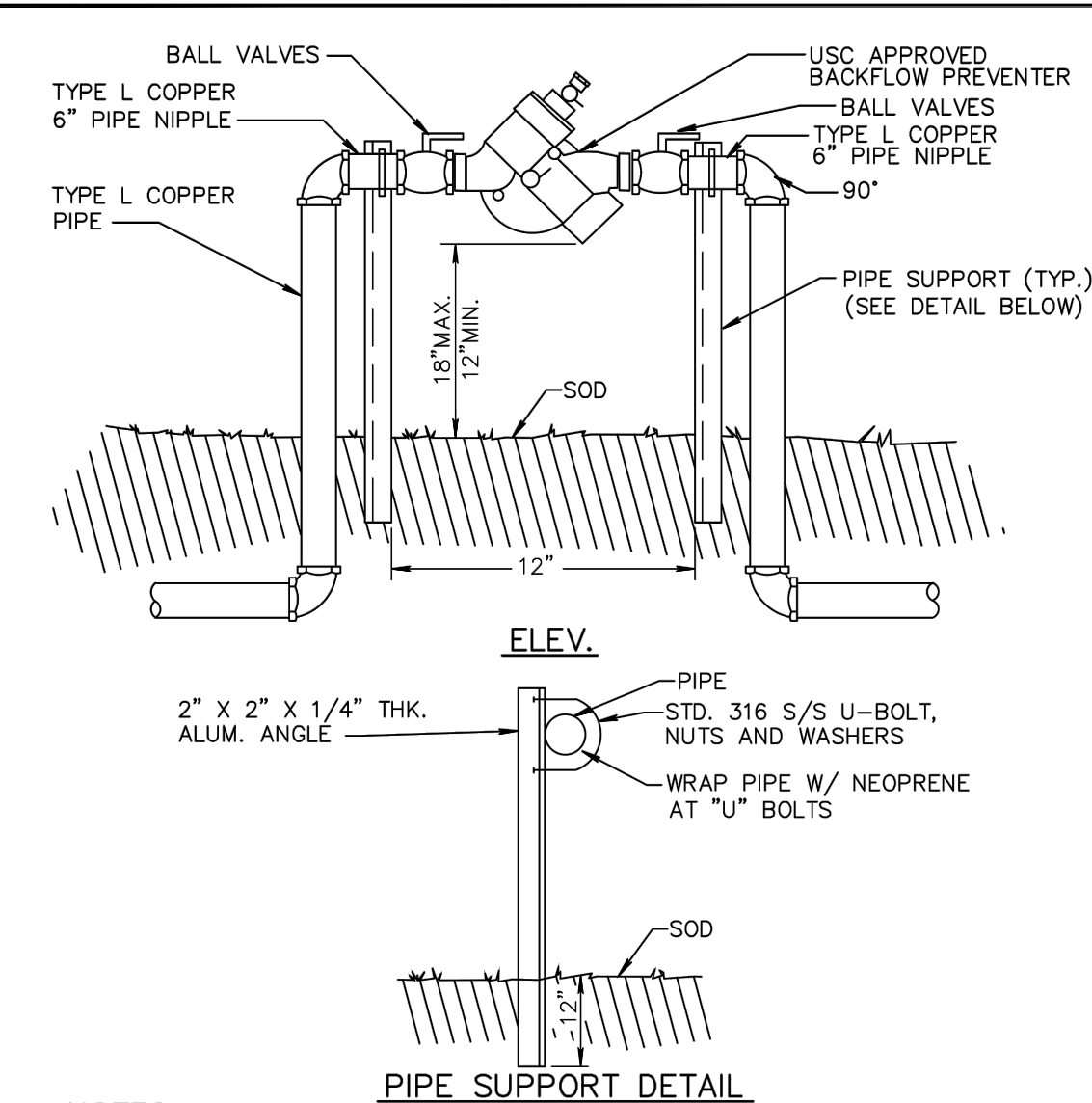
- COLLAR IS REQUIRED ONLY WHEN MANHOLE IS OUT OF PAVEMENT.
- COVER SHALL BE U.S. MR-ORS AND RING SHALL BE USF 576 RING WITH BITUMASTIC COAL TAR.
- MANHOLE ADJUSTING RINGS SHALL BE CAST IRON, USF TYPE B.



SANITARY SEWER MANHOLE FRAME AND COVER



DATE: 08-01-11
WW 2.5

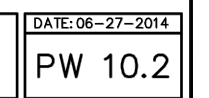


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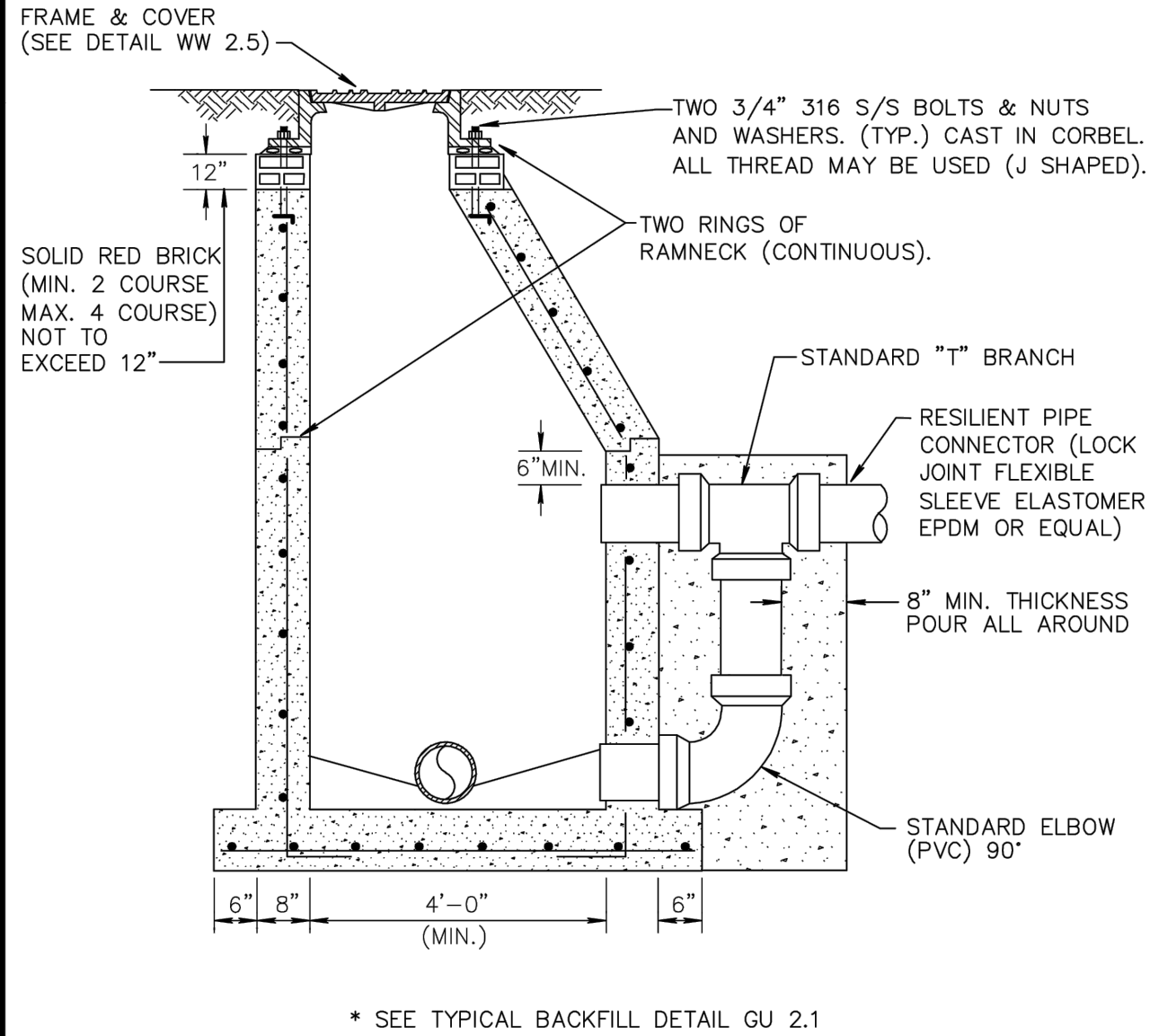
- FOR ALL SERVICES LESS THAN OR EQUAL TO 2" DIA.
- ABOVE GRADE PIPING SHALL BE BRASS OR TYPE "L" COPPER TUBING.
- ALL COPPER JOINTS SHALL BE MADE WITH 95/5 SOLDER.
- RPZ BACKFLOW PREVENTER IS REQUIRED IN ACCORDANCE WITH CITY OF DELRAY BEACH CODE OF ORDINANCES TITLE V, CHAPTER 52.80.
- USE OF OTHER PIPE MATERIALS WITH APPROVAL OF DEPUTY DIRECTOR OF UTILITIES.
- RPZ BACKFLOW PREVENTER IS REQUIRED FOR ALL COMMERCIAL PROPERTIES AND ALL RESIDENTIAL PROPERTIES WITH FIRE SPRINKLER SYSTEMS.



REDUCED PRESSURE ZONE BACKFLOW PREVENTER



DATE: 06-27-2014
PW 10.2

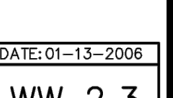


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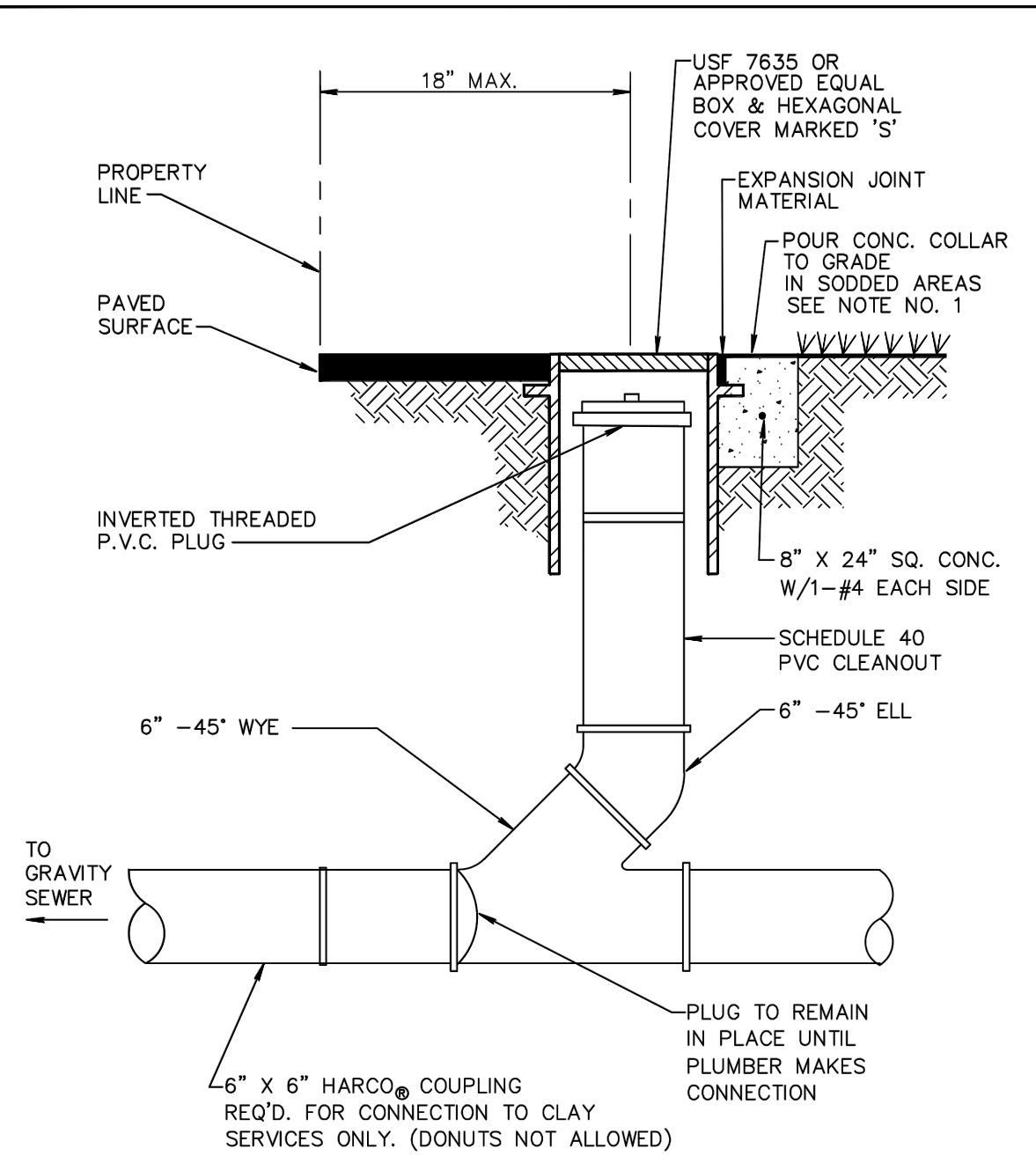
- ALL DETAILS AND SPECIFICATIONS FOR STANDARD MANHOLES ARE APPLICABLE EXCEPT FOR REFERENCES TO DROP ASSEMBLY.
- DROP CONNECTIONS SHALL BE REQUIRED WHENEVER AN INFLUENT INVERT IS LOCATED 2.0 FEET OR MORE ABOVE THE MAIN INVERT CHANNEL.
- NO INSIDE DROP SHALL BE ALLOWED.



DROP MANHOLE DETAIL



DATE: 01-13-2008
WW 2.3

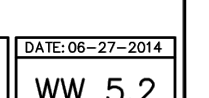


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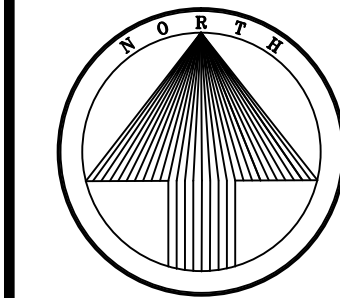
- INVERTED BRASS CAP SHALL BE USED IN GRASS AREAS IN LIEU OF CASTING AND CONE COLLAR.
- MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.



TYPICAL COMMEROIAL CLEANOUT



DATE: 06-27-2014
WW 5.2



SCALE: NONE

REVISIONS

1.
2.
3.
4.
5.
6.
7.

ARCHITECT: GC

DRAFTSMAN: JFJ

CHECKED BY: JDL

DATE
APRIL 2015
PROTOTYPE SIZE
7N2

C5.1

Owner / Developer:
AutoZone Inc.
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F.W. Dodge Plan Room Tel: (615) 884-1017

Prepared for: **AutoZone Store Development**
Store No.: 6348
CITY OF DELRAY BEACH, FL. 33483
CITY OF DELRAY BEACH UTILITY DETAILS

A Full Service A & E Firm

Architects
Engineers
Environmental
Landscape Architects

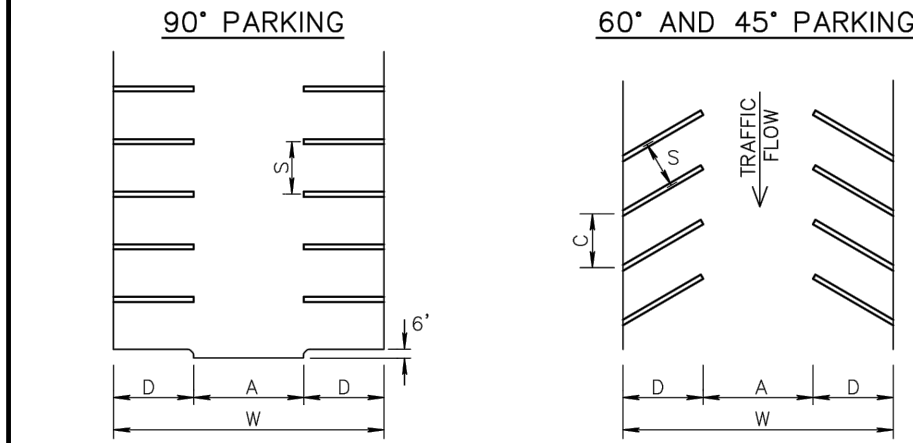
M / E / P
Planners
Surveyors

Offices In:
• Florida
• Puerto Rico
• Connecticut
• Maryland
• Texas

Plans Prepared by:
CPH, Inc.
1992 SW 1st Street, Miami, FL 33135
Ph: 305.574.4805
Licenses:
Eng. C.O.A. No. 3215 Arch. Lic. No. AA2600926
Survey L.B. No. 7143 Landscp. Lic. No. LC0000298

www.cphcorp.com
CPH JOB NUMBER: A20130

Drawing name: J:\A20130\City\DWG\Design\6.2 - A20130 - City of Delray Standard Details.dwg Mar 31, 2016 - 2:00pm I:\mrs\mrs



A	AISLE	24.0'
S	STALL WIDTH	9.0'*
D	STALL DEPTH	18.0'
W	MODULE WIDTH	60.0'

* COMPACT CAR SPACES - 8.0'
HANDICAP SPACES - 12.0'
SEE RT 4.2

PARALLEL

C	STALL LENGTH	22.0'
S	STALL WIDTH	8.0'

STANDARD			60°	45°
A	AISLE *	17.0'	15.0'	
C	STALL LENGTH	10.5'	12.5'	
S	STALL WIDTH	9.0'	9.0'	
D	STALL DEPTH	20.0'	19.0'	
W	MODULE WIDTH	57.0'	53.0'	

* FOR TWO WAY FLOW A=24.0'

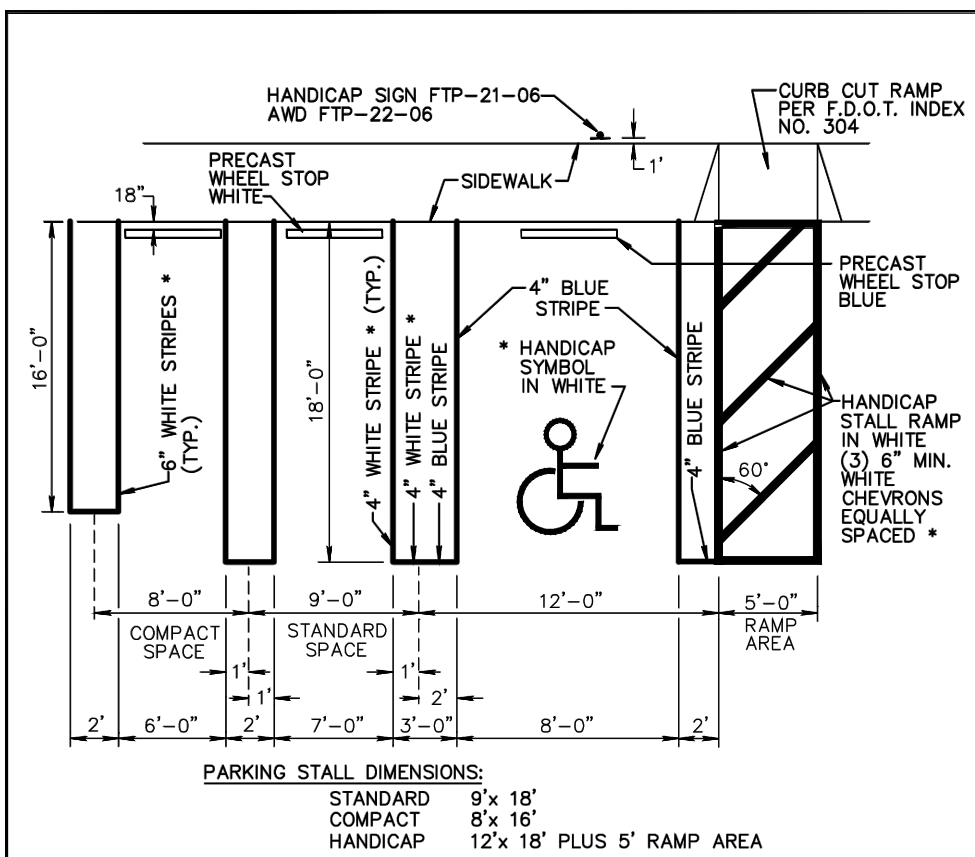
NOTE:
REFER TO TYPICAL PARKING SPACE DETAIL RT 4.2 (A TO C) FOR STRIPING INFORMATION AND HANDICAPPED PARKING DIMENSIONS.

STOP BAR BETWEEN PARKING LOT & PUBLIC R/W MUST BE THERMOPLASTIC.

CITY of DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
404 SOUTH BENTON AVENUE, DELRAY BEACH, FLORIDA 33444

PARKING LOTS

DATE: 03-24-08
D 4.1



NOTES:

- ON LIGHT COLORED SURFACE I.E. CONCRETE ALL HANDICAP MARKINGS SHALL BE BLUE AND STANDARD PARKING STRIPING SHALL BE 3" WHITE WITH 1" BLACK BORDER.
- ALL STRIPPING WITHIN PUBLIC RIGHT-OF-WAY SHALL BE 6 INCHES.
- ALL MEASUREMENTS ARE FROM CENTER LINE.
- ALL COMPACT SPACES MUST HAVE "COMPACT" STENCILED WITH BLACK PAINT ON WHEEL STOP.
- BLUE STRIPE & H/C SYMBOL AND WALKWAY ON CONCRETE
- 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC R/W SHALL BE THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN RT-1

CITY of DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
404 SOUTH BENTON AVENUE, DELRAY BEACH, FLORIDA 33444

TYPICAL PARKING SPACES
(1 OF 3)

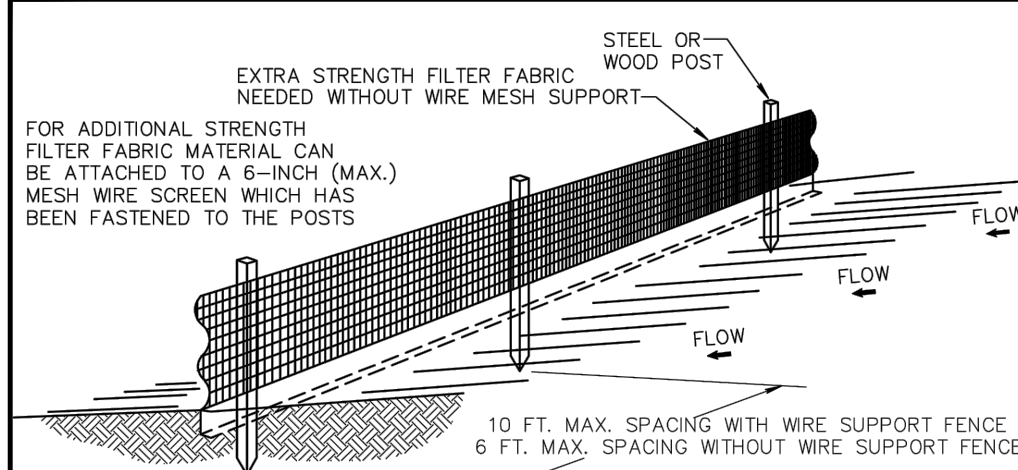
DATE: 03-24-08
RT 4.2a

- THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENTATION SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
- ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
- EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
- ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
- DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

CITY of DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
404 SOUTH BENTON AVENUE, DELRAY BEACH, FLORIDA 33444

EROSION CONTROL NOTES DETAIL

DATE: 03-24-08
D 9.1



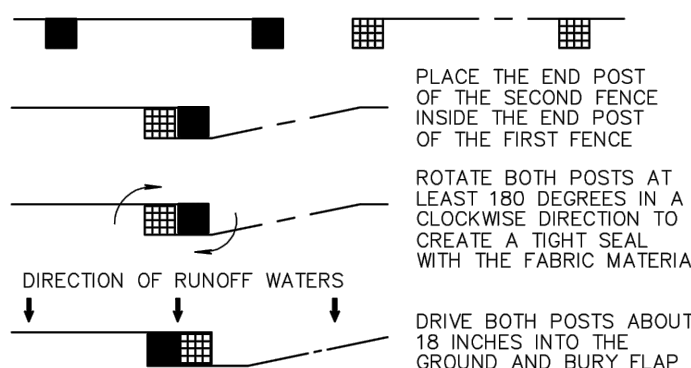
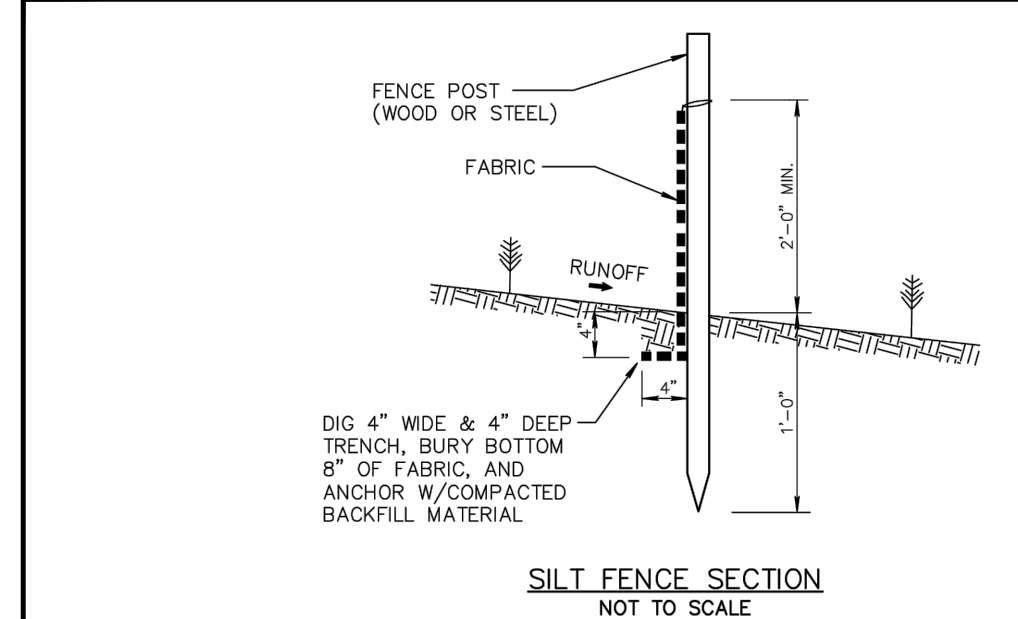
NOTES:

- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
- ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

CITY of DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
404 SOUTH BENTON AVENUE, DELRAY BEACH, FLORIDA 33444

SILT FENCE INSTALLATION DETAIL
(Sheet 1 of 2)

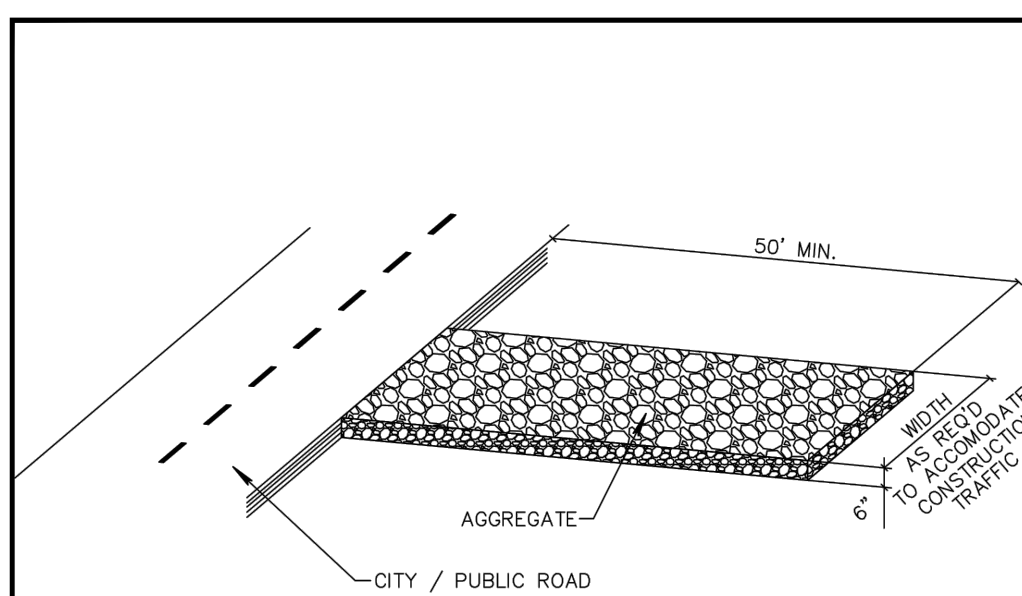
DATE: 03-24-08
D 9.1a



CITY of DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
404 SOUTH BENTON AVENUE, DELRAY BEACH, FLORIDA 33444

SILT FENCE INSTALLATION DETAIL
(Sheet 2 of 2)

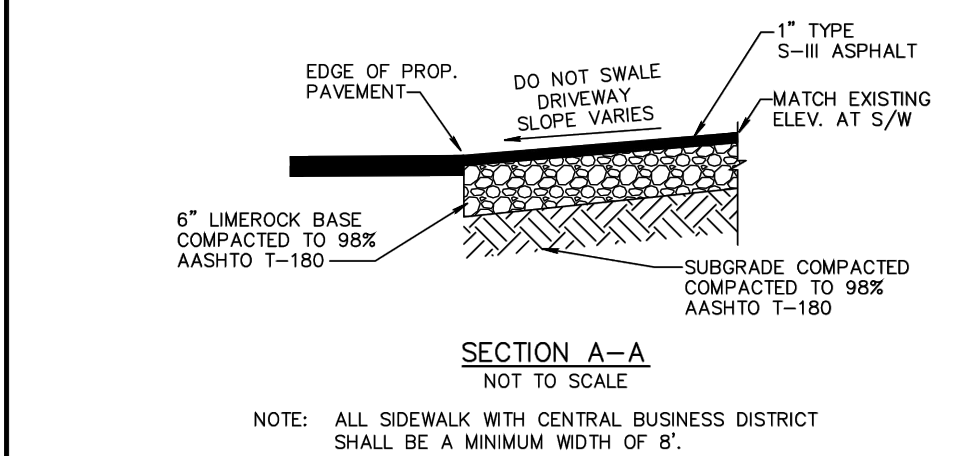
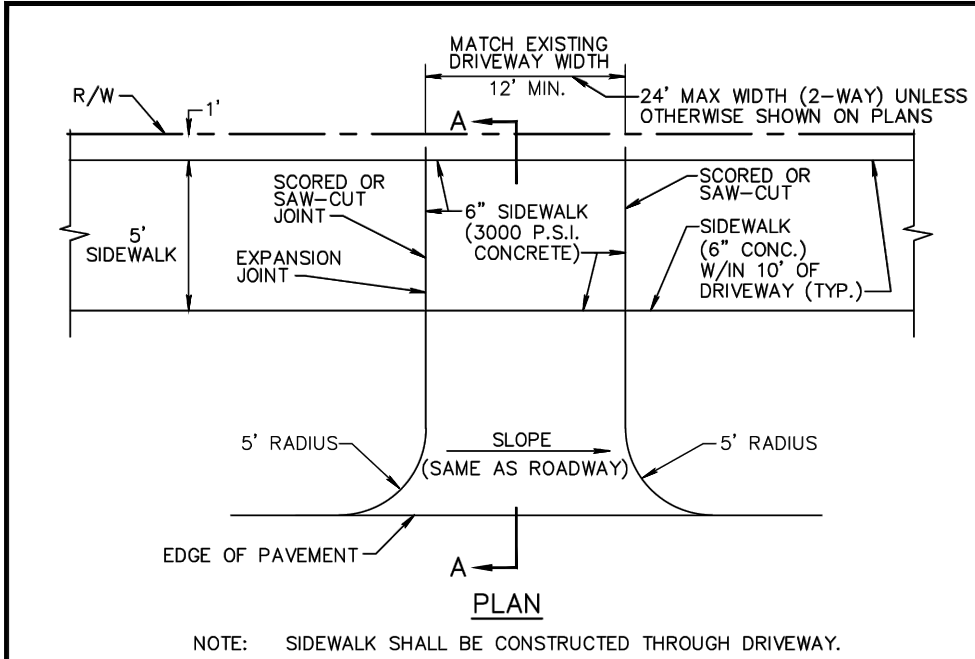
DATE: 03-24-08
D 9.1b



CITY of DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
404 SOUTH BENTON AVENUE, DELRAY BEACH, FLORIDA 33444

STABILIZED CONSTRUCTION
ENTRANCE DETAIL

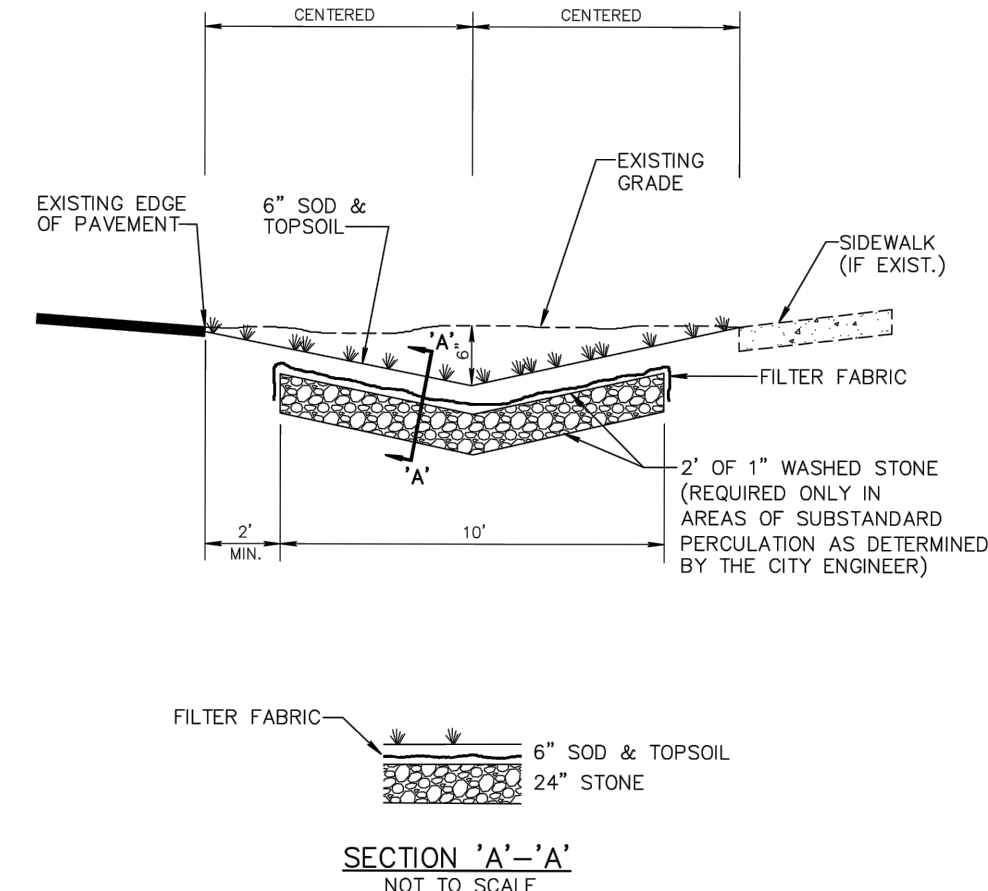
DATE: 03-24-08
D 9.1c



CITY of DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
404 SOUTH BENTON AVENUE, DELRAY BEACH, FLORIDA 33444

ASPHALT DRIVEWAY APRON

DATE: 03-24-08
RT 9.2



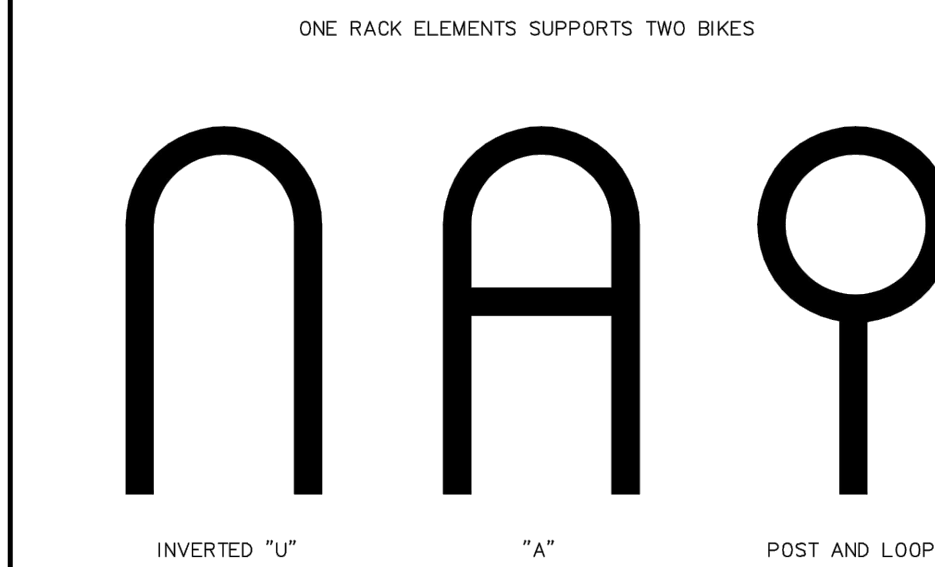
NOTE:

- CONTRACTOR TO REPLACE ALL IRRIGATION, TREES & SHRUBBERY IN SWALES DAMAGED DURING CONSTRUCTION.

CITY of DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
404 SOUTH BENTON AVENUE, DELRAY BEACH, FLORIDA 33444

SWALE REPLACEMENT DETAIL

DATE: 03-24-08
D 10.1

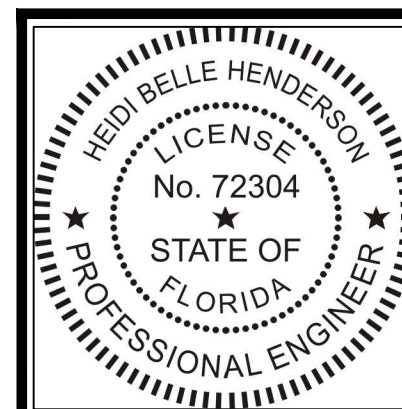


THE LOCATION OF THE BICYCLE RACK SHOULD BE SUCH THAT IT IS VISIBLE
AND IS COMPLIANT WITH "ADA" STANDARDS, PREFERABLY ON THE APPROACH
SIDE OF THE BUILDING OR STRUCTURE PARKING IS EXPECTED, AT LEAST 50%
OF THE BICYCLE PARKING SPOTS SHOULD BE COVERED BY AN OVERHANG OR
ACTUAL STORAGE FACILITY. UPPER ELEMENTS OF THE BICYCLE RACK SHOULD
NOT PROTRUDE, CREATING AN OBSTACLE FOR A BLIND TRAVELER.

CITY of DELRAY BEACH
ENVIRONMENTAL SERVICES DEPARTMENT
404 SOUTH BENTON AVENUE, DELRAY BEACH, FLORIDA 33444

BICYCLE RACK

DATE: 03-24-08
RT 13.1



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CPH JOB NUMBER: A20130

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Survey L.B. No. 7143 Landscp. Lic. No. LC0000298

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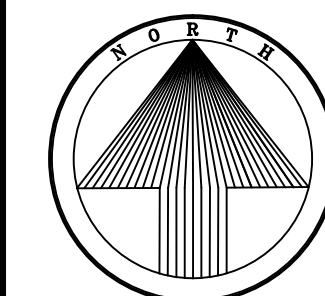
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Prepared for: **AutoZone Store Development**

Store No.: 6348

CITY OF DELRAY BEACH, FL. 33483

CITY OF DELRAY STANDARD DETAILS



NONE

REVISIONS

- PER CITY
- PER CITY
- PER CITY
-
-
-
-

ARCHITECT: GC

DRAFTSMAN: JFJ

CHECKED BY: JDL

DATE

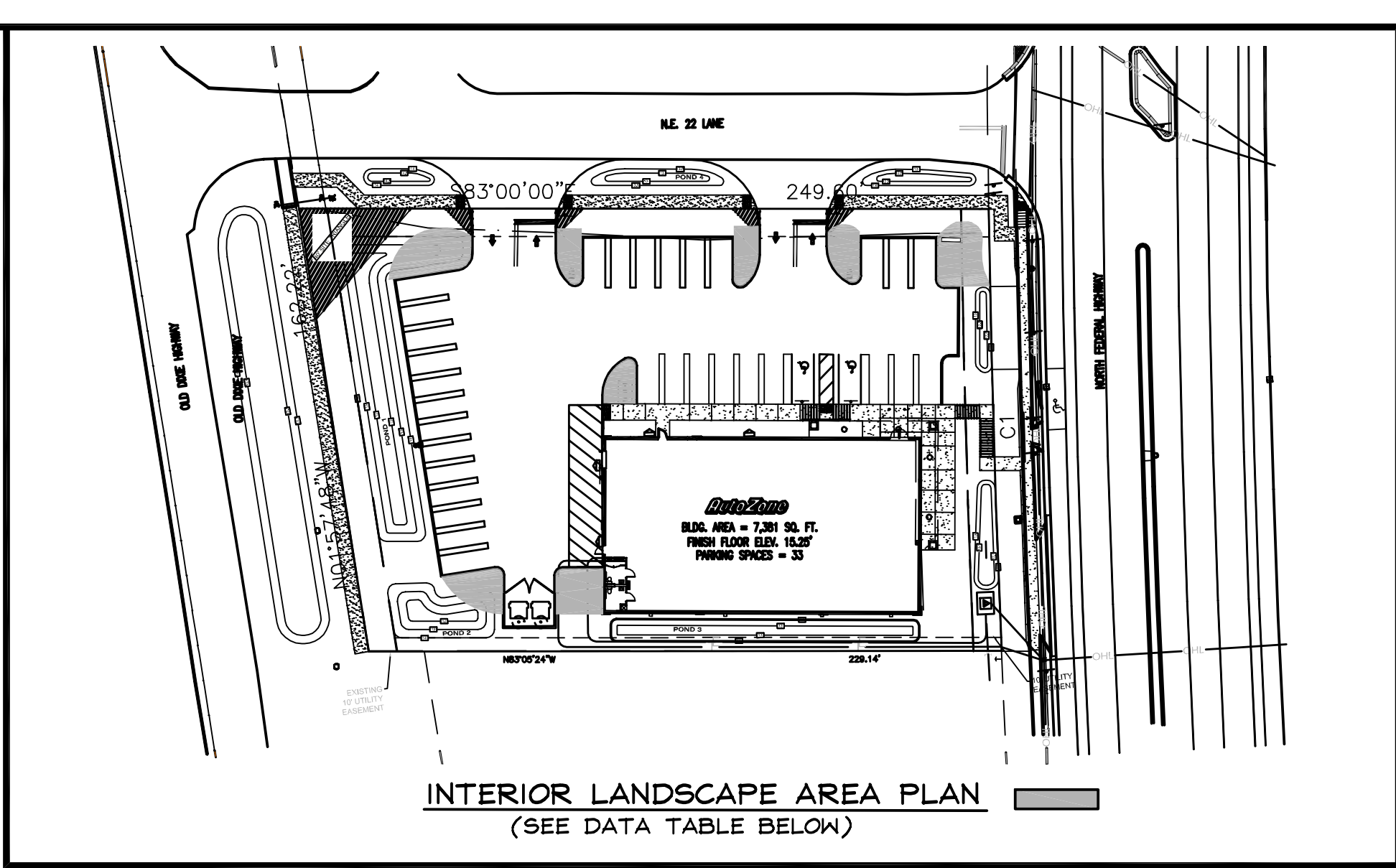
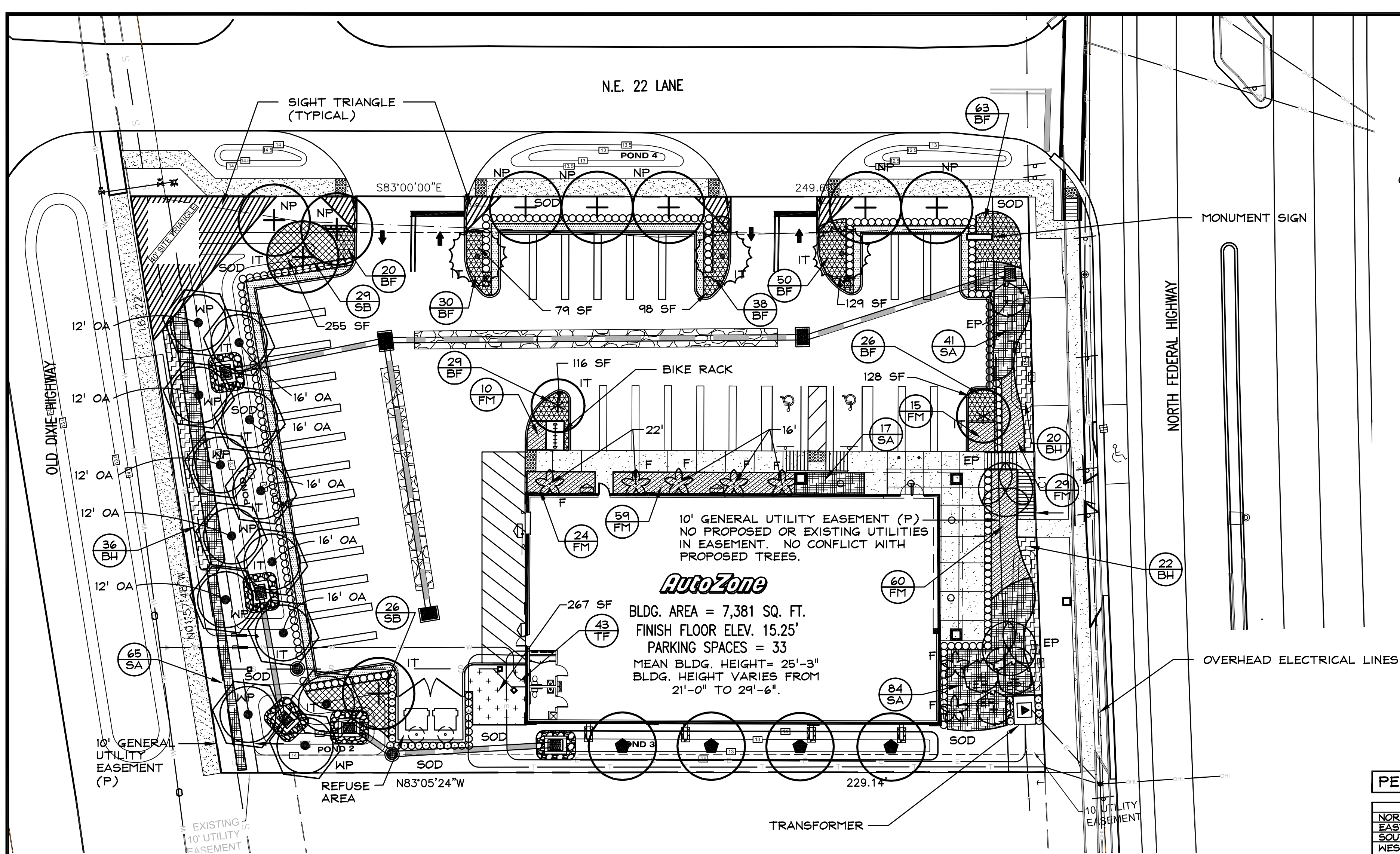
APRIL 2015

PROTOTYPE SIZE

7N2

C5.2

Drawing name: J:\A201301 Landscape\DWG\Perimeter\Design\Plan\A201301_LSP.dwg, Mar. 31, 2016, 5:20pm, acort



EXISTING TREES

THERE ARE NO TREES WITH A CALIPER EQUAL TO OR GREATER THAN FOUR (4) INCHES ON SITE. NO NATIVE COMMUNITIES OCCUR ON THIS PARCEL.

LANDSCAPE DATA

TOTAL NATIVE TREES REQUIRED=50%
TOTAL NATIVE TREES PROPOSED= 62%
TOTAL NATIVE SHRUBS/GROUNDCOVER REQUIRED= 25%
TOTAL NATIVE SHRUBS/GROUNDCOVER PROPOSED= 27%

ZONING

NORTH	GC GENERAL COMMERCIAL
EAST	AC AUTOMOTIVE COMMERCIAL
SOUTH	GC GENERAL COMMERCIAL
WEST	R-1-A SINGLE FAMILY RESIDENTIAL

PERIMETER LANDSCAPE DATA

	REQUIRED	PROVIDED
NORTH	146 L.F./30' = 6.5 TREES REQUIRED	7 TREES PROVIDED
EAST	160 L.F./30' = 5.3 TREE REQUIRED	6 TREES PROVIDED
SOUTH	N/A	N/A
WEST (NORTH FEDERAL HIGHWAY OVERLAY DISTRICT) LDR SECTION 4.4.9 (G)(2)	4' MIN. HT. HEDGE 1 TREE/25 L.F. 160'/25 = 6.4 TREES REQUIRED	7 TREES PROVIDED

INTERIOR LANDSCAPE DATA

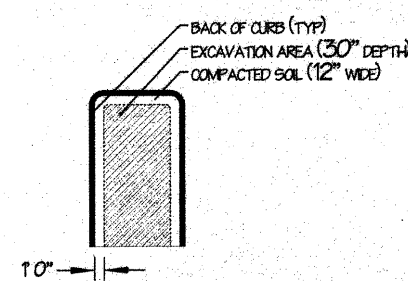
VEHICULAR USE AREA	15,990 SF
REQUIRED LANDSCAPE AREA	1,592 SF (10%)
PROPOSED LANDSCAPE AREA	2,123 SF (13%)
INTERIOR TREES REQUIRED	
1 SHADE TREE/125 S.F.	12.74 INTERIOR TREES REQUIRED
1,592 S.F./125 S.F. =	13 INTERIOR TREES PROPOSED

TREE LEGEND

IT	INTERIOR TREE
EP	EAST PERIMETER TREE
NP	NORTH PERIMETER TREE
WP	WEST PERIMETER TREE
F	FOUNDATION TREE

GREEN SPACE SOD CALCULATIONS

TOTAL GREENSPACE	12,161.5 S.F.
12,161.5 S.F. X 70% =	8,513 S.F. MAX. SOD ALLOWED
	6,646.5 S.F. SOD PROPOSED



VUA/LSP AREA SOIL DETAIL

LDR 4.6.16(H)(3)(N)

PLANT LIST

SYM.	COMMON NAME	BOTANICAL NAME	DESCRIPTION	QTY	NATIVE Y/N
TREES					
MV	SWEETBAY MAGNOLIA	MAGNOLIA VIRGINIANA	12' MIN. HT., 5' MIN. SPRD., 6' SINGLE TRUNK, 8' CT.	4	YES
LL	WILD TAMARIND	LYSILOMA LATISILIQUUM	16' MIN. HT., 7' MIN. SPRD., 6' SINGLE STRAIGHT TRUNK, 8' CT.	9	YES
TH	PINK TRUMPET TREE	TABEBUIA HETEROPHYLLA	16' MIN. HT., 7' MIN. SPRD., 6' SINGLE TRUNK, 8' CT.	2	NO
BA	VERAWOOD	BULNESIA ARBOREA	16' MIN. HT., 7' MIN. SPRD., 6' SINGLE TRUNK, 8' CT.	3	NO
TD	BALD CYPRESS	TAXODIUM DISTICHUM	12'-16' MIN. HT., 7' MIN. SPRD., 6' SINGLE STRAIGHT TRUNK SEE PLAN FOR LOCATION	13	YES
CB	WHITE GEIGER	CORDIA BOISSIERI	8' MIN. HT., 4' SPRD. *	4	NO
RE	ROYAL PALM	ROYSTONIA ELATA	20' O.A. HT.	2	YES
VM	MONTGOMERY PALM	VEITCHIA MONTGOMERYANA	16'-22' O.A. MIN. HEIGHT, 7' MIN. SPRD.	7	NO

TOTAL NATIVE TREES 64%

SHRUBS

CI	RED TIP COCOPLUM	CHRYSOBALANUS ICACO 'RED TIP'	7 GAL., 24" MIN. HT., FULL, 24" O.C.	230	YES
VO	AWABUKI VIBURNUM	VIBURNUM ODORATISSIMUM 'AWABUKI'	15 GAL., 5' MIN. HT. X 24" MIN. SPRD., 30" O.C. **	36	NO

GROUND COVER

SA	DWARF SCHEFFLERA	SCHEFFLERA ARBORICOLA 'TRINETTE'	3 GAL., FULL, 30" O.C.	207	NO
FM	GREEN ISLAND FICUS	FICUS MICROCARPA 'GREEN ISLAND'	3 GAL., FULL, 24" O.C.	197	NO
BF	HALLMARK ORANGE BULBINE	BULBINE FRUTESCENS 'HALLMARK'	1 GAL., FULL, 15" O.C.	256	NO
TF	DWARF FAKAHATCHEE GRASS	TRIPSACUM FLORIDANUM	1 GAL., FULL, 24" O.C.	43	YES
SB	SAND CORDGRASS	SPARTINA BAKERI	1 GAL., FULL 30" O.C.	55	YES
BH	HELEN JOHNSON BOUGAINVILLEA	BOUGAINVILLEA 'HELEN JOHNSON'	3 GAL., FULL 30" O.C.	78	NO
	MULCH				

BAHIA ARGENTINE BAHIA SOD PASPALUM NOTATUM 'ARGENTINE' SOLID SOD, CONTRACTOR TO VERIFY QTY.

* FPL RECOMMENDED TREE TO MINIMIZE POWERLINE CONFLICTS
** REQUIRED FOR REFUSE AREA SCREENING

NOTE:

PLANT DESCRIPTIONS ARE FOR MINIMUM ACCEPTABLE SPECIFICATIONS. ALL CRITERIA LISTED FOR CONTAINER SIZE, CALIPER, HEIGHT, SPREAD, ETC. MUST BE MET FOR PLANT MATERIAL ACCEPTANCE. FOR EXAMPLE, IF A THREE GALLON SHRUB DOES NOT MEET THE HEIGHT OR SPREAD SPECIFICATION, IT WILL NOT BE ACCEPTED.

IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND COUNTY STAFF.

ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SODDED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER.

ALL LANDSCAPED AREAS WILL BE 100% IRRIGATED WITH A CENTRAL AUTOMATIC IRRIGATION SYSTEM INCLUDING A RAIN SENSOR.

PER LDR 4.6.16(H)(3)(N), ALL EXISTING SOIL WITHIN LANDSCAPE AREAS ADJACENT TO VEHICULAR USE AREAS IS REQUIRED TO BE REMOVED (TO 30" BELOW GRADE), INSPECTED AND THEN REPLACED WITH A SIXTY TO FORTY (60/40) MIX OF SAND TO TOPSOIL, NATIVE SOIL THAT HAS BEEN SCREENED OF ROCK.

Owner / Developer:
AutoZone Inc.

1230 South Front Street, 3rd Floor
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Tel: (901) 495-8709 Fax: (901) 495-8969
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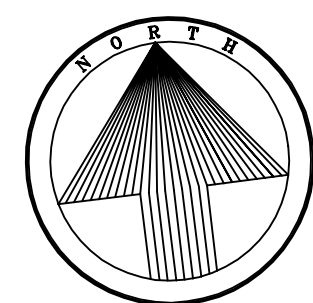
Prepared for: **AutoZone Store Development**

Store No.: 6348

DELAY

CITY OF DELRAY BEACH, FL. 33483

LANDSCAPE PLAN



REVISIONS

1. PER CITY COMMENTS
2. PER CITY COMMENTS
3.

4.

5.

6.

7.

ARCHITECT: AGW

DRAFTSMAN: RES

CHECKED BY: AGW

DATE
APRIL 2015

PROTOTYPE SIZE
7N2

L-1

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James K. Winter, RLA
LA0000911
Mar 31, 2016

CPH JOB NUMBER: A20130

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Plans Prepared By:

CPH, Inc.

2216 Altamont Ave. Ft. Myers, FL 33901
Ph: 239.332.5499

Licenses:
Eng. C.O.A. No. 3215 Arch. Lic. No. AA2600926
Survey L.B. No. 7143 Landscp. Lic. No. LC0000298

LANDSCAPE NOTES:

- The Landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variation between quantities shown on plant list and the plans, the plans shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface utilities.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. Locations of existing buried utility lines shown on the plans are based upon best available information and are considered to be approximate. It shall be the responsibility of the contractor 1) to verify the locations of utility lines within and adjacent to the work area 2) to protect all utility lines during the construction period 3) to repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the construction 4) To field adjust the location of proposed trees and palms 10' off the center of the utility lines. Notify the Landscape Architect if a 10' offset does not function.
- The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to assure availability and proper location of irrigation items and plants.
- Contractor shall ensure that there are no visual obstructions to vehicle lines of sight and traffic controls. Contractor shall field adjust tree and/or large shrub locations to avoid any such obstructions.
- Trees shall be maintained by the owner to avoid future such obstructions by pruning trees and/or shrubs as necessary utilizing horticulturally sound techniques.
- All planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting foreman.
- All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Stock, Part I and II, published by the Florida Department of Agriculture and Consumer Services.
- The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.
- Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the trade.
- The minimum acceptable size of all plants, measured after pruning, with branches in normal positions, shall conform to the measurements specified on the plant list or as indicated on the landscape drawings. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. Trunk caliper (trunk diameter) is measured 6 inches from the ground on trees up to and including 4 inches in caliper, and 12 inches from the ground for larger trees. Since trunks are seldom round, the average of the largest diameter and that perpendicular to it is referred to as caliper.
- Plants shall be protected upon arrival at the site, by being thoroughly watered and properly maintained until planted.
- All tree pits shall be excavated to size and depth in accordance with the Florida Grades & Standards for Nursery Stock, unless shown otherwise on the drawings, and backfilled with the specified planting soil. The Landscape Contractor shall test fill all tree pits with water before planting to assure proper drainage penetration is available.
- The Landscape Contractor shall be responsible for proper watering of all plants. All plants shall be thoroughly watered at time of planting and kept adequately watered until time of acceptance. It shall be the Landscape Contractor's responsibility to assure that plants are not over watered.
- It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to re-straighten and replant all plants which lean or fall and to replace all plants which are damaged due to lack of proper staking or staking. The Landscape Contractor shall be legally liable for any damage caused by instability of any plant material.
- All Palms to be staked as indicated per Palm staking details. All other trees to be stabilized utilizing 8' lodge poles per tree planting details.
- Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner.
- Sod shall be certified to be free of the Imported fire ant. Sod shall have a clean growth of acceptable grass, reasonably free of weeds with not less than 1 1/2" of soil firmly adhering to roots. It shall be the responsibility of the Landscape Contractor to measure and determine the exact amount required. This amount shall be verified with the Owner or Landscape Architect before installation.
- The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and sod areas. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage. If well drained fill is necessary to assure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.
- The Landscape Contractor shall insure that his work does not interrupt established or projected drainage patterns.
- The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Confirm with the Landscape Architect or Owner the extent of work required at time of Bidding.
- Mulch - All plant beds shall be top dressed with 4" shredded hardwood mulch (or approved eqal).
- Transplanted Material - The Landscape Contractor shall be responsible for determining and evaluating which plant materials are suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, horticulturally acceptable measures to assure the successful transplanting of determined plant materials. The Landscape Contractor shall be responsible for replacing any relocated plant materials which die if such measures are not taken, as determined by the Landscape Architect or Owner. Replacement plants shall be of identical species and size if required.

MAINTENANCE PRIOR TO FINAL INSPECTION AND ACCEPTANCE:

Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job or specific phase of the job is accepted by the Landscape Architect or Owner. Extreme care shall be taken to instruct the Owner or his representatives in general maintenance procedures.

Plant maintenance shall include watering, pruning, weeding, cultivating, mulching, tightening, and repairing of guys, replacement of sick or dead plants, resetting plants to proper grades or upright positions and restoration of the planting saucer and all other care needed for proper growth of the plants.

During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all seasonal spraying and/or dusting of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for scheduling of the inspection 10 days prior to the anticipated date.

At the time of the inspection, if all of the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor Stating the date when the Maintenance Period ends.

GUARANTEE AND REPLACEMENT:

All plant materials shall be guaranteed for one (1) year from the time of final inspection and interim acceptance shall be alive and in satisfactory growth for each specific kind of plant at the end of the guaranteed period.

At the end of the guarantee period, any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner or the Landscape Architect, shall be removed and replaced. Replacement plants shall have an extended guarantee, as noted above, from time of replacement.

All replacements shall be planted of the same kind and size as specified on the plant list. They shall be the responsibility of the Landscape Contractor.

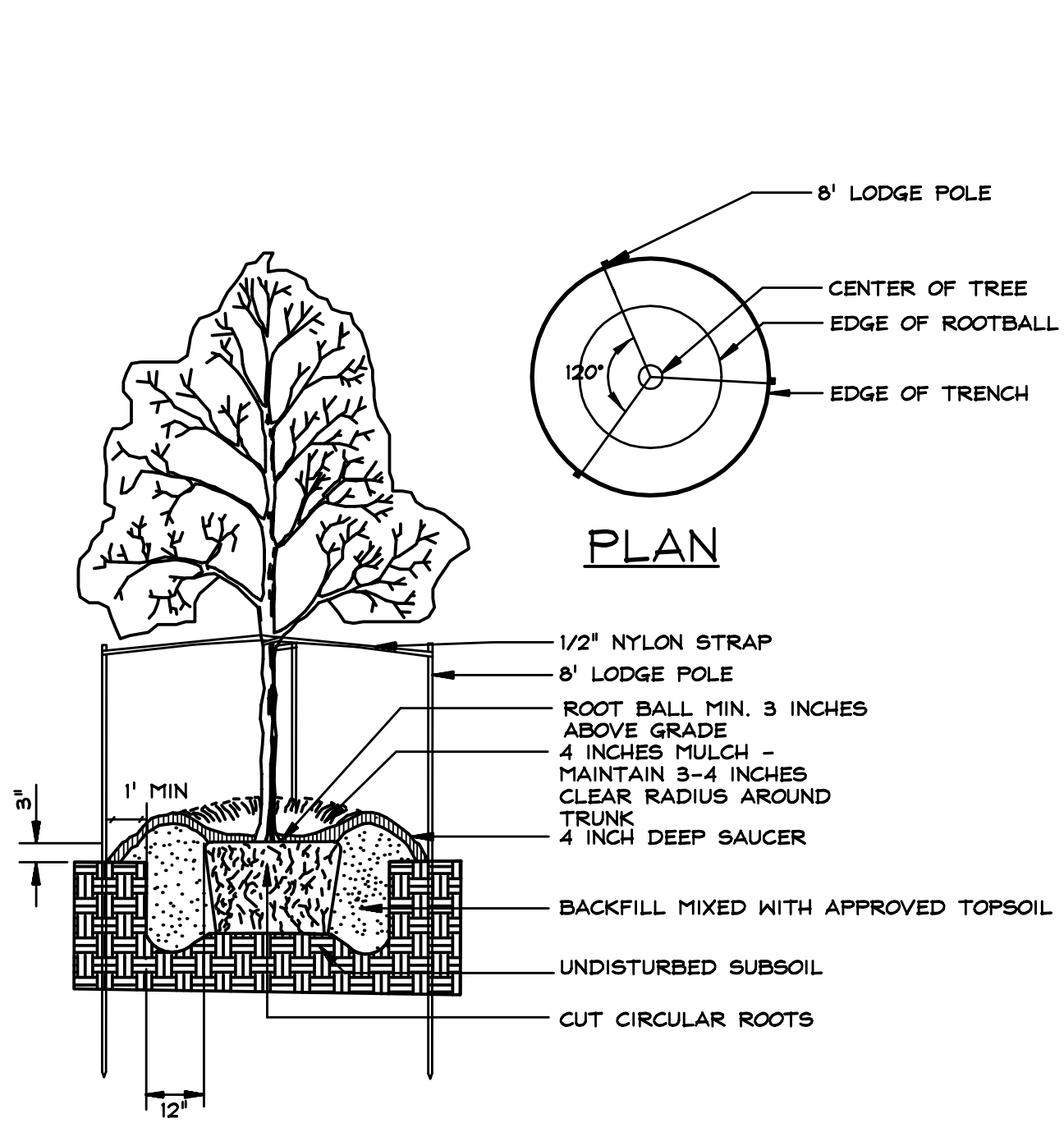
TOPSOIL

Topsoil shall be natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity that produces heavy growth. Topsoil shall have a pH range of 5.5 to 7.4, free from subsoil, objectionable weeds, litter, soda, stiff clay, stones larger than 1-inch in diameter, stumps, roots, trash, toxic substances, or any other material which may be harmful to plant growth or hinder planting operations. Top soil shall contain a minimum of three percent organic material.

UNSUITABLE SUBSOILS

Locations containing unsuitable subsoil shall be treated by one or more of the following:

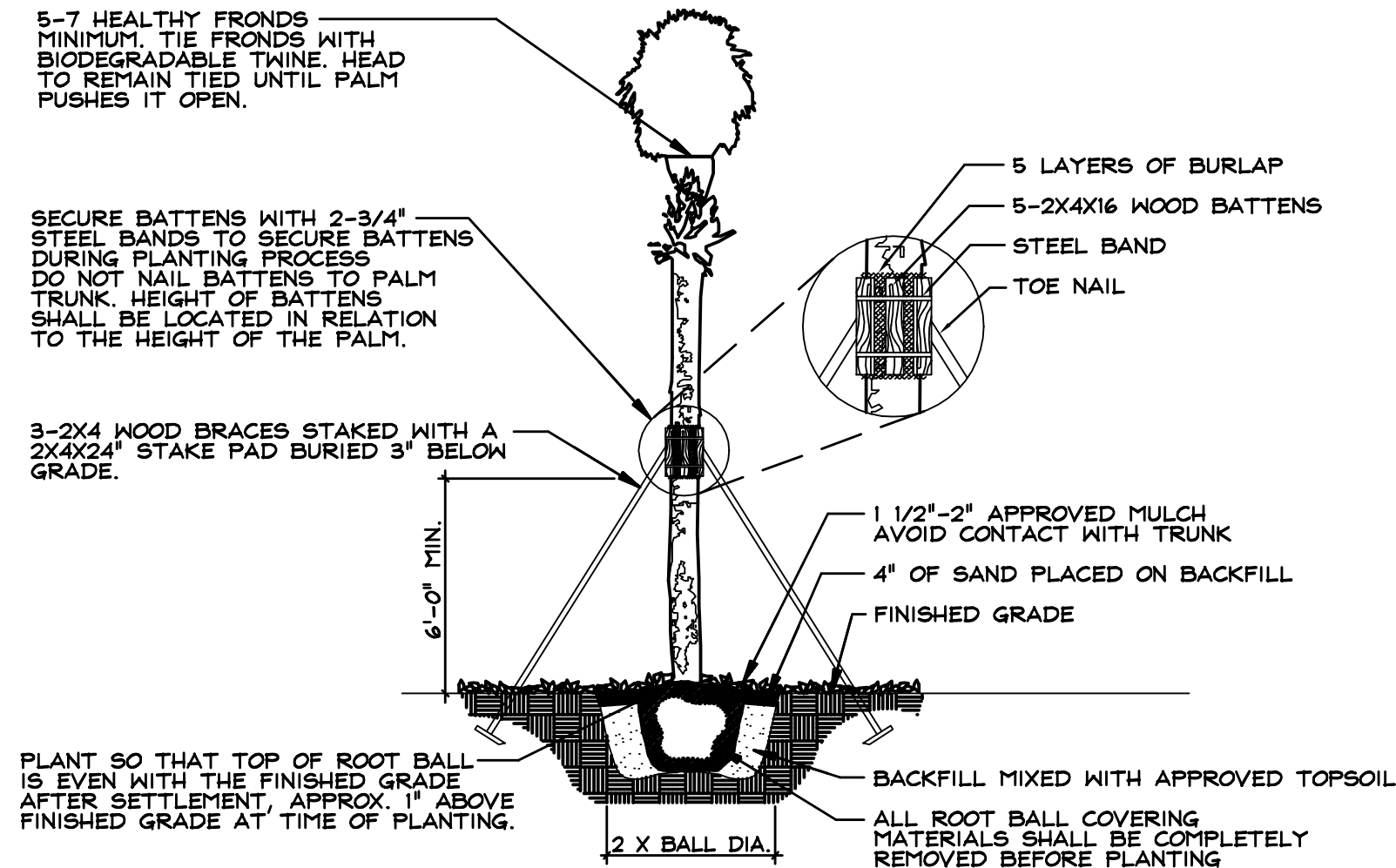
- Where unsuitability is deemed by Owner or Owner's Representative to be due to excessive compaction caused by heavy equipment and where natural subsoil is other than AASHTO classification of A6 or A7, loosen such areas with spikes, dicing, or other means to loosen soil to condition acceptable to Owner. Loosen soil to minimum depth of 12 inches with additional loosening as required to obtain adequate drainage. Contractor may introduce peat moss, sand, or organic matter into the subsoil to obtain adequate measures shall be considered as incidental, without additional cost to Owner.
- Where unsuitability is deemed by Owner or Owner's Representative to be due to presence of boards, mortar, concrete, graded aggregate base, or other construction materials in sub grade and where natural subsoil is other than AASHTO classification of A6 or A7, remove debris and objectionable material. Such remedial measures shall be considered as incidental, without additional cost to Owner.
- Where unsuitability is deemed by Owner to be because natural subsoil falls into AASHTO classification of A6 or A7 and contains moisture in excess of 30 percent, then installation of sub drainage system or other means described elsewhere in Specifications shall be used. Where such conditions have not been known or revealed prior to planting time and they have not been recognized in preparation of The Drawings and Specifications, then Owner shall issue pricing order to install proper remedial measures.
- Planting beds where existing subsoil is determined by Owner to be unsuitable for plant growth in accordance paragraph Unsuitable Subsoil herein shall be excavated to a depth of 12 inches or as needed to provide adequate drainage. Replace excavated soil with planting soil.



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

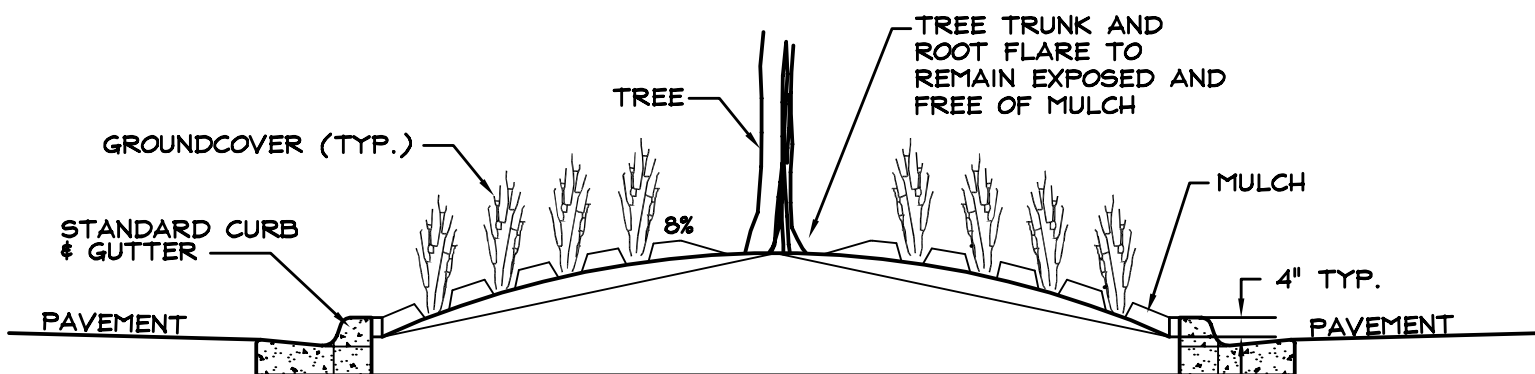
CONTAINER TREE PLANTING DETAIL

N.T.S.



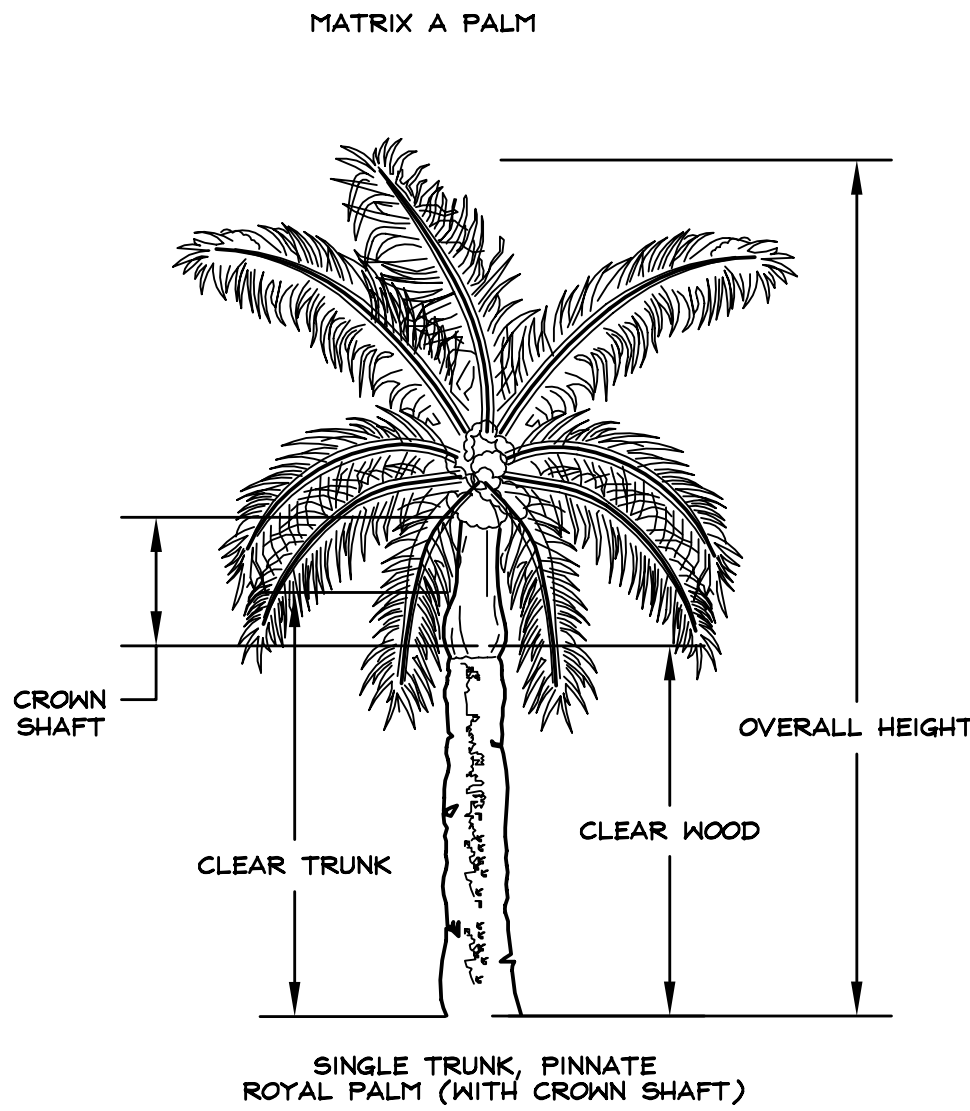
PALM STAKING DETAIL

N.T.S.



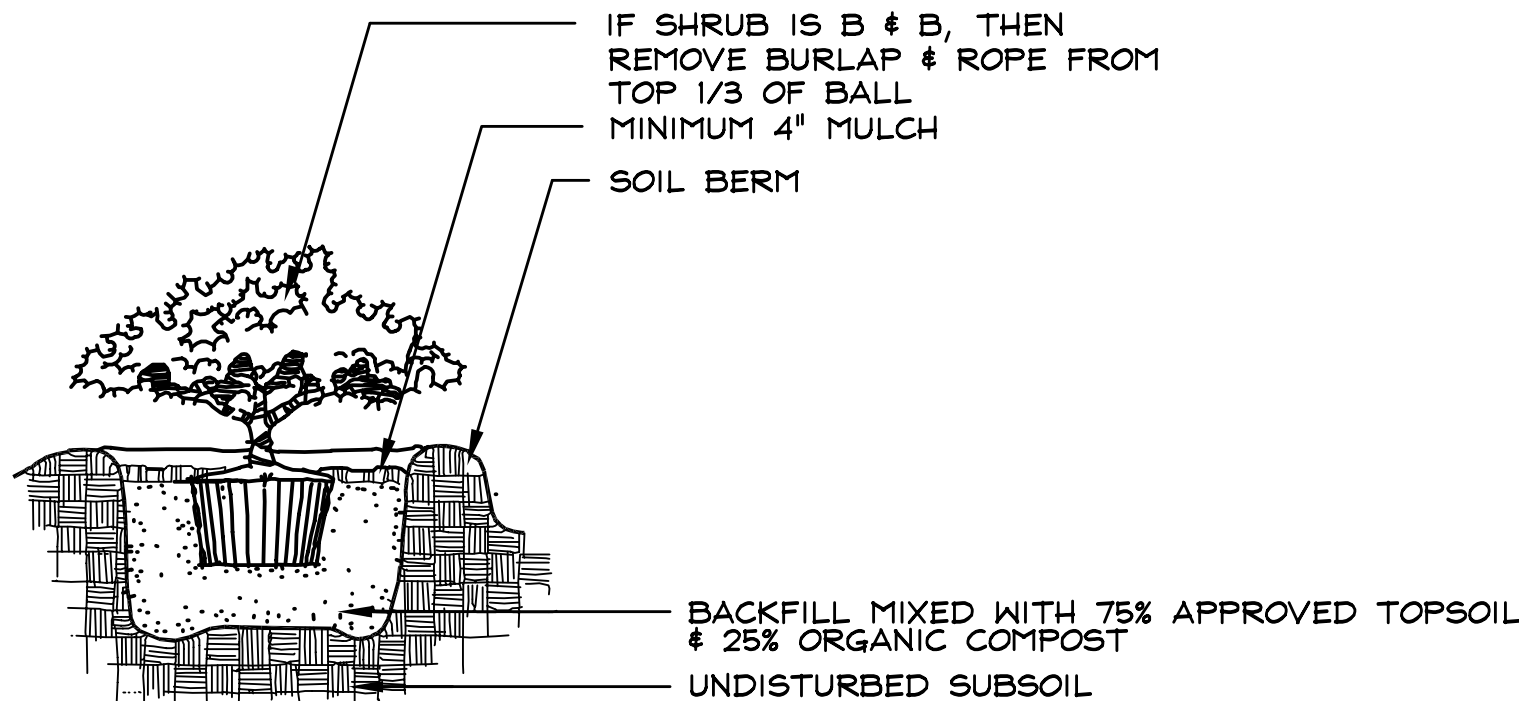
TYPICAL LANDSCAPE ISLANDS

N.T.S.



NOTE:

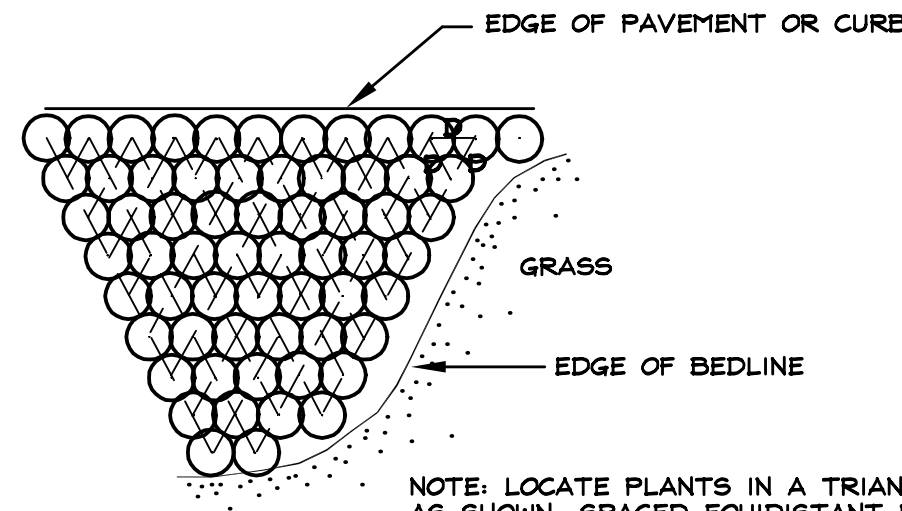
LDR 4.6.16(H)(3)(N), ALL EXISTING SOIL WITHIN LANDSCAPE AREAS ADJACENT TO VEHICULAR USE AREAS IS REQUIRED TO BE REMOVED (TO 30" BELOW GRADE), INSPECTED AND THEN REPLACED WITH A SIXTY TO FORTY (60/40) MIX OF SAND TO TOPSOIL, NATIVE SOIL THAT HAS BEEN SCREENED OF ROCK OR ANOTHER MIXTURE SUGGESTED BY THE LANDSCAPE ARCHITECT. PROVIDE NOTE ON PLANS. INCLUDE IN PLANS THE ILLUSTRATION FOUND IN LDR 4.6.16(H)(3)(N).



-PROVIDE MINIMUM PIT CLEARANCE AROUND ROOT BALL OF 6" SIDES AND BOTTOM.
-MAINTAIN 3"-4" MULCH FREE ZONE AROUND BASE OF PLANT.

SHRUB PLANTING DETAIL

NTS



SHRUB/GROUND COVER SPACING PLAN

N.T.S.

PALM HEIGHT/TRUNK SPECIFICATIONS

OVERALL HEIGHT(OA):
HIGHEST POINT IN THE CANOPY MEASURED FROM THE SOIL LINE TO THE NATURAL POSITION OF THE LAST FULLY EXPANDED LEAF. UNLESS SPECIFIED DIFFERENTLY, THE TERM HEIGHT, OR HEIGHT MEASUREMENTS SPECIFIED, WILL BE CONSIDERED OVERALL HEIGHT.

CLEAR TRUNK(CT):
A MEASUREMENT FROM THE SOIL LINE TO A POINT IN THE CANOPY WHERE THE TRUNK CALIPER BEGINS TO TAPER ABRUPTLY. ON MANY PALMS, THIS POINT WILL LIE AT THE BASE OF THE PETIOLE OF THE THIRD OR FOURTH YOUNGEST BUT FULLY EXPANDED LEAF.

CLEAR WOOD(CW):
A MEASUREMENT FROM THE SOIL LINE TO THE HIGHEST POINT OF THE TRUNK FREE OF PERSISTENT LEAF BASES. ON PALMS WITH A CROWN SHAFT, THE MEASURE WILL BE FROM THE SOIL LINE TO THE BASE OF THE CROWN SHAFT. IT SHOULD BE NOTED THAT PALMS WITH VERY PERSISTENT LEAF BASES MAY NOT HAVE CLEAR WOOD.

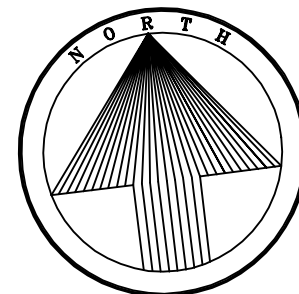
Owner / Developer:
AutoZone Inc.
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F.W. Dodge Plan Room Tel: (615) 884-1017

Prepared for: **AutoZone Store Development**

Store No.: 6348

DELRAY
CITY OF DELRAY BEACH, FL. 33483

LANDSCAPE NOTES AND DETAILS



REVISIONS

1. PER CITY
2. COMMENTS
- 3.
- 4.
- 5.
- 6.
- 7.

ARCHITECT: AGW

DRAFTSMAN: RES

CHECKED BY: AGW

DATE

APRIL 2015

PROTOTYPE SIZE

7N2

L-2

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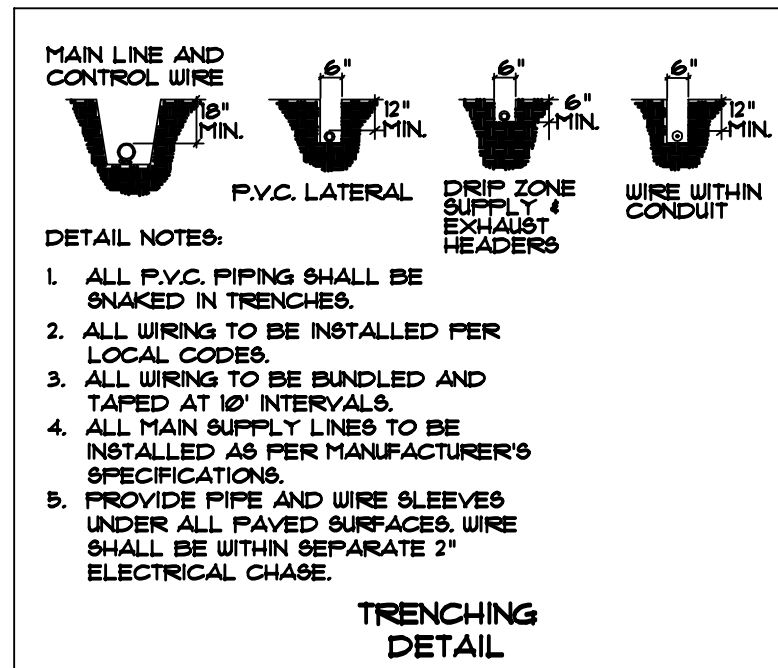
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Ph: 239.332.5499
Licenses:
Eng. C.O.A. No. 3215 Arch. Lic. No. AA2600926
Survey L.B. No. 7143 Landsc. Lic. No. LC0000298

James K. Winter, RLA
LA00009111
Mar 31, 2016

www.cphcorp.com

CPH JOB NUMBER: A20130

Drawing name: J:\A201301\AutoZone\DWG\Main\Irrigation\Design\AutoZone_Irr_7-15.dwg, Date: 31, 2016, 8:30pm, user: jason



DRIP TUBING NOTES

- INSTALL ALL DRIP TUBING 2" BELOW THE FINISHED GRADE. USE U SHAPED WIRE STABILIZERS TO HOLD LINES IN PLACE.
- KEEP ALL DRIP LINES CLEAN AT ALL TIMES BEFORE THE FINAL CONNECTION. TAPE ALL TUBE ENDS OR USE DIRT CAPS.
- ALL DRIP TUBING SHALL HAVE UNIFORM SPACING AND BURIAL DEPTH.
- ALWAYS FLUSH ALL LINES BEFORE CONNECTION.
- REFER TO THE MANUFACTURER DRIP INSTALLATION MANUAL FOR INSTALLATION INSTRUCTIONS. INSTALL PER MANUFACTURER SPECIFICATIONS.
- AVOID SHARP BENDS IN THE TUBING. DO NOT BEND THE TUBING WITH LESS THAN A 1" RADIUS.
- SPACE TUBING AS NOTED ON THE PLAN. THE PLAN DOES NOT ALWAYS SHOW ALL DRIP TUBING. THE PLAN LAYOUT IS FOR CLARITY ONLY.

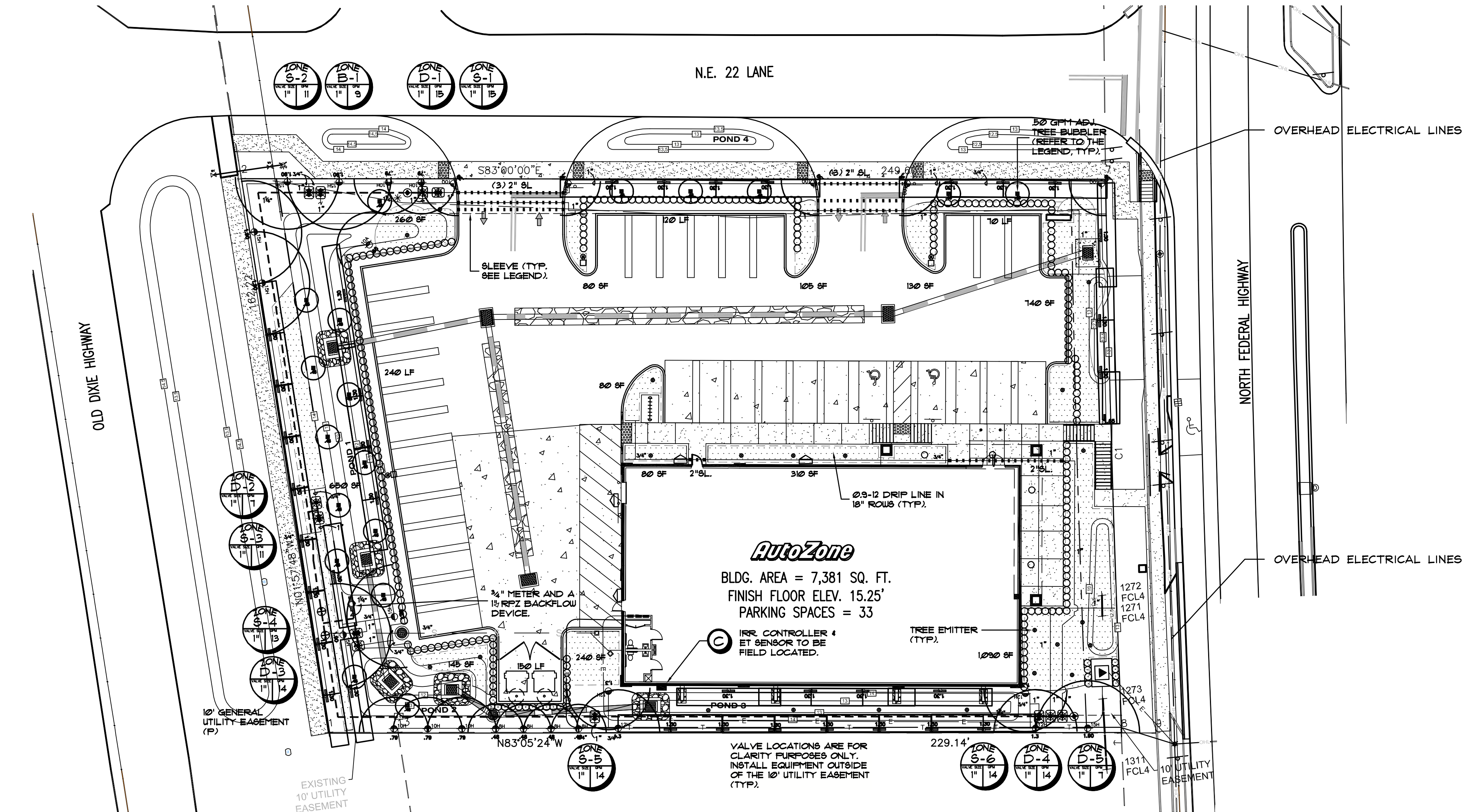
WEEKLY DEMAND ZONE CHART (AFTER ESTABLISHMENT PERIOD)

ZONE #	TYPE	WATER USE	GPM	RUN TIME	GPW
S-1	TURF SPRAY	HIGH	15	30 MIN.	450
S-2	TURF SPRAY	HIGH	11	30 MIN.	330
S-3	TURF SPRAY	HIGH	11	30 MIN.	330
S-4	TURF SPRAY	HIGH	13	30 MIN.	390
S-5	TURF SPRAY	HIGH	14	30 MIN.	420
S-6	TURF SPRAY	HIGH	14	30 MIN.	420
D-1	DRIP ZONE	LOW	15	60 MIN.	900
D-2	DRIP ZONE	LOW	7	60 MIN.	420
D-3	DRIP ZONE	LOW	14	60 MIN.	840
D-4	DRIP ZONE	LOW	14	60 MIN.	840
D-5	DRIP ZONE	LOW	7	60 MIN.	420
B-1	TREE BUBBLER	LOW	9	30 MIN.	270

TOTAL	83 HR.	6,030
-------	--------	-------

STATION RUN TIMES ARE BASED ON APPROXIMATE AMOUNT OF TIME REQUIRED TO APPLY ¾" OF WATER TO IRRIGATED AREA.

ADDITIONAL RUN TIME MAY BE NEEDED TO ACCOUNT FOR EMISSION DEVICE EFFICIENCIES AND EVAPOTRANSPIRATION.



NOTE:
IRRIGATION WATER METER WILL BE PLACED AT A 90° ANGLE FROM THE WATER MAIN AND WITHIN 18" OF PROPERTY LINE.

SPRAY HEAD LEGEND AND NOZZLE CHART

Symbol	MFR	DESCRIPTION	Nozzle Type	Radius ft.	PSI	Flow GPM	PRECIP. IN/HR.
●	RAIN BIRD	360° Arc 1806 SAM-PRS (6" POP-UP SPRAY) Installed with SPX-FLEX Tubing with a SPE-050 Barb Elbow & MFR Nozzle	15F 12F 10F 8F 6F 4F	15 10 8 6 4 3	30 30 30 30 30 30	15.5 11.4 8.5 6.2 4.1 2.8	1.03 1.41 1.72 2.01 2.33 2.61
○	RAIN BIRD	180° Arc 1806 SAM-PRS (6" POP-UP SPRAY) Installed with SPX-FLEX Tubing with a SPE-050 Barb Elbow & MFR Nozzle	12H 10H 8H 6H 4H 3H	12 10 8 6 4 3	30 30 30 30 30 30	12.5 9.1 6.2 4.1 2.8 2.0	1.21 1.41 1.72 2.01 2.33 2.61
○	RAIN BIRD	90° Arc 1806 SAM-PRS (6" POP-UP SPRAY) Installed with SPX-FLEX Tubing with a SPE-050 Barb Elbow & MFR Nozzle	10H 8H 6H 4H 3H	10 8 6 4 3	30 30 30 30 30	9.1 6.2 4.1 2.8 2.0	1.21 1.41 1.72 2.01 2.33
○	RAIN BIRD	Adj. Arc 1806 SAM-PRS (6" POP-UP SPRAY) Installed with SPX-FLEX Tubing with a SPE-050 Barb Elbow & HE-VAN Nozzle	15A 12A 10A 8A 6A 4A	15 12 10 8 6 4	30 30 30 30 30 30	Varies Varies Varies Varies Varies Varies	Varies Varies Varies Varies Varies Varies
	RAIN BIRD	Strips 1806 SAM-PRS (6" POP-UP SPRAY) Installed with SPX-FLEX Tubing with a SPE-050 Barb Elbow & MFR Nozzle	15LCS 12LCS 10LCS 8LCS 6LCS 4LCS	4' X 15' 4' X 12' 4' X 10' 4' X 8' 4' X 6' 4' X 4'	30 30 30 30 30 30	Varies Varies Varies Varies Varies Varies	Varies Varies Varies Varies Varies Varies
○	RAIN BIRD	1800 A-F adjustable tree bubbler to be installed 3" above grade on a 1/4" Sch. 80 nipple. Contractor is responsible for installing lateral pipes (not shown) to the proposed tree bubblers. Pipe sizes shall not exceed 5 FFS. Manually adjust the bubbler to reflect the plants watering needs. Provide a minimum of 3 gallons per caliper inch at DBH.	1500 1200 1000 800 600 400	15 12 10 8 6 4	30 30 30 30 30 30	15.5 11.4 8.5 6.2 4.1 2.8	1.03 1.41 1.72 2.01 2.33 2.61

XERIGATION/DRIP LEGEND

Symbol	MFR	DESCRIPTION
-----	RAIN BIRD	XF5-05-12 drip tubing w/ 5 GPH emitters 12" on center. Install tubing rows a maximum of 18' apart in shrub areas. All tubing shall be installed below finished mulch grade w/ 5" wire stakes five (5) feet on center, verify the layout and spacing in the field prior to starting work. All connection between drip tubing shall be made using XF dipline fittings.
---	APPROVED	PVC supply and/or exhaust header to drip tubing connection. If size not indicated then ¾" shall be installed (see details for more information).
▲	RAIN BIRD (not shown)	MDFCFLUP & a MDFCFLUP flush cap installed at end/middle of dipline PVC flush manifold line. Install flush cap inside a separate valve box. One at the end of tubing runs in each direction. Install a min. of one flush cap per 1000' of tubing in each direction on dipline flush manifold. Install 18" from paving. Install all flush equip. per manufacturer's specifications.
▲	RAIN BIRD (not shown)	Air/vacuum Relief Valve Kit ARV050 to be installed at the highest point of the dipline zone. Install valve on an exhaust header or perpendicular to lateral rows per manufacturer written installation instructions. Valve to be installed within a Rain Bird SEB TxB emitter box do not exceed 424' of dipline between each Air/vacuum Relief Valve Kit.
•	RAIN BIRD	50 Series 50 RFL installed on a 12" Poly-Flex Riser and 50 Nozzle Adapter 50Q ADP02. The Irrigation Contractor is to install the emission device 2" above the finished mulch layer.

PIPE, VALVE AND EQUIPMENT LEGEND

Symbol	MFR	DESCRIPTION
⊕	APPROVED	¾" water meter provided by Owners Representative. The Irrigation Contractor shall tie to the discharge side of meter and install a 1" RPZ type backflow device per local code.
⊗	RAIN BIRD	FEB Series electric remote-control valve & a line size PVC ball valve to be installed within a Rain Bird VB-8TD valve box (refer to valve ID on plan for size).
⊗	RAIN BIRD	XGZ-PRB-100-COM 1" pressure regulating Drip Zone Kit to be installed within a Rain Bird VB-8TD valve box with a 3" minimum washed pea gravel sump. Drip Kit is to be installed per the manufacturer written installation instructions.
Ⓜ	MATCO	Line size brass gate valve installed in Rain Bird VB-10RND valve box w/ green lid.
⊙	RAIN BIRD	33-DLRC ¾" Quick Coupler installed within a Rain Bird VB-10RND valve box. The IRR Contractor shall provide (2) Hose Selves (84-0), (2) Valve Keys (33-DK) & (2) Locking Cover Keys (2049) to Owners Representative at completion of project.
⊙	RAIN BIRD	ESP-8HT4 Smart Control System with an ET Based Weather Sensor to be installed in this approximate location per the Manufacturer written specifications. ESP-8HT4 Station Modules shall be installed to provide the required station count of 12.
---	APPROVED	PVC Class 200 IPS Plastic Pipe "Mainline". The diagrammatic location shown on plan is approximate and shall be field located per the Owners Representatives approval. Pipe sizes 2½" inch or smaller shall have bell and socket joints. Pipe sizes larger than 2½" inch shall have snap connections with rubber gasket joints. Install 18" below grade.
---	APPROVED	PVC Class 200 IPS Plastic Pipe "Lateral". The diagrammatic location shown on plan is approximate and shall be field located per the Owners Representatives approval. Pipe sizes 2½" inch or smaller shall have bell and socket joints. Pipe sizes larger than 2½" inch shall have snap connections with rubber gasket joints. Install 12" below grade.
	APPROVED	PVC Schedule 40 IPS Plastic Pipe "Sleeve". Sizes shall be twice the diameter of the pipe or wire bundle carried. Place below all paving, hardscape etc. and as directed by the Owners Authorized representative. Extend sleeves 12" beyond paving at each end.
*	APPROVED	Install two spare control wires plus a common from the irrigation controller location to the nearest valve box located in this approximate area.

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REVISIONS

1. PER CITY COMMENTS
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

ARCHITECT: AGW
DRAFTSMAN: RES
CHECKED BY: AGW
DATE:
APRIL 2015
PROTOTYPE SIZE
7N2

IR-1

Owner / Developer:

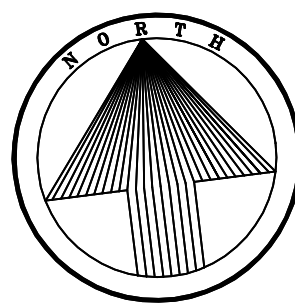
AutoZone Inc.

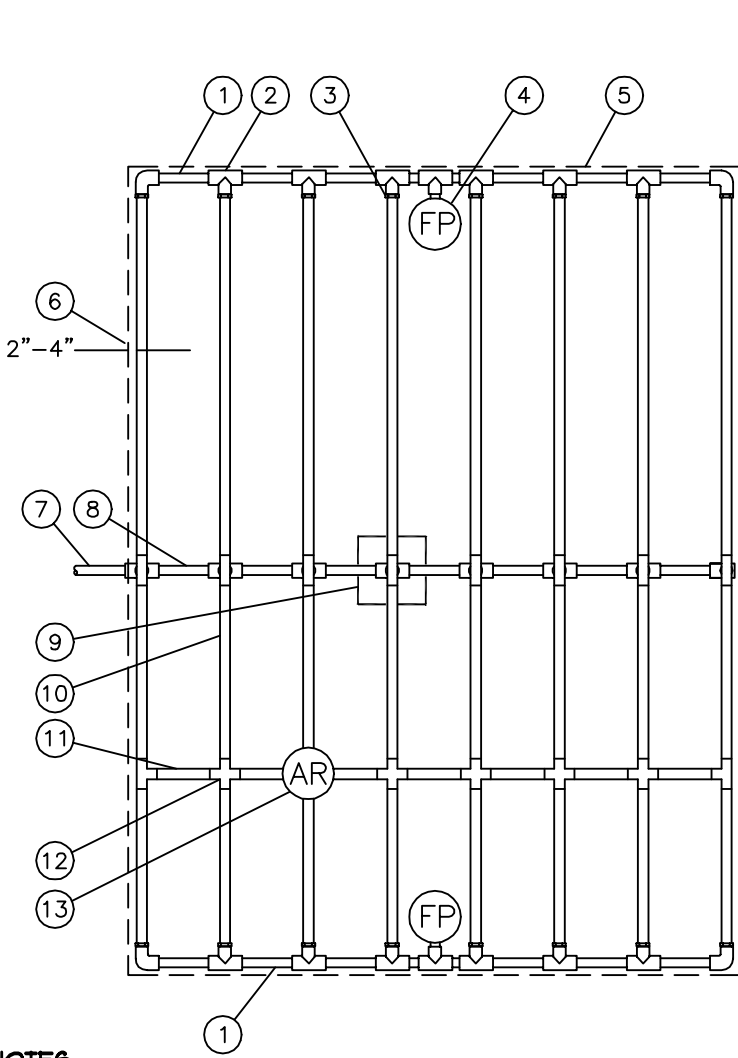
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
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Prepared for: **AutoZone Store Development**

Store No.: 6348

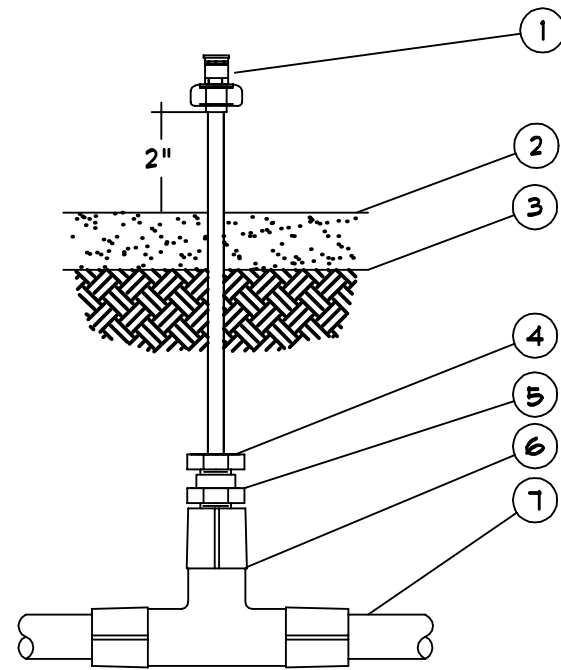
DELRAY
CITY OF DELRAY BEACH, FL 33483





- NOTES:
1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE RAIN BIRD XF-SDI DRIPLINE INSTALLATION GUIDE FOR SUGGESTED SPACINGS.
 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH SHOWN IN THE ACCOMPANYING TABLE.
 3. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINT OF AREA.
 4. WHEN USING TYPICAL INSERT FITTINGS WITH DEBURRING OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

XF8 SUB-SURFACE CENTER FEED DRIP LAYOUT DETAIL

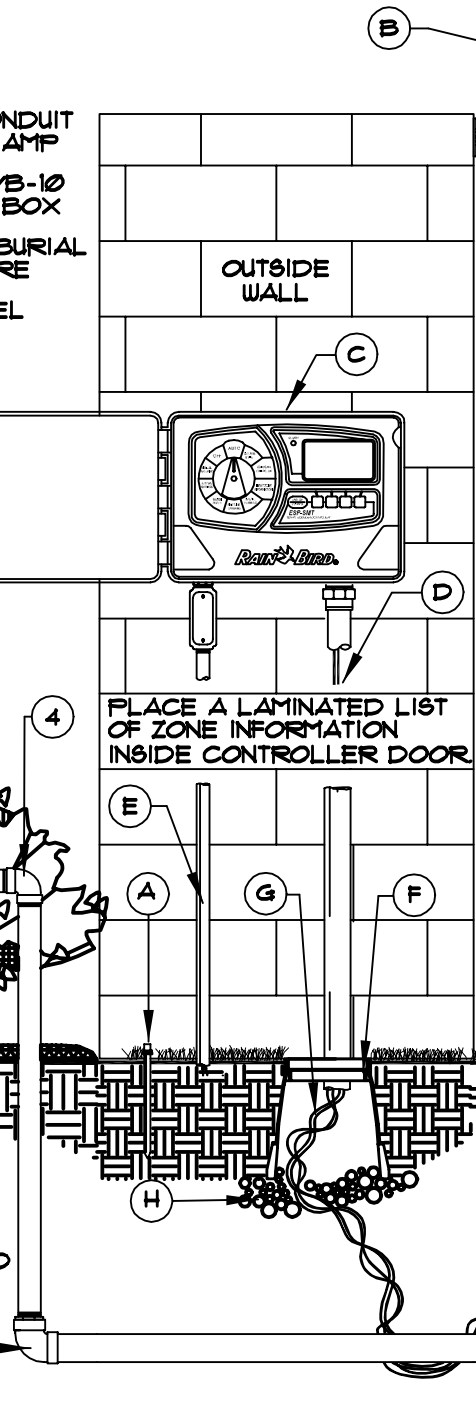


8Q NOZZLE W/ ADAPTER ON POLYFLEX RISER INTO 1/2" POLYETHYLENE TUBING

- (A) GROUNDING ROD PER CODE.
(B) ESP-SMT WEATHER SENSOR.
(C) RAIN BIRD ESP-SMT START CONTROL.
(D) 2" CONTROL WIRE CONDUIT.

- (E) 1" PWR IN CONDUIT 12" VOL-T 140 AMP.
(F) RAIN BIRD VB-10 RND VALVE BOX.
(G) 1/4" DIRECT BURIAL CONTROL WIRE.
(H) 8" OF GRAVEL.

- (I) GALV. NIPPLES (1 OF 6).
(J) GALV. UNIONS (1 OF 2).
(K) RPZ TYPE BACKFLOW.
(L) GALV. ELLS (1 OF 2).
(M) 8XT PVC ELLS (1 OF 2).



BACK FLOW DETAIL

CONTROLLER DETAIL

CONTROL VALVE DETAIL

DRIP VALVE KIT DETAIL

SLEEVE DETAIL

DRIP TUBING DETAIL

TURF 6" POP-UP DETAIL

ISOLATION VALVE DETAIL

TURF POP-UP SLOPE DETAIL

MASTER INSTALLATION DETAIL

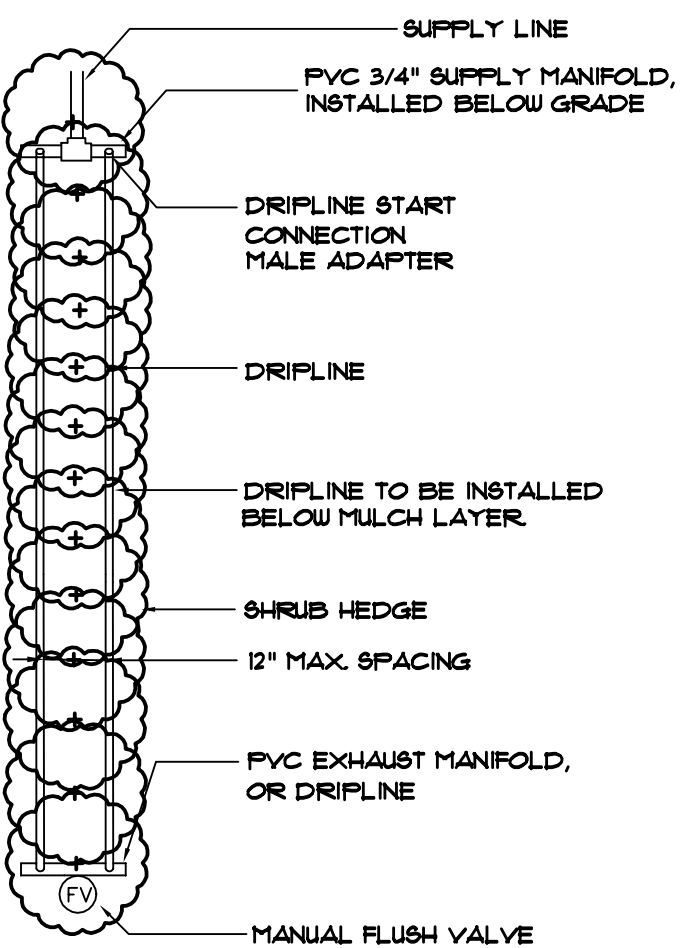
THE DESIGN PROFESSIONAL DENIES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY OR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

NOT TO SCALE

IRRIGATION SYSTEM PERFORMANCE NOTES

- 1) IRRIGATION SYSTEM AS SHOWN IS DESIGNED TO OPERATE FROM A POTABLE WATER METER PROVIDING A MINIMUM FLOW OF 15 GPM AND A MINIMUM PRESSURE OF 60 PSI.
CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION IF AVAILABLE FLOW AND PRESSURE DEVIATES FROM 15 GPM AND 60 PSI MORE THEN 5% AND WILL AFFECT THE PERFORMANCE OF THE SYSTEM.
MINIMUM PRESSURE REQUIREMENTS - 60 PSI AT THE POINT OF CONNECTION
30 PSI AT THE BASE OF THE POP-UP SPRAY HEADS
- 2) HEAD LAYOUT BASED ON BASE INFORMATION PROVIDED. HEADS SHALL BE ADJUSTED TO ACCOMMODATE FIELD VARIATIONS WHILE MAINTAINING 100% COVERAGE AND MINIMIZING OVERSPRAY ONTO PAVED AREAS AND BUILDINGS.
- 3) LATERAL PIPE SHALL BE SIZED SO THE WATER VELOCITY DOES NOT EXCEED 5 FEET PER SECOND, MAXIMUM GPM PER PIPE SIZE AS FOLLOWS:

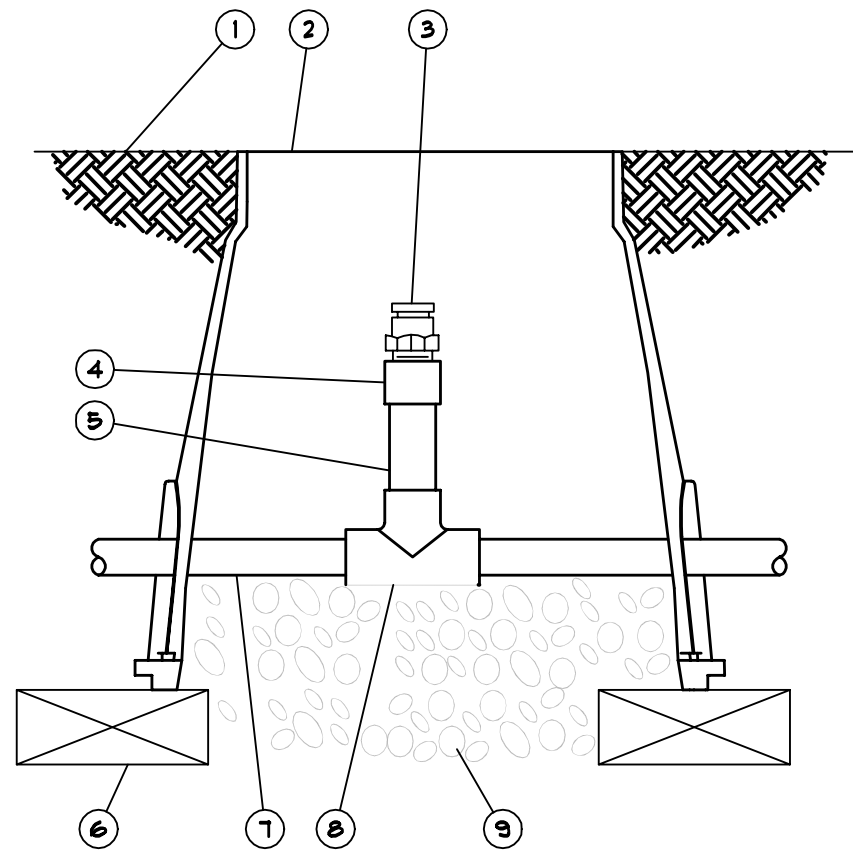
CLASS 200	
3/4" PIPE	10 GPM
1" PIPE	15 GPM
1 1/4" PIPE	26 GPM
1 1/2" PIPE	36 GPM
2" PIPE	55 GPM
2 1/2" PIPE	80 GPM
3" PIPE	120 GPM
- 4) WATER SERVICE LINE, WATER METER, CHECK VALVES, SURGE PROTECTION, ETC. AND PERFORMANCE OF THE WATER SOURCE ARE NOT A PART OF THESE DRAWINGS.



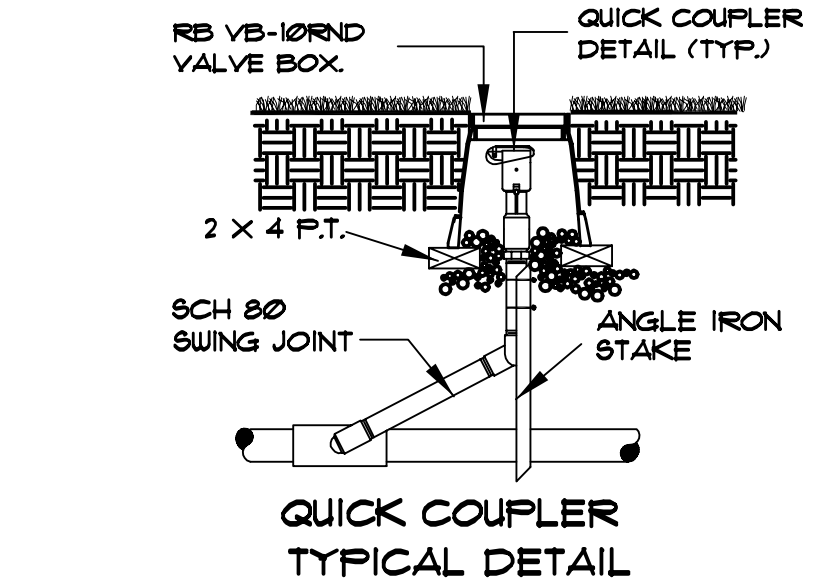
SHRUB DRIP LAYOUT DETAIL

- (1) FINISH GRADE
(2) SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB TXB
(3) 1/4" AIR RELIEF VALVE: RAIN BIRD ARV2000 TO BE INSTALLED AT HIGH POINTS IN DRIP ZONE
(4) PVC SCH 40 FEMALE ADAPTER

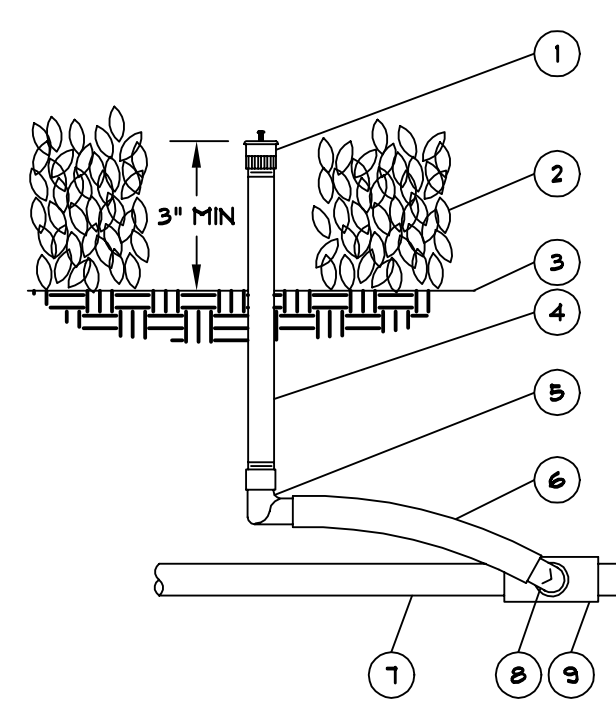
- (5) PVC SCH 80 RISER
(6) BRICK (1 OF 2)
(7) PVC HEADER PIPE
(8) PVC SCH 40 TEE
(9) 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL



XF8 SUB-SURFACE DRIPLINE 0.5 AIR RELIEF VALVE ON HEADER DETAIL



QUICK COUPLER TYPICAL DETAIL



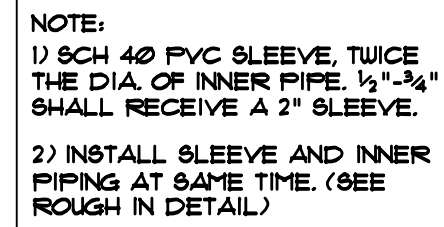
ADJUSTABLE FULL CIRCLE BUBBLER ON RISER

- (1) RAIN BIRD VB-10 RND VALVE BOX.
(2) SHUT OFF/FLUSHING VALVE.
(3) BLANK TUBING AS NEEDED.
(4) 90 STAPLES INSTALLED EVERY 3 FEET.
(5) DRIP ZONE LATERAL PIPE.
(6) RAIN BIRD 8Q NOZZLE 4 POLYFLEX RISER.

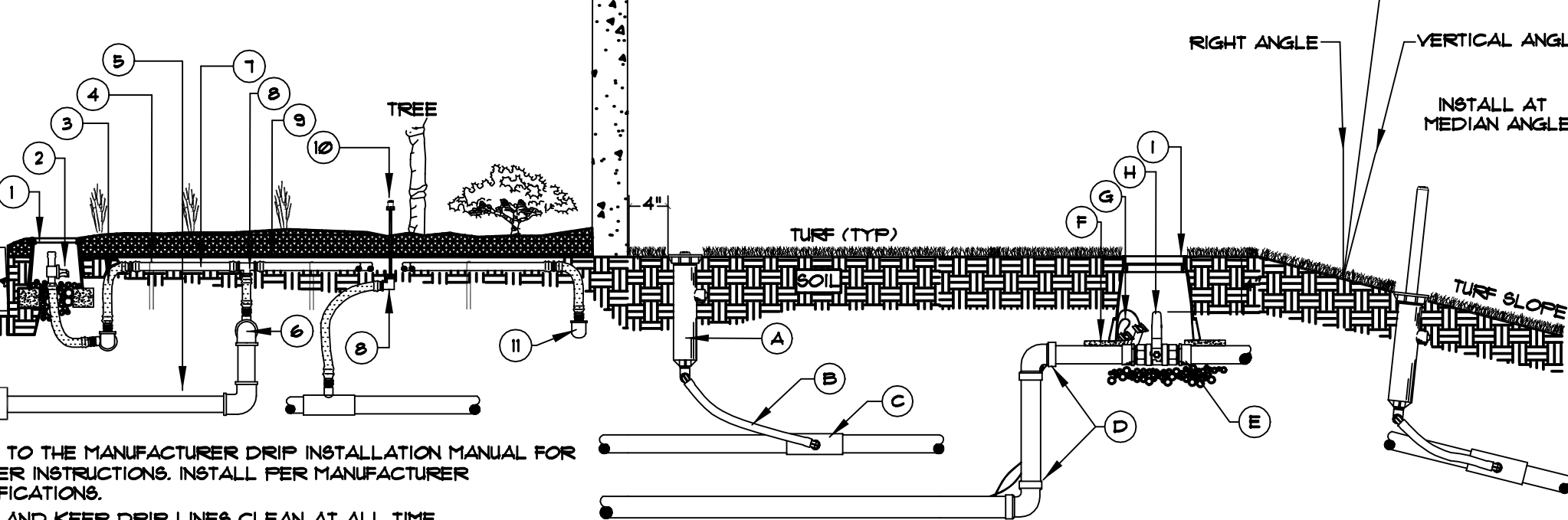
- (7) DRIP TUBING INSTALLED IN 18" ROWS, 2" BELOW GRADE.
(8) ASSORTED DRIP TUBING INSERT FITTINGS.
(9) FINISH GRADE
(10) RAIN BIRD 8Q NOZZLE 4 POLYFLEX RISER.
(11) (1 OF 2) PVC EXHAUST HEADER.

- (A) 6" PRESSURE REGULATING SPRAY HEAD (REFER TO THE LEGEND AND PLANS FOR NOZZLE SELECTION).
(B) 1/2"x1/2" FLEXIBLE SWING PIPE 1/4" SPIRAL BARB ELBOWS (2), AND 1/2" BARB ADAPTER.
(C) LATERAL TEE OR ELL 8x8XT.
(D) LINE SIZE PVC 8x8 ELL.
(E) LINE SIZE PVC MALE ADAPTERS.
(F) SUPPORT BRICK.

- (G) ONE SPARE WIRE PLUS GROUND SEALED W/ DBY.
(H) LINE SIZE BRASS BALL VALVE.
(I) RAIN BIRD VB-10 RND VALVE BOX.



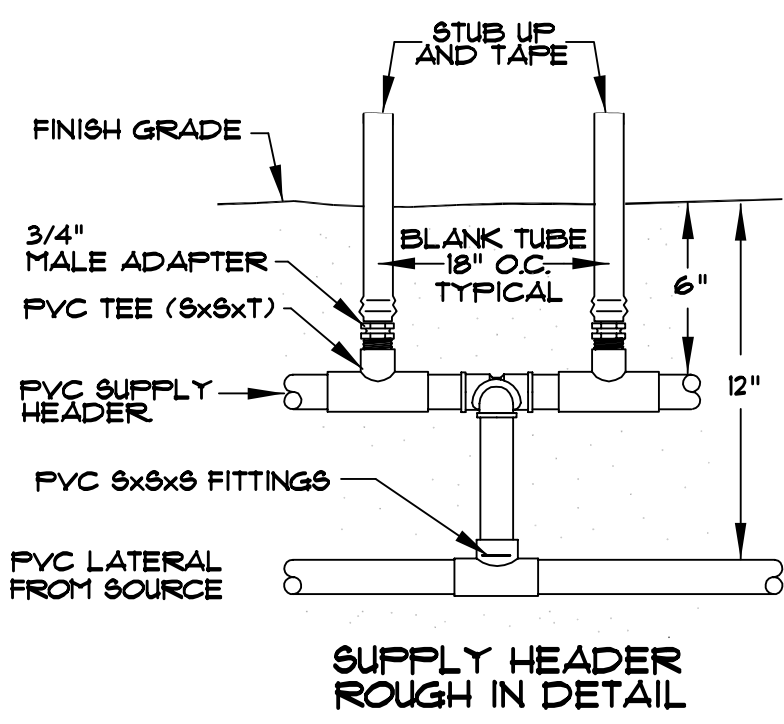
NOTE:
1) SCH 40 PVC SLEEVE, TWICE THE DIA. OF INNER PIPE. 1/2"-3/4" SHALL RECEIVE A 2" SLEEVE.
2) INSTALL SLEEVE AND INNER PIPING AT SAME TIME. (SEE ROUGH IN DETAIL)



1. REFER TO THE MANUFACTURER DRIP INSTALLATION MANUAL FOR FURTHER INSTRUCTIONS. INSTALL PER MANUFACTURER SPECIFICATIONS.
2. FLUSH AND KEEP DRIP LINES CLEAN AT ALL TIME.

GENERAL NOTES

- 1) THE DRAWINGS ARE DIAGRAMMATIC. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM WHEN ITS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTION OR DIFFERENCE SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNERS AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS.
- 2) ALL WORK SHALL CONFORM TO ANY AND ALL APPLICABLE REGULATIONS AND CODES FOR THE LOCATION OF THE WORK. THE INSTALLER SHALL OBTAIN ANY NECESSARY LOCATES, PERMITS AND INSPECTIONS.
- 3) ALL WORK SHALL BE CLOSELY COORDINATED WITH THAT OF OTHER TRADES, IN ORDER TO AVOID CONFLICTS, REFER TO LANDSCAPE AND UTILITIES PLANS WHEN TRENCHING TO AVOID TREES, SHRUBS AND UNDER GROUND UTILITIES.
- 4) ALL MATERIAL AND LABOR REQUIRED TO PROVIDE A COMPLETE, OPERATIONAL AND FULLY GUARANTEED SYSTEM SHALL BE CONSIDERED PART OF THE WORK, WHETHER OR NOT THEY ARE SPECIFICALLY INDICATED IN THE DOCUMENTS.
- 5) THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR SHOWING ALL IRRIGATION INSTALLATION. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAYBE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES. PLEASE SHOW WIRE DIRECTION.
- 6) ALL HEADS SHALL BE OF THE PROPER TYPE FOR THE AREAS WHERE LOCATED, AND SHALL BE INSTALLED PLUMB AND WITH THE PROPER HEIGHT. ALL HEADS AND OTHER EQUIPMENT SHALL BE INSTALLED WITH ADEQUATE AND UNIFORM CLEARANCE FROM ALL HARD-SCAPING, TO MINIMIZE WATER OVER SPRAY ON IMPERVIOUS AREAS.
- 7) CONTRACTOR SHALL PERFORM PRESSURE AND VOLUME TEST ON IRRIGATION WATER SOURCE OVER A CONTINUOUS 24 HOUR PERIOD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK. SHOULD THE AVAILABLE SUPPLY NOT BE ADEQUATE TO MEET THE DEMANDS OF THE IRRIGATION SYSTEM AS DESIGNED THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION FOR DESIGN MODIFICATIONS.
- 8) HIGH VOLTAGE POWER SUPPLY TO THE IRRIGATION CONTROLLER SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING THE CONTROLLER AND THE LOW VOLTAGE WIRES. THE FINAL LOCATION OF THE AUTOMATIC CONTROLLER(S) SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
- 9) ALL CONTROL WIRING SHALL BE INSTALLED UNDER MAINLINE, IF NOT POSSIBLE THEN ELEC. CONDUIT SHALL BE USED FOR WIRE PROTECTION USING FULL BOXES 150" O.C. WIRES SHALL BE TAPED EVERY 20 L.F. WITH ADEQUATE BLACK AND SURGE/ EXPANSION LOOPS AND SHALL BE SPLICED ONLY IN VALVE BOXES, USING RAIN BIRD DB SERIES CONNECTORS. THE CONTROL WIRE SHALL BE 14-1 UP PVC JACKETED, SINGLE CONDUCTOR CABLE, USING RED FOR "HOT" AND WHITE FOR VALVE COMMON. (SEE PLAN FOR SPARE WIRES.)
- 10) ALL PIPING AND WIRE PASSING UNDER PAVED AREAS SHALL BE SLEEVED WITH SCH 40 PVC PIPE, SIZED A MINIMUM OF TWO NOMINAL SIZES LARGER THAN CONTAINED PIPE.
- 11) ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- 12) THE INSTALLER SHALL BE EXPECTED TO BE FAMILIAR WITH AND FOLLOW THE INSTRUCTIONS CONTAINED HEREIN, ON THE DRAWINGS, IN THE CONSTRUCTION DETAILS, AND IN THE WRITTEN SPECIFICATIONS. SHOULD A CONFLICT BE DISCOVERED WITHIN THE DOCUMENTS, HE SHALL IMMEDIATELY NOTIFY THE PROJECT MANAGER AND REQUEST.
- 13) THE INSTALLER SHALL PROVIDE THE PROPERTY OWNER WITH AN IRRIGATION MAINTENANCE CHECKLIST & SEASONAL WATERING GUIDELINES.
- 14) THE IRRIGATION SYSTEM SHALL BE MAINTAINED AND MANAGED TO ENSURE WATER EFFICIENCY AND PREVENT WASTEFUL PRACTICES. THIS SHALL INCLUDE, BUT NOT LIMITED TO, RESETTING THE AUTOMATIC CONTROLLER ACCORDING TO THE SEASON, FLUSHING THE FILTERS, TESTING THE RAIN SENSOR DEVICES, MONITORING, ADJUSTING & REPAIRING THE IRRIGATION EQUIPMENT SUCH THAT THE EFFICIENCY OF THE SYSTEM IS MAINTAINED.
- 15) ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- 16) ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- 17) THE CONTROLLER SHALL SCHEDULE PROGRAM "A" TO A REGULAR RUN-TIME SETTINGS FOR AFTER THE ESTABLISHMENT PERIOD OF THE PLANT MATERIAL. PROGRAM "B" SHALL BE USED DURING THE ESTABLISHMENT PERIOD AND TURNED OFF AFTER THE 30-60 DAYS OF PLANT INSTALLATION.



SUPPLY HEADER ROUGH IN DETAIL

IRR. DESIGN
AN IRRIGATION DESIGN COMPANY
3215 ELLEN DR.
ORLANDO, FLORIDA 32806
PHONE (407) 859-5790
www.irrdesign.com
Bob & Jason McElroy
jason@irrdesign.com

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Owner / Developer:
AutoZone Inc.
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contract Information Contact:
F.W. Dodge Plan Room Tel: (615) 884-1017

Prepared for:
AutoZone Store Development
Store No.: 6348
CITY OF DELRAY BEACH, FL. 33483
DELAIR

ARCHITECT: AGW
DRAFTSMAN: RES
CHECKED BY: AGW
DATE
APRIL 2015
PROTOTYPE SIZE
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