



Planning, Zoning, and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Delray Ford
Project Location: 2501 South Federal Highway
Request: Class V Site Plan, Landscape Plan, and Architectural Elevations.

Board: Site Plan Review and Appearance Board
Meeting Date: March 22, 2017

Board Actions: Approved the Class V Site Plan (2017-034) with conditions on a 5 to 0 vote (Purdo-Enochs/Dawson Absent); approved the Architectural Elevations on a 5 to 0 vote with a condition; approved the Landscape Plan on a 5 to 0 vote with a condition.

Project Description:

The property consists of Lots 12 through 33, Block 22; all of Block 23; Lots 1 through 10 and Lots 57 through 66, Block 35; Lots 12 through 33, Block 36; together with abandoned portions of Avenue “E” and Frederick Boulevard. The area of the property measures 6.28 acres and is zoned AC with a Future Land Use Designation of GC. The property is currently vacant but was previously used as a vehicle sales and repair shop known as Ralph Buick of Delray Beach.

The proposed development is for a full-service automobile dealership which includes one three-story building, with an 83,872 square foot footprint measures 239,994 gross square feet. The building measures 29’-6” in height to the floor of the rooftop-parking garage; decorative parapets measuring four feet in height surrounds the rooftop parking garage intended for inventory parking.

Board comments:

The Board was supportive of the project and had minimal comments.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions:

All required actions were taken.

Next Action:

SPRAB action is final unless appealed by the City Commission.

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

STAFF REPORT

MEETING DATE: March 22, 2017

AGENDA ITEM: Delray Ford (File #2017-034) – Class V Site Plan, Landscape Plan and Architectural Elevations associated with the construction of a 50,662 square foot automobile dealership at 2501 Federal Highway.

Recommendation: Approve

GENERAL DATA:

Owner/Applicant..... Florida MAG Enterprises, Inc.

Agent..... Weiner & Thompson, P.A.

Location..... The subject property is located at northeast of the corner of South Federal Highway and Avenue F.

Property Size..... 6.28 acres

Existing FLUM..... GC (General Commercial)

Existing Zoning..... AC (Automotive Commercial)

Adjacent Zoning..... North: PC (Planned Commercial) & RM (Multiple Family Residential)

East: RM

South: SAD (Special Activities District) & RM

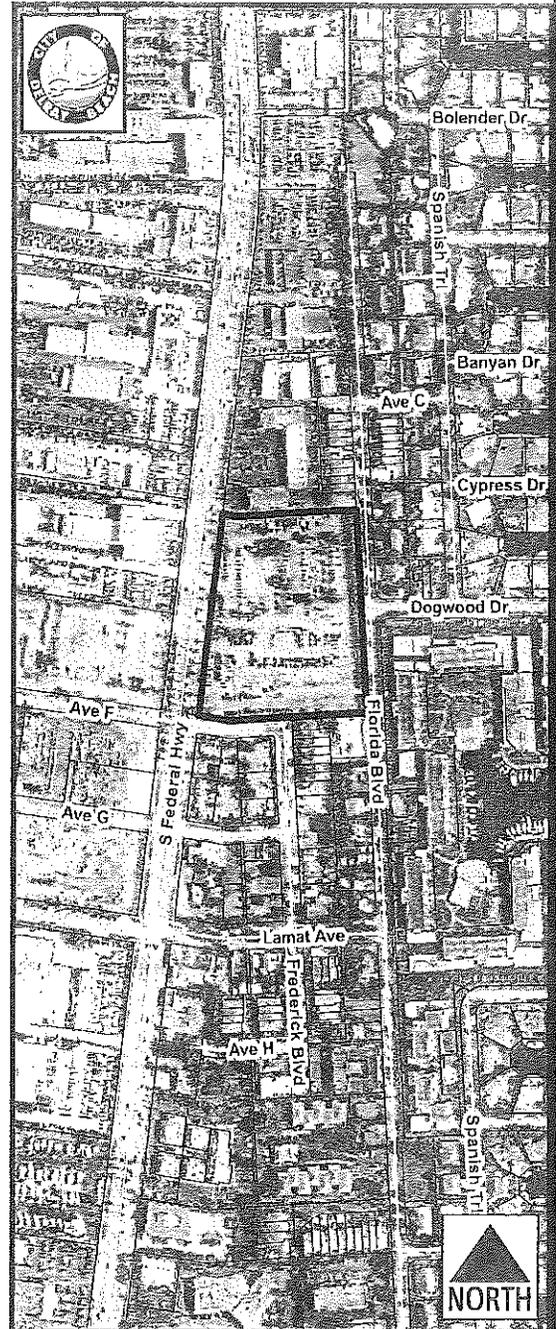
West: AC

Existing Land Use..... Automobile Dealership

Proposed Land Use..... Automobile Dealership

Water..... Available on-site

Sewer..... Available on-site



ITEM BEFORE THE BOARD

The item before the Board is approval of a Class V Site Plan application for a full-service automobile dealership known as Delray Ford located at 2501 South Federal Highway, pursuant to Land Development Regulations (LDR) 2.4.5(F).

The subject property is located to the northeast of the intersection of S. Federal Highway (US-1) and Avenue F, across from Delray Buick GMC.

BACKGROUND

The property consists of Lots 12 through 33, Block 22; all of Block 23; Lots 1 through 10 and Lots 57 through 66, Block 35; Lots 12 through 33, Block 36; together with abandoned portions of Avenue "E" and Frederick Boulevard. The area of the property measures 6.28 acres and is zoned AC with a Future Land Use Designation of GC. The property is currently vacant but was previously used as a vehicle sales and repair shop known as Ralph Buick of Delray Beach.

At its meeting of February 24, 2014, the City Commission approved a temporary use for Delray Kia to store vehicles on the property. The temporary use approval expired on February 24, 2016 and Delray Kia has continued to store vehicles on the property. The property owner has been cited for continuing the storage of the vehicles, which is currently being processed.

PROJECT DESCRIPTION

The proposed development is for a full-service automobile dealership which includes one three-story building, with an 83,872 square foot footprint measures 239,994 gross square feet. The building measures 29'-6" in height to the floor of the rooftop-parking garage; decorative parapets measuring four feet in height surrounds the rooftop parking garage intended for inventory parking. The highest point of the building is a rooftop stairwell, which measures 39'-6" and is less than the maximum permitted height of 48 feet.

The first floor includes the showroom, sales office, service garage, detail garage, carwash, storage areas, and parts department. The second and third floors are dedicated entirely to the parking structure and include inventory parking spaces. The parking garage is accessed by an entrance/exit at the southeast corner of the building. The rear elevation of the parking structure was designed to mimic the sloping roof peaks of neighboring residential development and break up what would have been a flat, monotonous wall.

The applicant proposes 25 percent open space, which precisely meets the district requirement. The building will be surrounded by surface parking, including 335 spaces that serve employees/customers as well as the service shop and display areas. These spaces are in addition to the 628 inventory spaces provided in the parking garage.

An eight-foot high masonry wall separates the rear yard from the Florida Boulevard right-of-way and residential district. The applicant is proposing to match and continue the masonry wall along the southern property line adjacent to the multi-family units, and will submit new drawings including a masonry wall along the northern property line adjacent to the residential parcel. The remaining property lines are buffered by perimeter landscaping.

The development proposal does not include LDR waiver requests.

SITE PLAN ANALYSIS

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

LDR Section 4.3.4(K) Development Standards Matrix

The following table demonstrates the proposal complies with LDR Section 4.3.4(K) and Section 4.4.10 as it pertains to the AC Zoning District:

	Required	Provided
Minimum Lot Size	1.5 acres	6.28 acres
Minimum Lot Width	125'	575'
Minimum Lot Depth	200'	420'
Minimum Lot Frontage	125'	575'
Setbacks:		
Front (W)	15'	78.6'
Side Street (S)	15'	56.6'
Side Interior (N)	0'	133.3'
Rear (E)	10'	134'
Maximum Building Height	48'	29.5'
Open Space	25%	25%

LDR Article 4.4.10 – Automotive District Regulations:

Principal Uses and Structures Permitted: Per LDR Section 4.4.10(B), full service automotive dealerships are a permitted use. Full service dealerships are defined as, "the provision of all services necessary to accommodate the sale and service of new automobiles including franchise sales. At a minimum, all of the following must be accommodated at the dealership site in order to qualify as a full service automobile dealership, franchise auto sales, auto repair, and auto service."

The proposed development meets the definition of a full service automotive dealership. The development includes a showroom, offices, salesroom, parts department, service garage, detail garage, carwash, storage and merchandise area, and an attached parking garage for inventory storage.

Accessory Uses and Structures Permitted: Per LDR Section 4.4.10(C), full service automotive dealerships are permitted to have a repair shop and garage as well as body shops. The proposed development includes these uses or elements of these uses noted above.

Supplemental District Regulations: This section includes supplemental district regulations specific to the AC zoning district.

Outside Display: The applicant proposes to include outdoor display stalls for inventory. This is standard for full-service automobile dealerships and is a condition found throughout the AC corridor. Outdoor display areas are located around the perimeter of the site, including along the US-1 frontage. These display areas are required to be screened by a five foot landscape strip (25 feet along US-1) that includes a three foot hedge or berm and trees planted at 40 feet on center. Silver Buttonwoods are proposed

as the perimeter shrub, to be planted at two feet in height. Silver Buttonwoods will eventually grow up to 20 feet and the landscape reviewer has found this planting plan in compliance.

Outdoor display areas adjacent to residential zoning districts require separation by a six-foot high masonry wall with decorative finished surfaces. The applicant proposes to keep the existing masonry wall along the rear property line, and no physical alterations are proposed. The applicant will match this masonry wall along the southern property line, adjacent to the residential properties. The applicant has been notified that a condition of approval shall be placed on the application until drawings are submitted that include a masonry wall along the northern property line, adjacent to the residential parcel. The applicant has noted they intend to make this adjustment. A chain link fence, mounted on a masonry foundation and hedge currently separates the parcels.

Bullpen Area: Bullpen areas are defined as parking areas that allow vehicles to be stored on an approved parking surface without reference to parking stalls, stall striping, or wheel stops. Per LDR Section 4.4.10(G)(2), bullpen parking may be used for employee parking areas. The proposed development includes a bullpen area at the rear of the site, which accommodates employee parking at the rate of 25 tandem spaces and 50 vehicles. Additional bullpen parking accommodates 106 inventory vehicles as allowed by the Code.

Customer and Employee Parking Areas: The proposed parking scheme meets the parking standards. Refer to "Off-Street Parking" within this report for further details.

Locational Restrictions: Per LDR Section 4.4.10(G)(4), service bay doors shall not be oriented toward any adjacent residentially zoning property or toward adjacent public streets unless it is demonstrated to the Board that it is not feasible to comply with this requirement.

The applicant proposes bay doors along the south and north façades both of which face RM zoned properties. The intent of the subject requirement is to eliminate the exposure of service type uses which can be noisy and unsightly to adjacent residential development; however, the proposed uses behind the overhead doors are not auto service uses. The applicant provided a justification statement satisfying the requirement above and notes the doors will be "speed-doors" and will remain closed unless cars are entering and/or exiting. Therefore, the provision of overhead doors on these facades is supportable.

Use and Operating Restrictions: Per LDR Section 4.4.10(G)(5), the applicant has acknowledged the requirements that regulate elements of outdoor display areas including signage. As a condition of approval, the applicant shall shift or relocate the dedicated off-loading area so it is further than 100-feet from residential parcels. The applicant has indicated the loading area will be shifted directly north, adjacent to the large landscape island provided. This adjustment will bring the loading space into compliance with the requirement. This revision is listed as a recommended condition of approval.

Lighting Restrictions: Per LDR Section 4.4.10(G)(6), exterior lighting fixtures shall not exceed 25 feet in height and shall be directed away from adjacent properties. These fixtures shall be sharp cutoff luminaires, shall confine the light to the site only and shall

not exceed the established measurements when calculated ten feet within the property line.

The proposed photometric plan meets these requirements. Proposed pole mounted lights are 25 feet and the maximum foot candle (FC) measurement is 18.9 FC. The maximum FC ranges are 40-100 FC depending on location within the site.

LDR Article 4.6 - Supplemental District Regulations:

Special District Boundary Treatment: Per LDR Section 4.6.4(A), commercially zoned parcels adjacent to residential parcels must comply with the following:

- Where the rear or the side of a commercially zoned property directly abuts a residentially zoned property without any division or separation between them, the commercially zoned property shall provide a ten foot building setback from the property line and provide either a solid finished masonry wall six feet in height or a continuous hedge at least 4.5 feet at the time of installation.

The subject site shares a property line with a residentially zoned parcel to the south (Residential Multiple Family, Medium Density), toward the southeast corner of the site. The applicant has indicated it will provide a masonry wall that matches the existing wall along this shared property line.

As a condition of approval, noted above, the applicant shall replace the chain link fence and hedge along the northern property line, adjacent to the residentially zoned property. The fence shall be replaced with a masonry wall to satisfy both this requirement and the screening requirements for outdoor display areas.

Fences, Walls, and Hedges: An existing 8-foot masonry wall is located at the rear of the site along the eastern property line, adjacent to the Florida Blvd. right-of-way. The existing wall is setback in excess of 10-feet from the rear property line and will be partially screened by shrubs and trees. The applicant has noted the wall will remain in its current condition and physical alterations are not proposed. A matching 6-foot high masonry wall will be installed along the southern property line, where it abuts the residential parcels. As a condition of approval, the applicant shall also match and extend the masonry wall along the northern property line where it abuts a residential parcel. The proposed masonry walls comply with the requirements of this section.

Commercial and Industrial Uses to Operate Within a Building: Per LDR Section 4.6.6, all commercial uses shall operate within a completely enclosed building rather than outside, with the exception of the following allowable usage areas: off-street parking, refuse and service area, signage, loading and unloading, outside storage permitted by zoning district, and retail displays. All activities except for those permitted by the Code will be conducted inside the proposed structure.

This section also requires dumpsters to be enclosed on three sides and have solid gates on the fourth side that screen the dumpster from view. The applicant has provided a drawing that demonstrates compliance with this requirement and includes a masonry wall enclosure with corrugated metal door panels.

Signs: Preliminary information regarding signage was included on the submitted elevation drawings. However, signage shall be formally reviewed under a separate submission and is not included in this request for approval.

Lighting:

*This section is in addition to the AC district lighting standards.

Per LDR Section 4.6.8(A)(3), parking lot and wall-mounted luminaries are limited to 25-feet. Luminaries located on the top floor of a parking structure are limited to 20-feet if greater than 20-feet from the structure edge. The applicant proposes 25 foot-pole mounted lights within the parking lots and 20-feet on the parking garage rooftop. Wall packs are mounted at 20-feet around the building.

All proposed luminaries are cut-off style, as required by the code and include LED bulbs. Refer to the Automotive Commercial district regulations (above) for further lighting standards. The submitted photometric plan complies with these standards.

Off-Street Parking: Pursuant to LDR Section 4.6.9(C)(6)(c), vehicular sales and rental uses are required to provide 4 spaces per 1,000 SF of total building gross floor area except indoor display areas. Required parking shall be designated for employee, customer, and/or service use at the standard of 1.5 spaces per service bay and 2 spaces per 1,000 SF of gross floor area (less indoor display area), which equates to 152 parking spaces. Any remaining spaces may be used for display purposes. The proposed development has 50,662 square feet of gross floor area not including the showroom. Thus, the development is required to provide 203 parking spaces for employees, customers, and/or service use. The proposed development complies with this parking requirement since 335 on-site surface spaces are proposed. A total of 173 standard spaces are provided in addition to 4 handicap spaces, and 158 compact spaces. A bike rack is also included and provides room for 3 bicycles adjacent to the US-1 sidewalk. All parking within the garage is reserved for inventory parking.

Of the 335 spaces surface spaces provided a total of 125 parking spaces are proposed for customer, employee, and/or service use as follows: 16 spaces are dedicated for customer parking toward the primary building entrance; 25 tandem bullpen-style spaces are reserved in the rear yard for employee parking (50 total cars accommodated); and, 84 spaces are dedicated for serviced vehicles. The remaining 185 spaces are noted as reserved for display and inventory (including 48 bullpen-style spaces in the rear yard). However, the site is required to provide 152 spaces for customers, employees, and/or service use ($34 \times 1.5 = 51$, $50,662 / 2,000 \times 2 = 101 + 51 = 152$). Thus, a condition of approval is attached that a portion of the 185 surface spaces (27 spaces) be reallocated for customer, employee, and/or service use to equal a minimum total of 152 spaces.

The parking space detail drawing demonstrates compliance with the required size for standard spaces, compact spaces, and ADA spaces. All public spaces are of standard size and are provided with continuous curbing or wheel stops that comply with the design standards. Service spaces in the rear yard do not include wheel stops, since they are not utilized by the public. Garage spaces, used for inventory storage, also do not require wheel stops. Wheel stops are generally required for public parking areas to prevent excessive vehicular overhang and damage to vehicles and/or landscape areas. Since stalls without wheel stops are only available to vehicles driven by private employees, wheel stops are not required and the company would assume any risk of damage.

The subject site is accessed via two existing two-way driveways, one each on US-1 and on Avenue F. The driveways measure 27.6 feet and 30 feet in width respectively, and comply with

the dimensional requirements for this type of accessway. Based on the provision of two driveways, the applicant is permitted to reduce stacking distances to 20 feet.

Standard drive aisles are required to be between 24 and 26 feet wide. The proposed drive aisles comply with the design standard and are 24 feet wide except where they are widened to accommodate vehicular/trailer maneuvering, as permitted by the Code. Aisles do not exceed 31 feet.

Off Street Loading: The applicant has provided one off-street loading space within the rear yard. The applicant has indicated the currently designated space will be shifted north, adjacent to the provided landscape island to comply with the 100-foot setback requirement from residential parcels. This relocation shall be a condition of approval until new plans are submitted that comply with this requirement. Furthermore, the applicant shall submit a "loading demand statement" as permitted by Sec. 4.6.10.C to request a reduction from the three (3) required berths to one (1) berth. The provision of this demand statement is listed as recommended condition of approval to be provided prior to site plan certification.

Sight Visibility: Per Sec. 4.6.14, the application demonstrates compliance with both the City's sight triangle requirements (10 feet for a driveway intersecting a street), and with the FDOT requirements shown on the site plan.

LANDSCAPE ANALYSIS

The Senior Landscape planner has reviewed the proposed landscape plan and found that it substantially complies with LDR Section 4.6.16. The proposed landscaping consists of Pigeon Palms, Pitch Apple trees, Silver Buttonwood trees, Seagrape trees, Slash Pine trees, Live Oaks, Tibouchina trees, Bismarck Palms, Florida Royal Palms, Sabal Palms, Fishtail Palms, Cocoplum, Italian Cypress, Golden Dewdrop, Green Island Ficus, Firebush, Dwarf Yaupon Holly, Muhly Grass, Simpson Stopper, Pringles Dwarf Podocarpus. Based upon the above, the proposed landscape plan will comply with LDR Section 4.6.16, subject to the following:

Landscape Islands: Per LDR Section 4.6.16(H)(3)(i), landscape islands which contain a minimum of 135 square feet of planting area, with a minimum dimension of 9 feet, exclusive of the required curb, shall be placed at intervals of no less than one landscaped island for every 13 standard parking spaces. One shade tree shall be planted in every island with a minimum of 75 square feet of shrubs and groundcovers. Tree specifications shall adhere to those listed in Section 4.6.16(E)(5) and 4.6.16(E)(6). Where approval for the use of compact parking has been approved, islands may be placed at intervals of no less than one 1 island for every 15 compact parking spaces. This landscape island is required for the display parking spaces along Federal Highway, where 22 and 15 parking spaces are provided in a row without the required landscape island. A condition of approval is attached that the plans be revised to provide the required interval of landscape islands and landscaping.

ARCHITECTURAL ELEVATIONS

Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered, by the Site Plan Review and Appearance Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed building is modern in appearance with primarily straight lines and a stylistically appropriate level of embellishment. This style is consistent with the use and surrounding development of the same nature. A neutral color palette is used with the exception of the rear façade, which strategically incorporates historically residential colors (pale blue, pink, yellow, and green) to relate to the surrounding neighborhood. Glass and ribbed metal panels are used as accents to the primarily masonry structure.

The roof height is varied to avoid a continuous roofline. The flat roof includes parapets to hide the rooftop inventory parking and mechanical equipment. Portions of the parapet are decorative with additional detail, and the rear façade incorporates sloped parapets that mimic residential rooftops. The break in flat lines is intended to reflect the building's context and is considered a favorable design addition.

Overall, this structure is harmonious with surrounding development and demonstrates contextual awareness. Based on the above, a positive finding can be made with respect to LDR Section 4.6.18(E).

REQUIRED FINDINGS

Pursuant to LDR Section 3.1.1, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

LDR Section 3.1.1(A) - Future Land Use Map: The subject property is designated GC on the Future Land Use Map and is zoned AC. Per the Future Land Use Element, the AC zoning designation is consistent with the GC Future Land Use Map designation. Pursuant to LDR Section 4.4.10.B, full service automobile dealerships are a permitted use within the AC zoning district. Based upon the above, it is appropriate to make a positive finding with respect to consistency with the Future Land Use Map designation.

LDR Section 3.1.1(B) - Concurrency: As described in Appendix "A", a positive finding of concurrency can be made as it relates to water and sewer, streets and traffic, drainage, parks and recreation, schools, and solid waste.

LDR Section 3.1.1(C) - Consistency (Standards for Site Plan Actions): As described in Appendix "B", a positive finding of consistency can be made as it relates to Standards for Site Plan Actions.

LDR Section 3.1.1(D) - Compliance with the Land Development Regulations: As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDR can be made, when all outstanding items attached as conditions of approval are addressed.

Comprehensive Plan Policies: A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following is noted:

Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The property is currently being used as temporary storage facility for the Delray Kia automotive dealership. The redevelopment of this parcel is consistent with the surrounding conditions of the US-1 corridor and is consistent with both the parcel's future land use and zoning designation. The redevelopment of this site will provide development infill on a previously dilapidating site.

Future Land Use Element Policy A-2.4 - Automobile uses are a significant land use within the City and as such they have presented unique concerns. In order to properly control these uses and guide them to locations which best suit the community's future development, the following shall apply:

- 1) Auto related uses other than gasoline stations, wash establishments, and auto parts sales, shall not be permitted in the area encompassed by the CBD zone district.
- 2) Automobile dealerships shall not locate and/or expand in the following areas:
 - a. Within the CBD zone district;
 - b. West side of Southbound Federal Highway between George Bush Boulevard and S.E. 10th Street;
 - c. East side of Federal Highway, between George Bush Boulevard and the north property line of the Delray Swap Shop/Flea Market Property;
 - d. On properties fronting George Bush Boulevard, east of Federal Highway.
- 3) Rezoning to AC (Automotive Commercial) to accommodate auto dealerships shall not be permitted west of I-95.
- 4) Automobile dealerships shall be directed to the following areas:
 - a. North of George Bush Boulevard, between Federal and Dixie Highways;
 - b. East side of Federal Highway north of the north property line of the Delray Swap Shop/Flea Market;
 - c. South of Linton Boulevard, between Federal and Dixie Highways;
 - d. On the north side of Linton Boulevard, between I-95 and S.W. 10th Avenue, and along Wallace Drive.
- 5) Auto related uses which involve the servicing and repair of vehicles, other than as part of a full service dealership, shall be directed to industrial/commerce areas.

The subject parcel complies with the standards listed above. The development includes a full-service automobile dealership, located approximate to the desired area of concentration. Furthermore, the zoning district designation is existing and the applicant is not requesting a rezoning. The site was previously used for a similar use and, therefore, the development is a continuum of use.

LDR Section 2.4.5(F) (5) - Compatibility (Site Plan Findings): The approving body must make a finding that development of the property pursuant to the site plan will be compatible and

harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following zoning designations and uses abut the subject property:

	Zoning Designation:	Use:
North	PC and RM	Commercial and Multi-Family Residential
South	SAD and RM	Commercial and Multi-Family Residential
East	RM	Multi-Family Residential
West	AC	Automobile Dealership

As discussed in the analysis of Future Land Use Element Objective A-1, positive findings can be made with respect to the compatibility of the proposed development with the adjacent properties. The development proposal will be compatible and harmonious with the adjacent properties and a positive finding can be made with regard to LDR Section 2.4.5(F)(5).

REVIEW BY OTHERS

The subject property is not located in an area requiring review by an advisory Board or Agency.

Courtesy Notices: A special courtesy notice was provided to the following homeowners or civic associations:

- Captain's Walk
- Eastview Village
- Tropic Bay
- Tropic Harbor
- Tropic Isle Civic Association
- Tropic Palms
- Pelican Harbor
- Pelican Pointe

Letters of objection, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

ASSESSMENT AND CONCLUSION

The development proposal is for the construction of one primary structure to be used as a full-service automobile dealership. This use is consistent with the Future Land Use designation and uses permitted within the zoning district.

The project is consistent with the policies of the Comprehensive Plan and Land Development Regulations provided the attached conditions of approval are addressed.

ALTERNATIVE ACTIONS

- A. Postpone with direction.
- B. Move approval of the Class V Site Plan, Landscape Plan, and Architectural Elevations for **Delray Ford** located at **2501 South Federal Highway**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is

consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(1)(a) and Chapter 3 of the Land Development Regulations, subject to the attached conditions of approval.

- C. Move denial Class V Site Plan, Landscape Plan, and Architectural Elevations for Delray Ford located at 2501 South Federal Highway, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(F)(1)(a) and Chapter 3 of the Land Development Regulations.

STAFF RECOMMENDATION

By Separate Motions:

Site Plan:

Approve the Class V Site Plan for Delray Ford located at 2501 South Federal Highway, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(1)(a) and Chapter 3 of the Land Development Regulations, subject to the following conditions of approval:

1. That a six foot masonry wall be provided along the northern property line, adjacent to the residential parcel;
2. That the dedicated off-loading area be relocated, in compliance with the residential setback;
3. That a loading demand study be submitted which justifies the reduced number of off-street loading areas;
4. That the overhead doors remain closed unless a vehicle is entering or exiting the structure;
5. That no outdoor loud speakers be permitted as part of this site plan approval, based on the proximity to residential developments;
6. That a portion of the 185 surface spaces (27 spaces) be reallocated for customer, employee, and/or service use to equal a minimum total of 152 spaces; and,
7. That a finding of concurrency be submitted from Palm Beach County Traffic Division prior to site plan certification.

Landscape Plan:

Approve the Landscape Plan for Delray Ford located at 2501 South Federal Highway, based on positive findings with respect to Section 4.6.16 of the Land Development Regulations, subject to the condition that the plans be revised to provide the required interval of landscape islands and landscaping along Federal Highway.

Architectural Elevations:

Approve the Architectural Elevations for Delray Ford located at 2501 South Federal Highway, based on positive findings with respect to LDR Section 4.6.18(E).

Attachments:

- Appendix A
- Appendix B
- Site Plan Package including Landscape Plan and Building Elevations

APPENDIX "A"
CONCURRENCY FINDINGS

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: Water and sewer service is available via service lateral connections to mains located within the Federal Highway right-of-way. The proposed building addition will have an insignificant impact on these levels of service.

The Comprehensive Plan states that adequate water and sewer treatment capacity exists to meet the adopted LOS at the City's build-out population based on the current FLUM. The proposal will have an insignificant impact on all public services. Thus, a positive finding with respect to this level of service standard can be made.

Streets and Traffic: The trip generation for the proposed development will result in 2,303 new daily trips including 137 peak AM trips and 187 peak PM trips. A finding of concurrency has not been received to date. While it is not anticipated that there will be an issue in receiving a finding of concurrency, a condition of approval is attached that it be submitted.

Parks and Recreation Facilities: No impact due to the non-residential use of property.

Solid Waste: The proposed 50,662 automobile dealership will generate 233 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2047.

Drainage: Drainage is to be accommodated sheet flow to catch basins and exfiltration trenches. There should be no impact on drainage as it relates to this level of service standard.

Schools: School concurrency findings do not apply for non-residential uses. Thus, the proposed development will not have an impact with respect to this level of service standard.

APPENDIX "B"
STANDARDS FOR SITE PLAN ACTIONS

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.

Not applicable	<input type="checkbox"/>	
Meets intent of standard	<input checked="" type="checkbox"/>	
Does not meet intent	<input type="checkbox"/>	

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.

Not applicable	<input type="checkbox"/>	
Meets intent of standard	<input checked="" type="checkbox"/>	
Does not meet intent	<input type="checkbox"/>	

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.

Not applicable	<input checked="" type="checkbox"/>	
Meets intent of standard	<input type="checkbox"/>	
Does not meet intent	<input type="checkbox"/>	

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.

Not applicable	<input checked="" type="checkbox"/>	
Meets intent of standard	<input type="checkbox"/>	
Does not meet intent	<input type="checkbox"/>	

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.

Not applicable	<input checked="" type="checkbox"/>	
Meets intent of standard	<input type="checkbox"/>	
Does not meet intent	<input type="checkbox"/>	

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.

Not applicable	<input type="checkbox"/>	
Meets intent of standard	<input checked="" type="checkbox"/>	
Does not meet intent	<input type="checkbox"/>	

G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.

Not applicable	<input checked="" type="checkbox"/>	
Meets intent of standard		
Does not meet intent		

H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

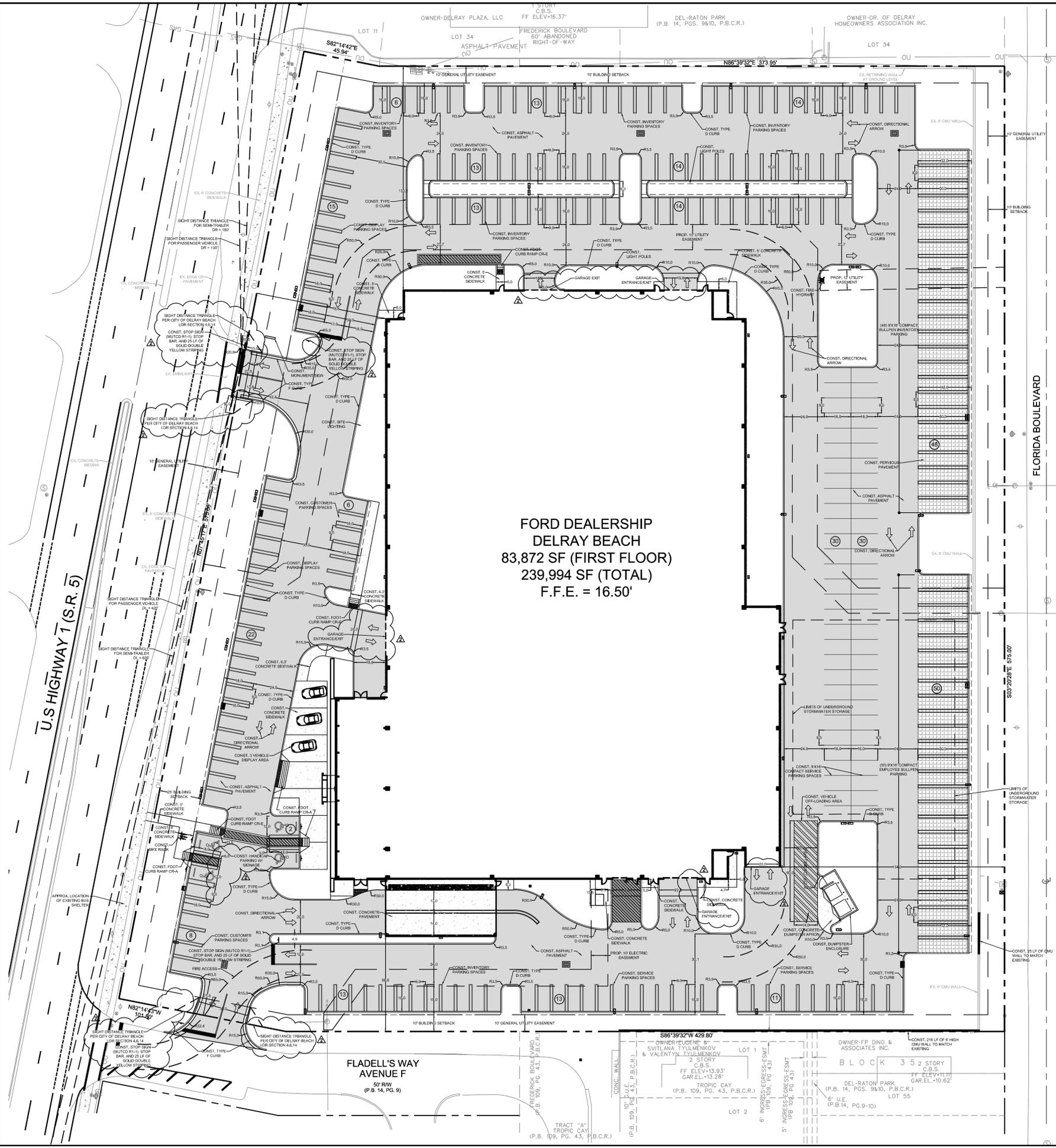
Not applicable		
Meets intent of standard	<input checked="" type="checkbox"/>	
Does not meet intent		

I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

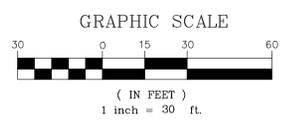
Not applicable		
Meets intent of standard	<input checked="" type="checkbox"/>	
Does not meet intent		

J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

Not applicable	<input checked="" type="checkbox"/>	
Meets intent of standard		
Does not meet intent		



**FORD DEALERSHIP
DELRAY BEACH**
83,872 SF (FIRST FLOOR)
239,994 SF (TOTAL)
F.F.E. = 16.50'



EXISTING LEGEND

- PROPERTY LINE
- CONCRETE SIDEWALK
- EDGE OF PAVEMENT
- EDGE OF SIDEWALK
- UTILITY EASEMENT
- SIGN / CROSSWALK SIGNAL
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- LIGHT POLE
- UTILITY POLE
- OVERHEAD ELECTRIC SERVICE
- ELECTRIC HAND HOLE
- ELECTRIC BOX
- CHAIN LINK FENCE
- ADJACENT ROW

PROPOSED LEGEND

- TYPE "F" CURB & GUTTER
- TYPE "D" CURB
- TYPE "C" INLET
- TYPE "S" CURB INLET
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PERVIOUS PAVEMENT
- PARKING STRIPING
- LIGHT POLE
- BUILDING SETBACK
- FIRE HYDRANT
- PARKING COUNT

SITE CALCULATIONS

AREA	SF	ACRES	% OF SITE	REQUIRED
TOTAL SITE AREA	273,553 SF	(6.28 A.C.)	(100%)	25,000 SF (MIN.)
GROUND FLOOR AREA	83,872 SF	(1.93 A.C.)	(31%)	N/A
TOTAL FLOOR AREA	239,994 SF	(5.51 A.C.)	(88%)	N/A
OPEN SPACE	69,048 SF	(1.58 A.C.)	(25%)	25% (MIN.)
PARKING/PAVEMENT AREA	120,633 SF	(2.77 A.C.)	(44%)	N/A

LOT INFORMATION

	PROVIDED	REQUIRED
FRONTAGE	575'	125'
DIMENSIONS	575' X 420'	125' X 200'
DEPTH	420' (NORTH) / 332' (SOUTH) E	200'

PARKING CALCULATIONS

USE	AREA	RATIO	REQUIRED SPACES
BUILDING AREA	15,858 SF	4 / 1000 SF	63
SERVICE AREA	34 BAYS	1.5 / BAY	51
EMPLOYEE/CUSTOMER	27,830 SF	2 / 1000 SF	56
BUSINESS OFFICE	6,974 SF	4 / 1000 SF	28
TOTAL PARKING REQUIRED			198
REGULAR SPACES PROVIDED			173
HANDICAP SPACES PROVIDED			4
COMPACT SPACES PROVIDED			158
TOTAL SURFACE SPACES PROVIDED			335
BICYCLE SPACES PROVIDED			3

BUILDING SETBACKS

SETBACKS	REQUIRED	PROVIDED
FRONT YARD (WEST)	25'	78.6'
SIDE YARD (NORTH)	10'	133.3'
SIDE YARD (SOUTH)	10'	56.6'
REAR YARD (EAST)	10'	134.0'
BUILDING HEIGHT	40' ABOVE GRADE (MAX.)	39.5'

NOTE

- ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2.

Bowman

CONSULTING

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SITE PLAN
DELRAY BEACH FORD
2501 SOUTH FEDERAL HIGHWAY
DELRAY BEACH, FLORIDA 33483

PALM BEACH COUNTY
CITY OF DELRAY BEACH

PROJECT NO		2017-034-SPF-SPR-CL5	
WILLIAM PFEFFER, P.E. LICENSE NO. 73058 2/20/2017			
PLAN STATUS			
01-17-17	▲	BUILDING COMMENTS	
DATE	DESCRIPTION		
JB	RM	BP	
DESIGN	DRAWN	CHKD	
SCALE	H: V:		
JOB No. 010463-01-001			
DATE : 2/20/2017			
FILE No. 010463-01-001			

SHEET 7 OF 17




NORTH
 PLANNING & ZONING
 DEPARTMENT

Delray Ford LOCATION MAP

 Subject Property