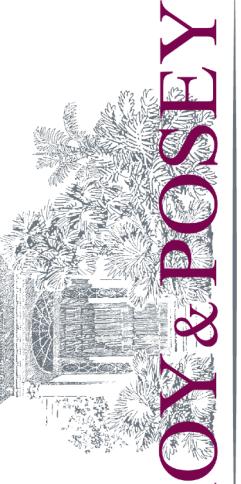
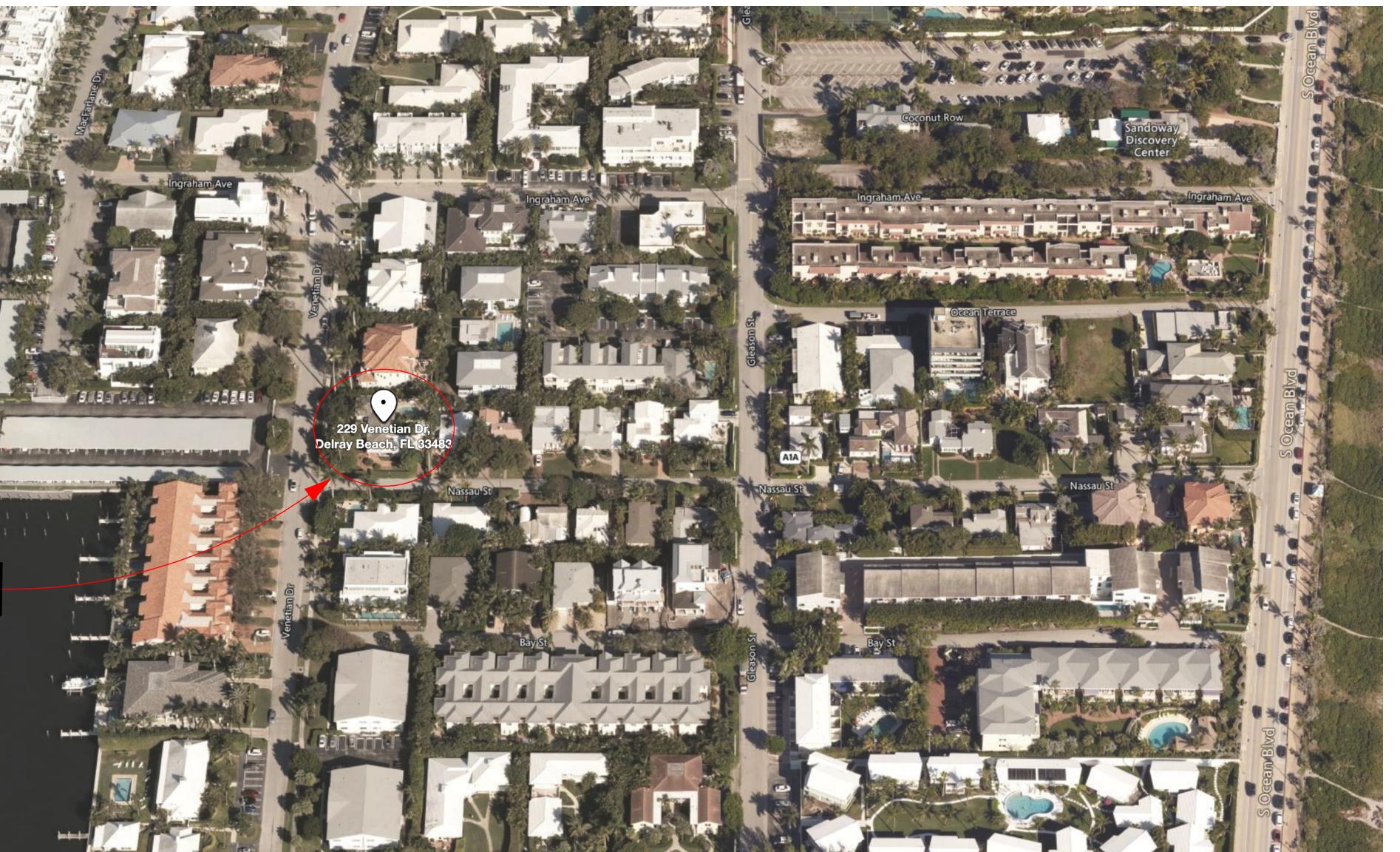


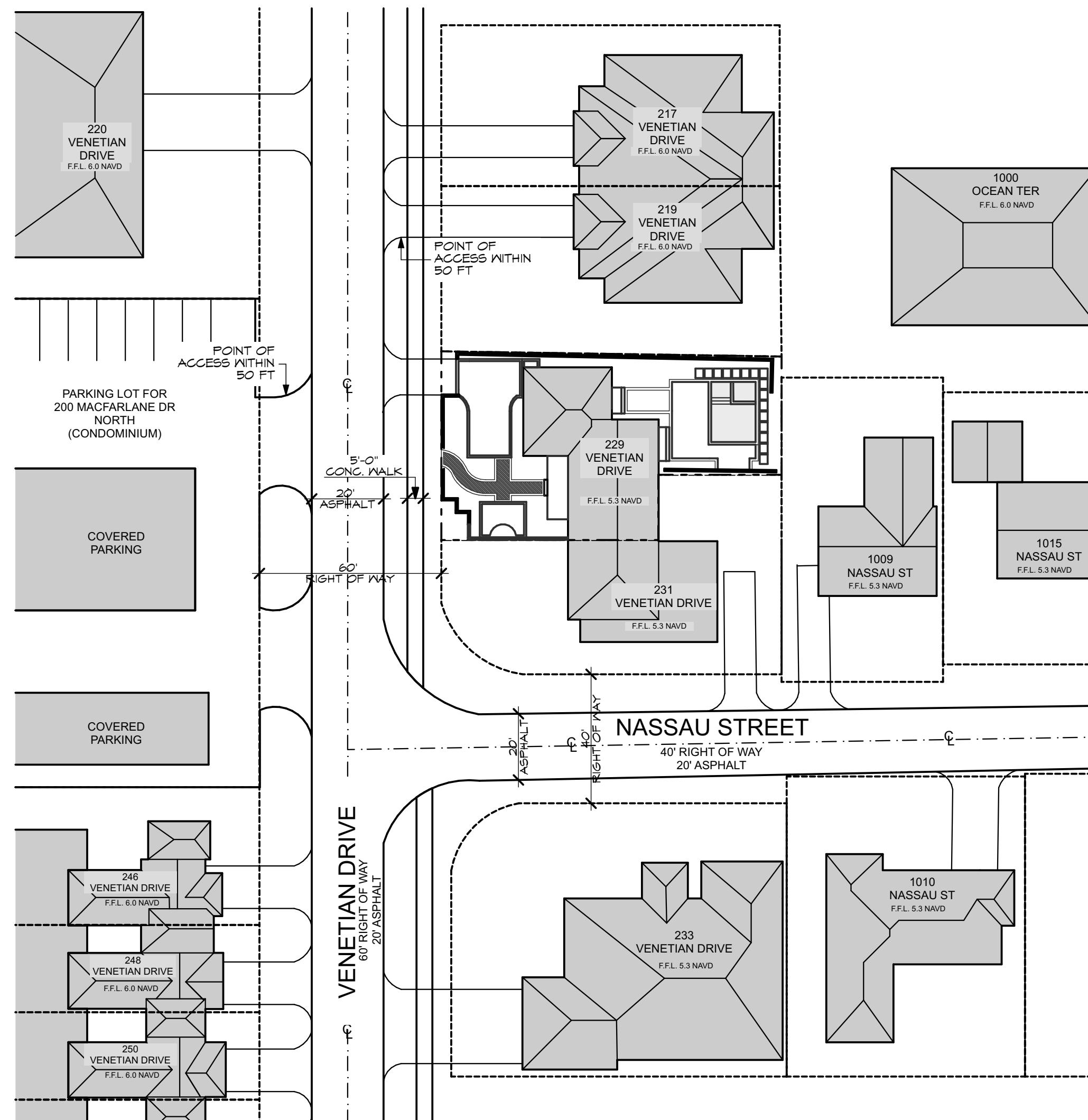
229 VENETIAN DR.
DELRAY BEACH, FL 33483



ARCHITECTURE LANDSCAPE INTERIORS

WWW.ROYPOSEY.COM

GENERAL NOTES				APPLICABLE CODES	PROJECT DATA	PROJECT TEAM	SHEET INDEX
ARCHITECTURAL GENERAL NOTES: <p>1) THE INTENT OF THE DRAWINGS IS TO INCLUDE ALL ITEMS FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, AND OMISSIONS IN THE DESCRIPTION DOES NOT RELIEVE THE G.C. OF DELIVERING A COMPLETED PROJECT IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICE.</p> <p>2) THE G.C. SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL REPORT TO THE DESIGNER ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER. THE G.C. SHALL DO NO WORK WITHOUT DRAWINGS, SPECIFICATIONS OR MODIFICATIONS.</p> <p>3) ANY ITEM NECESSARY FOR THE PROPER COMPLETION OF THE WORK UNDER THIS CONTRACT WHICH IS NOT SPECIFICALLY COVERED IN THE DRAWINGS AND SPECIFICATIONS, SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE TO THE TRADE.</p> <p>4) THE G.C. SHALL MAINTAIN A COMPLETE SET OF UP-TO-DATE DRAWINGS, INCLUDING SHOP DRAWINGS, ON THE JOB SITE AT ALL TIMES.</p> <p>5) WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.</p> <p>6) WHERE TWO METALS ADJOIN OR ARE AFFIXED TO EACH OTHER, THE G.C. SHALL PROVIDE THE NECESSARY INSULATING MATERIAL SO THAT NO VIBRATION OR NOISE IS TRANSMITTED BETWEEN THEM.</p> <p>7) THE SPACE AROUND PIPES, DUCTS, ETC. AND PENETRATING RATED WALLS SHALL NOT EXCEED 1" AND SHALL BE PACKED SOLID WITH MINERAL WOOL, OR EQUAL, AND TO BE CLOSED OFF BY CLOSE FITTING METAL ESCUTCHEONS ON BOTH SIDES AS REQUIRED BY LOCAL CODE.</p> <p>8) ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH LOCAL CODES AND REQUIREMENTS OF ANY AGENCIES HAVING JURISDICTION.</p> <p>9) THE G.C. SHALL BE RESPONSIBLE FOR PATCHING, REFINISHING, OR OTHER REPAIR WORK WHICH HAS BEEN DAMAGED DURING CONSTRUCTION.</p> <p>10) THE G.C. SHALL REVIEW ALL SPECIFIED PRODUCTS AND BE RESPONSIBLE FOR DETERMINING AVAILABILITY. NO SUBSTITUTIONS OR ALLOWANCES WILL BE MADE FOR FAILURE TO ORDER ITEMS TO COORDINATE WITH THE PROJECT SCHEDULE. ITEMS WHICH REQUIRE A LEAD TIME INCOMPATIBLE WITH THE PROJECT SCHEDULE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IN ORDER THAT PROPER ADJUSTMENTS CAN BE MADE.</p> <p>11) THE G.C. IS TO PROVIDE EVERYTHING NECESSARY FOR THE COMPLETION OF THE WORK AS SHOWN IN ALL DRAWINGS WITH THE EXCEPTION OF THOSE ITEMS "BY OTHERS" OR "N.I.C.". THE G.C. SHALL COORDINATE HIS WORK WITH THE VARIOUS "BY OTHERS" OR "N.I.C." CONTRACTORS.</p> <p>12) THE G.C. SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.</p> <p>13) THE G.C. SHALL BE RESPONSIBLE AND PAY FOR CONTROLLED INSPECTION OF MATERIALS AND CONSTRUCTION METHODS IN ACCORDANCE WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF THE BUILDING DEPARTMENT AND OTHERS AUTHORITIES HAVING JURISDICTION.</p> <p>THE JOB SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATION OF WASTE MATERIALS DURING THE ENTIRE CONSTRUCTION PERIOD.</p>	<p>ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE STATE OF FLORIDA AND LOCAL JURISDICTION.</p> <p>2020 FLORIDA BUILDING CODE 7TH EDITION</p>	<p>JURISDICTION: CITY OF DELRAY BEACH ZONING: RM - RESIDENTIAL MULTI-FAMILY HISTORIC DISTRICT: NASSAU PARK HISTORIC DISTRICT SITE AREA: .1266 ACRES (5,514.70 SF) BLDG USE: RESIDENTIAL DUPLEX OCC. GROUP: RESIDENTIAL CONST. TYPE: VB BLDG. CODE: FBC 2020 7TH EDITION FIRE SPRINKLERS: NON-SPRINKLERED</p>	<p>ARCHITECT: ROY & POSEY 2417 SOUTH DIXIE HIGHWAY WEST PALM BEACH, FL 33401 OFFICE PHONE: (561) 659-5683 OFFICE FAX: (561) 282-0838 CONTACT: HILLARY MCCLAIN</p>	<p>HISTORIC BOARD SET</p> <p>A.01 GENERAL INFORMATION A.02 SITE PLAN / SITE DATA TABLE A.03 SURVEY A.04 DEMOLITION PLANS A.05 FIRST FLOOR PLAN A.06 EXISTING AND PROPOSED FLOOR PLANS A.07 STREETSCAPE A.08 COLOR RENDERINGS A.09 WEST BUILDING ELEVATIONS A.10 EAST BUILDING ELEVATIONS A.11 NORTH BUILDING ELEVATIONS / SECTION DIAGRAM A.12 ROOF PLAN / ARCHITECTURAL DETAILS A.13 WINDOW AND DOOR SCHEDULES AND DETAILS</p>			
	<p>SCOPE OF WORK</p> <p>INTERIOR RENOVATION OF EXISTING DUPLEX. REMOVE AND REPLACE FINISHES AND FIXTURES THROUGHOUT. NEW MASTER SUITE IN PREVIOUS GARAGE LOCATION.</p> <p>EXTERIOR SCOPE OF WORK TO INCLUDE THE REPLACEMENT OF NON-ORIGINAL WINDOWS AND DOORS FOR NEW IMPACT RATED WINDOWS AND DOORS. REMOVE GARAGE DOOR AND INFILL. NEW WINDOWS AND DOORS IN MASTER SUITE. RELOCATE SITE WALL TO SOUTH PROPERTY LINE, REFER TO SITE PLAN.</p> <p>NEW TRELLIS STRUCTURE AT MAIN ENTRY. NEW HARDSCAPE AND POOL. NEW POOL TO BE SUBMITTED UNDER A SEPARATE PERMIT.</p>	<p>THIS PROPERTY IS LOCATED IN THE NASSAU PARK HISTORIC DISTRICT.</p> <p>CERTIFICATE OF APPROPRIATENESS: COA #2023-006</p> <p>SUBMITTED TO THE CITY OF DELRAY BEACH ON DECEMBER 2, 2022</p>					
<p>ABBREVIATIONS</p>		<p>VICINITY MAP</p>					
<p>A ABV. - Above A.B. - Anchor Bolt A/C - Air Conditioner A.D. - Access Door ADD. - Addition ADJ. - Adjust A.F.F. - Above Finished Floor A.F.G. - Above Finished Grade A.G. - Above Grade ALT. - Alternate APP'D. - Approved ARCH. - Architect, Architectural ASPH. - Asphalt</p> <p>B B.C. - Bookcase BD - Board B.L. - Building Line BLDG. - Building BLK. - Block BM - Beam B.N. - Boundary nailing B.O. - Bottom of B.O.F. - Bottom of footing B.O.W. - Bottom of wall BRG. - Bearing B.U. - Built up BTM. - Bottom</p> <p>C CSMNT. - Casing CABT. - Cabinet C.B. - Catch Basin C.D. - Construction document CEM. - Cement C.F.M. - Cubic Feet per Minute C.L. - Center Line CH. - Channel C.I. - Cast Iron C.I.P. - Cast in Place CL. - Closet CLG. - Ceiling C.O. - Clean Out C.O. - Cased Opening COL. - Column CONT. - Continuous CONTR. - Contractor CONC. - Concrete C.T. - Ceramic Tile</p> <p>D d - Penny D.S. - Down spout D/W - Dishwasher DBL. - Double DEMO. - Demolition DIA. - Diameter DIM. - Dimension D.L. - Dead Load DN. - Down DR. - Door</p> <p>E EA. - Each E.F. - Exhaust fan E.J. - Expansion joint E.N. - End nailing ELEV. - Elevation ELECT. - Electric, electrical EQ. - Equal EQUIP. - Equipment EST. - Estimate E.W. - Each way EXH. - Exhaust EXIST. - Existing EXT. - Exterior</p> <p>F F.A. - Fire alarm F.C.O. - Floor clean out F.D. - Floor drain F.E. - Fire extinguisher F.N. - Field nailing FAB. - Fabricate FDN. - Foundation FIN. - Finish J-Box - Junction box FLR. - Floor FLG. - Flooring FLUOR. - Fluorescent</p> <p>G GA. - Gauge GALV. - Galvanized GAR. - Garage G.C. - General Contractor G.F.C.I. - Ground Fault Circuit Interrupt G.F.I. - Ground Fault Interrupt GL. - Glass G.M. - Grade mark GR. - Grille G.T. - Glazed tile GYP. - Gypsum</p> <p>H H.B. - Hose bib H.C. - Hollow core HDDB. - Hardboard HW. - Hardware HGT. - Height HOR. - Horizontal HR. - Hour H.R. - Handrail HTR. - Heater H.V.A.C. - Heating, Venting and Air Conditioning H.W. - Hot water</p> <p>I I.C.F. - Insulated Concrete Form I.D. - Inside diameter I.F. - Inside Face INCL. - Inclusive, including INV. - Invert INSUL. - Insulation INT. - Interior</p> <p>J J-Box - Junction box JCT. - Junction JST. - Joist</p> <p>K K-D. - Knock Down K.D. - Kiln dried K.O. - Knock out</p> <p>L LFT. - Linear feet LAM. - Laminate LAT. - Lateral LAV. - Lavatory LD. - Lead</p> <p>M M.B. - Machine bolt M.O. - Masonry opening MAR. - Marble MAS. - Masonry MTL. - Material MAX. - Maximum MECH. - Mechanical MED. - Medium MFG. - Manufacturing MIN. - Minimum MOD. - Modular MTL. - Metal (steel) MUL. - Mullion</p> <p>Q Q.T. - Quarry tile QTY. - Quantity</p> <p>R RAD. - Radius R.D. - Roof drain R.D.L. - Roof drain leader R.O. - Rough Opening R.O.W. - Right of way REFG. - Refrigerator REF. - Reference REINF. - Reinforced RET. - Return REV. - Revision RM. - Room RMV. - Remove</p> <p>S N.T.S. - Not to scale N.C.M. - Non-corrosive metal N.C. - Not for construction N.L. - Nailer NO. - Number NOM. - Nominal</p> <p>O O.C. - On center O.D. - Outside diameter O.R. - Outside radius O.H. - Overhead OPNG. - Opening</p> <p>P P. - Paint PART. - Partition PAV. - Pavement P.C. - Pre-Cast Concrete PL. - Plaster PLT. - Plate PL. - Property line P.L.V. - Plastic laminate veneer PLYWD. - Plywood PORC. - Porcelain P.S.F. - Pounds per square foot P.S.I. - Pounds per square inch P.V.C. - Polyvinyl chloride PWR. - Power</p> <p>T T&G - Tongue and groove T.B. - Through bolt T.O. - Top of T.O.B. - Top of Beam T.O.C. - Top of curb T.O.F. - Top of footing T.O.J. - Top of joist T.O.M. - Top of masonry T.O.W. - Top of wall T.S. - Tube steel TH. - Threshold THR. - Threaded TYP. - Typical</p> <p>U UNF. - Unfinished</p> <p>V V.B. - Vapor barrier V.I.F. - Verify in field VA. - Voltage VCT. - Vinyl composition tile</p> <p>W SECT. - Section SHT. - Sheet SHT'G. - Sheathing SIM. - Similar SPECs. - Specifications SQ.FT. - Square feet SQ. IN. - Square inches STD. - Standard STL. - Steel S.Y. - Square yard SYS. - System</p> <p>Y YD. - Yard</p>	 <p>PROJECT LOCATION</p> <p>229 Venetian Dr, Delray Beach, FL 33483</p>	<p>IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.</p> <p>BY REVISIONS DATE</p> <p>DATE: 12/1/22 SCALE: AS NOTED DRAWN: SMR JOB: SHEET: PERMIT DATE</p> <p>N</p> <p>A.01</p> <p>Plotted On: 12/1/22</p>					

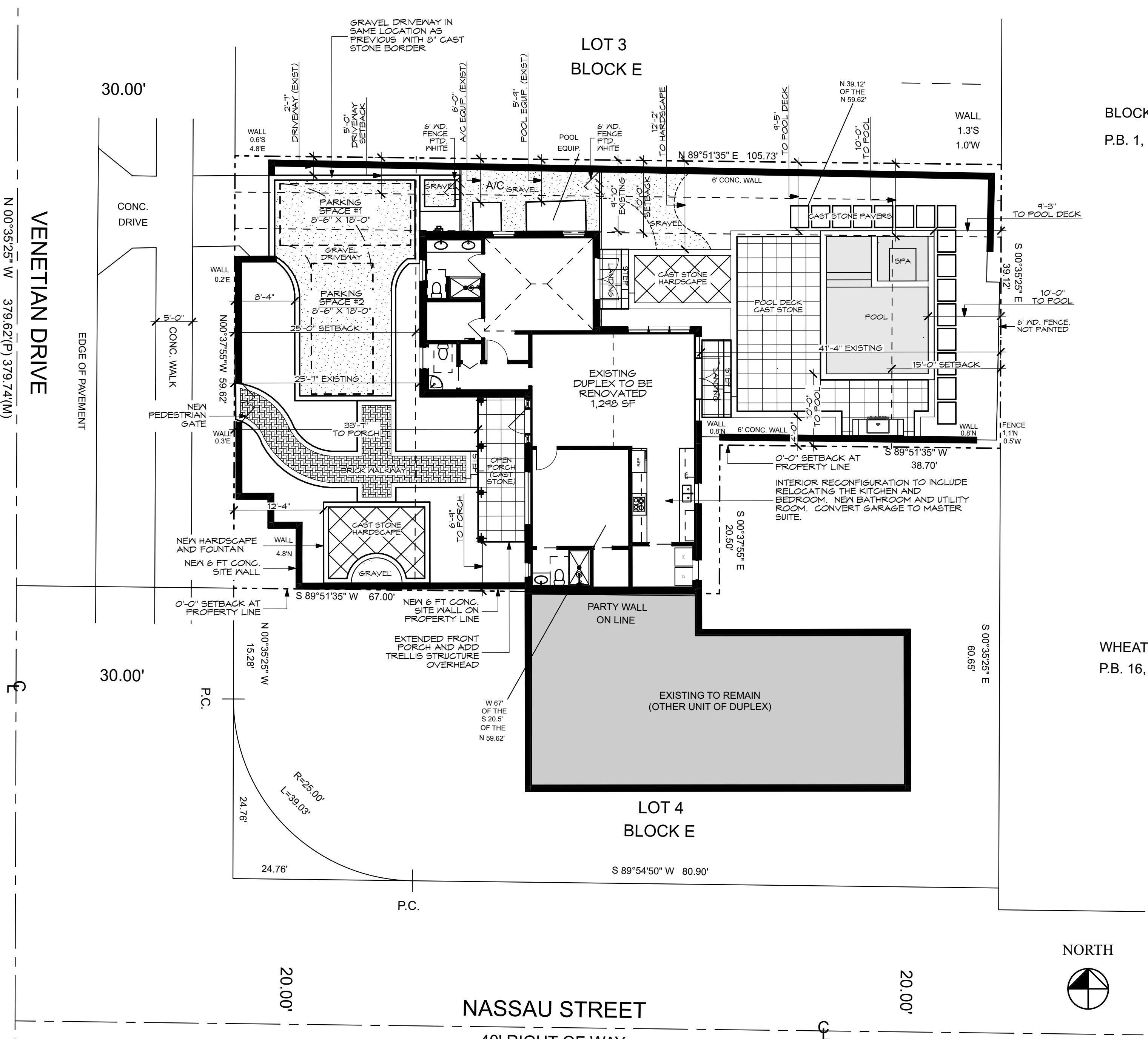


1 A.02 DIAGRAMMATIC SITE / CONTEXT PLAN
SCALE: 1/32" = 1'-0"

PROJECT DATA			
	REQUIRED/PERMITTED	EXISTING	PROPOSED
FRONT SETBACK	25'-0" (WEST)	25'-7"	NO CHANGE
SIDE INTERIOR SETBACK	10'-0" (NORTH)	9'-10"	NO CHANGE
SIDE STREET SETBACK	0'-0" (SOUTH)	0'-0"	NO CHANGE
REAR SETBACK	15'-0" (EAST)	41'-4"	NO CHANGE
HEIGHT/FLOORS	35'-0"	13'-9"	NO CHANGE
WIDTH OF SITE	60'-0"	59.62'	NO CHANGE
DEPTH OF SITE	100'-0"	105.73'	NO CHANGE
FRONTOAGE	60'-0"	59.62'	NO CHANGE
TOTAL SITE AREA	8,000 SF	5,514.70 SF	NO CHANGE
PERVIOUS/IMPERVIOUS AREA	N/A	2,432.4 SF / 3,082.3 SF	2,472.3 SF / 3,042.4 SF
OPEN SPACE (LANDSCAPED)	25% MIN.	23% (1,262.3 SF)	27% (1,527 SF)
WATER BODIES	N/A	N/A	
GROUND FLOOR AREA	1,000 SF	1,298 SF	1,431 SF
TOTAL FLOOR AREA	900 SF (MIN)	1,298 SF	1,431 SF
LOT COVERAGE	40%	25.2% (1,389 SF)	27.0% (1,489.7 SF)
FLOOR AREA RATIO	N/A	.25	.27
NUMBER OF DWELLING UNITS	1	1	1
DENSITY (UNITS PER ACRE)	6-12 UNITS PER ACRE	6-12 UNITS PER ACRE	6-12 UNITS PER ACRE
DWELLING UNITS			
	NUMBER OF UNITS	A/C SQ. FT.	TOTAL SQ. FT.
EFFICIENCY			
1 BEDROOM	1	1,298 SF	1,431 SF
2 BEDROOM			
3 BEDROOM			
4 BEDROOM			
PARKING SPACES REQUIRED			
USE	CALCULATED #SPACES PER	REQUIRED	EXISTING
RESIDENTIAL		2	3
			2
REGULAR SPACES			2
COMPACT SPACES (30% max. of required may be compact)			
HANDICAPPED SPACES			
TOTALS			2

Number of bike racks required: N/A Number of bike racks proposed: N/A
Projects within the Central Business District (CBD) - LDR Section 4.4.13 Site not located in the CBD
Subdistrict: Central Core West Atlantic Neighborhood Railroad Corridor Beach
Street Designation: Primary Street Secondary Street Both
Limited Height Area: Atlantic Avenue West Atlantic Neighborhood N/A
Required Retail Frontage: Yes No Proposed Architectural Style:
Building Frontage %: Proposed Frontage type:
Proposed Building Composition: Green Building Practices Required: Yes No
Civic Open Space Type: Civic Open Space Size:
Provide a separate narrative addressing the appropriateness of the proposed design.

2 A.02 PROPOSED SITE PLAN
SCALE: 1" = 10'



2 A.02 PROPOSED SITE PLAN
SCALE: 1" = 10'

DATE:	12/1/22
SCALE:	AS NOTED
DRAWN:	SMR
JOB:	
SHEET:	
PERMIT:	
DATE:	

DATE:	12/1/22
SCALE:	AS NOTED
DRAWN:	SMR
JOB:	
SHEET:	
PERMIT:	

HOLDEN RESIDENCE
229 VENETIAN DR
DELRAY BEACH, FL 33483
1'-ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY REVISIONS DATE

DATE:	12/1/22
SCALE:	AS NOTED
DRAWN:	SMR
JOB:	
SHEET:	
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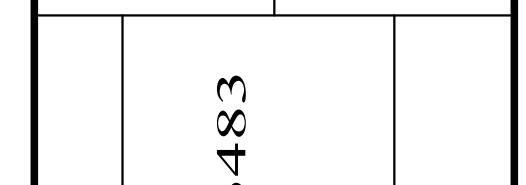
Plotted On: 12/1/22

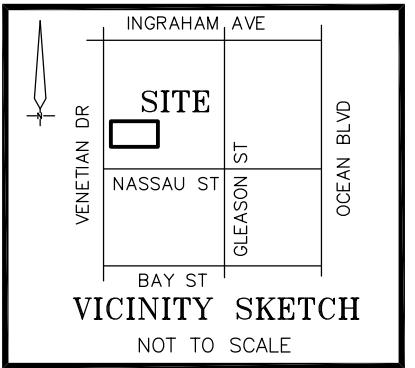
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SITE PLAN / SITE DATA TABLE	
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SCALE:	AS NOTED
DRAWN:	SMR
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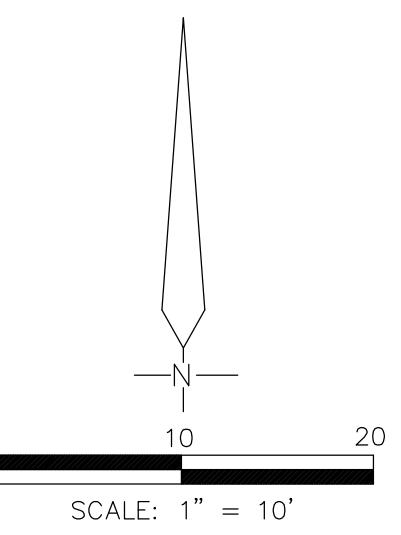
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INTERIORS
LANDSCAPE
2417 SOUTH DIXIE HWY | WEST PALM BEACH, FLORIDA 33401 | 561.659.5683 |
www.royposey.com

STEPHEN MICHAEL ROY
FLORIDA REGISTERED ARCHITECT
AR91404
12/1/22





Boundary Survey
for
LOUSIE HOLDEN



PROPERTY ADDRESS
229 VENETIAN DRIVE
DELRAY BEACH, FL 33483

FLOOD ZONE

FLOOD ZONE: AE
CITY OF DELRAY BEACH: 125102
PARCEL NUMBER: 120909C-120983F
EFFECTIVE DATE: 10-05-17

LEGAL DESCRIPTION

THE NORTH 39.12 FEET OF THE NORTH 59.62 FEET
AND THE WEST 67 FEET OF THE SOUTH 20.5 FEET
OF THE NORTH 59.62 FEET OF LOT 3, BLOCK E,
JONES BLDG., DELRAY BEACH, FLORIDA,
ACCORDING TO THE PLAT THEREOF AS RECORDED IN
PLAT BOOK 21, PAGE 95 OF THE PUBLIC RECORDS
OF PALM BEACH COUNTY, FLORIDA.

SURVEYOR'S NOTES

EXISTING IMPROVEMENTS NOT LOCATED EXCEPT AS
SHOWN.

LEGAL DESCRIPTION PROVIDED BY CLIENT.

SURVEYOR HAS NOT ABSTRACTED THIS SURVEY FOR
EASEMENTS AND RIGHTS OF WAY OF RECORD.

SURVEY IS NOT VALID WITHOUT A RAISED SEAL.

BEARINGS, IF SHOWN, ARE BASED ON THE RECORD
PLAT.

ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE
UNITED STATES STANDARD, USING FEET.

ADDITIONS OR DELETIONS TO SURVEY MAPS OR
REPORTS ARE NOT MADE BY THE SURVEYOR OR
PARTIES TO THE SURVEY. SIGNING PARTY OR
PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT
OF THE SIGNING PARTY OR PARTIES.

ELEVATIONS ARE REFERENCED TO THE FLORIDA
DEPARTMENT OF TRANSPORTATION HIGH ACCURACY
NETWORK, NORTH AMERICAN VERTICAL DATUM
(N.A.V.D.) 1988.

FENCE OWNERSHIP NOT DETERMINED.

CERTIFICATION

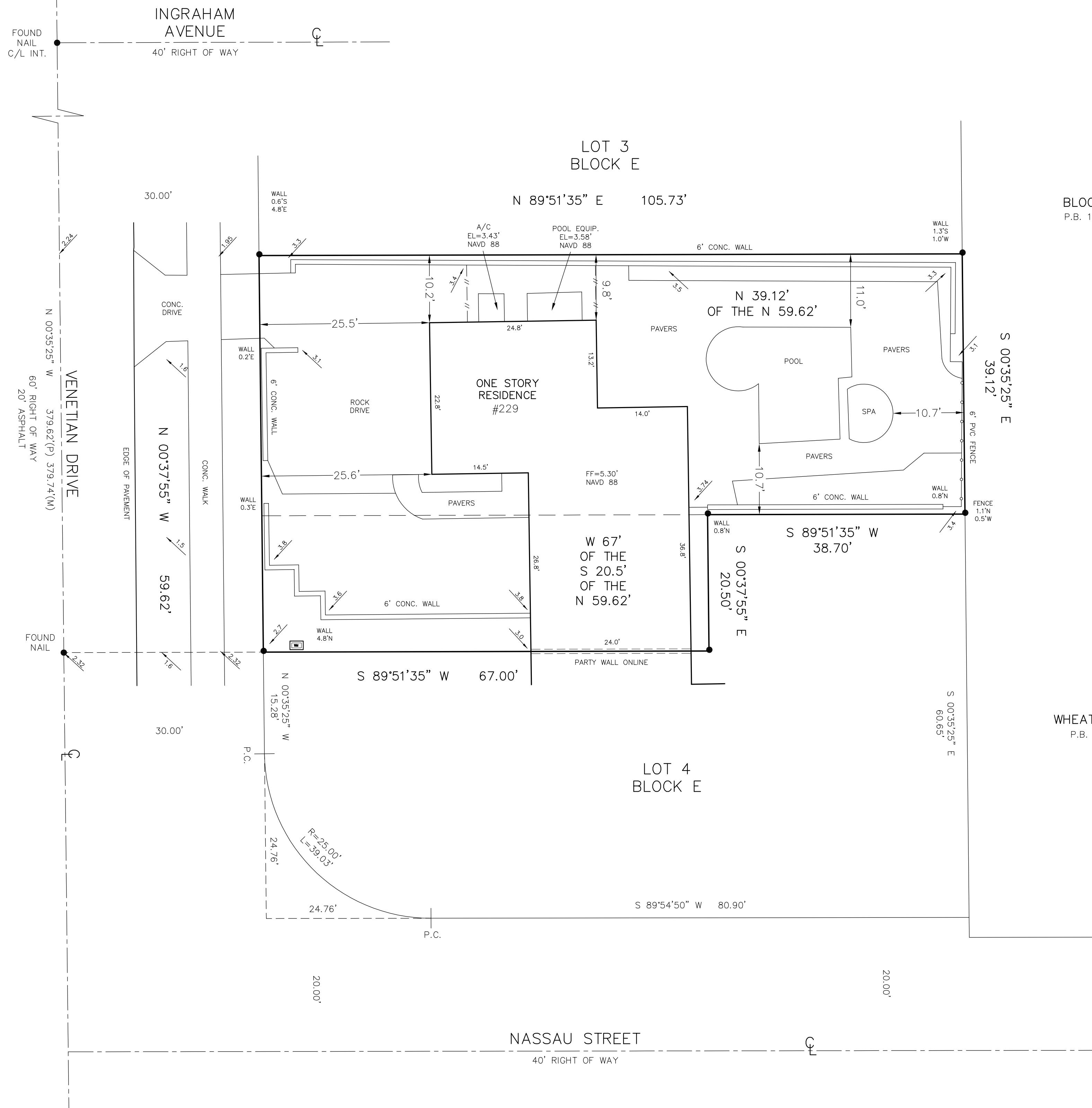
I HEREBY CERTIFY THAT I MADE THIS SURVEY AND THAT IT IS
TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND
BELIEF.

BY: ROBERT A. BUGGEE, FLORIDA LAND SURVEYOR #3302
233 E. GATEWAY BLVD., BOYNTON BEACH, FLORIDA

DATE OF FIELD SURVEY: 10/17/22
DWG # 1000422.10 SCALE (REF: 090220)

REVISIONS:
1.) UPDATE/TOPO 10-18-22
2.) CHANGE TO 10 SCALE 10-21-22

INGRAHAM
AVENUE
40' RIGHT OF WAY



PREPARED BY:
Bob Buggee, Inc.
the "SURVEYOR"
P.O. BOX 243887
BOYNTON BEACH, FLORIDA, 33424
SURVEY & MAPPING BUSINESS #7890
561-732-7877

DEMOLITION NOTES

ALL DEMOLITION WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH LOCAL AND STATE REGULATIONS

CONTRACTOR SHALL PERFORM SITE VISIT AND VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK

TEMPORARY BARRICADES, RAILINGS, LIGHTING, ETC. SHALL BE PROVIDED AS REQUIRED TO PROTECT THE PUBLIC, ADJACENT TENANTS, OWNERS PERSONAL AND OTHERS FROM INJURE. ALSO FREE AND SAFE PASSAGE FOR PERSONS SHALL BE PROVIDED TO AND FROM AREAS AND LOCAL FACILITIES WHICH ARE TO REMAIN

THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST RAIN, WIND STORMS & HEAT AS TO MAINTAIN ALL WORK, MATERIALS, EQUIPMENT AND FIXTURES FREE FROM DAMAGE TO PROPERTY OF THE OWNER WHICH IS TO REMAIN IN USE OR ANY PERSON ON OR OFF THE SITE CAUSED BY THE DEMOLITION WORK WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

PROTECT AND MAINTAIN EXISTING UTILITY LINES WHICH ARE TO REMAIN IN SERVICE IN SUCH A MANNER AS TO AVOID INTERRUPTION OF THESE LINES. CAP ALL UTILITY LINES TERMINATED BY THE DEMOLITION WORK IN A MANNER PRESCRIBED BY THE GOVERNMENTAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.

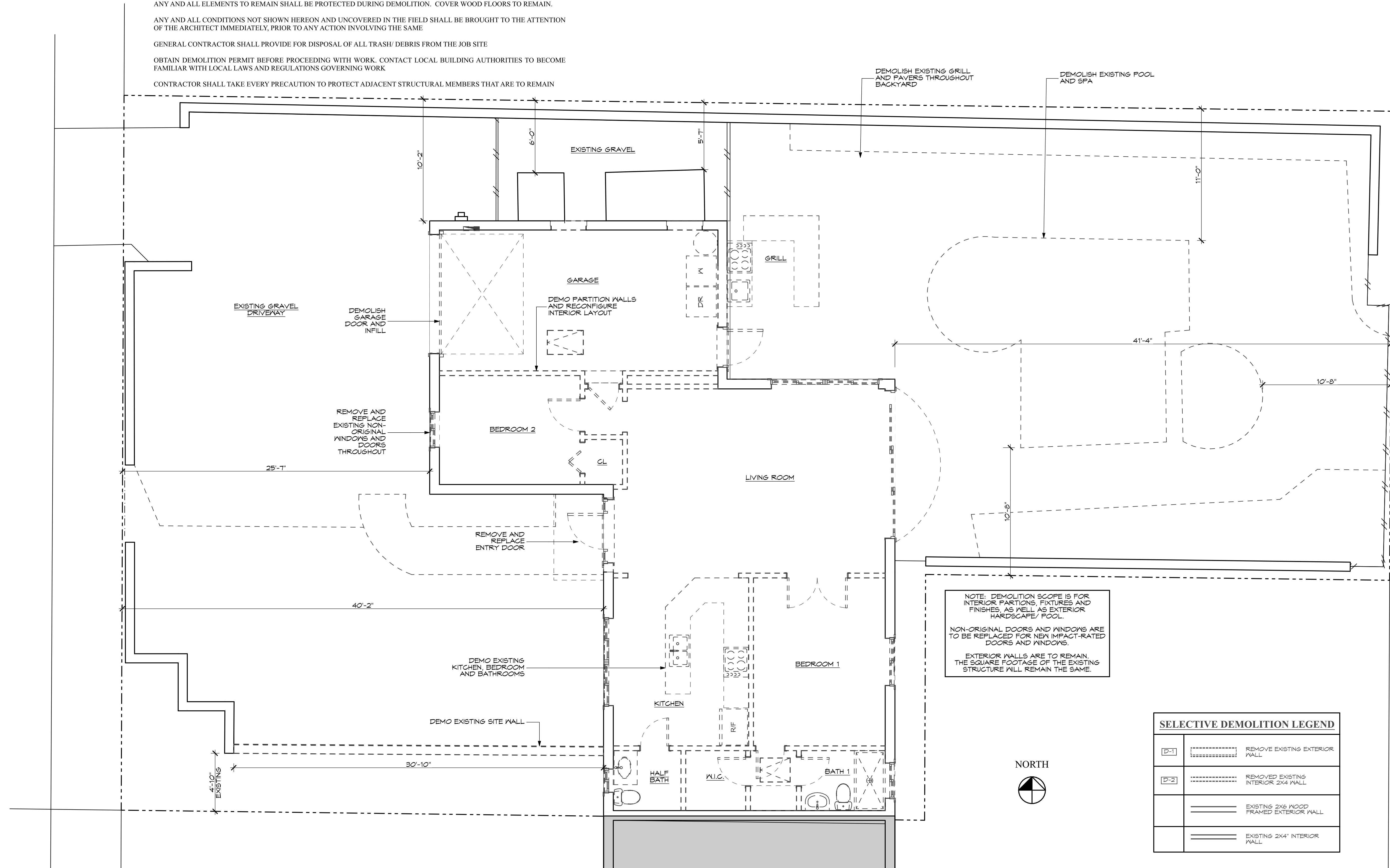
ANY AND ALL ELEMENTS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION. COVER WOOD FLOORS TO REMAIN.

ANY AND ALL CONDITIONS NOT SHOWN HEREON AND UNCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY, PRIOR TO ANY ACTION INVOLVING THE SAME

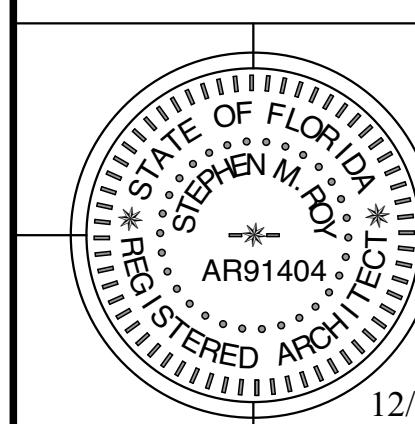
GENERAL CONTRACTOR SHALL PROVIDE FOR DISPOSAL OF ALL TRASH/ DEBRIS FROM THE JOB SITE

OBTAIN DEMOLITION PERMIT BEFORE PROCEEDING WITH WORK. CONTACT LOCAL BUILDING AUTHORITIES TO BECOME FAMILIAR WITH LOCAL LAWS AND REGULATIONS GOVERNING WORK

CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT ADJACENT STRUCTURAL MEMBERS THAT ARE TO REMAIN



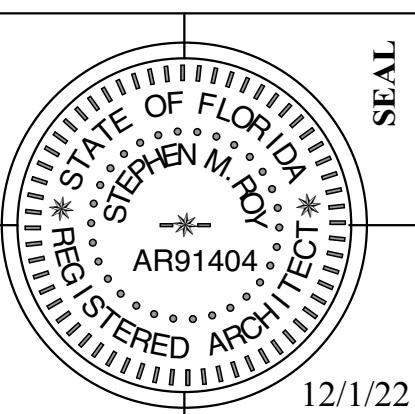
OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THEY ARE MADE FOR EXECUTION OF THE PROJECT AND ARE NOT TO BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARCHITECT.

STEPHEN MICHAEL ROY
FLORIDA REGISTERED ARCHITECT
AR91404
 HOLDEN RESIDENCE
 229 VENETIAN DR
 DELRAY BEACH, FL 33483

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY | REVISIONS | DATE

 DATE: 12/1/22
 SCALE: AS NOTED
 DRAWN: SMR
 JOB:
 SHEET:
 PERMIT DATE



229 VENETIAN DR
DELRAY BEACH, FL 33483

A.05

This architectural floor plan illustrates the layout of a house and its surrounding outdoor areas. The house features a central entrance leading into a Living / Dining Room. To the left is an Open Porch (133 SF) and a New Bedroom and Bathroom. To the right is a Kitchen and Utility Room. The kitchen includes a Sink, Range, and a new Gas Grill. The utility room contains a W.I.C. and a Laundry area. An additional room, Bedroom 1 / Office, is located near the kitchen. The house also includes a Master Bedroom with a vaulted ceiling, a Master Bath, and a Walk-In Closet (W.I.C.). A Powder Room (PWDR) is located near the entrance. The exterior includes two parking spaces (8'-6" x 18'-0"), a new A/C unit in the same location as previous, and a new pool equipment in the same location as previous. The property is bordered by a Cast Stone Border and a Gravel Driveway. The outdoor area features a new fountain and hardscape, new hardscape/pool deck, and a new pool (under a separate permit). The pool dimensions are 19' x 14' with a depth of 6'-3". The plan also shows outdoor seating and a spa. A north arrow is located in the bottom right corner.

CAST STONE BORDER
GRAVEL DRIVeway

NEW A/C UNIT IN SAME LOCATION AS PREVIOUS

NEW POOL EQUIPMENT IN SAME LOCATION AS PREVIOUS

PARKING SPACE #1
8'-6" X 18'-0"

PARKING SPACE #2
8'-6" X 18'-0"

25'-6"

25'-7"

33'-8"

133 SF

MASTER BATH

MASTER BEDROOM

W.I.C.

A/C

PWDR

LINEN

LIVING / DINING ROOM

OPEN PORCH

BEDROOM 1 / OFFICE

REF.

KITCHEN

133 SF

BATH 1

W.I.C.

UTILITY

NEW FOUNTAIN AND HARDSCAPE

NEW A/C AND POOL EQUIPMENT

NEW Hardscape/Pool Deck

NEW POOL (UNDER A SEPARATE PERMIT)

POOL 19' X 14'

SPA

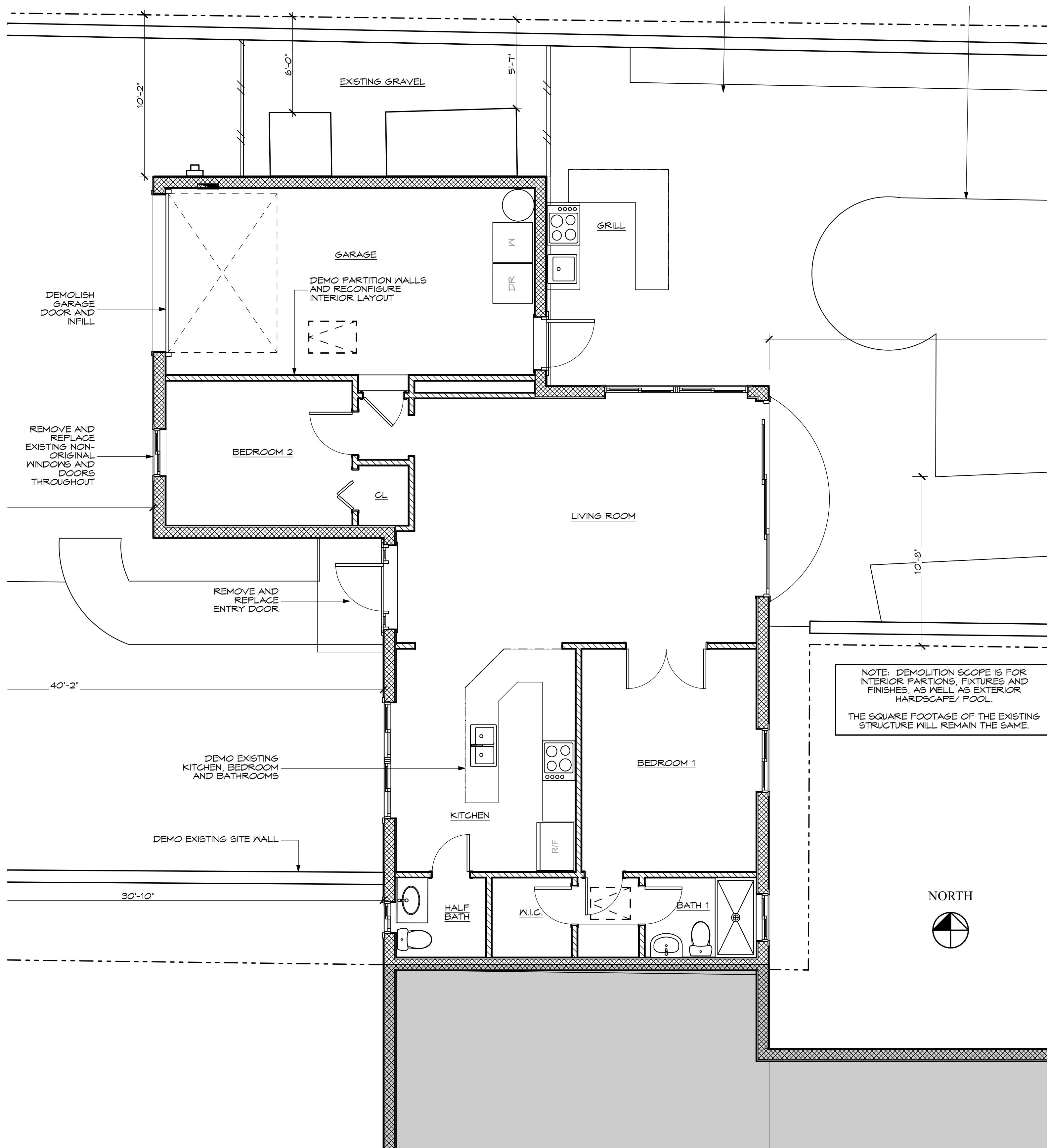
OUTDOOR SEATING

NEW INTERIOR PARTITIONS.
VAULT CEILING IN LIVING/DINING ROOM

NEW KITCHEN AND UTILITY ROOM

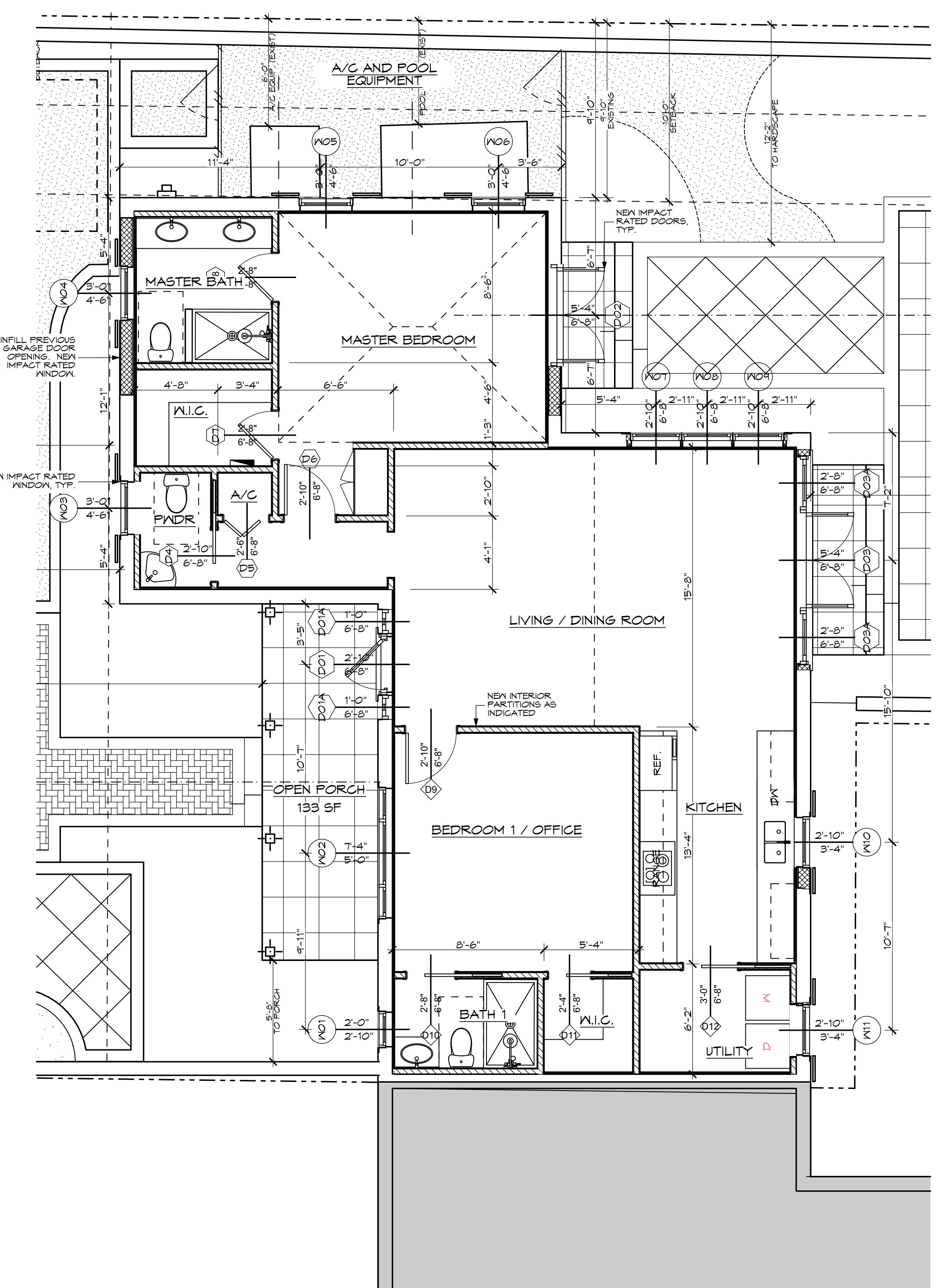
NORTH

1 FLOOR PLAN / SITE IMPROVEMENTS
A.05 SCALE: 1/4" = 1'-0"



1 EXISTING PLAN
A.06

SCALE: 1/4" = 1'-0"



2 PROPOSED PLAN
A.06

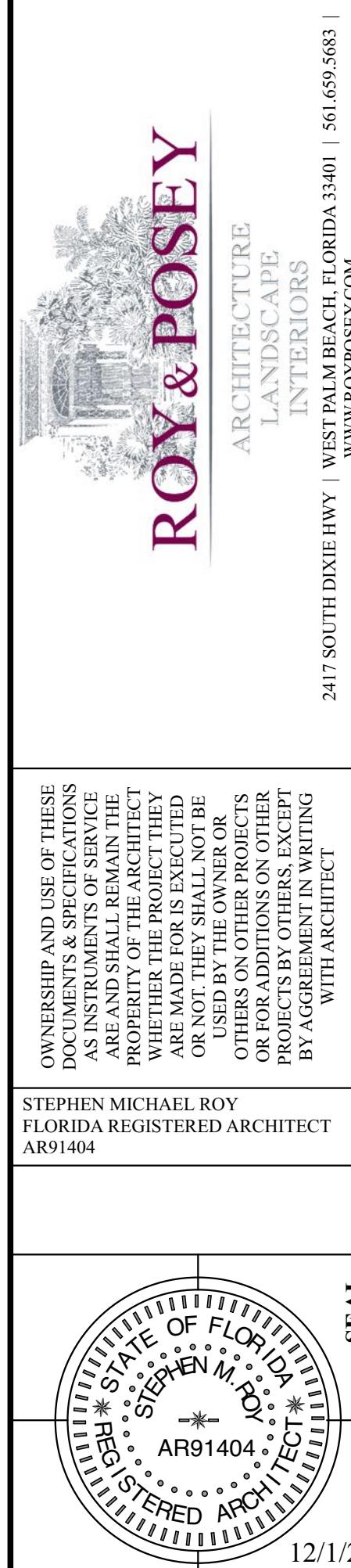
SCALE: 1/4" = 1'-0"

BY	REVISIONS	DATE
		DATE: 12/1/22
		SCALE: AS NOTED
		DRAWN: SMR
		JOB:
		SHEET
		PERMIT DATE

A.06

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HOLDEN RESIDENCE
229 VENETIAN DR
DELRAY BEACH, FL 33483





STREETSCAPE DIAGRAM

07) SCALE: 1/32" = 1'-0"

1. *What is the primary purpose of the study?*

A.07

On: 12/1/22

12/1/22
AS NOTED
SMR
DATE

The logo for Roy & Posey features a vertical pine tree graphic on the left, with the company name "ROY & POSEY" in large, bold, red serif capital letters to its right. A thin horizontal line separates the tree from the company name.

MICHAEL ROY
REGISTERED ARCHITECT

12/1

229 VENETIA
DELRAY BEACH

VISIONS	DATE
---------	------

	12/1/22
	AS NOTED
	SMR
	DATE



VIEW OF MAIN ENTRANCE - PROPOSED



VIEW OF REAR FACADE - PROPOSED



SWISS COFFEE



WOODLAWN BLUE

JAMIN MOORE PAINT
EXTERIOR WALLS AND
GUTTERS



ARCHITECTURE LANDSCAPE INTERIORS WEST PALM BEACH, FLORIDA

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STEPHEN MICHAEL ROY
FLORIDA REGISTERED ARCHITECT
AR91404

A circular seal for a registered architect in Florida. The outer ring contains the text "FLORIDA" at the top and "REGISTERED ARCHITECT" at the bottom, separated by a horizontal line. The inner circle contains "STEPHEN M. ROY" at the top and "AR91404" at the bottom, also separated by a horizontal line. The seal is framed by a decorative border of dots and lines.

229 VENETIAN DR
DEARBORN, MI 48126
33182

HOLDEN RESIDENCE

	COIOR RENDERINGS
	/1/22
	S NOTED
	MR
	ATE
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	2/1/22

BY	REVISIONS	DATE
DATE:	12/1/22	
SCALE:	AS NOTED	
DRAWN:	SMR	
JOB:		
SHEET		
PERMIT	DATE	

A.08



VIEW A : EXISTING NORTH WEST VIEW OF PROPERTY



VIEW B : EXISTING SOUTH WEST VIEW OF PROPERTY

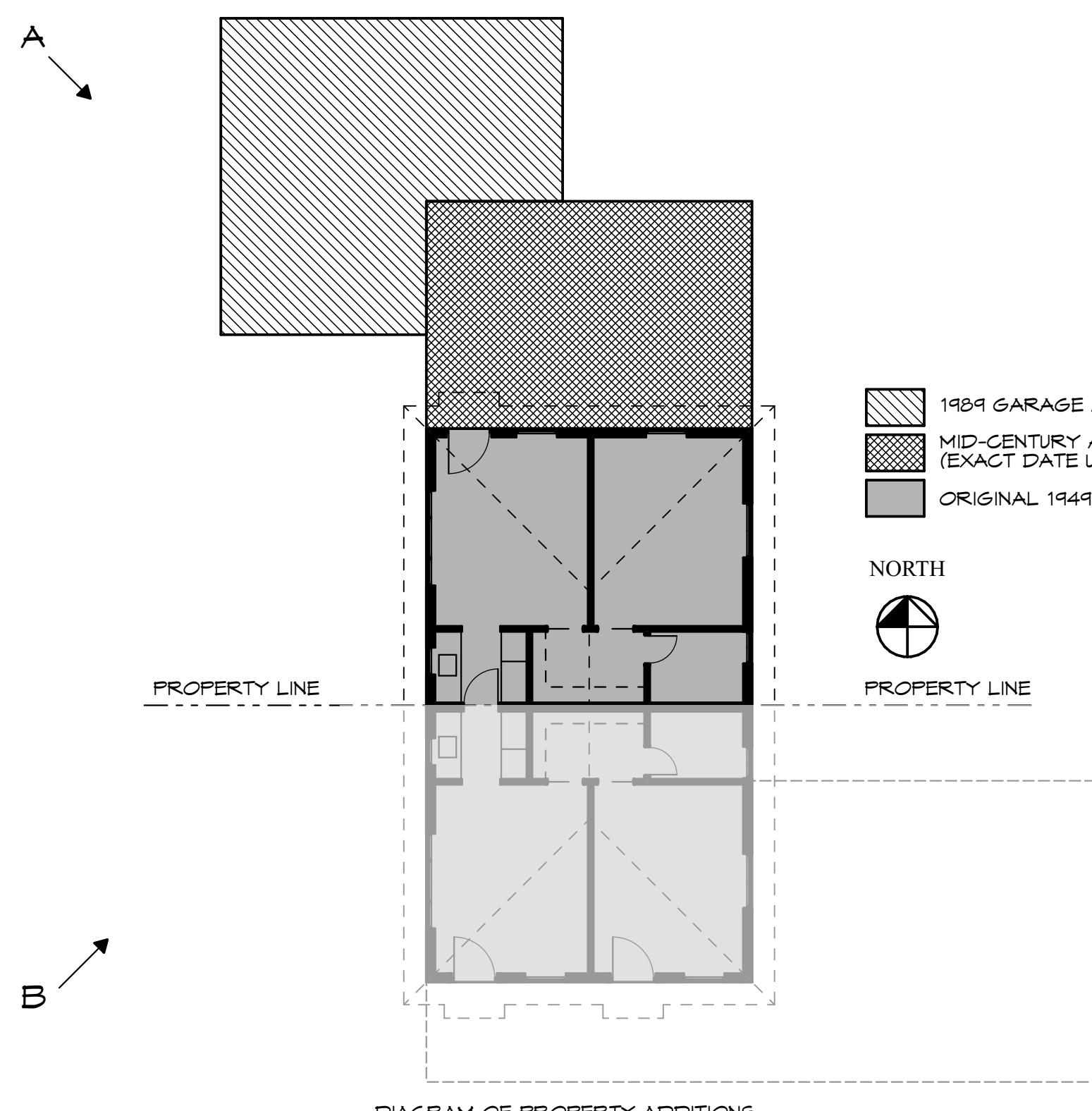
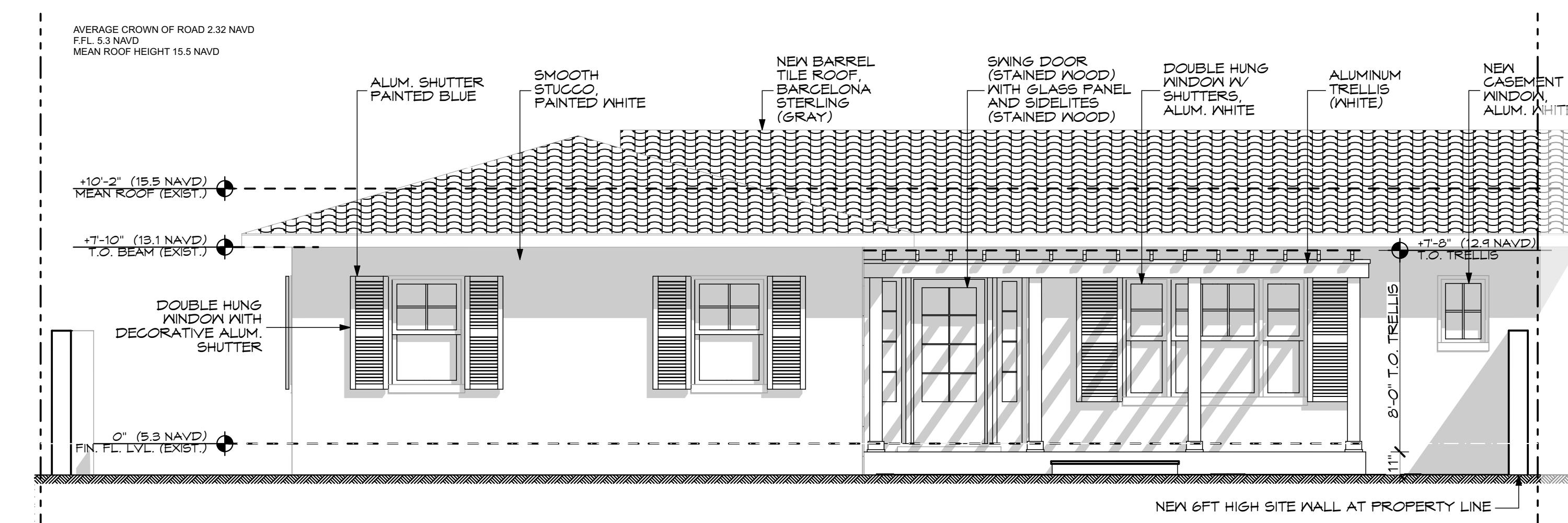
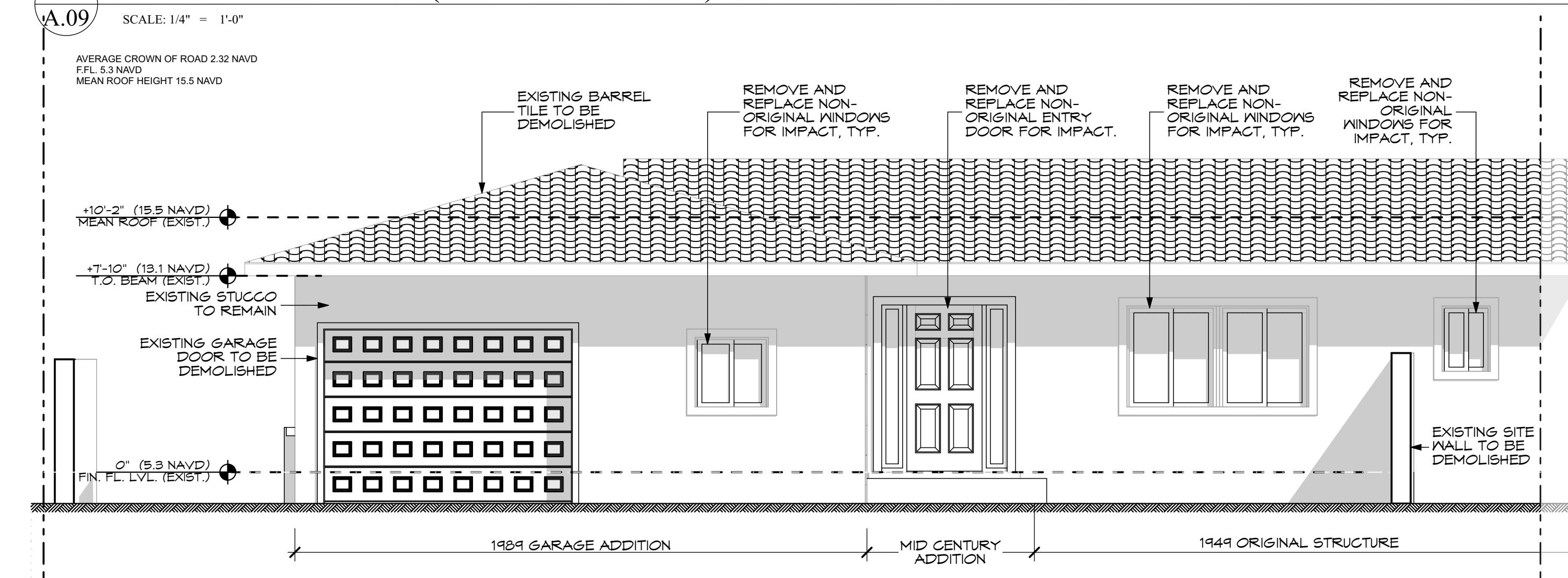


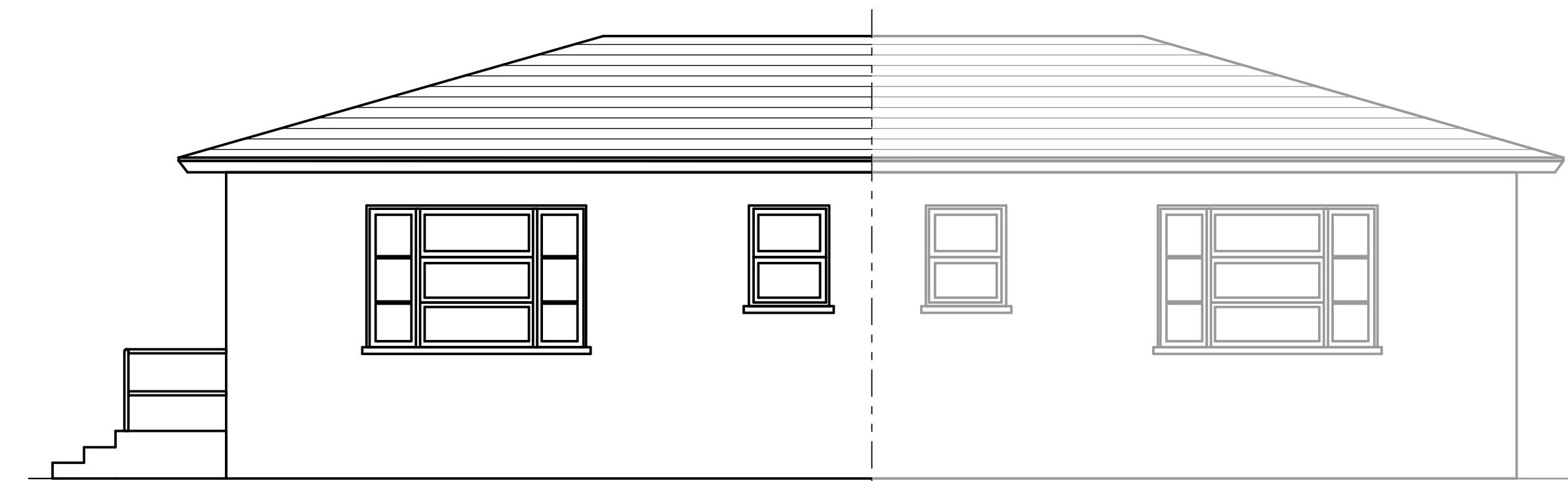
DIAGRAM OF PROPERTY ADDITION



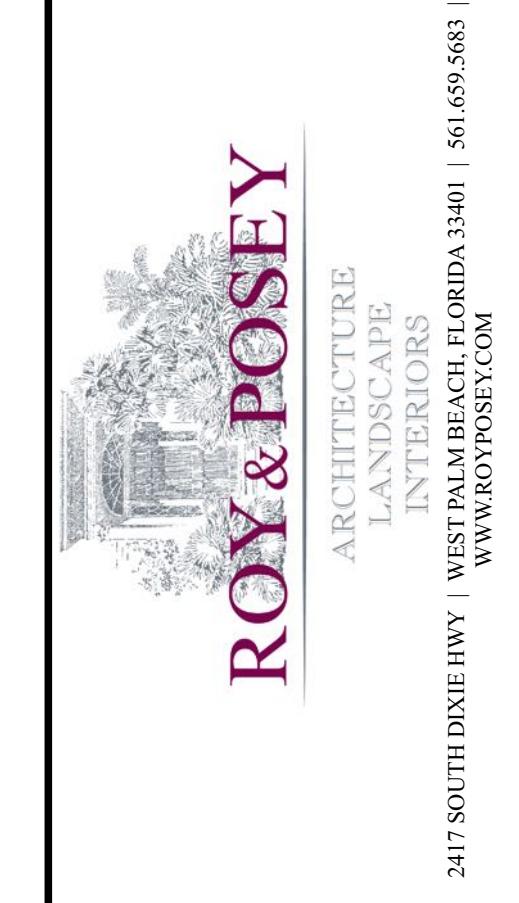
1 WEST ELEVATION (FRONT FACADE) - PROPOSED



2 WEST ELEVATION (FRONT FACADE) - EXISTING

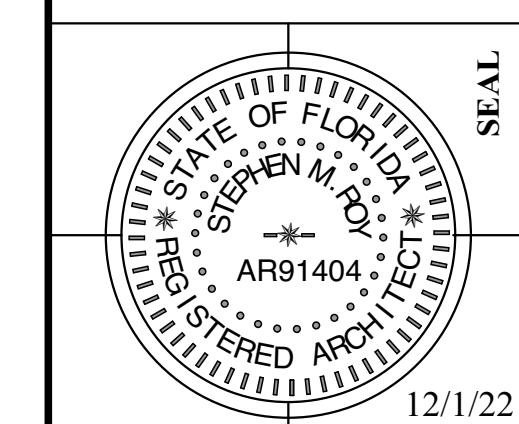


3 1949 ORIGINAL WEST ELEVATION



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STEPHEN MICHAEL ROY
FLORIDA REGISTERED ARCHITECT
AR91404



HOLDEN RESIDENCE 229 VENETIAN DR
DEARBORN, MI 48126

1" ACTUAL

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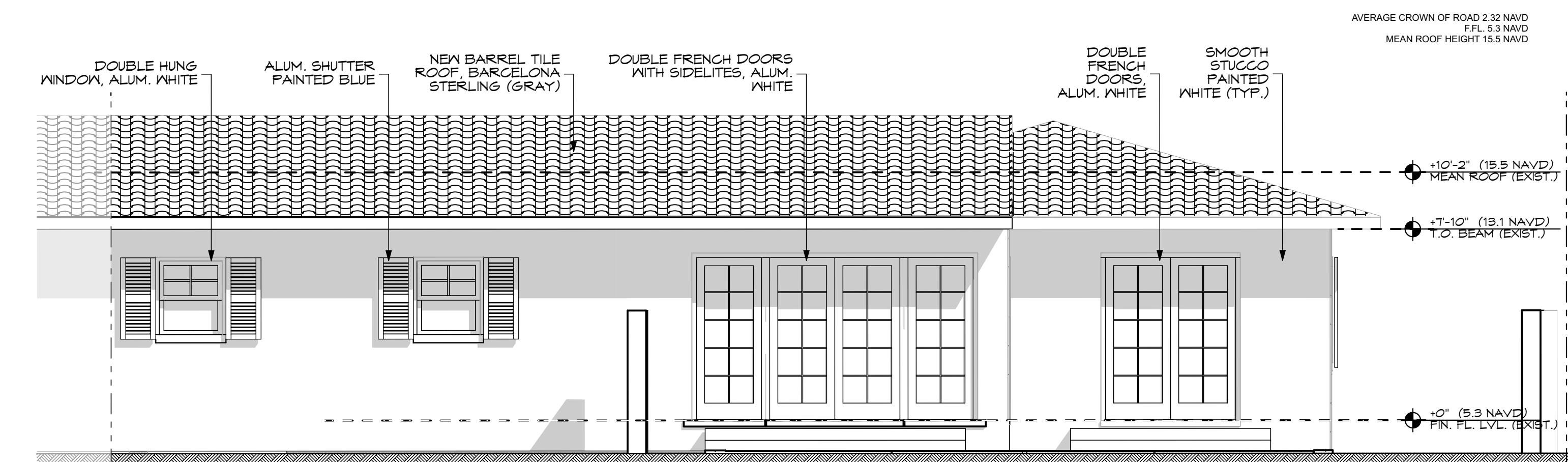
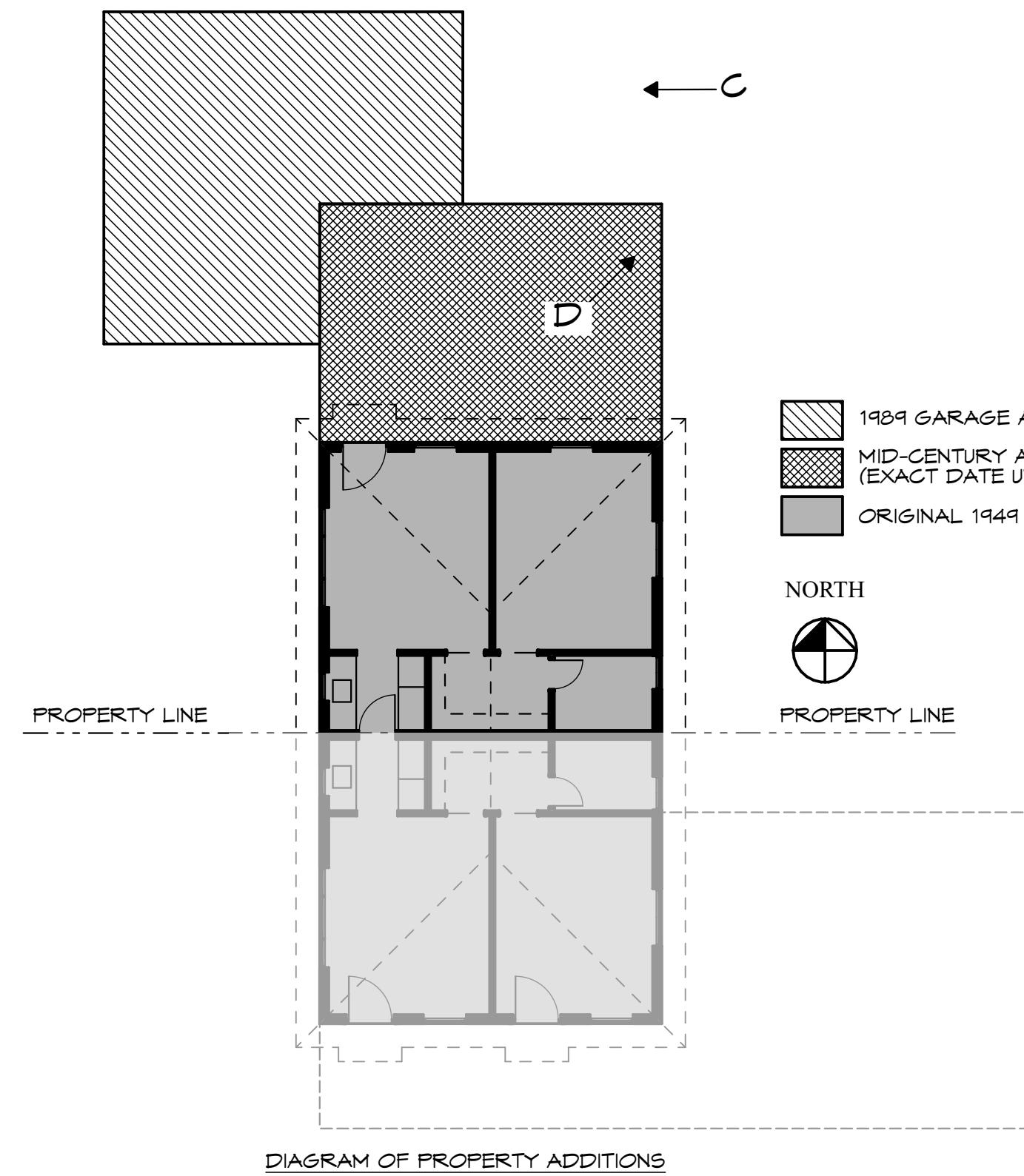
A.09



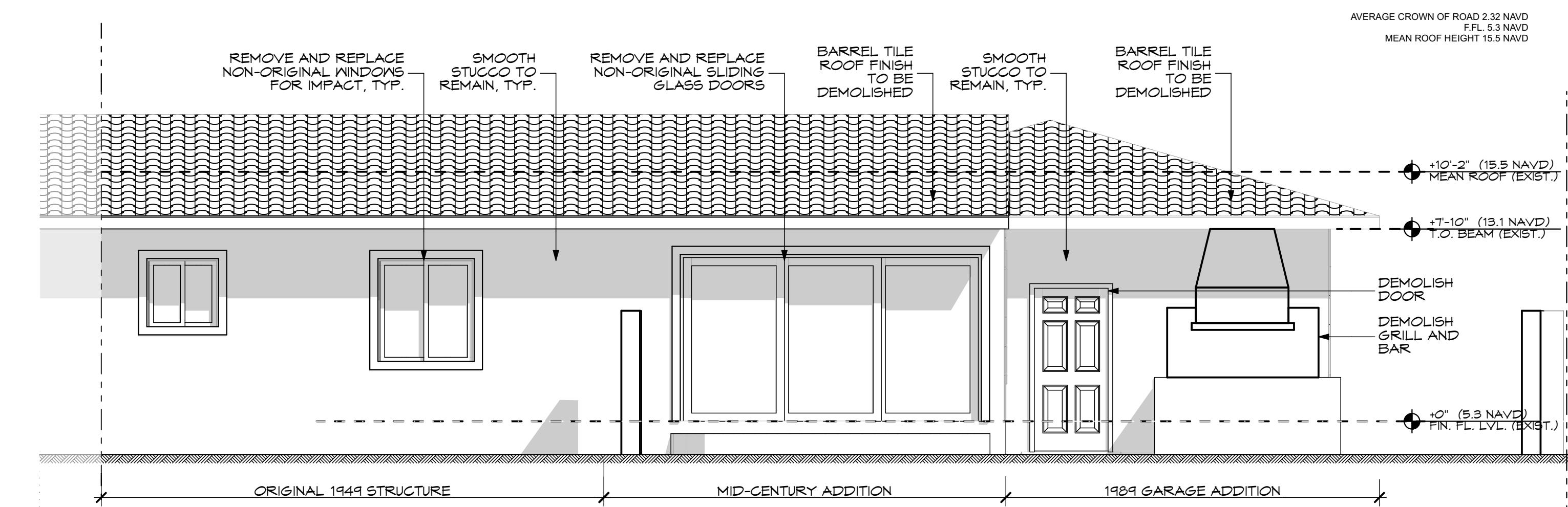
VIEW C : EXISTING NORTH EAST VIEW OF PROPERTY



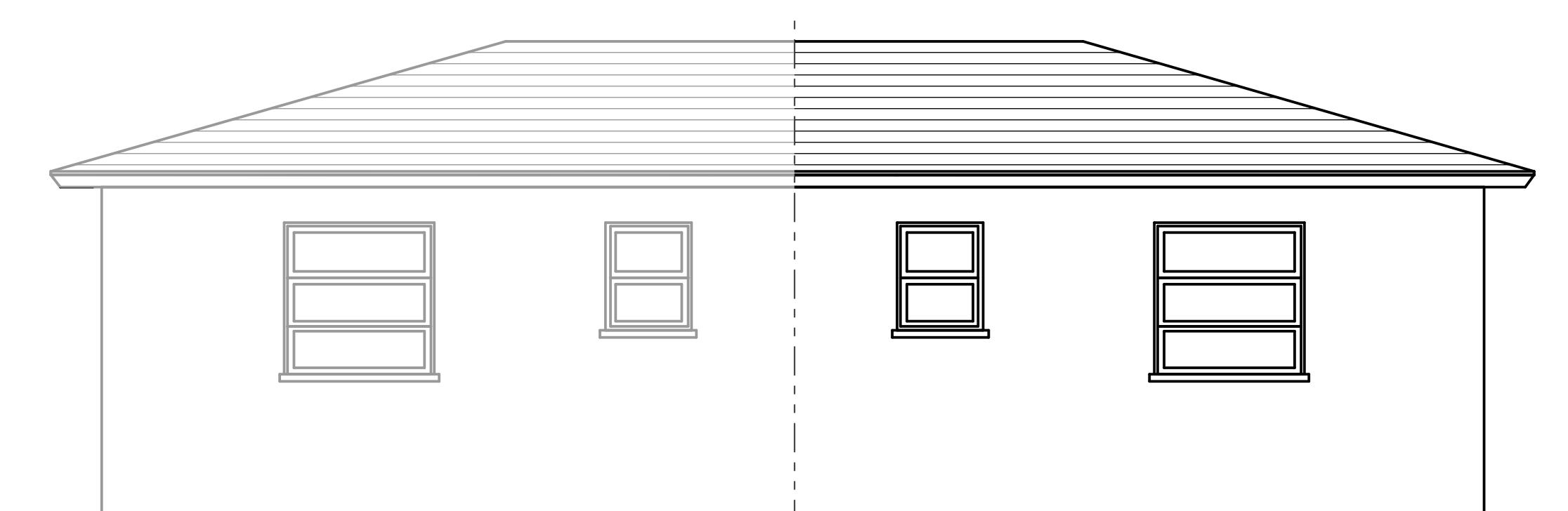
VIEW D : EXISTING INTERIOR VIEW TOWARDS BACKYARD



1
A.10 EAST ELEVATION (REAR FACADE) - PROPOSED
SCALE: 1/4" = 1'-0"



2
A.10 EAST ELEVATION (REAR FACADE) - EXISTING
SCALE: 1/4" = 1'-0"



3
A.10 1949 ORIGINAL EAST ELEVATION
SCALE: 1/4" = 1'-0"

ROY & POSEY

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STEPHEN MICHAEL ROY
FLORIDA REGISTERED ARCHITECT
AR91404

12/1/22

229 VENETIAN DR
DELRAY BEACH, FL 33483

HOLDEN RESIDENCE

1'- ACTUAL

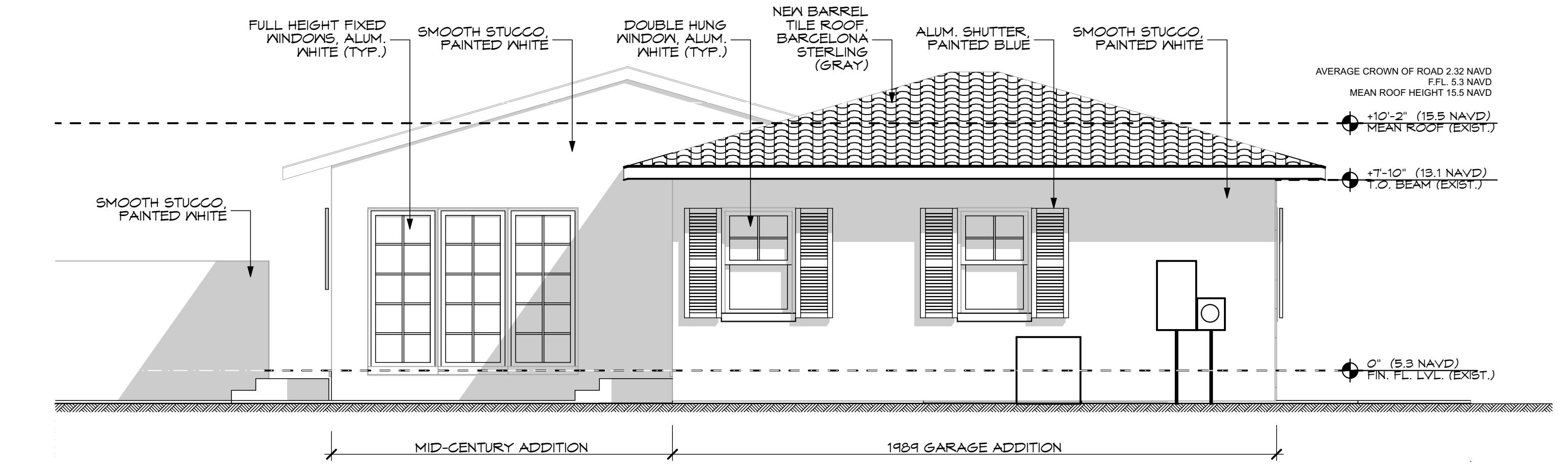
IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	DATE
		12/1/22
DATE:	AS NOTED	
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JOB:		
SHEET		
PERMIT		
DATE:		

A.10

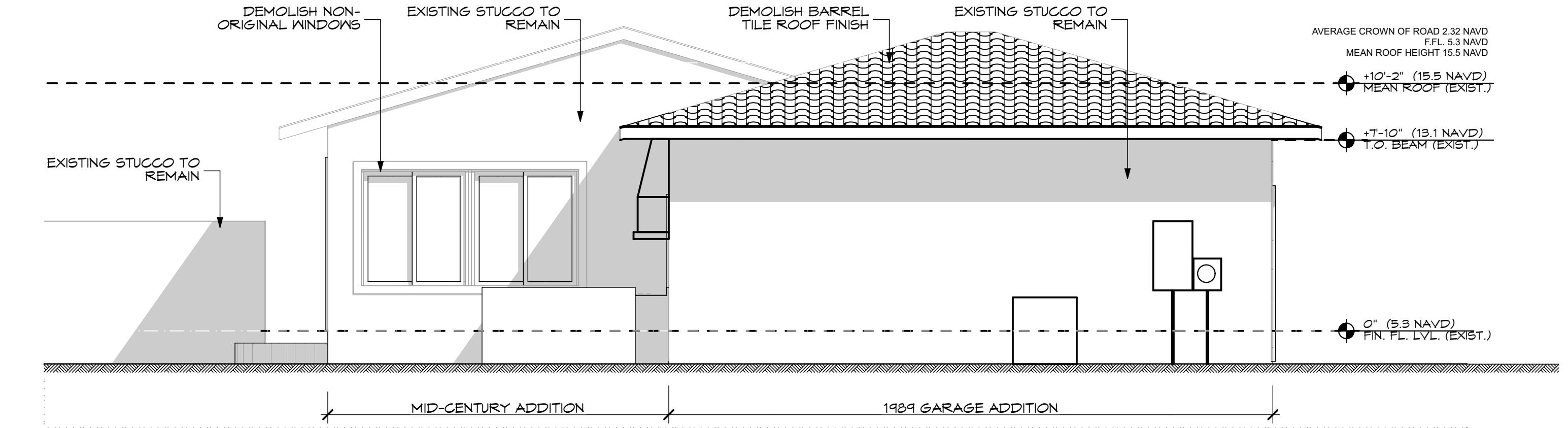
Plotted On: 12/1/22

EAST BUILDING ELEVATIONS



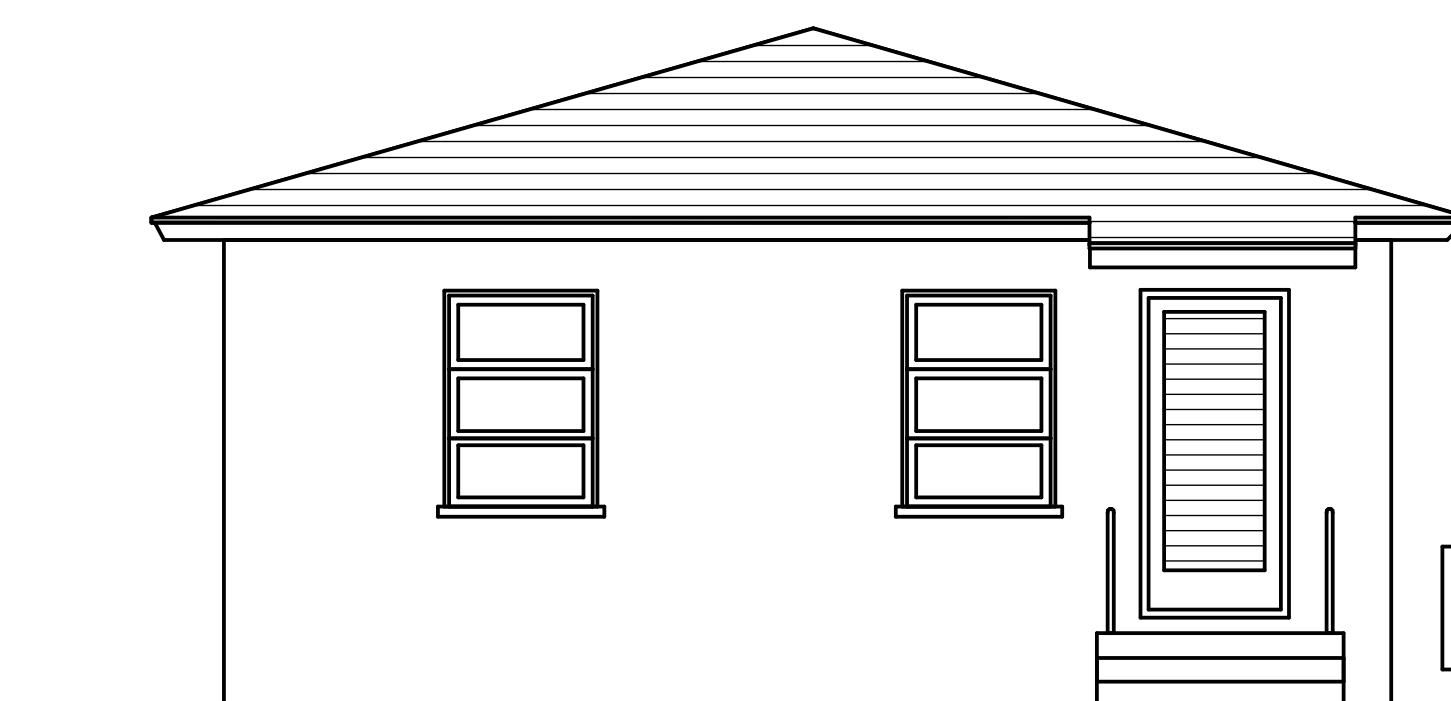
1 A.11 NORTH ELEVATION (SIDE FACADE) - PROPOSED

SCALE: 1/4" = 1'-0"



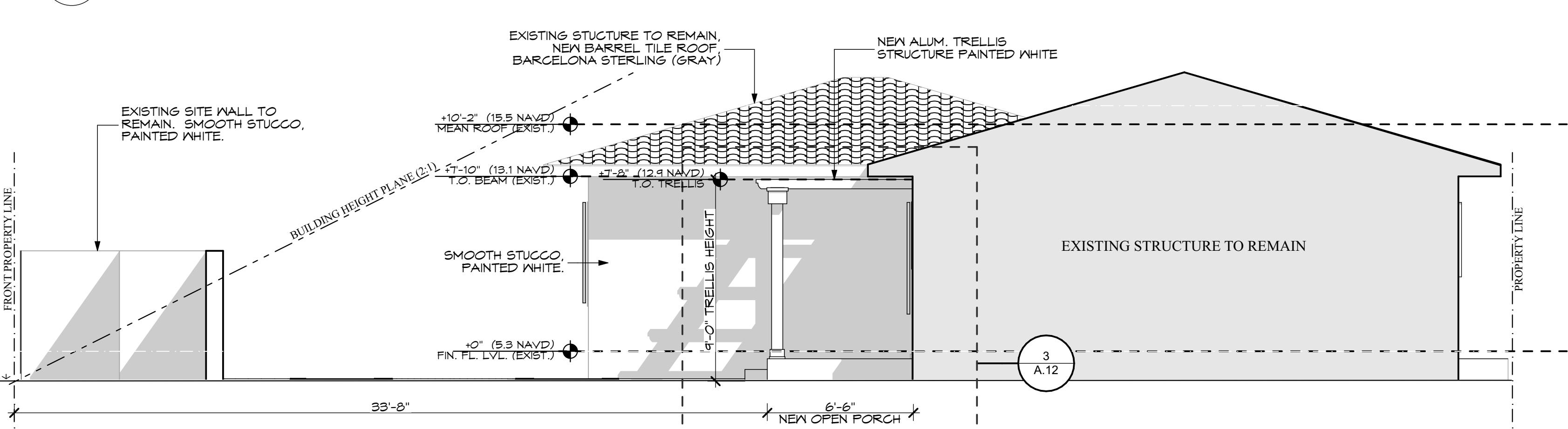
2 A.11 NORTH ELEVATION (SIDE FACADE) - EXISTING

SCALE: 1/4" = 1'-0"



3 A.11 1949 ORIGINAL NORTH ELEVATION

SCALE: 1/4" = 1'-0"

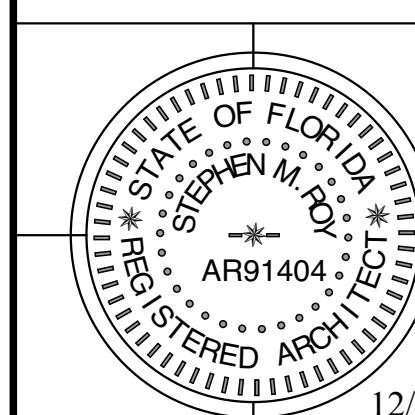


4 A.11 SECTION DIAGRAM AT SOUTH BOUNDARY

SCALE: 1/4" = 1'-0"

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AR91404



12/1/22

HOLDEN RESIDENCE
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DELRAY BEACH, FL 33483

-1" ACTUAL

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SCALE: AS NOTED

DRAWN: SMR

JOB:

SHEET:

PERMIT DATE

DATE: 12/1/22

SCALE: AS NOTED

DRAWN: SMR

JOB:

SHEET:

PERMIT DATE

DATE: 12/1/22

SCALE: AS NOTED

DRAWN: SMR

JOB:

SHEET:

PERMIT DATE

DATE: 12/1/22

SCALE: AS NOTED

DRAWN: SMR

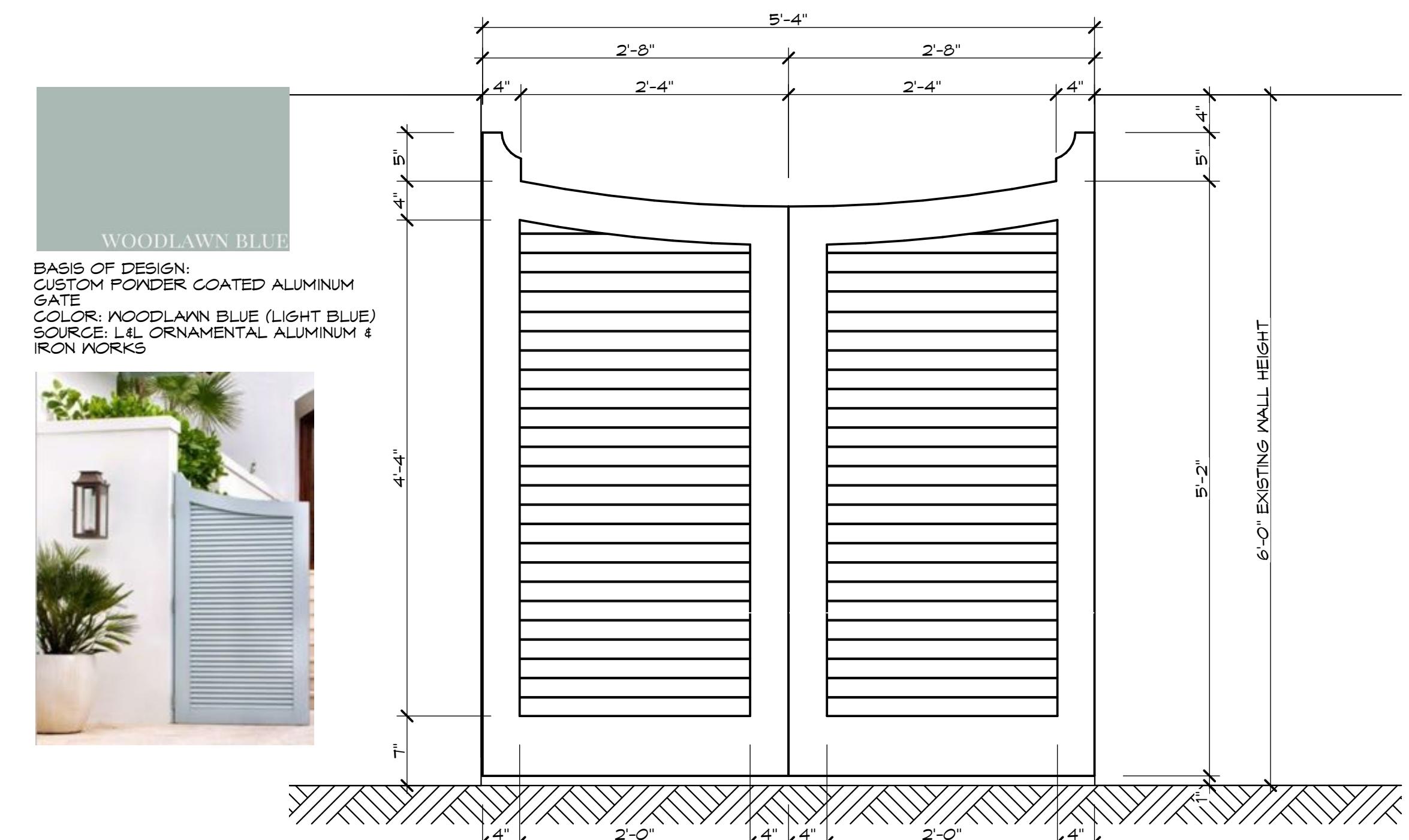
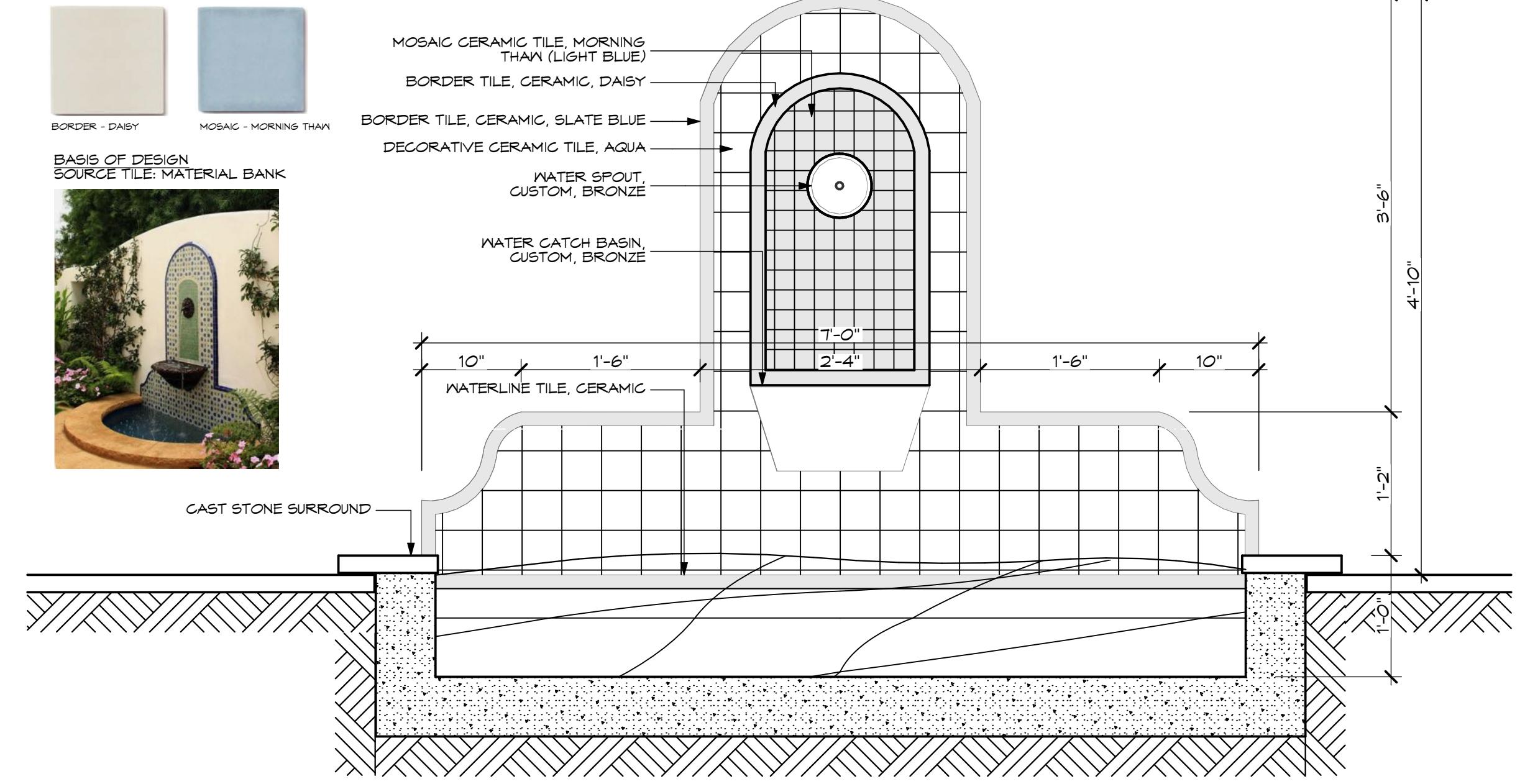
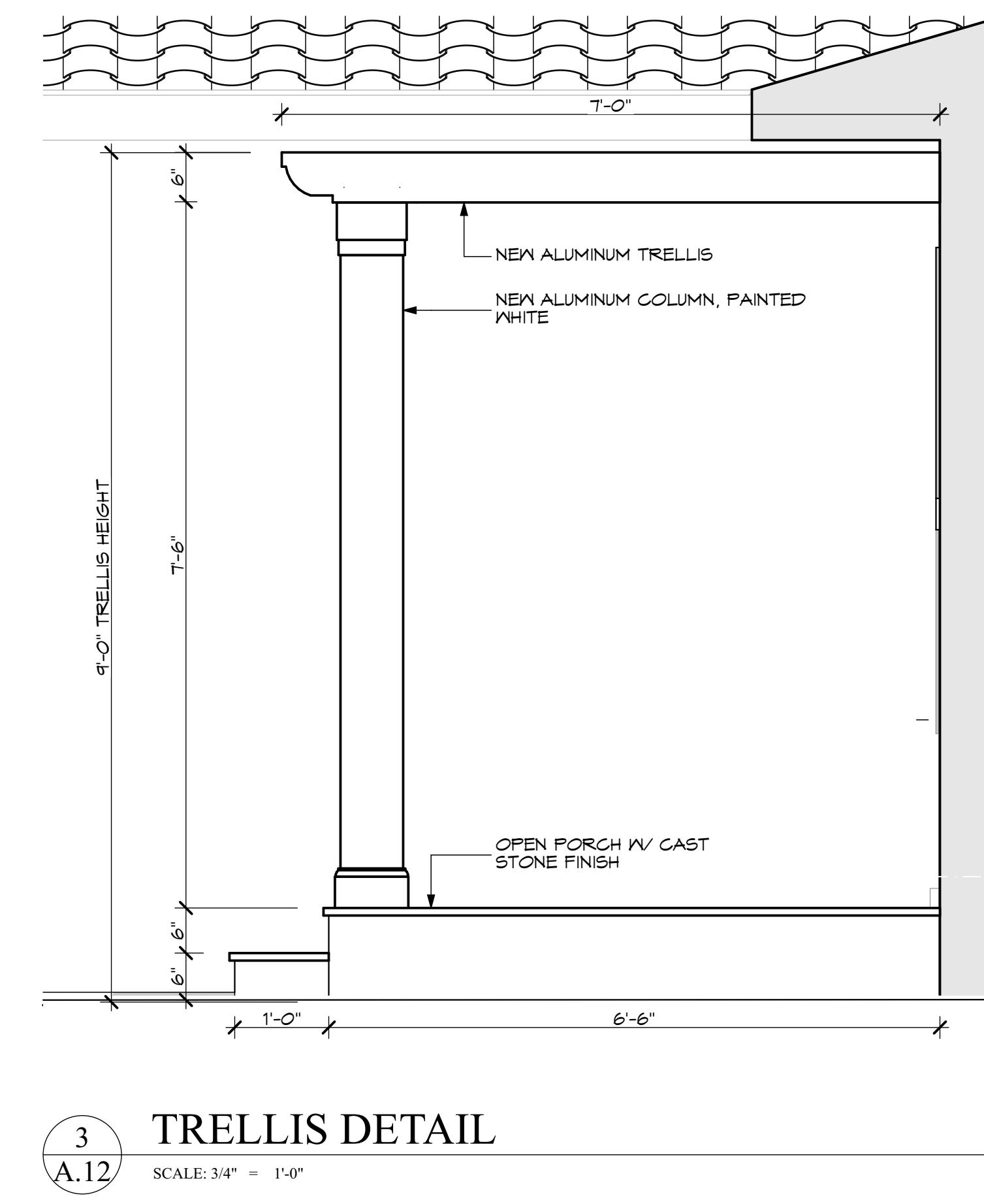
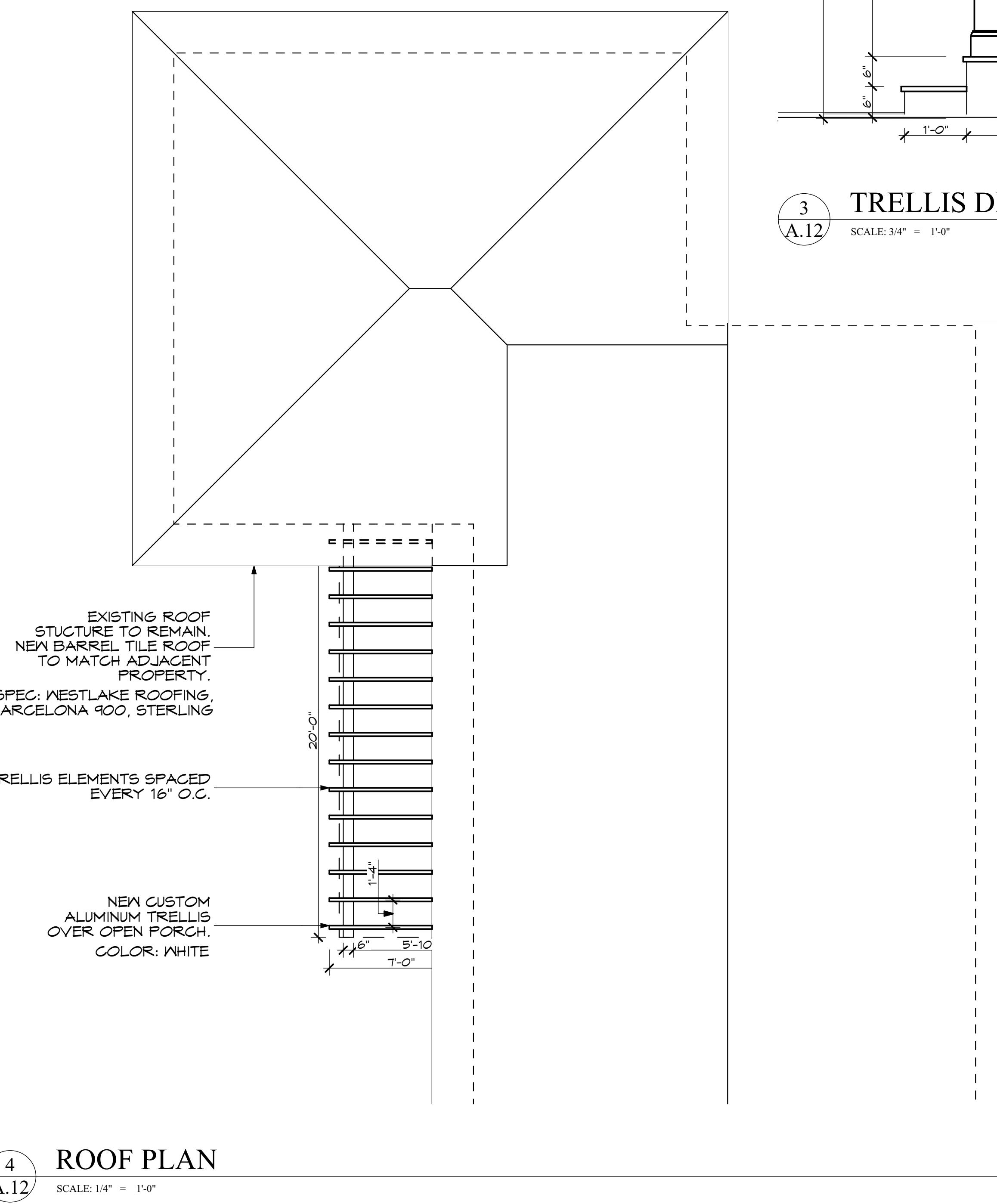
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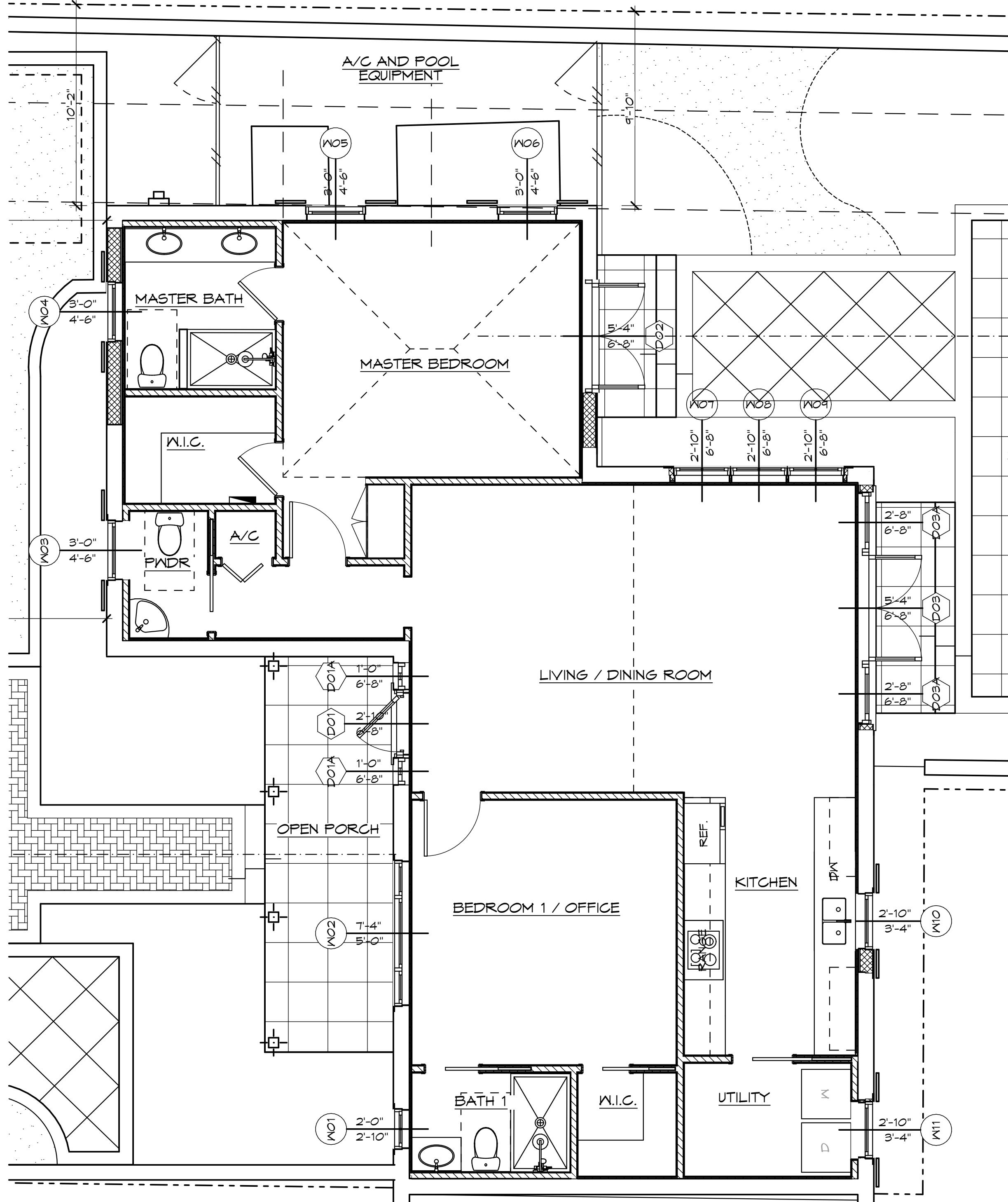
SHEET:

PERMIT DATE

A.11

Plotted On: 12/1/22





1 FIRST FLOOR PLAN
A.13

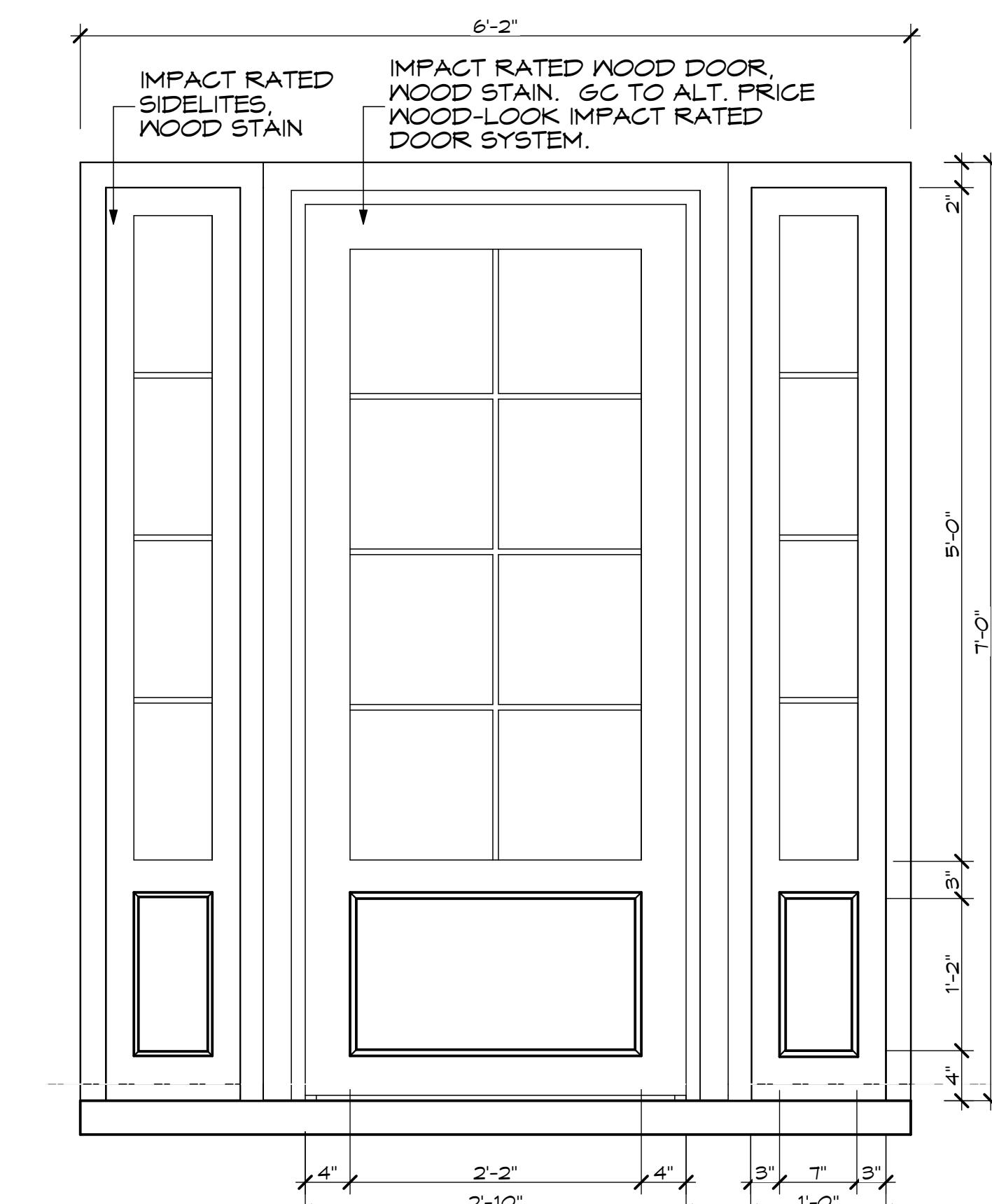
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE									
MARK	WIDTH	HEIGHT	LOCATION	TYPE	MATERIAL	GLASS REFLECTIVITY	NOTES	INTERIOR/EXTERIOR	PRODUCT APPROVAL
D01	2'-10"	6'-8"	MAIN ENTRY	SWING	WOOD STAIN	CLEAR, NO-TINT, NON-REFLECTIVE	3/4 LITE	EXTERIOR DOOR	ANDERSEN A SERIES (+65/-70 PSF) FL# 14285; GC TO ALT. PRICE "SIGNATURE DOOR" CUSTOM WOOD IMPACT RATED DOOR SYSTEM
D01A	1'-0"	6'-8"	MAIN ENTRY	SIDELITE	WOOD STAIN	CLEAR, NO-TINT, NON-REFLECTIVE	FIXED PANEL WITH 3/4 GLASS LITE RE: ELEVATIONS	EXTERIOR DOOR	ANDERSEN A SERIES (+65/-65 PSF) FL# 14431
D01A	1'-0"	6'-8"	MAIN ENTRY	SIDELITE	WOOD STAIN	CLEAR, NO-TINT, NON-REFLECTIVE	FIXED PANEL WITH 3/4 GLASS LITE RE: ELEVATIONS	EXTERIOR DOOR	ANDERSEN A SERIES (+65/-65 PSF) FL# 14431
D02	5'-4"	6'-8"	MASTER BEDROOM	DBL. SWING	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE	FULL LITE	EXTERIOR DOOR	ANDERSEN A SERIES (+65/-70 PSF) FL# 14285
D03	5'-4"	6'-8"	LIVING/ DINING ROOM	DBL. SWING	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE	FULL LITE	EXTERIOR DOOR	ANDERSEN A SERIES (+65/-70 PSF) FL# 14285
D03A	2'-8"	6'-8"	LIVING/ DINING ROOM	SIDELITE	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE	FULL LITE	EXTERIOR DOOR	ANDERSEN A SERIES (+65/-65 PSF) FL# 14431
D03A	2'-8"	6'-8"	LIVING/ DINING ROOM	SIDELITE	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE	FULL LITE	EXTERIOR DOOR	ANDERSEN A SERIES (+65/-65 PSF) FL# 14431

GC TO CONFIRM: DOOR SELECTIONS ARE CLEAR GLASS, NON-REFLECTIVE. ALL MUNTINS TO BE DIMENSIONAL (EXTRuded FROM FACE OF GLASS).

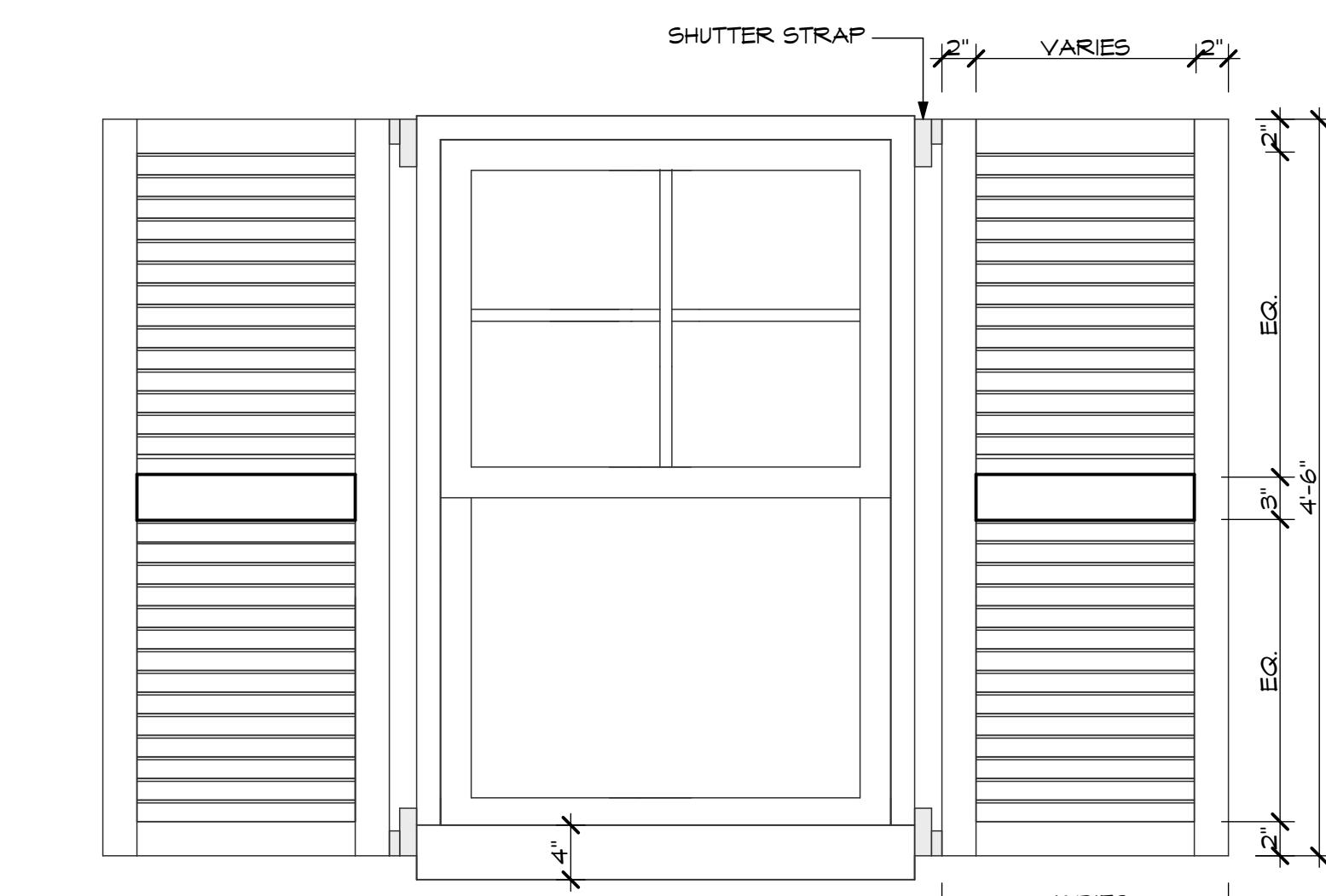
WINDOW SCHEDULE								
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	GLASS REFLECTIVITY	NOTES	PRODUCT APPROVAL	
W01	2'-0"	2'-10"	CASEMENT	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE			ANDERSEN A-SERIES (+/-70 PSF) FL# 15551
W02	7'-4"	5'-0"	DOUBLE HUNG; TRIPLE SASH	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE	**EGRESS WINDOW - OVERALL SIZE OF THREE SASH ASSEMBLY (3'-8" @ MIDDLE, 1'-10" @ SIDE SASHES)		ANDERSEN A SERIES (+/-70 PSF) FL# 15497
W03	3'-0"	4'-6"	DOUBLE HUNG	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE			ANDERSEN A SERIES (+/-70 PSF) FL# 15497
W04	3'-0"	4'-6"	DOUBLE HUNG	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE			ANDERSEN A SERIES (+/-70 PSF) FL# 15497
W05	3'-0"	4'-6"	DOUBLE HUNG	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE			ANDERSEN A SERIES (+/-70 PSF) FL# 15497
W06	3'-0"	4'-6"	DOUBLE HUNG	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE			ANDERSEN A SERIES (+/-70 PSF) FL# 15497
W07	2'-10"	6'-8"	FIXED	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE	FULL LITE	ANDERSEN A SERIES (+65/-65 PSF) FL# 14431	
W08	2'-10"	6'-8"	FIXED	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE	FULL LITE	ANDERSEN A SERIES (+65/-65 PSF) FL# 14431	
W09	2'-10"	6'-8"	FIXED	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE	FULL LITE	ANDERSEN A SERIES (+65/-65 PSF) FL# 14431	
W10	2'-10"	3'-4"	DOUBLE HUNG	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE	ANDERSEN A SERIES (+/-70 PSF) FL# 15497		
W11	2'-10"	3'-4"	DOUBLE HUNG	ALUMINUM - WHITE	CLEAR, NO-TINT, NON-REFLECTIVE	ANDERSEN A SERIES (+/-70 PSF) FL# 15497		

GC TO CONFIRM: WINDOW SELECTIONS CLEAR GLASS, NON-REFLECTIVE. ALL MUNTINS TO BE DIMENSIONAL (EXTRuded FROM FACE OF GLASS). **VERIFY ALL EGRESS WINDOWS MEET MIN. SIZE REQUIREMENTS FOR EGRESS PRIOR TO ORDERING.



2 FRONT DOOR ELEVATION
A.13

SCALE: 1" = 1'-0"



3 SHUTTER DETAIL
A.13

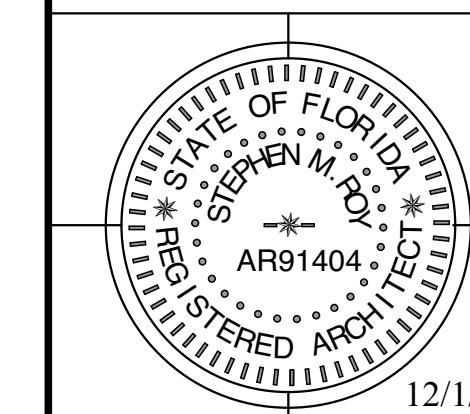
SCALE: 1" = 1'-0"

DATE: 12/1/22
SCALE: AS NOTED
DRAWN: SMR
JOB:
SHEET:
PERMIT DATE

A.13

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LANDSCAPE
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FLORIDA REGISTERED ARCHITECT
AR91404



HOLDEN RESIDENCE
229 VENETIAN DR
DELRAY BEACH, FL 33483
1'-ACTUAL

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