



HISTORIC PRESERVATION BOARD STAFF REPORT

200 NE 5th Court

Meeting	File No.	Application Type
April 2, 2025	2025-049	Certificate of Appropriateness

REQUEST

The item before the Board is consideration of a Certificate of Appropriateness (2025-049) request for the installation of a standing seam metal roof and other exterior modifications on an existing non-contributing, one-story, single-family residence located at **200 NE 5th Court, Del-Ida Park Historic District**.

GENERAL DATA

Owner: Thomas J. Connolly
Location: 200 NE 5th Court
PCN: 12-43-46-09-29-008-0010
Property Size: 0.14 Acres
Zoning: RL (Low Density Residential)
Historic District: Del-Ida Park Historic District
LUM Designation: LD (Low Density)
Adjacent Zoning:

- RL (North)
- RL (East)
- RL (South)
- R-1-AA (West)

Existing Land Use: Residential
Proposed Land Use: Residential



BACKGROUND AND PROJECT DESCRIPTION

The subject property consists of Lot 1, Block 8 of Del-Ida Park. The property is located within the locally designated Del-Ida Park Historic District and contains a non-contributing, one-story structure constructed in 1952. According to the original Yellowcards, the existing structure is constructed out of CBS with a smooth stucco exterior, and a pitch and gravel roof.

On October 24, 2018, staff administratively approved a Certificate of Appropriateness (2018-194) for the replacement of existing windows and doors, repair of the existing fence, and painting of the exterior façade.

The subject request is a Certificate of Appropriateness (COA) for the replacement of an asphalt shingle roof to a Champagne color (SW 6644), standing seam, metal roof. Other proposed modifications include the construction of an open-air porch to the rear of the structure and the replacement of existing windows to single hung white aluminum with clear glass. It is noted that as the structure is non-contributing to the district, the window modifications and construction of the rear porch can be reviewed administratively (by staff). Specifically, the change of material and proposed roof color require review by the HPB. The request is now before the board.

Project Planner: Katherina Paliwoda, Planner paliwodak@mydelraybeach.com	Review Dates: April 2, 2025	Attachments: 1. Color and Materials 2. Plans 3. Photographs
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REVIEW AND ANALYSIS

Pursuant to Land Development Regulation (LDR) Section 2.4.12(A)(5), prior to approval, a finding must be made that any Certificate of Appropriateness is consistent with Historic Preservation purposes pursuant to Objective HPE 1.4 of the Historic Preservation Element of the Comprehensive Plan; the provisions of Section 4.5.1; the Delray Beach Historic Preservation Design Guidelines; and, the Secretary of the Interior's Standards for Rehabilitation.

ZONING AND USE REVIEW

Pursuant to LDR Section 4.4.5(B) – Low Density Residential (RL) Principal Uses: The provisions for R-1-A shall apply for single-family detached dwellings.

The existing use is single-family residential, which is a permitted use within the RL zoning district.

LDR SECTION 4.5.1

HISTORIC PRESERVATION: DESIGNATED DISTRICTS, SITES, AND BUILDINGS

Pursuant to LDR Section 4.5.1(E), Development Standards, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

Pursuant to LDR Section 4.5.1(E)(2) – Minor Development.

The subject application is considered "Minor Development" as it involves the modification of less than 25 percent of the existing non-contributing single-family residence.

Pursuant to LDR Section 4.5.1E(3) – Buildings, Structures, Appurtenances and Parking: Buildings, structures, appurtenances and parking shall only be moved, reconstructed, altered, or maintained, in accordance with this chapter, in a manner that will preserve the historical and architectural character of the building, structure, site, or district:

Pursuant to LDR Section 4.5.1(E)(4) – Alterations: in considering proposals for alterations to the exterior of historic buildings and structures and in applying development and preservation standards, the documented, original design of the building may be considered, among other factors.

The subject request involves replacement of the existing asphalt shingle roof with a Champagne color (SW 6644), standing seam metal roof on the existing non-contributing, single-family residence. The existing asphalt shingle roof material is original to the structure. The structure has been considered with respect to improvements.

SECRETARY OF THE INTERIORS STANDARDS

Pursuant to LDR Section 4.5.1(E)(5) - Standards and Guidelines: a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

Standard 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Standard 6

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard 10

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The use of the property will remain a single-family residence as it was traditionally used. In addition, the use of standing seam metal roofs are common within this historic district particularly for non-contributing structures, so the request can be considered visually compatible with other structures within the historic district. With regard to the construction of the open-air rear porch, it can be considered compatible with the massing, scale, and architectural style of the existing structure. Finally, the open-air porch and the new roof materials can be considered appropriate within the historic streetscape.

VISUAL COMPATIBILITY STANDARDS

Pursuant to LDR Section 4.5.1(E)(7) – **Visual Compatibility Standards**: new construction and all improvements to both contributing and noncontributing buildings, structures, and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(2) shall be determined by utilizing criteria contained in (a)-(m) below.

- a. **Height:** The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.1(2)(a), shall also be determined through application of the Building Height Plane.
- b. **Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- c. **Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- d. **Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- e. **Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- f. **Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- g. **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- h. **Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- i. **Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
- j. **Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a

historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:

- a. For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line:
- b. For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line:
- k. **Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
- l. **Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.
- m. **Additions to individually designated properties and contributing structures in all historic districts:** Visual compatibility shall be accomplished as follows:
 1. Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.
 2. Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.
 3. Characteristic features of the original building shall not be destroyed or obscured.
 4. Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.
 5. Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design but shall be coherent in design with the existing building.
 6. Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.

Regarding the **Roof Shape** visual compatibility standard, the roof line of the proposed porch will be slightly shorter than the original structure but will be at the same 8' in height under roof. There are no proposed changes to the structure's existing roof shape. With respect to **Relationship of Materials, Texture, and Color, and Roof Shapes**, the proposal includes the installation of a new standing seam metal roof in the color of Champagne (SW 6644) to replace the existing gray asphalt shingle roof and for the proposed porch. The column exterior will be a smooth stucco in Pure White (SW 7005) which will match the material and color of the existing structure. While there has been much debate over the use of metal roofing within Delray Beach's five historic districts, it is a material that has been documented as being utilized on a case-by-case basis within Delray Beach. Although asphalt shingle would be the most compatible roof material for existing historic/contributing structures, the structure is classified as a non-contributor and is not anticipated to be reclassified as contributing in the near future. The concern is with the proposed material color, as mill finish, metal roofing is the most appropriate for use within a historic district. The board would need to make a determination that the Champagne color (SW 6644), standing seam metal roof is an appropriate roofing material for use on the subject masonry structure that allows for the relationship of materials, color, and texture to be considered visually compatible with the predominant materials used in the historic buildings within the Del-Ida Park Historic District.

The existing windows on the residence are also proposed to be replaced with single hung, white aluminum frames with mullions, with clear glass. As previously noted, the windows can be reviewed administratively and would be processed via a building permit. However, there a new openings (door) proposed on the south side elevation, and a new window on the north elevation. The (west) side of the residence has 4 existing windows that will be replaced with an aluminum impact resistant sliding glass

door to create an entryway accessing the proposed open-air porch. With regard to **Windows and Doors**, as the property is non-contributing there are no concerns of altering the historic integrity of the structure.

COMPREHENSIVE PLAN

Pursuant to the Historic Preservation Element (HPE), Objective 1.4, Historic Preservation Planning: Implement appropriate and compatible design and planning strategies for historic sites and properties within historic districts.

The objective shall be met through continued adherence to the City’s Historic Preservation Ordinance and, where applicable, architectural design guidelines through the following policies:

Historic Preservation Element 1.4.1 Prior to approval or recommending approval of any land use or development application for property located within a historic district or designated as a historic site, the Historic Preservation Board must make a finding that the requested action is consistent with the provisions of Section 4.5.1 of the Land Development Regulations relating to historic sites and districts and the “Delray Beach Design Guidelines”.

The development proposal involves the replacement of the existing asphalt shingle roofing with a Champagne color (SW 6644) standing seam metal roof and other exterior alterations. There are no concerns with respect to soil, topographic or other physical considerations. With respect to the adjacent land uses, the property is in an area surrounded by residential uses. The board will need to determine that the proposal is consistent with the requirements of the Comprehensive Plan, and the provisions of LDR Section 4.5.1 relating to historic sites and districts as well as the “Delray Beach Historic Preservation Design Guidelines”.

ALTERNATIVE ACTIONS

- A. Move to continue with direction.
- B. Approve Certificate of Appropriateness (2025-049), for the property located at **200 NE 5th Court, Del-Ida Park Historic District**, by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations.
- C. Approve Certificate of Appropriateness (2025-049), for the property located at **200 NE 5th Court, Del-Ida Park Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations, subject to the following conditions:
- D. Deny Certificate of Appropriateness (2025-049), for the property located at **200 NE 5th Court, Del-Ida Park Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

PUBLIC AND COURTESY NOTICES

<input checked="" type="checkbox"/> Courtesy Notices were provided to the following, at least 5 working days prior to the meeting: Del-Ida Historic Neighborhood	<input checked="" type="checkbox"/> Public Notices are not required for this request. <input checked="" type="checkbox"/> Agenda was posted on 3/26/25, 5 working days prior to meeting.
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TAC Timeline Table			
Review No.	Submittal Date	TAC Comments Transmitted	Fee Due with Next Submittal?:
1	11/07/2024	11/22/2024	No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Amount: _____
EX	Extension Request	2/28/2025	Approved on 2/04/2025
2	02/11/2025	Board Ready 2/14/2025	No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Amount: _____



HOUSE BODY COLOR
SHERWIN WILLIAMS
PURE WHITE
SW7005



HOUSE ROOF COLOR
SHERWIN WILLIAMS
CHAMPAGNE
SW6644
STANDING SEAM METAL 16" PANELS

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CONNOLLY RESIDENCE

200 NE 5TH CT

DELRAY BEACH, FL 33444

JOB NUMBER: 2024-026

STARTED: 02/26/2024
PRELIM: 04/09/2024
PRELIM 2: 04/26/2024
PRELIM 3:
PRELIM FINAL: 05/06/2024

CONST DOCS:
BLDG DEPT:
BLDG DEPT:
BLDG DEPT:

AS-BUILTS:
ISSUED: 3/14/2025
SHEET

A-8



EXISTING NORTH FACADE
SCALE: NTS



EXISTING NORTH FACADE
SCALE: NTS



EXISTING NORTH FACADE
SCALE: NTS



EXISTING NORTH FACADE
SCALE: NTS



EXISTING WEST FACADE
SCALE: NTS



EXISTING SOUTH FACADE
SCALE: NTS

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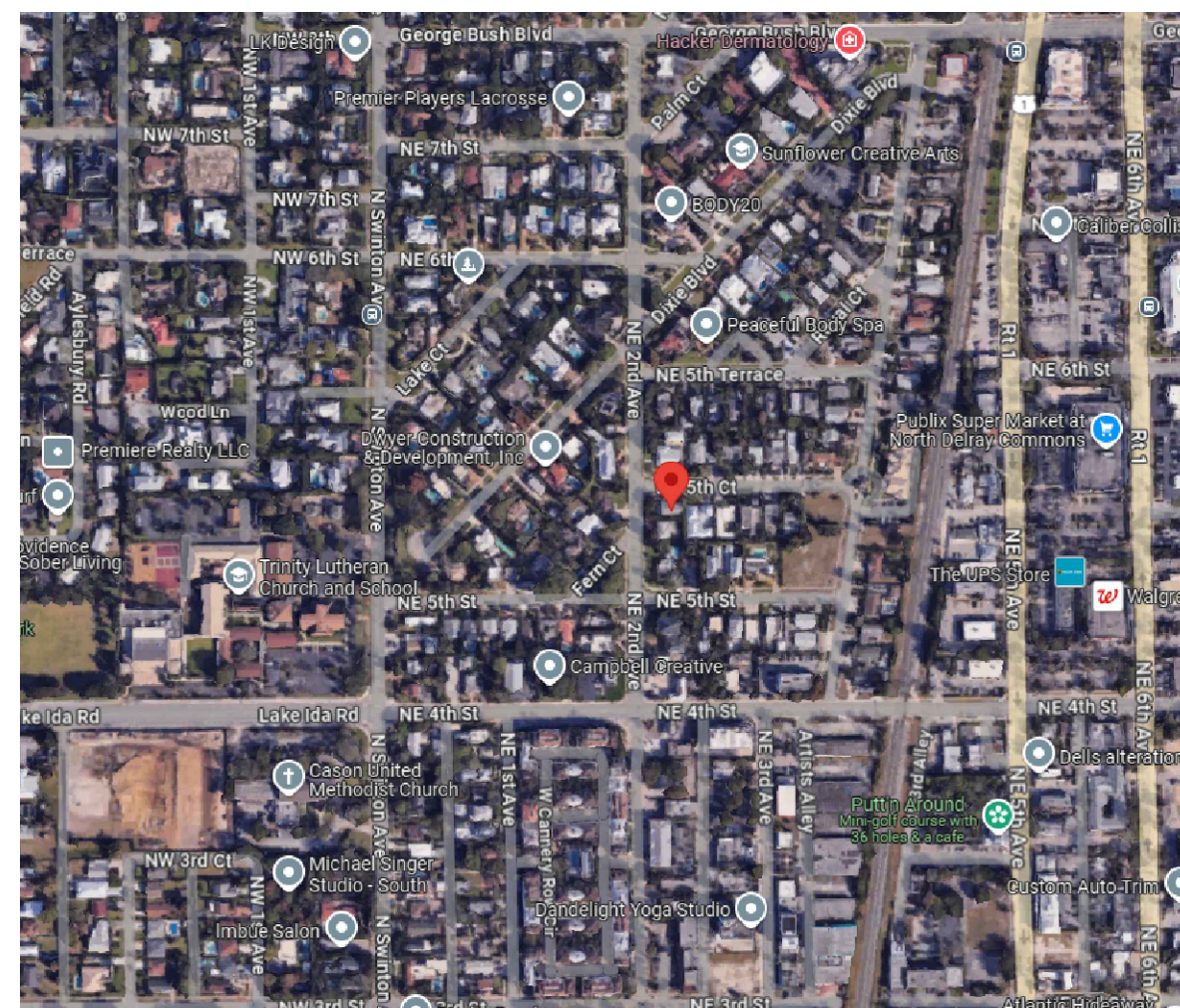
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ARCHITECTURE**
551 NW 77TH ST SUITE 107
BOCA RATON, FL 33487

CONNOLLY RESIDENCE
200 NE 5TH CT
DELRAY BEACH, FL 33444
JOB NUMBER: 2024-026

STARTED: 02/26/2024
PRELIM: 04/09/2024
PRELIM 2: 04/26/2024
PRELIM 3:
PRELIM FINAL: 05/06/2024
CONST DOCS:
BLDG DEPT:
BLDG DEPT:
BLDG DEPT:
AS-BUILTS:
ISSUED: 2/3/2025
SHEET

A-6

CRITERIA	REQUIRED	EXISTING	PROPOSED
BUILDING SETBACKS			
FRONT	25'	19.09'	19.09'/25.06'
SIDE	7.5'	10.08'	10.08'
SIDE STREET	15'	45.43'	34.44'
REAR	10'	10.72'	10.72'
NUMBER OF STORIES	3	1	1
LOT WIDTH	80'	60.0'	60.0'
LOT DEPTH	100'	105'	105'
FRONTAGE	80'	163.19'	163.19'
SITE AREA	7,500	6,168	6,168
PERVIOUS/IMPERVIOUS	N/A	3,705/2,463'	3,705/2,463'
OPEN SPACE	25%	60.07%	60.07%
WATER BODIES	N/A	N/A	N/A
GROUND FLOOR AREA	1,000'	1,336'	1,336'
LOT COVERAGE	N/A	21.66%	21.66%
FLOOR AREA RATIO (FAR)	0.70	0.22	0.22
NUMBER OF DWELLING UNITS	N/A	1	1
DENSITY	N/A	1	1
	DWELLING UNITS		
STUDIO/EFFICIENCY	NUMBER OF UNITS	SQ FT UNDER AIR	TOTAL SQ FT
1 BEDROOM			
2 BEDROOM	1	1,336	1,336
3 BEDROOM			
4 BEDROOM			
	PARKING SPACES REQUIRED		
USE	# OF SPACES	REQUIRED	EXISTING
REGULAR SPACES	2	2	2
COMPACT SPACES	0	0	0
ACCESSIBLE SPACES	0	0	0
TOTALS	2	2	2
BIKE RACKS	0	0	0



LOCATION MAP
SCALE: NTS

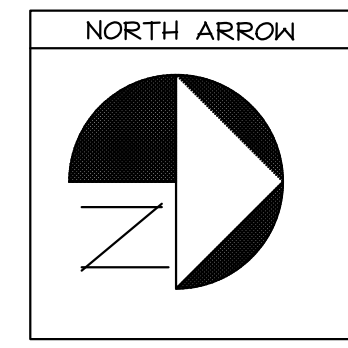
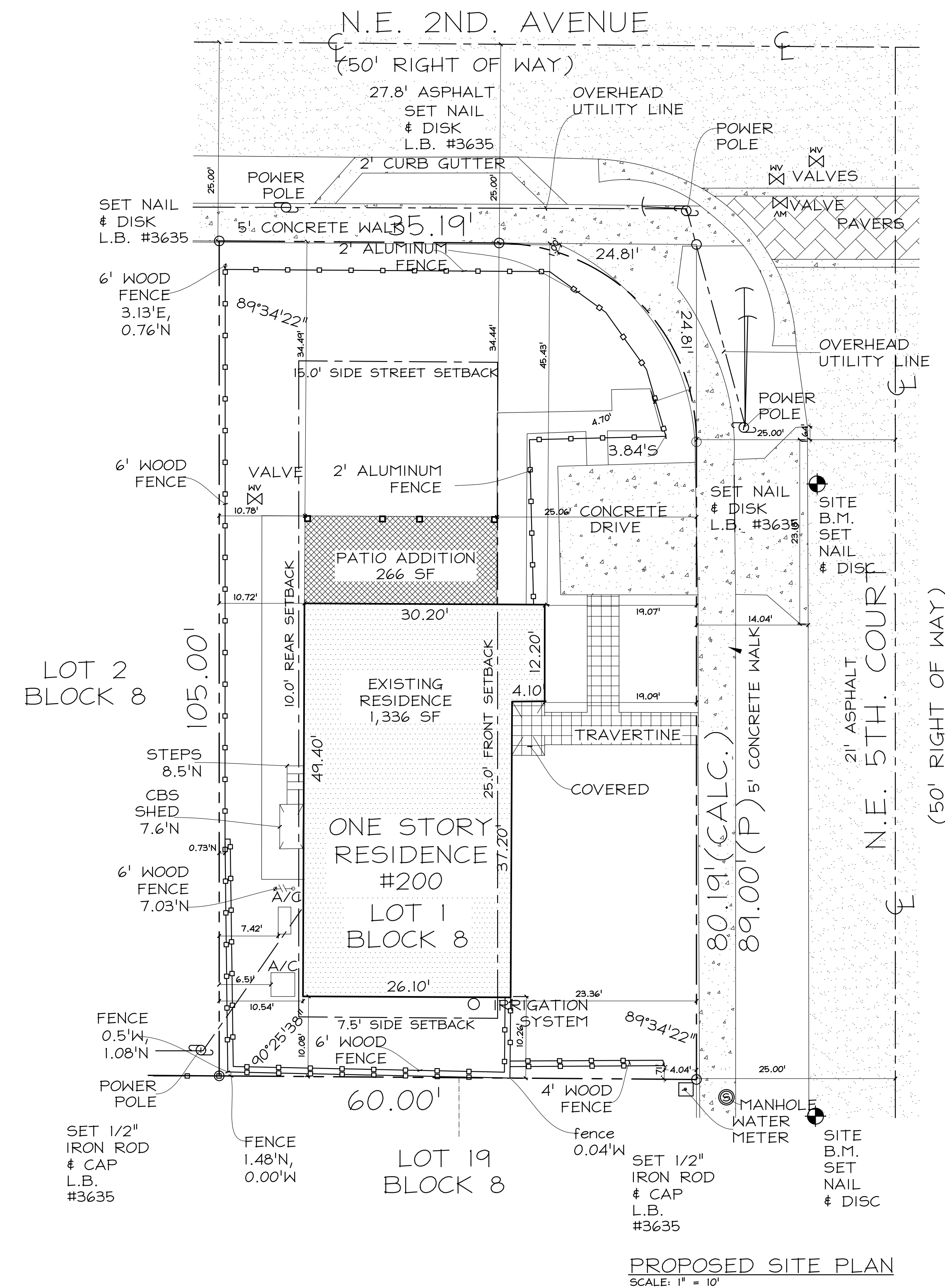
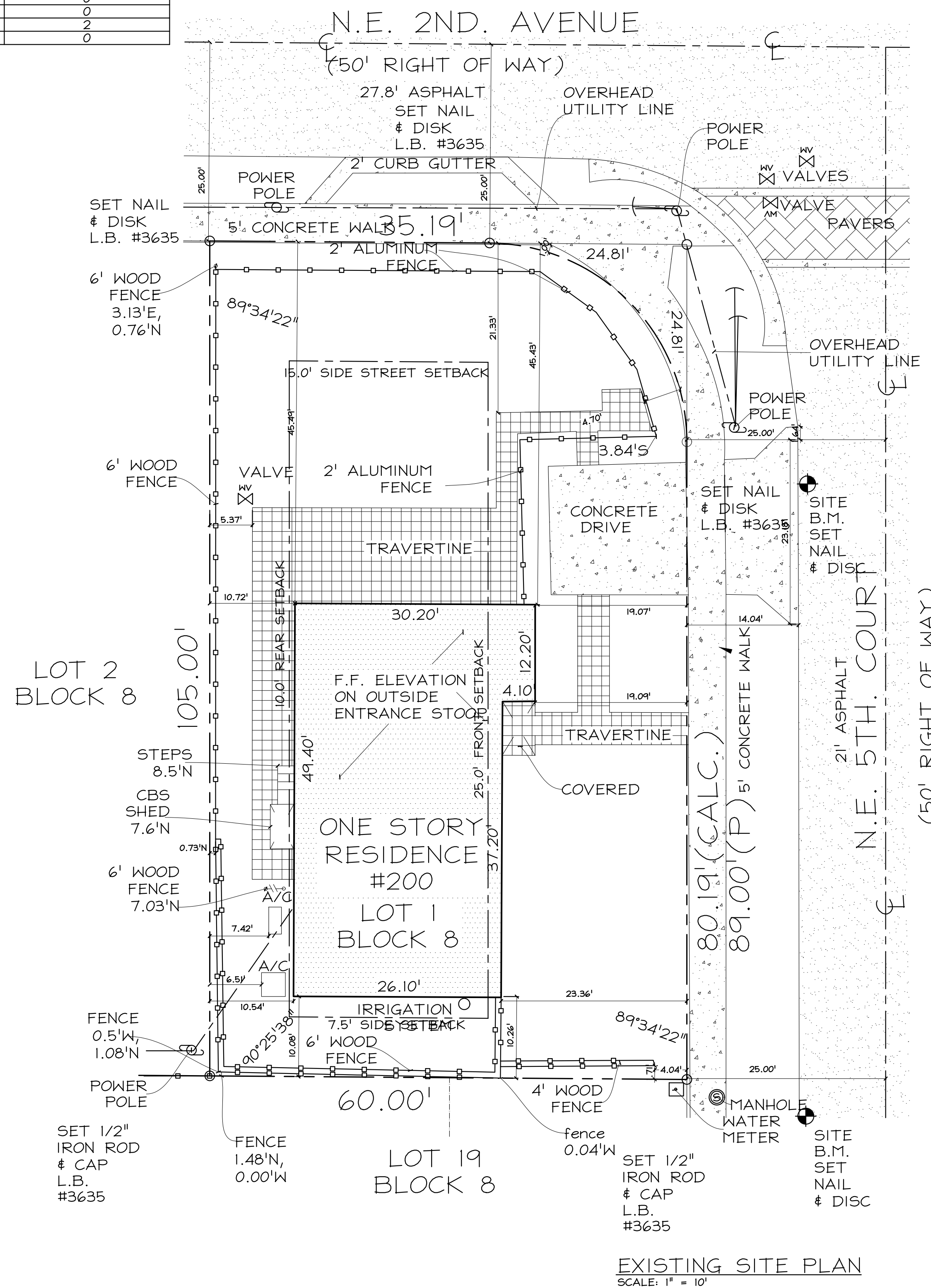
LEGAL DESCRIPTION:

LOT 1, BLOCK 8, DEL-IDA PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 9, PAGE 52, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

PARCEL IDENTIFICATION NUMBER 12-43-46-09-29-008-0010

SITE AREA CALCULATIONS

SITE AREA	6,168 SQ FT	100.00%
HOUSE AREA	1,336 SQ FT	
TOTAL AREA	1,336 SQ FT	21.66%
DRIVES/WALK	605 SQ FT	
PATIO ADDITION	266 SQ FT	
REAR WALK/AC	256 SQ FT	
TOTAL NON	1,127 SQ FT	18.27%
GREEN SPACE	3,705 SQ FT	60.07%



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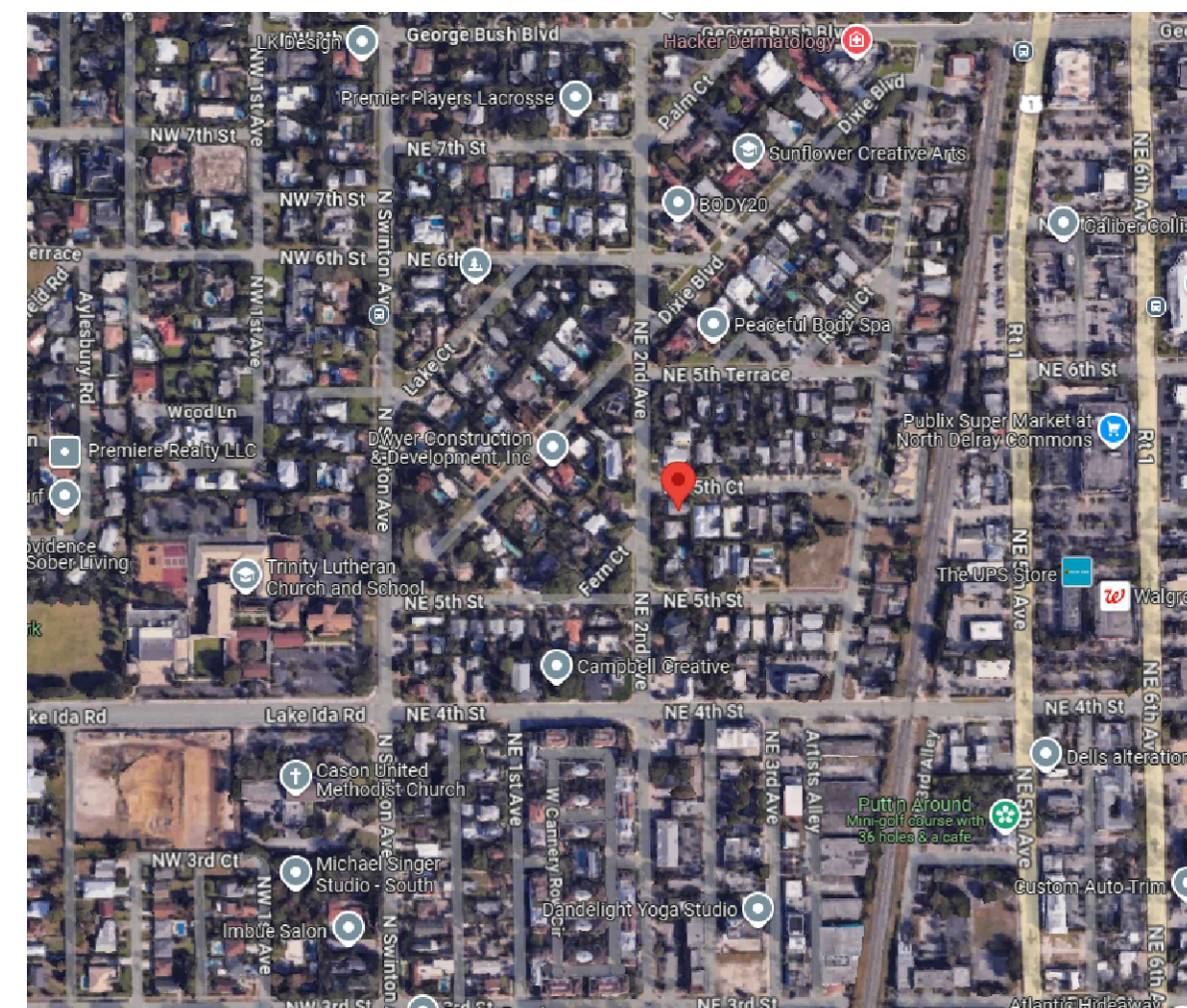
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PRELIM FINAL:
CONST DOCS:
BLDG DEPT:
BLDG DEPT:
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AS-BUILTS:
ISSUED: 2/7/2025

SHEET
SP-1

CRITERIA	REQUIRED	EXISTING	PROPOSED
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FRONT	25'	19.09'	19.09'/25.06'
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BIKE RACKS	0	0	0



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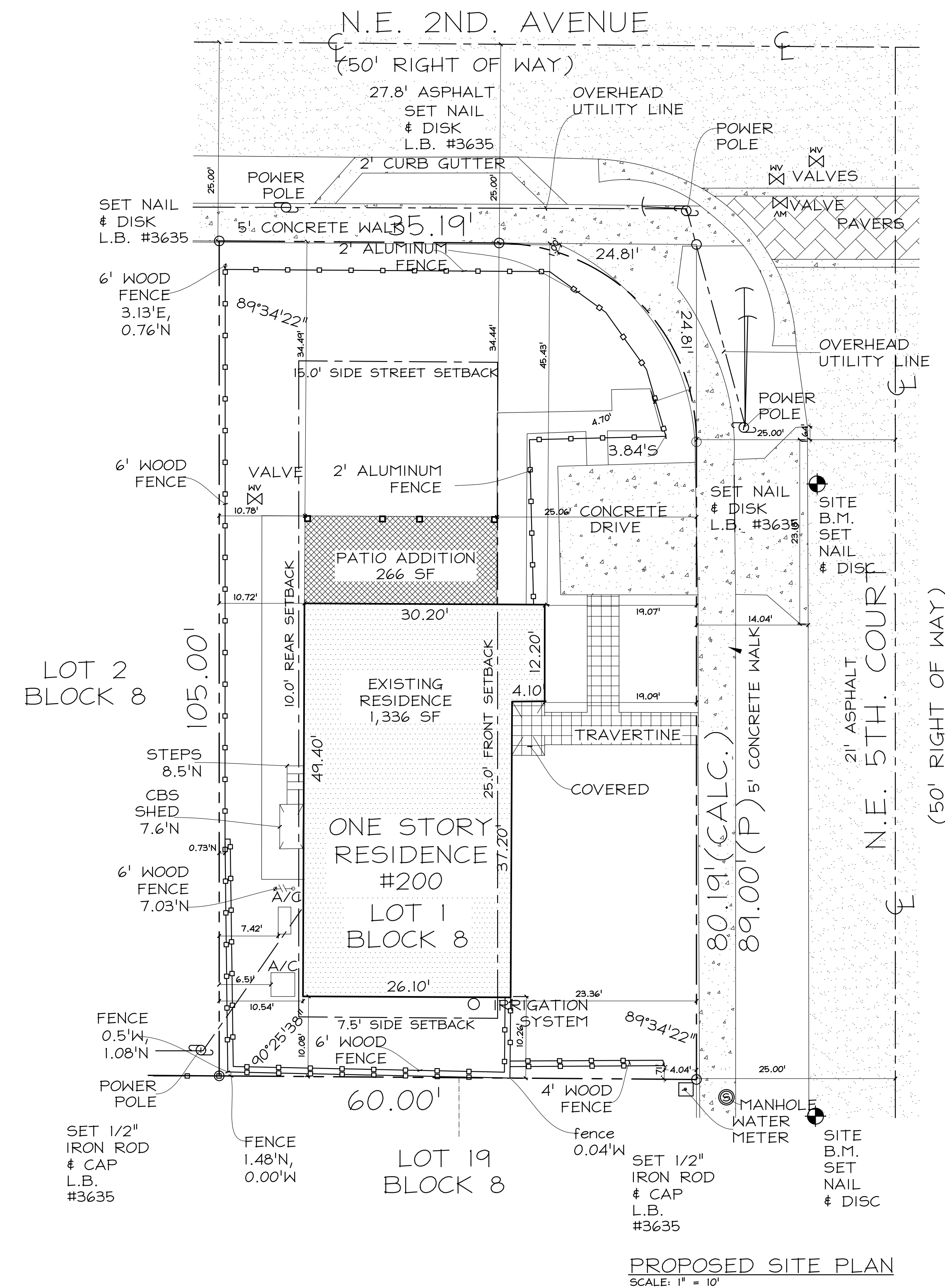
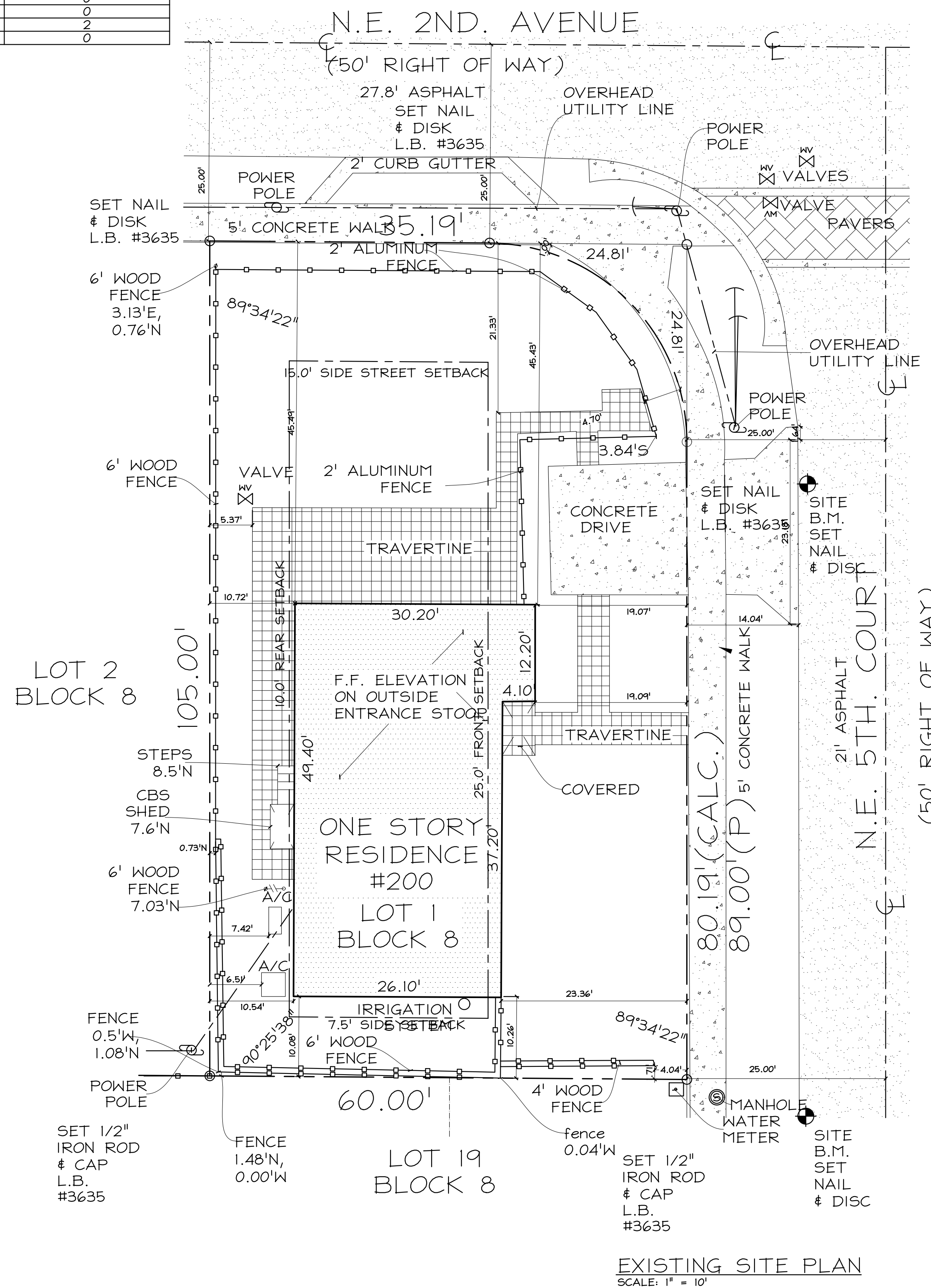
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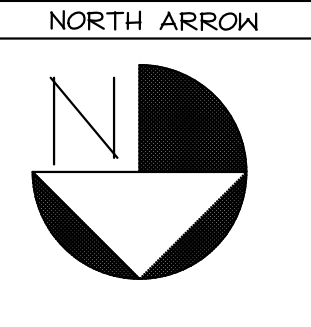
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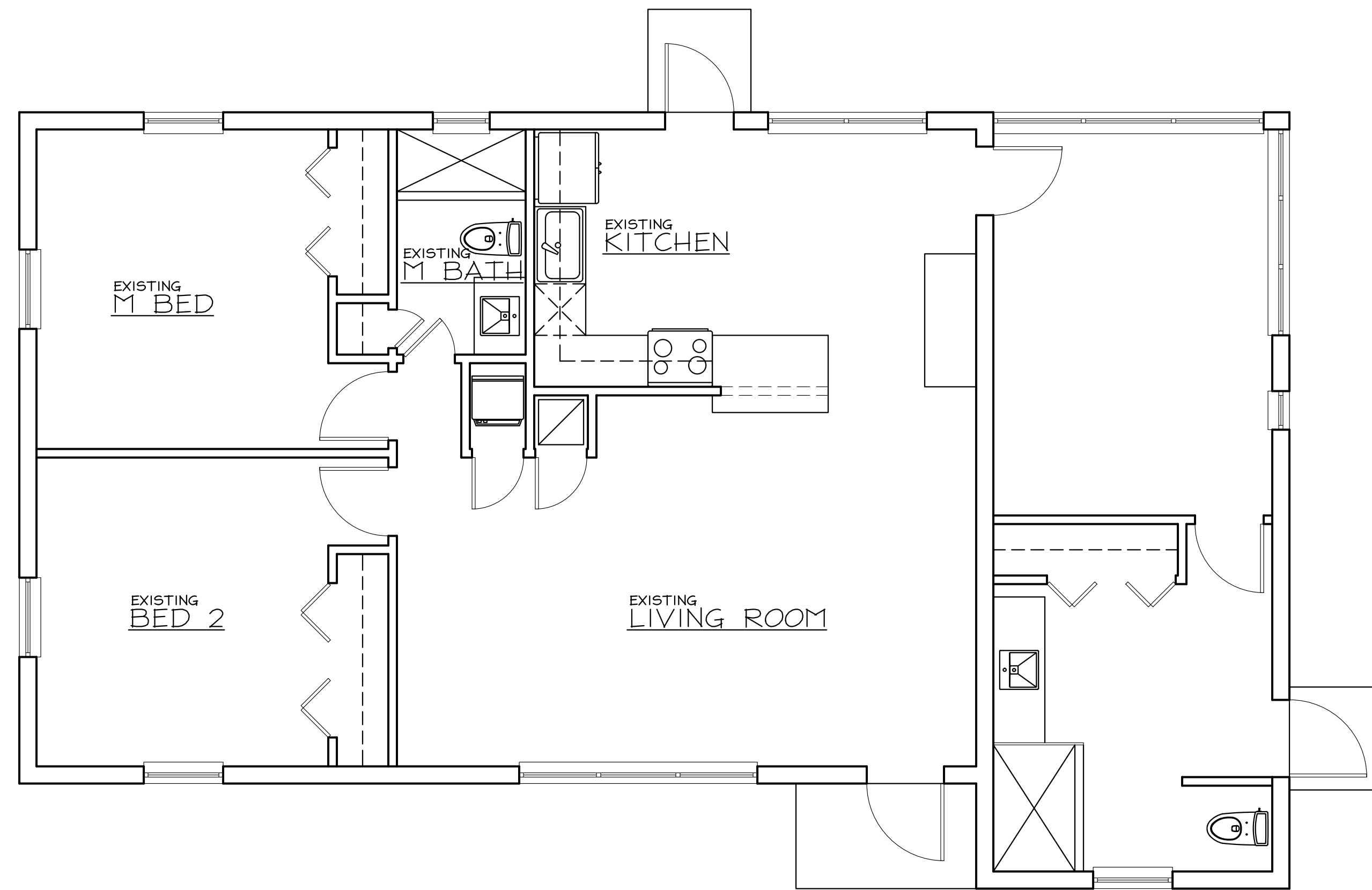
paul@charettearch.com
561-756-6094
mark@charettearch.com
954-809-9802
WWW.CHARETTEARCH.COM

**CHARETTE
INTERNATIONAL
ARCHITECTURE**
551 NW 77TH ST SUITE 107
BOCA RATON, FL 33487

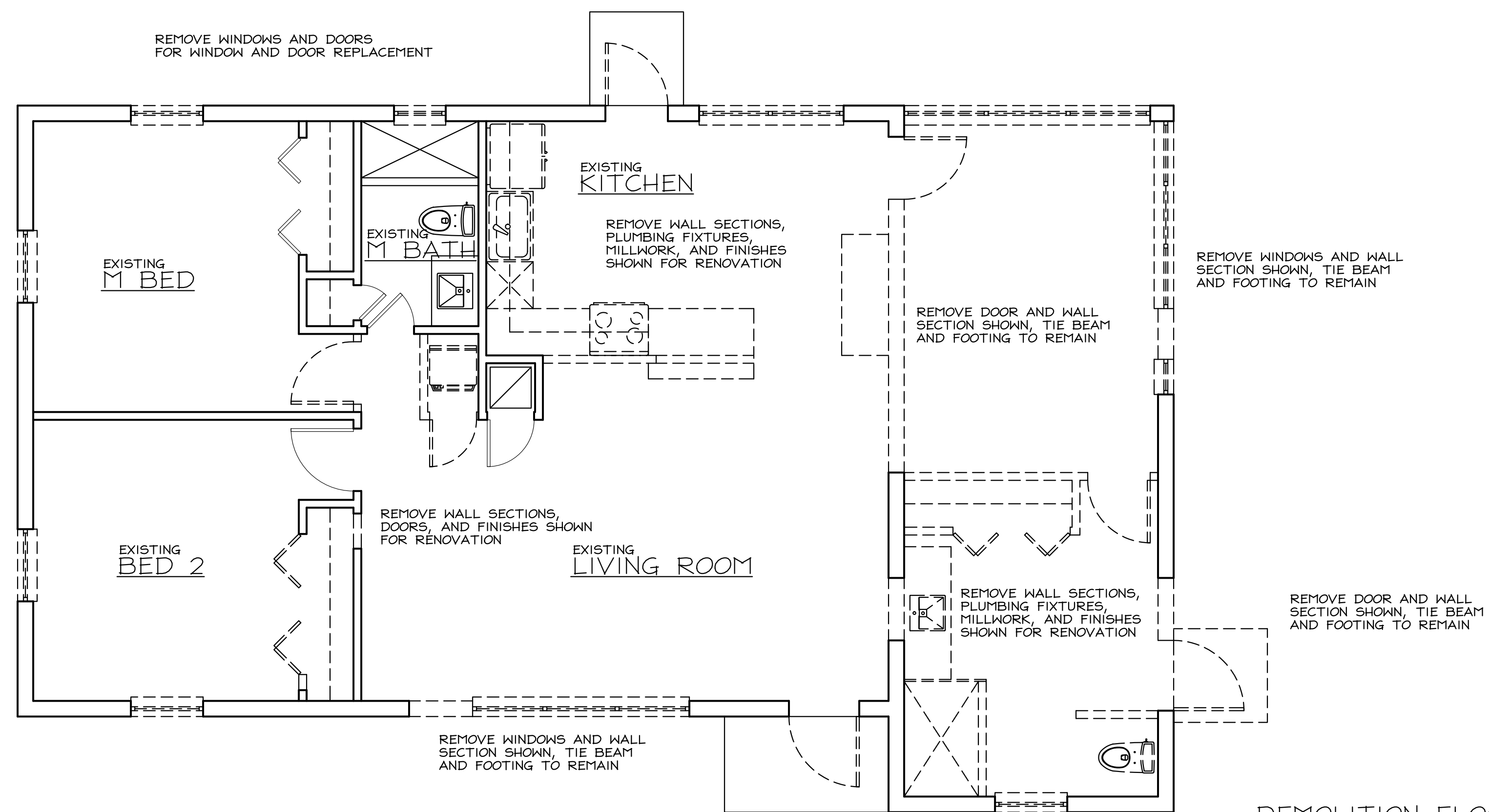
CONNOLLY RESIDENCE
200 NE 5TH CT
DELRAY BEACH, FL 33444
JOB NUMBER: 2024-026

STARTED: 02/26/2024
PRELIM: 04/09/2024
PRELIM 2:
PRELIM 3:
PRELIM FINAL:
CONST DOCS:
BLDG DEPT:
BLDG DEPT:
BLDG DEPT:
AS-BUILTS:
ISSUED: 2/3/2025
SHEET

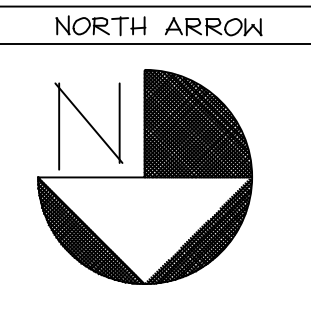
A-1



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



PAUL CHARETTE A.I.A.
LICENSE AR0016279

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ISSUED: 3/14/2025

SHEET

A-2

WEATHER FLASHING FOR CMU

PROVIDE FLASHING PER CODE WEATHER CAULKING ON ALL SIDES OF BUCKS BEFORE WINDOW INSTALL
PAINT CMU SILLS, JAMBS AND 8" AROUND OPENINGS WITH LATEX WATER WATERPROOFING
PROVIDE CAULKING ON WINDOWS AND DOORS PER NOA
PROVIDE CAULKING ON WINDOWS AND DOORS @ PERIMETER AFTER STUCCO APPLIED
PER FBC R612.1 AND R703.8.8

WINDOW SCHEDULE

ZONE	MARK	SIZE	WINDOW NOA	MO	REQUIRED WINDLOADS	MULLION NOA	COMMENTS	FRAME	GLASS
ZONE 5	W1	25SH	23-0707.10	37" X 63"	+36.3 -47.5		EGRESS	WHITE ALUM	CLEAR
ZONE 4	W2	25SH	23-0707.10	37" X 63"	+36.3 -39.5			WHITE ALUM	CLEAR
ZONE 4	W3	DBL 24SH	23-0707.10	(2) 37" X 50-5/8"	+36.3 -39.5	23-0913.05		WHITE ALUM	CLEAR
ZONE 5	W4	24SH	23-0707.10	37" X 50-5/8"	+36.3 -47.5			WHITE ALUM	CLEAR
ZONE 5	W5	TRP 24SH	23-0707.10	(3) 37" X 50-5/8"	+36.3 -47.5	23-0913.05		WHITE ALUM	CLEAR
ZONE 4	W6	DBL 24SH	23-0707.10	(2) 37" X 50-5/8"	+36.3 -39.5	23-0913.05		WHITE ALUM	CLEAR
ZONE 4	W7	H33SH	23-0707.10	26-1/2" X 33-3/8"	+38.0 -41.3			WHITE ALUM	CLEAR
ZONE 5	W8	25SH	23-0707.10	37" X 63"	+36.3 -47.5		EGRESS	WHITE ALUM	CLEAR
ZONE 5	W9	25SH	23-0707.10	37" X 63"	+36.3 -47.5		EGRESS	WHITE ALUM	CLEAR
ZONE 5	W10	25SH	23-0707.10	37" X 63"	+36.3 -47.5		EGRESS	WHITE ALUM	CLEAR

NOTE: CONTRACTOR TO VERIFY WITH WINDOW NOA BUCK SIZE TO BE IN FULL CONTACT, JAMB AND HEAD.
PER FBC 2023 ENERGY CONSERVATION CODE WINDOW MUST MATCH ENERGY CALCULATIONS AND MIN U-VALUE .40 AND SHGC .25
ALL GLAZING TO BE IMPACT RATED AS PER THE FBC 2023 - NO STORM PANELS REQUIRED

WEATHER FLASHING FOR CMU

PROVIDE FLASHING PER CODE WEATHER CAULKING ON ALL SIDES OF BUCKS BEFORE WINDOW INSTALL
PAINT CMU SILLS, JAMBS AND 8" AROUND OPENINGS WITH LATEX WATER WATERPROOFING
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PROVIDE CAULKING ON WINDOWS AND DOORS @ PERIMETER AFTER STUCCO APPLIED
PER FBC R612.1 AND R703.8.8

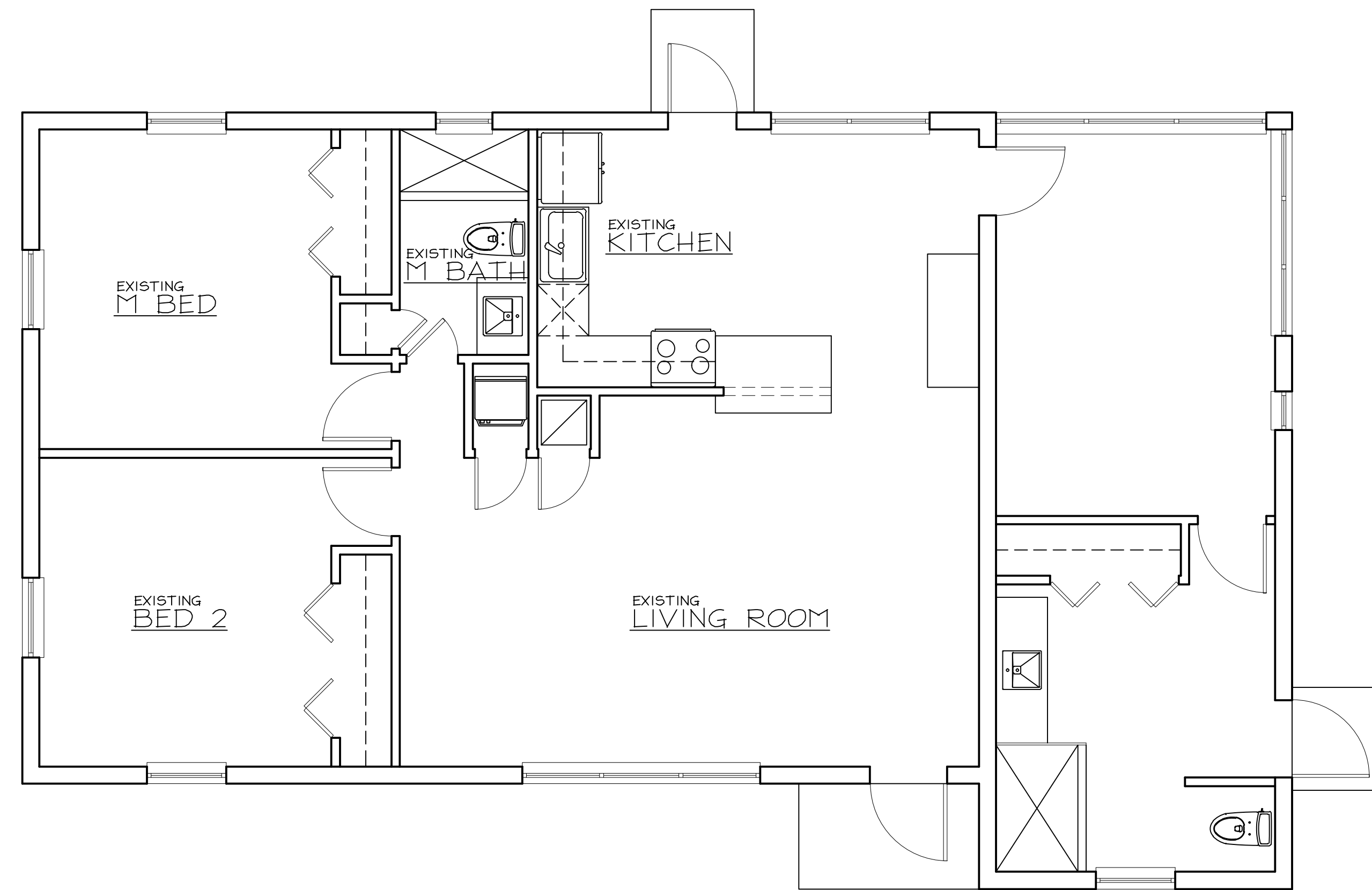
EXTERIOR DOOR SCHEDULE

ZONE	MARK	SIZE	MO	NOA	REQUIRED WINDLOADS	COMMENTS
ZONE 4	D1	3068 FD	36" X 80"	23-0724.04	+36.3 -39.5	
ZONE 4	D2	2868 FD	32" X 80"	23-0724.04	+36.3 -39.5	
ZONE 5	D3	9068 SGD	108" X 80"	23-0710.07	+36.3 -47.5	
ZONE 4	D4	2868 FD	32" X 80"	23-0724.04	+36.3 -39.5	

NOTE: CONTRACTOR TO VERIFY WITH WINDOW NOA BUCK SIZE TO BE IN FULL CONTACT, JAMB AND HEAD.
PER FBC 2023 ENERGY CONSERVATION CODE WINDOW MUST MATCH ENERGY CALCULATIONS AND MIN U-VALUE .40 AND SHGC .25
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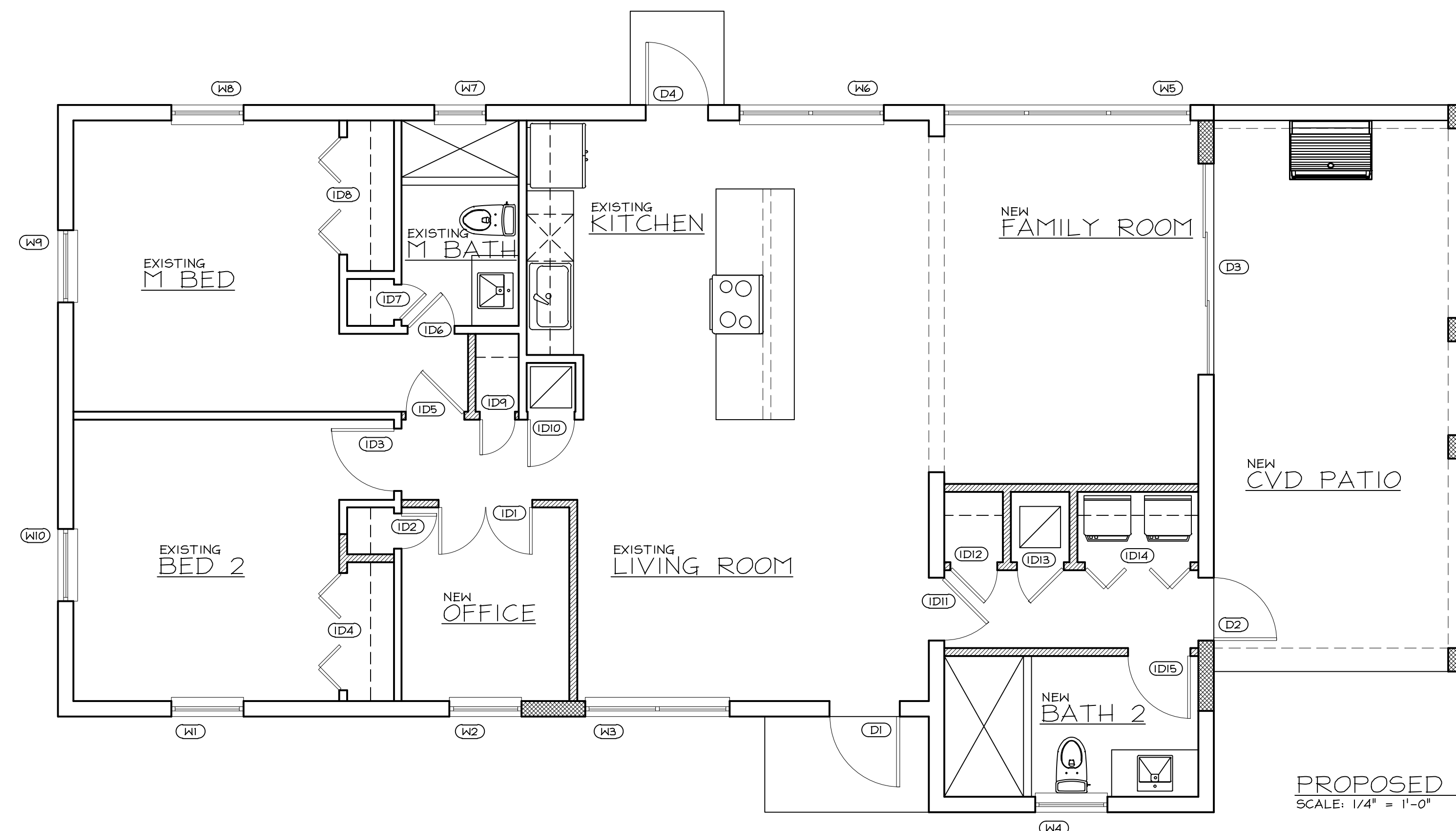
INTERIOR DOOR SCHEDULE

MARK	SIZE	OPENING	COMMENTS
ID1	4068 THN DR	48" X 80"	
ID2	1668 PNL DR	18" X 80"	
ID3	2868 PNL DR	32" X 80"	
ID4	5068 BIFOLD	60" X 80"	
ID5	2668 PNL DR	30" X 80"	
ID6	2068 PNL DR	24" X 80"	
ID7	1668 PNL DR	18" X 80"	
ID8	5068 BIFOLD	60" X 80"	
ID9	1668 PNL DR	18" X 80"	
ID10	2068 PNL DR	24" X 80"	
ID11	2868 PNL DR	32" X 80"	
ID12	2068 PNL DR	24" X 80"	
ID13	2068 PNL DR	24" X 80"	
ID14	4668 THN DR	54" X 80"	
ID15	2868 PNL DR	32" X 80"	



EXISTING A/C AREA 1,336 SQ FT

EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

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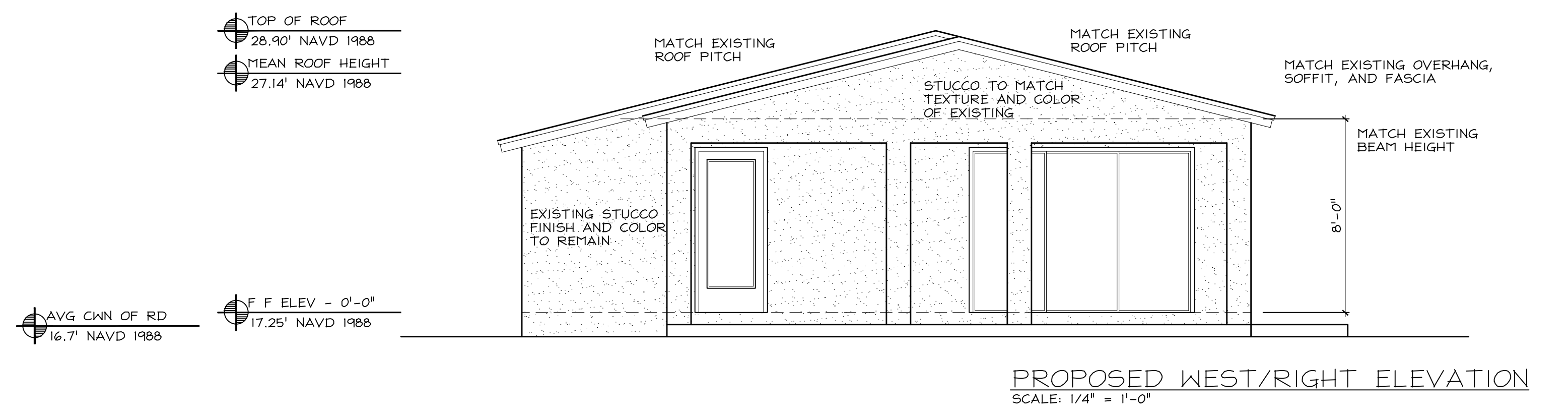
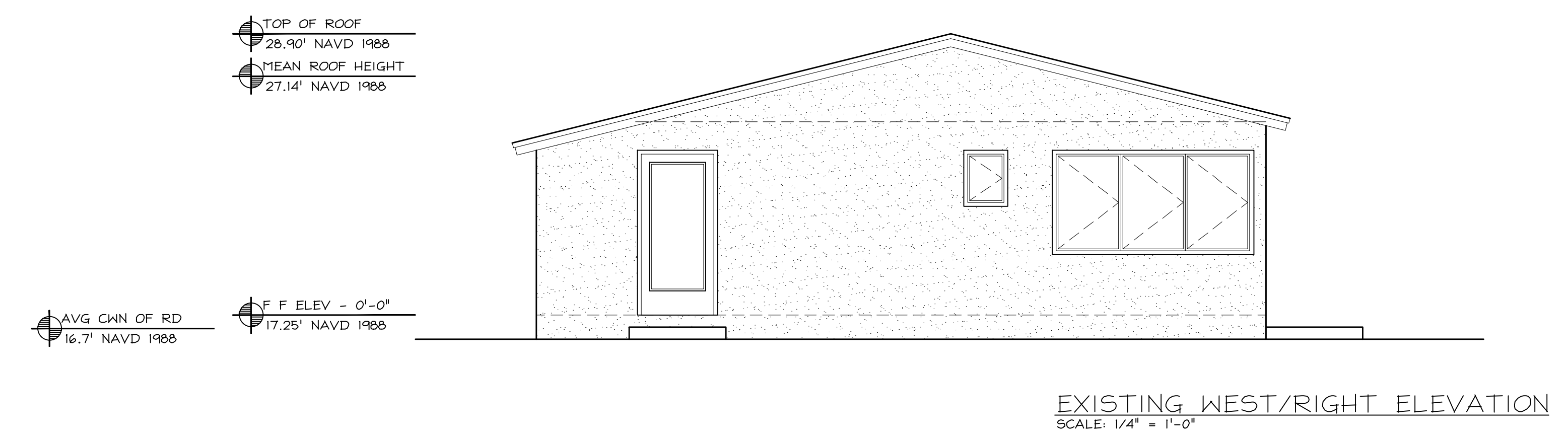
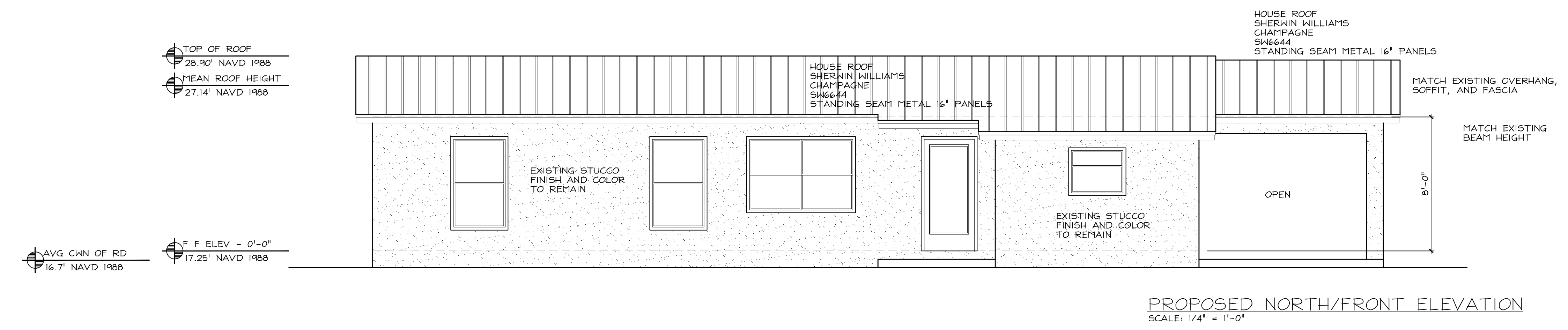
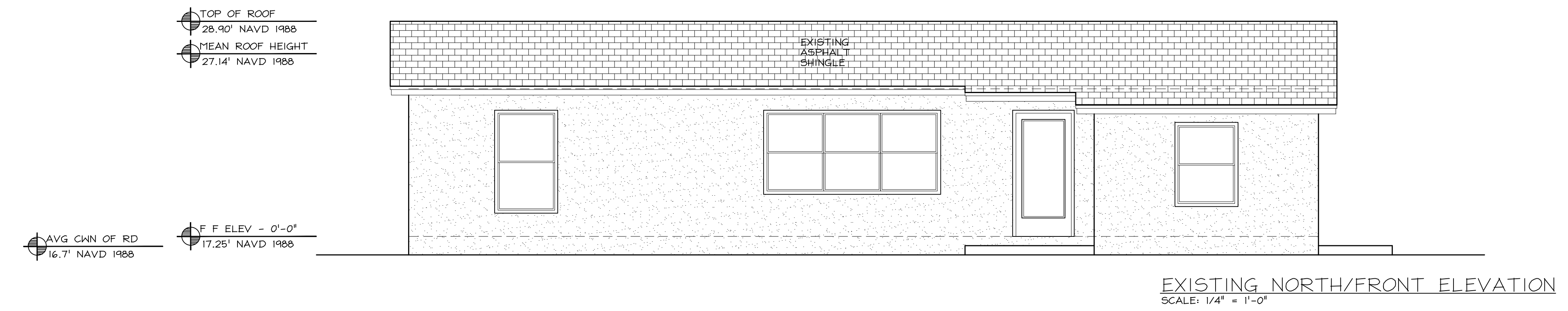
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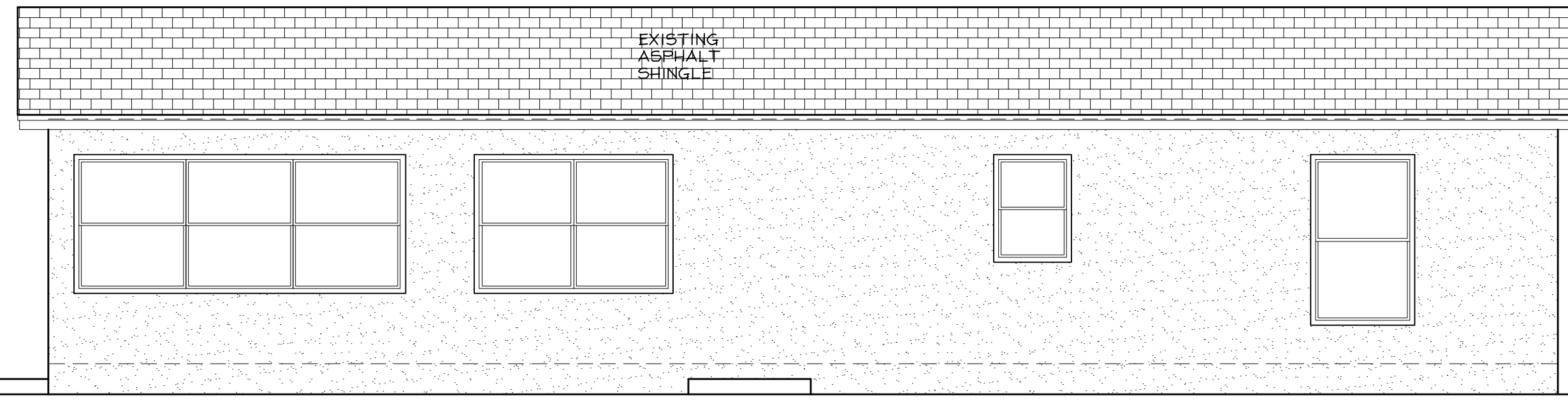
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BLDG DEPT:
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AS-BUILTS:
ISSUED: 3/14/2025
SHEET

A-4



TOP OF ROOF
28.90' NAVD 1988
MEAN ROOF HEIGHT
27.14' NAVD 1988

AVG CKN OF RD
16.7' NAVD 1988
F F ELEV - 0'-0"
17.25' NAVD 1988

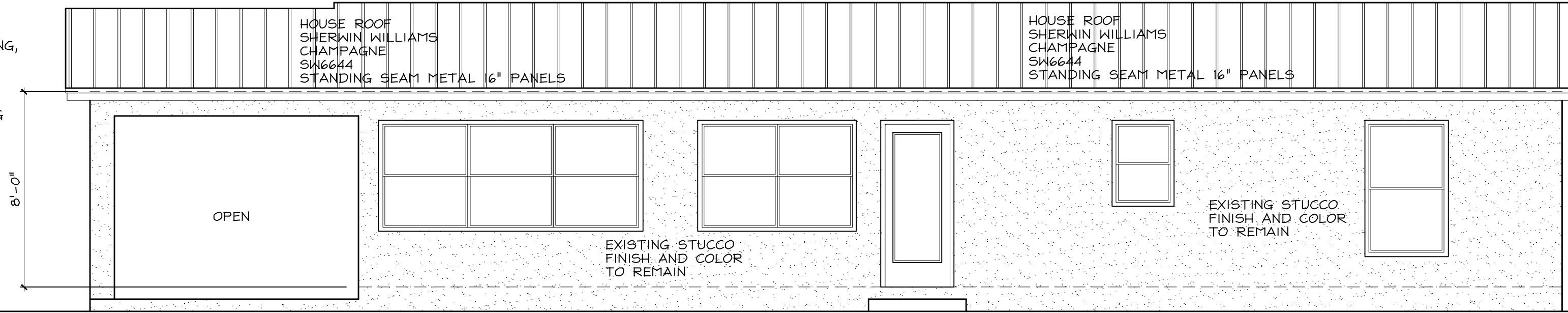


EXISTING SOUTH/REAR ELEVATION
SCALE: 1/4" = 1'-0"

TOP OF ROOF
28.90' NAVD 1988
MEAN ROOF HEIGHT
27.14' NAVD 1988

MATCH EXISTING OVERHANG,
SOFFIT, AND FASCIA

MATCH EXISTING
BEAM HEIGHT

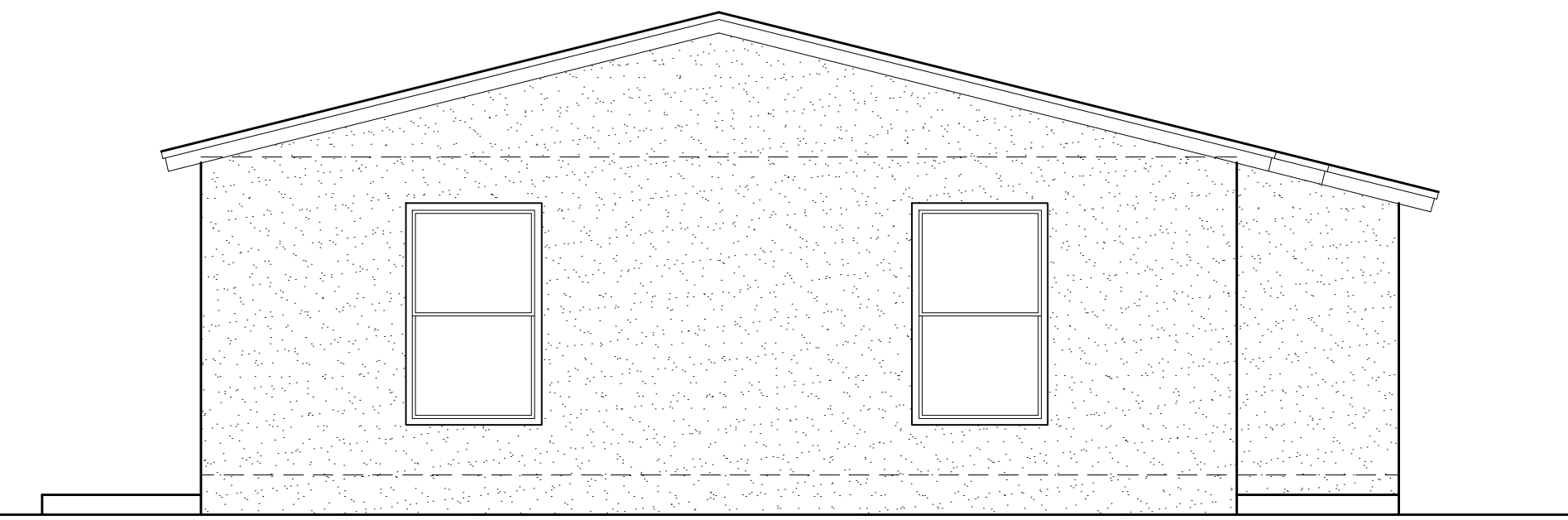


PROPOSED SOUTH/REAR ELEVATION
SCALE: 1/4" = 1'-0"

AVG CKN OF RD
16.7' NAVD 1988
F F ELEV - 0'-0"
17.25' NAVD 1988

TOP OF ROOF
28.90' NAVD 1988
MEAN ROOF HEIGHT
27.14' NAVD 1988

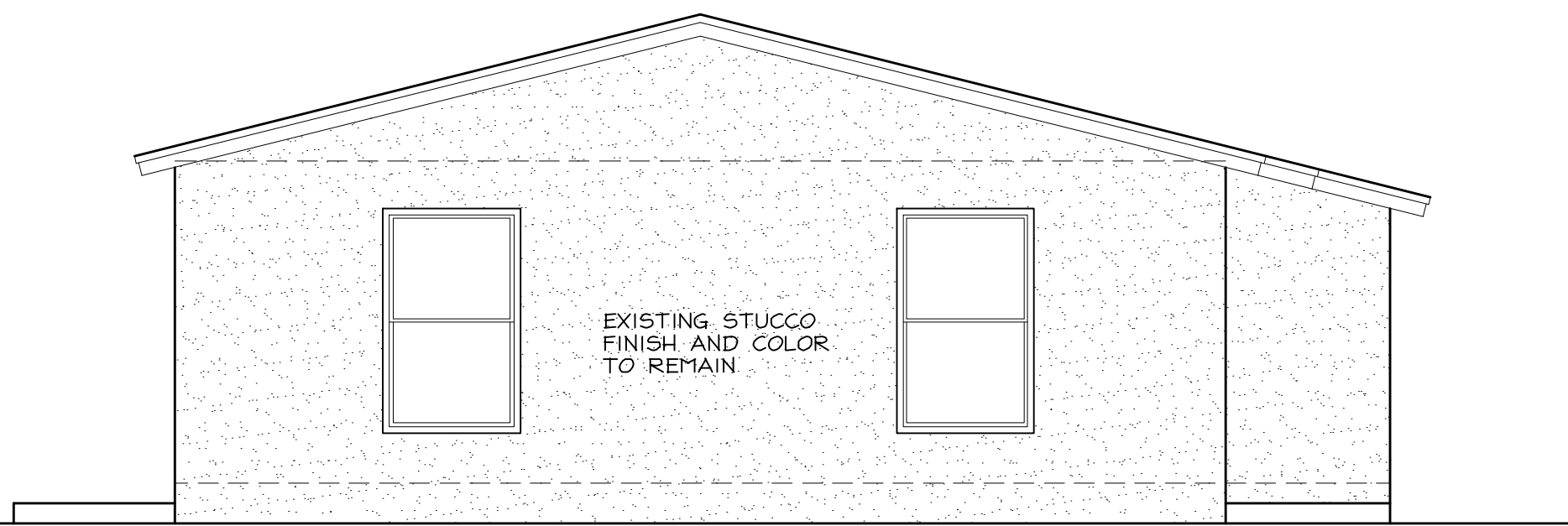
AVG CKN OF RD
16.7' NAVD 1988
F F ELEV - 0'-0"
17.25' NAVD 1988



EXISTING EAST/LEFT ELEVATION
SCALE: 1/4" = 1'-0"

TOP OF ROOF
28.90' NAVD 1988
MEAN ROOF HEIGHT
27.14' NAVD 1988

AVG CKN OF RD
16.7' NAVD 1988
F F ELEV - 0'-0"
17.25' NAVD 1988



PROPOSED EAST/LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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BLDG DEPT:
AS-BUILTS:
ISSUED: 3/14/2025

SHEET
A-5



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BLDG DEPT:
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SHEET

A-7

BOUNDARY & TOPOGRAPHIC SURVEY

SYMBOLS & LEGEND OF ABBREVIATIONS:

R/W	=	RIGHT OF WAY	X7.00'	=	ELEVATIONS BASED ON N.A.V.D.
N	=	NORTH	[44]	=	APPARENT ENCROACHMENT
S	=	SOUTH	P.B.C.R.	=	PALM BEACH COUNTY RECORDS
E	=	EAST	M.D.C.R.	=	MIAMI-DADE COUNTY RECORDS
W	=	WEST	P.O.C.	=	POINT OF COMMENCEMENT
D.B.	=	DEED BOOK	F.O.B.	=	POINT OF BEGINNING
ENCH.	=	ENCROACH	CHATT.	=	CHATTAHOOCHEE
F.F.	=	FINISHED FLOOR	F.P.L.	=	FLORIDA POWER & LIGHT
GAR.	=	GARAGE	B.C.R.	=	BROWARD COUNTY RECORDS
C/L	=	CENTERLINE	O.R.B.	=	OFFICIAL RECORDS BOOK
MH	=	MANHOLE	F.D.O.T.	=	FLORIDA DEPARTMENT OF TRANSPORTATION
(M)	=	MEASURED	D.E.P.	=	DEPARTMENT OF ENVIRONMENTAL PROTECTION
P.B.	=	PLAT BOOK	D.N.R.	=	DEPARTMENT OF NATURAL RESOURCES
A/C	=	AIR CONDITIONER	P.R.M.	=	PERMANENT REFERENCE MONUMENT
P	=	PLAT	N.A.V.D.	=	NORTH AMERICAN VERTICAL DATUM

⊗	VALVE	□	UTILITY BOX	— — — — —	PARKING STRIPE
⊙	MANHOLE	⊗	HYDRANT	— — — — —	OVERHEAD UTILITY LINES
⊕	BASIN	⊕	UTILITY POLE	▨	6" CONCRETE WALL
⊙	WELL	⊗	VAULT	▨	COVERED AREA
⊕	WATER METER	⊕	LIGHT	▨	CONCRETE
⊙	MONITORING WELL	•	BOLLARD	▨	BRICK PAVERS
○	PROPERTY CORNER	⊗	AIR CONDITIONER	▨	TILE
— x — x —	CHAIN LINK FENCE	— — — — —		▨	ASPHALT
— — — — —	WOOD FENCE	— — — — —		— — — — —	CONCRETE FENCE
— — — — —	METAL FENCE	— — — — —		— — — — —	WIRE FENCE
— — — — —	PVC FENCE				

STREET ADDRESS:
 200 NE 5TH COURT DELRAY BEACH, FL 33444

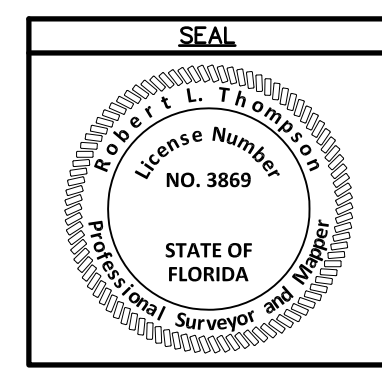
LEGAL DESCRIPTION:
 LOT 1, BLOCK 8, DEL-IDA PARK ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 52, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

- NOTES:**
1. Unless otherwise noted field measurements are in agreement with record measurements.
 2. Angles shown hereon are per Plat book 9, Page 52, Palm Beach county records.
 3. The lands shown hereon were not abstracted for ownership, rights of way, easements, or other matters of records by Accurate Land Surveyors, Inc.
 4. Ownership of fences and walls if any are not determined.
 5. This survey is the property of Accurate Land Surveyors, Inc. and shall not be used or reproduced in whole or in part without written authorization.
 6. Any and all underground features such as foundations, utility lines, Ext. were not located on this survey. This is an above ground survey only.
 7. The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.
 8. The location of overhead utility lines are approximate in nature due to their proximity above ground. size, type and quantity must be verified prior to design or construction.
 9. Accuracy statement: This survey meets or exceeds the horizontal accuracy for SUBURBAN LINEAR : 1 FOOT IN 7,500 FEET.
 10. Printed copies of this survey are not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.
 11. PDF copies of this survey are not valid without the digital signature of a Florida licensed Surveyor and Mapper and must be verified.

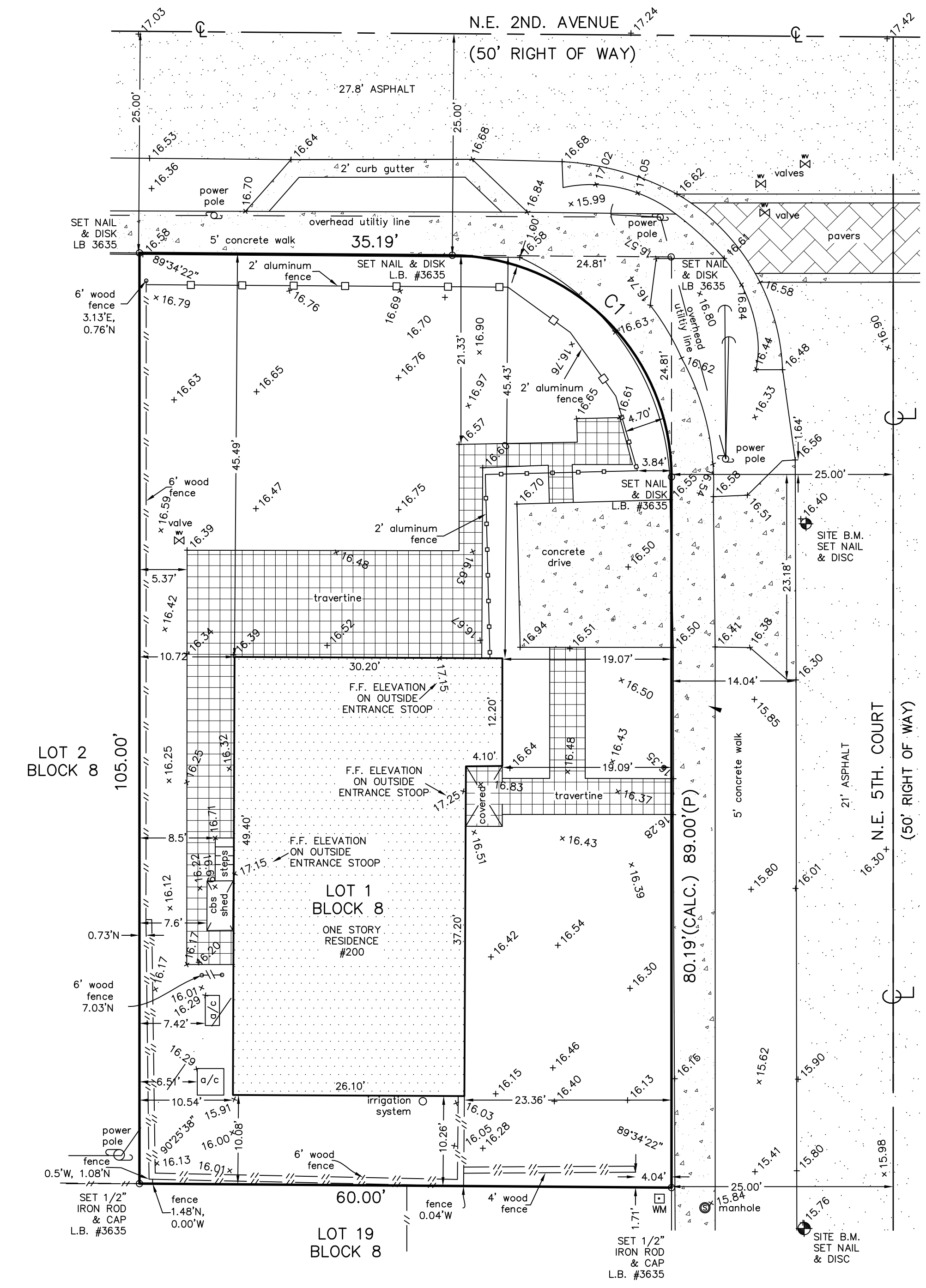
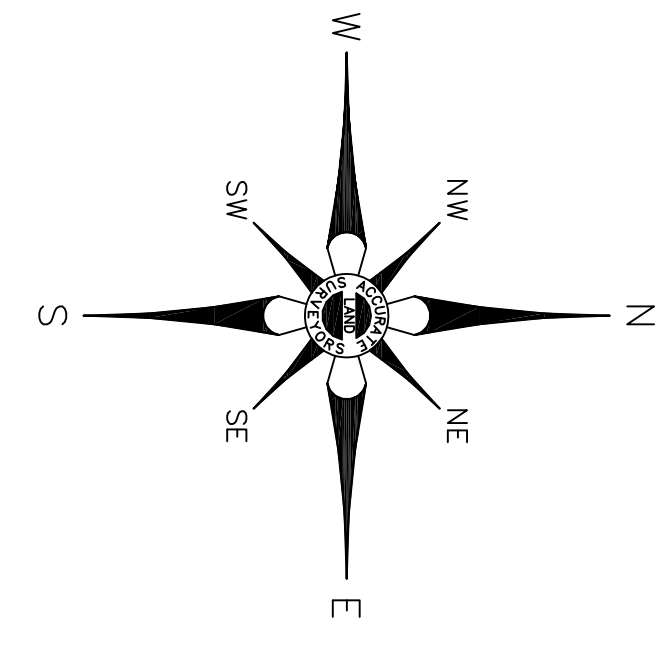
FLOOD INFORMATION:
 FLOOD ZONE: X
 BASE FLOOD ELEVATION: N/A
 CONTROL PANEL NUMBER: 125102/12099C0977-F
 EFFECTIVE: 10/5/2017
 REVISED:

BENCHMARK INFORMATION:
 PALM BEACH COUNTY BENCHMARK "CHEROKEE BLONDE" ELEV: 21.763' NAVD1988

CERTIFY TO:
 THOMAS J. CONNOLLY

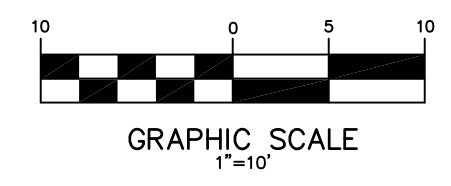


CERTIFICATION:
 This is to certify that this above ground sketch of boundary survey was made under my responsible charge and is accurate and correct to the best of my knowledge and belief. I further certify that this sketch meets the current Standards of Practice, established by the Board of Professional Surveyors and Mappers, Chapter 51-17, Florida Administrative Codes, pursuant to current Section 472.027, Florida Statutes.

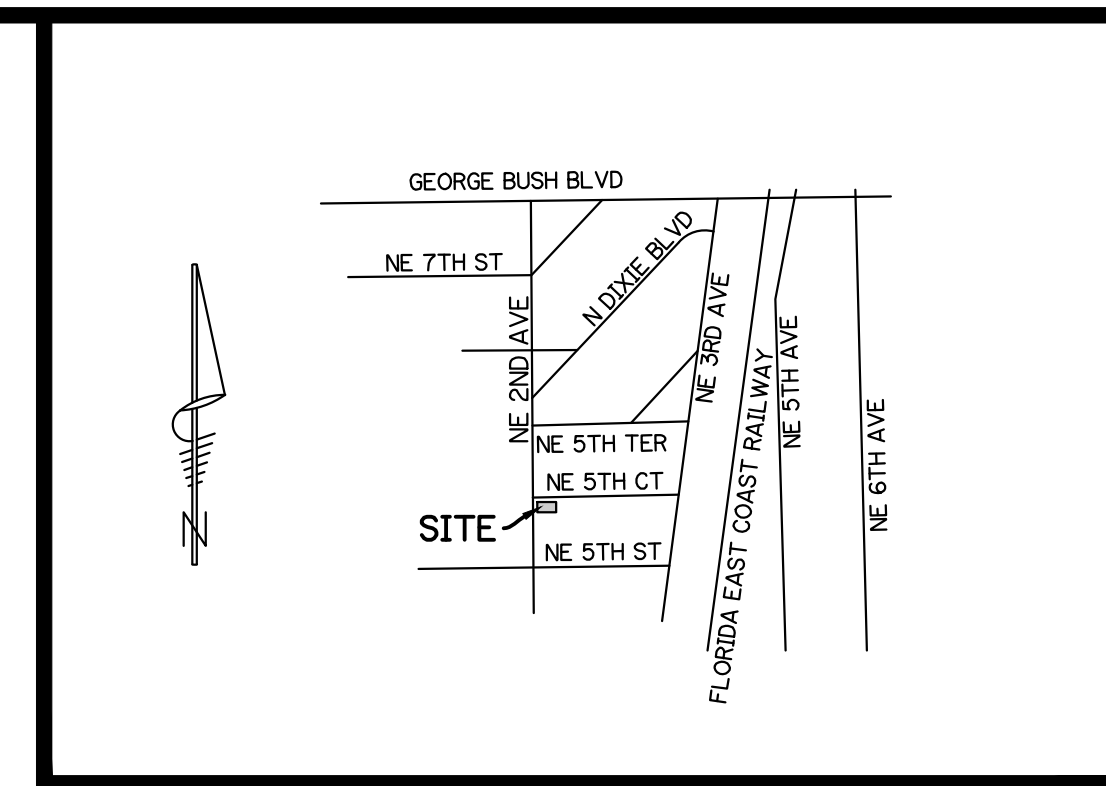
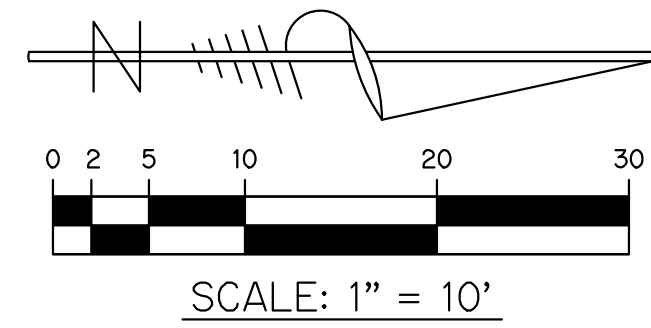


CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	39.08'	25.00'	89°34'22"	24.81'



ORIGINAL DATE OF FIELD SURVEY: 02-28-2024	DRAWN BY: O.J.W.	
FIELD BOOK: ALS-SU-24-0261	CHECKED BY: RLT	
REVISIONS & SURVEY UPDATES	DATE OF SURVEY & REVISIONS	BY
RE-SIZE SURVEY TO MATCH SITE PLAN SU-24-1623	01-21-2025	AL/RLT
UPDATE/TOPOGRAPHIC SURVEY SU-24-1350	10-14-2024	AL/RLT



LOCATION MAP
NOT TO SCALE

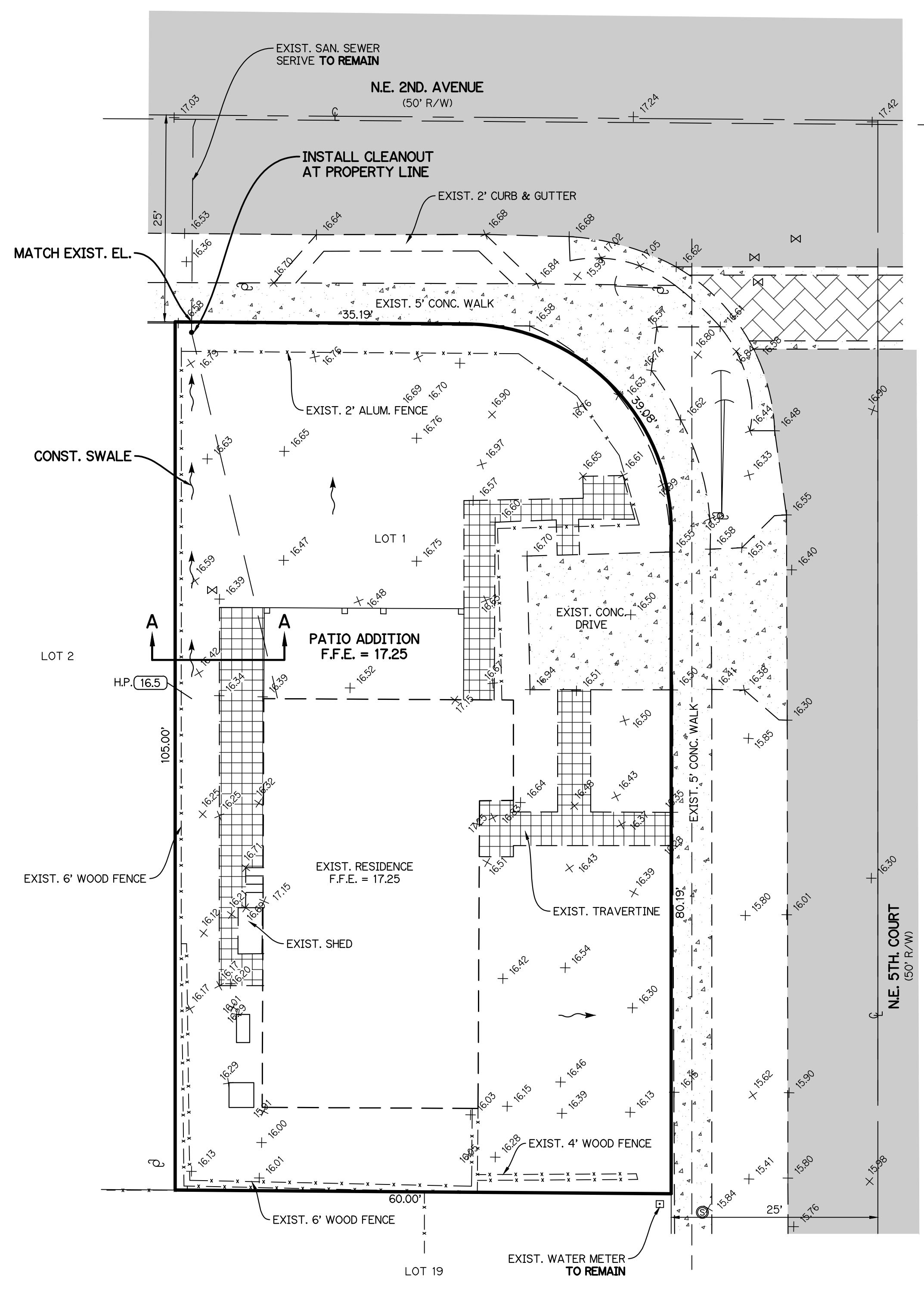
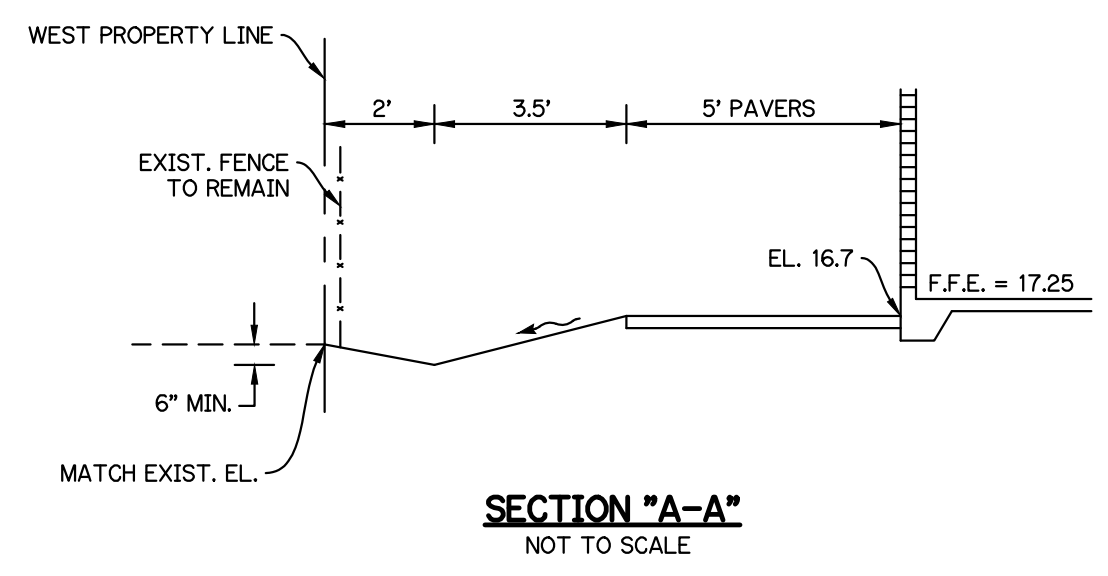
LEGEND:

DIRECTION OF FLOW	
EXISTING ELEVATION	x 0.00
FINISH FLOOR ELEVATION	F.F.E.
HIGH POINT	HP.
PROPOSED CONTOUR LINE	— 0.0 —
PROPOSED ELEVATION	
EXISTING POWER POLE	
EXISTING SANITARY MANHOLE	
EXISTING VALVE	

WATER MANAGEMENT CALCULATIONS:

TOTAL LOT AREA = 6,168 SF
 EXISTING PERVIOUS AREA = 3,666 SF (59%)
 EXISTING IMPERVIOUS AREA = 2,502 SF (41%)
 PROPOSED PERVIOUS AREA = 3,691 SF (60%)
 PROPOSED IMPERVIOUS AREA = 2,477 SF (40%)

- NOTES:**
- BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY ACCURATE LAND SURVEYORS, INC., PROJECT NUMBER SU-24-0261, DATED 02-28-2024.
 - ALL ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM.
 - IN THE EVENT OF ANY PAVEMENT DAMAGE TO THE ROADWAY OR ALLEY, OR UTILITY TRENCHING, THE PAVEMENT MUST BE RESTORED PER CITY STANDARD DETAIL GU 1.0 REQUIRING MILLING AND RESURFACING FOR 50' EACH WAY PAST THE DAMAGED/TRENCHED AREA.
 - PROPOSED IMPROVEMENTS RESULT IN LESS THAN 25% INCREASE IN IMPERVIOUS AREA. NO ADDITIONAL WATER MANAGEMENT RETENTION REQUIRED.



RONALD W. LAST, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 38707

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RONALD W. LAST ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SITE ENGINEERING PLAN FOR
200 NE 5th Court
DELRAY BEACH, FL

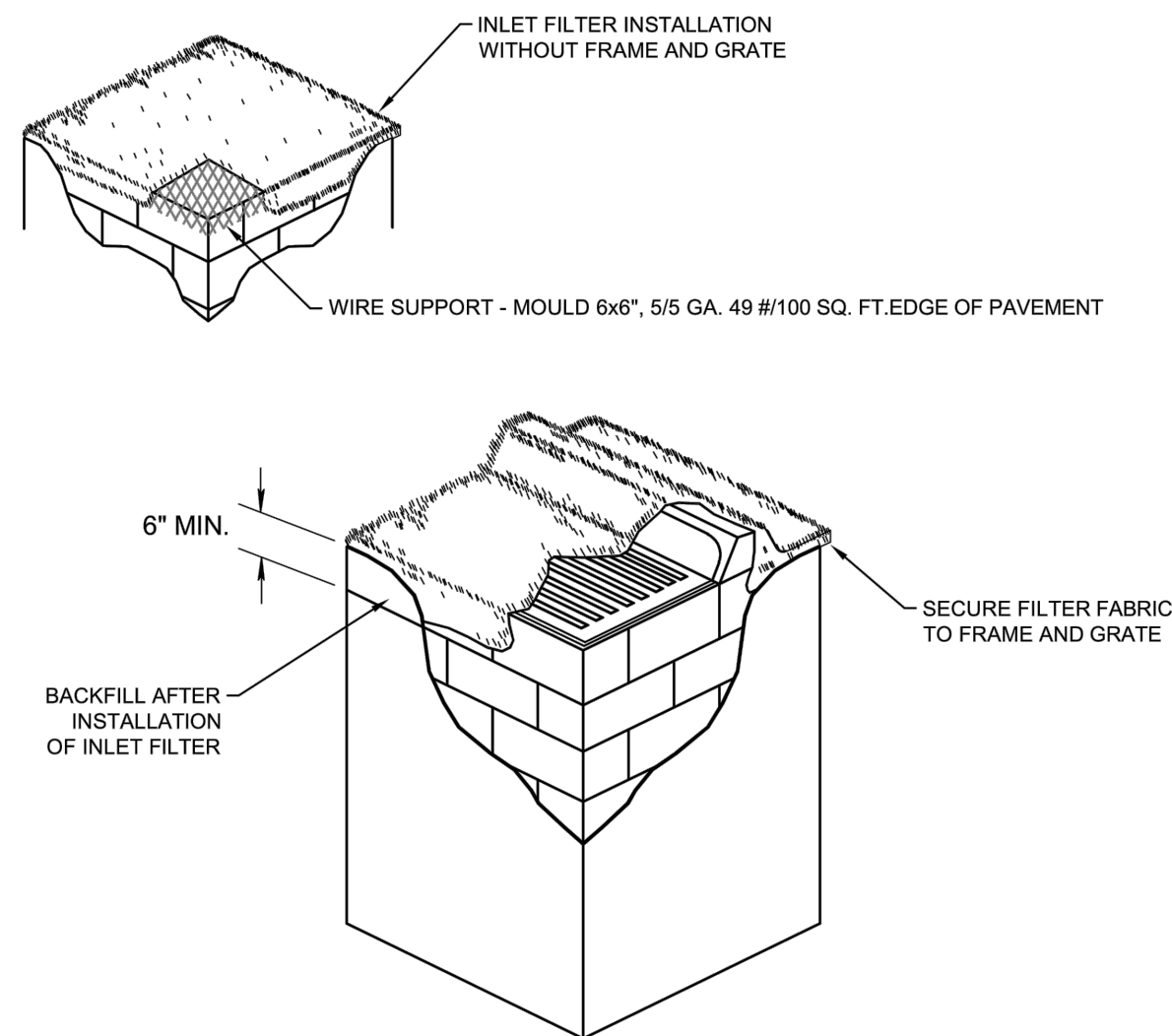
REVISIONS	DATE	BY	CK

EB 9889

LPI
Last Devenport, Inc.
 1860 Old Okeechobee Road, Suite 504
 West Palm Beach, FL 33409
 phone (561)615-6567 fax (561)615-3986

SCALE: 1"=10'
 DATE: DEC 2024
 DESIGNED BY: SAS
 CHECKED BY:RWL
 DRAWING FILE:
 24-172 SI

12/17/2024
 RONALD W. LAST, P.E.
 FLORIDA P.E. #38707



NOTES:

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL

N.T.S.

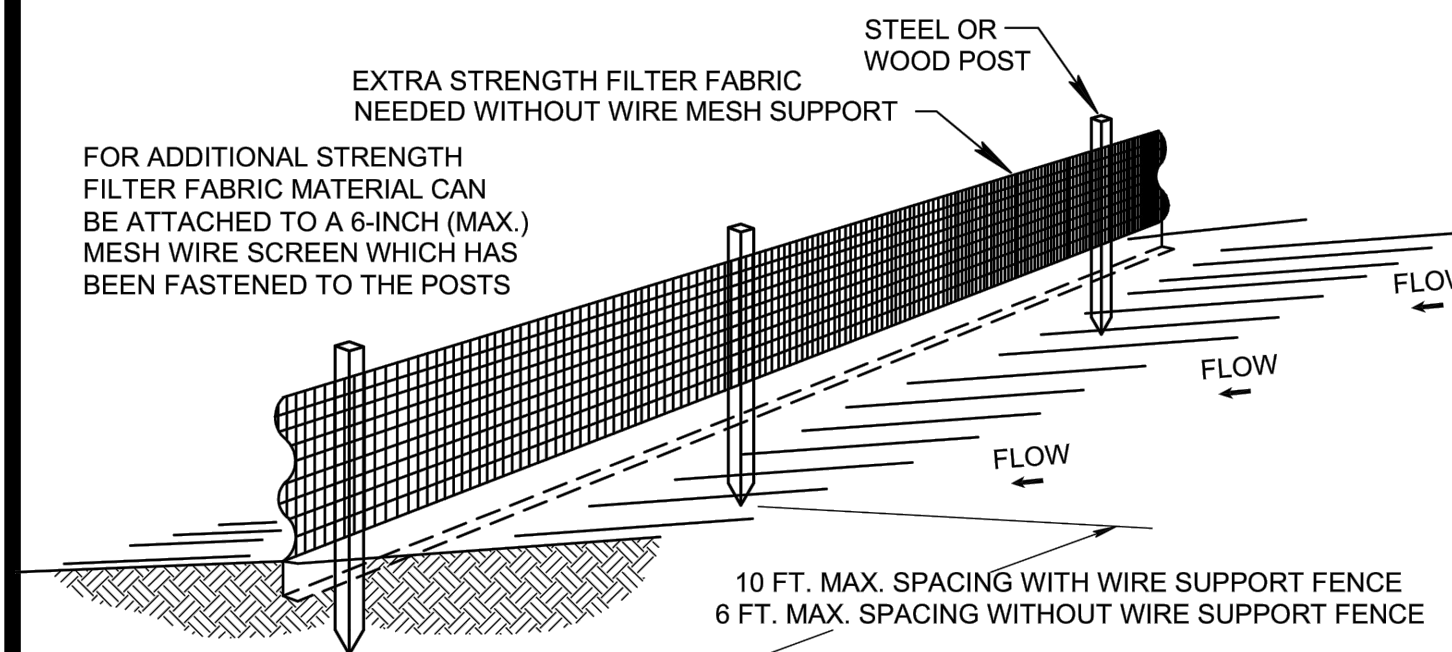
DATE: 10-04-2024
D 10.0

1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

EROSION CONTROL NOTES

N.T.S.

DATE: 10-04-2024
D 11.0



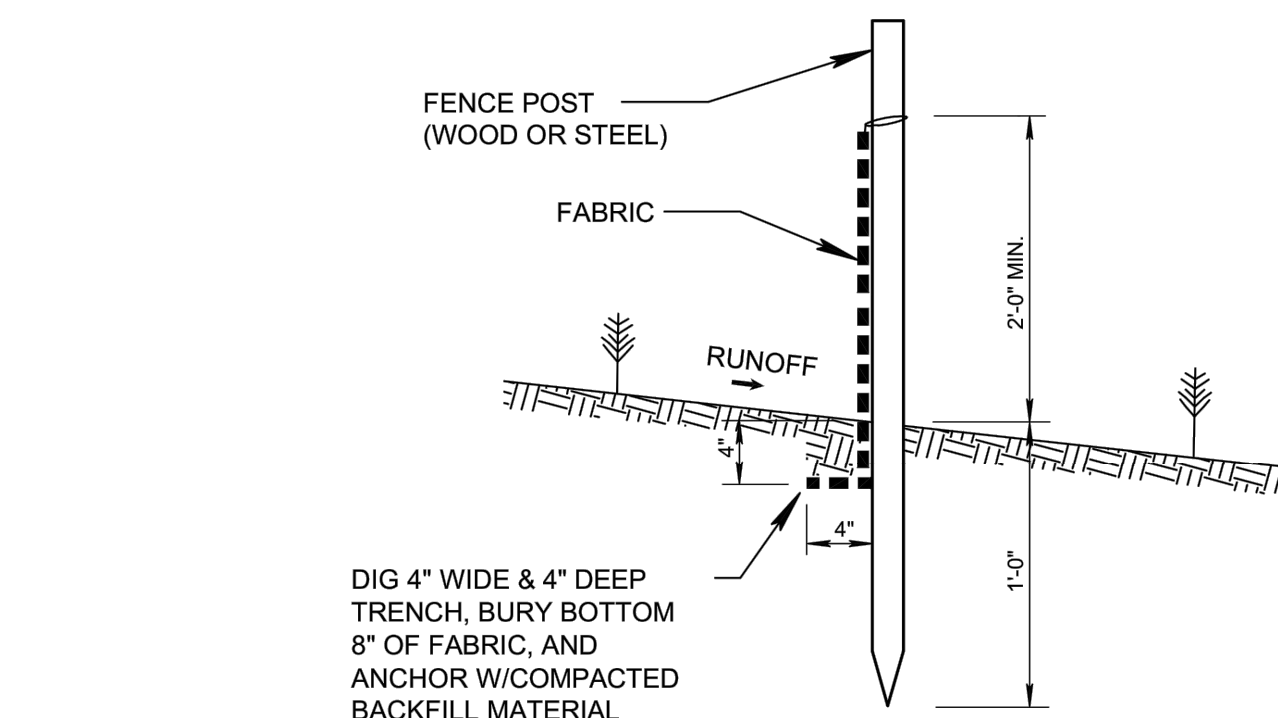
NOTES:

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES.
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

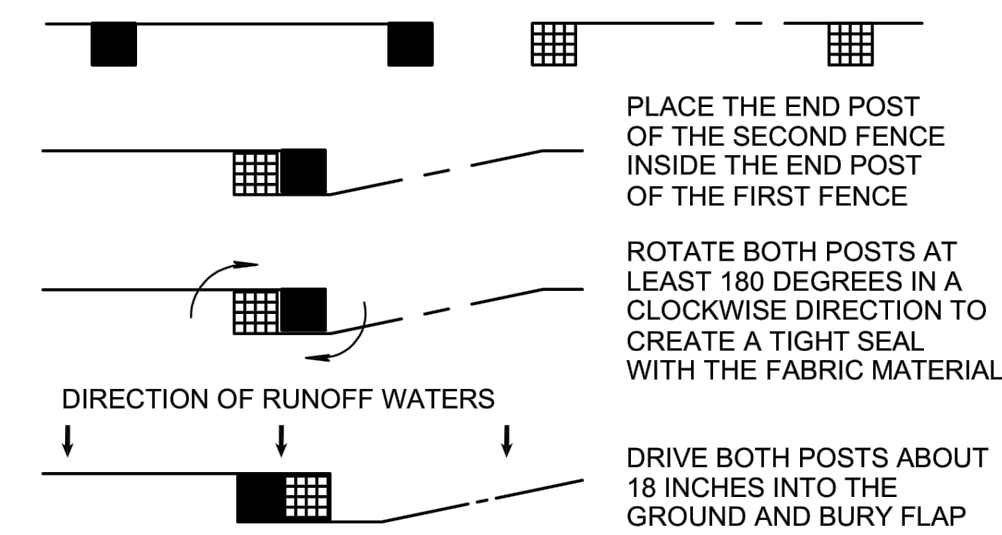
**SILT FENCE INSTALLATION
DETAIL 1 OF 2**

N.T.S.

DATE: 10-04-2024
D 12.0



**SILT FENCE SECTION
NOT TO SCALE**

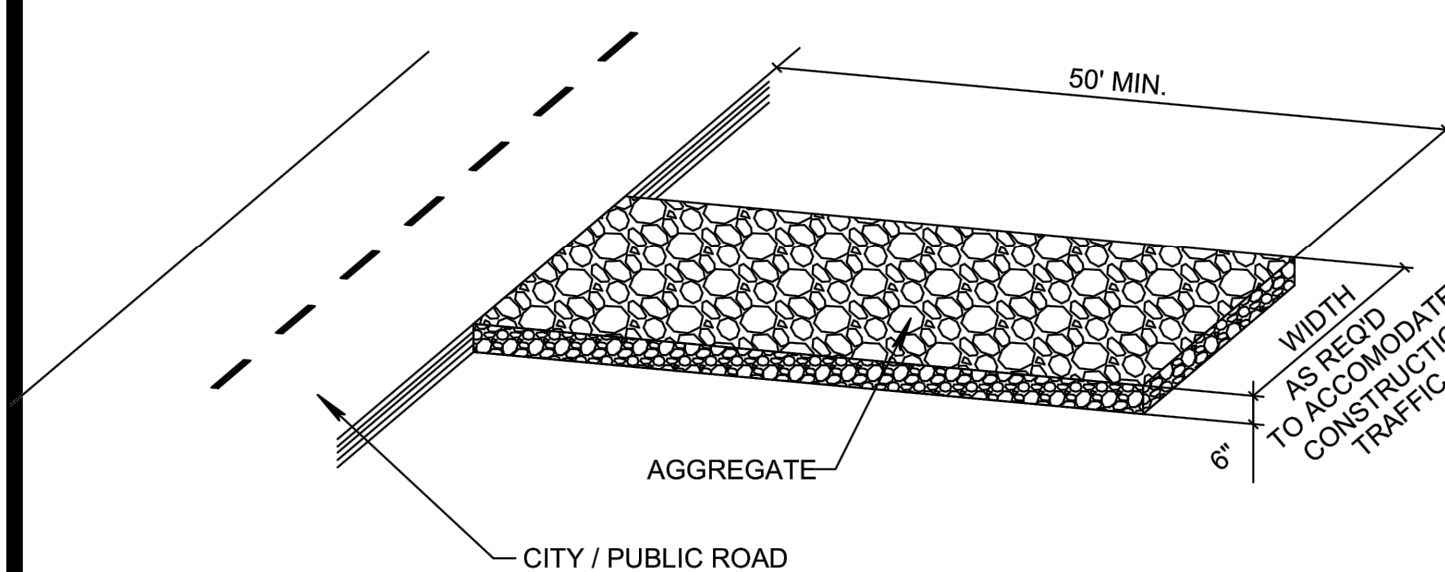


**ATTACHING TWO SILT FENCES
NOT TO SCALE**

**SILT FENCE INSTALLATION
DETAIL 2 OF 2**

N.T.S.

DATE: 10-04-2024
D 12.1



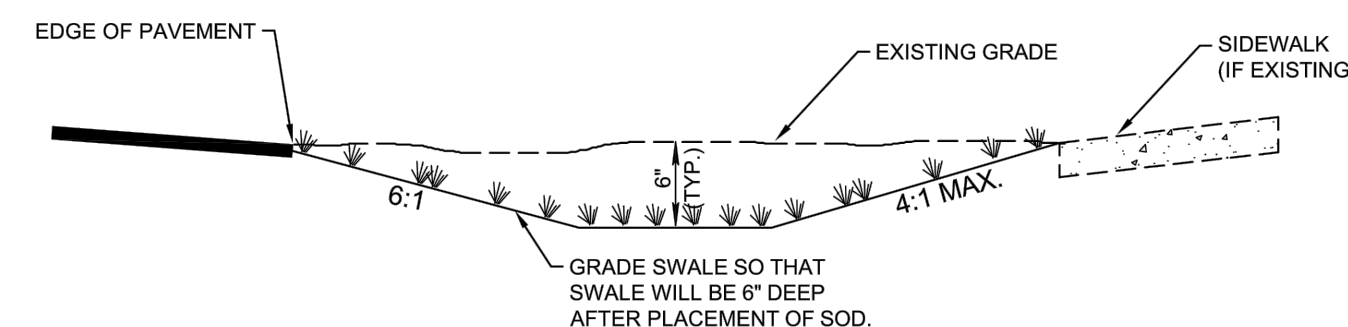
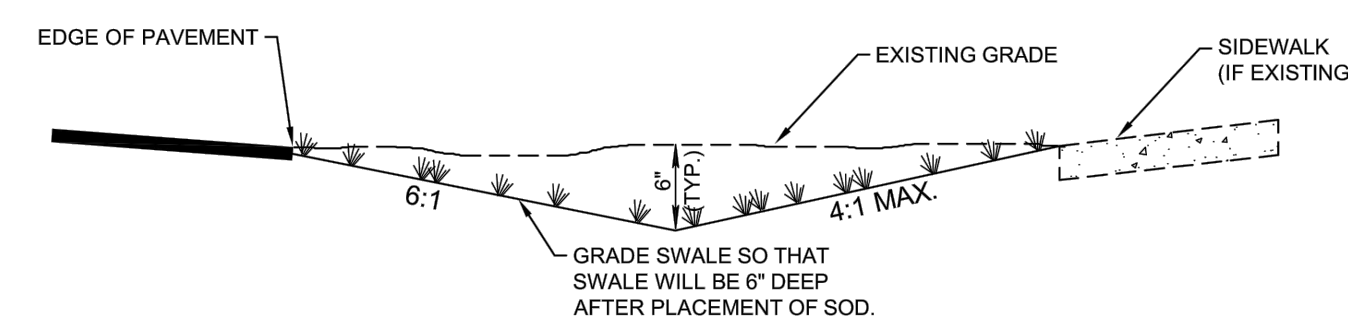
NOTE:

A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO. 1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

**STABILIZED CONSTRUCTION
ENTRANCE DETAIL**

N.T.S.

DATE: 10-04-2024
D 13.0



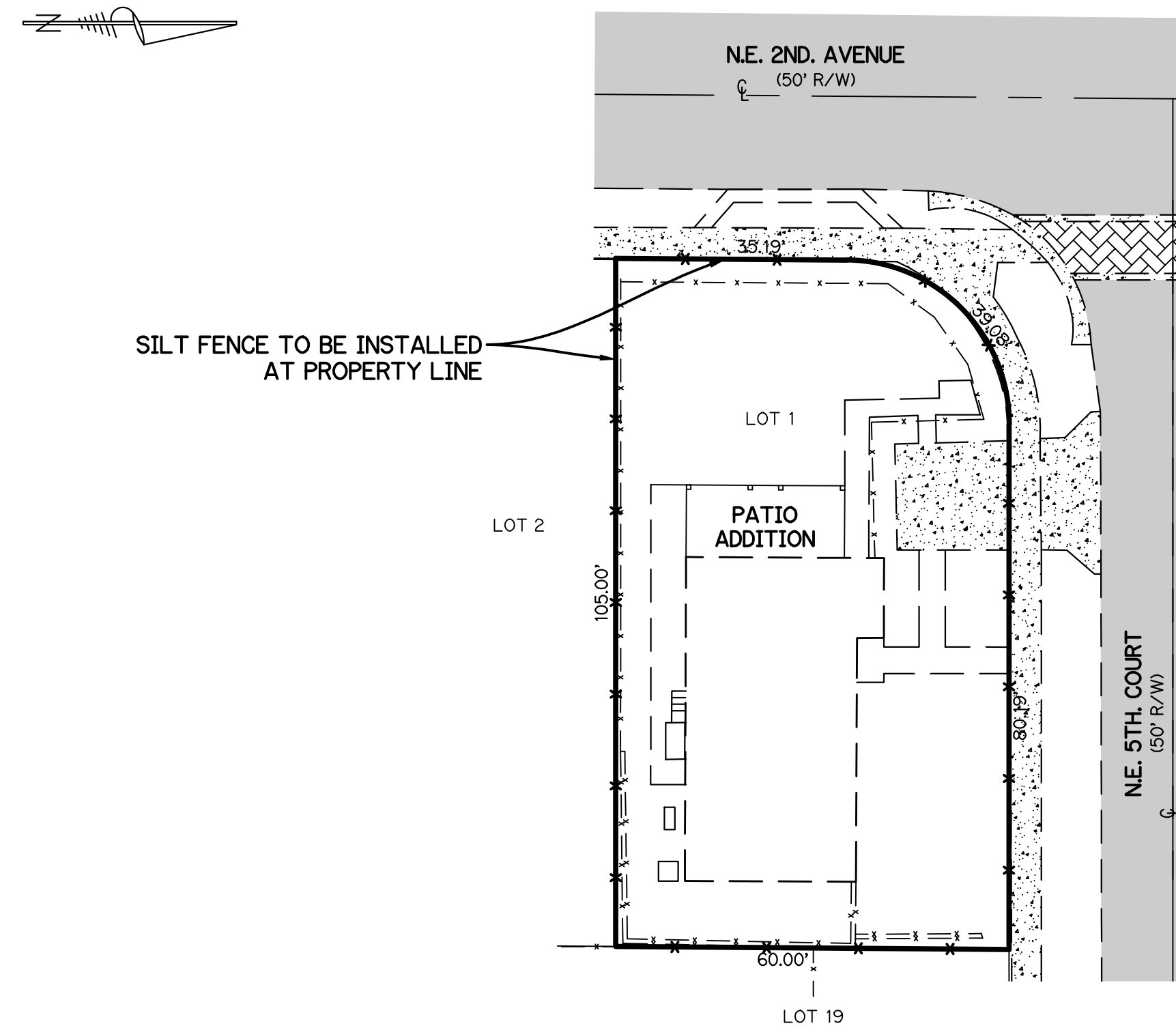
NOTE:

1. CONTRACTOR TO REPLACE ALL IRRIGATION, TREES & SHRUBBERY IN SWALES DAMAGED DURING CONSTRUCTION.

SWALE REPLACEMENT DETAIL

N.T.S.

DATE: 10-04-2024
D 14.0



NOTES:

1. CONTRACTOR TO MAINTAIN ALL POLLUTION PREVENTION MEASURES AT ALL TIMES UNTIL LANDSCAPING IS COMPLETE.

SITE PLAN

SCALE: 1"=20'

RONALD W. LAST, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 38707

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RONALD W. LAST ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**POLLUTION PLAN AND DETAILS
FOR
200 NE 5TH COURT
DELRAY BEACH, FL**

DATE	BY	CHK

REVISIONS

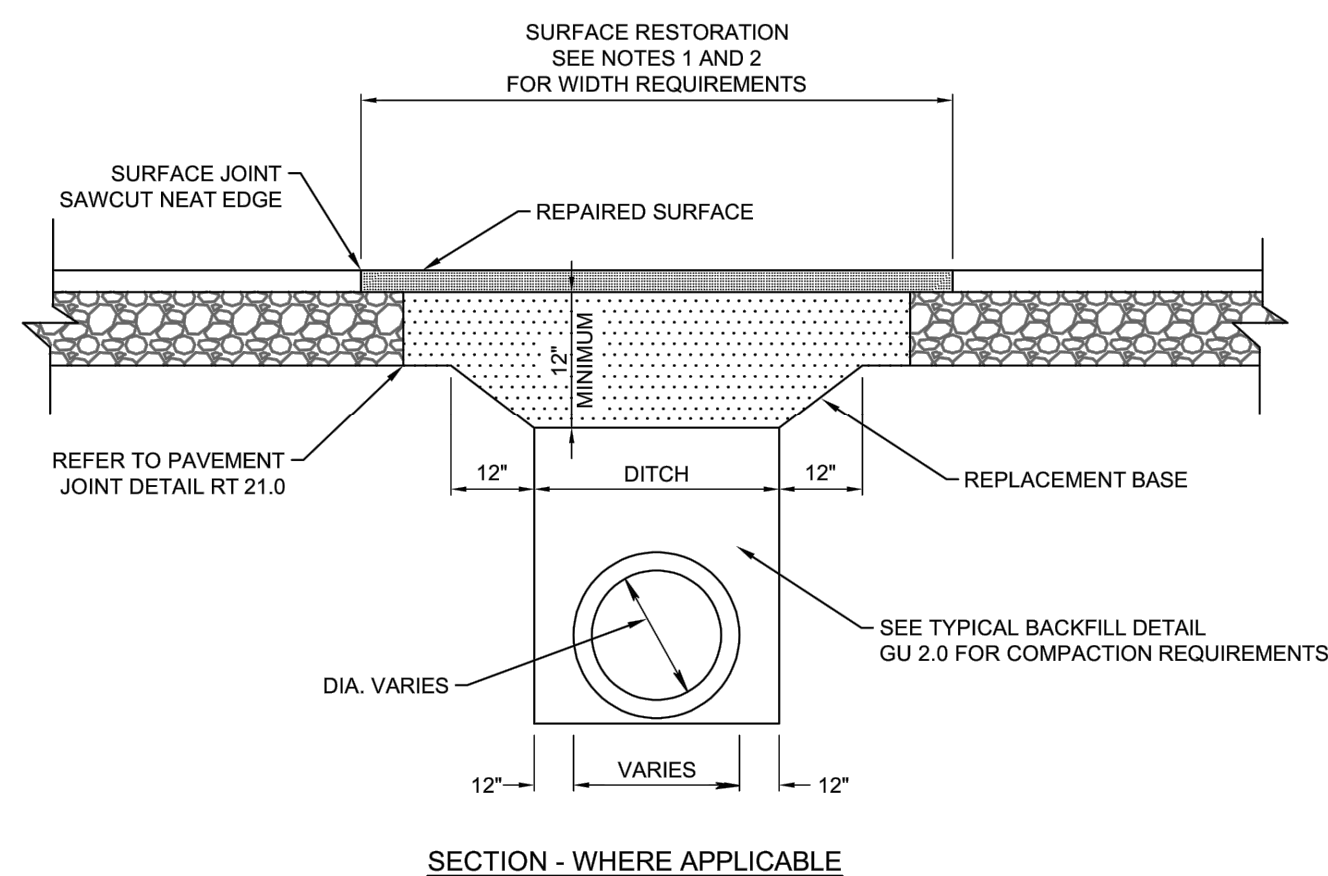
EB 9889
LPI
Last Devenport, Inc.
1860 Old Okesechoke Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

SCALE: N/A
DATE: DEC 2024
DESIGNED BY: SAS
CHECKED BY: RWL
DRAWING FILE:
24-172 DET

12/17/2024
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

24-172 | SI

SHEET 2 OF 4



NOTES:

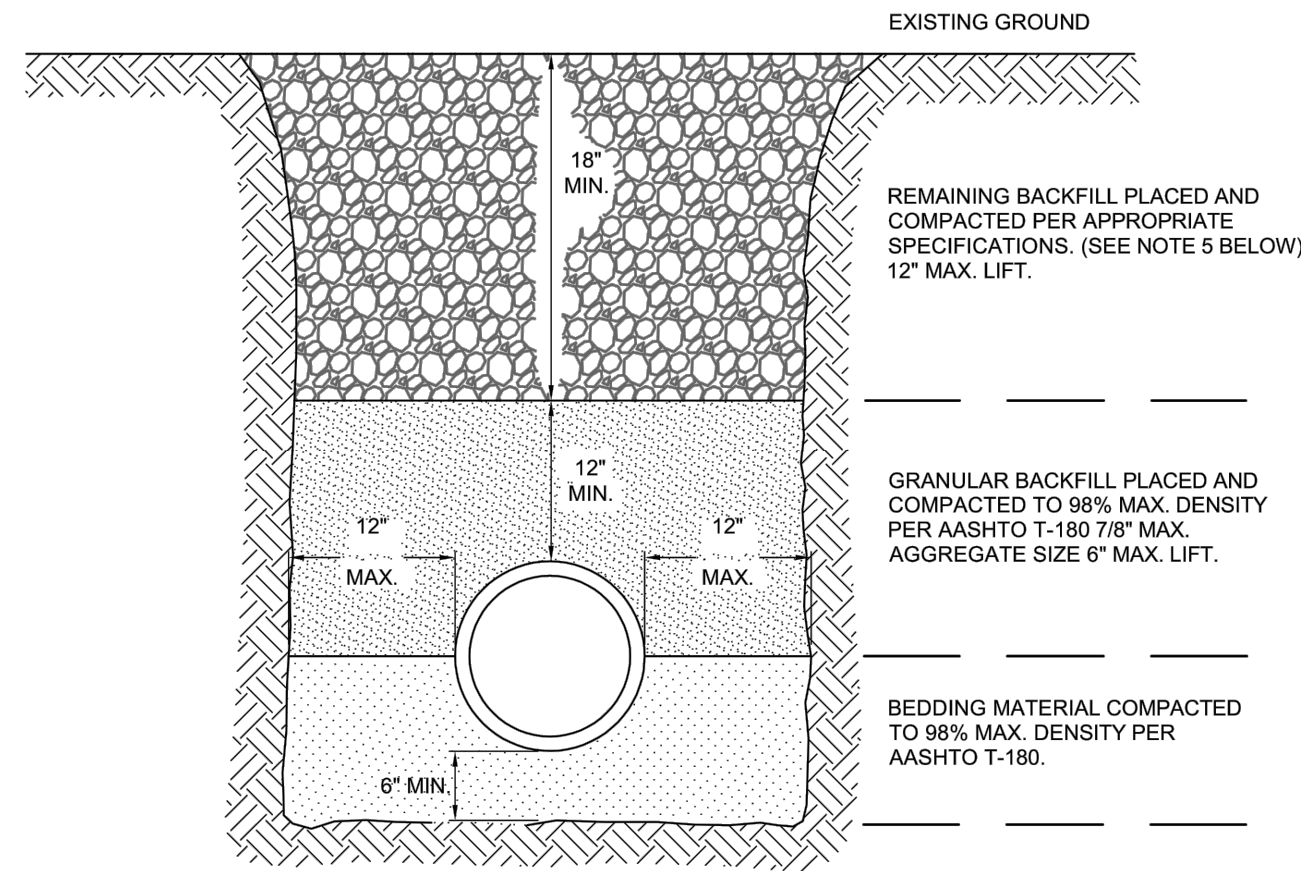
- FOR COMMERCIAL PROJECTS THAT DAMAGE THE ROADWAY SURFACE THE ROADWAY SHALL BE MILLED AND RESURFACED 50' IN EACH DIRECTION FROM THE DAMAGED AREA. MILLING AND RESURFACING SHALL BE FOR THE FULL LANE WIDTH OF ANY DAMAGED LANE.
- FOR RESIDENTIAL PROJECTS THAT DAMAGE THE ROADWAY SURFACE THE ROADWAY SHALL BE MILLED AND RESURFACED FOR THE WIDTH OF THE RESIDENTIAL PROPERTY (MIN. 50' REPAIR LENGTH). MILLING AND RESURFACING SHALL BE FOR THE FULL LANE WIDTH OF ANY DAMAGED LANE.
- MILLING DEPTH SHALL BE 1" AND RESURFACING SHALL BE 1" TYPE S-III ASPHALTIC CONCRETE.
- BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180. MAX LIFT THICKNESS SHALL BE 6".
- 24" EXCAVATEABLE FLOWABLE FILL MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
- ASPHALTIC CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
- ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
- SURFACE MATERIAL SHALL BE S-III ASPHALTIC CONCRETE (FOR TRENCH REPAIR, THICKNESS SHOULD BE TWICE THE THICKNESS OF THE ADJACENT EXISTING ASPHALT).
- ANY PAVEMENT CUTS SHALL BE COLD PATCHED AT THE END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.

PAVEMENT REPAIR DETAIL

N.T.S.

DATE: 10-04-2024

GU 1.0



NOTES:

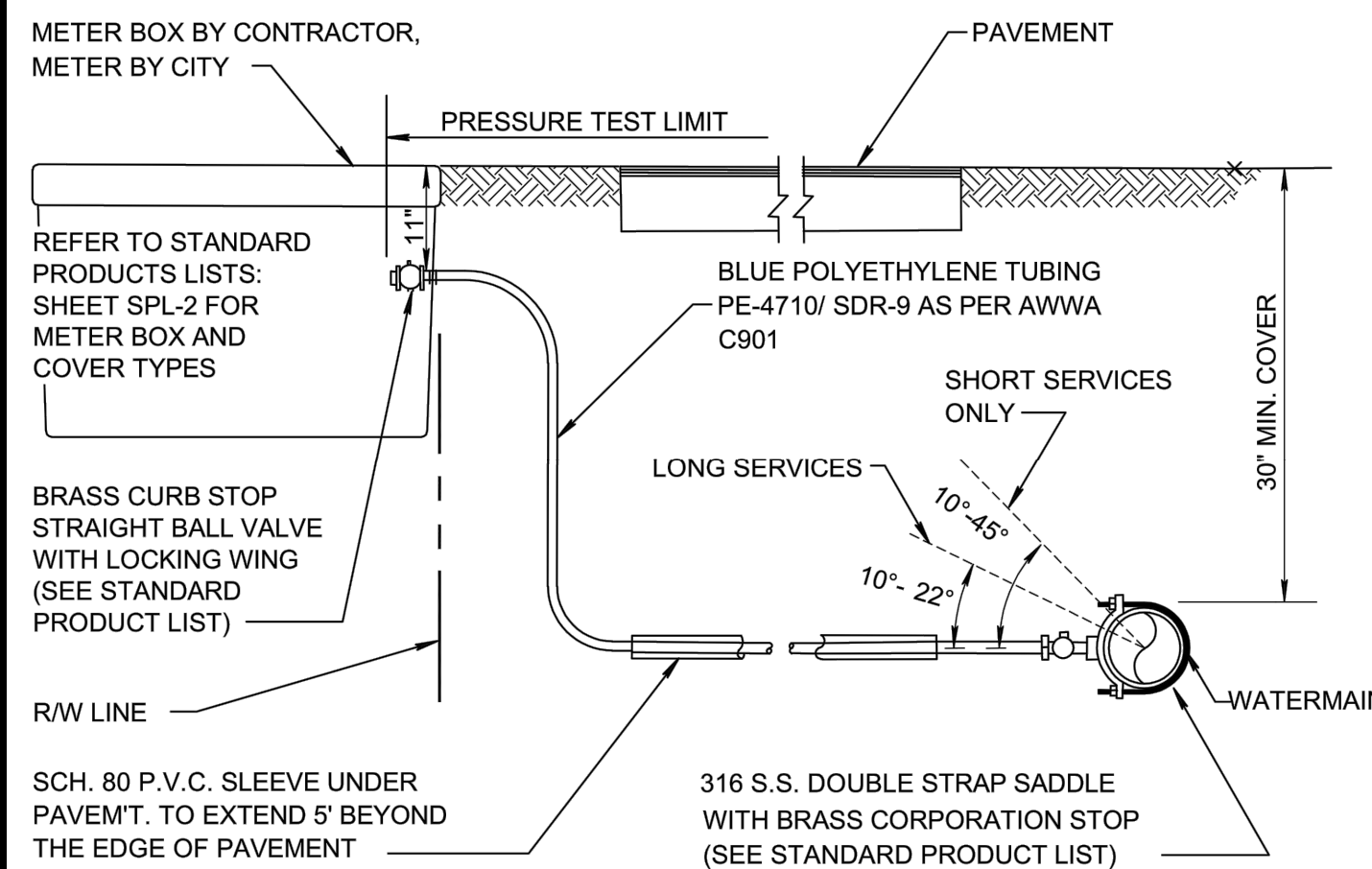
- UNSATURABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED OFF SITE AND DISPOSED IN A PROPER LANDFILL; BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMEROCK 3/8"-7/8" SIZING.
- THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
- THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
- BACKFILL SHALL BE FREE OF UNSATURABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
- COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE PER (AASHTO T-180).
- COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS. CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

TYPICAL BACKFILL DETAIL

N.T.S.

DATE: 10-04-2024

GU 2.0



NOTES:

- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
- SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
- ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1" MIN.).
- NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
- MAXIMUM SERVICE LENGTH IS 100' TO METER.
- CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
- MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
- METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
- ALL VALVES TO BE BALL VALVES.
- METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
- ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
- ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/ DEVELOPER. IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/ DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE METER.
- ALL WATER SERVICE SHALL BE A MINIMUM OF 2".
- WATER METERS SHALL BE LOCATED OUTSIDE ANY DRIVEWAYS BY 2'

TYPICAL URBAN/REDEVELOPMENT AREA SERVICE CONNECTION

N.T.S.

DATE: 10-04-2024

PW 12.0

CONSTRUCTION NOTES

- ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL, AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE BUILDING PAD, ROAD AND PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM 18" LIFTS THOROUGHLY AND UNIFORMLY COMPACTED TO ACHIEVE 95 PERCENT OF THE ASTM D1557 MAXIMUM DRY DENSITY.
- ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1 FOOT. ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
- FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, or A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. FILL MATERIAL SHOULD HAVE NOT MORE THAN 10% BY WEIGHT PASSING THE NO. 200 SIEVE AND SHALL HAVE NO PARTICLE SIZE LARGER THAN 12". CARE SHOULD BE EXERCISED WHEN PLACING MATERIALS WHICH EXCEED 3" TO ASSURE THAT NESTING DOES NOT OCCUR AND TO FURTHER ASSURE THAT THE +3" PARTICLES ARE FULLY SURROUNDED BY FINER GRAINED MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
- ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF THE CITY OF DELRAY BEACH ENGINEERING DIVISION.
- ALL HANDICAP SPACES, RAMPS, AND ACCESS AREAS SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN DISABILITY ACT" (ADA) (28 CFR PART 36), AND "ACCESSIBILITY BY HANDICAPPED PERSONS", CHAPTER 553, PART V, FLORIDA STATUTES. ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
- UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770. FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.

UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES

RED	ELECTRIC
YELLOW	GAS-OIL
ORANGE	COMMUNICATION, CATV
BLUE	WATER
GREEN	SEWER
PINK	SURVEY MARKINGS
WHITE	PROPOSED EXCAVATION

- THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES IF APPLICABLE.

FLORIDA POWER AND LIGHT COMPANY
A T & T
DELRAY BEACH WATER UTILITIES DEPARTMENT
LOCAL CABLE TELEVISION COMPANY(S)
FLORIDA DEPARTMENT OF TRANSPORTATION
LOCAL GAS COMPANY

- ALL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS AND SHALL RESTORE THEM PROMPTLY.
- FLOOD INFORMATION IS AS FOLLOWS:

COMMUNITY NUMBER: 125102
PANEL NUMBER: 0977
SUFFIX: F
DATE OF FIRM INDEX: OCTOBER 5, 2017
ZONE: X
BASE FLOOD ELEV: N/A
- CONTRACTOR SHALL VERIFY EXISTING WATER SERVICE MATERIAL. IF THE WATER SERVICE IS GALVANIZED THEN IT SHALL BE REPLACED TO THE WATER MAIN PER PW 9.10 AT THE OWNERS EXPENSE.

RONALD W. LAST, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 38707

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RONALD W. LAST ON THE DATE INDICATED HERE.

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CONSTRUCTION NOTES & DETAILS
FOR
200 NE 5TH COURT
DELRAY BEACH, FL

REVISIONS	DATE	BY	CHK

EB 9889

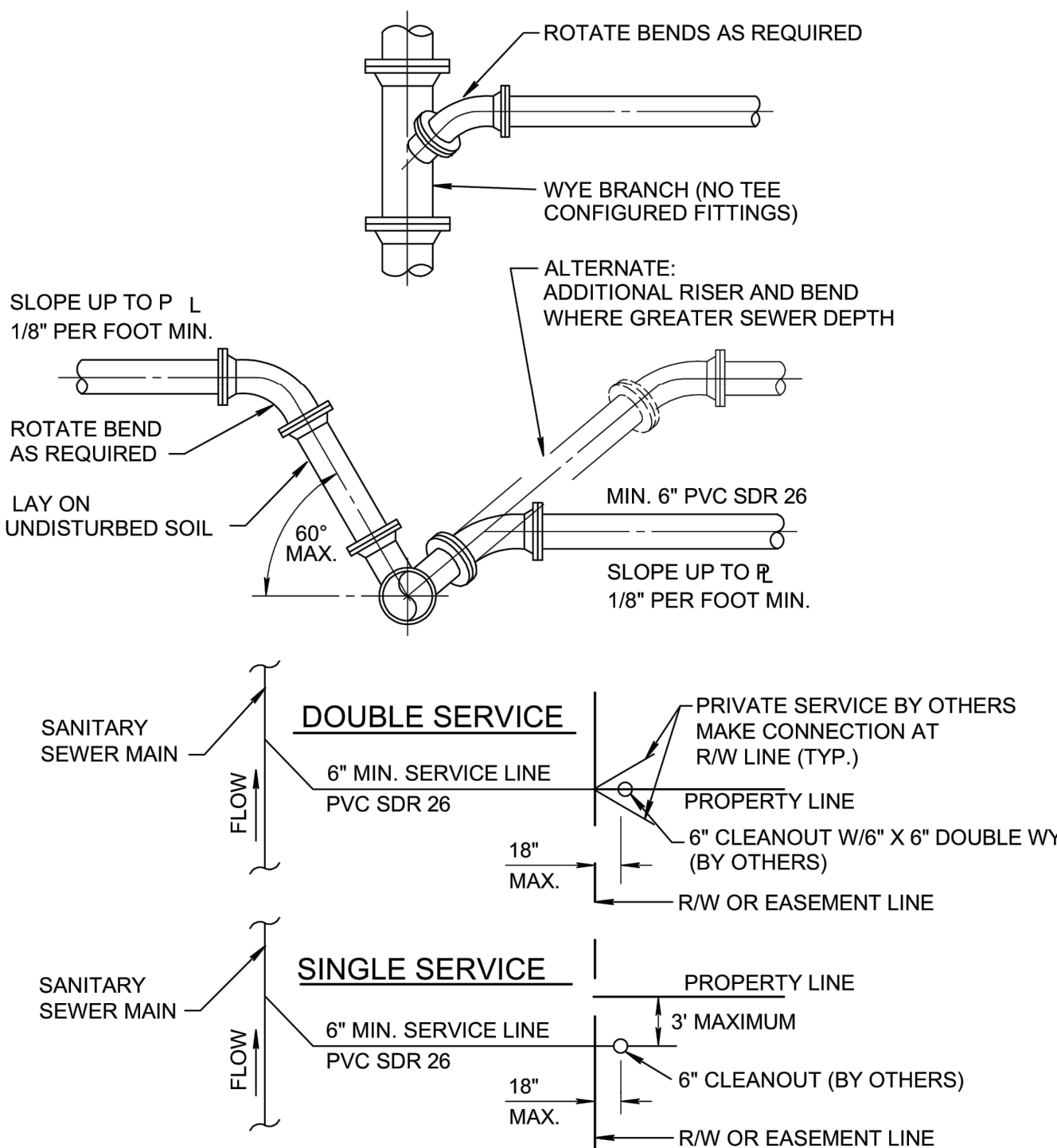
LDI
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

SCALE: N/A
DATE: DEC 2024
DESIGNED BY: SAS
CHECKED BY: RWL
DRAWING FILE:
24-172 DET

12/16/2024
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

24-172 | SI

SHEET 3 OF 4



NOTE:

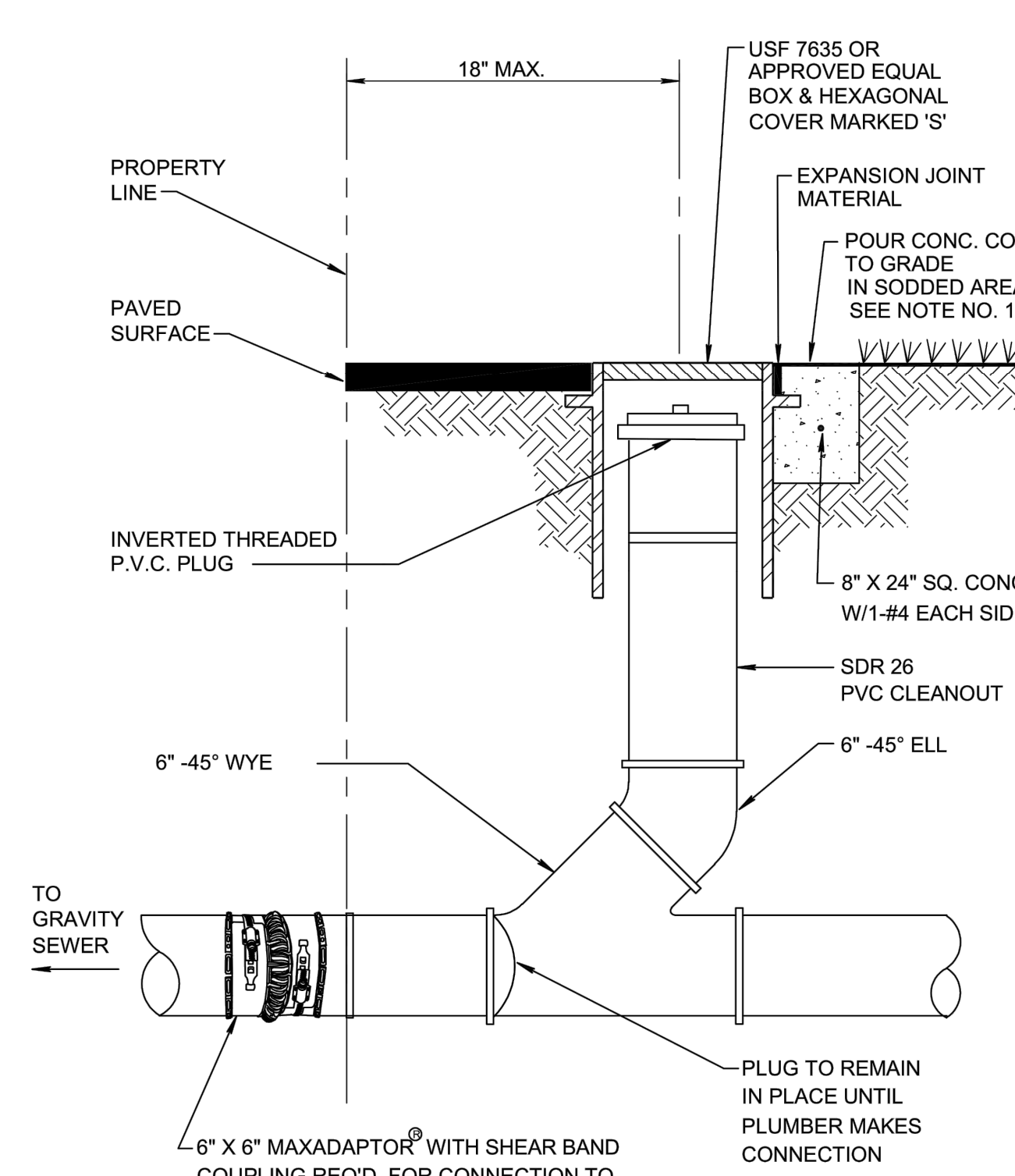
- SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2" X 4" TREATED STAKE.
- CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
- SEE DETAIL PW 2.0 FOR SEPARATION REQUIREMENTS.

SEWER SERVICE CONNECTION

N.T.S.

DATE: 10-04-2024

WW 8.0



NOTE:

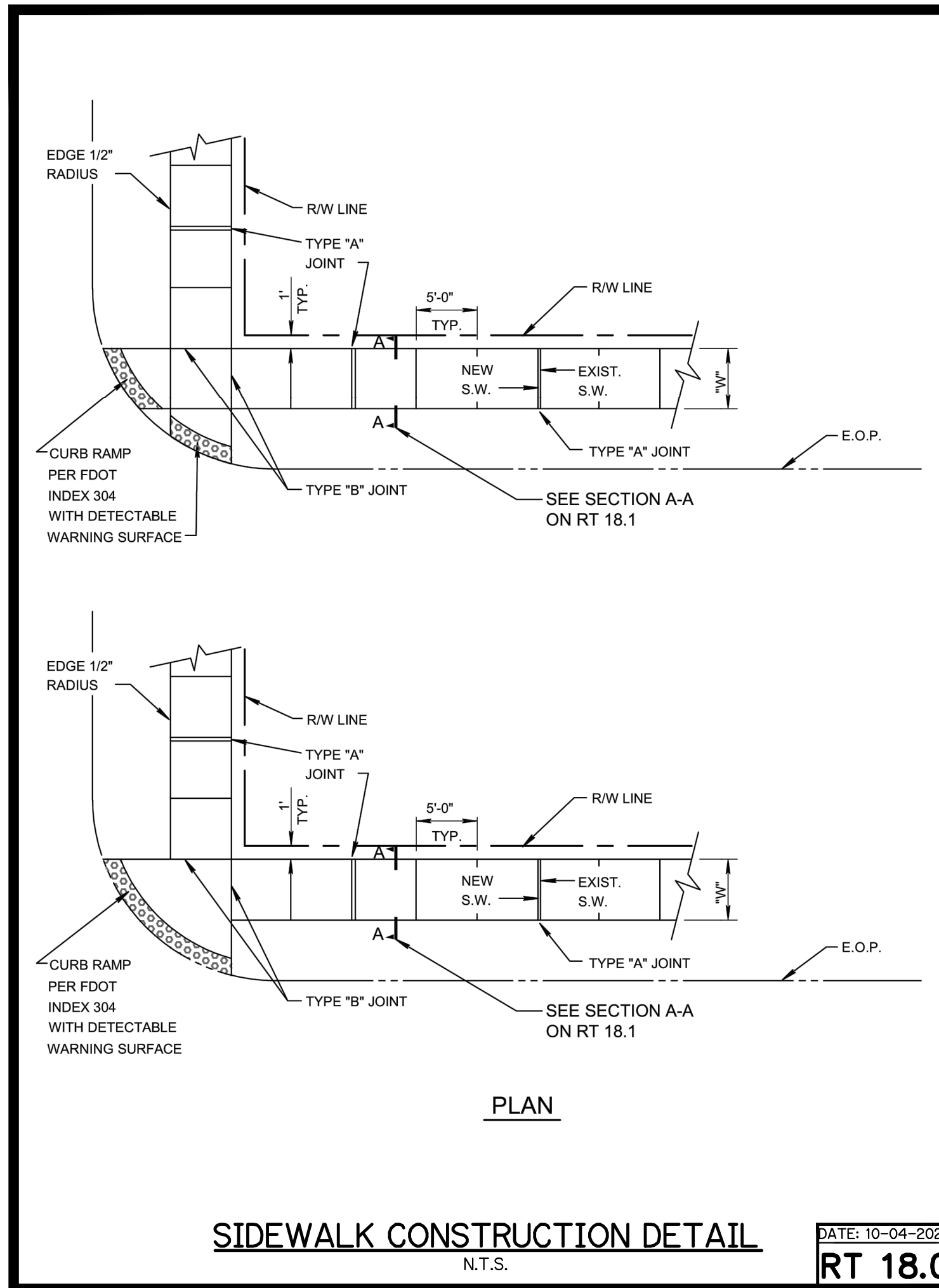
- ALL SANITARY SEWER LATERALS AND CLEANOUT TO BE MINIMUM 6" DIAMETER IN SIZE UNLESS OTHERWISE PREVIOUSLY APPROVED BY THE DEPARTMENT.
- MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

TYPICAL CLEANOUT

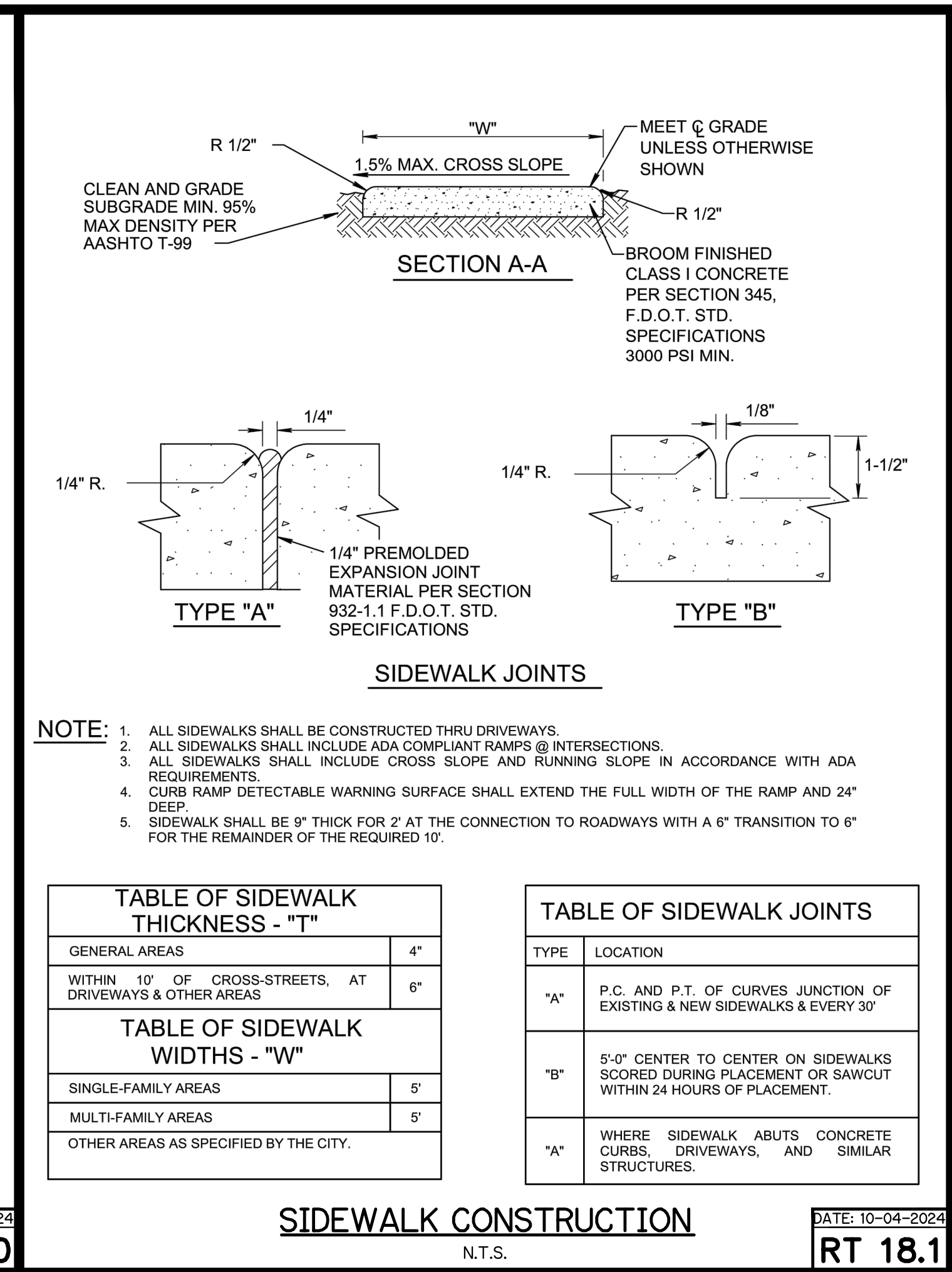
N.T.S.

DATE: 10-04-2024

WW 10.0



SIDEWALK CONSTRUCTION DETAIL
N.T.S. DATE: 10-04-2024
RT 18.0



NOTE:

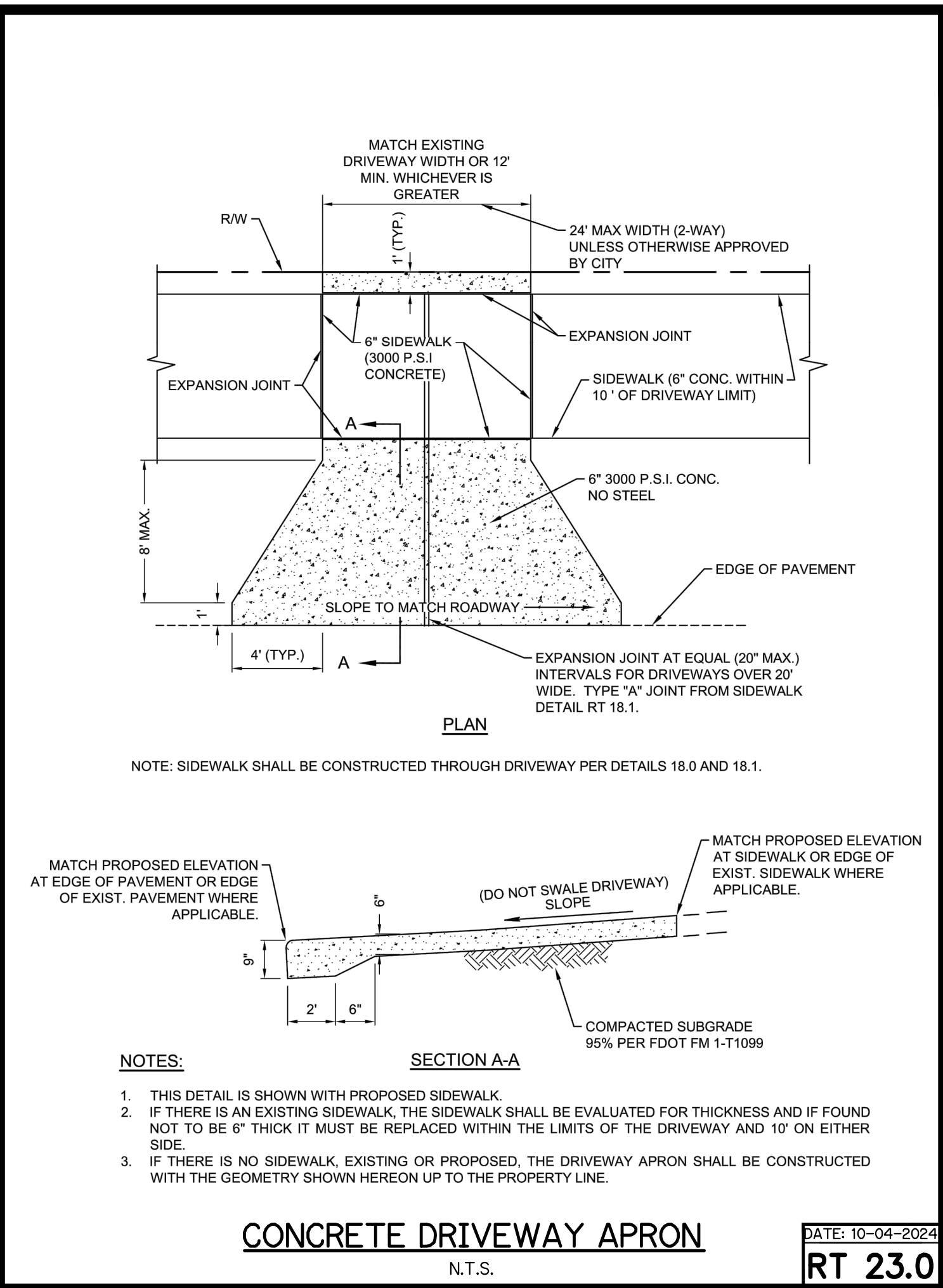
- ALL SIDEWALKS SHALL BE CONSTRUCTED THRU DRIVEWAYS.
- ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT RAMPS @ INTERSECTIONS.
- ALL SIDEWALKS SHALL INCLUDE CROSS SLOPE AND RUNNING SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
- CURB RAMP DETECTABLE WARNING SURFACE SHALL EXTEND THE FULL WIDTH OF THE RAMP AND 24" DEEP.
- SIDEWALK SHALL BE 9" THICK FOR 2' AT THE CONNECTION TO ROADWAYS WITH A 6" TRANSITION TO 6" FOR THE REMAINDER OF THE REQUIRED 10'.

TABLE OF SIDEWALK THICKNESS - "T"	
GENERAL AREAS	4"
WITHIN 10' OF CROSS-STREETS, AT DRIVEWAYS & OTHER AREAS	6"

TABLE OF SIDEWALK WIDTHS - "W"	
SINGLE-FAMILY AREAS	5'
MULTI-FAMILY AREAS	5'
OTHER AREAS AS SPECIFIED BY THE CITY.	

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING & NEW SIDEWALKS & EVERY 30'
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS SCORED DURING PLACEMENT OR SAWCUT WITHIN 24 HOURS OF PLACEMENT.
"A"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.

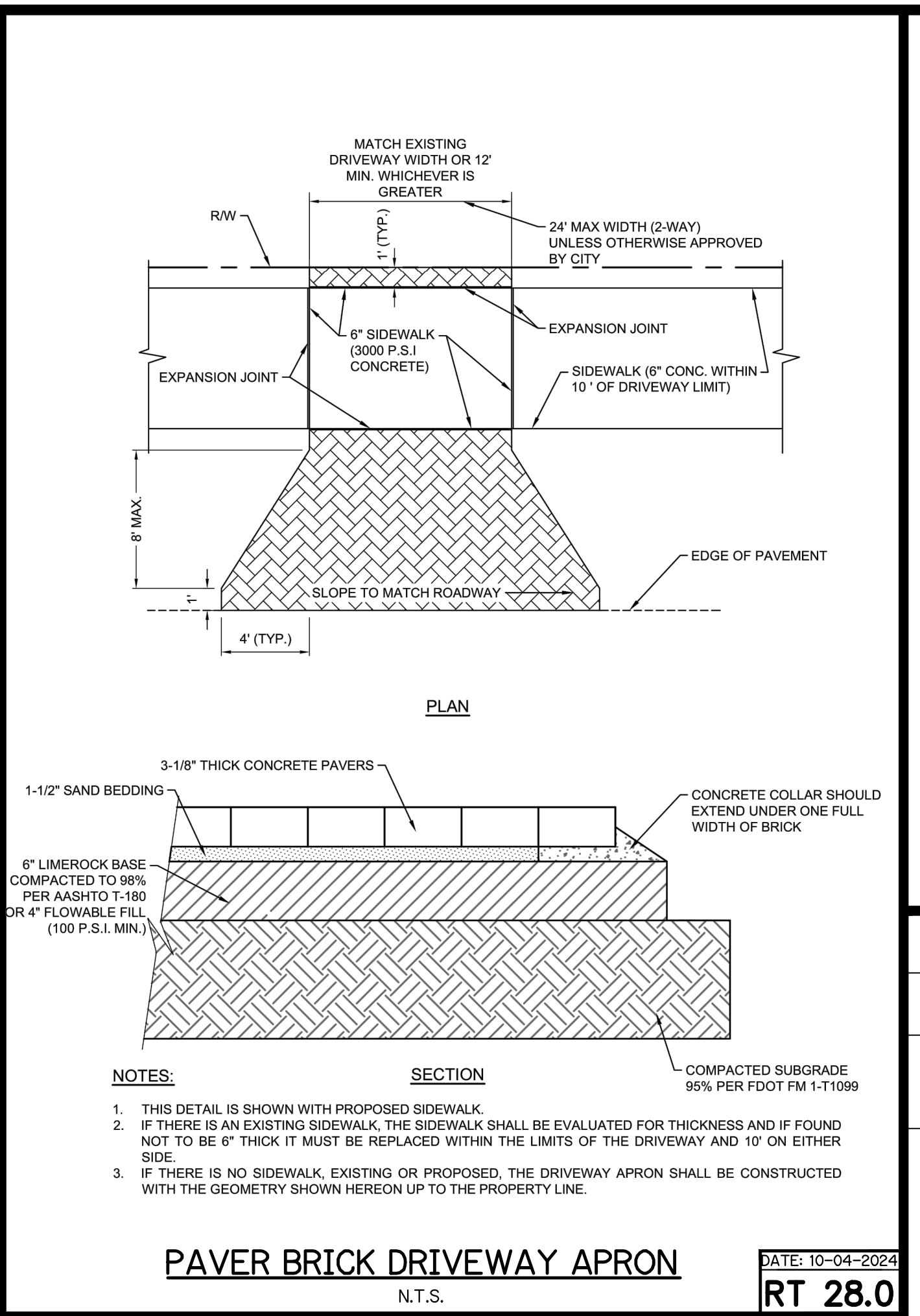
SIDEWALK CONSTRUCTION
N.T.S. DATE: 10-04-2024
RT 18.1



NOTES:

- THIS DETAIL IS SHOWN WITH PROPOSED SIDEWALK.
- IF THERE IS AN EXISTING SIDEWALK, THE SIDEWALK SHALL BE EVALUATED FOR THICKNESS AND IF FOUND NOT TO BE 6" THICK IT MUST BE REPLACED WITHIN THE LIMITS OF THE DRIVEWAY AND 10' ON EITHER SIDE.
- IF THERE IS NO SIDEWALK, EXISTING OR PROPOSED, THE DRIVEWAY APRON SHALL BE CONSTRUCTED WITH THE GEOMETRY SHOWN HEREON UP TO THE PROPERTY LINE.

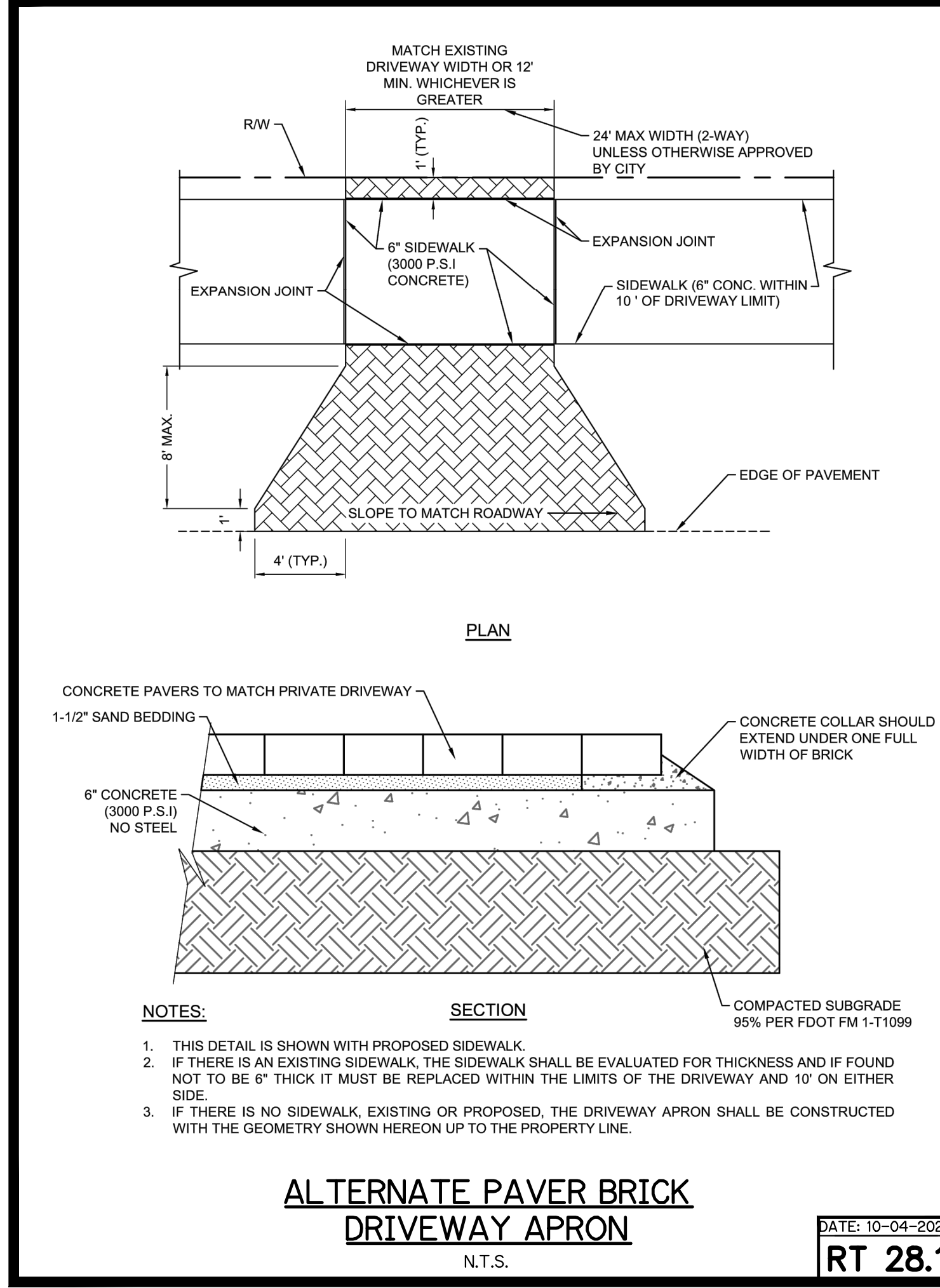
CONCRETE DRIVEWAY APRON
N.T.S. DATE: 10-04-2024
RT 23.0



NOTES:

- THIS DETAIL IS SHOWN WITH PROPOSED SIDEWALK.
- IF THERE IS AN EXISTING SIDEWALK, THE SIDEWALK SHALL BE EVALUATED FOR THICKNESS AND IF FOUND NOT TO BE 6" THICK IT MUST BE REPLACED WITHIN THE LIMITS OF THE DRIVEWAY AND 10' ON EITHER SIDE.
- IF THERE IS NO SIDEWALK, EXISTING OR PROPOSED, THE DRIVEWAY APRON SHALL BE CONSTRUCTED WITH THE GEOMETRY SHOWN HEREON UP TO THE PROPERTY LINE.

PAVER BRICK DRIVEWAY APRON
N.T.S. DATE: 10-04-2024
RT 28.0



NOTES:

- THIS DETAIL IS SHOWN WITH PROPOSED SIDEWALK.
- IF THERE IS AN EXISTING SIDEWALK, THE SIDEWALK SHALL BE EVALUATED FOR THICKNESS AND IF FOUND NOT TO BE 6" THICK IT MUST BE REPLACED WITHIN THE LIMITS OF THE DRIVEWAY AND 10' ON EITHER SIDE.
- IF THERE IS NO SIDEWALK, EXISTING OR PROPOSED, THE DRIVEWAY APRON SHALL BE CONSTRUCTED WITH THE GEOMETRY SHOWN HEREON UP TO THE PROPERTY LINE.

ALTERNATE PAVER BRICK DRIVEWAY APRON
N.T.S. DATE: 10-04-2024
RT 28.1

CONSTRUCTION DETAILS FOR 200 NE 5TH COURT DELRAY BEACH, FL

REVISIONS	DATE	BY	CHK

EB 9899

LDI
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

SCALE: N/A
DATE: DEC 2024
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DRAWING FILE: 24-172 DET

RONALD W. LAST, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 38707

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12/16/2024
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

24-172 | SI

SHEET 4 OF 4