

HISTORIC PLANNING BOARD SUBMISSION:

WANG RESIDENCE

139/143 SE 7TH AVE
DELRAY BEACH, FL 33483

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- SPI-3 COMPOSITE OVERLAY DEMOLIITON PLAN
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- A1-2 ELEVATIONS BLDG 1
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- WS-2 DEMOLITION PLAN
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- WS-4 WATER & SEWER DETAILS
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- PD-3 PAVING, GRADING & DRAINAGE PLAN
- PD-4 PAVING, GRADING & DRAINAGE DETAILS
- PD-5 PAVING, GRADING & DRAINAGE DETAILS

ARCHITECTURAL RENDERING:



PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF AN ADDITION AND A RENOVATION OF THE INTERIOR & EXTERIOR OF FOUR EXISITNG BUILDINGS LOCATED ON THE PROPERTIES AT 139 & 143 SE 7TH AVE.

GENERAL NOTES:

1. ALL IDEAS, DRAWINGS, PLANS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER OF RECORD. THEY WERE CREATED FOR AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. THE IDEAS, DESIGNS, DRAWINGS, PLANS AND ARRANGEMENTS OF THE SPECIFIED PROJECT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSONS, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND ENGINEER(S) OF RECORD.
2. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR THE ARCHITECT/ENGINEER OF RECORD REVIEW ONLY AFTER THEY HAVE BEEN THOROUGHLY REVIEWED BY THE GENERAL CONTRACTOR FOR CONSTRUCTION METHODS, DIMENSIONS, FIELD CONDITIONS, "AS-CONSTRUCTED" DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH THE CONTRACTOR'S APPROVAL STAMP.
3. ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY OR CIVIL DWGS. THAT ARE INSERTED INTO THIS SET AND/OR LACK OF. THIS INCLUDES BUT NOT LIMITED TO PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC.

ABBREVIATIONS:

AT	H.C.	HOLLOE CORE
ACOUSTICAL TILE	H.M.	HOLLOW METAL
ADJUSTABLE	H.V.A.C.	HEATING, VENTILATION, & AIR
ANCHOR BOLT		CONDITIONING
AIR CONDITIONING	INSUL.	INSULATION
ABOVE FINISH FLOOR	INV.	INVERT
ALUMINUM	LAM.	LAMINATED
ALTERNATE	MAT.	MATERIAL
BOARD	M.C.	MECHANICAL CONTRACTOR
BUILDING	M.H.	MAN HOLE
BENCH MARK	MLDG.	MOLDING
BRIDGING OR BEARING	MTL. MET.	METAL
CENTER TO CENTER	MIN.	MINIMUM
CENTER LINE	M.T.	METAL THRESHOLD
CABINET	N.I.C.	NOT IN CONTRACT
CATCH BASIN	NO.	NUMBER
CAST IRON	NOM.	NOMINAL
CERAMIC	O.C.	ON CENTER
CEILING	OPG.	OPENING
CLEAN OUT	O.W.	OPEN WEB
CONCRETE	P.C.	PLUMBING CONTRACTOR
COORDINATE	PL	PLATE
COLUMN	PT.	PRESSURE TREADED
CONTINUOUS	P.S.I.	POUNDS PER SQUARE INCH
DETAIL	R.A.	RETURN AIR
DOWN	RM.	ROOM
DECK	REQ'D	REQUIRED
DOWN SPOUT	REIN.	REINFORCING
DRY WALL	S.B.	SPALSH BLOCK
DRAWING	SCH.	SCHEDULE
ELECTRICAL CONTRACTOR	SEC.	SECTION
ELEVATION	S.C.	SOLID CORE
ELECTRICAL	S.S.	STAINLESS STEEL
EXISTING	S.V.B.	STRAIGHT VINYL BASE
EXPOSED OR EXPANSION	SPEC.	SPECIFICATION
FIRE EXTINGUISHER	T.O.	TOP OF
FINISHED FLOOR	T.O.F.	TOP OF FOOTING
FLOOR	T.O.P.	TOP OF PLATE
FULL SIZE	T.O.S.	TOP OF STEEL
FOOT OR FEET	TYP.	TYPICAL
FOOTING	THK.	THICK OR THICKNESS
GENERAL CONTRACTOR	T&G	TOUNGUE AND GROOVE
GLASS OR GLAZING	V.C.T.	VINYL COMPOSITION TILE
GLAZED PAINT	V.C.B.	VINYL COVE BASE
GYPNUM	VIF	VERIFY IN FIELD
HOSE BIB	W/	WROUGHT IRON
HEIGHT	W.I.	WOOD
HARDENER	W.D.	WELDED WIRE FABRIC
	W.W.F.	

WALL LEGEND:

	EXISTING CMU WALL
	EXISTING INTERIOR WALL
	EXISTING FIRE RATED PARTITION WALL
	CMU WALL
	CMU WALL, W/ ONE SIDE 1x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 2x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 1-5/8" MTL. STUD & GYPSUM BOARD
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 1-5/8" MTL. STUD & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 2x PT FURRING & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL
	INTERIOR WALL
	INTERIOR FIRE RATED PARTITION WALL

ARCHITECTURAL SYMBOLS:

	REVISION MARKER
	ELEVATION MARK
	ROOM NUMBER
	DOOR TAG- REFER TO DOOR SCHEDULE
	WINDOW TAG- REFER TO WINDOW SCHEDULE
	WALL DETAIL, REFER TO PARTITION DETAILS
	FIXTURE TAG
	SECTION LETTER
	WALL SECTION
	BUILDING SECTION
	DETAIL

DESIGN TEAM:

OWNER:

139 143 SE 7TH AVENUE LLC
160 W CAMINO REAL # 168
BOCA RATON, FL 33432

ARCHITECT:

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C.O.A. DRAWINGS

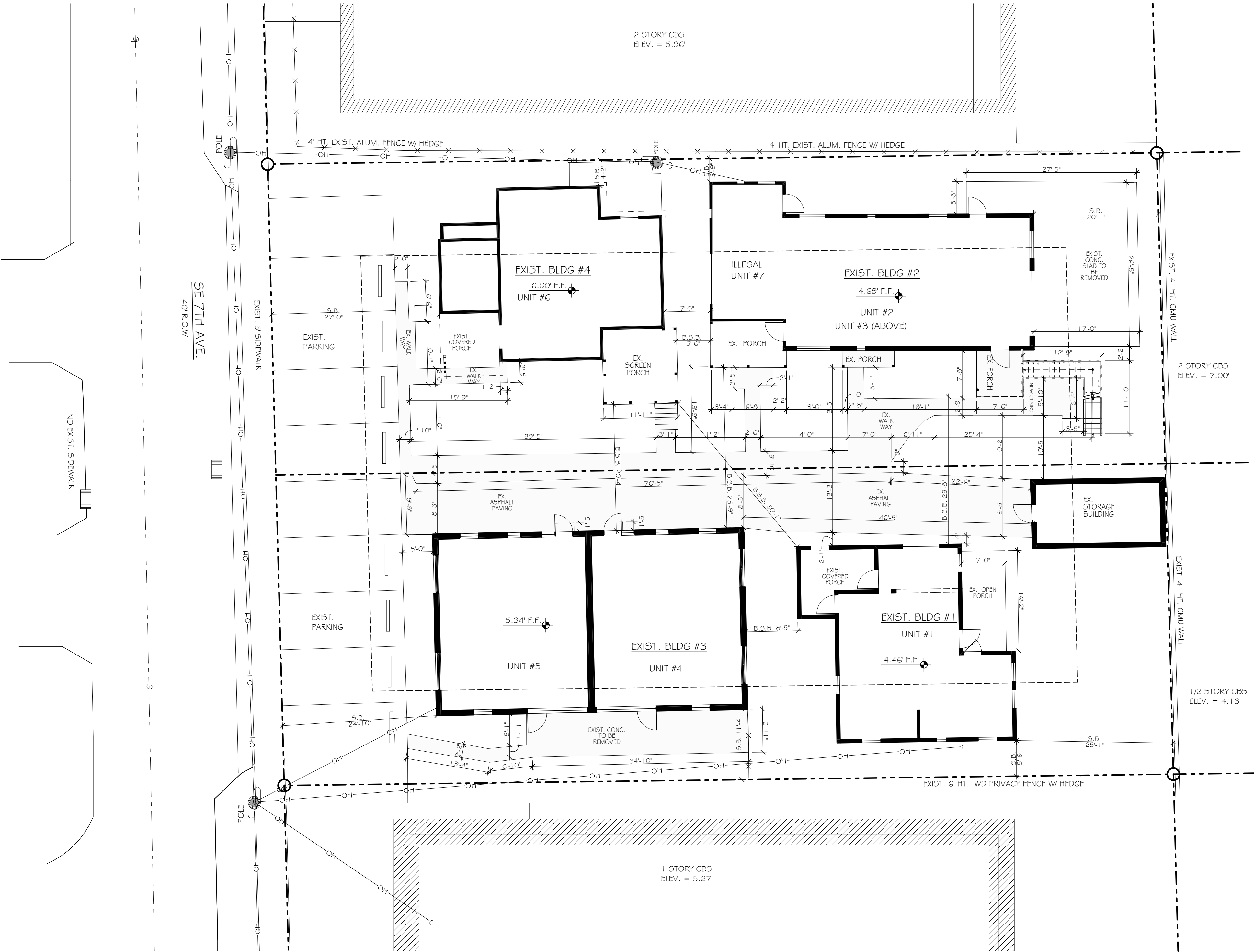
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PROJECT NO: 22-429
DATE: 4.10.23
DRAWN BY: BT
CHECKED BY: SK
REVISIONS:
A CITY COMMENTS (3,18,25)
B CITY COMMENTS (5,14,25)
C CITY COMMENTS (8,8,25)

COVER SHEET

CS.1

NOTE:
SITE PLAN IS ILLUSTRATIVE # 15 SHOWN FOR
BUILDING LOCATION ONLY.



EXISTING ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'

DRAWING ABBREVIATIONS

U.E. UTILITY EASEMENT
D.E. DRAINAGE EASEMENT
L.A.E. LIMITED ACCESS EASEMENT
L.M.E. LAKE MAINTENANCE EASEMENT
S.B. SETBACK
B.S.B. BUILDING SETBACK
PROP. B.S.B. PROPOSED BUILDING SET BACK
E.O.W. EDGE OF WATER
L.B.E. LANDSCAPE BUFFER EASEMENT
R.O.W. RIGHT OF WAY
CB. CATCH BASIN

PROJECT DATA:

PROJECT & OWNER INFORMATION:

OWNER: 139 143 SE 7TH AVENUE LLC
ADDRESS: 139/143 SE 7TH AVE
DELRAY BEACH, FL 33483
P.C.N.: 12-43-46-16-01-126-0180
12-43-46-16-01-126-0170
LEGAL: DELRAY BEACH LT 18 BLK 126
DELRAY BEACH LT 17 BLK 126

HISTORIC: MARINA HISTORIC DISTRICT

ZONING AND CODE INFORMATION:

ZONING: RM - RM-MULTIPLE FAMILY
CONSTRUCTION TYPE: III-B
CURRENT USE: 0800 - MULTIFAMILY
PROPOSED USE: 0800 - MULTIFAMILY
FLOOD ZONE: AE - ELEV. 8', REFER TO SURVEYORS DWG'S.

FLORIDA BUILDING CODE:
FBC-2020 BUILDING CODE & FBC-2020 7TH EDITION RESIDENTIAL
FBC EC=FLORIDA BUILDING CODE ENERGY CONSERVATION 2020
FLORIDA FIRE PREVENTION CODE, 5TH EDITION
NEC NFPA 70 2017 EDITION, NATIONAL ELECTRICAL CODE
FS= FLORIDA STATUTES

SITE/LAND DATA: REQUIRED EXISTING

TOTAL SITE AREA:	328 AC (14,312 SF)	
MIN. LOT SIZE:	8,000 SF	14,301
MIN. LOT WIDTH:	60'	100'
MIN. LOT DEPTH:	100'	143'
LOT FRONTAGE:	60'	100'
F.A.R.:	-	.36
MIN. FLOOR AREA(SF):	(1)	4,060
MAX. LOT COVERAGE(BLDG)	40%	28.4%
MIN. OPEN SPACE:	25%	37.5%
MAX. HEIGHT:	35'	20'-1 1/2" (Bldg. #2)
DENSITY:	6-12 UNITS/ACRE 3 DU PERMITTED	7 DU EXISTING* 3 MAX. DU ALLOWED

* THE 7 UNITS ARE AN EXISTING NON-CONFORMITY.

SETBACKS:

	REQUIRED	EXISTING
FRONT(WEST):	25/30' (6)	24.85'
REAR (EAST):	15/25' (6)	20.06'
SIDE INTERIOR (NORTH):	15/30' (6)	3.7'
SIDE INTERIOR (SOUTH):	15/30' (6)	5.69'
POOL REAR:	10'-0"	NA
POOL SIDE :	10'-0"	NA

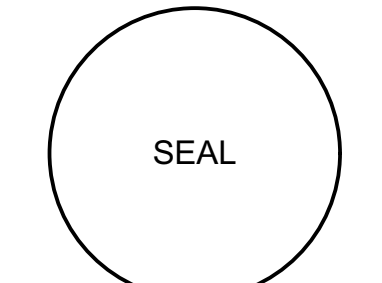
PARKING DATA:	REQUIRED	EXISTING
BLDG #1(1 x 2) "EXISTING"	2 SPACES	
BLDG #2(2 x 2) "EXISTING"	4 SPACES	
BLDG #3(2 x 2) "EXISTING"	4 SPACES	
BLDG #4(1 x 2) "EXISTING"	2 SPACES	
GUEST PARKING	3 SPACES	
HANDICAP PARKING REQ.	*1 SPACES	
	16 SPACES	10 SPACES

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DATE: 4.10.23
DRAWN BY: BT
CHECKED BY: SK
REVISIONS:
4 CITY COMMENTS (3.18.25)
5 CITY COMMENTS (5.14.25)
6 CITY COMMENTS (8.8.25)

EXISTING SITE PLAN

SP1.1

RELIEF REQUESTS:

1. VARIANCE - BUILDING #2 NEW ADDITION ON THE SECOND FLOOR THE EXISTING BUILDING AS THE GROUND FLOOR IS INTO THE REQUIRED 15' NORTH PROPERTY LINE REQUIRED SETBACK. CURRENTLY THIS SETBACK FROM THE PROPERTY LINE IS 9'-3". THIS VARIANCE WILL KEEP THE 9'-3" SETBACK FOR THE SECOND FLOOR ADDITION TO ALIGN WITH THE WALL BELOW.

2. VARIANCE - BUILDING #1 NEW GROUND FLOOR ADDITION ONTO THE REQUIRED 15' SETBACK TO MATCH THE EXISTING BUILDING WALL LINE WHICH IS CURRENTLY AT 5'-9" SETBACK FROM THE PROPERTY LINE. THIS VARIANCE WILL KEEP THE 5'-9" SO THE ADDITION ALIGNS WITH THE EXISTING WALL.

3. INTERNAL ADJUSTMENT - BUILDING #1 NEW GROUND FLOOR ADDITION THAT WILL BE CLOSER TO BUILDING #3. 16.3' IS REQUIRED, REQUEST WILL BRING IT DOWN TO 7'-10". CURRENTLY, THE EXISTING PORCH IS AT 8'-5" FROM BUILDING #3 AND THIS ADJUSTMENT IS ASKING TO CHANGE TO A 7'-10" DISTANCE.

4. VARIANCE - BUILDING #3 FINISHED FLOOR WILL REMAIN AT THE SAME LEVEL WHICH IS CURRENTLY AT 5.34' NAVD.

5. WAIVER - BUILDING #2, THE SECOND FLOOR ADDITION IS EXPANDING TO THE BUILDING'S FRONT ELEVATION LINE ON TO AN EXISTING FLAT ROOF. SEE ELEVATIONS FOR BLDG. #2 FOR TAG.

6. WAIVER - PARKING LOT LANDSCAPE ISLANDS, THE EXISTING LOT WILL NOT ALLOW FOR US TO MEET SEC. 4.6.1 G (H)(3) IN REGARDS TO MULTI-FAMILY DEVELOPMENTS. THE SITE WILL NOT ALLOW FOR INTERMEDIATE ISLANDS AND PROPER SIZED LANDSCAPE AREAS ISLANDS.

DEMOLITION REQUESTS:

7. DEMOLITION - FULL DEMOLITION OF THE EXISTING SINGLE CAR GARAGE.

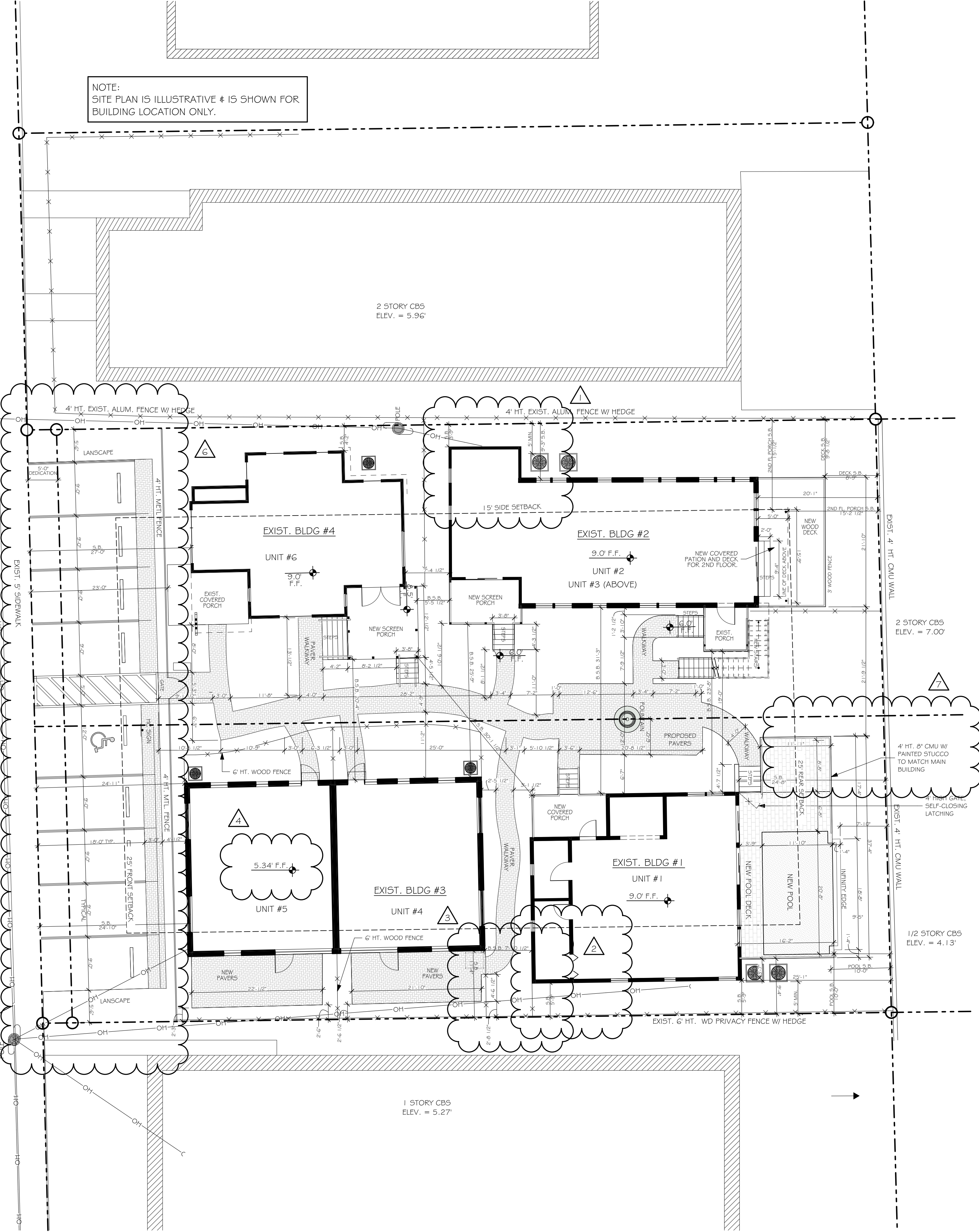


DRAWING ABBREVIATIONS

U.E. UTILITY EASEMENT
D.E. DRAINAGE EASEMENT
L.A.E. LIMITED ACCESS EASEMENT
L.M.E. LAKE MAINTENANCE EASEMENT
S.B. SETBACK
B.S.B. BUILDING SETBACK
PROP. B.S.B. PROPOSED BUILDING SET BACK
E.O.W. EDGE OF WATER
L.B.E. LANDSCAPE BUFFER EASEMENT
R.O.W. RIGHT OF WAY
CB. CATCH BASIN

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NOTE:
SITE PLAN IS ILLUSTRATIVE & IS SHOWN FOR
BUILDING LOCATION ONLY.



PROPOSED ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'

POOL NOTE:
A FENCE IS REQUIRED FOR THE POOL
PER LDR SECTION 4.6.15

BUILDING STYLE DESCRIPTION:
BUILDING 1 & BUILDING 4 IS A MEDITATION STYLE, BUILDING #3 IS
POST MODERN ARCHITECTURE. BUILDING #2 IS FRAME VERNACULAR.

PROJECT DATA:

PROJECT & OWNER INFORMATION:

OWNER: 139 143 SE 7TH AVENUE LLC
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DELRAY BEACH, FL 33483
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12-43-46-16-01-126-0170
LEGAL: DELRAY BEACH LT 18 BLK 126
DELRAY BEACH LT 17 BLK 126
HISTORIC: MARINA HISTORIC DISTRICT

ZONING AND CODE INFORMATION:

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CONSTRUCTION TYPE: III-B
CURRENT USE: 0800 - MULTIFAMILY
PROPOSED USE: 0800 - MULTIFAMILY
FLOOD ZONE: AE - ELEV. 8', REFER TO SURVEYORS DWG'S.

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FBC EC=FLORIDA BUILDING CODE ENERGY CONSERVATION 2020
FLORIDA FIRE PREVENTION CODE, 5TH EDITION
NEC NFPA 70 2018 EDITION, NATIONAL ELECTRICAL CODE
F5= FLORIDA STATUES

SITE/LAND DATA:

	REQUIRED	EXISTING	PROPOSED
TOTAL SITE AREA:	.328 AC (14,312 SF)		
DENSITY:	6-12 UNITS/ACRE 1-3 DU ALLOWED	7 DU EXISTING 3 MAX. ALLOWED	6 DU PROPOSED** 18 DU/AC EXISTING.
MIN. LOT SIZE:	8,000 SF	14,301	14,301
MIN. LOT WIDTH:	60'	100'	100'
MIN. LOT DEPTH:	100'	143'	143'
LOT FRONTAGE:	60'	100'	100'
F.A.R.	-	.36	.47
MIN. FLOOR AREA(SF):	(1)	4,060 (COMBINED)	4,606 (COMBINED)
MAX. LOT COVERAGE(BLDG)	40%	28.4%	32.2%
MIN. OPEN SPACE:	25%	37.5%	38.5%
MAX. HEIGHT:	35'	20'-1 1/2" SEE ELEV.	20'-9" (Bldg. #2) SEE ELEV.

** THE 6 UNITS ARE AN EXISTING NON-CONFORMITY. AN ILLEGALLY SPLIT UNIT WILL BE JOINED BACK IN TO A SINGLE UNIT. NO NEW UNITS ARE ADDED.

F.A.R.:

	PROPOSED
BUILDING #1	0.10
BUILDING #2	0.19
BUILDING #3	0.10
BUILDING #4	0.07

SETBACKS:

	REQUIRED	EXISTING	PROPOSED
FRONT(WEST):	25/30' (6)	24.85'	24.85'
REAR (EAST):	15/25' (6)	20.06'	15.1'
SIDE INTERIOR (NORTH):	15/30' (6)	3.7'	3.7'
SIDE INTERIOR (SOUTH):	15/30' (6)	5.69'	5.69'

POOL REAR:	10'-0"	NA	10'-0"
POOL SIDE :	10'-0"	NA	10'-0"

DISTANCE BETWEEN RESIDENTIAL BUILDINGS :

PER SECTION 4.6.2

$D = (LA + LB + 2(HA + HB)) / 6$

BUILDING #3; LA = 29.16', HA = 11.25'

BUILDING #1; LB = 24.58', HB = 10.83'

$D = (29.16 + 24.58 + 2(11.25 + 10.83)) = 97.8 / 6 = 16.3'$
(EXISTING IS 14' PROPOSED IS 7-10')

Required Minimum Horizontal Distance

Effective Length of Building A:

The effective length of Building A is the length of that portion of its wall, or walls, from which perpendicular lines drawn in a horizontal plane will intersect any wall of Building B. Where Building A has a curved or irregular surface, such surface shall be enclosed within an imaginary rectangle having its side nearest to Building B parallel with Building B, and all measurements shall be made from the imaginary rectangle.

LB =

Effective Length of Building B:

The effective length of Building B is the length of that portion of its wall, or walls, from which perpendicular lines drawn in a horizontal plane will intersect any wall of Building A. Where Building B has a curved or irregular surface, such surface shall be enclosed within an imaginary rectangle having its side nearest to Building A parallel with Building A, and all measurements shall be made to the imaginary rectangle.

	PROPOSED:	REQUIRED:	EXIST.:
BUILDING #3 & #4 DISTANCE BETWEEN BUILDINGS	20'-4"	22.25'	20'-4"
BUILDING #1 & #4 DISTANCE BETWEEN BUILDINGS	30'-1"	NA	30'-1"
BUILDING #1 & #2 DISTANCE BETWEEN BUILDINGS	23'-8"	25.9'	23'-8"
BUILDING #2 & #4 DISTANCE BETWEEN BUILDINGS	5'-6"	21'	5'-6"
BUILDING #1 & #3 DISTANCE BETWEEN BUILDINGS	7'-10"	16.3'	8'-5"
BUILDING #2 & #3 DISTANCE BETWEEN BUILDINGS	25'-9"	NA	25'-9"

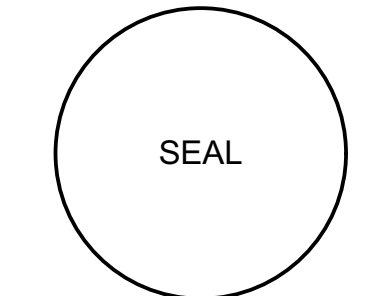
PARKING DATA:	REQUIRED	PROVIDED
BLDG #1(1 x 2) "EXISTING"	2 SPACES	1 SPACES
BLDG #2(2 x 2) "EXISTING"	4 SPACES	2 SPACES
BLDG #3(2 x 2) "EXISTING"	4 SPACES	2 SPACES
BLDG #4(1 x 2) "EXISTING"	2 SPACES	1 SPACES
GUEST PARKING REQ.	2 SPACES	2 SPACES
HANDICAP PARKING REQ.	1 SPACES	1 SPACES
	16 SPACES	09 SPACES

* INCLUDED IN OVERALL PARKING SPACE COUNT
NO NEW BEDROOMS WERE ADDED TO EXISTING FLOOR PLAN LAYOUT - TYPICAL



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CHECKED BY: SK
REVISIONS:

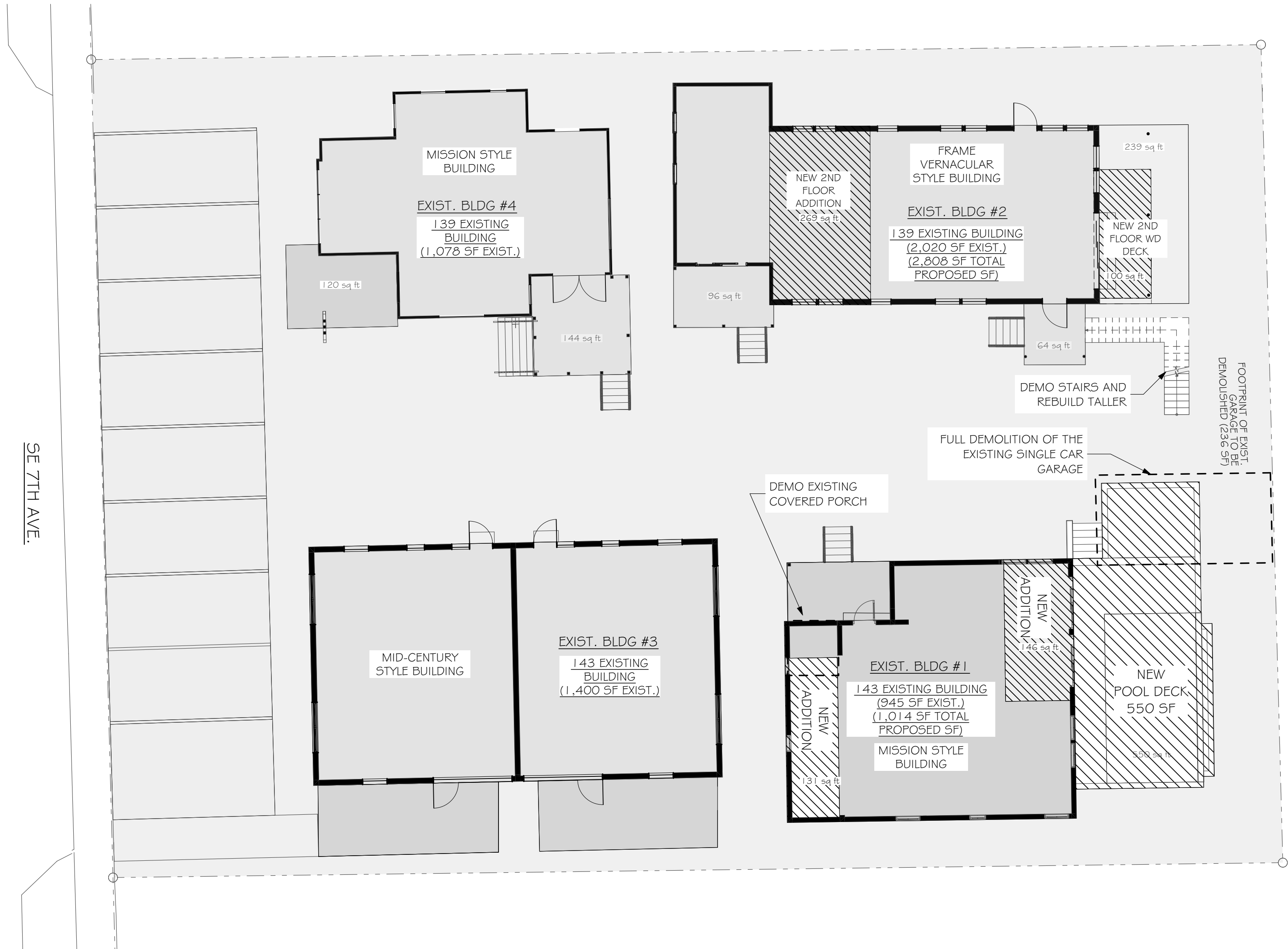
4 CITY COMMENTS (3, 18, 25)

5 CITY COMMENTS (5, 14, 25)

6 CITY COMMENTS (8, 8, 25)

PROPOSED SITE PLAN

SP1.2



OVERLAY PLAN

SCALE: 1" = 10'

BUILDING DATA:

(UC) = OPEN, UNDER COVER
(UA) = ENCLOSED, UNDER AIR

EXISTING:	EXISTING			
BUILDING 1; UNIT #1 (UA) FRONT PORCH (UC) REAR PORCH (UC) TOTAL SF	690 SF 119 SF 136 SF 945 SF			
BUILDING 2; UNIT #2A (UA) UNIT #2A (UC) UNIT 2B (UA) UNIT 2B (UA) UNIT #3 (UA) TOTAL SF	704 SF 64 SF 452 SF 96 SF 704 SF 2,020 SF	NOTE, UNIT 2B WILL BE MERGED WITH UNIT 2A.		
BUILDING 3; UNIT #4 (UA) UNIT #5 (UA) TOTAL SF	700 SF 700 SF 1,400 SF			
BUILDING 4; UNIT #6 (UA) FRONT PORCH REAR PORCH TOTAL SF	814 SF 120 SF 144 SF 1,078 SF			
BUILDING 5: GARAGE	231 SF			

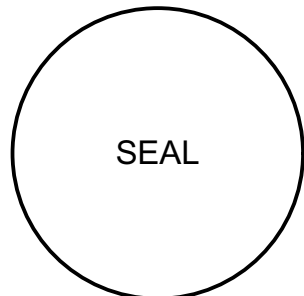
PROPOSED:	EXISTING	DEMO	ADDITION	PROPOSED
BUILDING 1; UNIT #1 (UA) FRONT PORCH (UC) REAR PORCH (UC) TOTAL SF	690 SF 119 SF 136 SF 945 SF	-42 SF -136 SF	+277 SF +550 SF	967 SF 47 SF 550 SF 1,564 SF
BUILDING 2; UNIT #2 (UA - MERGED) UNIT #2 (UC) UNIT #3 (UA) UNIT #3 (UC) TOTAL SF	1,156 SF 160 SF 704 SF 0 SF 2,020 SF	-64 SF	+303 SF +269 SF +186 SF	1,156 SF 399 SF 973 SF 186 SF 2,714 SF
BUILDING 3; UNIT #4 (UA) UNIT #5 (UA) TOTAL SF	700 SF 700 SF 1,400 SF			700 SF 700 SF 1,400 SF
BUILDING 4; UNIT #6 (UA) FRONT PORCH REAR PORCH TOTAL SF	814 SF 120 SF 144 SF 1,078 SF			814 SF 120 SF 144 SF 1,078 SF
BUILDING 5: GARAGE	231 SF	-231 SF		0 SF
BUILDING TOTALS;	5,674 SF	-473 SF	1,689 SF	6,756 SF

EXISTING GARAGE TO BE DEMOLISHED = 231 SF
EXISTING BLDG. #1 COVERED PORCH DEMO = 178 SF
EXISTING BLDG. #2 PORCH DEMO = 64 SF
TOTAL BUILDING AREA= 5,674
(231 + 178 + 64)/5,674=0.083 (8.2%)



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C.O.A. DRAWINGS

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PROJECT NO: 22-429

DATE: 4.10.23

DRAWN BY: BT

CHECKED BY: SK

REVISIONS:

4 CITY COMMENTS (3, 18, 25)

5 CITY COMMENTS (5, 14, 25)

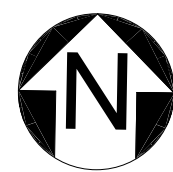
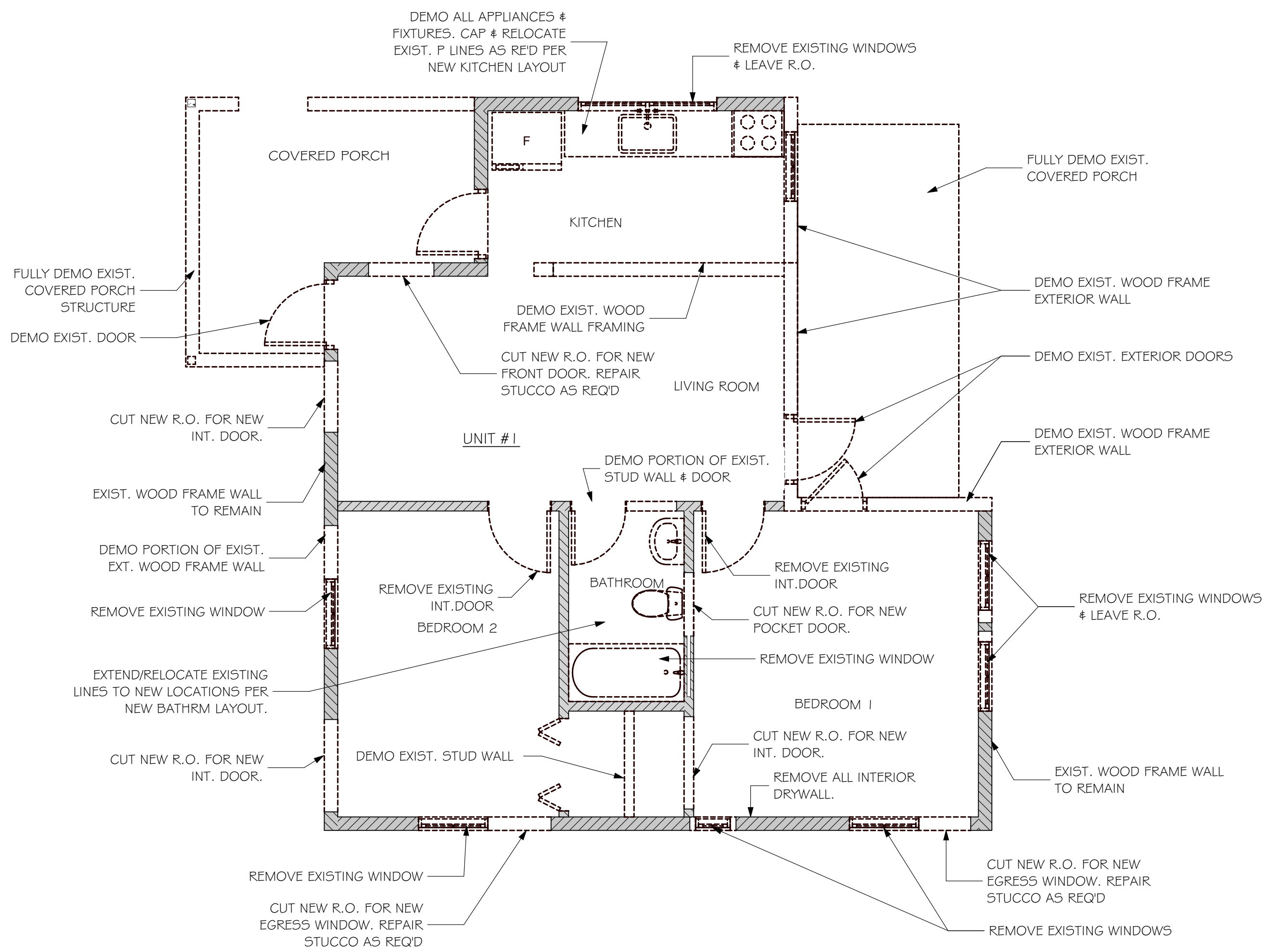
6 CITY COMMENTS (8, 8, 25)

COMPOSITE OVERLAY

DEMOLIITON PLAN

SP1.3

Volumes/SSA Projects/Active Projects/22-429 139 & 143 SE 7th ave (Wang residence)/22-429 139-143 se 7th AVE COA 6.21.23.pln

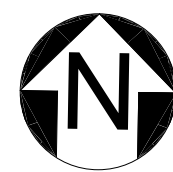
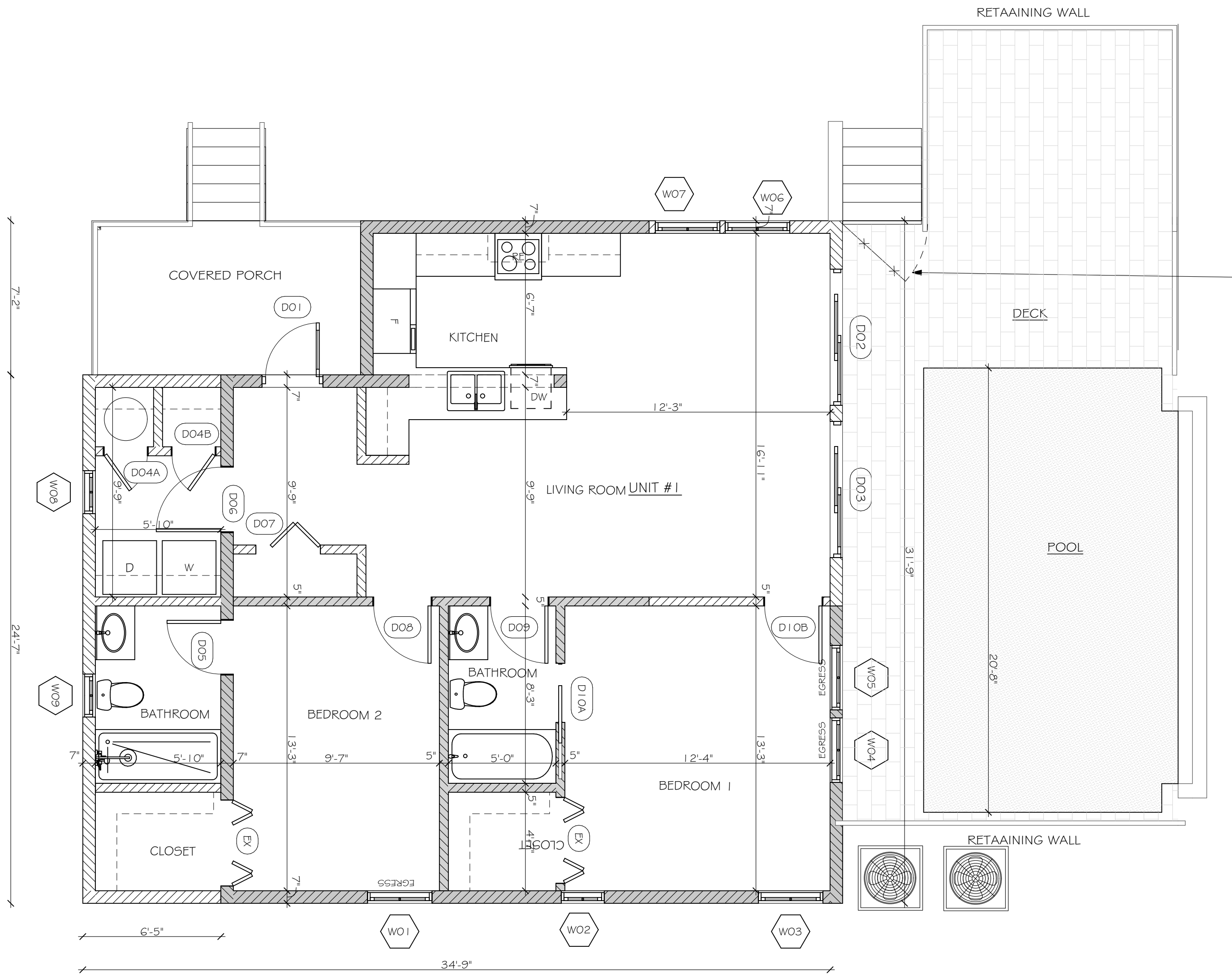


EXISTING/DEMO PLAN BLDG I

SCALE: 1/4" = 1'-0"

EXISTING = 2 BED / 1 BATH

UNIT #1



PROPOSED PLAN BLDG I

SCALE: 1/4" = 1'-0"

PROPOSED = 2 BED / 1 BATH

UNIT #1

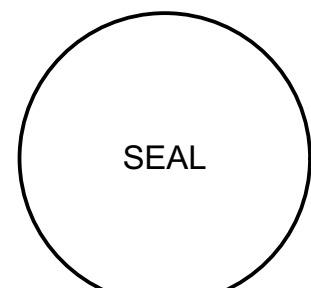
SETBACKS:

(WEST):82'-8"
(EAST):24'-8"
(NORTH):62'-6"
(SOUTH):5'-6"



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PROJECT NO: 22-429

DATE: 4.10.23

DRAWN BY: BT

CHECKED BY: SK

REVISIONS:

4 CITY COMMENTS (3, 1, 8, 25)

5 CITY COMMENTS (5, 14, 25)

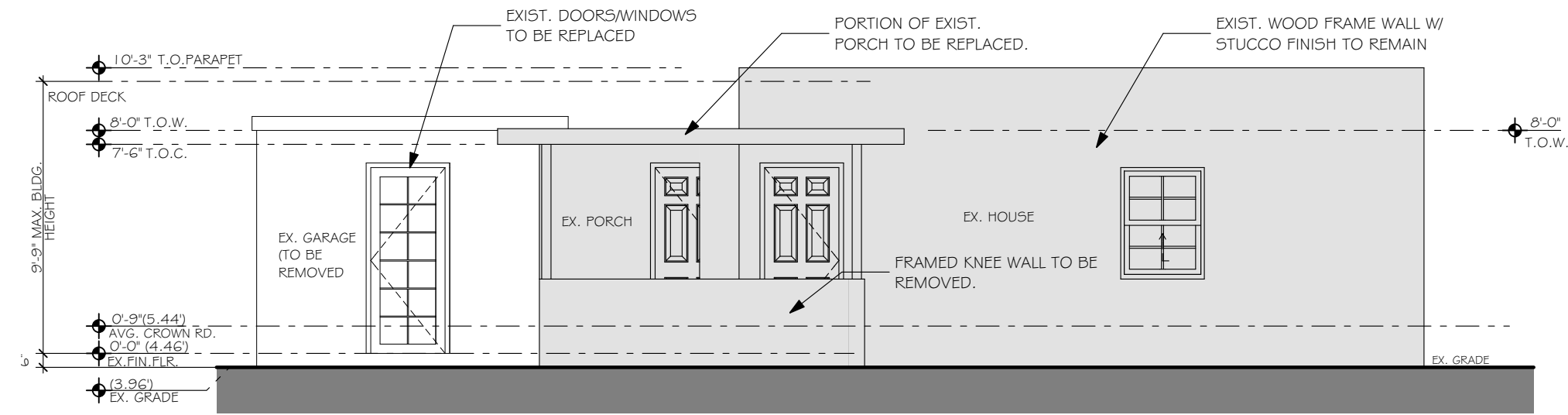
6 CITY COMMENTS (8, 8, 25)

FLOOR PLANS BLDG 1

A1.1

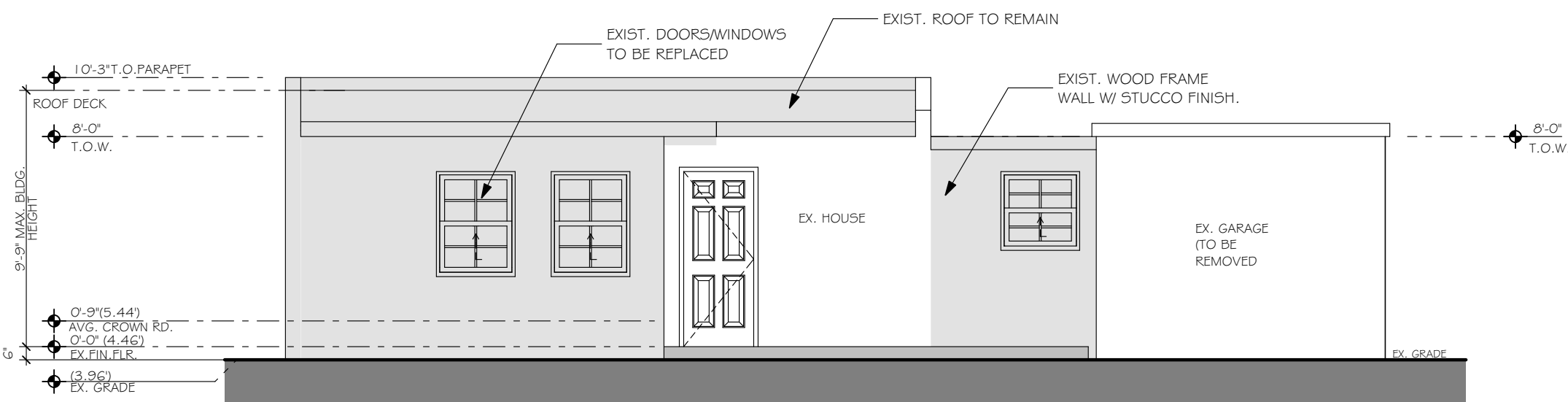
BUILDING #2; UNIT 1

GRAY HATCH INDICATES
EXISTING TO REMAIN, NO
WORK



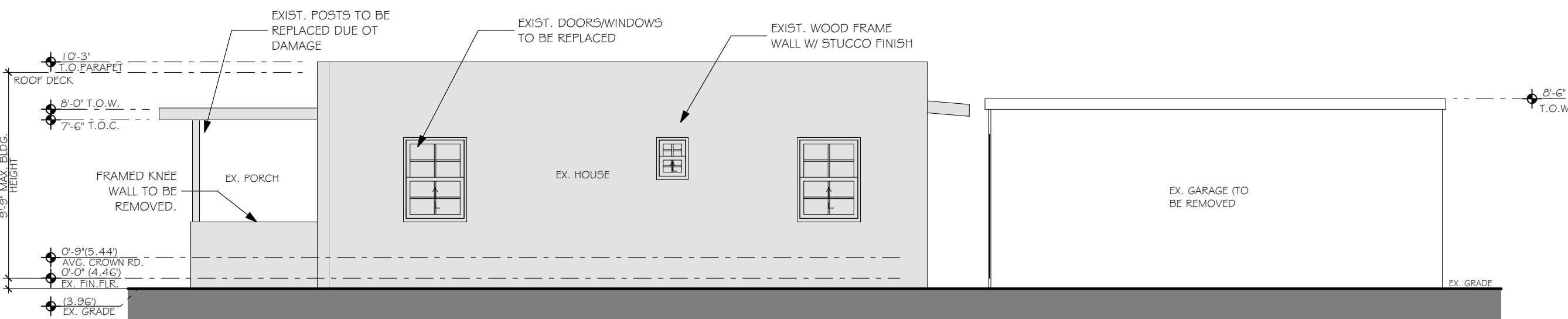
EXISTING WEST ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



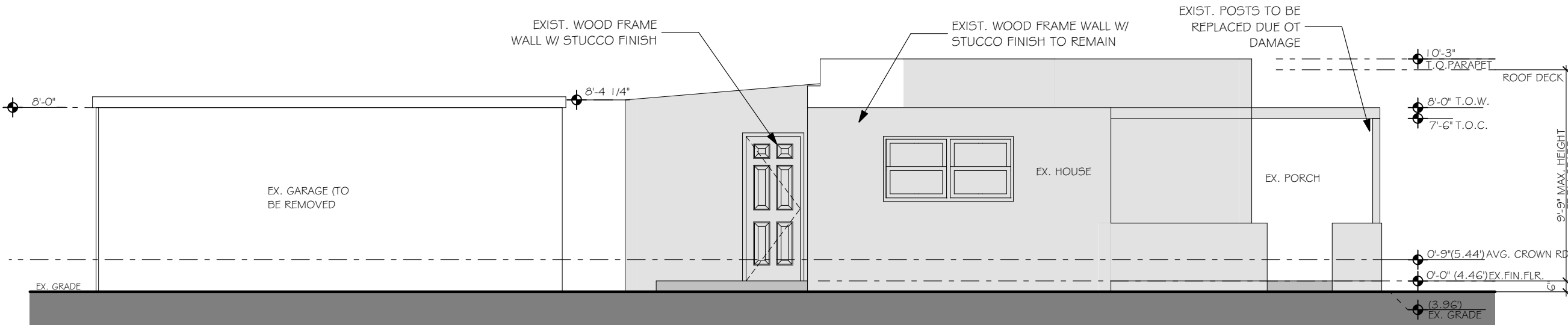
EXISTING EAST ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



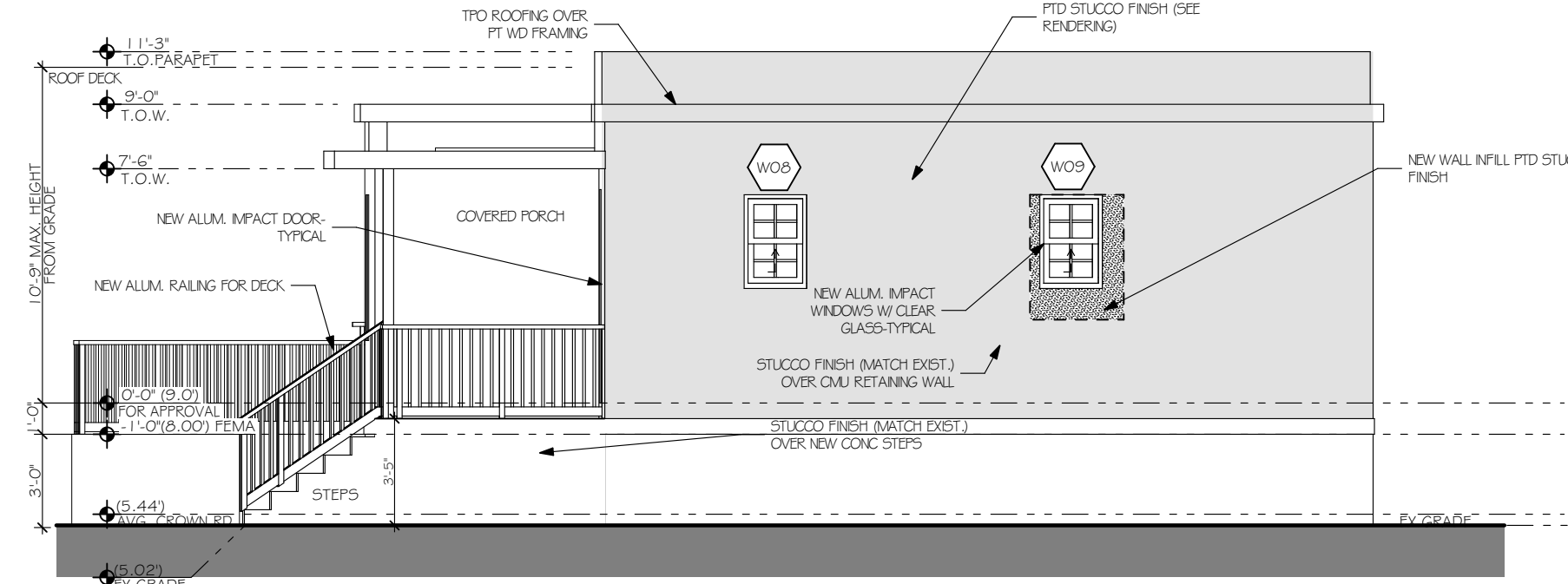
EXISTING SOUTH ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



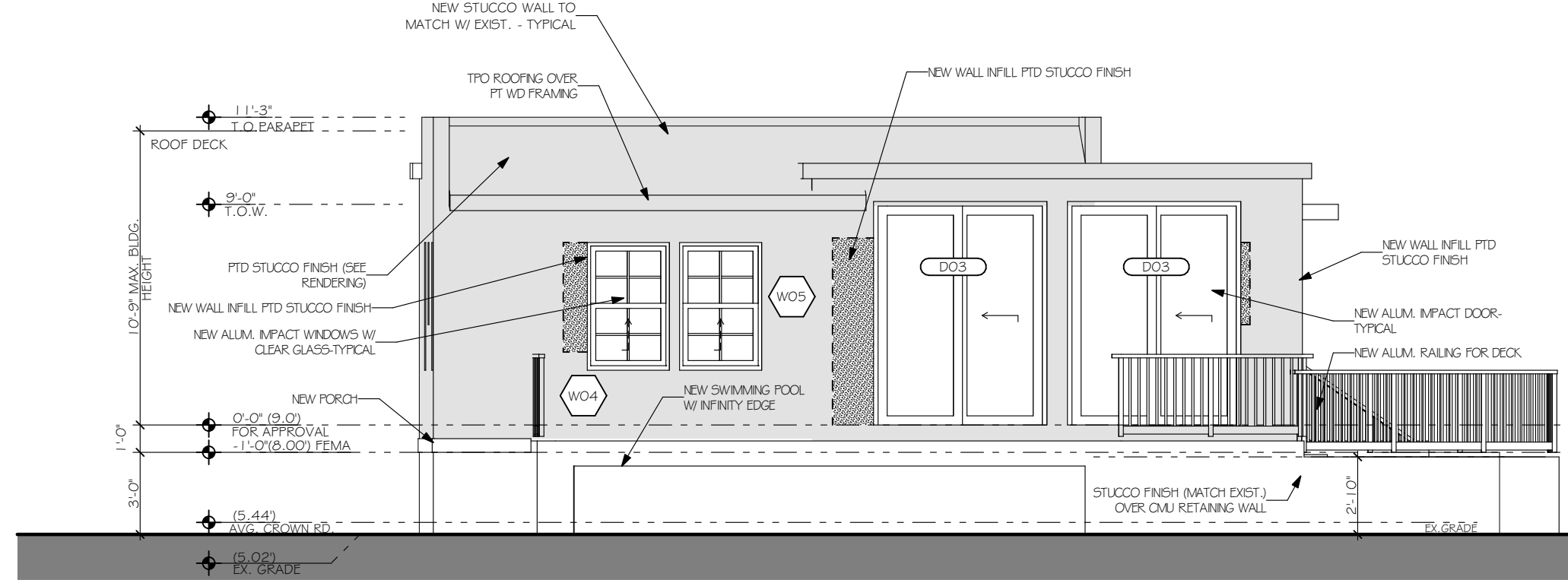
EXISTING NORTH ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



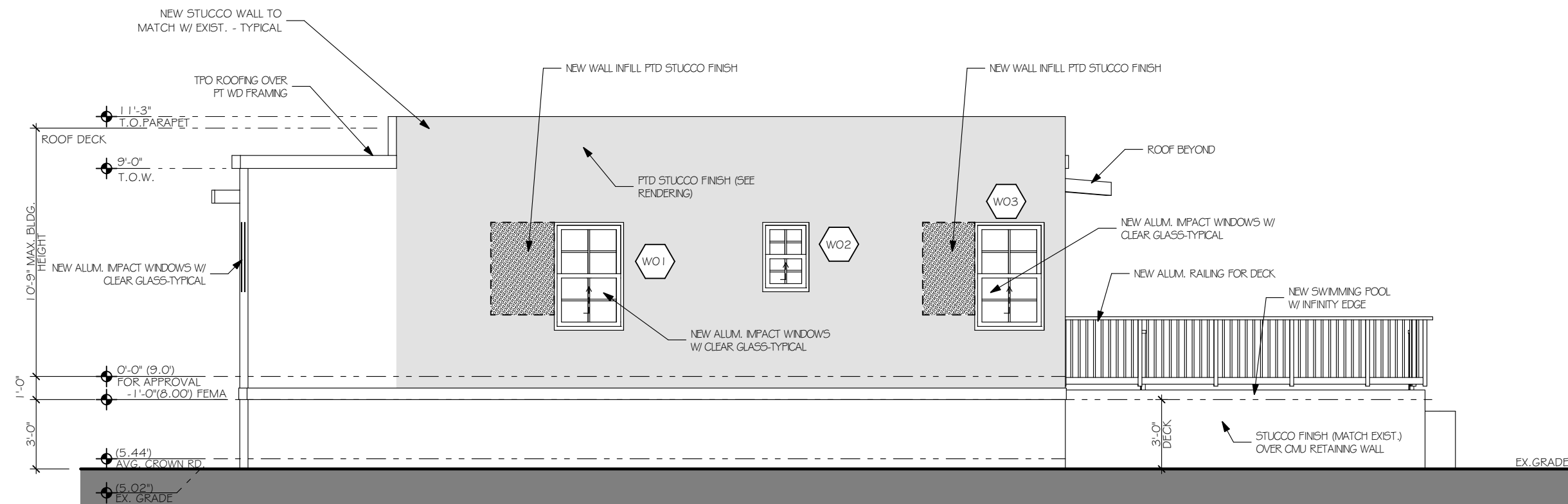
WEST ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



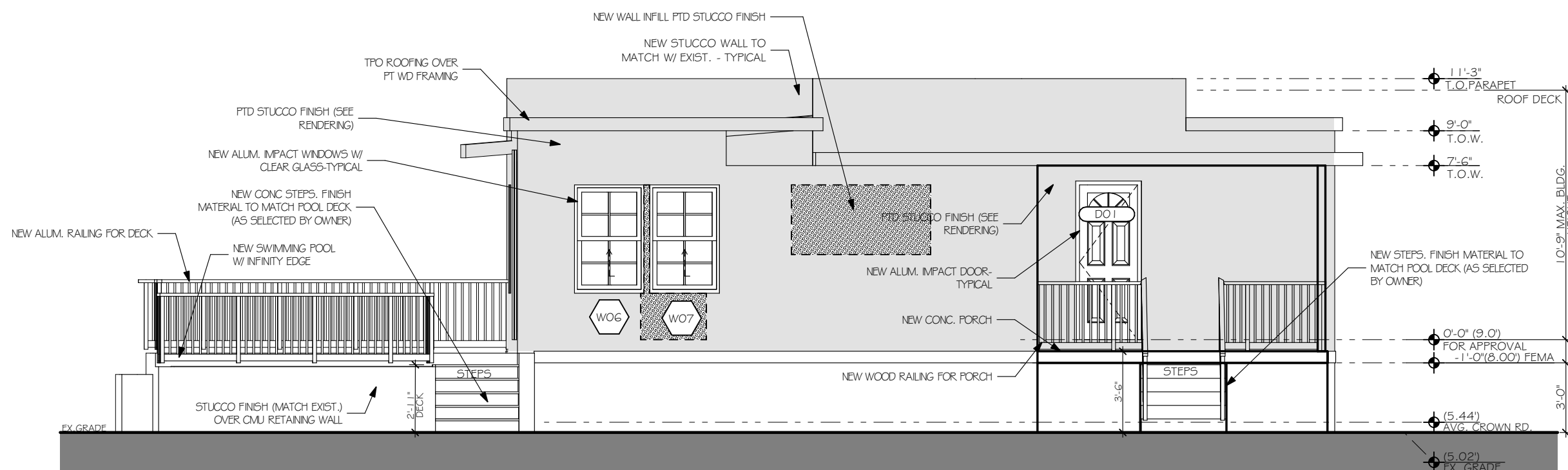
EAST ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



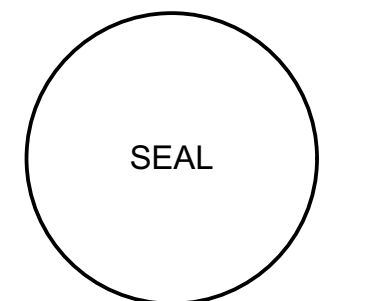
NORTH ELEVATION BLDG 1

SCALE: 3/16" = 1'-0"



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PROJECT NO: 22-429

DATE: 4.10.23

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CHECKED BY: SK

REVISIONS:

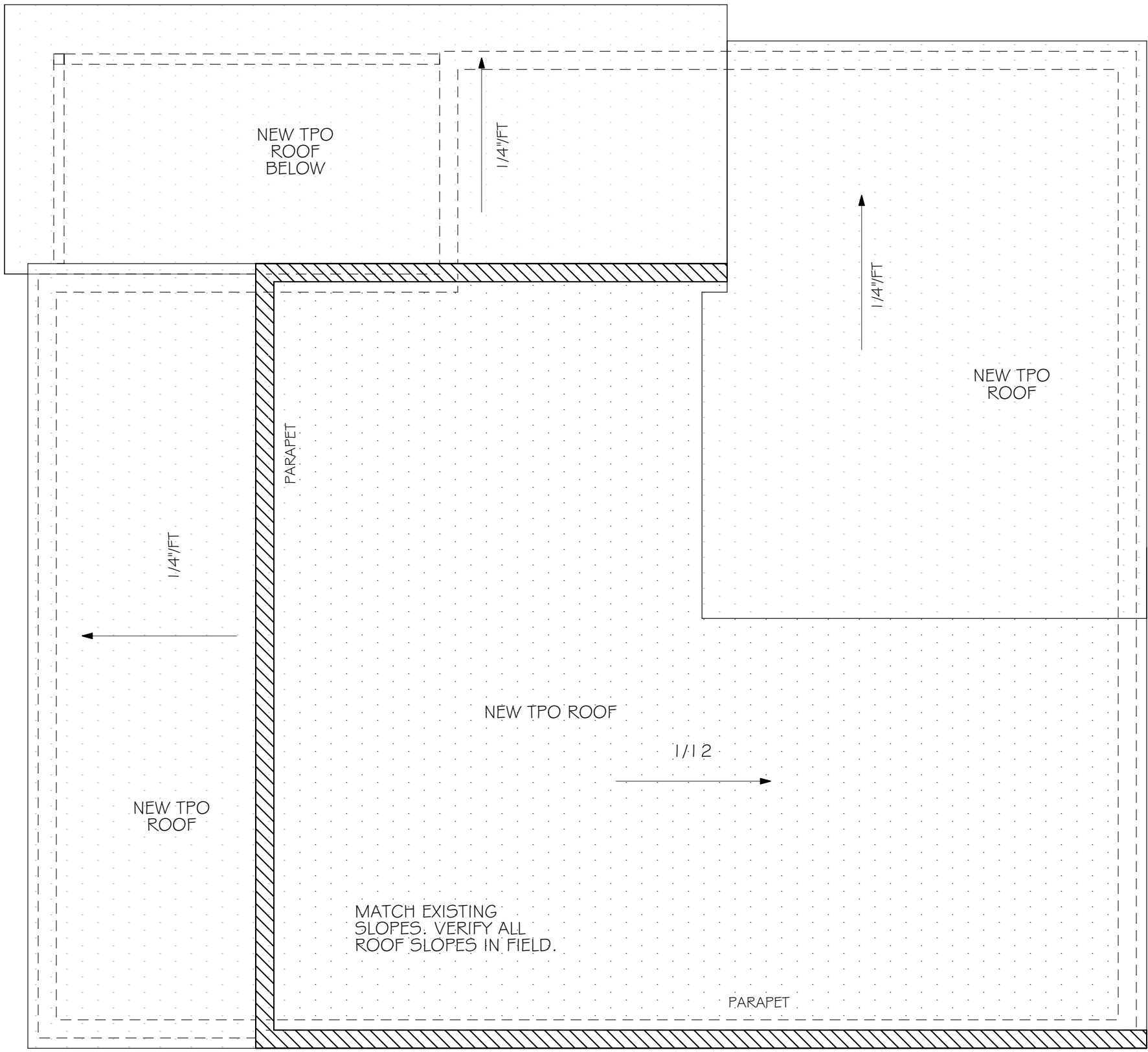
1 CITY COMMENTS (3.18.25)

2 CITY COMMENTS (5.14.25)

3 CITY COMMENTS (8.8.25)

ELEVATIONS BLDG 1

A1.2



ROOF PLAN

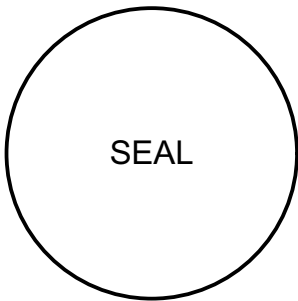
SCALE: 1/4" = 1'-0"

BUILDING # 1



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DATE: 4.10.23

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REVISIONS:

4 CITY COMMENTS (3, 1, 8, 25)

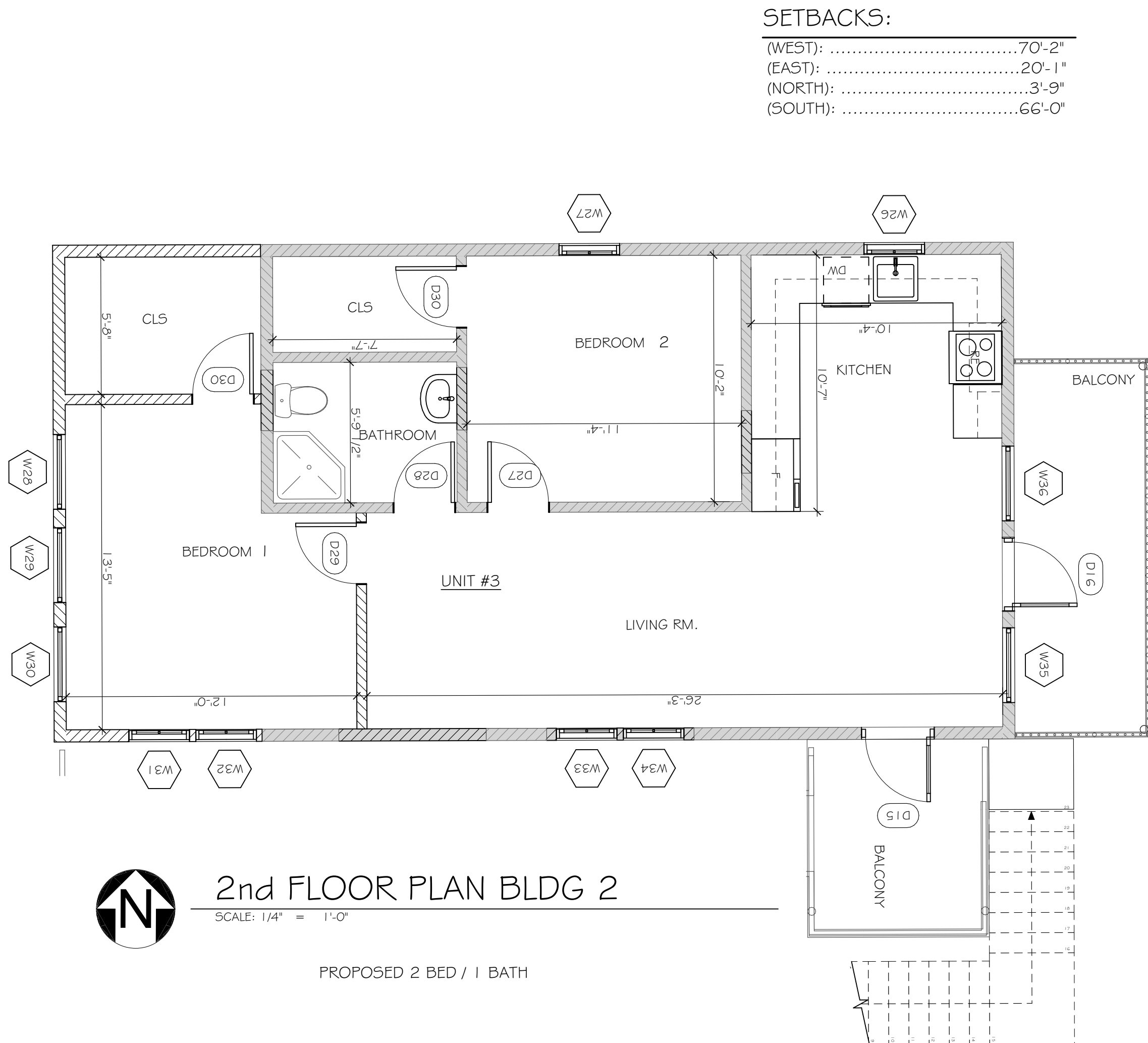
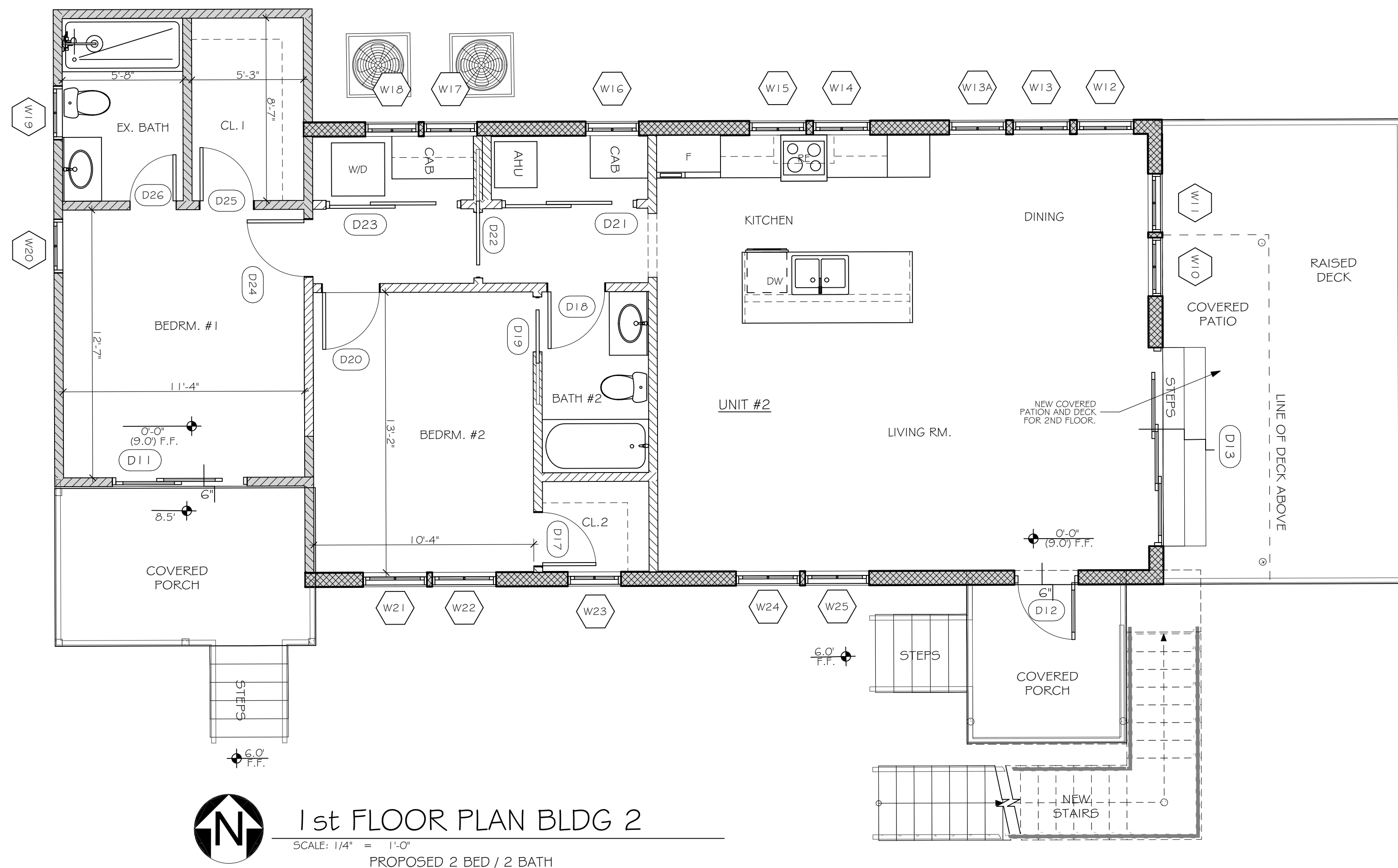
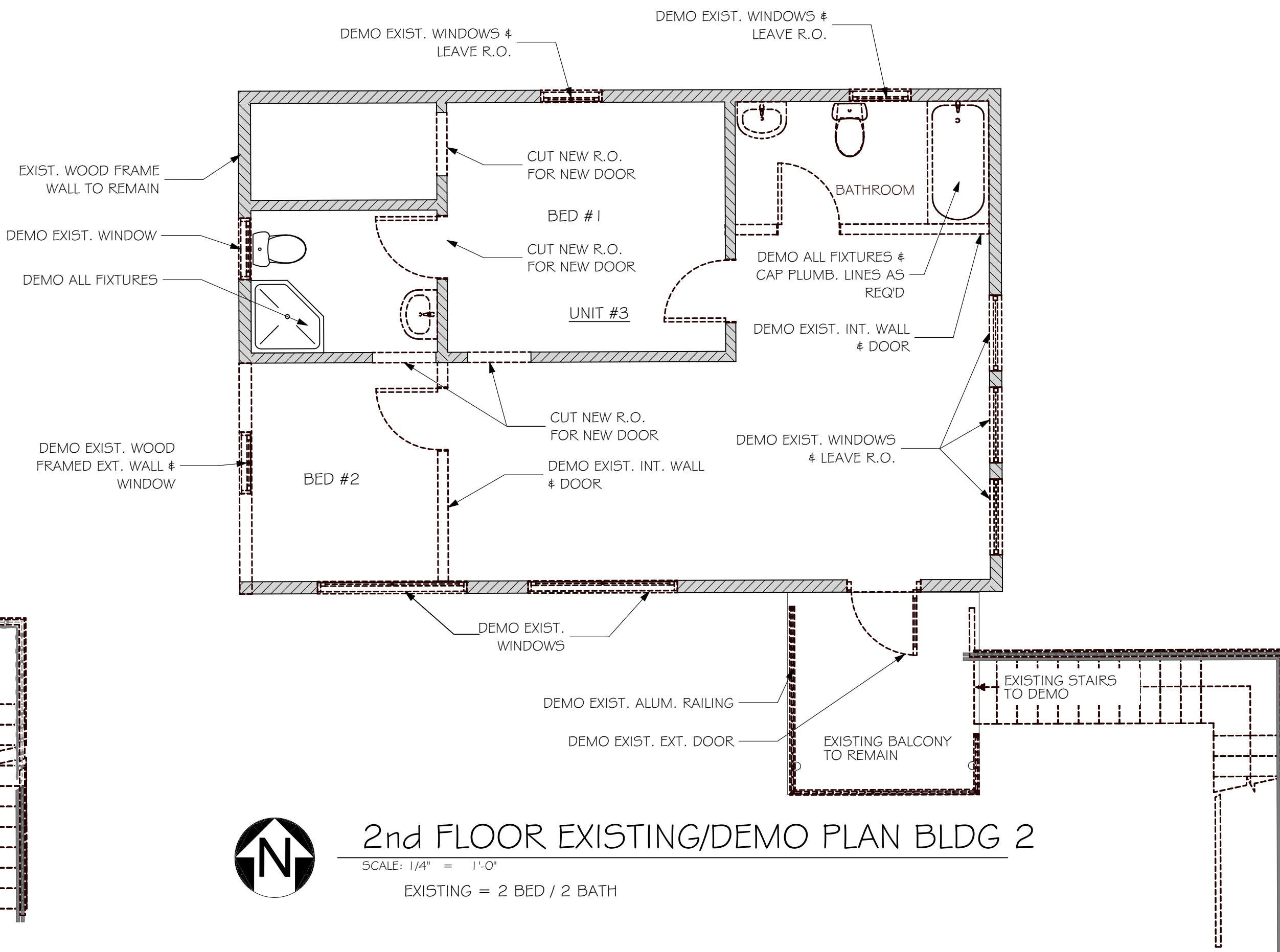
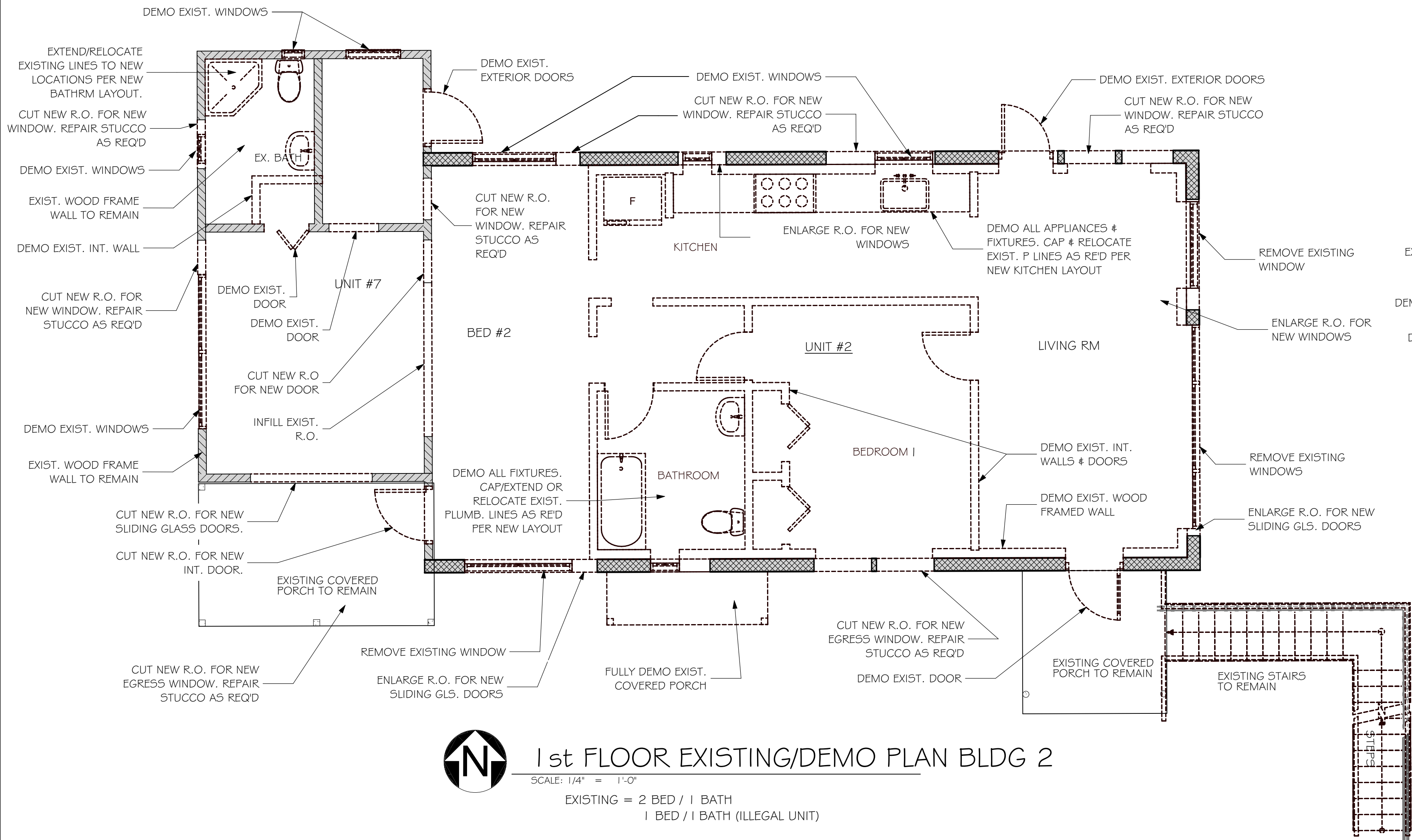
5 CITY COMMENTS (5, 14, 25)

6 CITY COMMENTS (8, 8, 25)

ROOF PLAN

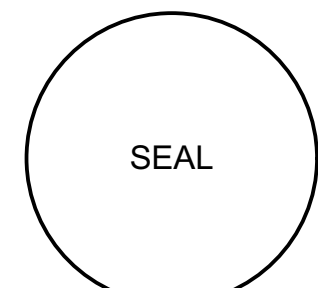
A1.3

Volumes/SSA Projects/Active Projects/22-429 139 & 143 SE 7th ave (Wang residence)/22-429 139-143 se 7th ave COA 6.21.23.pln



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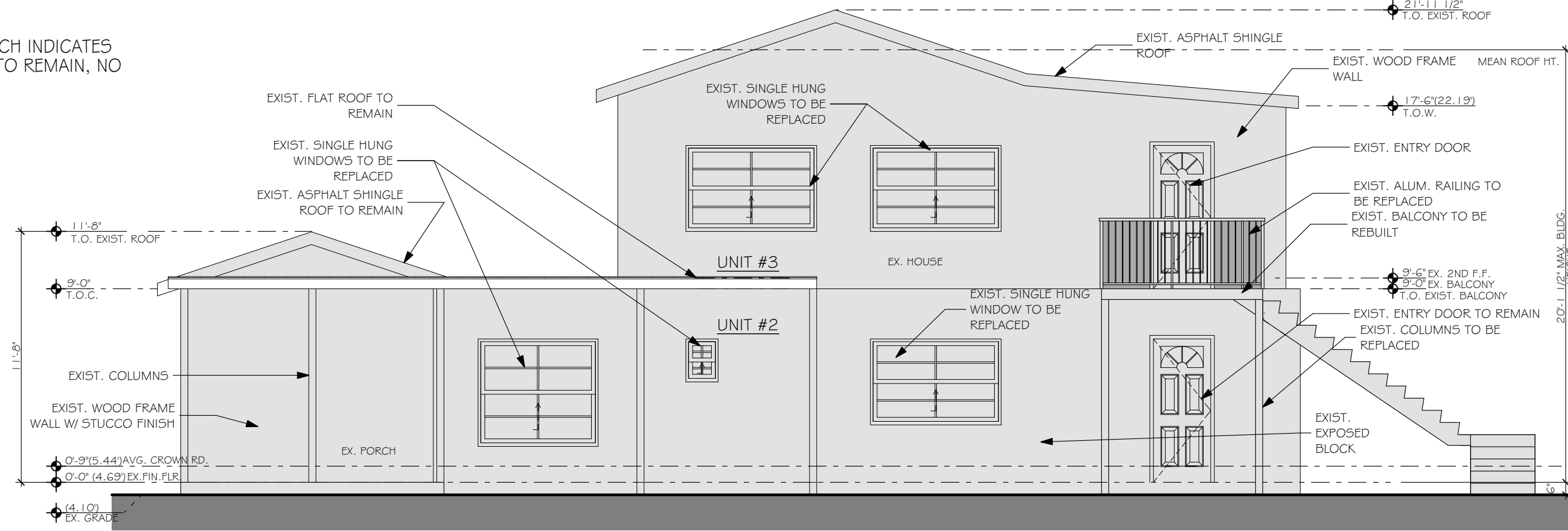
PROJECT NO: 22-429
DATE: 4.10.23
DRAWN BY: BT
CHECKED BY: SK
REVISIONS:
A CITY COMMENTS (3.18.25)
B CITY COMMENTS (5.14.25)
C CITY COMMENTS (8.8.25)

FLOOR PLAN(S) BLDG 2

A2.1

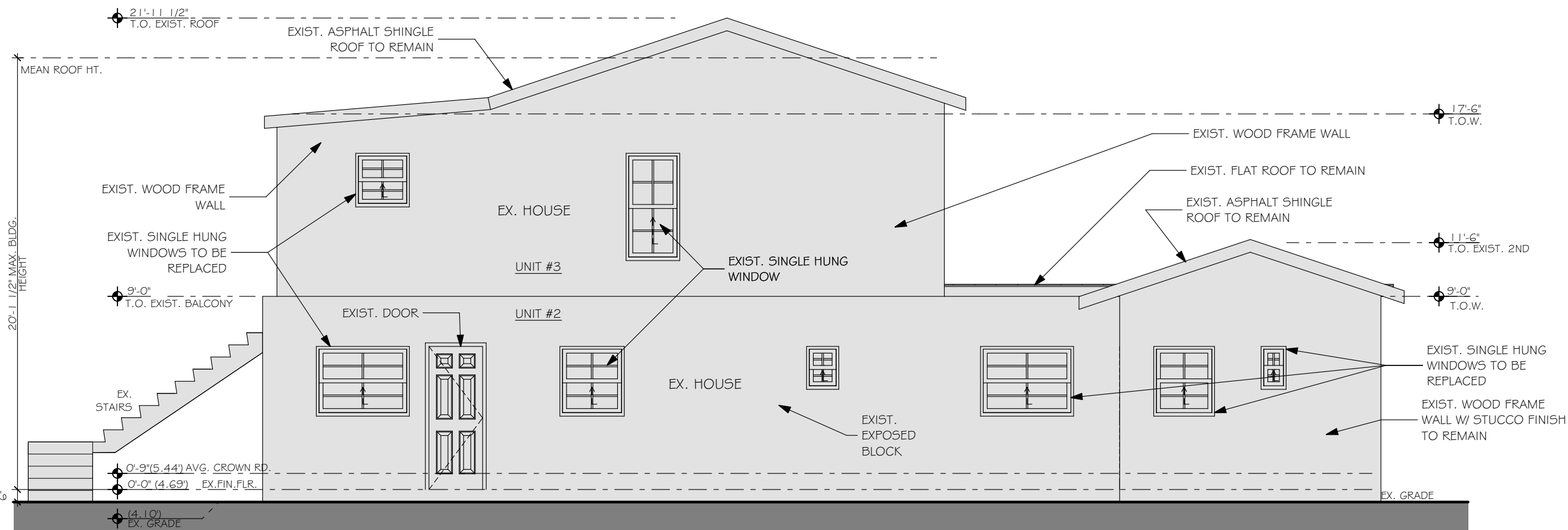
BUILDING #2; UNITS 2&3

GRAY HATCH INDICATES
EXISTING TO REMAIN, NO
WORK



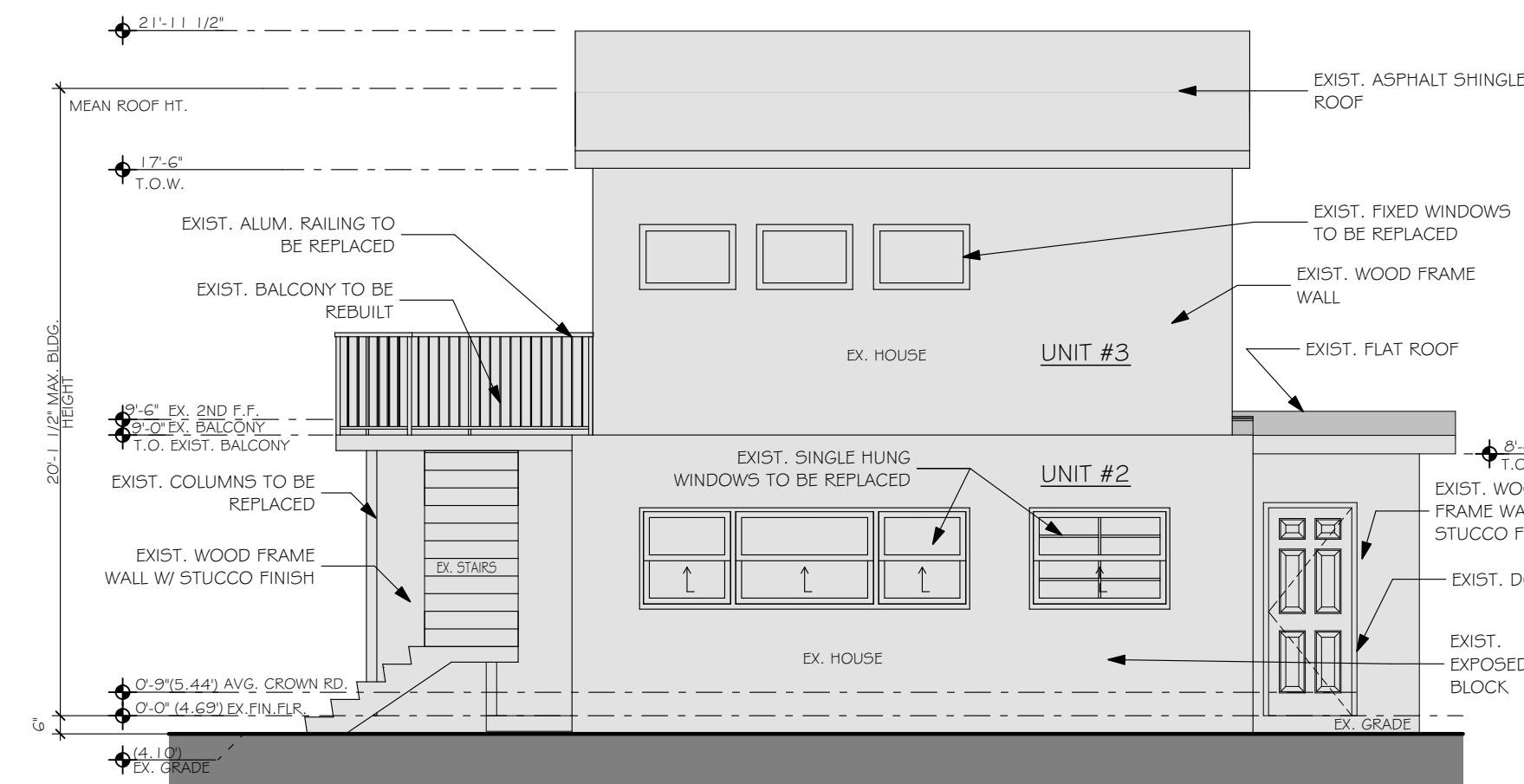
EXISTING SOUTH ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



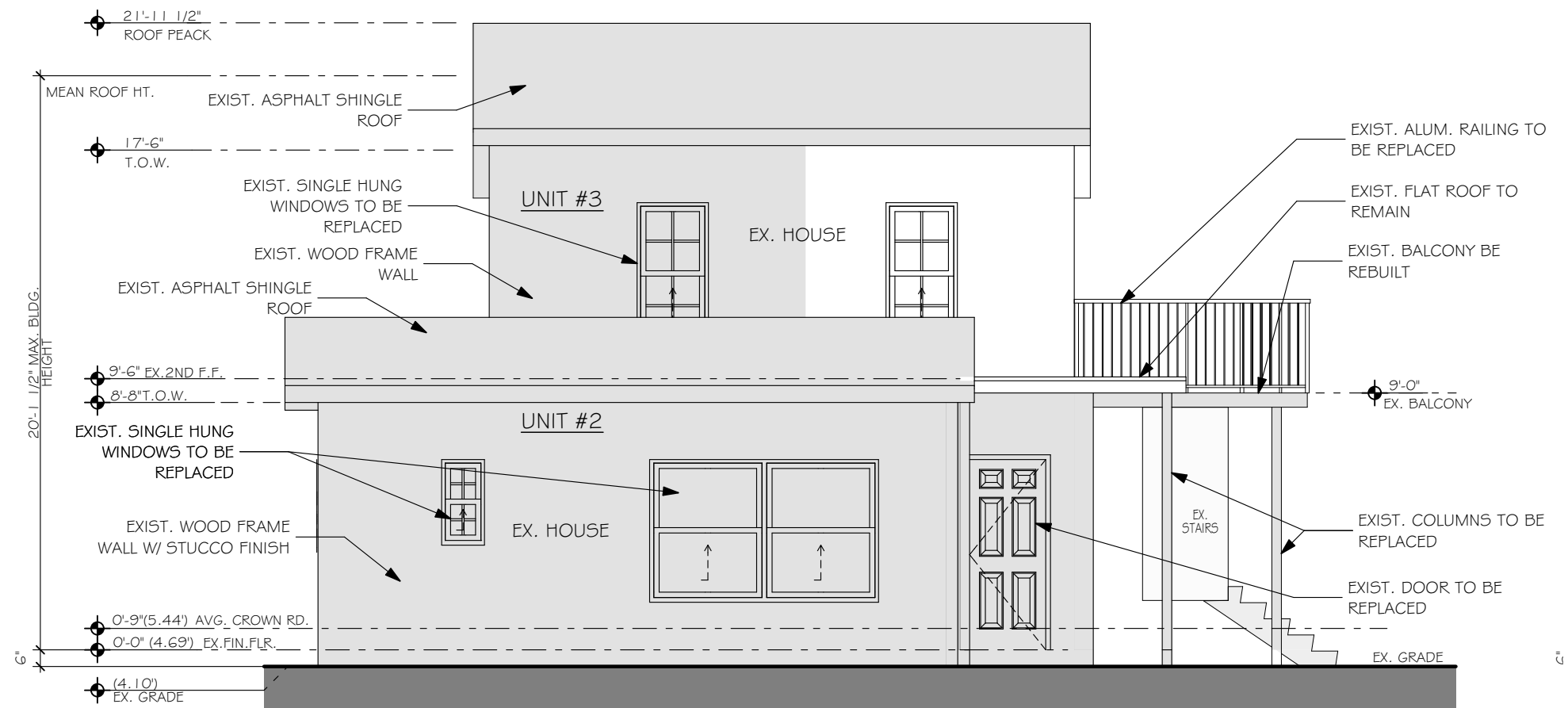
EXISTING NORTH ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



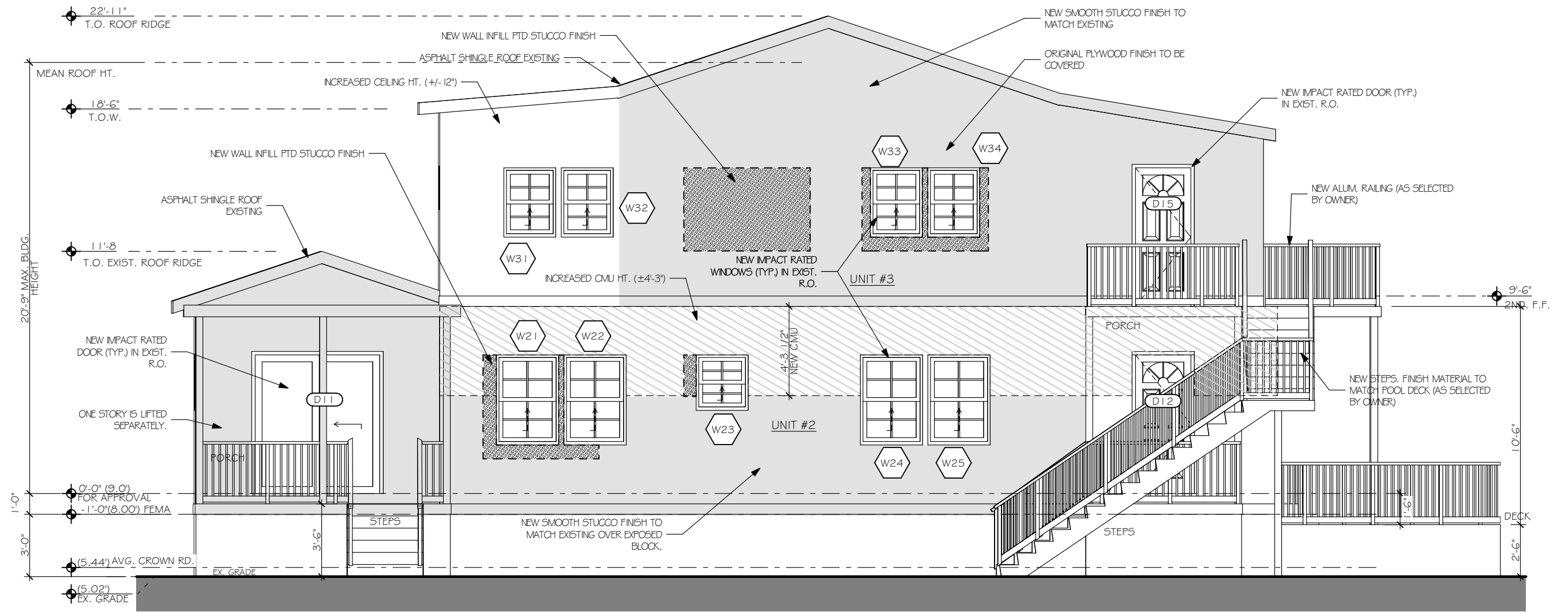
EXISTING EAST ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



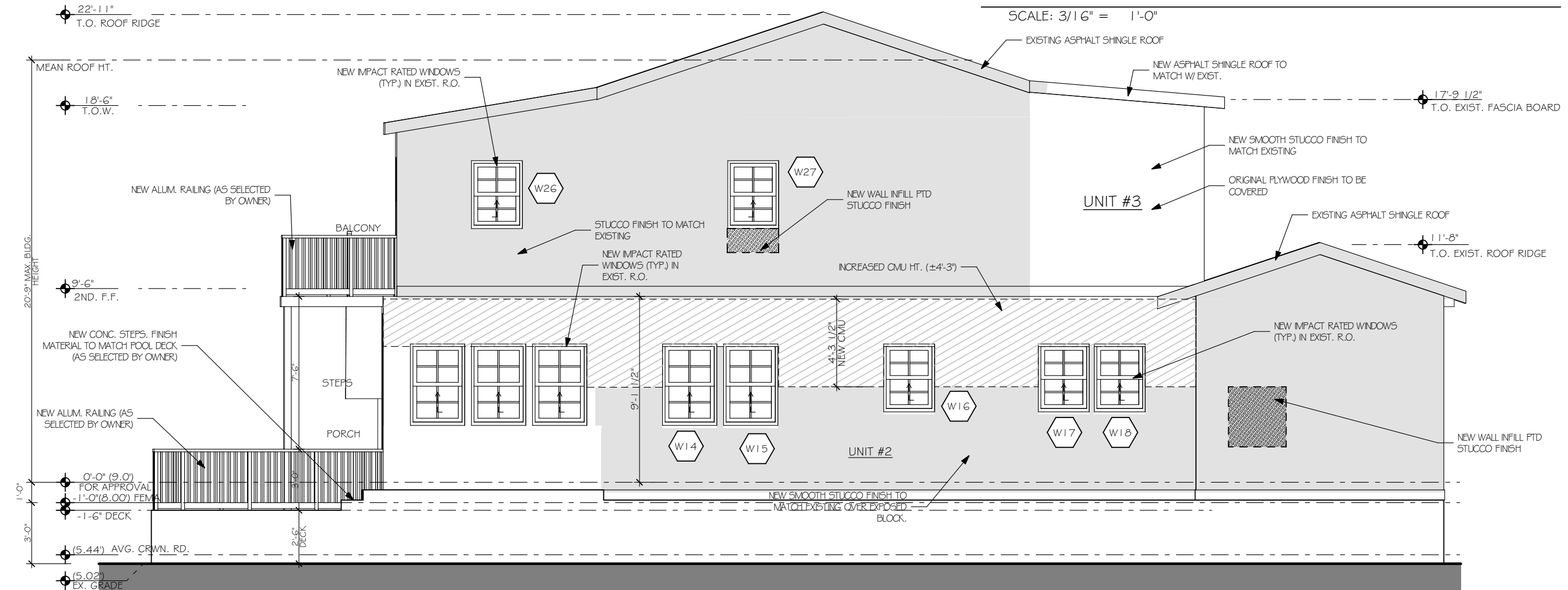
EXISTING WEST ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



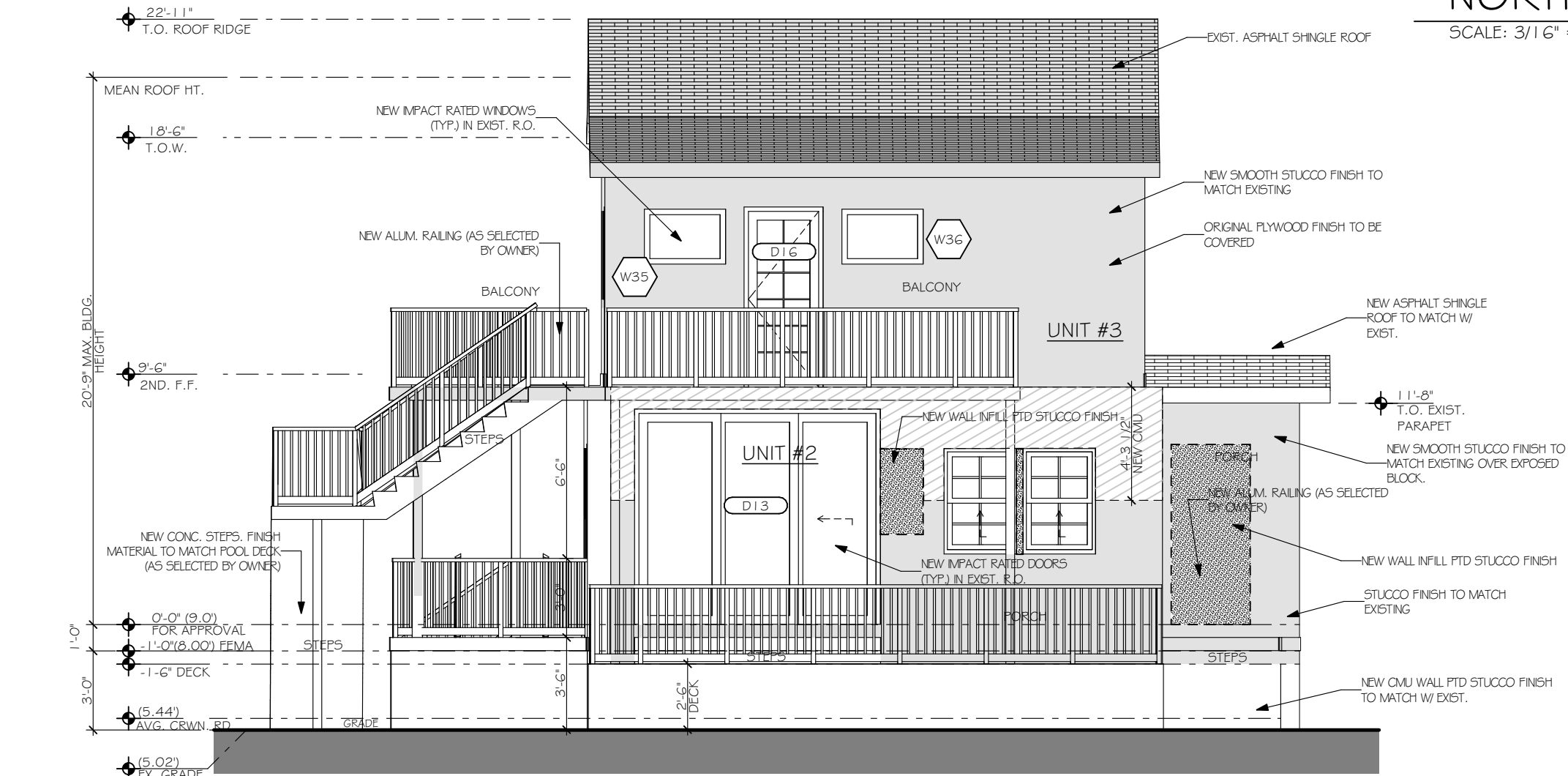
SOUTH ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



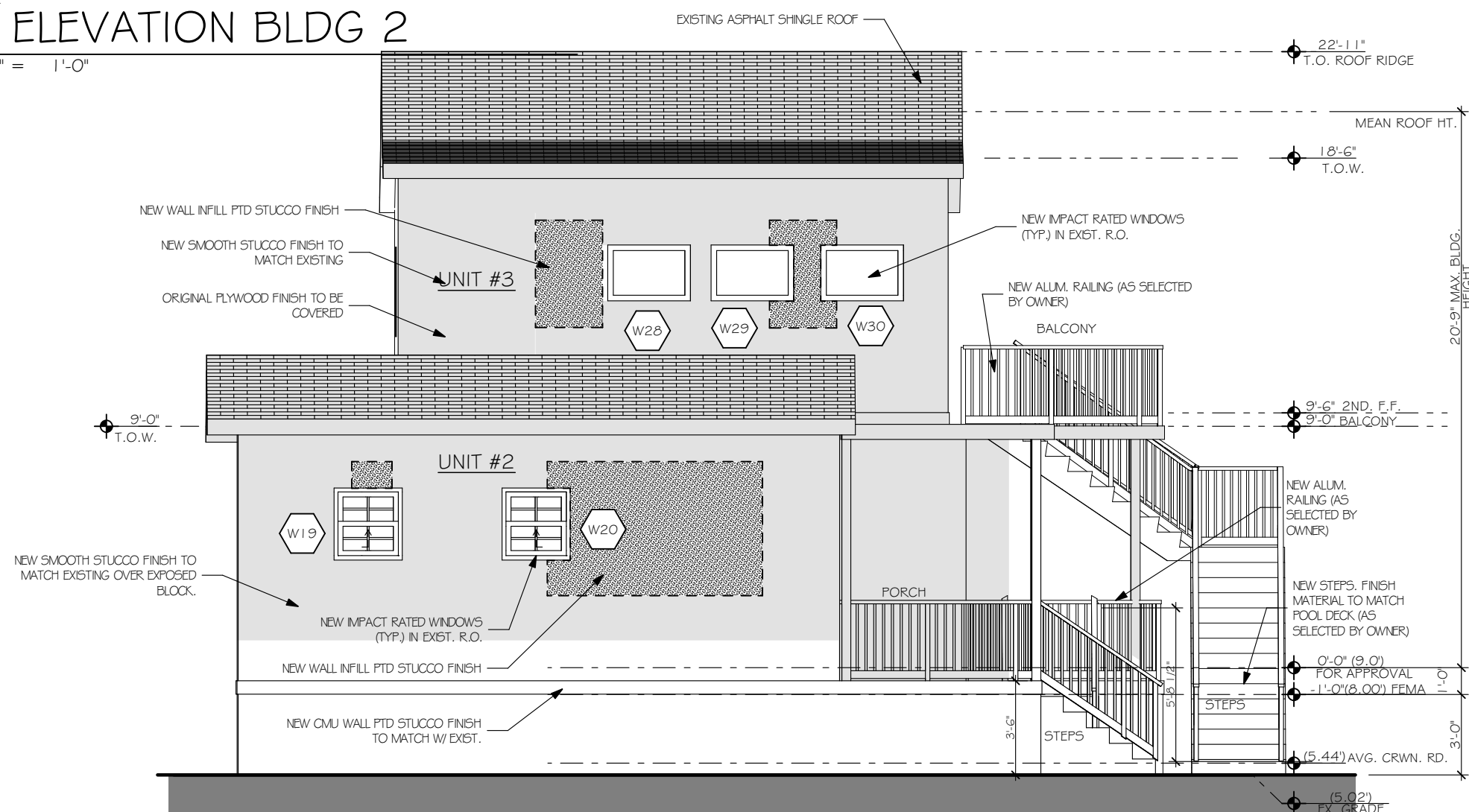
NORTH ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



EAST ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



WEST ELEVATION BLDG 2

SCALE: 3/16" = 1'-0"



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SEAL

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PROJECT NO: 22-429

DATE: 4.10.23

DRAWN BY: BT

CHECKED BY: SK

REVISIONS:

1 CITY COMMENTS (3, 1, 8, 25)

2 CITY COMMENTS (5, 1, 4, 25)

3 CITY COMMENTS (8, 8, 25)

ELEVATIONS BLDG 2

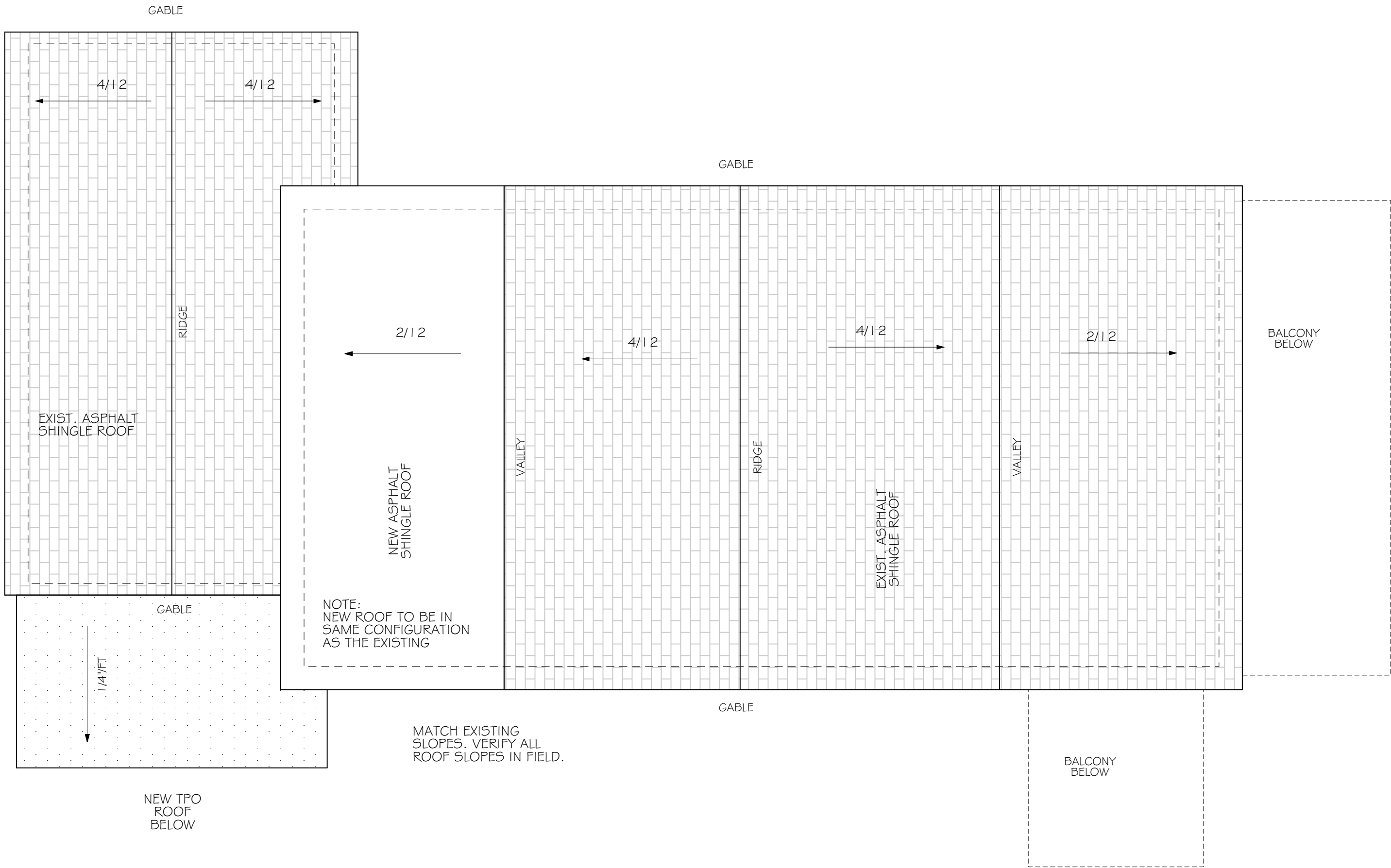
A2.2



ROOF PLAN

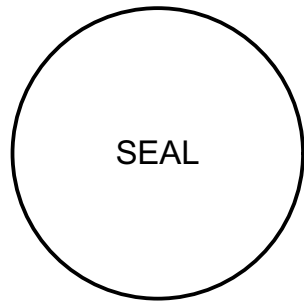
SCALE: 1/4" = 1'-0"

BUILDING #2



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PROJECT NO: 22-429

DATE: 4.10.23

DRAWN BY: BT

CHECKED BY: SK

REVISIONS:

4 CITY COMMENTS (3.18.25)

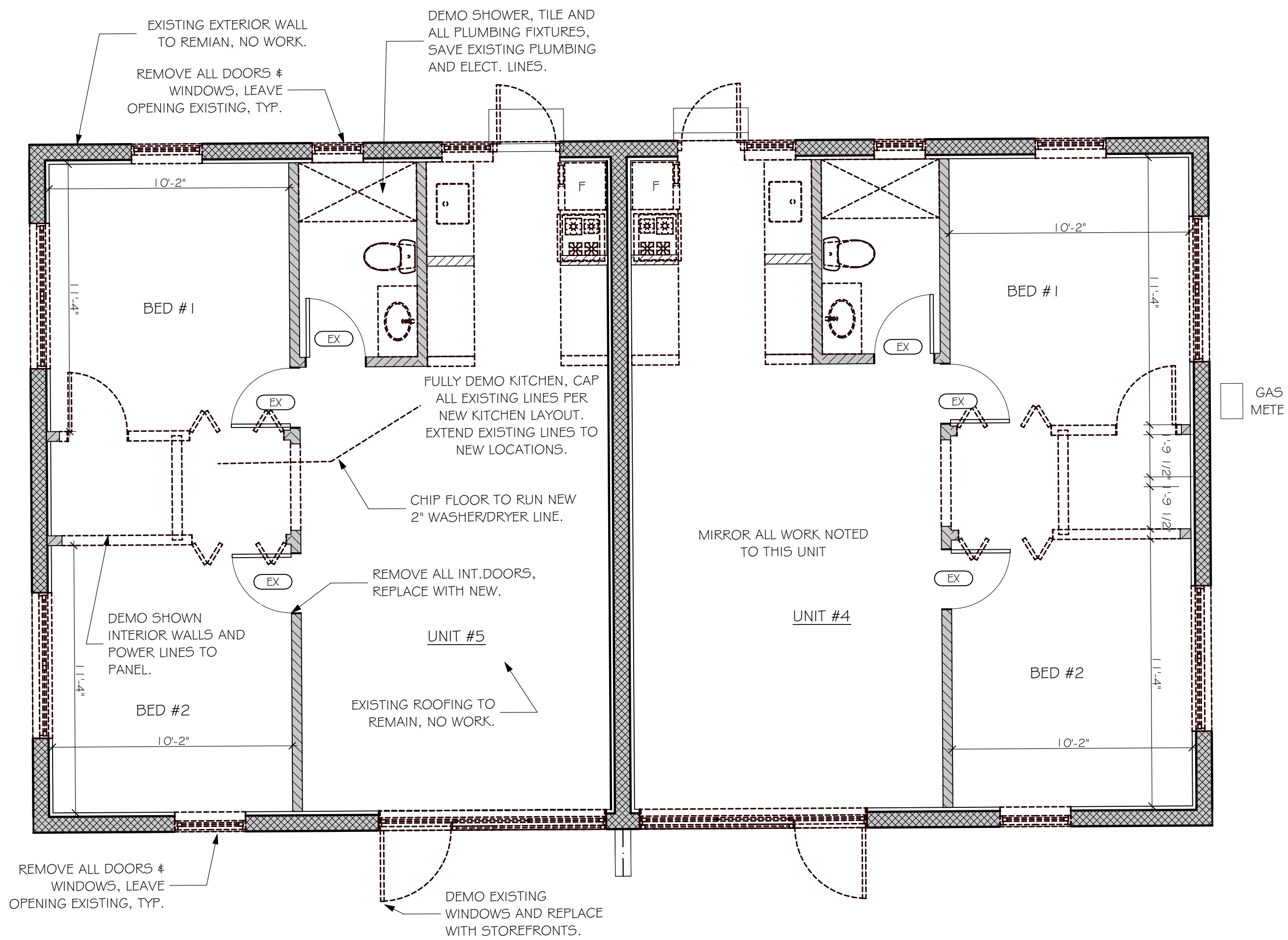
5 CITY COMMENTS (5.14.25)

6 CITY COMMENTS (8.8.25)

ROOF PLAN

A2.3

Volumes\SSA Projects\Active Projects\22-429 139 & 143 SE 7th ave (Wang residence)\22-429 139-143 se 7th AVE COA 6.21.23.pln

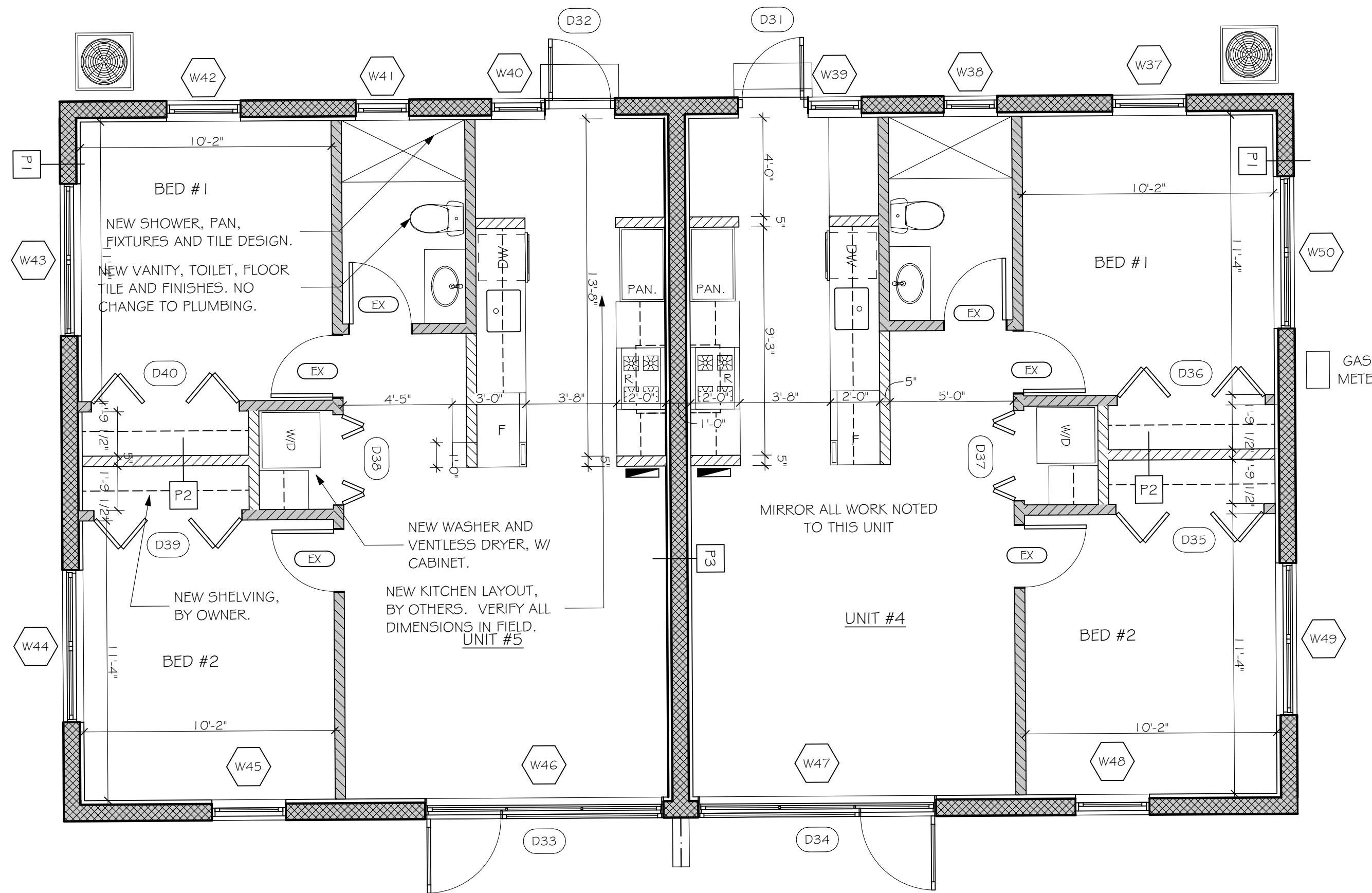


EXISTING/DEMO PLAN BLDG 3

SCALE: 1/4" = 1'-0"

UNITS #4 & 5

EXISTING = 2 BED / 1 BATH



PROPOSED PLAN BLDG 3

SCALE: 1/4" = 1'-0"

UNITS #4 & 5

PROPOSED = 2 BED / 1 BATH

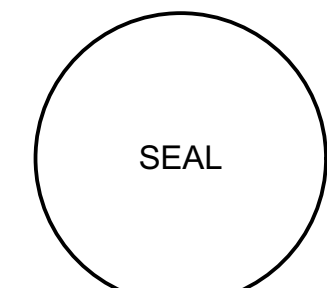
SETBACKS:

(WEST):24'-9"
(EAST):68'-2"
(NORTH):59'-6"
(SOUTH):11'-3"



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REVISIONS:

4 CITY COMMENTS (3.18.25)

5 CITY COMMENTS (5.14.25)

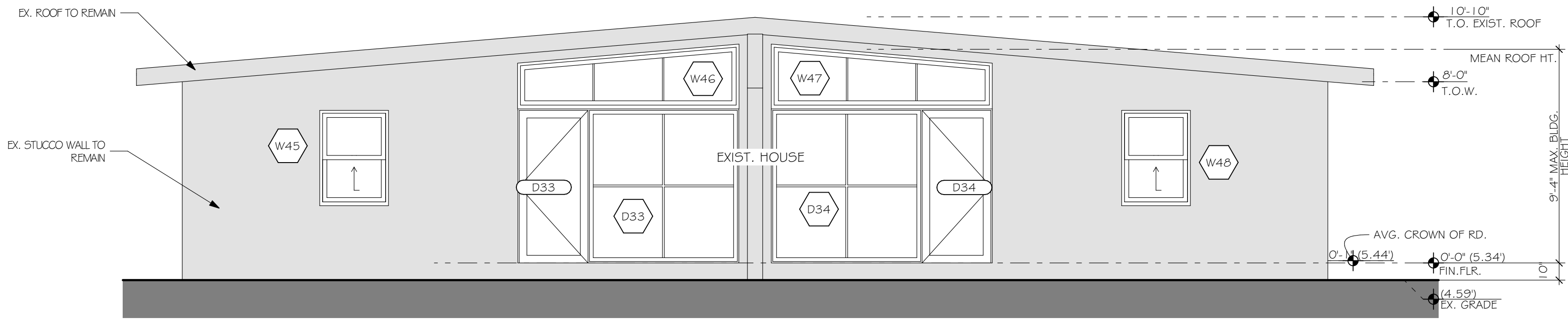
6 CITY COMMENTS (8.8.25)

FLOOR PLAN BLDG 3

A3.1

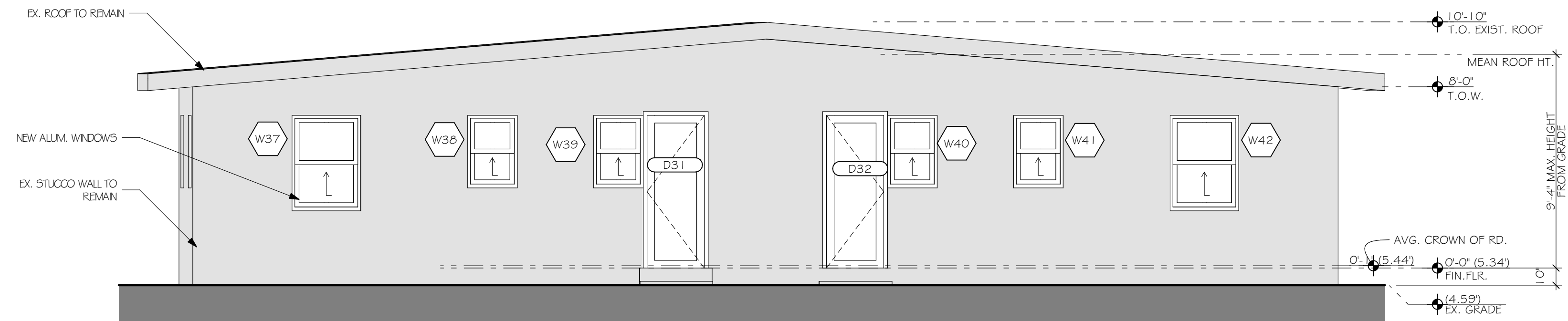
BUILDING #3; UNIT 6

GRAY HATCH INDICATES
EXISTING TO REMAIN, NO
WORK



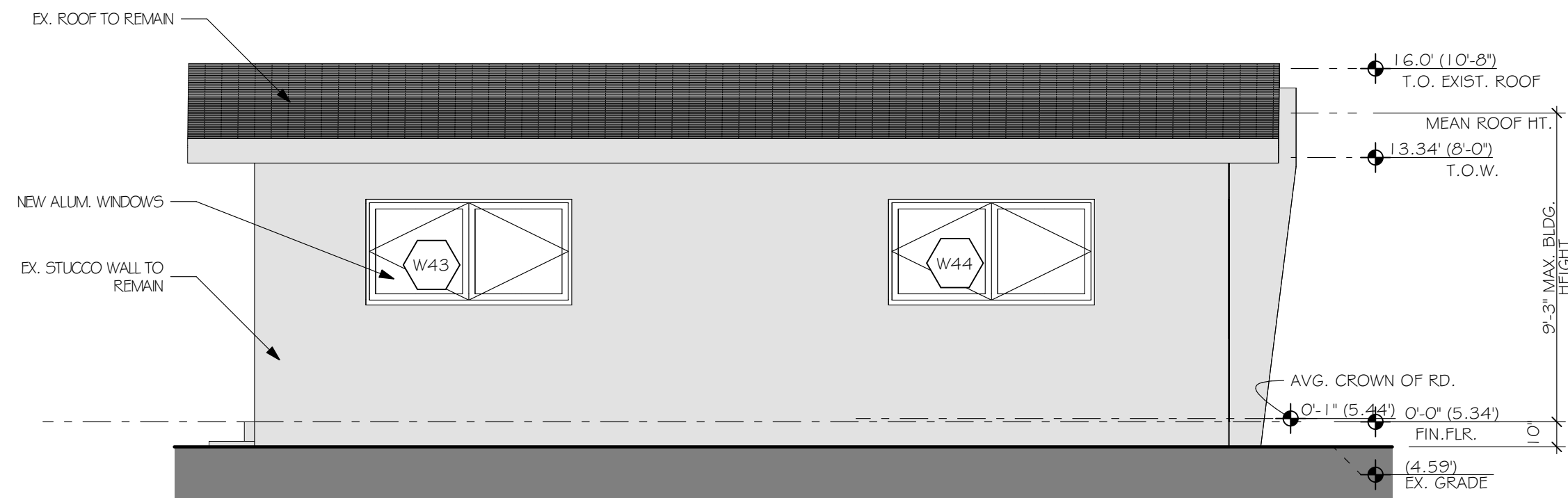
SOUTH ELEVATION BLDG 3

SCALE: 1/4" = 1'-0"



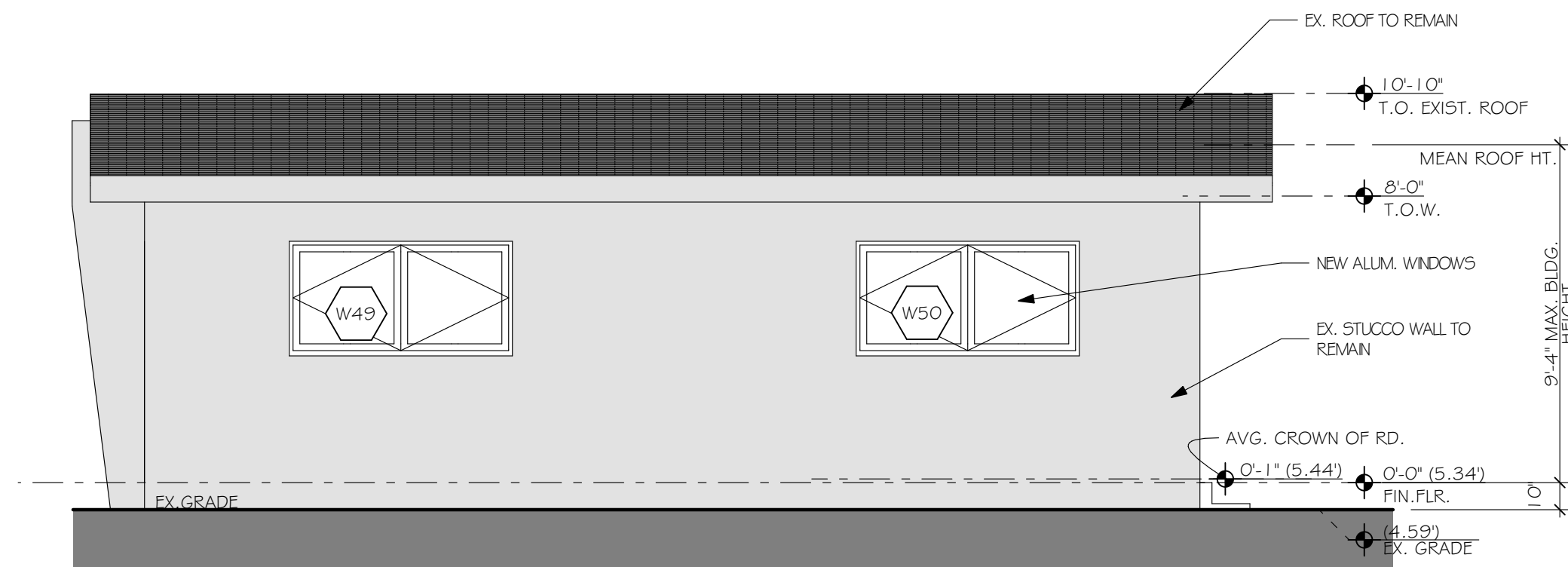
NORTH ELEVATION BLDG 3

SCALE: 1/4" = 1'-0"



WEST ELEVATION BLDG 3

SCALE: 1/4" = 1'-0"



EAST ELEVATION BLDG 3

SCALE: 1/4" = 1'-0"

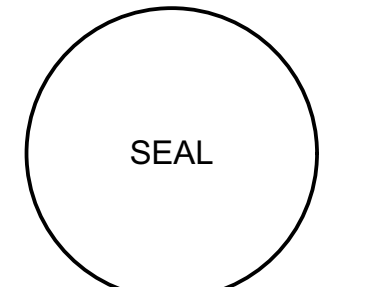
KEY ARCHITECTURAL NOTES:

1. NO CHANGE TO EXTERIOR OF EXISTING BUILDING
2. REPLACE EXISTING DOORS AND WINDOWS WITH NEW IMPACT RATED WINDOWS AND DOORS, OF SAME STYLE AND SIZE, IN EXISTING ROUGH OPENINGS. (VERIFY IN FIELD)



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DRAWN BY: BT

CHECKED BY: SK

REVISIONS:

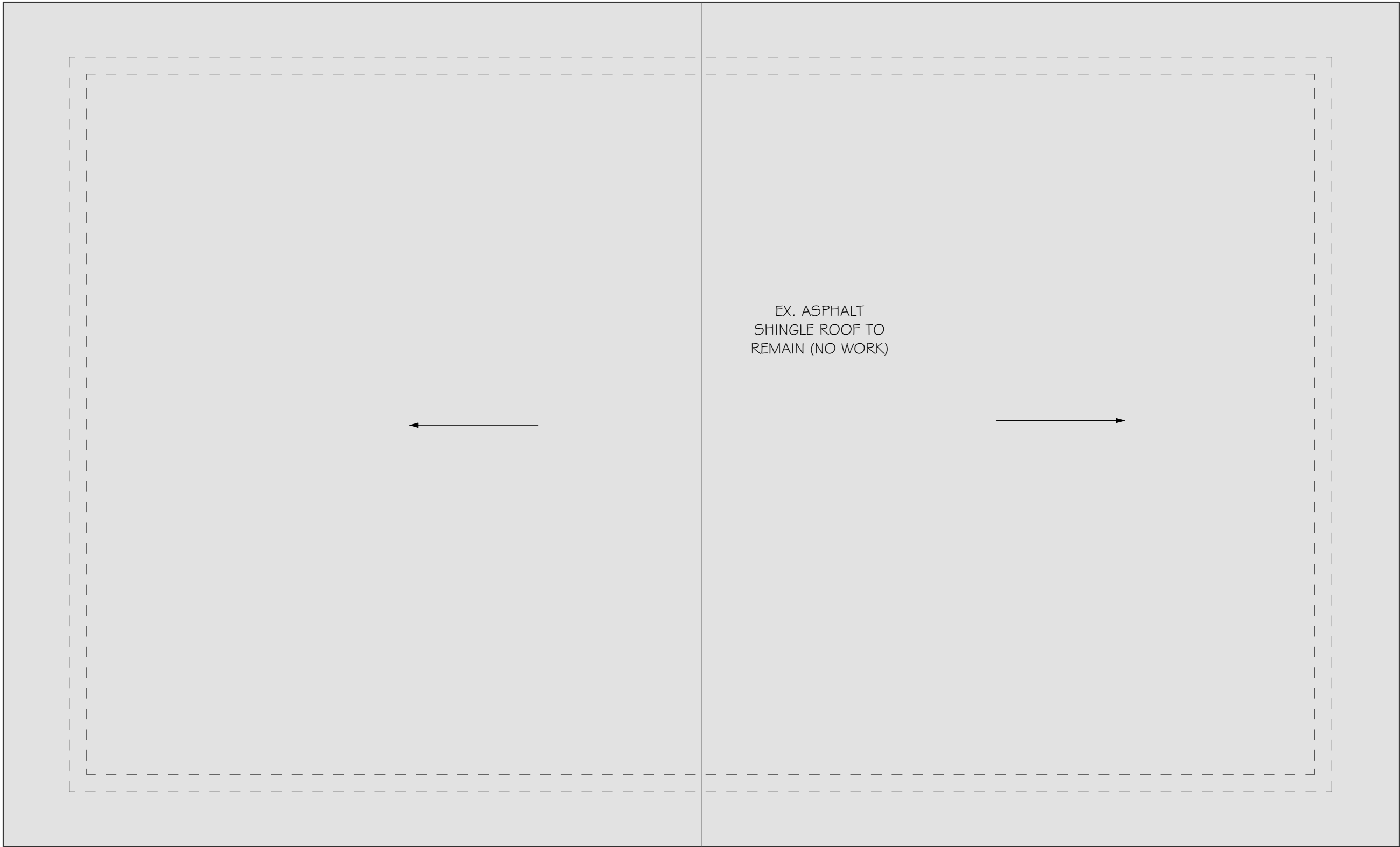
4 CITY COMMENTS (3.18.25)

5 CITY COMMENTS (5.14.25)

6 CITY COMMENTS (8.8.25)

ELEVATIONS BLDG 3

A3.2



ROOF PLAN

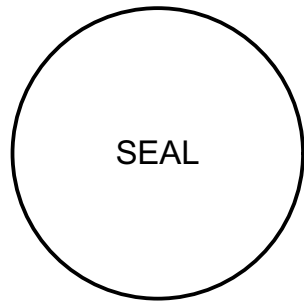
SCALE: 1/4" = 1'-0"

BUILDING #3



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PROJECT NO: 22-429

DATE: 4.10.23

DRAWN BY: BT

CHECKED BY: SK

REVISIONS:

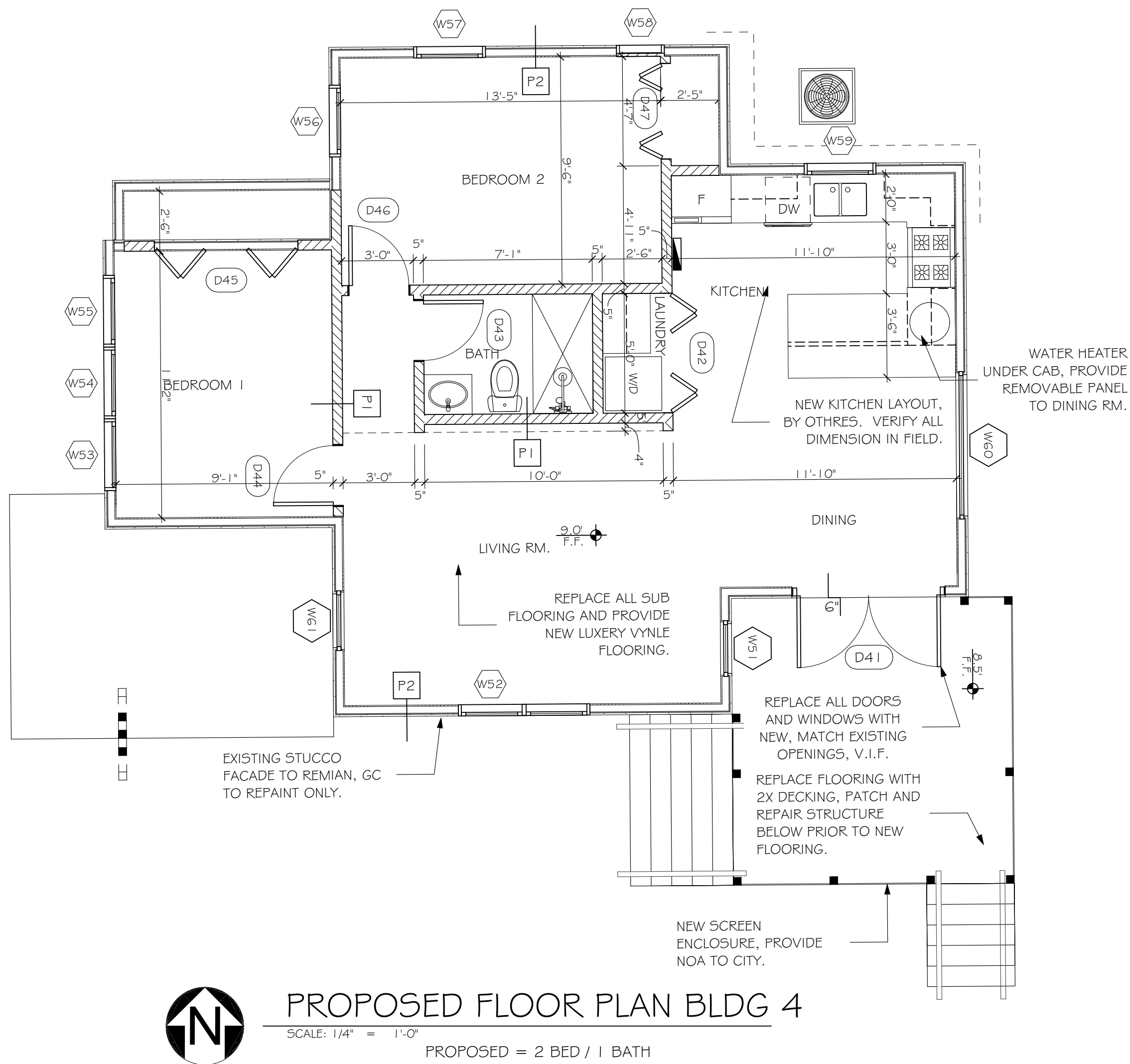
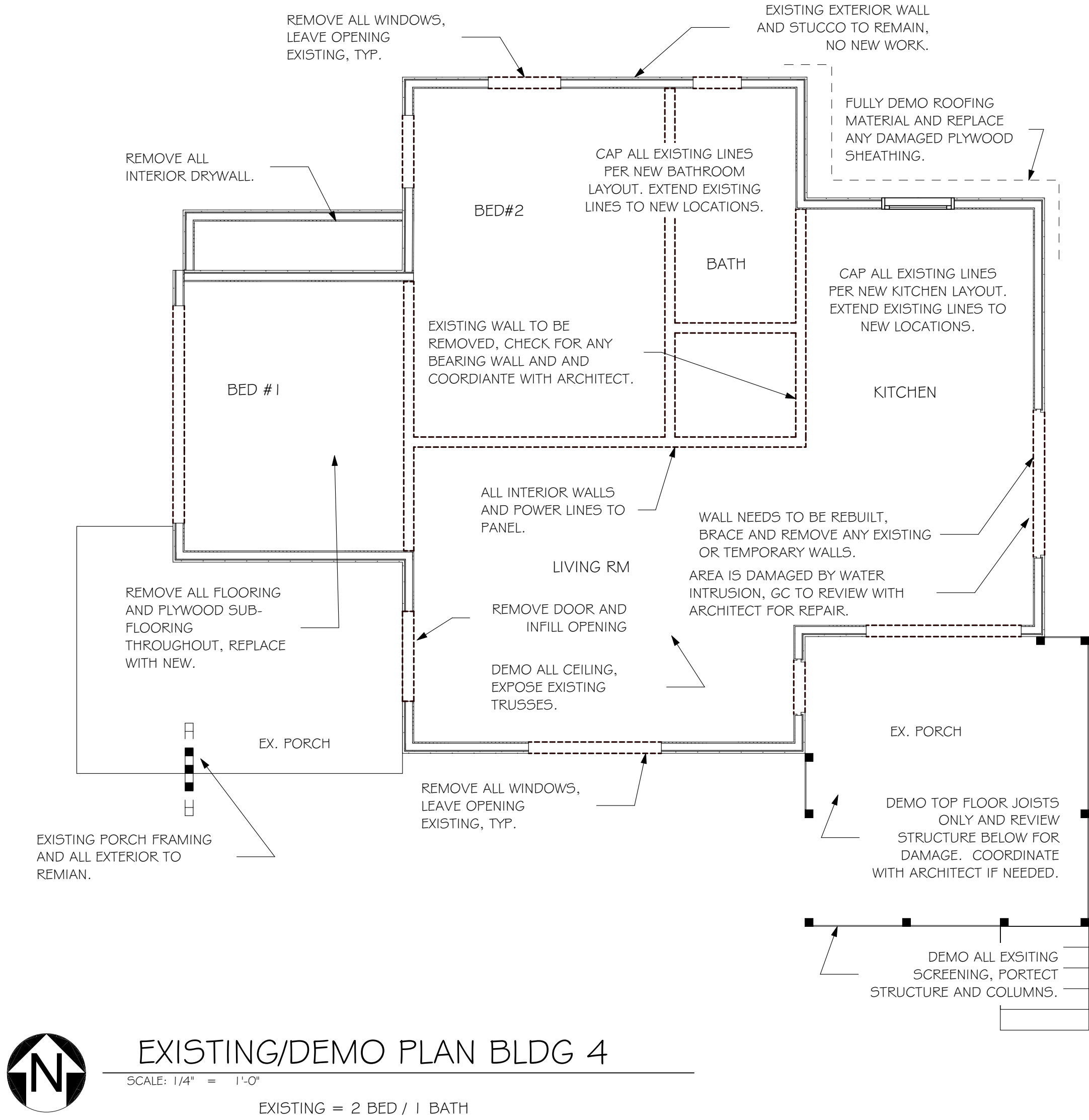
4 CITY COMMENTS (3, 1.8, 2.5)

5 CITY COMMENTS (5, 1.4, 2.5)

6 CITY COMMENTS (8.8, 2.5)

ROOF PLAN

A3.3

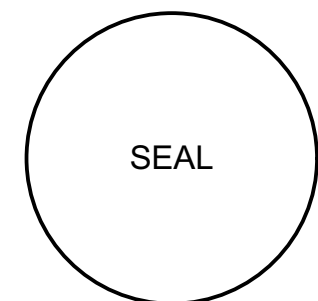


SETBACKS:

(WEST):27'-0"
(EAST):78'-4"
(NORTH):4'-1"
(SOUTH):60'-7"



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C.O.A. DRAWINGS

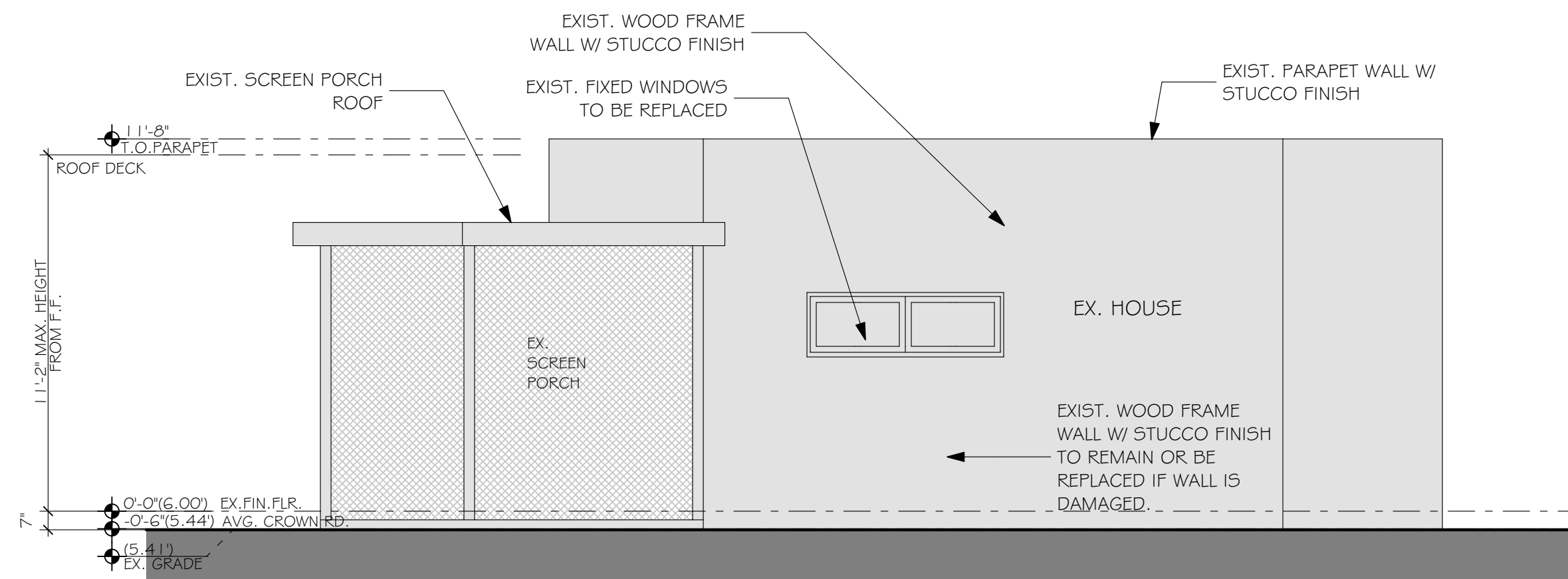
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PROJECT NO: 22-429
DATE: 4.10.23
DRAWN BY: BT
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REVISIONS:
A CITY COMMENTS (3.18.25)
B CITY COMMENTS (5.14.25)
C CITY COMMENTS (8.8.25)

FLOOR PLAN BUILDING 4

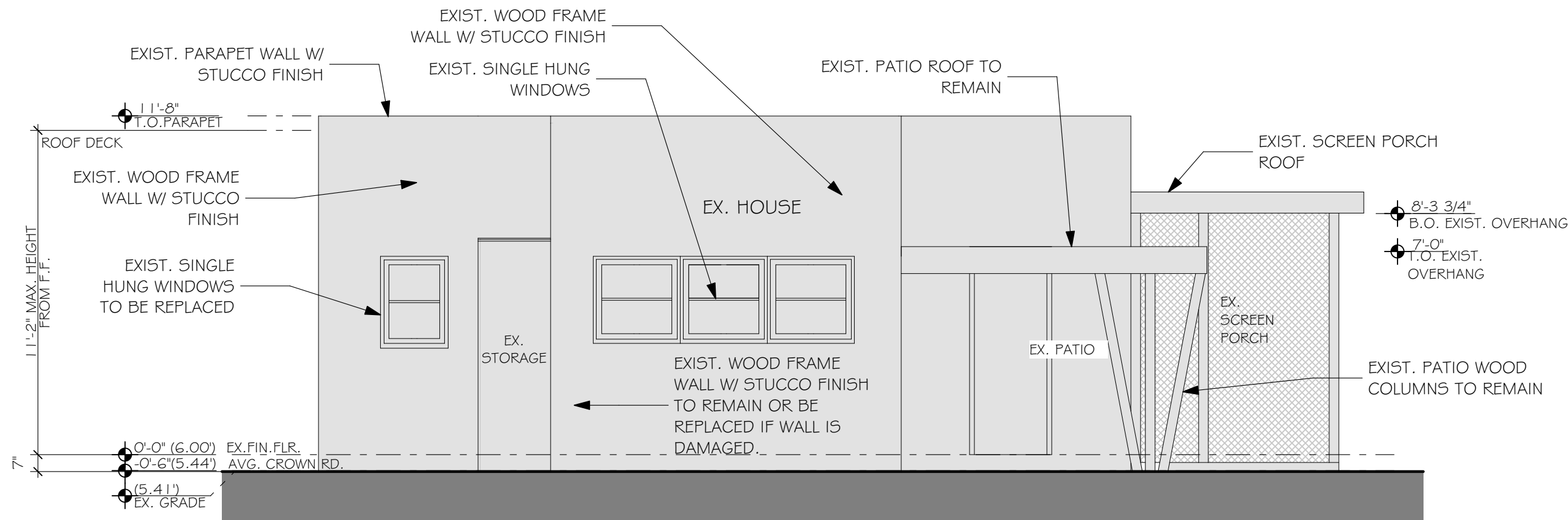
A4.1

GRAY HATCH INDICATES
EXISTING TO REMAIN, NO
WORK



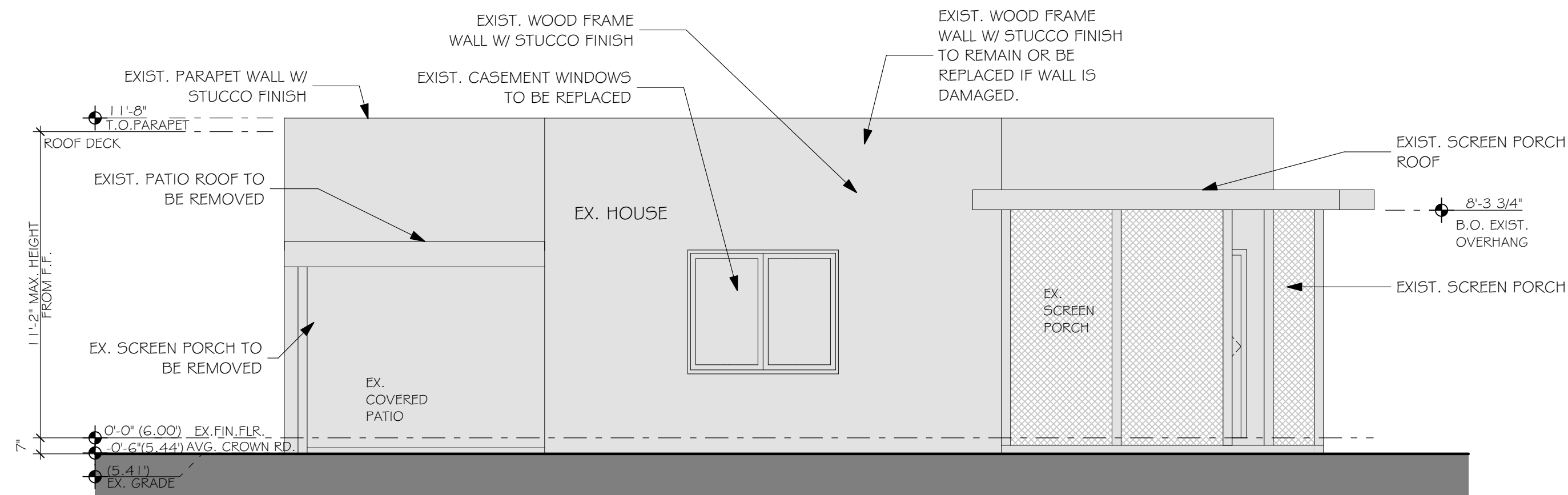
EXISTING EAST ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



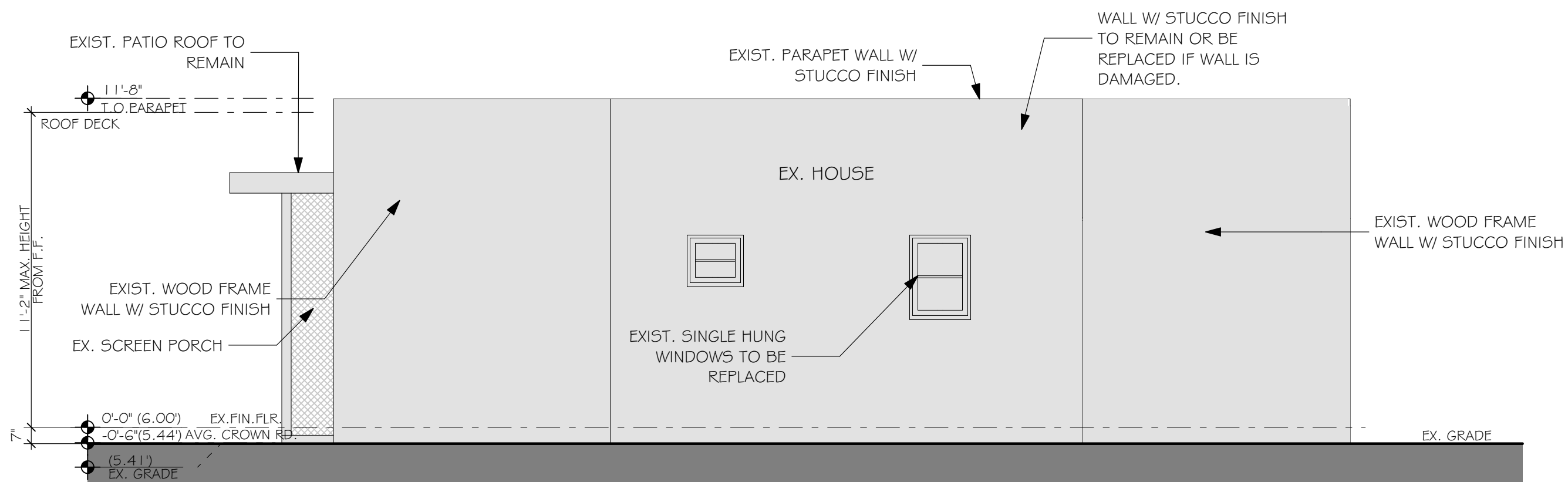
EXISTING WEST ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



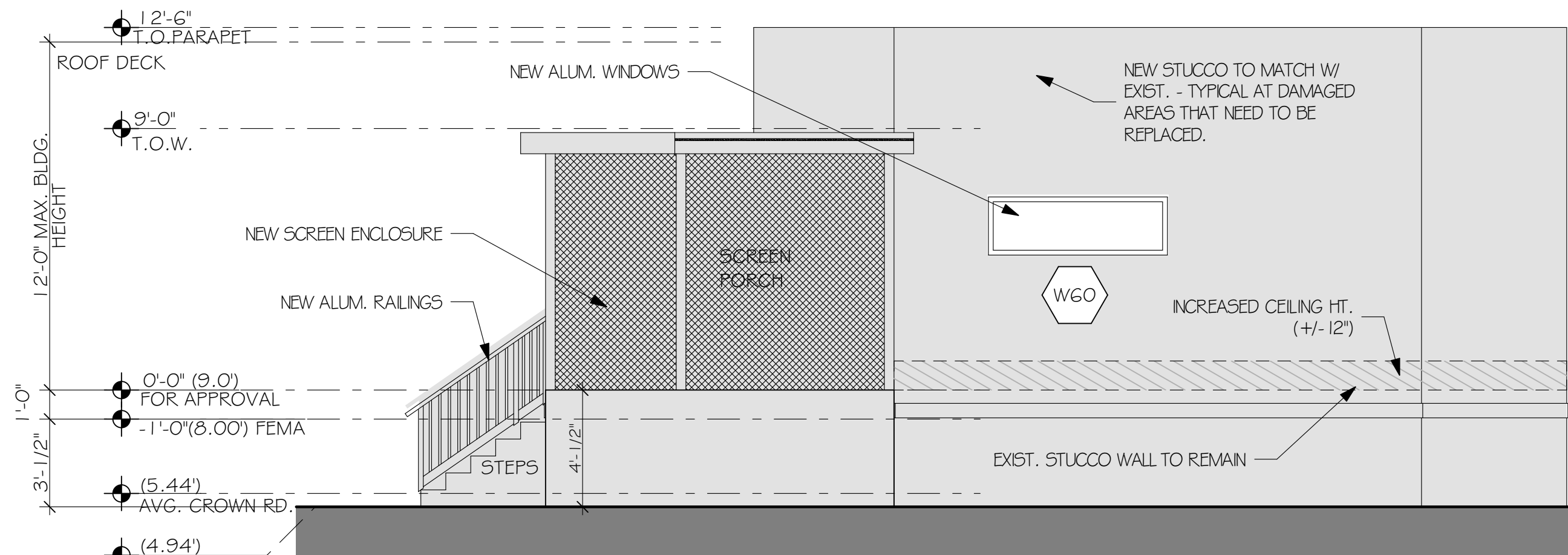
EXISTING SOUTH ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



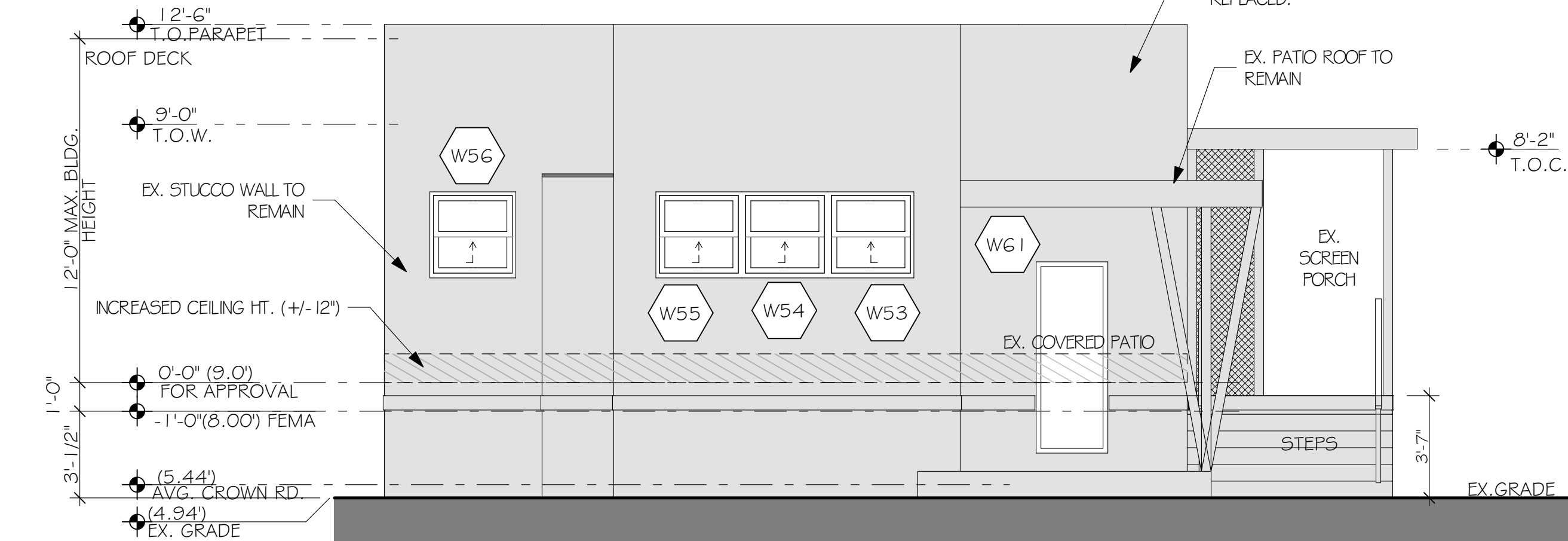
EXISTING NORTH ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



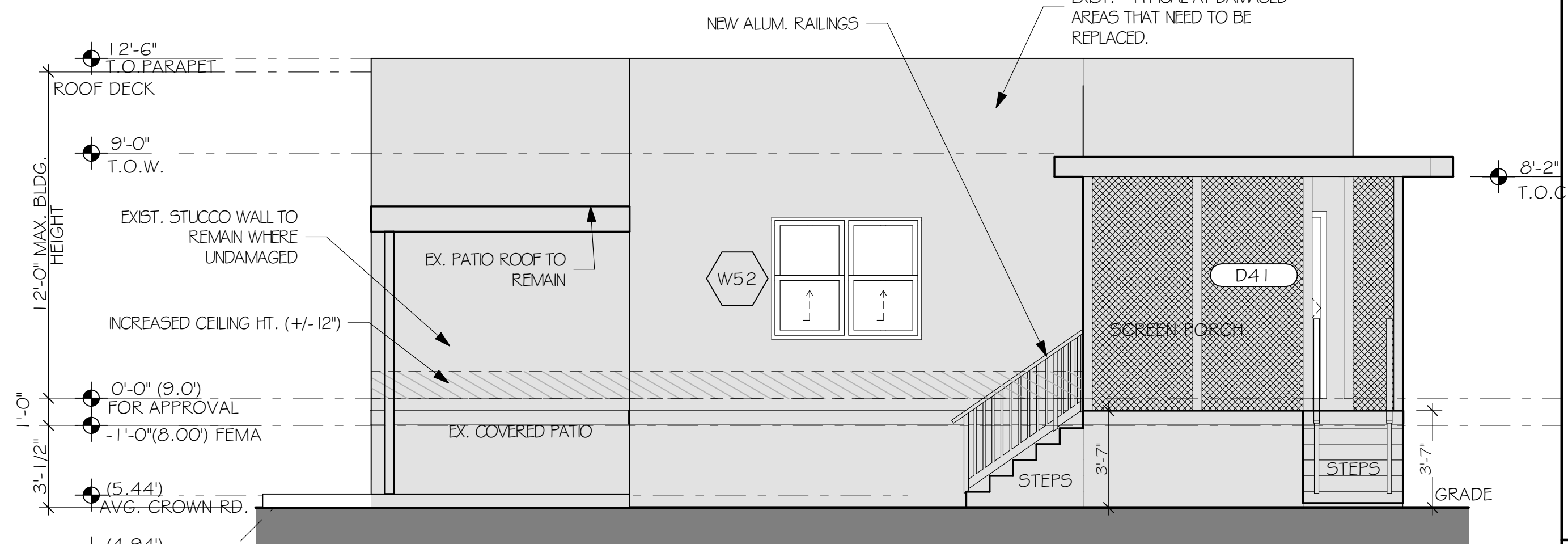
EAST ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



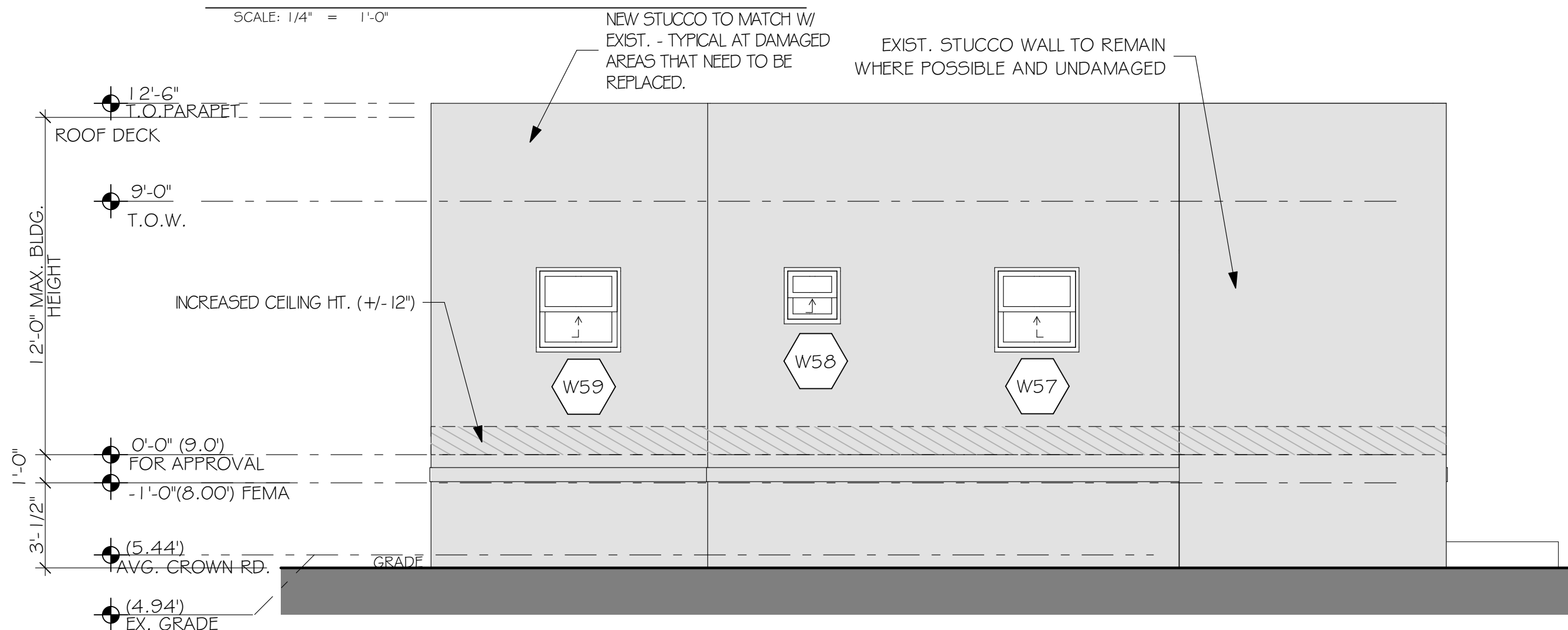
WEST ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



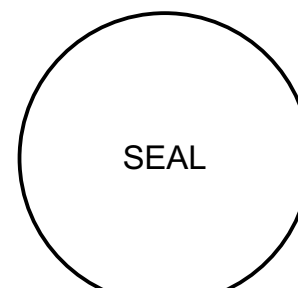
NORTH ELEVATION BLDG 4

SCALE: 1/4" = 1'-0"



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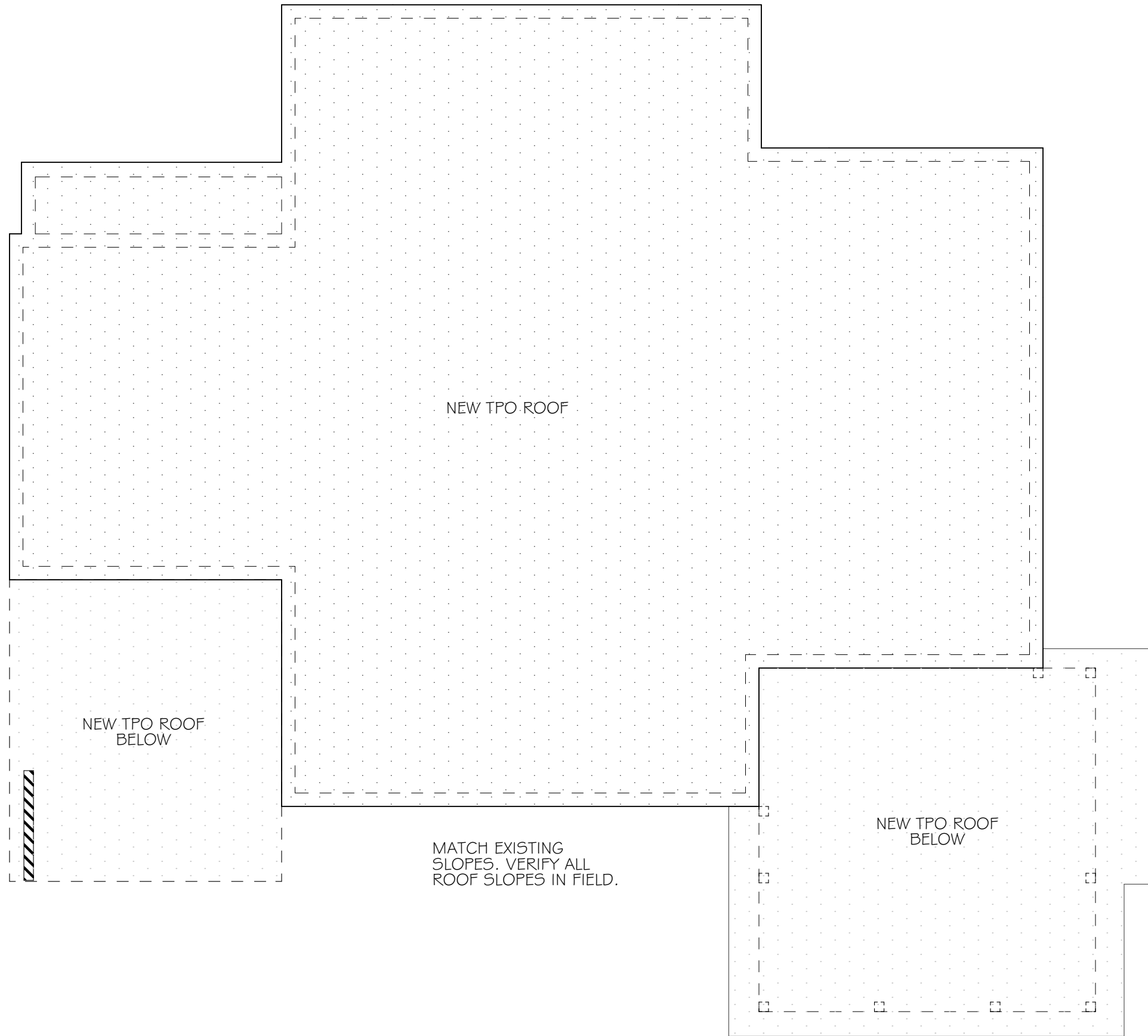
C.O.A. DRAWINGS

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DATE: 4.10.23
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REVISIONS:
A CITY COMMENTS (3.18.25)
B CITY COMMENTS (5.14.25)
C CITY COMMENTS (8.8.25)

ELEVATIONS BLDG 4 & 3D
VIEWS

A4.2



ROOF PLAN

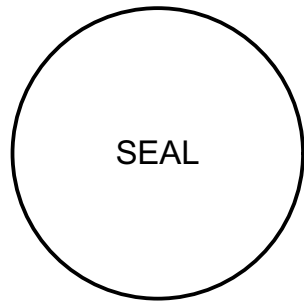
SCALE: 1/4" = 1'-0"

BUILDING #4



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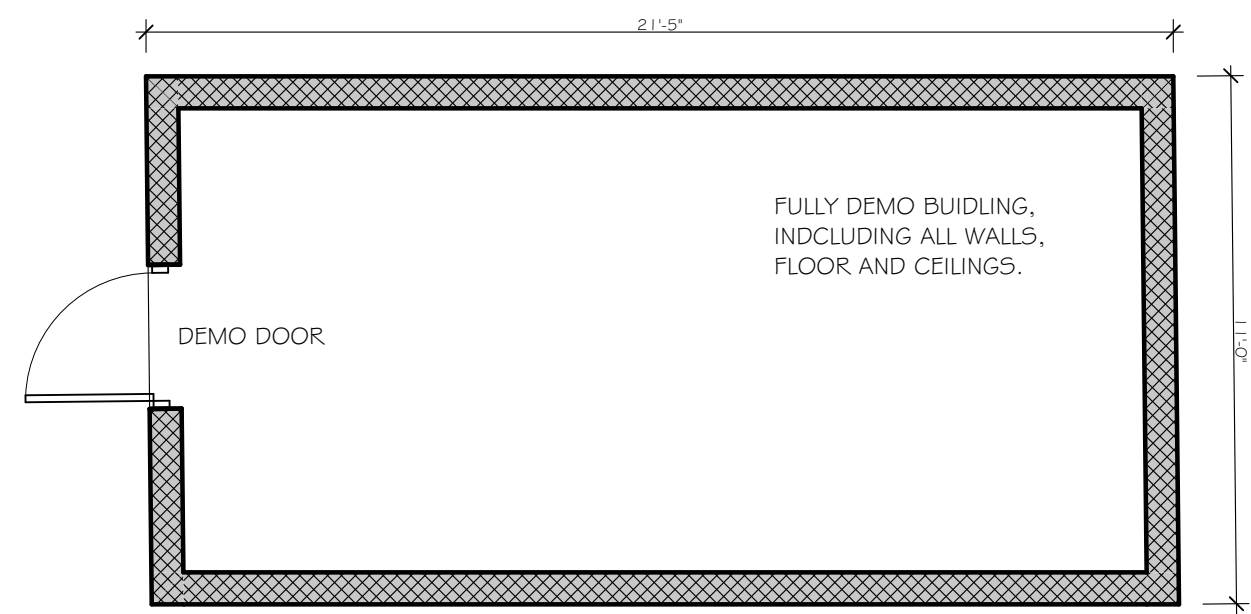
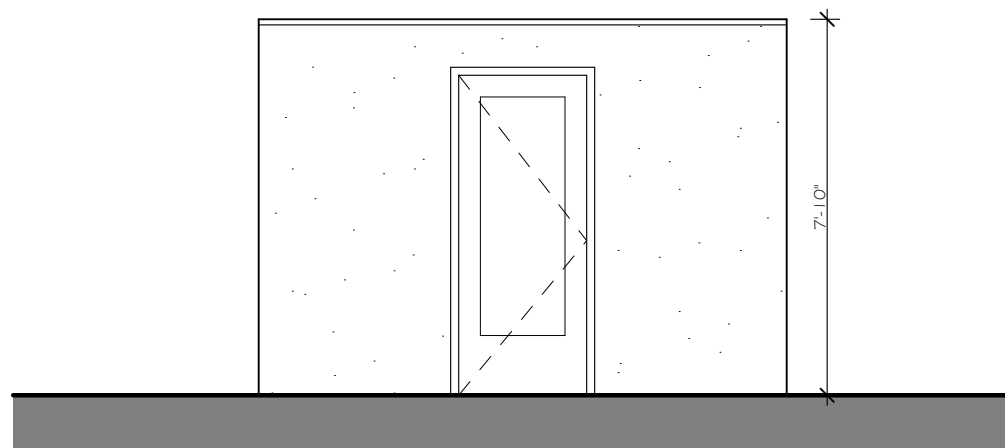
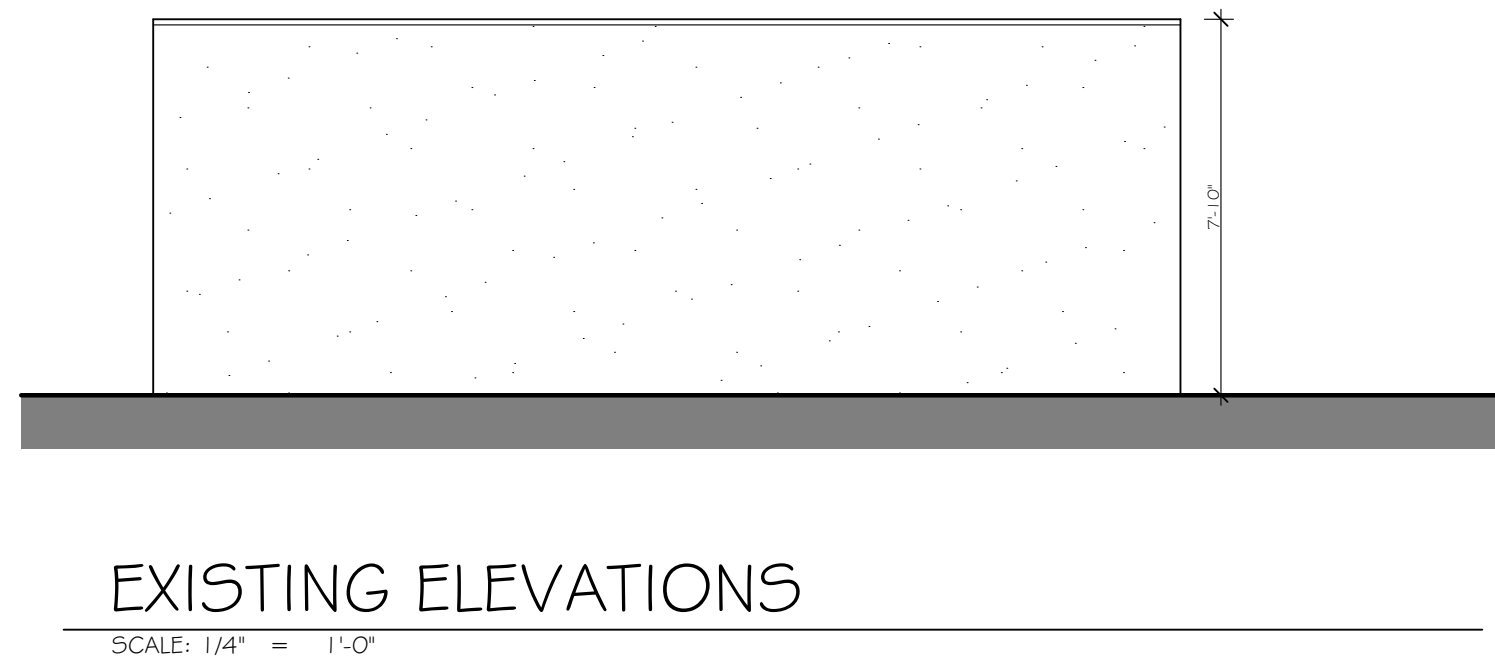
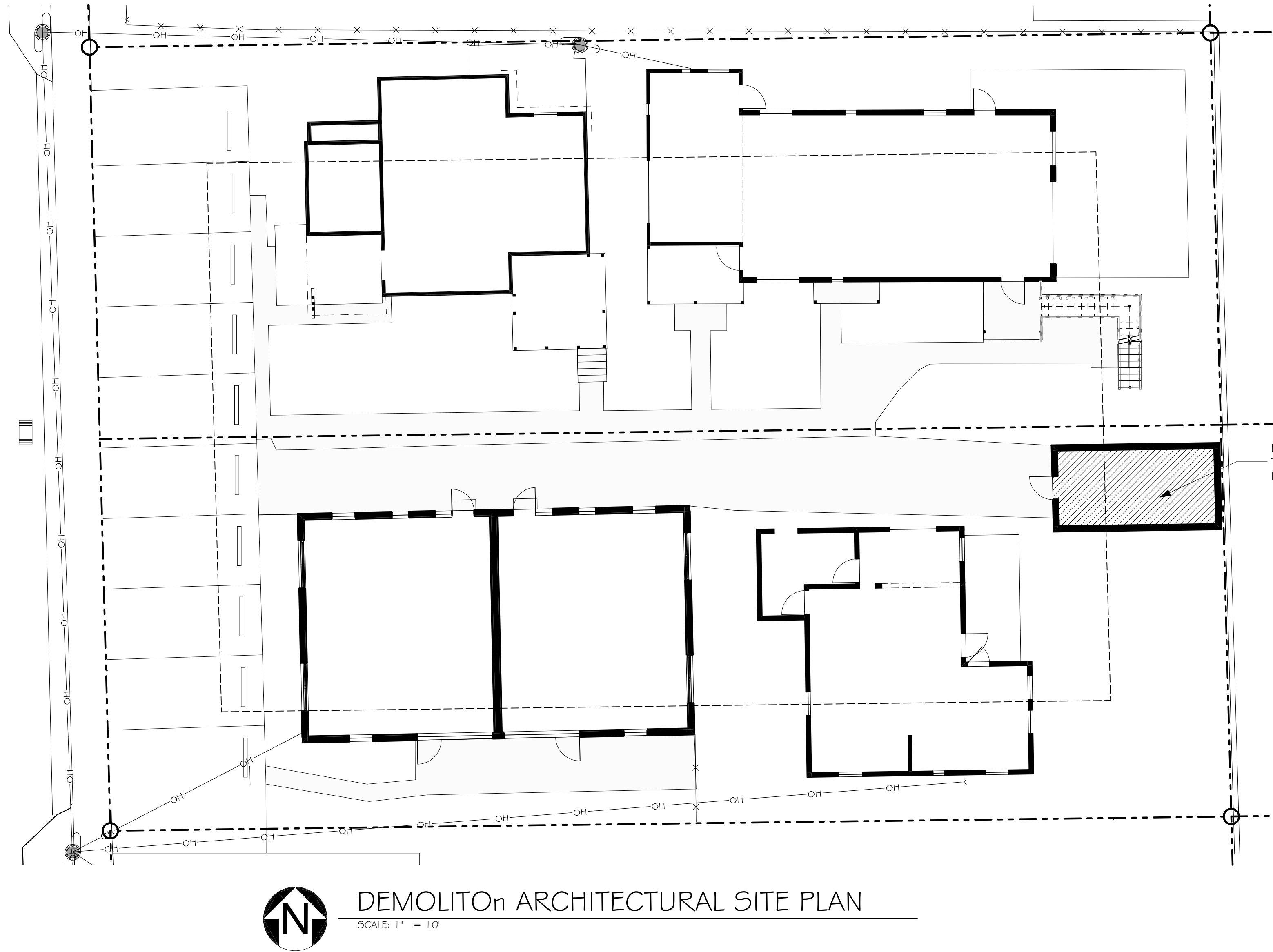
4 CITY COMMENTS (3.18.25)

5 CITY COMMENTS (5.14.25)

6 CITY COMMENTS (8.8.25)

ROOF PLAN

A4.3



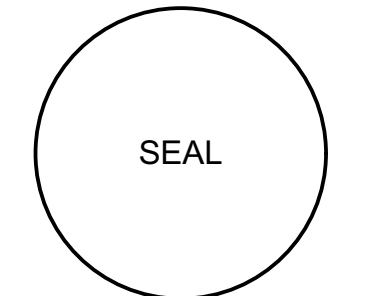
GARAGE DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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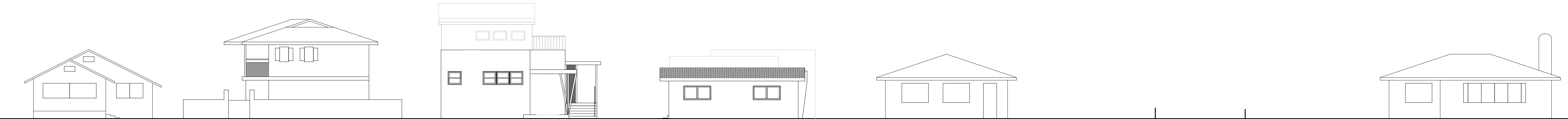
4 CITY COMMENTS (3, 1, 8, 25)

5 CITY COMMENTS (5, 14, 25)

6 CITY COMMENTS (8, 8, 25)

GARAGE DEMOLITION
PLAN

A4.4



131 SE 7TH AVE.

142 MARINE WAY.

139 SE 7TH AVE.

143 SE 7TH AVE.

711 SE 2ND ST.

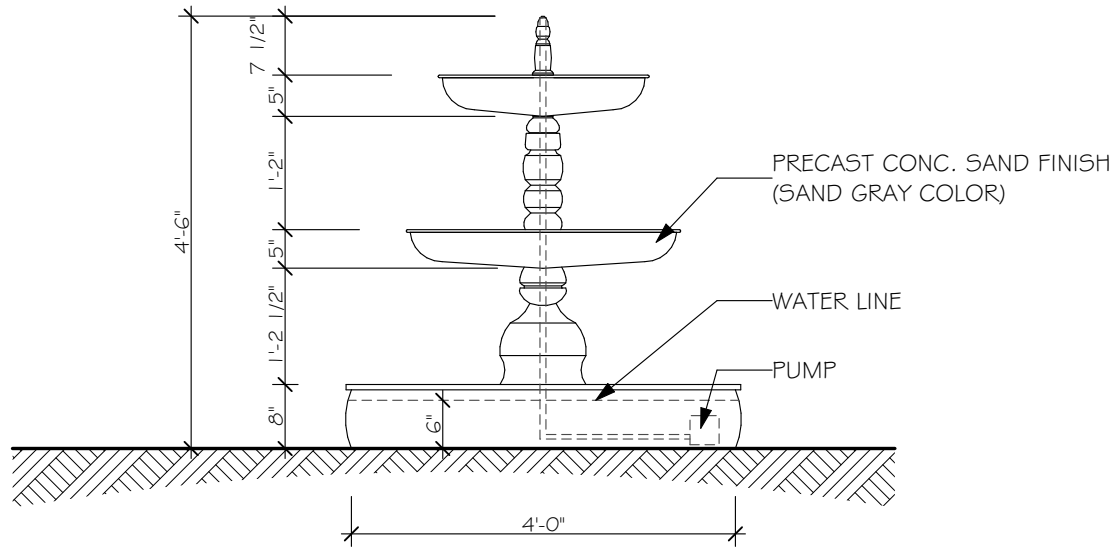
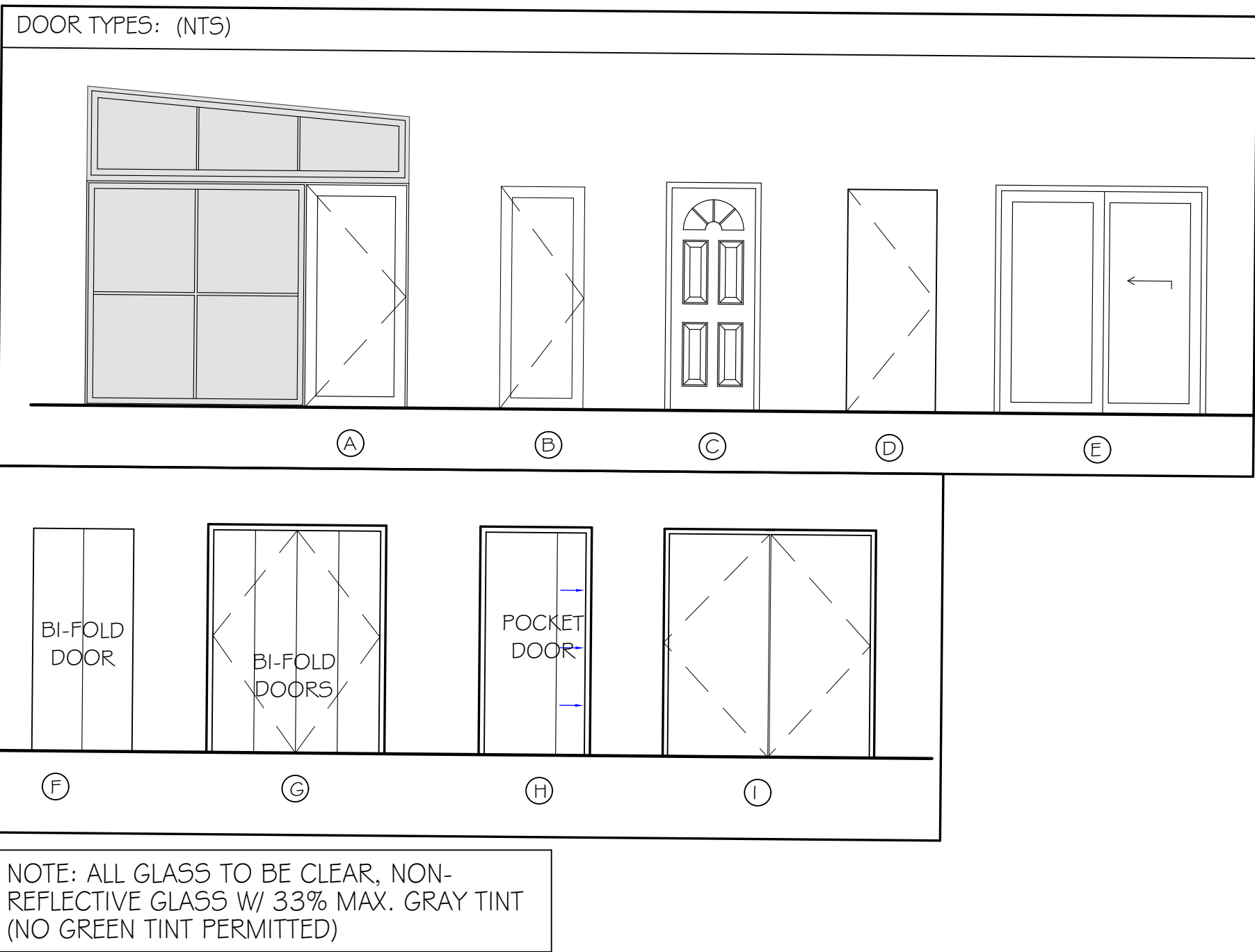
203 SE 7TH AVE.

HISTORIC STREETScape

SCALE: 1:137.14

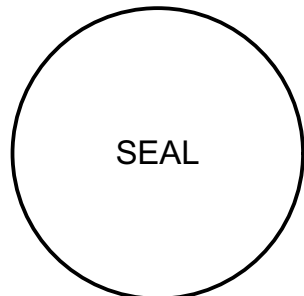
DOOR SCHEDULE:											
ID	W	HT	THK	MATERIAL	REQUIRED PRESSURES (PSF)	APPROVED PRESSURES (PSF)	PRODUCT APPROVAL	TYPE	TRDWR GROUP	COLOR	COMMENTS
D01	2'-6"	6'-8"	1 3/4"	SC WD	PER PLAN	PER NOA	17-1226.05	A	LOCK	WHT	HALF LITE
D02	6'-0"	8'-0"	1 3/4"	SC WD	PER PLAN	PER NOA	20-0429.10	C	MANU	WHT	SLIDING GLS. DOORS
D03	6'-0"	8'-0"	1 3/4"	SC WD	PER PLAN	PER NOA	20-0429.10	C	MANU	WHT	SLIDING GLS. DOORS
D04A	2'-0"	6'-8"	1 3/4"	SC WD	-	-	-	B	PASS	-	
D04B	2'-0"	6'-8"	1 3/4"	SC WD	-	-	-	B	PASS	-	
D05	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	D	PRIV	-	
D06	3'-0"	6'-8"	1 3/4"	SC WD	-	-	-	B	PASS	-	
D07	3'-0"	6'-8"	1 3/4"	SC WD	-	-	-	E	MANU	-	BIFOLD
D08	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	-	
D09	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	-	
D10A	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	F	MANU	-	POCKET
D10B	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	-	
D11	6'-0"	6'-8"	MANU	SC WD/GLS	PER PLAN	PER NOA	20-0429.10	C	MANU	WHT	SLIDING GLS DOOR
D12	2'-8"	6'-8"	1 3/4"	ALUM/GLS	PER PLAN	PER NOA	17-1226.05	A	LOCK	WHT	SNGL LITE
D13	9'-0"	6'-8"	MANU	ALUM/GLS	PER PLAN	PER NOA	20-0429.10	C	MANU	WHT	SLIDING GLS DOOR
D15	2'-8"	6'-8"	1 3/4"	SC WD	PER PLAN	PER NOA	17-1226.05	A	LOCK	WHT	SNGL LITE
D16	2'-8"	6'-8"	1 3/4"	SC WD	PER PLAN	PER NOA	17-1226.05	A	LOCK	WHT	SNGL LITE
D17	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D18	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	
D19	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	F	PRIV	PRIV	POCKET
D20	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D21	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	E	PASS	WHT	DBL BYPASS
D22	3'-0"	6'-8"	1 3/4"	SC WD	-	-	-	F	MANU	WHT	POCKET
D23	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	E	PASS	WHT	DBL BYPASS
D24	2'-8"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D25	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	
D26	2'-2"	6'-8"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D27	2'-6"	8'-0"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D28	2'-6"	8'-0"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D29	2'-6"	8'-0"	1 3/4"	SC WD	-	-	-	B	PRIV	WHT	
D30	2'-6"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	
D31	2'-6"	6'-8"	1 3/4"	SC WD	PER PLAN	+/-80	17-1226.05	A	LOCK	WHT	SNGL LITE
D32	2'-6"	6'-8"	1 3/4"	SC WD	PER PLAN	+/-80	17-1226.05	A	LOCK	WHT	SNGL LITE
D33	3'-0"	6'-8"	1 3/4"	SC WD	PER PLAN	+/-80	17-1226.05	A	LOCK	WHT	SNGL LITE
D34	3'-0"	6'-8"	1 3/4"	SC WD	PER PLAN	+/-80	17-1226.05	A	LOCK	WHT	SNGL LITE
D35	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D36	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D37	3'-8"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D38	3'-8"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D39	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D40	6'-0"	8'-0"	1 3/4"	SC WD	-	-	-	B	PASS	WHT	DBL BIFOLD
D41	6'-0"	6'-8"	1 3/4"	SC WD	PER PLAN	PER NOA	17-1226.05	I	LOCK	DRK BRZ	
D42	5'-0"	6'-8"	1 3/4"	SC WD	-	-	-	G	MANU	WHT	DBL BIFOLD
D43	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	D	PRIV	WHT	
D44	2'-6"	6'-8"	1 3/4"	SC WD	-	-	-	D	PRIV	WHT	
D45	6'-0"	6'-8"	1 3/4"	SC WD	-	-	-	G	MANU	WHT	DBL BIFOLD
D46	2'-6"	8'-0"	1 3/4"	SC WD	-	-	-	D	PRIV	WHT	
D47	4'-0"	6'-8"	1 3/4"	SC WD	-	-	-	G	MANU	WHT	

WINDOW SCHEDULE:												
ID	W	HT	REQUIRED PRESSURES	APPROVED PRESSURES	PRODUCT APPROVAL	MULLION BARS	TYPE	EGRESS	MATERIAL	GLAZE	COLOR	COMMENTS
W01	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	Y	SH3	Y	ALUM.	CLEAR GLASS	WHT	
W02	2'-0"	3'-0"	PER PLAN	PER NOA	20-0401.11	N	SH3	N	ALUM.	CLEAR GLASS	WHT	
W03	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	N	SH3	Y	ALUM.	CLEAR GLASS	WHT	
W04	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	N	SH3	Y	ALUM.	CLEAR GLASS	WHT	
W05	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	N	SH3	Y	ALUM.	CLEAR GLASS	WHT	
W06	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	Y	SH3	N	ALUM.	CLEAR GLASS	WHT	
W07	3'-0"	4'-8"	PER PLAN	PER NOA	20-0401.11	Y	SH3	N	ALUM.	CLEAR GLASS	WHT	
W08	2'-0"	3'-0"	PER PLAN	PER NOA	20-0401.11	N	SH3	N	ALUM.	CLEAR GLASS	WHT	
W09	2'-0"	3'-0"	PER PLAN	PER NOA	20-0401.11	N	SH3	N	ALUM.	CLEAR GLASS	WHT	
W10	2'-9"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W11	2'-9"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W12	2'-8"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W13	2'-8"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W13A	2'-8"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W14	2'-8"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W15	2'-8"	4'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W16	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W17	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W18	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W19	2'-6"	2'-8"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W20	2'-6"	2'-8"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W21	3'-0"	4'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	Y	ALUM.	CLEAR GLASS	WHT	
W22	3'-0"	4'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W23	2'-6"	2'-8"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W24	3'-0"	4'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W25	3'-0"	4'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W26	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W27	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W28	3'-0"	2'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W29	3'-0"	2'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W30	3'-0"	2'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W31	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W32	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W33	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W34	2'-6"	3'-4"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W35	3'-0"	2'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W36	3'-0"	2'-0"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W37	3'-0"	4'-2"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W38	2'-2"	3'-2"	PER PLAN	PER NOA	20-0401.11	N	SH2	N	ALUM.	CLEAR GLASS	WHT	
W39	2'-2"	3'-2"	PER PLAN	PER NOA	20-0401.11	N	SH2	N	ALUM.	CLEAR GLASS	WHT	
W40	2'-2"	3'-2"	PER PLAN	PER NOA	20-0401.11	N	SH2	N	ALUM.	CLEAR GLASS	WHT	
W41	2'-2"	3'-2"	PER PLAN	PER NOA	20-0401.11	N	SH2	N	ALUM.	CLEAR GLASS	WHT	
W42	3'-0"	4'-2"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W43	6'-2"	3'-2"	PER PLAN	PER NOA	20-0402.02	Y	CASE1	Y	ALUM.	CLEAR GLASS	WHT	
W44	6'-2"	3'-2"	PER PLAN	PER NOA	20-0402.02	Y	CASE1	Y	ALUM.	CLEAR GLASS	WHT	
W45	3'-0"	4'-2"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W46	9'-8"	2'-10"	PER PLAN	PER NOA	20-0401.10	Y	FXD1	N	ALUM.	CLEAR GLASS	WHT	TRAPEZOID TRANSOM ABV D...
W47	9'-8"	2'-10"	PER PLAN	PER NOA	20-0401.10	Y	FXD1	N	ALUM.	CLEAR GLASS	WHT	TRAPEZOID TRANSOM ABV D...
W48	3'-0"	4'-2"	PER PLAN	PER NOA	20-0401.11	N	SH1	N	ALUM.	CLEAR GLASS	WHT	
W49	6'-2"	3'-2"	PER PLAN	PER NOA	20-0402.02	Y	CASE1	Y	ALUM.	CLEAR GLASS	WHT	
W50	6'-2"	3'-2"	PER PLAN	PER NOA	20-0402.02	Y	CASE1	Y	ALUM.	CLEAR GLASS	WHT	
W51	2'-4"	4'-2"	PER PLAN	PER NOA	20-0401.10	N	CSM2	N	ALUM.	CLEAR GLASS	WHT	
W52	5'-6"	4'-6"	PER PLAN	PER NOA	20-0402.02	N	FXD3	Y	ALUM.	CLEAR GLASS	WHT	
W53	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM3	Y	ALUM.	CLEAR GLASS	WHT	
W54	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM3	Y	ALUM.	CLEAR GLASS	WHT	
W55	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM3	Y	ALUM.	CLEAR GLASS	WHT	
W56	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM4	Y	ALUM.	CLEAR GLASS	WHT	
W57	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM4	Y	ALUM.	CLEAR GLASS	WHT	
W58	2'-0"	2'-0"	PER PLAN	PER NOA	20-0401.10	N	CSM5	N	ALUM.	CLEAR GLASS	WHT	
W59	3'-0"	3'-0"	PER PLAN	PER NOA	20-0402.02	N	CSM3	Y	ALUM.	CLEAR GLASS	WHT	
W60	6'-2"	2'-0"	PER PLAN	PER NOA	20-0401.10	N	FXD2	N	ALUM.	CLEAR GLASS	WHT	
W61	2'-6"	6'-8"	PER PLAN	PER NOA	20-0401.10	N	FXD1	N	ALUM.	CLEAR GLASS	WHT	



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ARCHITECTURE

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PH. 561.880.7894
Steve@stevesiebert.com
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STEVEN W. SIEBERT
FLORIDA AR0017834
NEW JERSEY 21A101517500
TEXAS 26934

WANG RESIDENCE
139/143 SE 7TH AVE
DELRAY BEACH, FL 33483

C.O.A. DRAWINGS

Volumes/SSA Projects/Active Projects/22-429 139 & 143 SE 7th ave (Wang residence)/22-429 139-143 se 7th AVE COA 6.21.23.pln



COLOR PERSPECTIVE A

NOT TO SCALE



COLOR PERSPECTIVE B

NOT TO SCALE



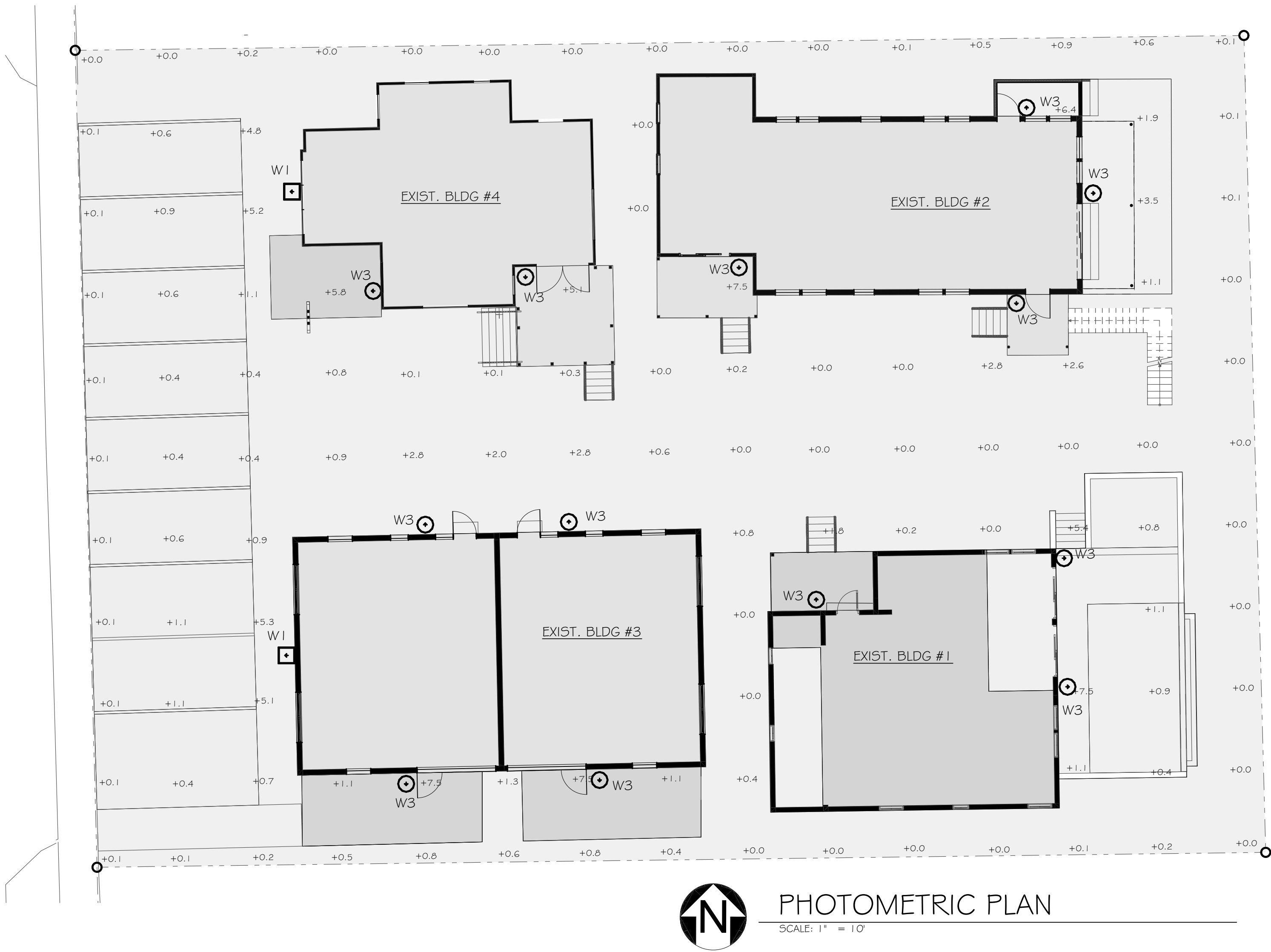
COLOR PERSPECTIVE C

NOT TO SCALE



COLOR PERSPECTIVE D

NOT TO SCALE



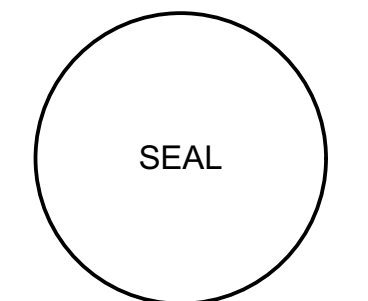
Photometrics Calculation Software Generated Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
	2	W1	Single	2069	2069	0.900	20.1	20.1
	0	W2	Single	2931	2931	0.900	40	40
	13	W3	Single	976	976	0.900	11	11

LIGHTING FIXTURE SCHEDULE											
TYPE	DESCRIPTION	MANF	CATALOG NUMBER	VOLT	LAMP COLOR	LUMENS	LAMP TYPE	DIM TYPE	WATTS	MOUNTING	NOTES
W1	WALL MOUNTED LUMINAIRE	IVUE	ENC-SA1A-740-U-T2-FINISH-HSS	UNV	4000K	2069	LED	0-10V	20W	WALL	1
W2	CYLINDRICAL DOWN LIGHT	LIGMAN	UMV-30052-2x20w-EW-T4-W40-FINSH-120/277V	UNV	4000K	2931	LED	0-10V	40W	WALL	1
W3	CYLINDRICAL DOWN LIGHT	LIGMAN	UMV-30001-11W-M-W40-FINSH-120/277V	UNV	4000K	976	LED	0-10V	11W	WALL	1
FIXTURE SCHEDULE NOTES											



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TEXAS 26934

WANG RESIDENCE
139/143 SE 7TH AVE
DELRAY BEACH, FL 33483

C.O.A. DRAWINGS

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.
COPYRIGHT STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED REPRODUCTION OR ANY OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO: 22-429
DATE: 4.10.23
DRAWN BY: BT
CHECKED BY: SK
REVISIONS:
A CITY COMMENTS (3.18.25)
B CITY COMMENTS (5.14.25)
C CITY COMMENTS (8.8.25)

COLOR PERSPECTIVES /
PHOTOMETRIC

A6.0

Guide for Plant Appraisal, 9th Edition

Guide for Plant Appraisal, 9th Edition

ase/Location: 139-143 SE 7th Avenue, Delray Beach, FL 33483

Date: 7/27/2023

Appraiser: Thomas White, ASLA-ISA

	ISA Arborist FL-5248A
--	-----------------------

Condition:

Category	A
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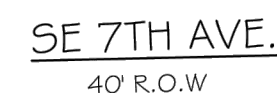
Guide for Plant Appraisal, 9th Edition

Case/Location:	139-143 SE 7th Avenue, Delray Beach, FL 33483
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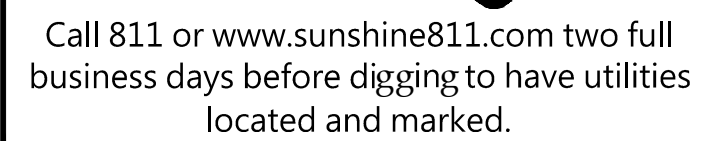
Date: 7/27/2023

Appraiser: Thomas White, ASLA-ISA.
ISA Arborist #1 5348A

ISA Arbollist FL-5248A

Replacement Palms RequiredReplacement Palms Required

Digitally signed by
Thomas White
Date: 2025.05.21
15:59:59 -04'00'



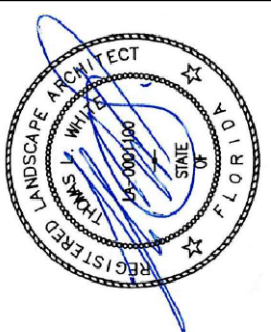
Check positive response codes before you dig!

139-143 SE 7th Avenue
Delray Beach, Florida 33483

Delray Beach, Florida 33483

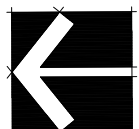
REVISIONS

3/6/2025: Owner has removed all site plant material.



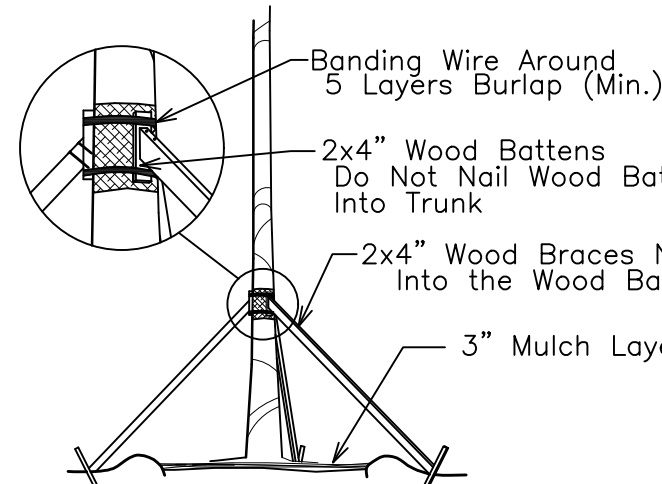
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CHECKED:
TW
DATE:
10-12-2023
SCALE: 1"=10'

Sheet No.
L-1
Sheet 1 Of 4



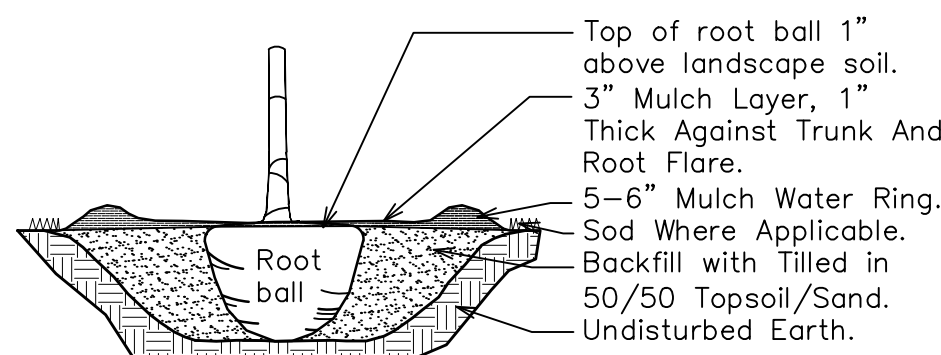
GENERAL LANDSCAPE NOTES

- The plan takes precedence over the plant list.
- 2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.
- General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.
- All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.
- All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.
- All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.
- All planting beds shall be free of all rocks 1/2" or larger, sticks, and all objectionable non-native material including weeds, weed seeds. All limerock, road rock, asphalt shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds and top 2" of all sodded areas. This soil shall be tilled into the existing soil after the existing soil has been cleaned of all rocks, concrete, asphalt, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative.
- All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.
- All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.
- All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.
- All landscape and lawn areas are irrigated by an existing fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. One bubbler shall be provided for each tree. The system is operational with a rain sensor and rust inhibitor.
- No fertilizers are required.
- All landscape areas shall be covered with a 3" layer of Melaleuca mulch or Florimulch when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.
- All open areas not covered by trees, palms, shrubs, vines or ground covers shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. All noted s.f. shall be approximate; it is the contractor's responsibility to do his or her take off and sod all open areas. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.
- Please refer to the planting details for a graphic representation of the above notes.
- All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Thomas L. White, ASLA-ISA.
- All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.
- A min. 5 feet horizontal clearance / horizontal separation is required between city utilities infrastructure and proposed small trees and 10 foot separation from large trees.



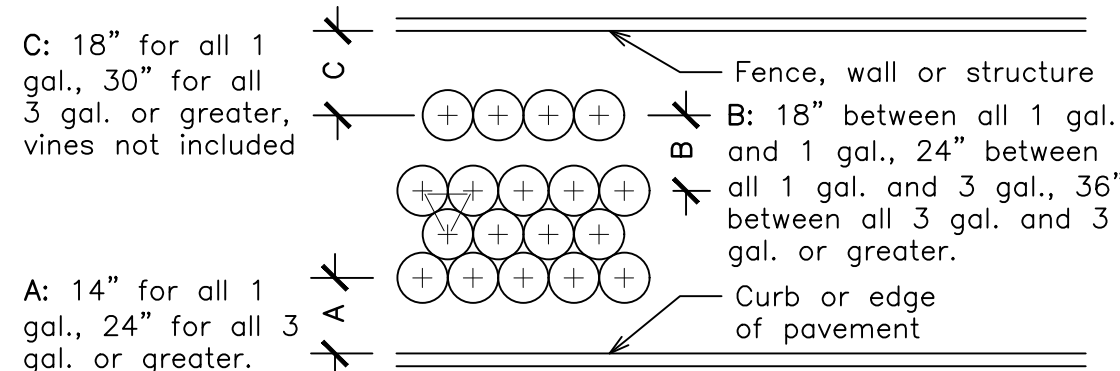
TREE/PALM BRACING DETAIL

NTS



TREE/PALM PLANTING DETAIL

NTS

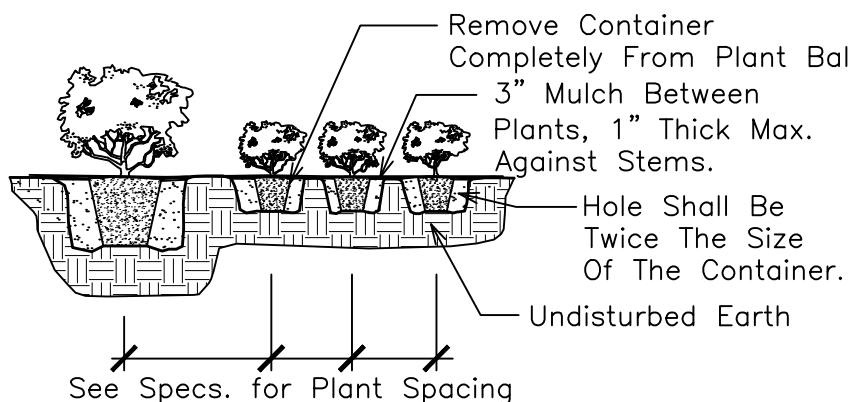


TYPICAL SHRUB SPACING DETAIL

NTS

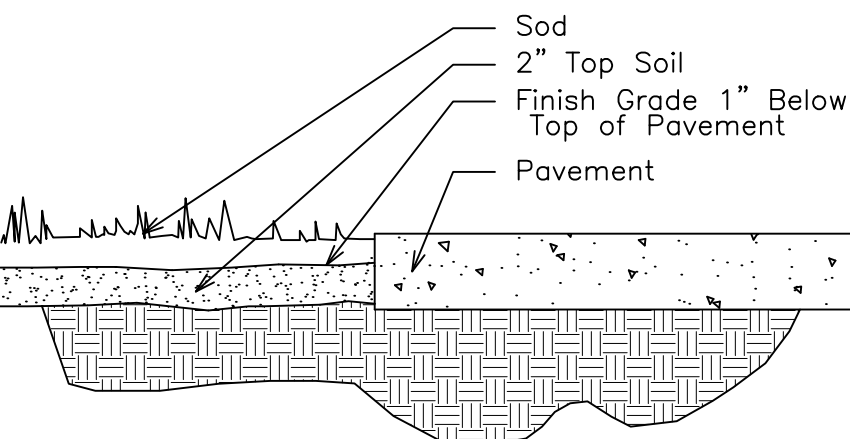
PLANT LIST

Code	Drought QTY.	Botanical Name / Common Name	Specifications
Proposed Trees / Palms			
AM	V	2	Adonidia merillii / Christmas Palm
CE	(N)	2	Conocarpus erectus sericeus / Silver Buttonwood
FD	V	1	Filicium decipiens / Japanese Fern Tree
IC	(N)	1	Ilex cassine / Dahoon Holly
CO	(N)	2	Chrysophyllum oliviforme / Satin Leaf
VM	V	3	Veitchia montgomeryana / Montgomery Palm
		8	Total Proposed Trees / Palms (AM and VM Counted 3:1)
		5	Native Trees
		65%	Native Trees
Accents / Shrubs			
ADV	V	1	Agave desmettiana / Variegated Agave
CFR	V	9	Cordyline fruticosa 'Red Sister' / Red Sister Ti Plant
CHE	V	1	Chamaecyparis humilis / European Fan Palm
CMF	V	2	Caryota mitis / Fishtail Palm
CRI	(N)	7	Crinum asiaticum / Tree Crinum
CRO	V	28	Codiaeum variegatum 'Mammey' / Croton
CRS	(N)	44	Clusia rosea / Small Leaf Clusia
DAH	V	1	Dictyosperma album / Hurricane Palm
DLA	V	21	Dypsis lutescens / Areca Palm
ING	V	15	Ixora 'Nora Grant' / Pink Nora Grant Ixora
JNS	V	13	Jasminum nitidum / Shining Jasmine
MDS	V	17	Monstera deliciosa / Swiss Cheese Plant
MFS	V	5	Myrcianthes fragrans / Simpson Stopper
PMP	V	107	Podocarpus neri / Podocarpus
SAG	V	80	Schefflera arboricola / Green Dwarf Schefflera
SAT	V	9	Schefflera arboricola 'Trinette' / Variegated Arboricola
TDF	(N)	6	Tripsacum dactyloides / Fakahatchee Grass
TRF	V	4	Thrinax radiata / Florida Thatch Palm
VOS	V	15	Viburnum odoratissimum / Sweet Viburnum
VSS	V	3	Viburnum suspensum / Sandankwa Viburnum
		388	Total Shrubs
Ground Covers / Sod			
ADM	V	18	Asparagus densiflorus 'Myers' / Foxtail Fern
BRO	V	5	Bromeliad spp. / Bromeliads
CFH	V	33	Cyrtanthium falcatum / Holly Fern
DIA	V	13	Diets iridioides / African Iris
FMG	V	28	Ficus microcarpa / Green Island Ficus
JCS	V	14	Juniperus conferta / Shore Juniper
JHB	V	37	Juniperus horizontalis / Blue Rug Juniper
LME	V	140	Liriope muscari 'eg' / Liriope Evergreen Giant
NEB	V	8	Nephrolepis exaltata / Boston Fern
A-Sod	M	By GC S.F.	Stenotaphrum secundatum / St. Augustine 'Palmetto'
B-Sod	M	By GC S.F.	Paspalum notatum / Argentine Bahia - Sand Grown



SHRUB PLANTING DETAIL

NTS



SOD INSTALLATION DETAIL

NTS

CITY OF DELRAY BEACH CALCULATIONS

Multi Family Minimum Landscape Requirements

Sec 4.6.16. (H) (3)

	Required Cont'd. Shrubs	Provided Cont'd. Shrubs
Street Facing Foundation Shrubs		
A/C Units Screen w/ Shrubs or Wood Fence	Hedge or Wood Fence	Both
Sod	Sod	Sod
ROW Sod	Sod	NA
Refuse Containers Screened	NA	Rear
Irrigation System	Irrigation System	Irrigation System
Parking Area:		1785 SF
Parking Interior Landscape Area:		420 SF
		24%
Landscape Barrier / 5' Perimeter where applicable:		1475 SF
Interior Landscape:		1820 SF
Foundation Landscape:		1275 SF
		4990 SF

ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.0 & LD 2.0

Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

Thomas White

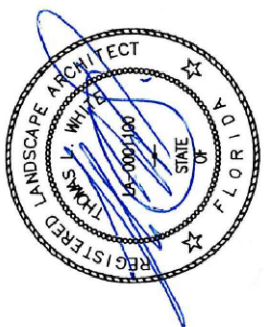
Digitally signed by Thomas White
Date: 2025.05.21
16:01:03 -04'00'

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN ASSOCIATE, CERTIFIED ARBORIST
tcwhite@bellsouth.net
954-253-2265

REVISIONS

3/6/2025: Updated Existing Plant Material, Site Plan, and Parking Layout.
5/21/2025: Parking walk added.

Landscape Plan
Wang Residence
139-143 SE 7th Avenue
DeLay Beach, Florida 33483

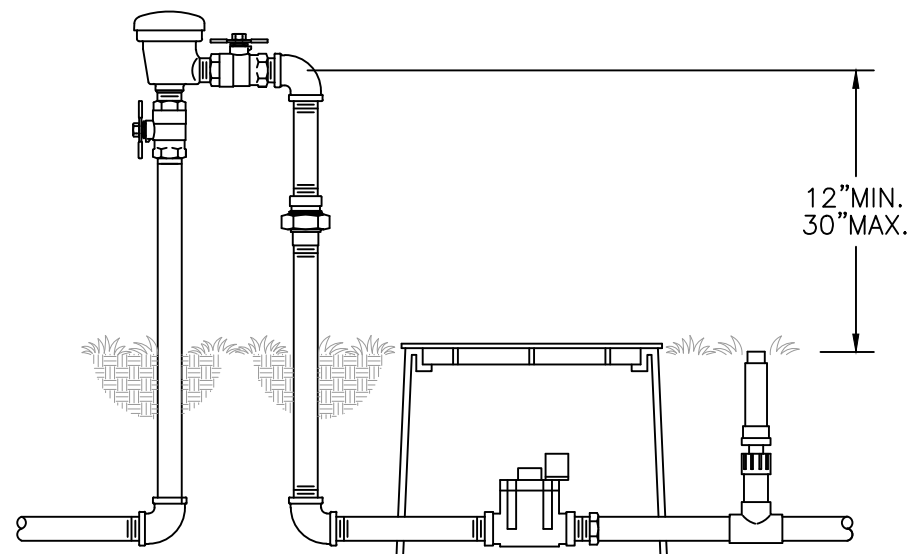
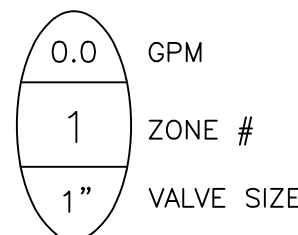


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CHECKED: TW
DATE: 10-12-2023
SCALE: 1"=10'

Sheet No.
L-2
Sheet 2 Of 4

IRRIGATION LEGEND:

- 1" MAIN LINE
- LATERAL ZONE LINES.
- 1" VACUUM BREAKER: Wilkins WK720A-100.
- CONTROLLER - Intermatic Electric 2or4 station controller.
- Mini Klik automatic rain sensor shutoff switch mounted outside on eave of structure.
- ZONE VALVES - Hunter PGV Series with SCV-100-VALVE-B Smart Valve Battery Controller.
- EXISTING CITY WATER METER.
- SLEEVES - Sch. 40, 2 Sizes Larger.
NOTE - Pipe Size Shown is the Lateral Size, NOT the Sleeve Size
- 6" POP-UP SPRAY - Hunter MP Rotator Series: Nozzles as Required.
NOTE - All of the below may not be used
- | | MP1000 | MP800 |
|--------------|--------|-------|
| 8-15' Radius | Q | q |
| 120 T | T | t |
| 180 H | H | h |
| 240 TT | TT | tt |
| 270 TQ | TQ | tq |
| 360 F | F | f |
- 6" POP-UP STREAM BUBBLER - Hunter 5-CST-B 5'R.
- SS-530 5 x 30'
- ES-515 5 x 15'



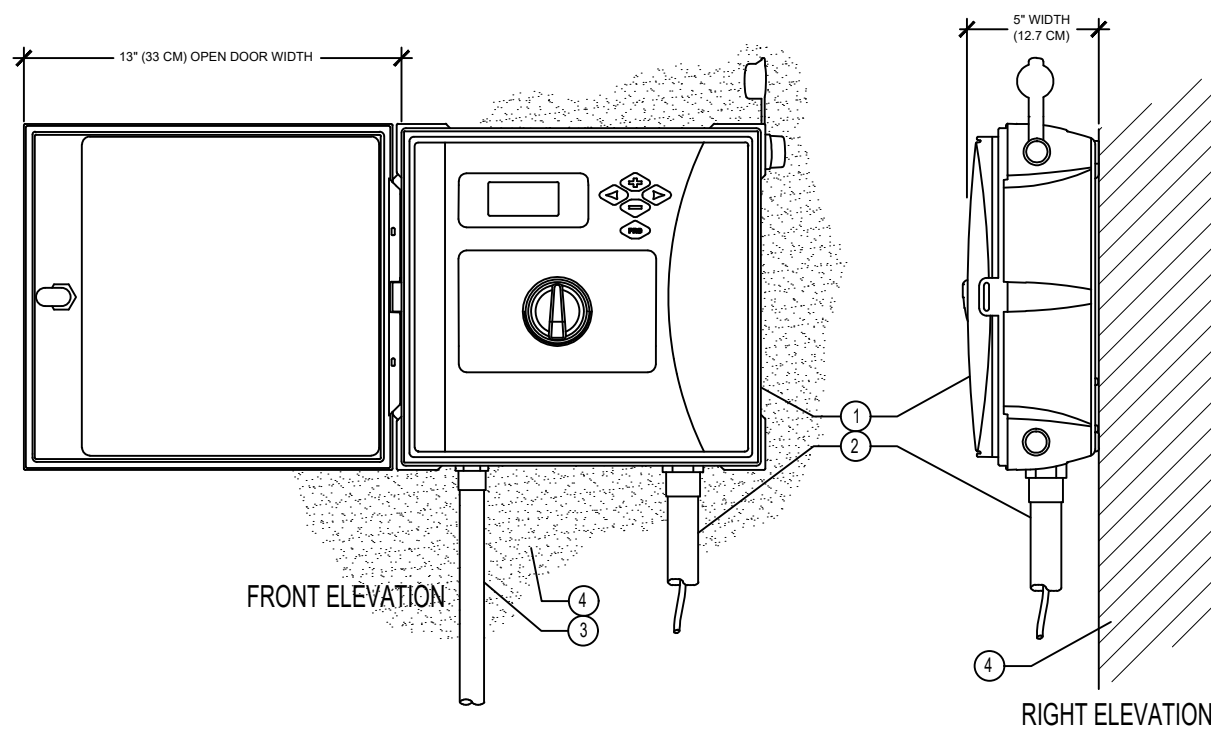
WILKINS MODEL 720A

NTS

LEGEND:

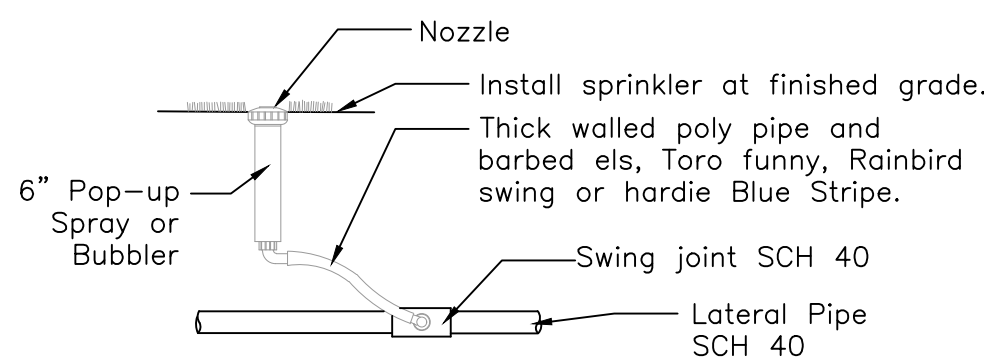
- IRRIGATION CONTROLLER
- IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
- ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, 1-BOX INSIDE CONTROLLER
- ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN
- WIRELESS RAIN SENSOR

NOTE: MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND/ED 110 VAC POWER SOURCE



IRRIGATION CONTROLLER and RAIN CLIK SENSOR

NTS



6" Pop-up Spray / Bubbler Detail

NTS

IRRIGATION NOTES:

Piping:
Main Lines: PVC SCH 40 Solvent Weld.
Zone Lines: PVC SCH 40 Solvent Weld. 1/2 in. is not used.
All pipe is 1 inch.
Sleeves and suction Line: PVC SCH 40.

Fittings: SCH 40 PVC

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

Allow all main lines to cure for 24 hours before pressuring.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.
Sleeving under pavement = 24 in. depth, min.
Suction Line = 24 in. depth, nominal.
Zone Lines 1-1/2 in. and smaller = 15 in. depth, min.

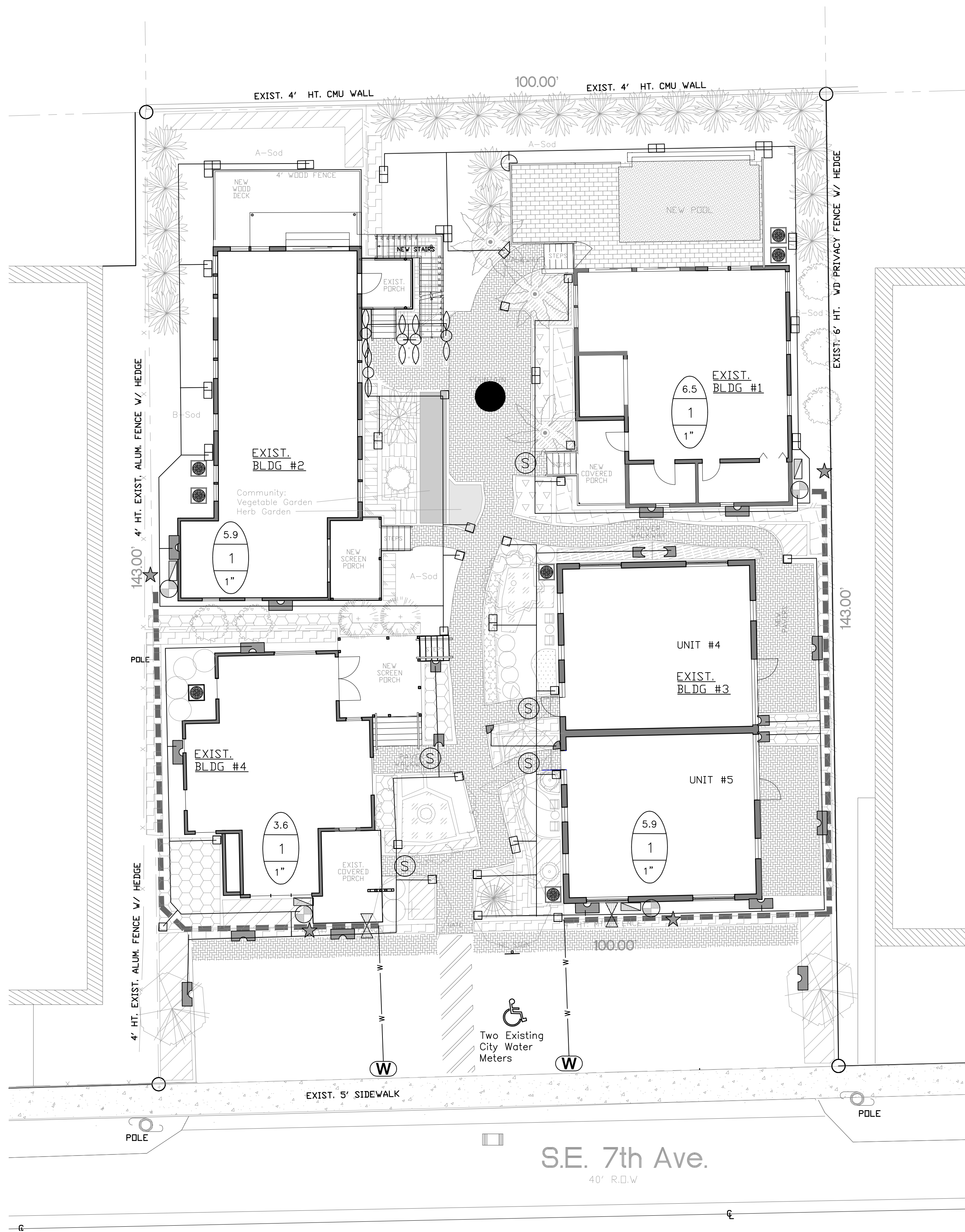
Control Wires: AWG 14 for all hot wires and AWG 12 for common.
Solid copper type UF UL listed for direct burial.
Run wires under main.
Run spares, two min.
Splice wires only in a valve box. All splices shall be moisture proof using Snap tite or DBY UL connectors.
Common shall be white, hot shall be red or color coded
Spare shall be black. Run all wires in Grey Electrical SCH 40 conduit..

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractors responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractors responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

Contractor shall verify all underground utilities prior to commencement of work.



NOTE:

Each Building has it's own time clock, controller, and one irrigation zone.

Thomas
White

Digitally signed
by Thomas White
Date: 2025.05.21
16:01:49 -04'00'

Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

DRAWN:
TW
CHECKED:
TW
DATE:
10-12-2023
SCALE: 1"=10'

Sheet No.
L-3
Sheet 3 Of 4

Irrigation Permit Plan

Wang Residence

139-143 SE 7th Avenue
Delray Beach, Florida 33483

REVISIONS

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
tcawhite@bellsouth.net
954-253-2265



PATH LIGHT

NTS



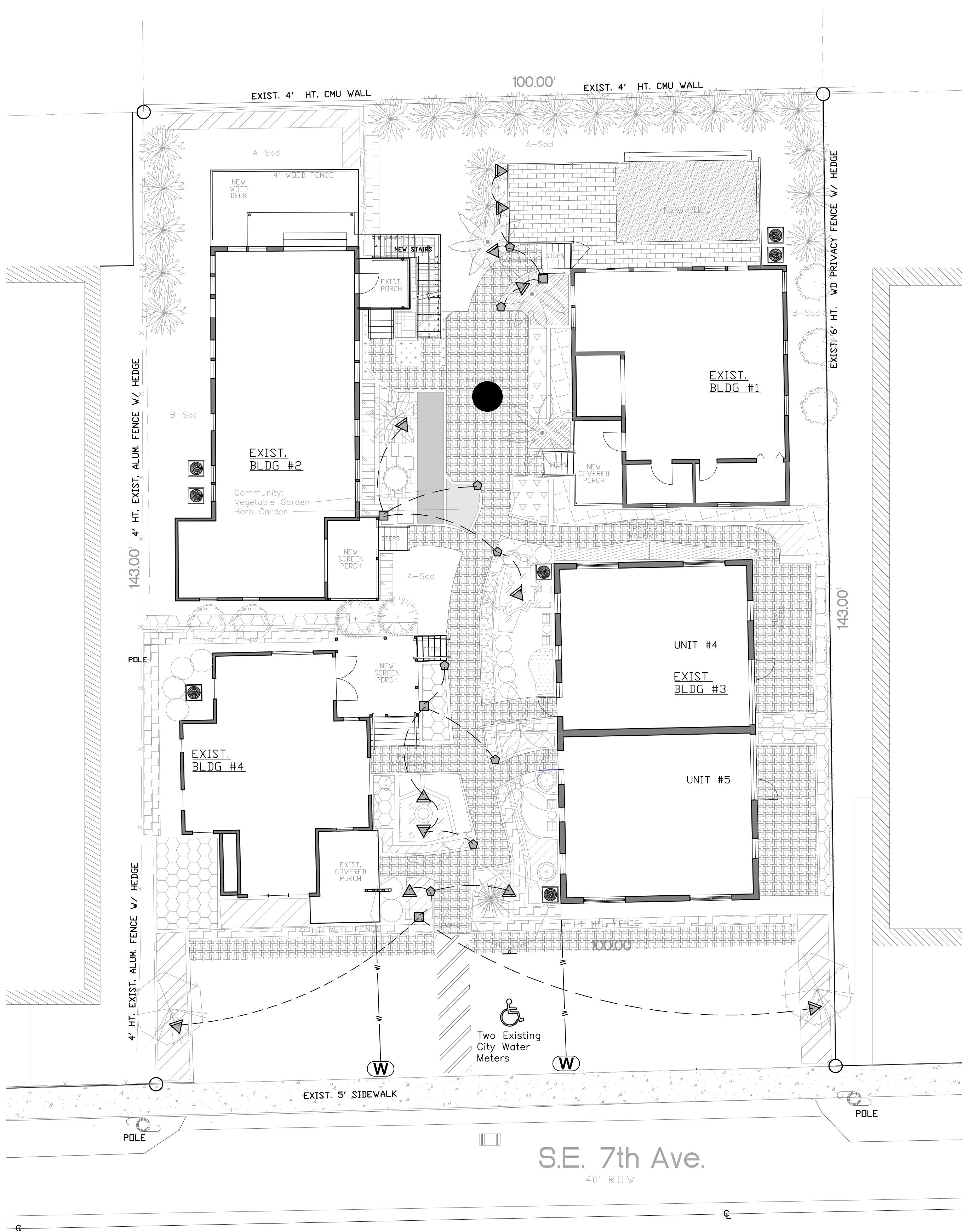
UP LIGHT (Typ.)

NTS

LIGHTING FIXTURE SCHEDULE

SYMBOL	TYPE, FINISH	MANUFACTURER	ITEM NUMBER	LAMPS		VOLTS	REMARKS
				QTY	TYPE		
	UP LIGHT, BLACK	Kichler	16020BKT30	1	12 Watt LED	12-LED	Available Locally at Light Bulbs Unlimited, Factory Direct or online at Wayfair or Amazon.
	PATH LIGHT BLACK	Kichler	15845BKT	1	11.6 Watts	12-LED	
	TRANSFORMER, BLACK	Kichler	TBD		65 Watts	120	

NOTE:
THIS LOW VOLTAGE SYSTEM HAS BEEN DESIGNED FOR MAXIMUM SAVINGS
THE LAYOUT HAS MINIMIZED THE RUNNING LENGTH OF THE WIRING



THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
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954-253-2265

REVISIONS

Irrigation Permit Plan
Wang Residence
139-143 SE 7th Avenue
Delray Beach, Florida 33483

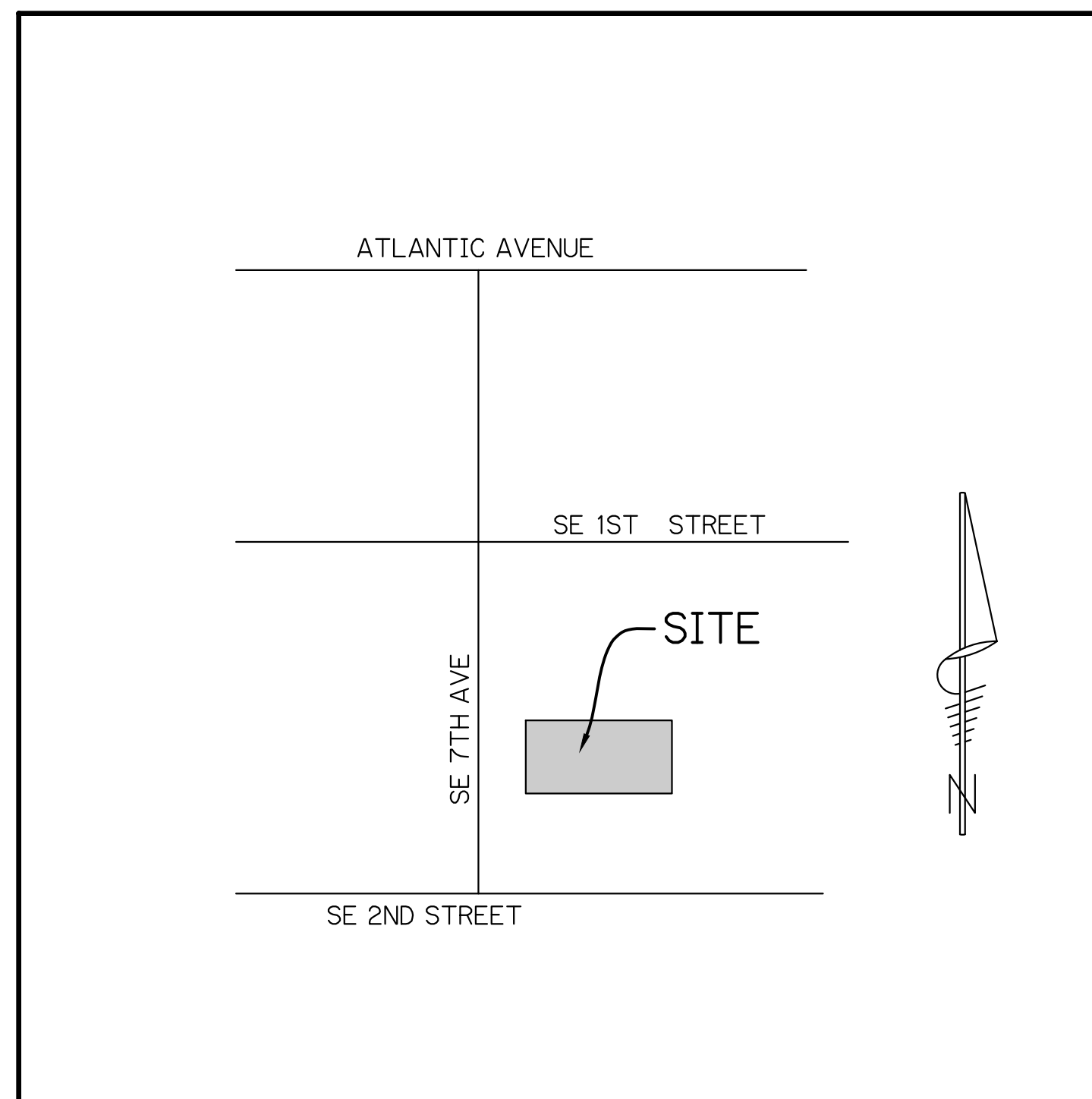


DRAWN: TW
CHECKED: TW
DATE: 10-12-2023
SCALE: 1"=10'
Sheet No. **L-4**
Sheet 4 Of 4

Thomas White
Digitally signed by Thomas White
Date: 2025.05.21 16:02:27 -04'00'

Sunshine811
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!

PAVING, GRADING, & DRAINAGE PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL



LOCATION MAP

N.T.S.
SEC. 16 TWP. 46 S RGE. 43 E

INDEX OF SHEETS

<u>SHEET No.</u>	<u>DESCRIPTION</u>
1	COVER
2	DEMOLITION PLAN
3	PAVING, GRADING, & DRAINAGE PLAN
4-5	PAVING, GRADING, & DRAINAGE DETAILS



PREPARED BY:

Last Devenport, Inc.

1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)683-0872
EB 9889

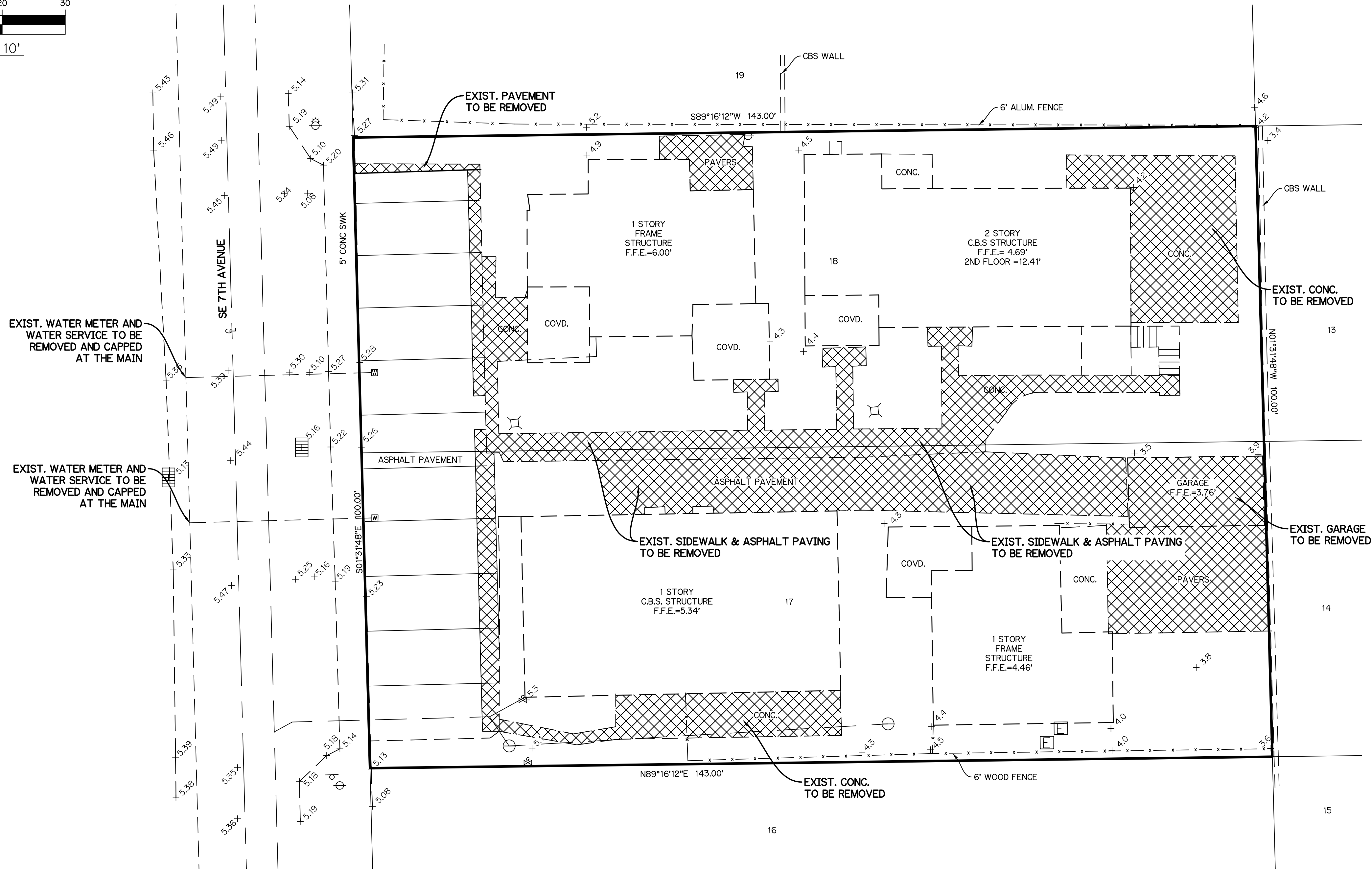
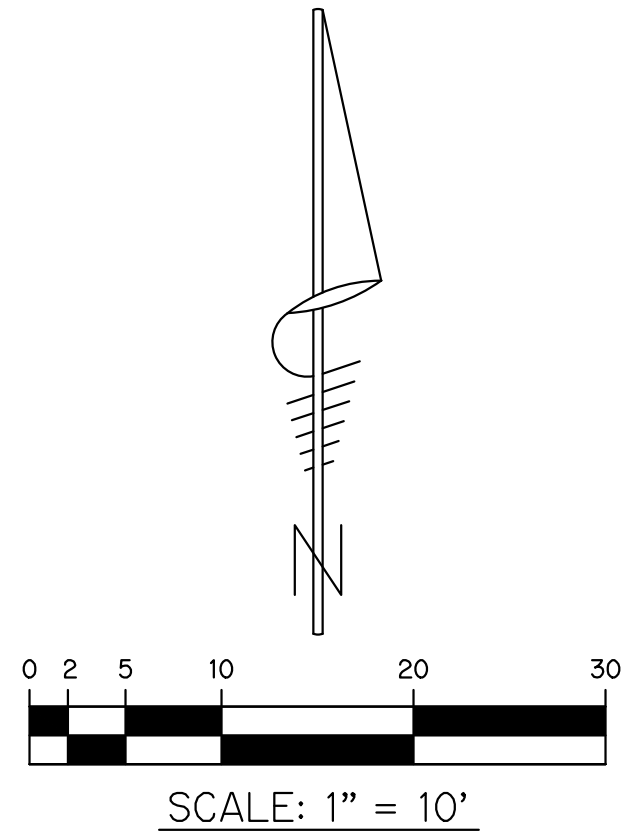
PRELIMINARY ☐
PROGRESS SET ☐
BID SET ☐
PERMIT SET ☐
CONSTRUCTION SET ☐

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053 PD

SHEET 1 OF 5

23-053 139/143 SE 7TH AVE



LEGEND:

EXISTING CATCH BASIN	
EXISTING CLEANOUT	
EXISTING ELECTRIC BOX	
EXISTING ELEVATION	
EXISTING GAS VALVE	
EXISTING LIGHT POLE	
EXISTING POWER POLE	
EXISTING POWER POLE W/ LIGHT	
EXISTING SIGN	
EXISTING WATER METER	
FINISH FLOOR ELEVATION	F.F.E.

- NOTES:**
1. BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY PERIMETER SURVEYING & MAPPING, PROJECT NUMBER 20250, DATED 12/08/2020.
 2. ALL ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM.

DEMOLITION PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL

REVISIONS	DATE	BY	CK

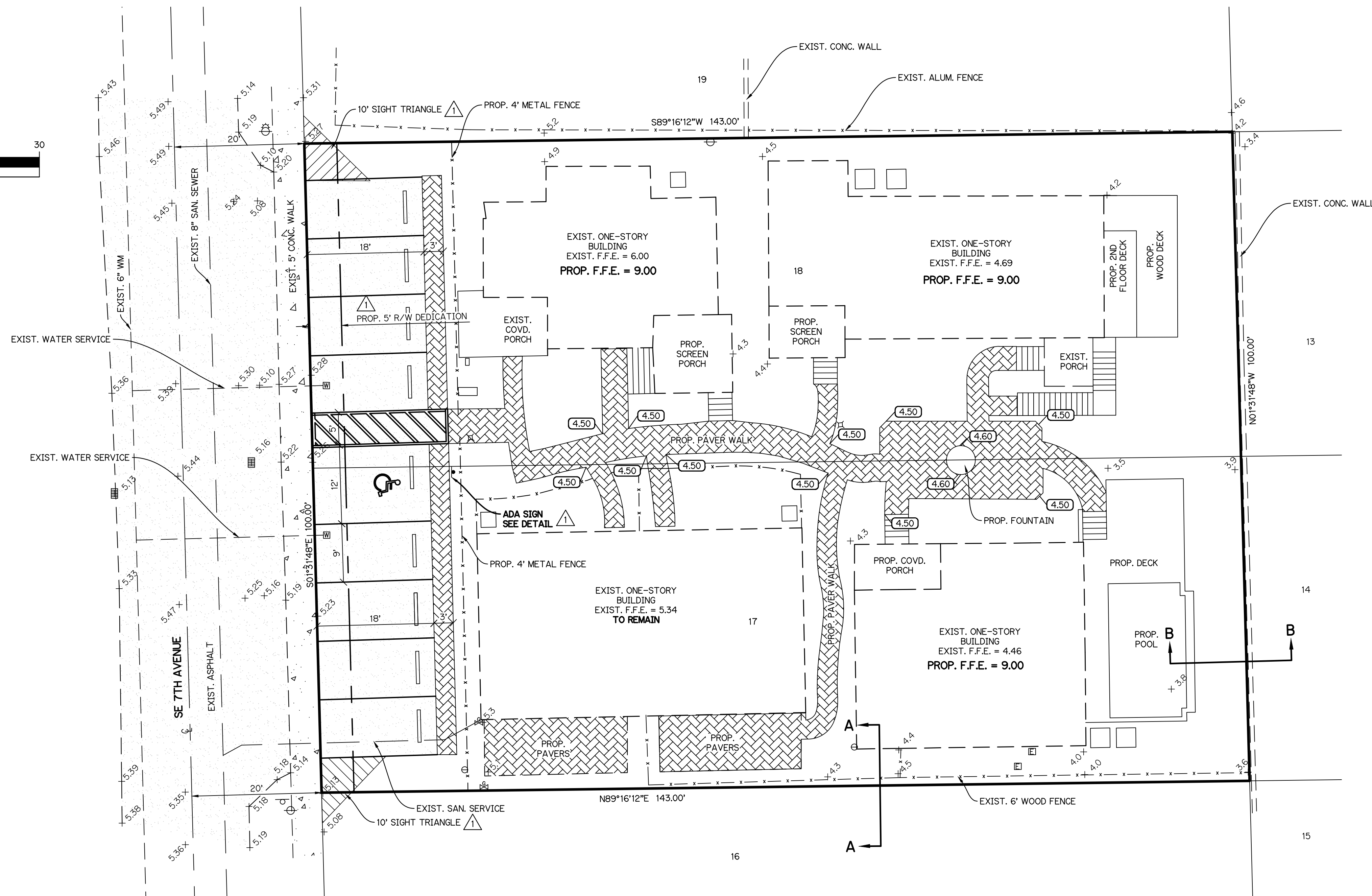
EB 9889

LDi
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






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DATE: AUG 2023
DESIGNED BY: SAS
CHECKED BY:RWL
DRAWING FILE:
23-053 PD

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053 PD



LEGEND:

- | | |
|------------------------------|---|
| DIRECTION OF FLOW |  |
| EXISTING CATCH BASIN |  |
| EXISTING CLEANOUT |  |
| EXISTING ELECTRIC BOX |  |
| EXISTING ELEVATION |  |
| EXISTING GAS VALVE |  |
| EXISTING LIGHT POLE |  |
| EXISTING POWER POLE |  |
| EXISTING POWER POLE W/ LIGHT |  |
| EXISTING SIGN |  |
| EXISTING WATER METER |  |
| FINISH FLOOR ELEVATION | F.F.E. |
| PROPOSED ELEVATION | 0.00 |

WATER MANAGEMENT CALCULATIONS:

TOTAL LOT AREA = 14,301 SF

EXIST. PERVIOUS AREA = 4.489 SF (31%)

EXIST. IMPERVIOUS AREA = 9,812 SF (69%)

PROP. PERVIOUS AREA = 5,169 SF (36%)

PROPOSED IMPROVEMENTS RESULT IN A 5% DECREASE IN IMPERVIOUS AREA.

Q EXIST. = 10,025 CF

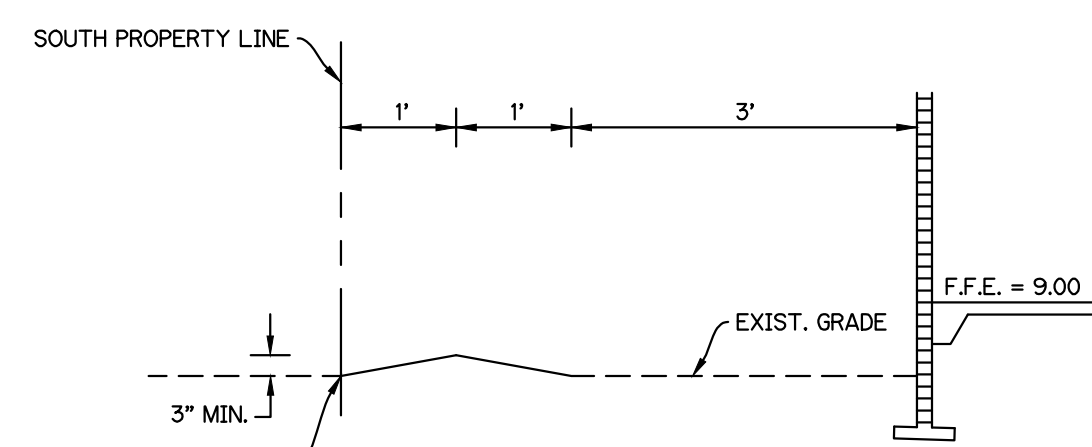
Q PROP. = 9,608 CF

NO ADDITIONAL STORMWATER RETENTION REQUIRED.

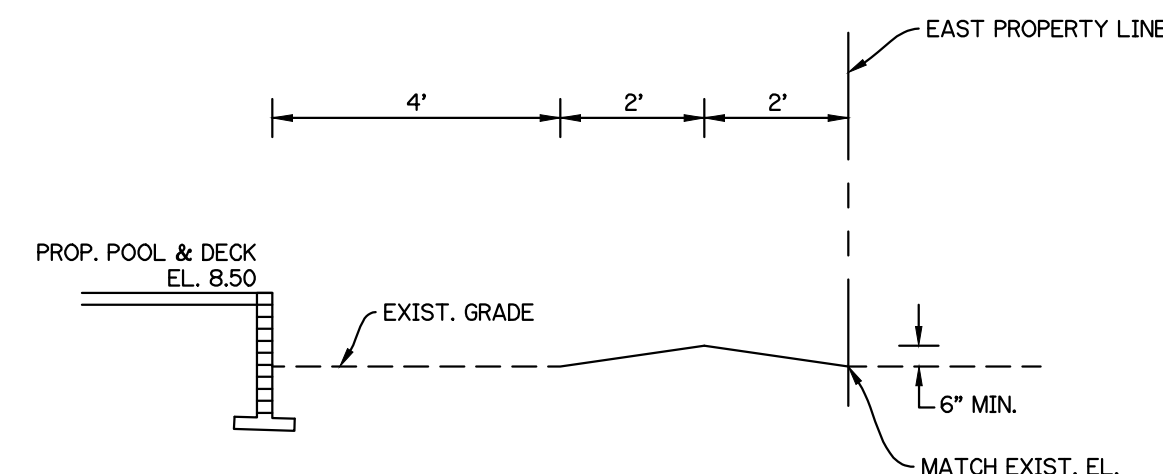
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3. ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.0 & LD 2.0.
4. ALL DRY UTILITIES TO THE BUILDING SHALL BE UNDERGROUND.

SECTION "A-A"
NOT TO SCALE



SECTION "B-B"
NOT TO SCALE



PAVING, GRADING, & DRAINAGE PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL

REVISIONS	DATE	BY	CK
1 REV. PER TAC COMMENTS	3/5/25	SAS	RWL

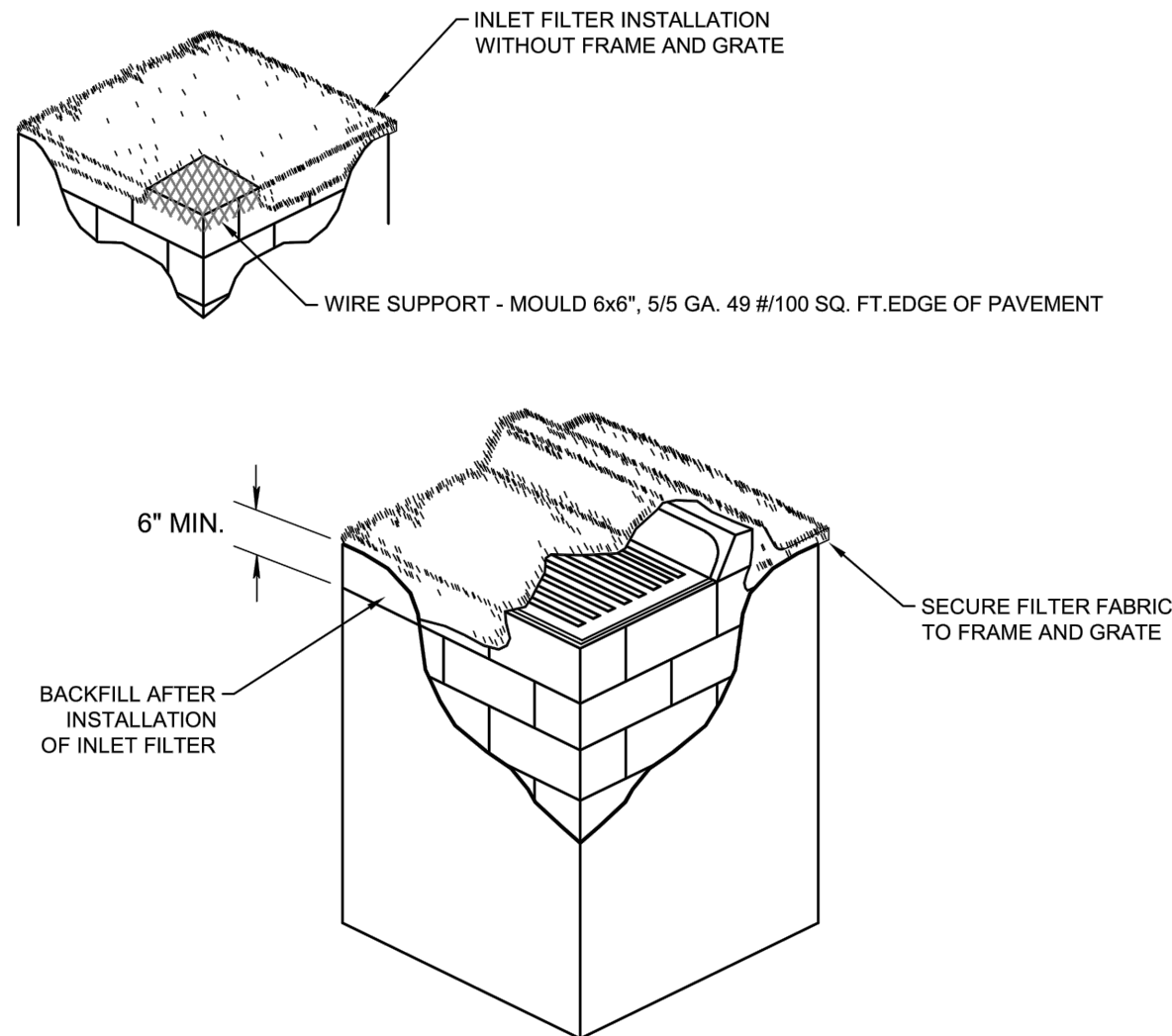
LPI
Last Devenport, Inc.
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DESIGNED BY: SAS
CHECKED BY: RWL
DRAWING FILE: 23-053 PD

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053	PD
--------	----

SHEET 3 OF 5



NOTES:

- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
- CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL
N.T.S.

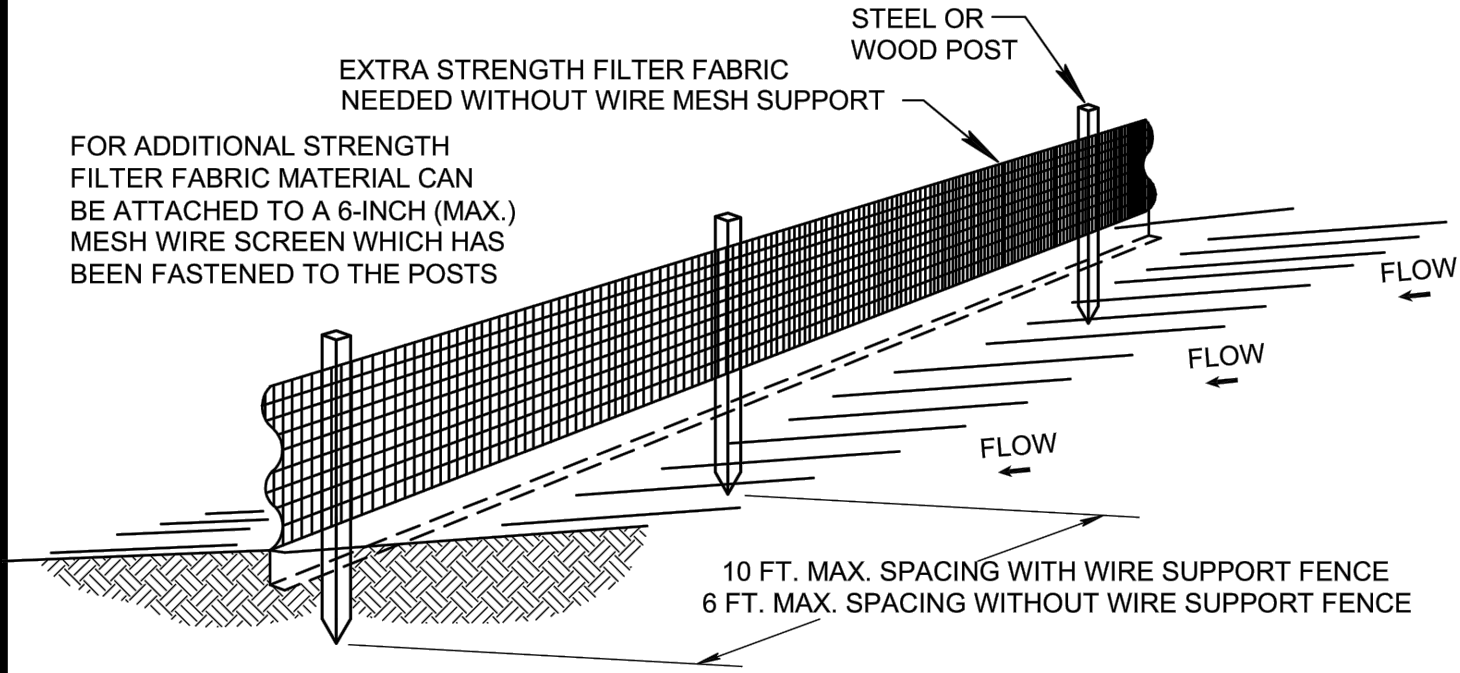
DATE: 10-04-2024
D 10.0

- THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
- ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
- EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.

- ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
- DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

EROSION CONTROL NOTES
N.T.S.

DATE: 10-04-2024
D 11.0

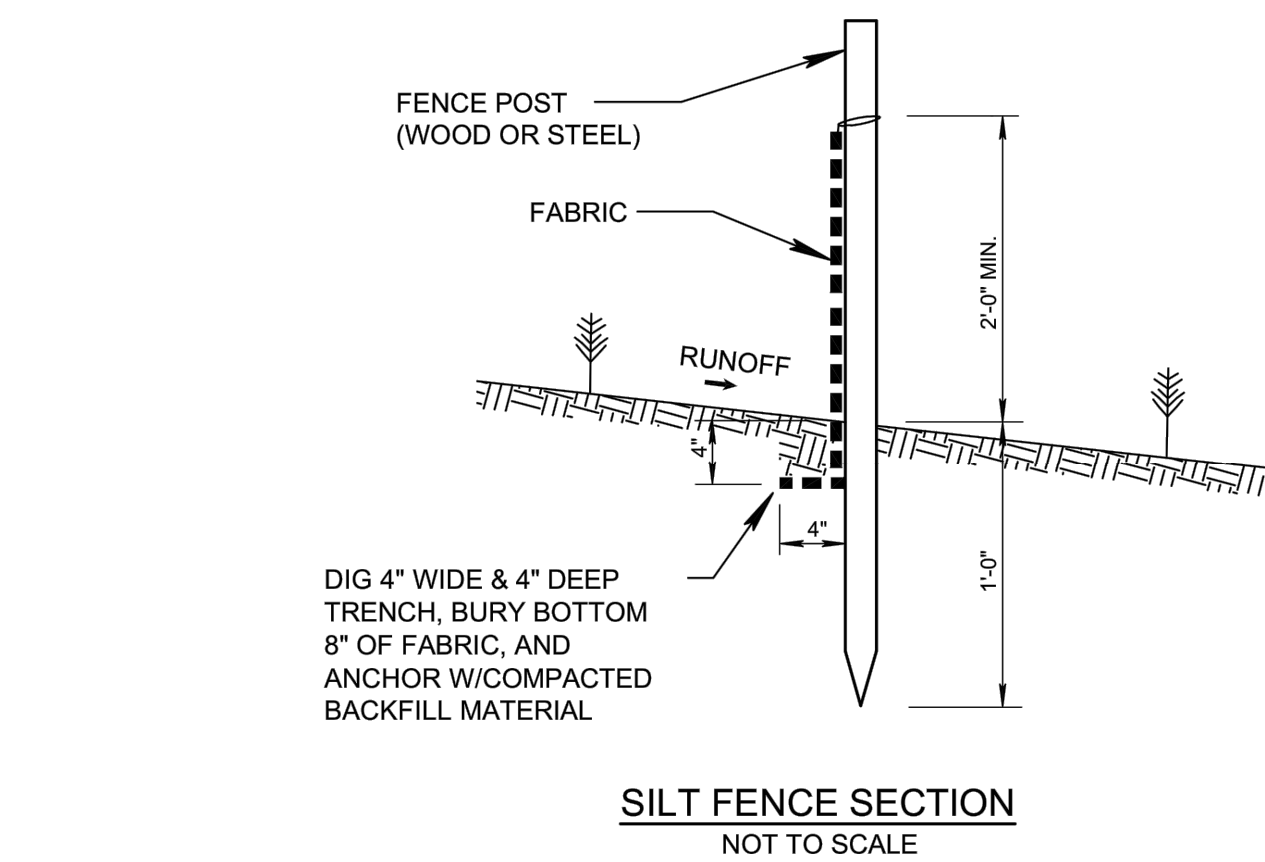


NOTES:

- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
- ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

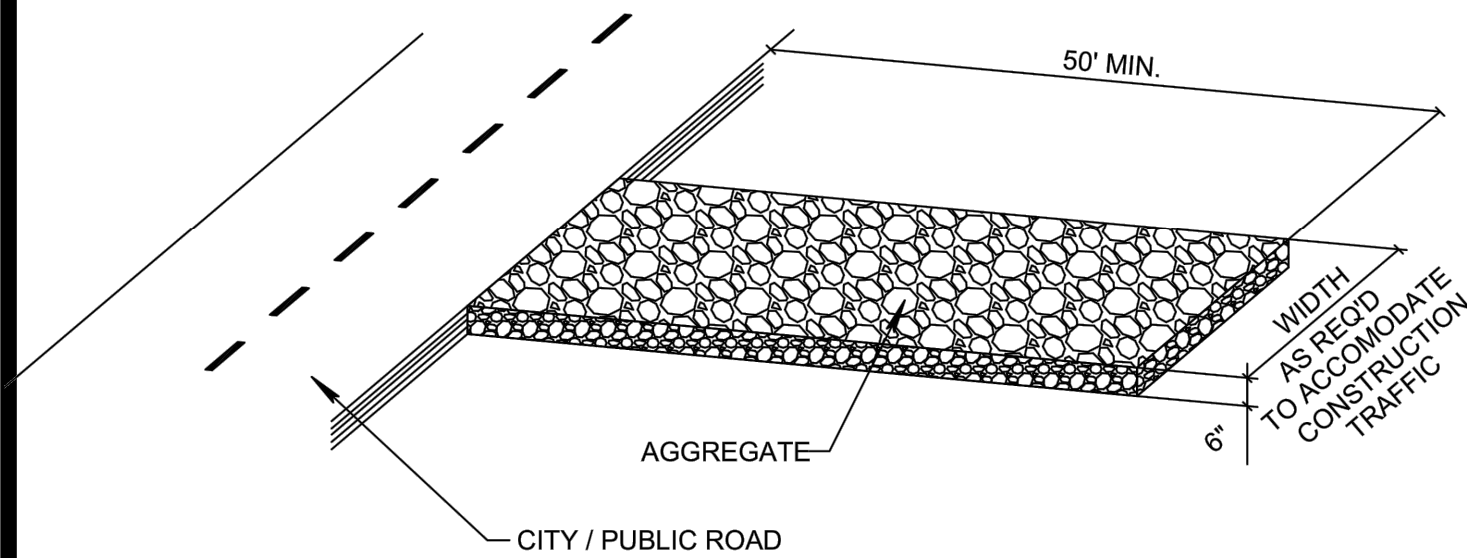
SILT FENCE INSTALLATION
DETAIL 1 OF 2
N.T.S.

DATE: 10-04-2024
D 12.0



SILT FENCE INSTALLATION
DETAIL 2 OF 2
N.T.S.

DATE: 10-04-2024
D 12.1

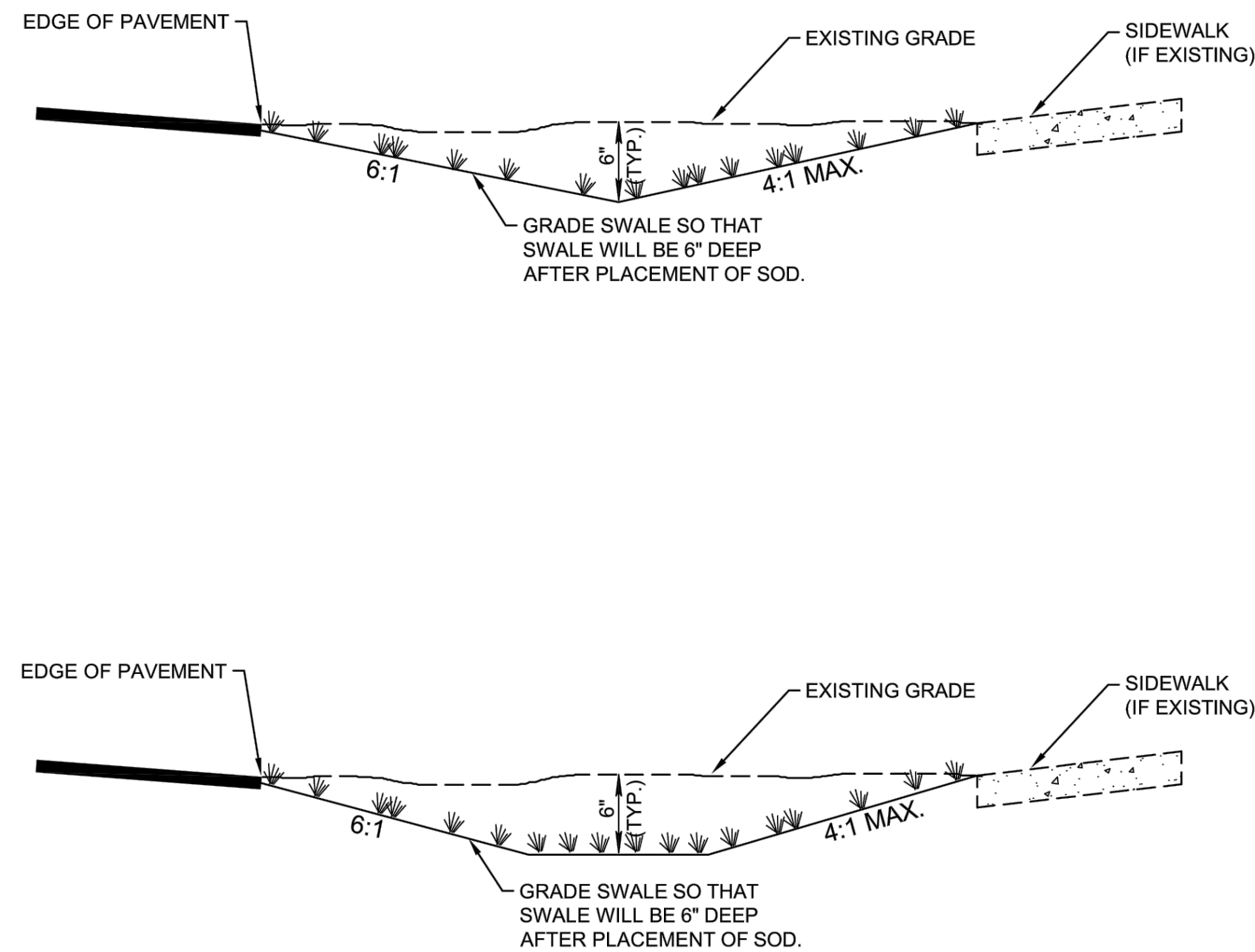


NOTE:

A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION
ENTRANCE DETAIL
N.T.S.

DATE: 10-04-2024
D 13.0

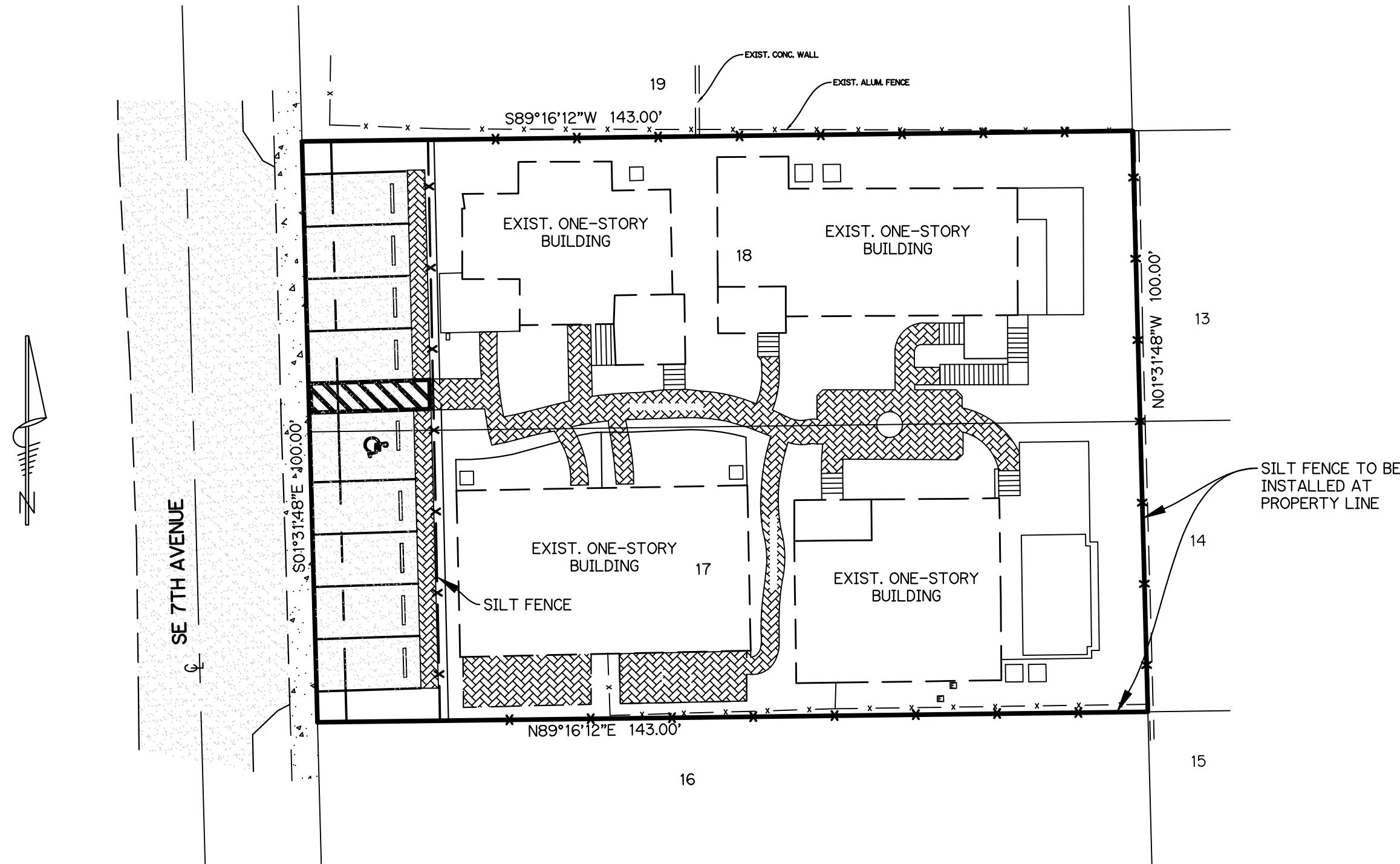


NOTE:

- CONTRACTOR TO REPLACE ALL IRRIGATION, TREES & SHRUBBERY IN SWALES DAMAGED DURING CONSTRUCTION.

SWALE REPLACEMENT DETAIL
N.T.S.

DATE: 10-04-2024
D 14.0



NOTES:

- CONTRACTOR TO MAINTAIN ALL POLLUTION PREVENTION MEASURES AT ALL TIMES UNTIL LANDSCAPING IS COMPLETE.

SITE PLAN
SCALE: 1"=20'

PAVING, GRADING, & DRAINAGE DETAILS
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL

REVISIONS	DATE	BY	CHK

EB 9889
LPI
Last Devanport, Inc.
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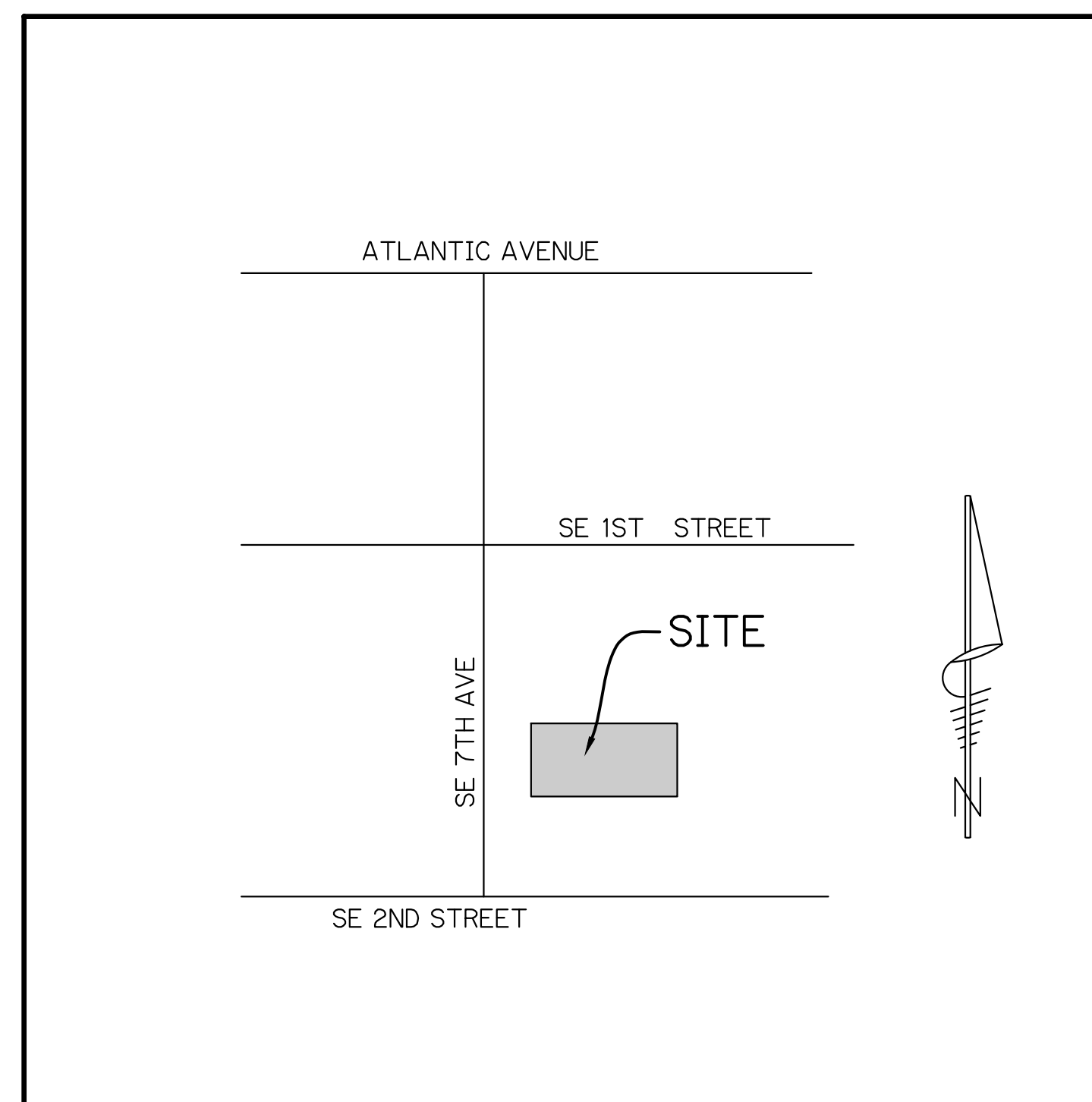
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DATE: FEB 2025
DESIGNED BY: SAS
CHECKED BY:RWL
DRAWING FILE:
23-053 PD DET

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053 PD

SHEET 4 OF 5

WATER & SEWER PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL



LOCATION MAP

N.T.S.
SEC. 16 TWP. 46 S RGE. 43 E

INDEX OF SHEETS

<u>SHEET No.</u>	<u>DESCRIPTION</u>
1	COVER
2	DEMOLITION PLAN
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4	WATER & SEWER DETAILS



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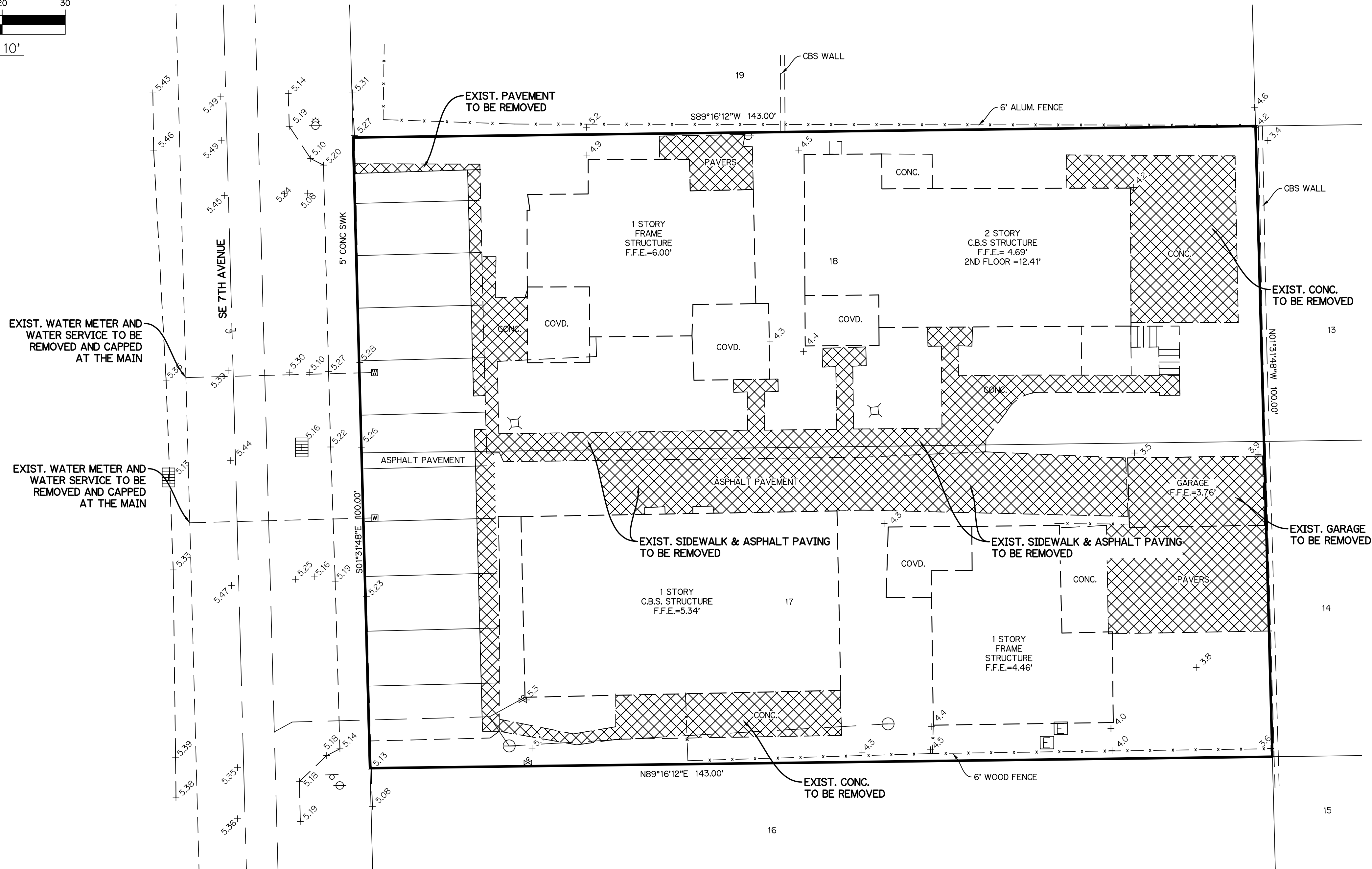
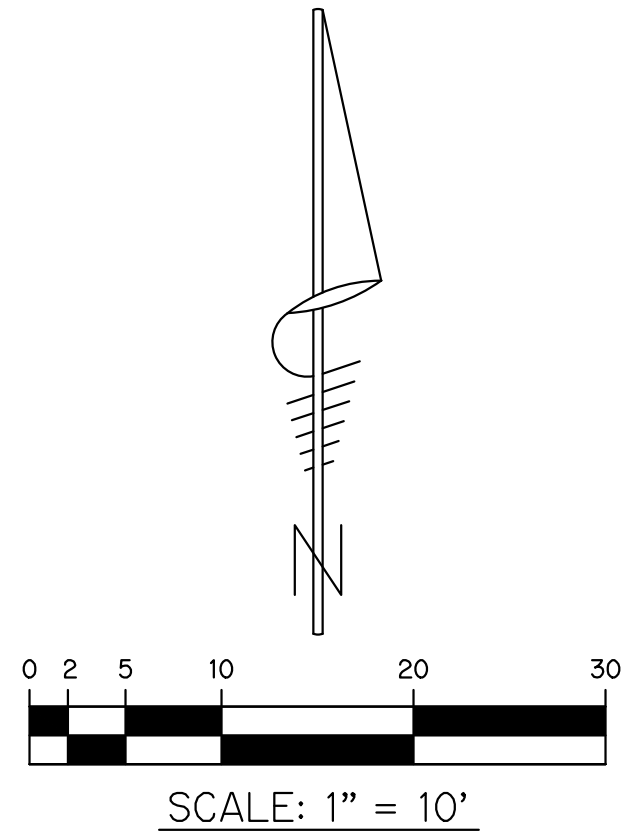
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PROGRESS SET ☐
BID SET ☐
PERMIT SET ☐
CONSTRUCTION SET ☐

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053 WS

SHEET 1 OF 4

23-053 139/143 SE 7TH AVE



LEGEND:

EXISTING CATCH BASIN	
EXISTING CLEANOUT	
EXISTING ELECTRIC BOX	
EXISTING ELEVATION	
EXISTING GAS VALVE	
EXISTING LIGHT POLE	
EXISTING POWER POLE	
EXISTING POWER POLE W/ LIGHT	
EXISTING SIGN	
EXISTING WATER METER	
FINISH FLOOR ELEVATION	F.F.E.

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**DEMOLITION PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL**

REVISIONS	DATE	BY	CK

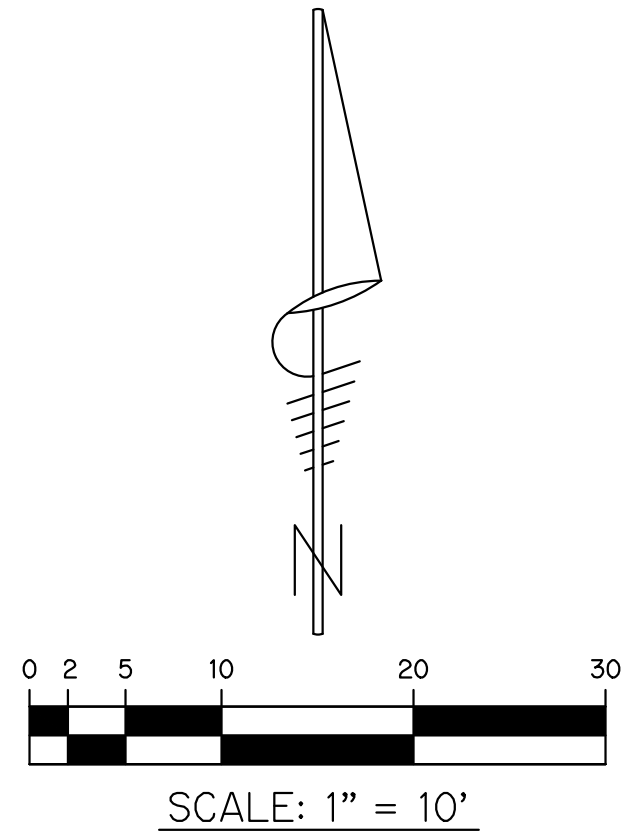
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FLORIDA P.E. #38707

23-053 WS



2" TAPPING SADDLE AND 2" POLY SERVICE SDR 9 W/ 2" CORP STOP

EXIST. WATER SERVICE & METER TO BE REMOVED

EXIST. WATER SERVICE & METER TO BE REMOVED

SE 7TH AVENUE

EXIST. ASPHALT

INSTALL 4-ONE INCH WATER METERS AND 1" RPZ BACKFLOW PREVENTER

1" PVC WATER SERVICE (TYP.)

EXIST. ONE-STORY BUILDING
EXIST. F.F.E. = 6.00
PROP. F.F.E. = 9.00

CLEANOUT

PROP. 5' R/W DEDICATION

EXIST. COVD. PORCH

PROP. SCREEN PORCH

EXIST. ONE-STORY BUILDING
EXIST. F.F.E. = 4.69
PROP. F.F.E. = 9.00

CLEANOUT

PROP. 2ND FLOOR DECK
PROP. WOOD DECK

PROP. PAVER WALK

1" PVC WATER SERVICE (TYP.)

NEW 4" PVC SAN. SERVICE
• 1.0% MIN. SLOPE

EXIST. ONE-STORY BUILDING
EXIST. F.F.E. = 5.34
TO REMAIN

PROP. 4' METAL FENCE

EXIST. ONE-STORY BUILDING
EXIST. F.F.E. = 4.46
PROP. F.F.E. = 9.00

PROP. COVD. PORCH

PROP. DECK

PROP. POOL

PROP. FOUNTAIN

4" PVC SAN. SERVICE
• 1.0% MIN. SLOPE

N89°16'12"E 143.00'

EXIST. SAN. SERVICE TO REMAIN

EXIST. SAN. SERVICE

INSTALL CLEANOUT AT PROPERTY LINE IN HEXAGON MINI MANHOLE

EXIST. SAN. SERVICE TO REMAIN

EXIST. CLEANOUT

EXIST. 6' WOOD FENCE

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4. IRRIGATION TO BE FROM WATER SERVICE AFTER METER AND RPZ BACKFLOW PREVENTER.

LEGEND:

- EXISTING CATCH BASIN
- EXISTING CLEANOUT
- EXISTING ELECTRIC BOX
- EXISTING ELEVATION
- EXISTING GAS VALVE
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING POWER POLE W/ LIGHT
- EXISTING SIGN
- EXISTING WATER METER
- FINISH FLOOR ELEVATION
- MILL & RESURFACE 1" MIN 50' EACH SIDE OF OPEN CUT

WATER & SEWER PLAN
FOR
139/143 SE 7TH AVENUE
DELRAY BEACH, FL

REVISIONS	DATE	BY	CK
Δ REV. PER TAC COMMENTS	3/5/25	SAS	RWL

EB 9889

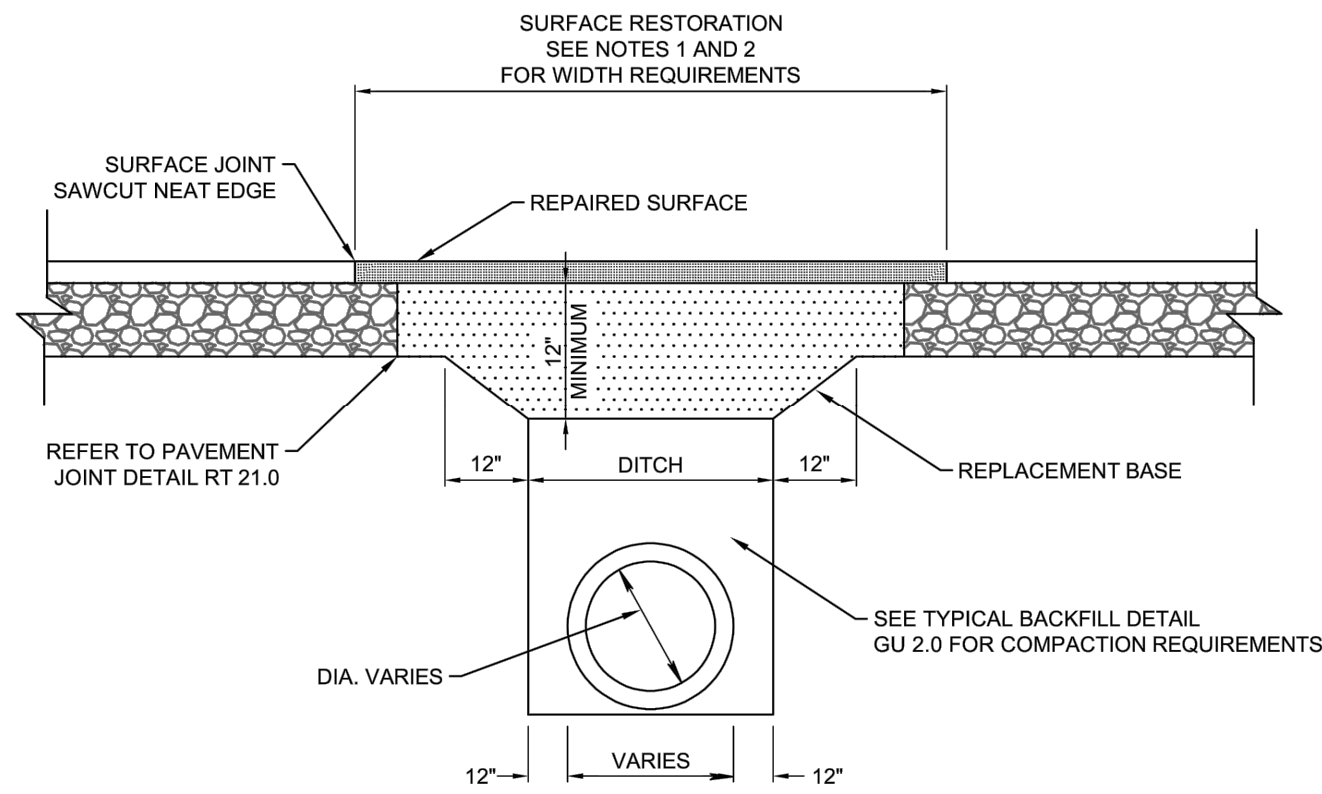
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FLORIDA P.E. #38707

23-053 WS

SHEET 3 OF 4



NOTES:

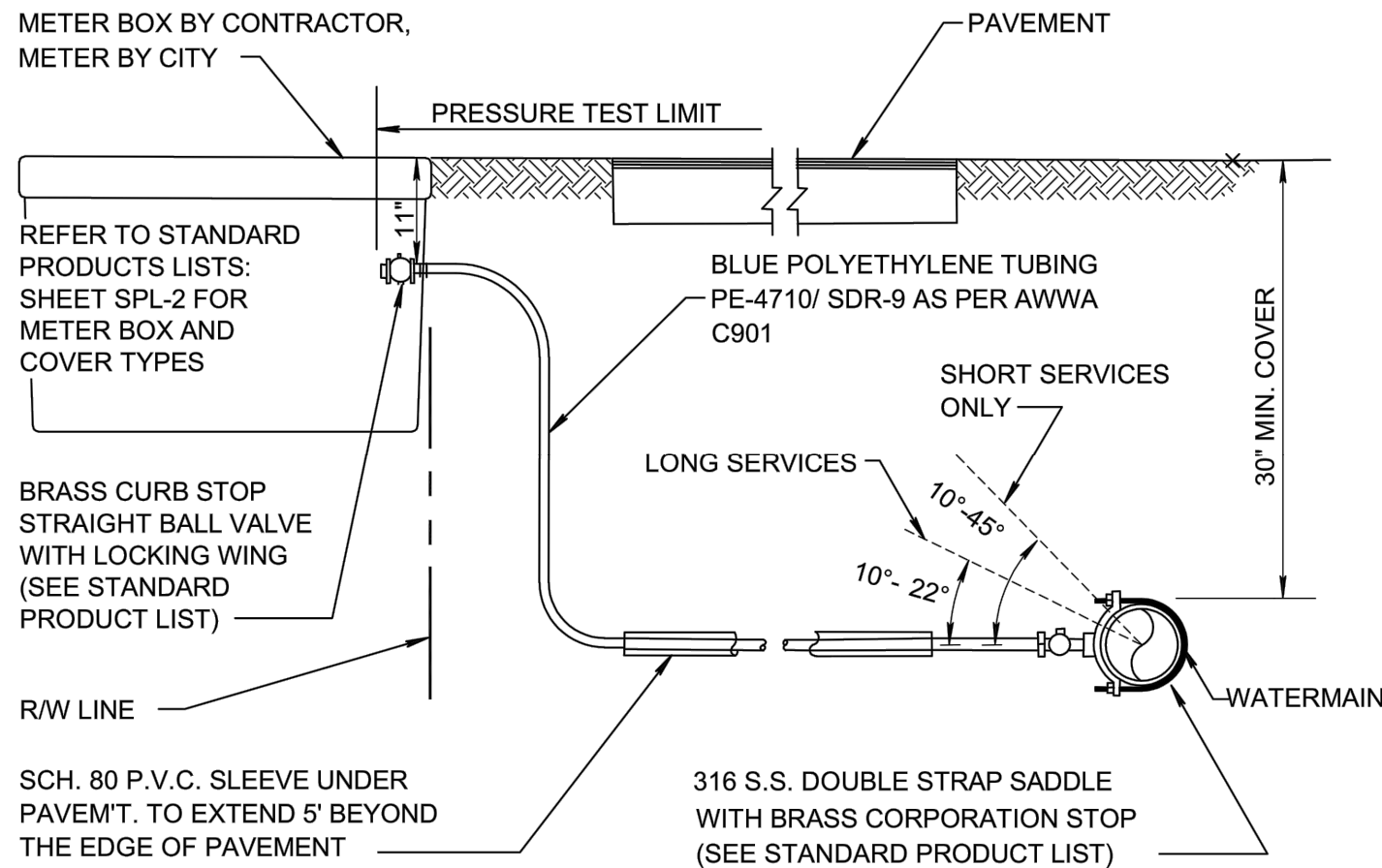
- FOR COMMERCIAL PROJECTS THAT DAMAGE THE ROADWAY SURFACE THE ROADWAY SHALL BE MILLED AND RESURFACED 50' IN EACH DIRECTION FROM THE DAMAGED AREA. MILLING AND RESURFACING SHALL BE FOR THE FULL LANE WIDTH OF ANY DAMAGED LANE.
- FOR RESIDENTIAL PROJECTS THAT DAMAGE THE ROADWAY SURFACE THE ROADWAY SHALL BE MILLED AND RESURFACED FOR THE WIDTH OF THE RESIDENTIAL PROPERTY (MIN. 50' REPAIR LENGTH). MILLING AND RESURFACING SHALL BE FOR THE FULL LANE WIDTH OF ANY DAMAGED LANE.
- MILLING DEPTH SHALL BE 1" AND RESURFACING SHALL BE 1" TYPE S-III ASPHALTIC CONCRETE.
- BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180. MAX LIFT THICKNESS SHALL BE 6".
- 24" EXCAVATEABLE FLOWABLE FILL MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
- ASPHALTIC CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
- ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
- SURFACE MATERIAL SHALL BE S-III ASPHALTIC CONCRETE (FOR TRENCH REPAIR, THICKNESS SHOULD BE TWICE THE THICKNESS OF THE ADJACENT EXISTING ASPHALT).
- ANY PAVEMENT CUTS SHALL BE COLD PATCHED AT THE END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.

PAVEMENT REPAIR DETAIL

N.T.S.

DATE: 10-04-2024

GU 1.0



NOTES:

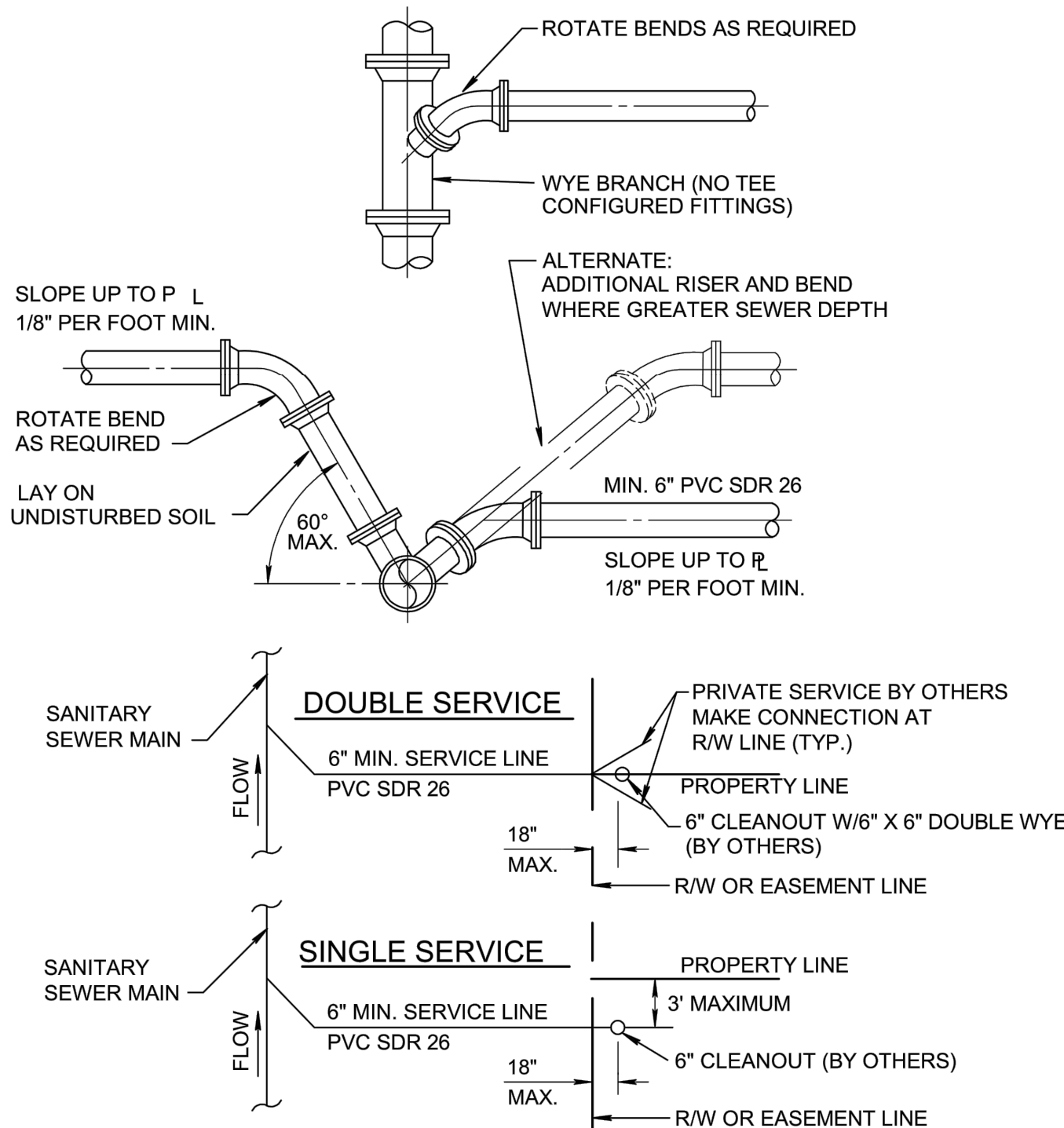
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
- SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
- ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1" MIN.).
- NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
- MAXIMUM SERVICE LENGTH IS 100' TO METER.
- CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
- MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
- METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
- ALL VALVES TO BE BALL VALVES.
- METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
- ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
- ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/ DEVELOPER; IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/ DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE METER.
- ALL WATER SERVICE SHALL BE A MINIMUM OF 2".
- WATER METERS SHALL BE LOCATED OUTSIDE ANY DRIVEWAYS BY 2'

TYPICAL URBAN/REDEVELOPMENT AREA SERVICE CONNECTION

N.T.S.

DATE: 10-04-2024

PW 12.0



NOTE:

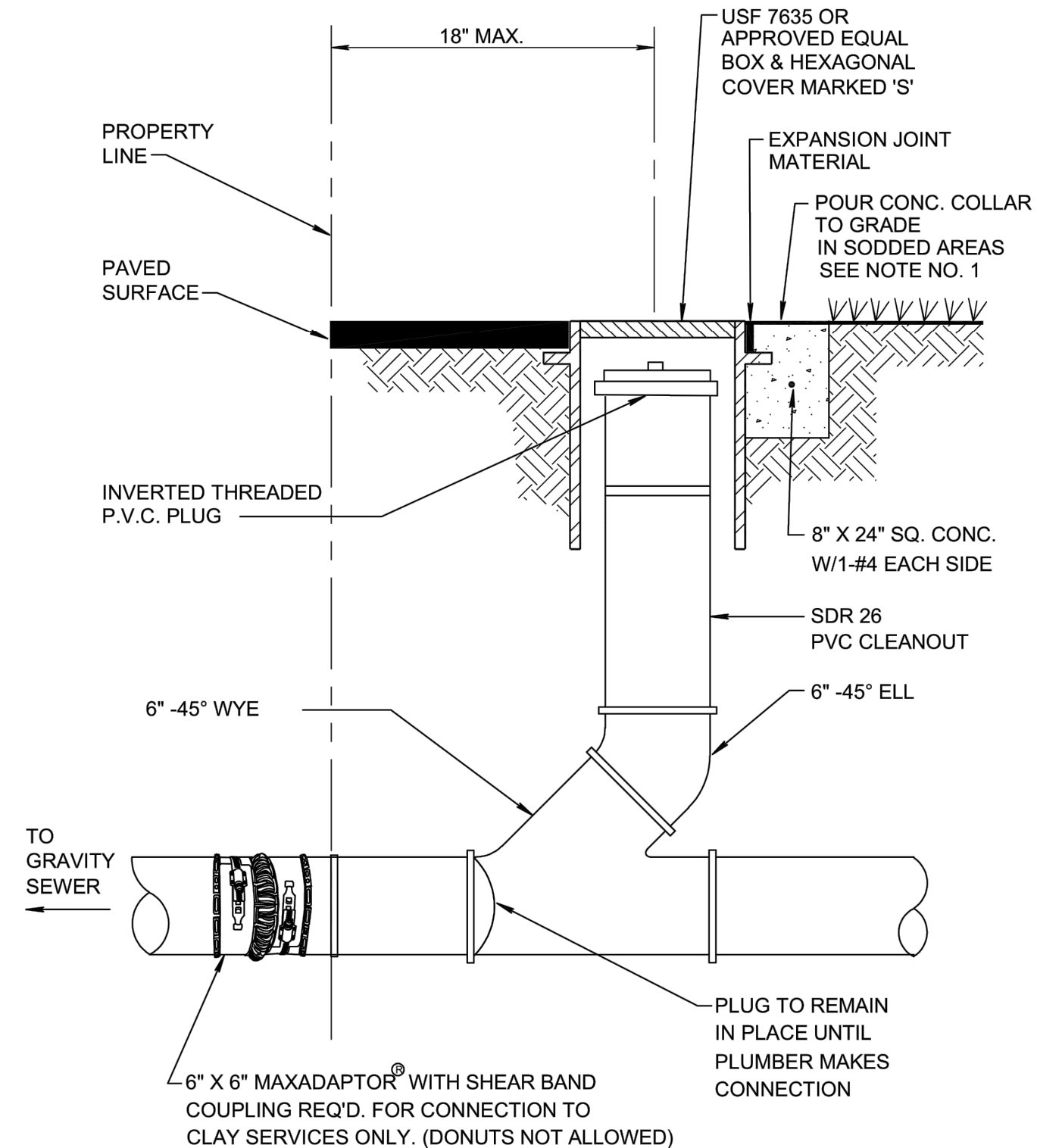
- SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2" X 4" TREATED STAKE.
- CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
- SEE DETAIL PW 2.0 FOR SEPARATION REQUIREMENTS.

SEWER SERVICE CONNECTION

N.T.S.

DATE: 10-04-2024

WW 8.0



NOTE:

- ALL SANITARY SEWER LATERALS AND CLEANOUT TO BE MINIMUM 6" DIAMETER IN SIZE UNLESS OTHERWISE PREVIOUSLY APPROVED BY THE DEPARTMENT.
- MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

TYPICAL CLEANOUT

N.T.S.

DATE: 10-04-2024

WW 10.0

CONSTRUCTION NOTES

- ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE BUILDING PAD, ROAD AND PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM 18" LIFTS THOROUGHLY AND UNIFORMLY COMPACTED TO ACHIEVE 95 PERCENT OF THE ASTM D1557 MAXIMUM DRY DENSITY.
- ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1 FOOT. ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
- FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, or A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. FILL MATERIAL SHOULD HAVE NOT MORE THAN 10% BY WEIGHT PASSING THE NO. 200 SIEVE AND SHALL HAVE NO PARTICLE SIZE LARGER THAN 12". CARE SHOULD BE EXERCISED WHEN PLACING MATERIALS WHICH EXCEED 3" TO ASSURE THAT NESTING DOES NOT OCCUR AND TO FURTHER ASSURE THAT THE +3" PARTICLES ARE FULLY SURROUNDED BY FINER GRAINED MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIME/ROCK UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
- ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF THE CITY OF DELRAY BEACH ENGINEERING DIVISION.
- ALL HANDICAP SPACES, RAMPS, AND ACCESS AREAS SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN DISABILITY ACT" (ADA) (28 CFR PART 36), AND "ACCESSIBILITY BY HANDICAPPED PERSONS", CHAPTER 553, PART V, FLORIDA STATUTES. ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
- UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770. FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.

UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES

RED	ELECTRIC
YELLOW	GAS-OIL
ORANGE	COMMUNICATION, CATV
BLUE	WATER
GREEN	SEWER
PINK	SURVEY MARKINGS
WHITE	PROPOSED EXCAVATION

- THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES IF APPLICABLE.

FLORIDA POWER AND LIGHT COMPANY
A T & T
DELRAY BEACH WATER UTILITIES DEPARTMENT
LOCAL CABLE TELEVISION COMPANY(S)
FLORIDA DEPARTMENT OF TRANSPORTATION
LOCAL GAS COMPANY
- ALL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS AND SHALL RESTORE THEM PROMPTLY.
- FLOOD INFORMATION IS AS FOLLOWS:

COMMUNITY NUMBER: 125102
PANEL NUMBER: 0979
SUFFIX: F
DATE OF FIRM INDEX: OCTOBER 5, 2017
ZONE: X
BASE FLOOD ELEV: N/A
- CONTRACTOR SHALL VERIFY EXISTING WATER SERVICE MATERIAL. IF THE WATER SERVICE IS GALVANIZED THEN IT SHALL BE REPLACED TO THE WATER MAIN PER PW 9.1a AT THE OWNERS EXPENSE.

WATER & SEWER DETAILS

FOR

139/143 SE 7TH AVENUE

DELRAY BEACH, FL

REVISIONS	DATE	BY	CHK

EB 9889

LDI
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

SCALE: N/A
DATE: FEB 2025
DESIGNED BY: SAS
CHECKED BY:RWL
DRAWING FILE:
23-053 WS DET

5/29/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

23-053 WS

SHEET 4 OF 4



947 Clint Moore Road
Boca Raton, Florida 33487

SURVEYING & MAPPING
Certificate of Authorization No. LB7264

Tel: (561) 241-9988
Fax: (561) 241-5182

BOUNDARY AND TOPOGRAPHIC SURVEY 139-143 SE 7TH AVENUE, DELRAY BEACH, FL

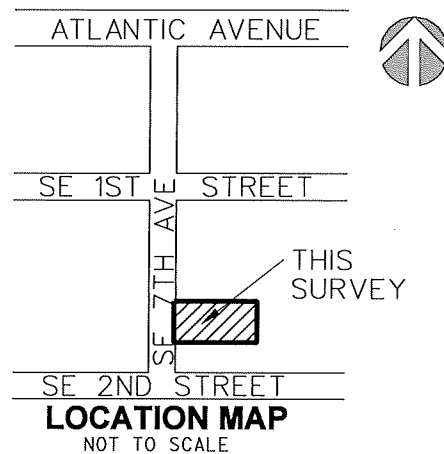
LEGAL DESCRIPTION

LOTS 17 AND 18 IN BLOCK 126 OF DELRAY BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, AT PAGE 4, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF DELRAY BEACH, FLORIDA, AND CONTAIN 14,300 SQUARE FEET, MORE OR LESS.

NOTES

1. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. NO SEARCH OF THE PUBLIC RECORDS WAS MADE IN THE PREPARATION OF THIS SKETCH AND DESCRIPTION.
3. BEARINGS SHOWN HEREON ARE BASED ON THE CENTER LINE OF SE 7TH AVENUE HAVING AN ASSUMED BEARING OF SOUTH 01° 31' 48" EAST.
4. ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 1988 DATUM RELATIVE TO PALM BEACH COUNTY BENCHMARK 14.33SRD HAVING AN ELEVATION OF 12.782'.
5. FLOOD INFORMATION
COMMUNITY NUMBER : 125102
PANEL NUMBER : 12099C0979F
DATE OF FIRM : OCTOBER 5, 2017
ZONE : AE
BASE FLOOD ELEV : 6.0'



LEGEND

- ← ANCHOR
- ▨ CATCH BASIN
- ⊙ CLEAN OUT
- ⊞ ELECTRIC SERVICE
- ⊞ GAS VALVE
- ⊞ LIGHT POLE
- ⊞ MAIL BOX
- ⊞ WOOD POWER POLE
- ⊞ WATER VALVE
- x— FENCE
- OHV--- OVERHEAD LINE
- +3.28 ELEVATION

ABBREVIATIONS

- ALUM = ALUMINUM
- CONC. = CONCRETE
- CBS = CONCRETE BLOCK & STUCCO
- D = DELTA (CENTRAL ANGLE)
- D.E. = DRAINAGE EASEMENT
- I.R. = IRON ROD
- I.R.C. = IRON ROD AND CAP
- L.B. = LICENSED BUSINESS
- L.S. = LICENSED SURVEYOR
- MON. = MONUMENT
- O.R.B. = OFFICIAL RECORDS BOOK
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- P.B. = PLAT BOOK
- P.B.C.R. = PALM BEACH COUNTY RECORDS
- PG. = PAGE
- P.S.M. = PROFESSIONAL SURVEYOR & MAPPER
- R/W = RIGHT-OF-WAY
- U.E. = UTILITY EASEMENT
- COV = COVERED
- SWK. = SIDEWALK
- W.F. = WOOD FENCE
- FF ELEV = FINISHED FLOOR ELEVATION

CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION.

JEFF S. HODAPP
SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS5111

LAST DATE OF FIELD WORK:
DEC. 8, 2020

Project Name:	139-143 SE 7TH AVE	DATE:	12/8/2020
JOB NO.	20250	DWG BY:	JSH
		CK'D BY:	AJR
			SHEET 1 OF 2

