

EXISTING GARAGE ALTERATIONS TO

BASFORD CARVAJAL's RESIDENCE

516 NORTH SWINTON AVENUE
DELRAY BEACH, FLORIDA 33444

PROJECT INFORMATION:

ADDRESS:
516 NORTH SWINTON AVENUE
DELRAY BEACH, FLORIDA 33444

OWNER:
JOHN P BASFORD & JASMINE CARVAJAL

PLD:
12-43-46-08-21-01-0060

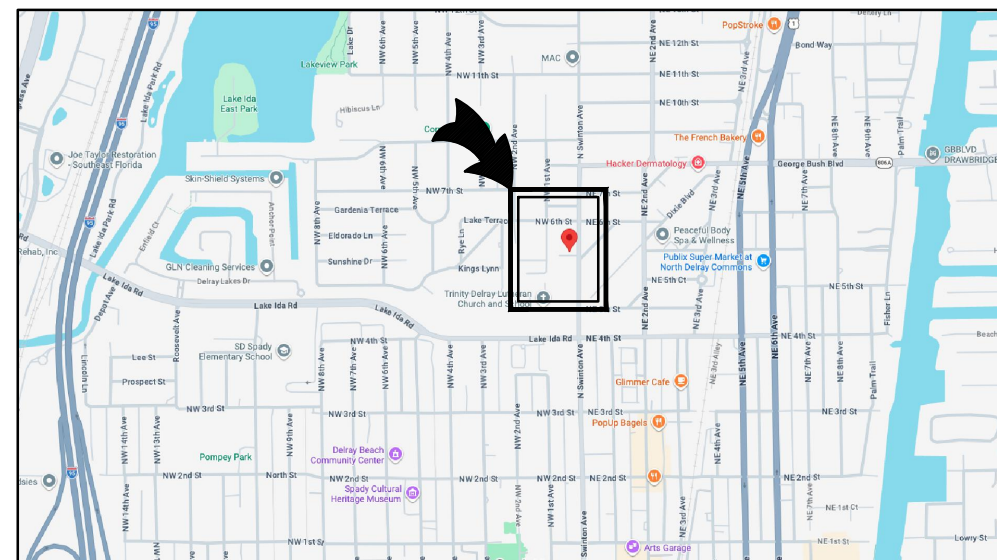
LEGAL DESCRIPTION:
S/D OF S-46-43 N 20 FT OF S 253 FT OF E 183 FT OF SE 1/4 OF TR II (LESS E 33 FT N SWINTON AVE R/W)

BUILDING CODES:
2023 FLORIDA BUILDING CODE, 8th EDITION
NFPA 101, LIFE SAFETY CODE, 2021 ED
8th EDITION OF THE FLORIDA FIRE PREVENTION CODE

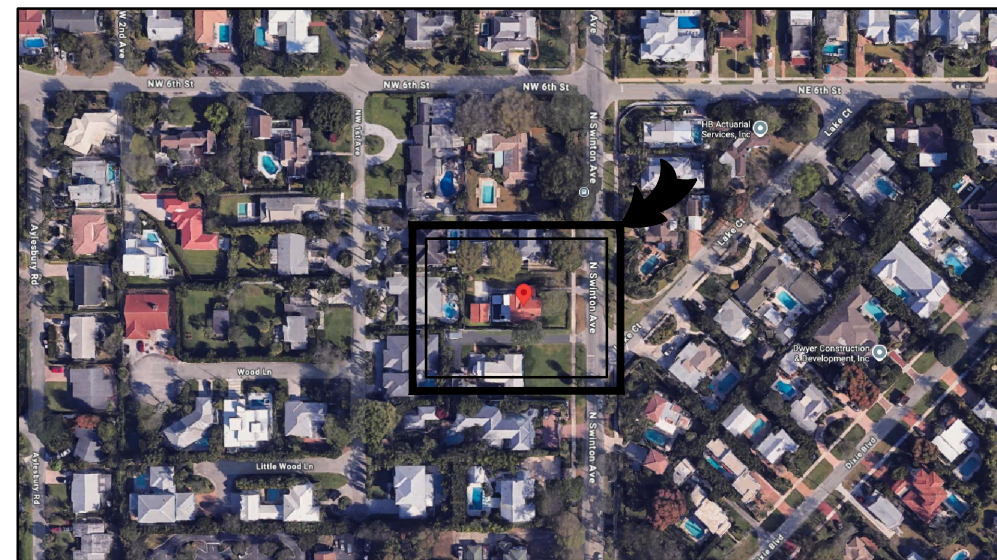
JURISDICTION:
CITY OF DELRAY BEACH
PALM BEACH COUNTY
STATE OF FLORIDA

BUILDING INFORMATION:	CODE PROVISION:
1. EXISTING BUILDING USE:	SINGLE FAMILY RESIDENCE
2. PRIMARY ZONE:	R-1 AA
3. PRIMARY LAND USE:	SINGLE-FAMILY - NO CHANGE
4. PROPERTY AREA:	12,000 sq.ft. - NO CHANGE 028 ac
5. EXISTING BUILDING AREA:	3,419 sq.ft. - NO CHANGE
6. BED/ BATH/ HALF- ACCESSORY GUEST:	4 / 4 / 0 - NO CHANGE 1 / 1 / 0 - PROPOSED
7. PROPOSED HEIGHT:	24'-0" max
8. LOT COVERAGE:	- NO CHANGE
HOUSE	1389.4 sq.ft. 115%
GARAGE	528 sq.ft. 4.4%
PROPOSED IN-LAWS Q	528 sq.ft. 0.0%
DRIVE-WAY	1107.9 sq.ft. 9.2%
POOL + DECK	888.6 sq.ft. 7.4%
OPEN-SPACE	8086.1 sq.ft. 67.5%
9. ACCESSORY AREA:	528 sq.ft. 15% (LESS THAN 40% OF 1000 sq.ft.)
10.FLOOR AREA RATIO (FAR) 35 max	+ (3,419 + 528 + 264) / 12,000 + 0.35 FAR PROVIDED
11. SETBACKS:	
EAST (FRONT) 25'-0"	44'-0 3/4'
NORTH (SIDE) 10'-0"	20'-0 3/4'
SOUTH (SIDE) 10'-0"	8'-0 3/4' - VARIANCE APPLIED
WEST (REAR) 15'-0"	15'-0"

SCOPE OF WORK:
1. DEMOLITION - REMOVE THE EXISTING WOOD ROOF STRUCTURE OVER THE EXISTING DETACHED CBS GARAGE
2. NEW SECOND FLOOR ACCESSORY (OVER GARAGE) - IN-LAWS QUARTERS



LOCATION MAP:



AERIAL VIEW:

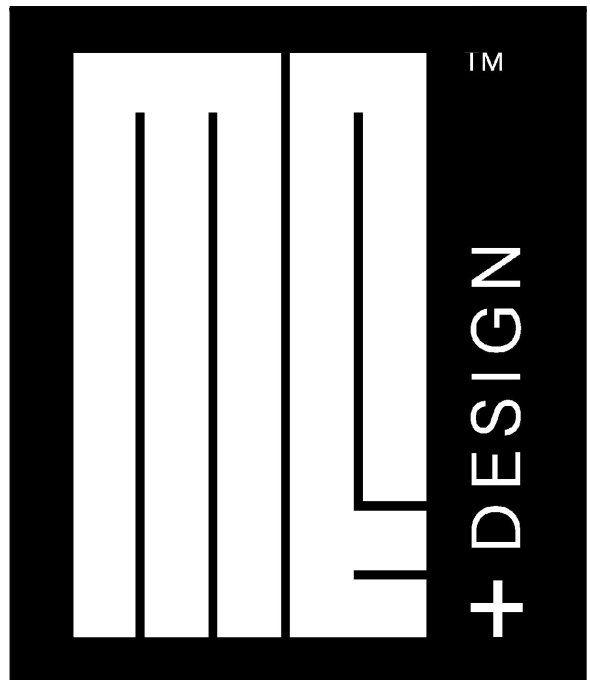
GENERAL NOTES:

- PERMITS: CONTRACTOR SHALL CONTAIN IN THEIR BID AS WELL AS SECURE ALL NECESSARY BUILDING PERMITS, NOT LIMITED, ROOFING, PLUMBING, ELECTRICAL, MECHANICAL, OCCUPANCY AND OTHER PERMITS, AT HIS EXPENSE, SO THAT THE OWNER CAN OBTAIN HIS/HER CERTIFICATE OF OCCUPANCY
- QUALIFICATION OF CONTRACTOR: THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LICENSED BY THE STATE OF FLORIDA, AS WELL AS THE COUNTY AND BE INSURED TO MEET THE REQUIREMENTS IN THE MIAMI-DADE COUNTY
- OWNER SHALL HAVE THE RIGHT OF APPROVAL OR REJECTION OF ALL SUB-CONTRACTORS PRIOR TO SIGNING THE CONTRACT. GENERAL CONTRACTOR SHALL SUBMIT A LIST OF ALL PROPOSED SUB-CONTRACTORS AND SUPPLIERS TO THE OWNER FOR THIS PURPOSE
- EXISTING CONDITIONS: CONTRACTOR BY AND THROUGH SUBMISSION OF HIS BID, AGREES THAT HE SHALL BE HELD RESPONSIBLE FOR HAVING EXAMINED THE SITE, THE PROPOSED PLANS, THE LOCATION OF ALL PROPOSED WORK AND FOR HAVING SATISFIED HIMSELF FROM HIS OWN PERSONAL KNOWLEDGE AND EXPERIENCE OR PROFESSIONAL ADVICE AS TO THE CHARACTER AND LOCATION OF THE SITE, THE NATURE OF EXISTING CONDITIONS, THE LOCATION OF EXISTING UTILITIES AND ANY OTHER CONDITIONS SURROUNDING AND AFFECTING THE WORK, ANY OBSTRUCTIONS, AND ALL OTHER PHYSICAL CHARACTERISTICS OF THE SITE, IN ORDER THAT HE MAY INCLUDE IN HIS PRICE ALL COSTS PERTAINING TO THE WORK AND THEREBY PROVIDE FOR THE SATISFACTORY COMPLETION OF ANY OBJECTS OR OBSTRUCTION WHICH MAY BE ENCOUNTERED IN DOING THE PROPOSED WORK
- ALL MEASUREMENTS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD. THE DIMENSIONS SHOWN ARE AS ACCURATE AS THE BASE BUILDING DOCUMENTS PERMIT. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE DRAWINGS-USE DIMENSIONS ONLY. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL. IF DIMENSIONS ARE NOT DESIGNATED ON THE PLANS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEM WITH THE ARCHITECT
- COMPLY AT ALL TIMES WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, LIFE AND SAFETY CODE (NFPA 101), AND ALL LOCAL CODES AND ORDINANCES
- SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT FOUR (4) HARD COPIES OF ALL REQUIRED SHOP DRAWINGS CALLED FOR ON THE DRAWINGS OR REQUIRED BY BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED & PROCESSED SO AS TO CAUSE NO TIME DELAY IN THE CONSTRUCTION SEQUENCE
- PROTECTION: THE CONTRACTOR SHALL PROTECT ADJACENT PARTS OF EXISTING BUILDINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME
- WORKMANSHIP: ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURER'S SPECIFICATIONS ALONG WITH THE BEST TRADE PRACTICES & STANDARDS
- ALL WORK TO BE GUARANTEED AGAINST POOR WORKMANSHIP AND DEFECTS
- THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE DRAWINGS.
- CLEAN UP ALL RUBBISH, REFUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT AT THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT ORDERLY AND WORKMANLIKE APPEARANCE.
- GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE, CLEANED & READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEEP BROOM CLEAN, CARPETS VACUUMED, FIXTURES WASHED AND ALL LABELS REMOVED
- STORE MATERIALS IN A SAFE & APPROVED LOCATION COMPLY WITH ALL REGULATIONS GOVERNING THE NEIGHBORHOOD AS TO MINIMIZE INTERRUPTIONS AND/ OR INTERFERENCE WITH ANY OF THE SURROUNDING OPERATIONS.
- ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- GC SHALL PROVIDE A FINAL 'AS-BUILT' SURVEY W/ FINISH FLOOR ELEVATIONS PRIOR TO FINAL INSPECTION FROM THE ENGINEERING DEPARTMENT



CONCEPTUAL RENDERING

SCALE: nts



ARCHITECTURAL-INTERIOR DESIGN STUDIO
HOLLYWOOD, FLORIDA
954.305.5144
DESIGN@MEPLUS.STUDIO

JOSE M. ERAZO
FL REG: 107518

PROJECT INFO
CONCEPTUAL RENDERING

project info

BASFORD CARVAJAL's
RESIDENCE
516 NORTH SWINTON AVENUE
DELRAY BEACH, FLORIDA 33444

client info

WOOD GENERAL
SERVICES
ROBSON TAVARES
754.242.5562
TAVARES.333@GMAIL.COM

revisions	no.	date	note
1	06.01.26		HISTORICAL COMMENTS
2	07.01.26		HISTORICAL COMMENTS
3	-		-
4	-		-
5	-		-
6	-		-
7	-		-
8	-		-

drawn by	JWEP
checked by	GFREJO
date	01.21.2026
scale	NOTED
project #	2026007

sheet no.

A-001



JOSE M ERAZO
FL REG: 107318

project info

client info

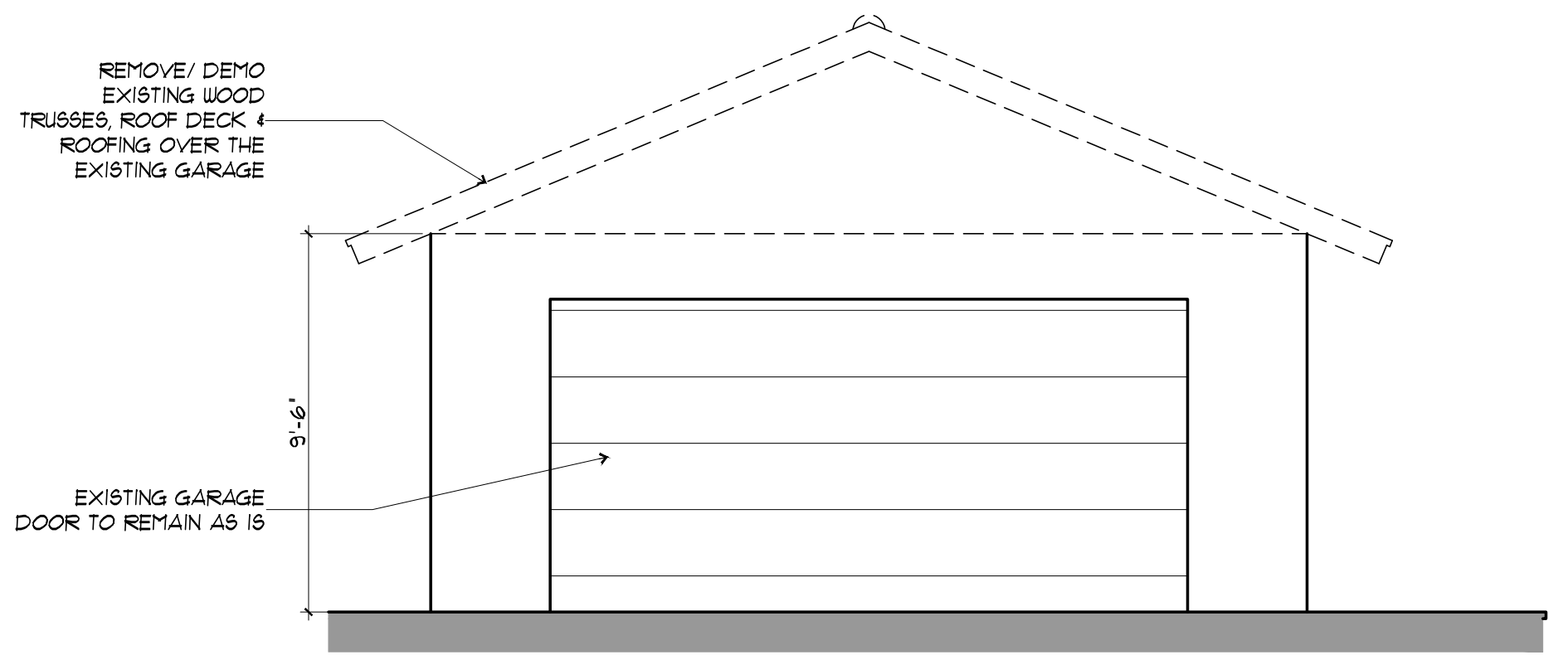
ROBSON TAVARES
754.242.5362
TAVARES.333@ICLOUD.COM

drawn by	JMEP
checked by	GFRELO
date	01.21.2026
scale	NOTED
project #	2026007

sheet no.

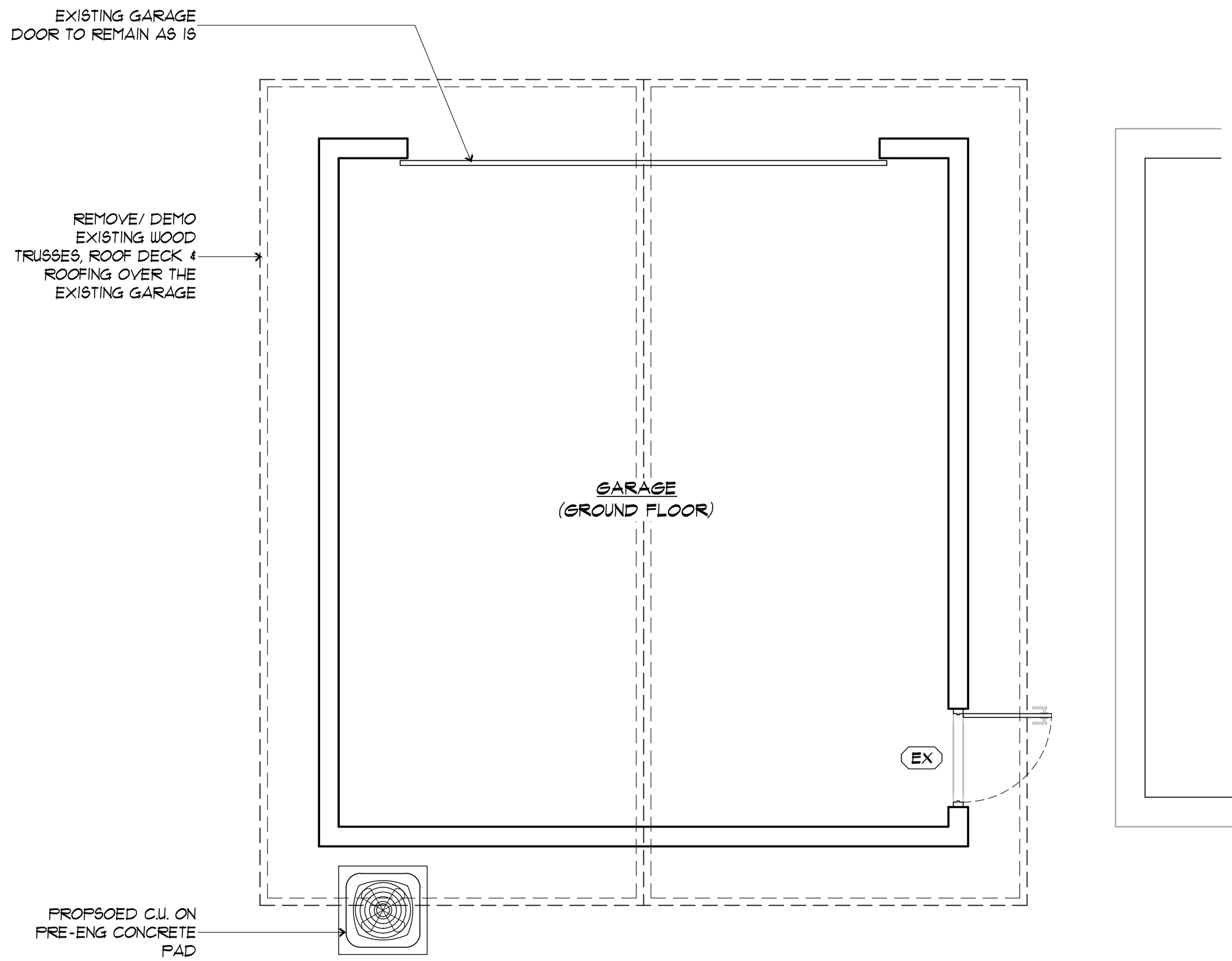
A-002





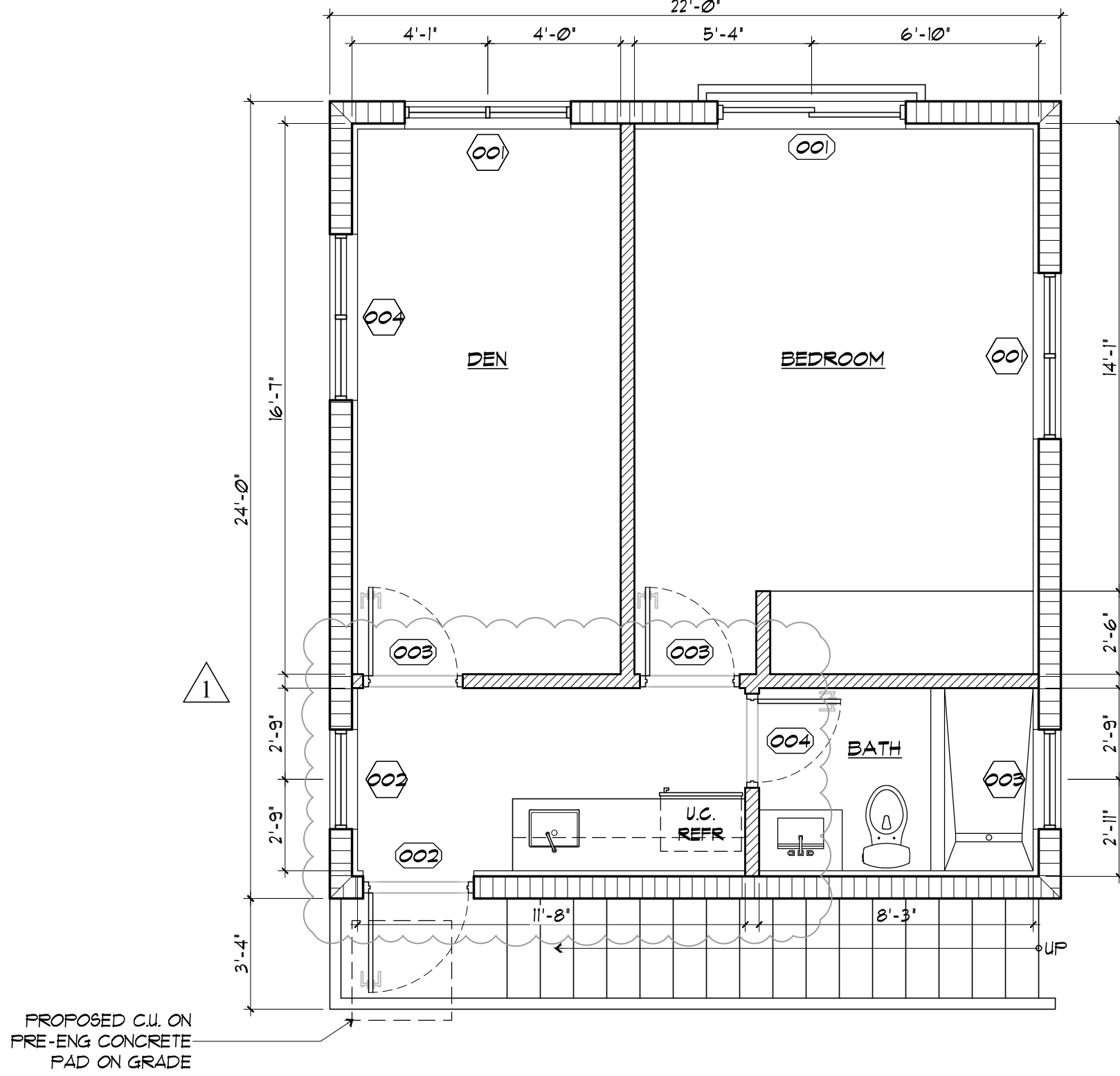
EXISTING ELEVATION

SCALE: 1/4" = 1'-0"



DEMOLITION (EXISTING) PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN (2nd FLOOR)
PROPOSED

SCALE: 1/4" = 1'-0"



PARTITION LEGEND

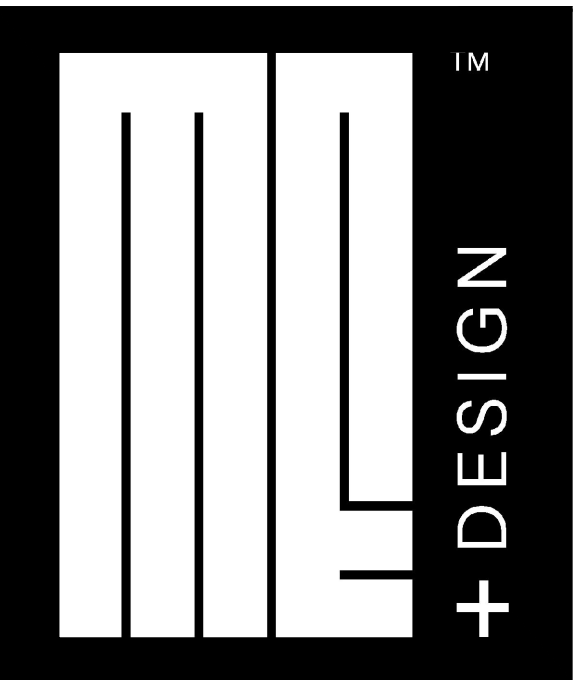
- EXISTING 8" CONCRETE BLOCK WALL w/ 3/4" GUB NAILED UNTO COLD FORM FRAMING @ 16"oc @ INTERIOR SIDE, TO REMAIN AS IS (TYP)
- EXISTING INTERIOR WOOD FRAMED PARTITION WALL w/ TO REMAIN AS IS (TYP)
- INTERIOR PARTITION WALL w/ 3/4"-20ga MTL STUDS @ 16"oc, FLOOR TO UNDERSIDE OF DECK w/ (1) LAYER OF 3/4" GUB TYPE 'X' @ EACH SIDE (TYP)
- INTERIOR TENANT DEMISING FIRE-RATED PARTITION WALL UL DESING No. U419 w/ MTL STUDS @ 16"oc, FLOOR TO UNDERSIDE OF DECK w/ (1) LAYER OF 3/4" GUB TYPE 'X' @ EACH SIDE (TYP) NO WORK ON FIRE WALLS UNDER THIS PERMIT

GENERAL NOTES:

- ALL CUPBOARDS & CABINETS (MILLWORK) SHOP DUGS ARE TO BE SUPPLIED BY EQUIPMENT SUPPLIER/CONTRACTOR FOR OWNER/ARCHITECT REVIEW & APPROVAL PRIOR TO FABRICATION
- CONTRACTOR TO SUPPLY ALL (TREATED) WALL-BLOCKING TO SUPPORT ALL FURNITURE & OTHER FIXTURES THAT REQUIRE BEING MOUNTED OR FIXED TO THE WALL
- CONTRACTOR IS TO REVIEW ALL SPECIFICATIONS OF ALL EQUIPMENT PRIOR TO INSTALLATION. EQUIPMENT SUPPLIER TO PROVIDE CUT SHEETS FOR ALL EQUIPMENT
- CONTRACTOR SHALL PROVIDE FULL SET OF MILLWORK SHOP-DUGS FOR OWNER REVIEW/APPROVAL PRIOR TO FABRICATION
- CONTRACTOR SHALL CONTACT & COORDINATE WITH DESIGNER-OF-RECORD IMMEDIATELY SHOULD ANY DISCREPANCIES ARISE
- PROVIDE (MOISTURE RESISTANT) 3/8" DENS-SHIELD TILE BACKER & WATER-PROOF JOINT-GROUT (OR SIMILAR) @ ALL WET AREAS
- PROVIDE A WIPABLE / NON-ABSORBENT SURFACES FINISHES @ ALL BATHROOMS (WET LOCATIONS) (WALLS & CEILINGS) - FINISH SELECTION BY OWNER/ INTERIOR DESIGNER (TYP)
- GC TO FIELD VERIFY R-5 min INSULATION IN EXTERIOR CBS WALL ASSEMBLY
- GC TO FIELD VERIFY R-30 min ROOF INSULATION
- PROVIDE BATT INSULATION IN MASTER BEDROOM PARTITIONS
- CONTRACTOR SHALL FIELD VERIFY ALL AREA DIMENSIONS & ALL EXISTING FIELD CONDITIONS PRIOR TO PUBLISHING A COST ESTIMATE/PROPOSAL TO CLIENT
- CONTRACTOR SHALL FIELD VERIFY ALL AREAS/SPACES' DIMENSIONS PRIOR TO FABRICATING OR PURCHASING ANY MILLWORK AND/OR FURNITURE
- PROPOSED FRAMED/GUB CEILING SHALL NOT BE LESS THAN 1'-6" a/f (TYP)
- ANY WOOD IN CONCEALED SPACES SHALL BE FIRE RETARDANT (TYP)
- ALL SHOWER ENCLOSURES SHALL BE TEMPERED (SAFETY) GLASS CATEGORY II, AS SET FORTH BY FBC SH-ED
- A COUNTY'S DEPARTMENT OF ENVIRONMENTAL PROTECTION PERMIT IS REQUIRED PRIOR TO SUBMITTING FOR BUILDING PERMIT
- CONTRACTOR SHALL COORDINATE ALL FINISHES, MILLWORK, BUILT-INS, AND FINAL FIXTURES W/ OWNER AND/OR INTERIOR DESIGNER. OWNER TO APPROVE ALL FINAL SELECTIONS (TYP)
- GC SHALL PROVIDE SHOP DRAWINGS FOR ALL NEW MILLWORK, APPLIANCES, FIXTURES FOR OWNER & ARCHITECT REVIEW & APPROVAL PRIOR TO PURCHASING
- PROVIDE PROFFEX 80 (OR SIMILAR) SOUNDPROOFING AT ALL AREAS WITH NEW FLOORING. GC SHALL SUBMIT APPROVED CUT-SHEETS W/ PLANS FOR BUILDING DEPARTMENT REVIEW & APPROVAL
- GC SHALL ABIDE BY ALL THE STANDARDS & INSTRUCTIONS OF THE HARBOR HOUSE CONDOMINIUM ASSOCIATION 'DESIGNER'S & CONTRACTOR'S HANDBOOK'
- ALL PROPOSED LIGHT FIXTURES MUST BE UL APPROVED
- CONTRACTOR SHALL REMOVE ALL LIGHT FIXTURES WITHIN THE SCOPE OF WORK, TO BE REPLACED WITH NEW (AS PER PLAN). NO ADDITIONAL LOADS ON THE EXISTING ELECTRICAL PANELS

DOOR SCHEDULE

- (EX) EXISTING DOOR TO REMAIN AS IS, NO CHANGE (TYP)



ARCHITECTURAL-INTERIOR DESIGN STUDIO
HOLLYWOOD, FLORIDA
954.505.5144
DESIGN@MEPLUS.STUDIO

JOSE M. ERAZO
FL REG: 107518

DEMO +
FLOOR PLAN

project info

BASFORD CARVAJAL'S
RESIDENCE
516 NORTH SWANSON AVENUE
DELRAY BEACH, FLORIDA 33444

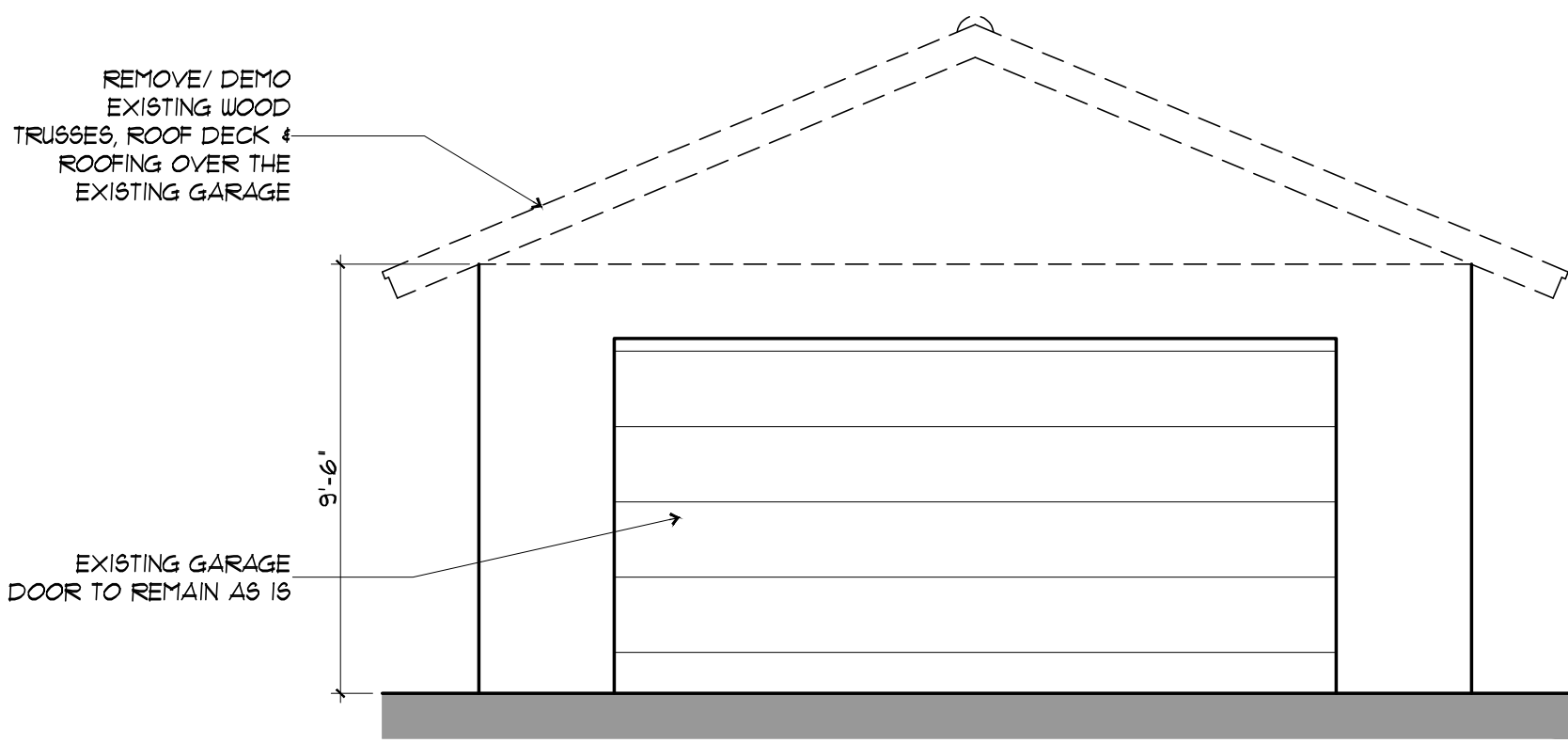
client info

WOOD GENERAL
SERVICES
ROBSON TAVARES
754.242.5562
TAVARES.333@GMAIL.COM

revisions		
no.	date	note
1	07.01.26	HISTORICAL COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-

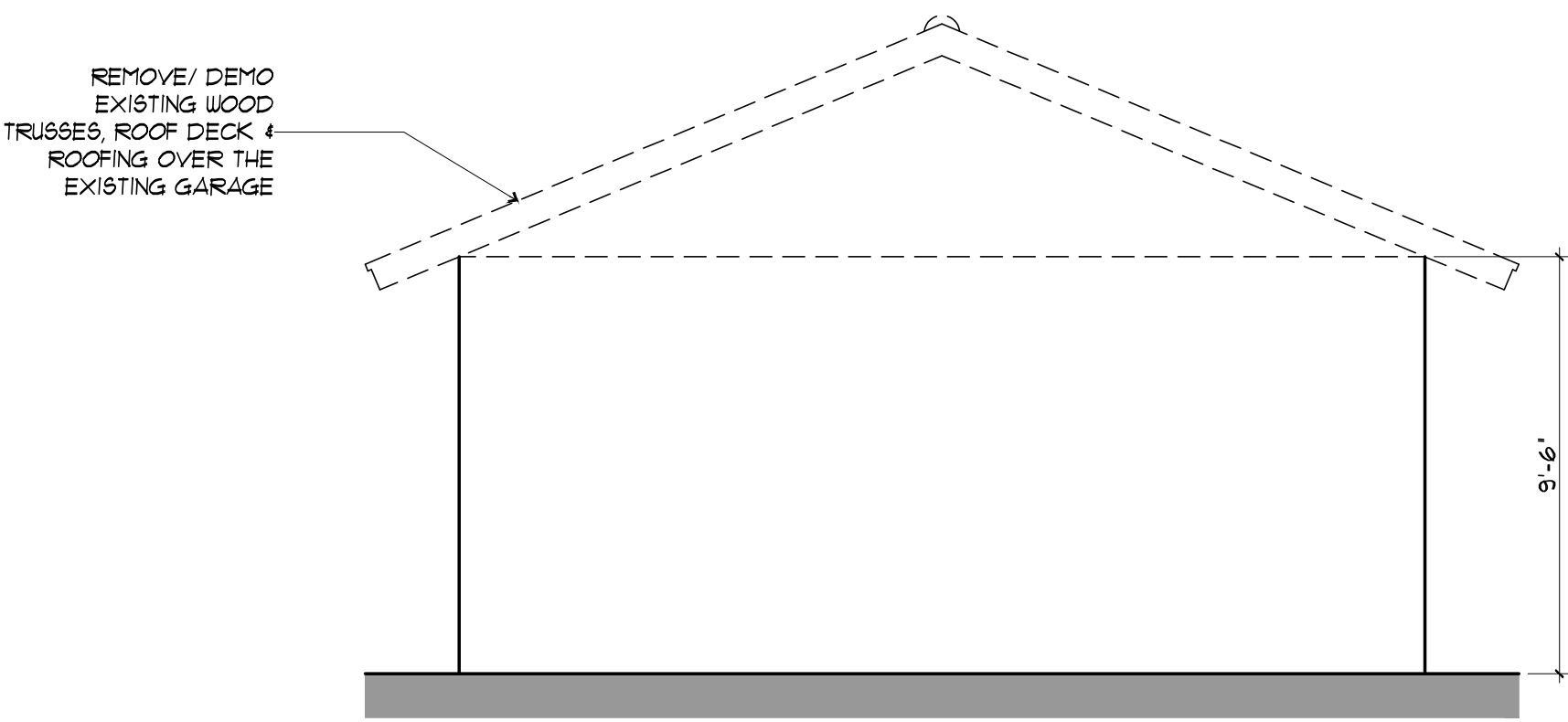
drawn by	JWEP
checked by	GFREJO
date	01.21.2026
scale	NOTED
project #	2026007

sheet no.



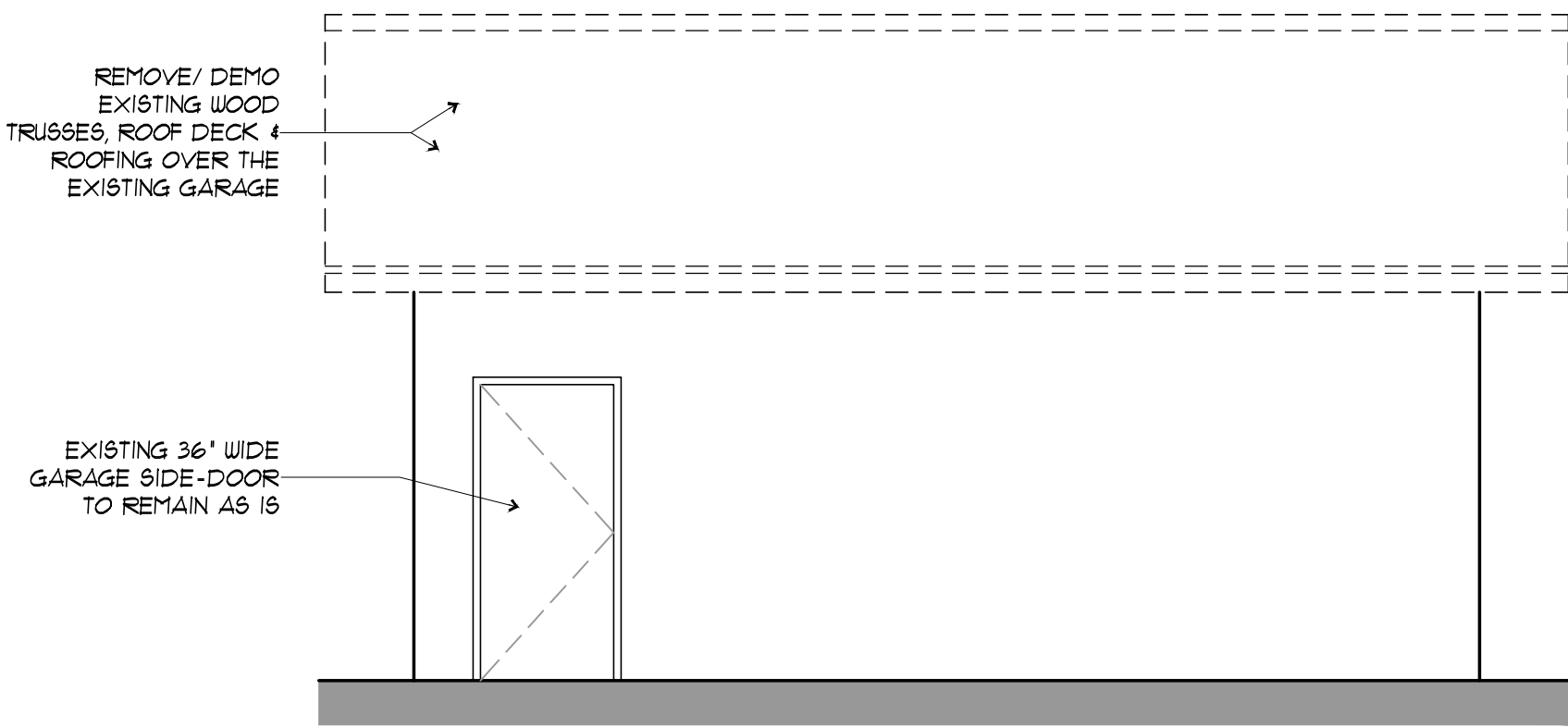
EXISTING ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



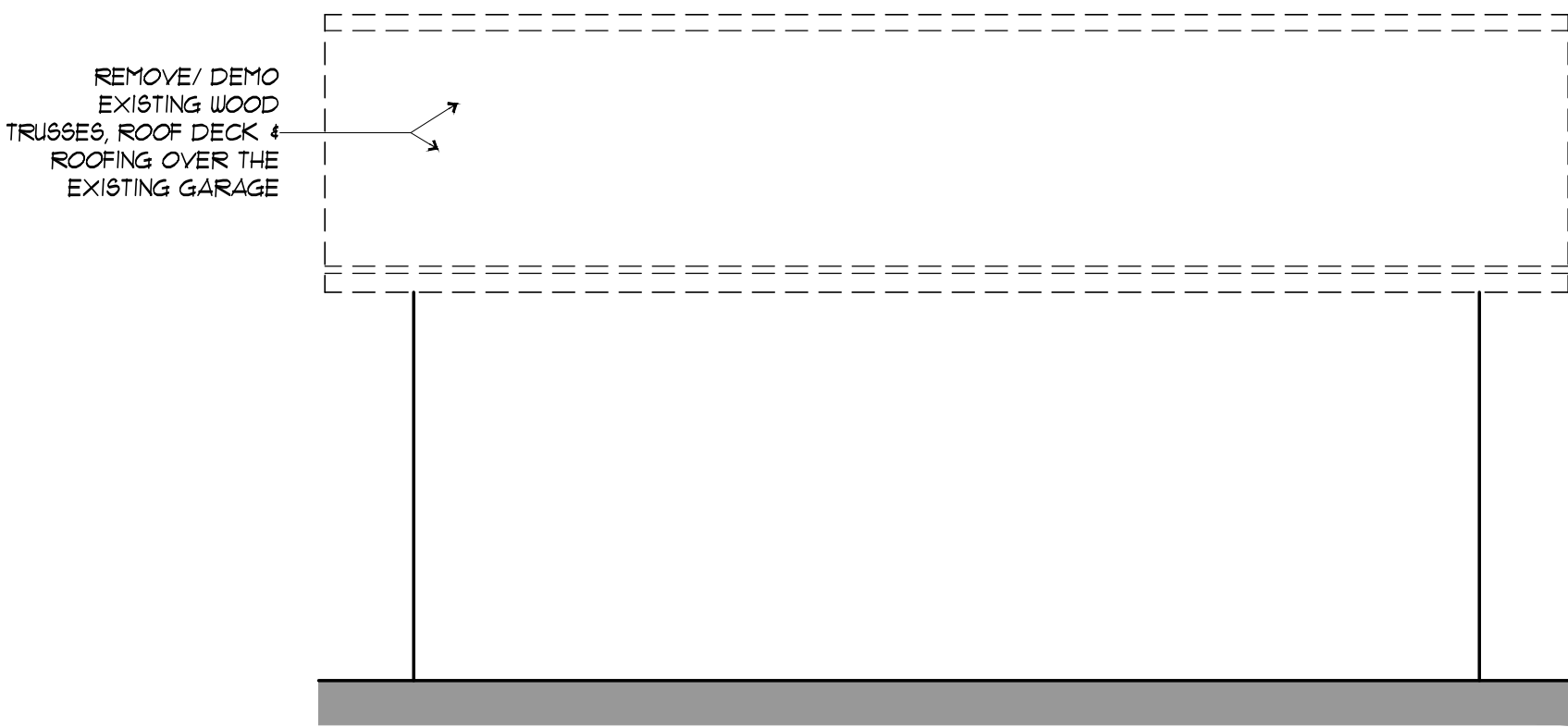
EXISTING ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



EXISTING ELEVATION (EAST)

SCALE: 1/4" = 1'-0"



EXISTING ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

MEPLUSTM

+ DESIGN

ARCHITECTURAL-INTERIOR DESIGN STUDIO
HOLLYWOOD, FLORIDA
954.305.5144
DESIGN@MEPLUS.STUDIO

JOSE M. ERAZO
FL REG. 107518

EXISTING GARAGE
ELEVATIONS

project info

BASFORD CARVAJAL'S
RESIDENCE
516 NORTH SWANSON AVENUE
DELRAY BEACH, FLORIDA 33444

client info

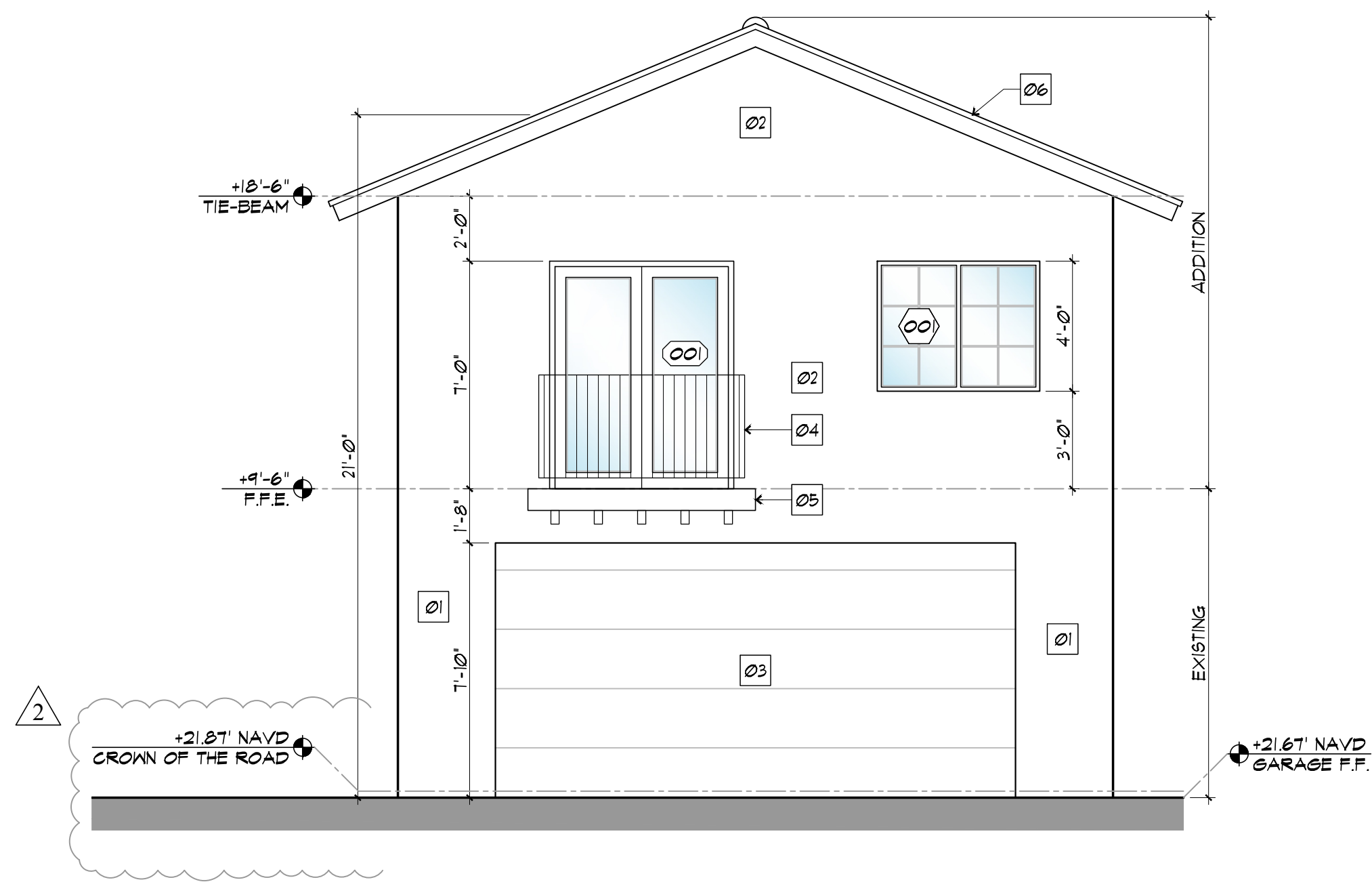
WOOD GENERAL
SERVICES
ROBSON TAVARES
754.242.5562
TAVARES.333@GMAIL.COM

revisions		
no.	date	note
1	07/15/26	HISTORICAL COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-

drawn by	JWEP
checked by	GFREJO
date	01.21.2026
scale	NOTED
project #	2026007

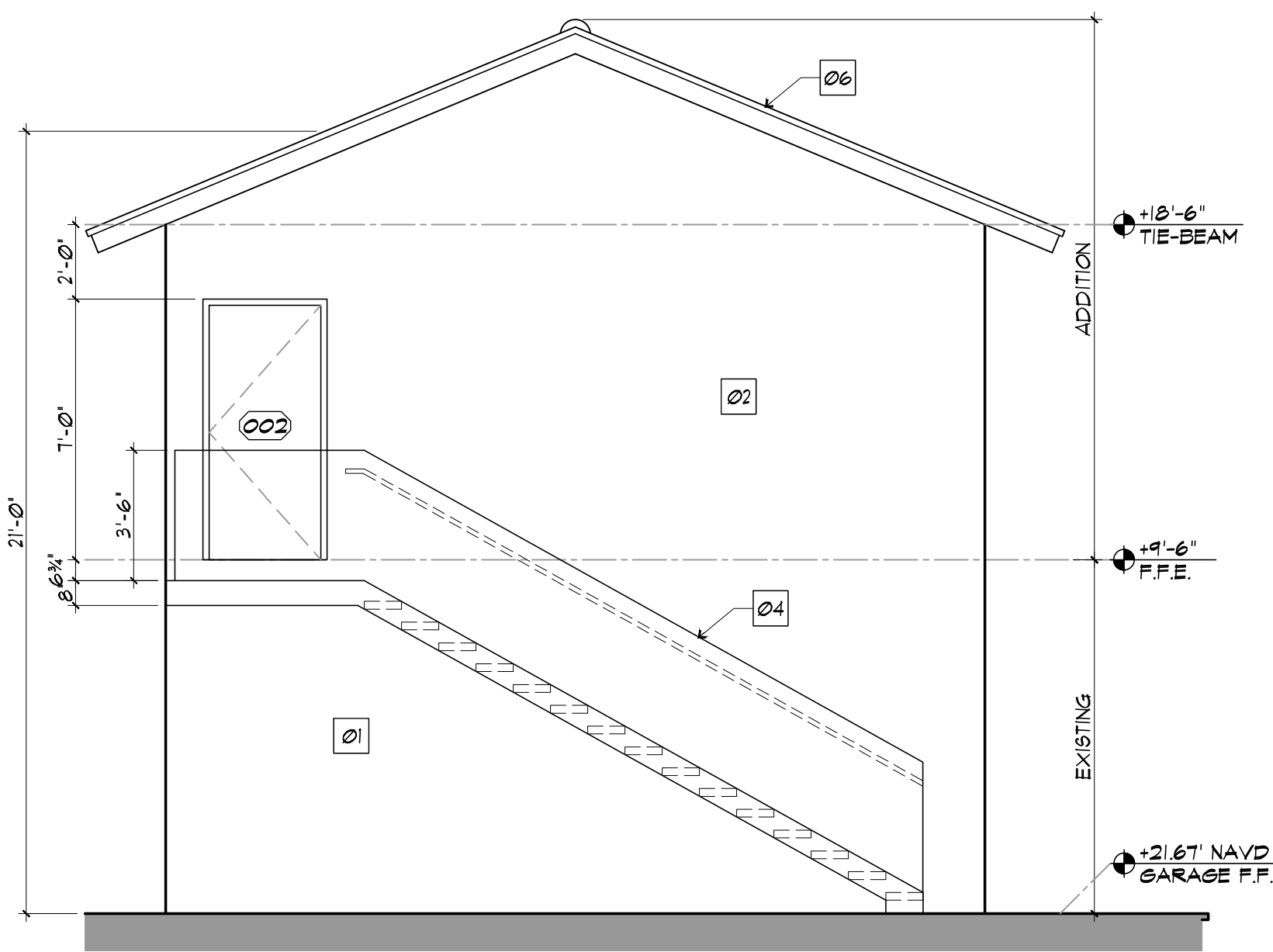
sheet no.

A-003.1



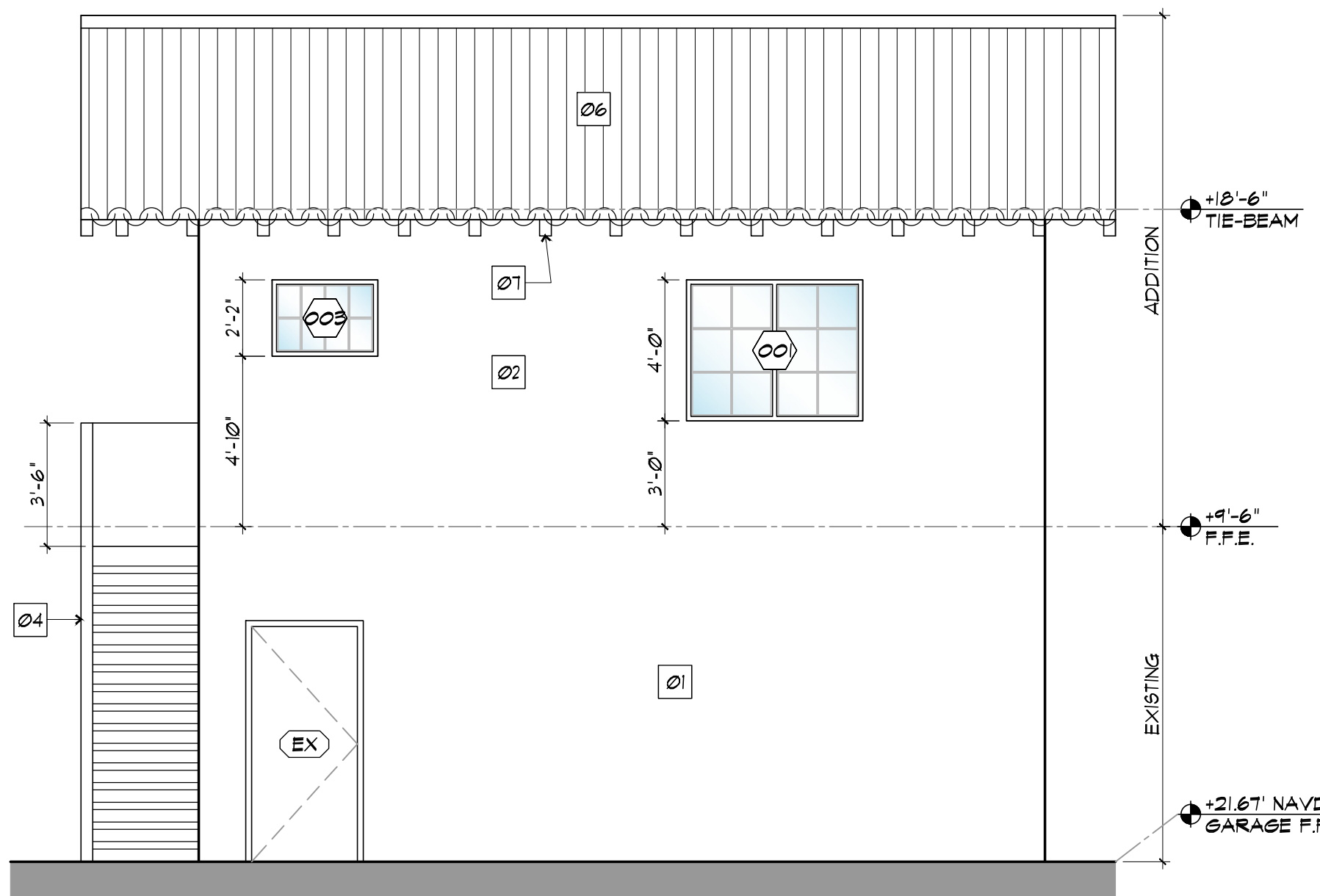
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



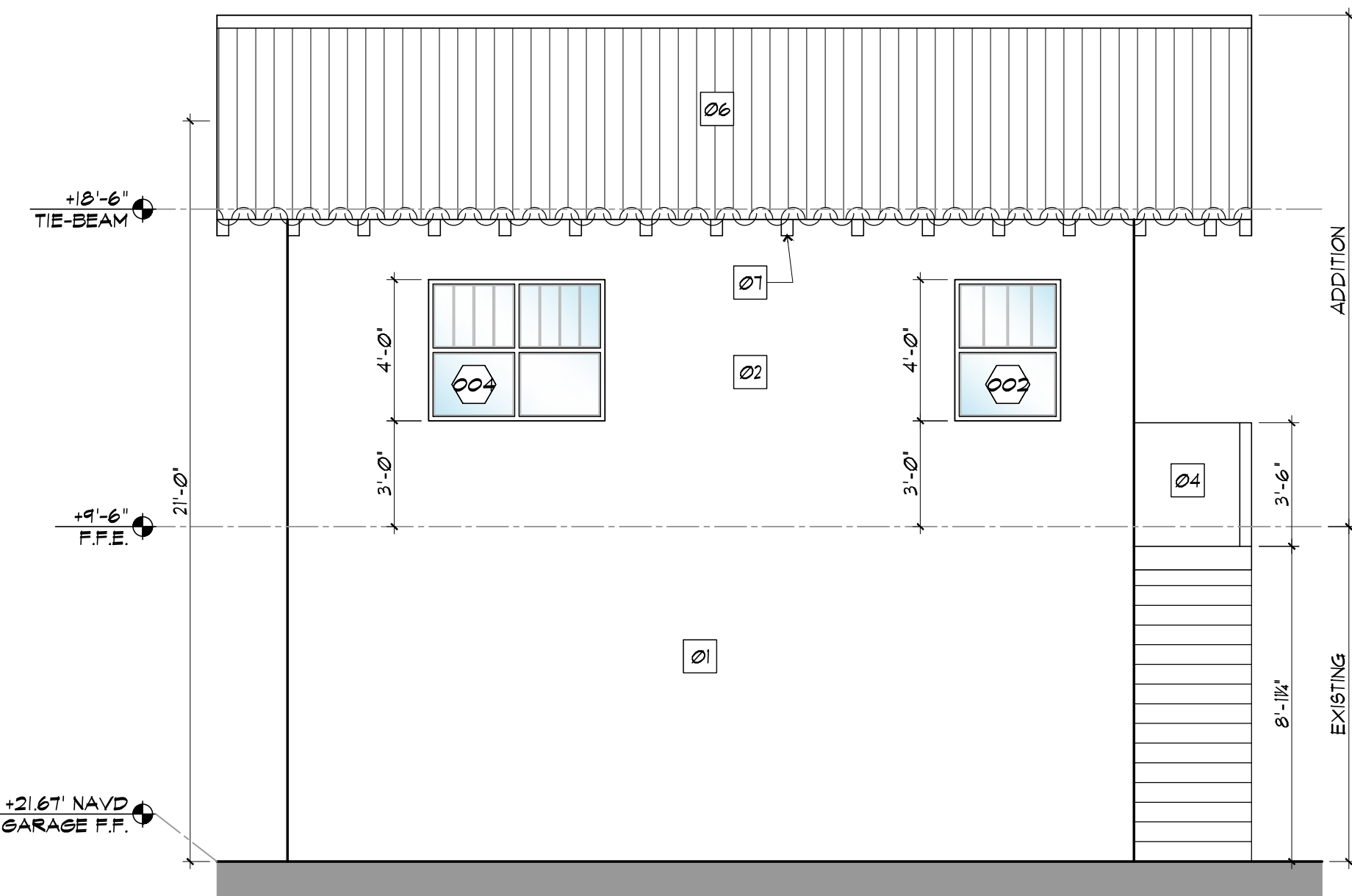
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

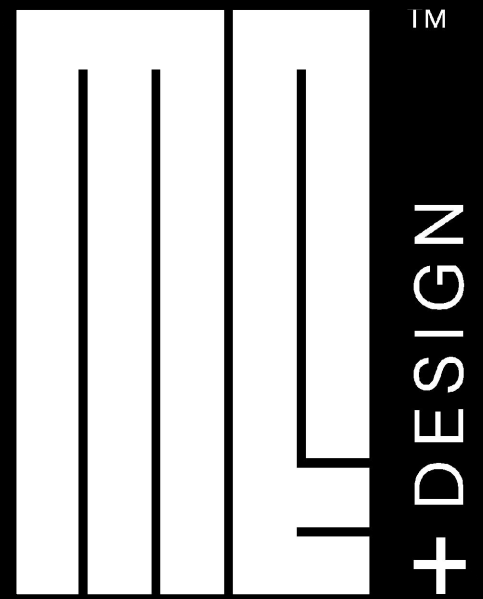
SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

- ELEVATIONS KEY NOTES:**
- EXISTING PAINTED + TEXTURED STUCCO FINISH TO REMAIN AS IS
 - NEW PAINTED + TEXTURED STUCCO FINISH - OFF-WHITE PAINT TO MATCH EXISTING
 - EXISTING GARAGE DOOR TO REMAIN
 - NEW 42"-HIGH METAL GUARD RAIL TO MATCH EXISTING RAILS
 - CONCRETE EYEBROW, SMOOTH STUCCO FINISH
 - NEW (PROPOSED) ROOF BARREL TILE TO MATCH EXISTING HOUSE ROOFING (TYP)
 - NEW EXPOSED ROOF WOOD BEAM OVERHANG - TO MATCH EXISTING HOUSE



ARCHITECTURAL-INTERIOR DESIGN STUDIO
HOLLYWOOD, FLORIDA
954.305.5144
DESIGN@MEPLUS.STUDIO

JOSE M. ERAZO
FL REG: 107518

ELEVATIONS

project info

BASFORD CARVAJAL'S
RESIDENCE
516 NORTH SWANSON AVENUE
DELRAY BEACH, FLORIDA 33444

client info

WOOD GENERAL
SERVICES
ROBSON TAVARES
754.242.5562
TAVARES.555@GMAIL.COM

revisions	no.	date	note
	1	06.01.26	HISTORICAL COMMENTS
	2	-	-
	3	-	-
	4	-	-
	5	-	-
	6	-	-
	7	-	-
	8	-	-

drawn by	JMVP
checked by	GPRLJO
date	01.21.2026
scale	NOTED
project #	2026007

sheet no.

A-004

DOOR SCHEDULE															
NO.	LOCATION	SIZE			TYPE	MATERIAL	THHOLD	JAMB	DETAIL	NOTE	HDWARE	REMARKS	U-FACT.	SHGC	VT
		WIDTH	HEIGHT	THICK											
001	FRONT SLIDERS	5'-8" R.O.	7'-0"	1-3/2"	IMPACT	IMPACT RESISTANT, SLIDING DOORS	ALUM	-	-	-	SEC LOCK	PROVIDE PRE-ENG'd SHOP DWGS or NOA's	1.04	0.29	0.39
002	MAIN ENTRANCE	3'-0"	7'-0"	1-3/2"	IMPACT	IMPACT RESISTANT, INSULATED FRENCH DOOR	ALUM	-	-	-	SEC LOCK	PROVIDE PRE-ENG'd SHOP DWGS or NOA's. PROVIDE FLOOR JAMB RECESSED INTO FLOOR SLAB.	1.04	0.29	0.39
003	INTERIOR	2'-8"	7'-0"	1-3/2"	INTERIOR	S-C-U-S, FLUSH HINGES & WOOD FRAME	SCHLUTER SCHIENE	-	-	-	SEC LOCK	-			
004	INTERIOR/ BATHROOM	2'-6"	7'-0"	1-3/2"	INTERIOR	S-C-U-S, FLUSH HINGES & WOOD FRAME	SCHLUTER SCHIENE	-	-	-	SEC LOCK	-			
ABBREVIATIONS: S-C-U-S -SOLID CORE WOOD SLAB HOLD -HOLLOW CORE WOOD HM -HOLLOW METAL ALUM -ALUMINUM P LAM -PLASTIC LAMINATE P WD -PAINTED WOOD P MTL -PAINTED METAL GL/LAL -GLASS & ALUMINUM ABBREVIATIONS: UD -WOOD ID -INTERIOR DESIGN RES -RESIDENTIAL DOR -DESIGNER OF RECORD R.O. -ROUGH OPENING NOTES: 1. COLOR & FINISHES (FRAMING & GLAZING) SELECTION BY OWNER/DOR/ID. 2. ALL DOORS TO HAVE 'LEVER' TYPE OPERATING MECHANISMS 3. ALL DOORS TO COMPLY w/ THE CURRENT BUILDING CODES 4. CONTRACTOR TO COORDINATE HARDWARE w/ OWNER/DOR/ID. 5. GC TO SUBMIT ALL PRE-ENG'd SHOP DWGS & PRODUCT APPROVALS (NOA's) FOR ARCHITECT TO REVIEW PRIOR TO FABRICATION OF THE DOORS & FRAMES (TYP) 6. FINISHES & GLAZING TO MATCH ALL - CONTINUOUSLY (INCLUDING WINDOWS) NOTES: 1. ALL EXTERIOR GLAZING SHALL BE A LAMINATED IMPACT RESISTANT GLASS (TYP) 8. ALL INTERIOR GLAZING SHALL BE A TEMPERED SAFETY CATEGORY II GLASS (TYP) 9. CONTRACTOR SHALL COORDINATE U-FACTOR, SHGC & VT UNITS FOR PROPOSED EXTERIOR (WINDOWS & DOORS) GLAZING w/ FABRICATOR/PROVIDER & SHALL MEET THE VALUES AS PER THE SUBMITTED ENERGY DESIGN/CALCULATIONS 10. CONTRACTOR SHALL MEASURE/FIELD VERIFY ALL ROUGH-OPENINGS PRIOR TO FABRICATION 11. SEE ALL HEADER/JAMB DETAILS & CONNECTION SPECIFICATIONS ON PRE-ENG'd SHOP DRAWINGS & NOA's															

WINDOW SCHEDULE													1
NO.	LOCATION	DIMENSIONS (R.O.)		GLAZING	FRAME MATERIAL	FRAME FINISH	DETAILS			REMARKS - WINDOW TYPE	U-FACT.	SHGC	VT
		WIDTH	HEIGHT				HEAD	JAMB	SILL				
001	WINDOW	5'-0"	4'-0"	IMPACT - CLEAR	ALUMINUM, FIXED	WHITE	-	-	-	SEE CONSTRUCTION DETAILS/SPEC's ON NOA's/SHOP DWGS (PRE-ENG'D)	1.04	0.29	0.31
002	KITCHENETTE	3'-0"	4'-0"	IMPACT - CLEAR	ALUMINUM, FIXED	WHITE	-	-	-	SEE CONSTRUCTION DETAILS/SPEC's ON NOA's/SHOP DWGS (PRE-ENG'D)			
003	BATHROOM	3'-0"	2'-2"	IMPACT - CLEAR	ALUMINUM, SINGLE-HUNG	WHITE	-	-	-	SEE CONSTRUCTION DETAILS/SPEC's ON NOA's/SHOP DWGS (PRE-ENG'D)			
004	WINDOW	5'-0"	4'-0"	IMPACT - CLEAR	ALUMINUM, SINGLE-HUNG	WHITE	-	-	-	SEE CONSTRUCTION DETAILS/SPEC's ON NOA's/SHOP DWGS (PRE-ENG'D)			
NOTES: 1. AS PER EGRESS REQUIREMENTS - EACH SLEEPING ROOM SHALL HAVE (2) MEANS OF EGRESS. THE SECONDARY MEANS SHALL BE AN OPERABLE WINDOW AS PER NFPA 101 SECTION 2.4.2 THAT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" AFF & NOT LESS THAN 36" AFF. A MIN. WIDTH OF 20" & HEIGHT OF 24" SHALL NOT BE LESS THAN 5.7sq.ft. CLEAR OPENING 2. ALL FINISHES, GLAZING & DETAILS TO BE APPROVED BY OWNER & DOR PRIOR TO FABRICATION 3. SEE ELEVATIONS FOR PROPOSED WINDOW TYPES & DESIGN (FIXED, CASEMENT OR AWNING) (TYP) 4. CONTRACTOR SHALL COORDINATE U-FACTOR, SHGC & VT UNITS FOR PROPOSED EXTERIOR (WINDOWS & DOORS) GLAZING WITH FABRICATOR/PROVIDER & SHALL MEET THE VALUES AS PER THE SUBMITTED ENERGY DESIGN/CALCULATIONS 5. CONTRACTOR SHALL PROVIDE A DECORATIVE FINISH-CLADDING ON ALL EXPOSED STRUCTURAL COLUMNS TO EXACTLY MATCH PROPOSED WINDOW FRAMING FINISH (TYP) 6. CONTRACTOR SHALL MEASURE/FIELD VERIFY ALL ROUGH-OPENINGS PRIOR TO FABRICATION 7. SEE ALL JAMB/HEADER DETAILS & CONNECTION SPECIFICATIONS ON PRE-ENG'd SHOP DWGS AND/OR NOA's 8. ALL WINDOW ASSEMBLIES TO BE IMPACT RESISTANT & TESTED 9. GC SHALL PROVIDE NOA's & PRE-ENG'd SHOP DWGS FOR DOR REVIEW & APPROVAL PRIOR TO FABRICATION													

- HISTORICAL NOTES:**
- ALL NEW WINDOWS & DOORS TO BE IMPACT RATED
 - ALL NEW WINDOWS & DOORS TO DESING & FINISHES TO MATCH EXISTING - TO MAINTAIN THE HISTORICAL DESIGN OF THE HOUSE
 - GLASS WITHIN HISTORICAL DISTRICT CAN EITHER BE CLEAR (NO TINT, NON-REFLECTIVE, NO LOW-E) OR GRAY (IF NON-CONTRIBUTING, NO LOW-E)

IM

DESIGN

ARCHITECTURAL-INTERIOR DESIGN STUDIO
HOLLYWOOD, FLORIDA
954.505.5144
DESIGN@MEPLUSSTUDIO

JOSE M. ERAZO
FL REG. 107518

SCHEDULES

project info

BASFORD CARVAJAL's
RESIDENCE
516 NORTH SWANSON AVENUE
DELRAY BEACH, FLORIDA 33444

client info

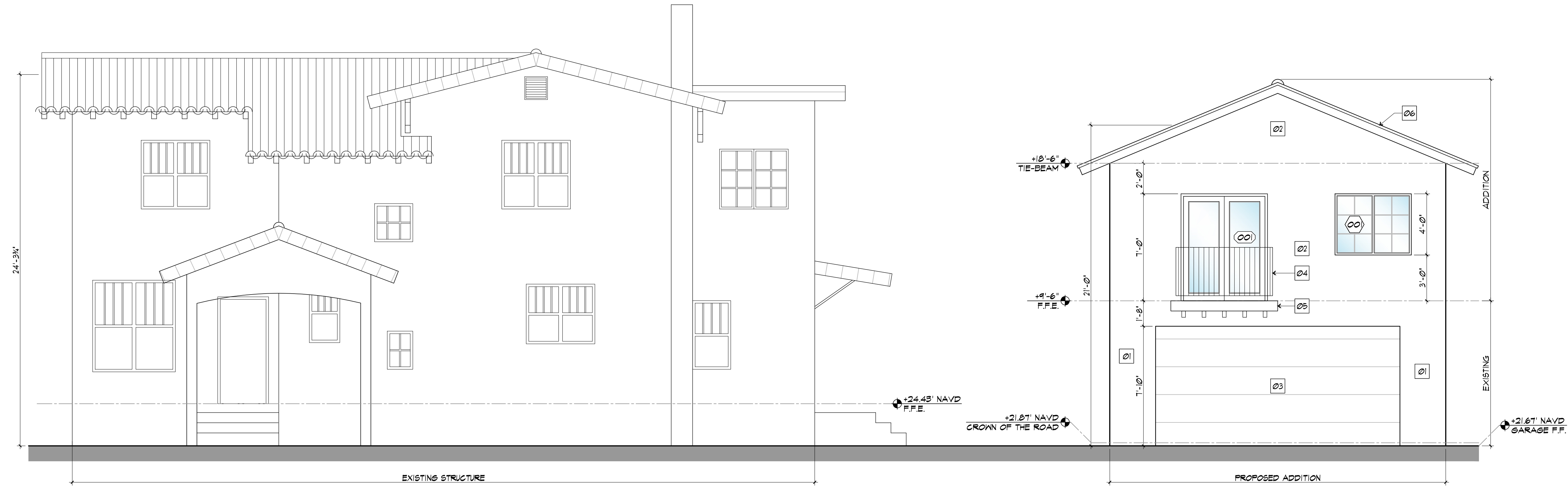
WOOD GENERAL
SERVICES
ROBSON TAVARES
754.242.5562
TAVARES.333@GMAIL.COM

revisions	no.	date	note
	1	05.29.26	HISTORICAL COMMENTS
	2	-	-
	3	-	-
	4	-	-
	5	-	-
	6	-	-
	7	-	-
	8	-	-

drawn by	JWEP
checked by	GFREJO
date	01.21.2026
scale	NOTED
project #	2026007

sheet no.

A-005



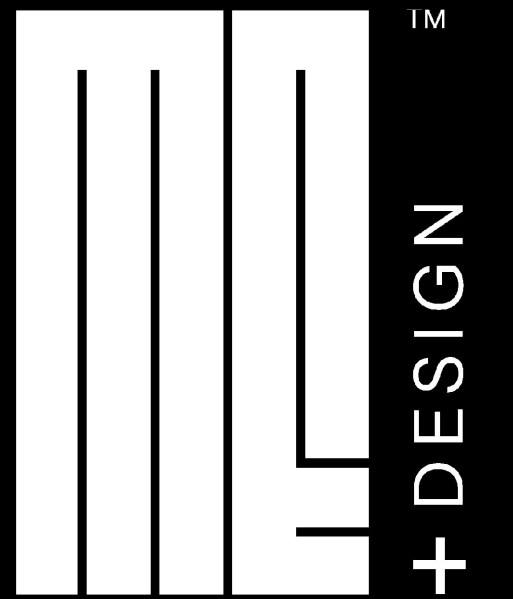
EXISTING + PROPOSED
NORTH ELEVATION PROFILE

SCALE: 1/4" = 1'-0"



EXISTING + PROPOSED
SOUTH ELEVATION PROFILE

SCALE: 1/4" = 1'-0"



ARCHITECTURAL-INTERIOR DESIGN STUDIO
HOLLYWOOD, FLORIDA
954.305.5144
DESIGN@MEPLUS.STUDIO

JOSE M. ERAZO
FL REG. 107318

ELEVATIONS

project info

BASFORD CARVAJAL'S
RESIDENCE
516 NORTH SWANNON AVENUE
DELRAY BEACH, FLORIDA 33444

client info

WOOD GENERAL
SERVICES
ROBSON TAVARES
754.242.5562
TAVARES.333@GMAIL.COM

revisions		
no.	date	note
1	07.01.26	HISTORICAL COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-

drawn by	JWEP
checked by	GFREJO
date	01.21.2026
scale	NOTED
project #	2026007

sheet no.

A-006