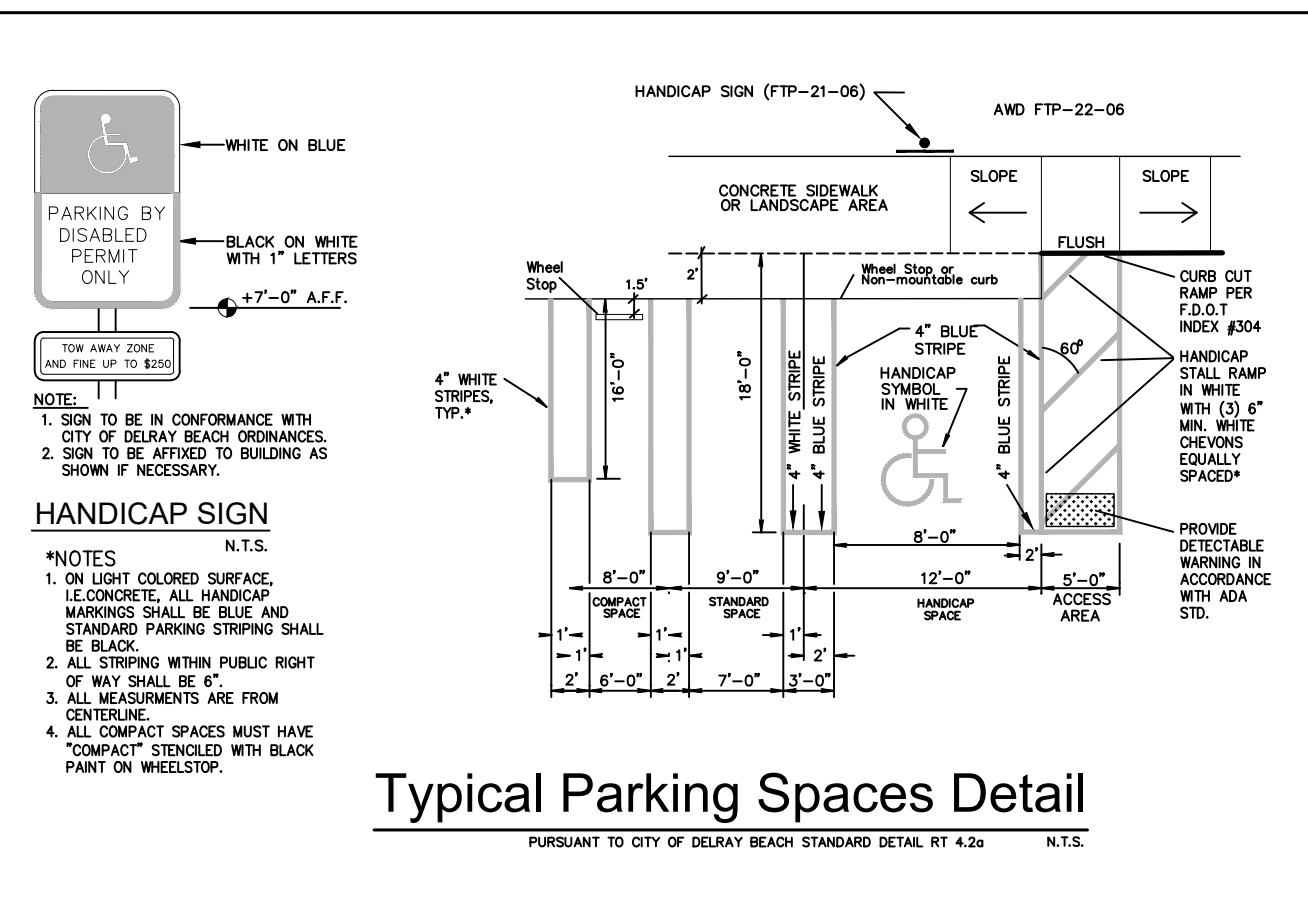
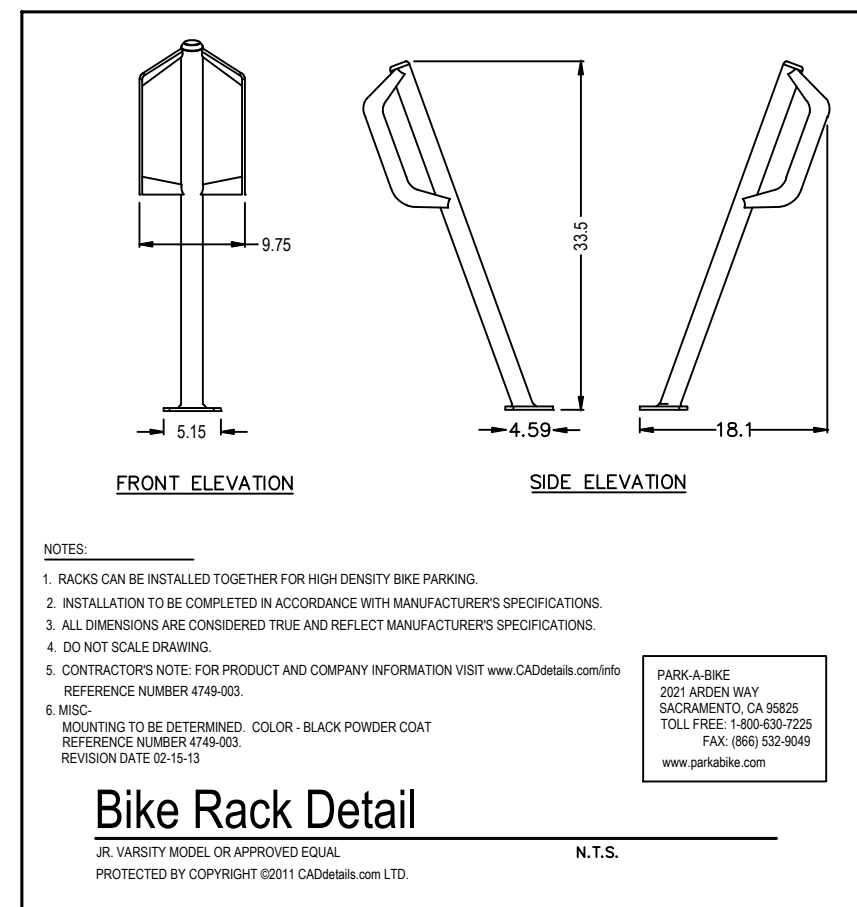
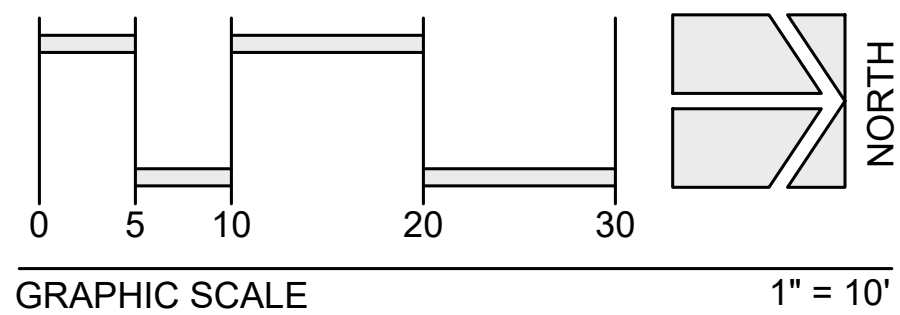
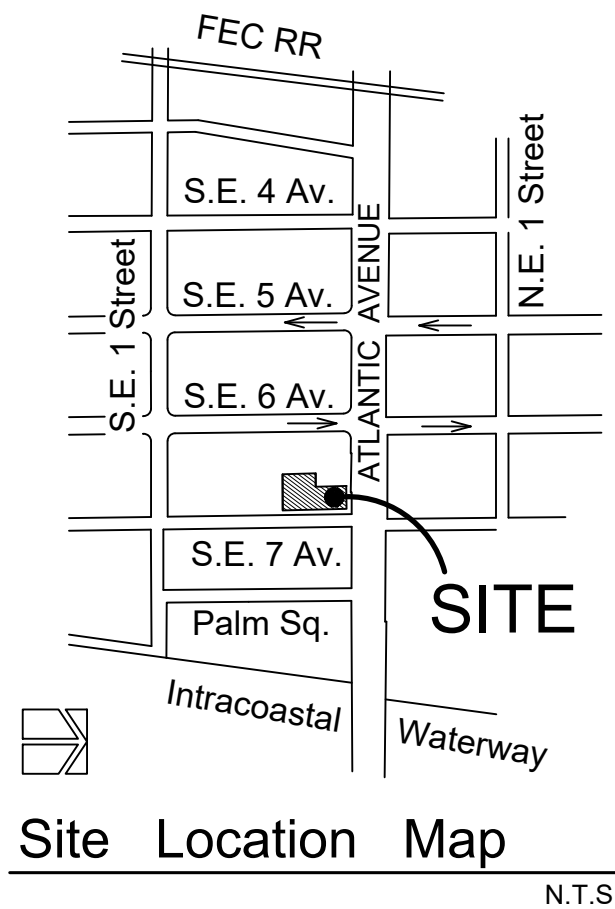
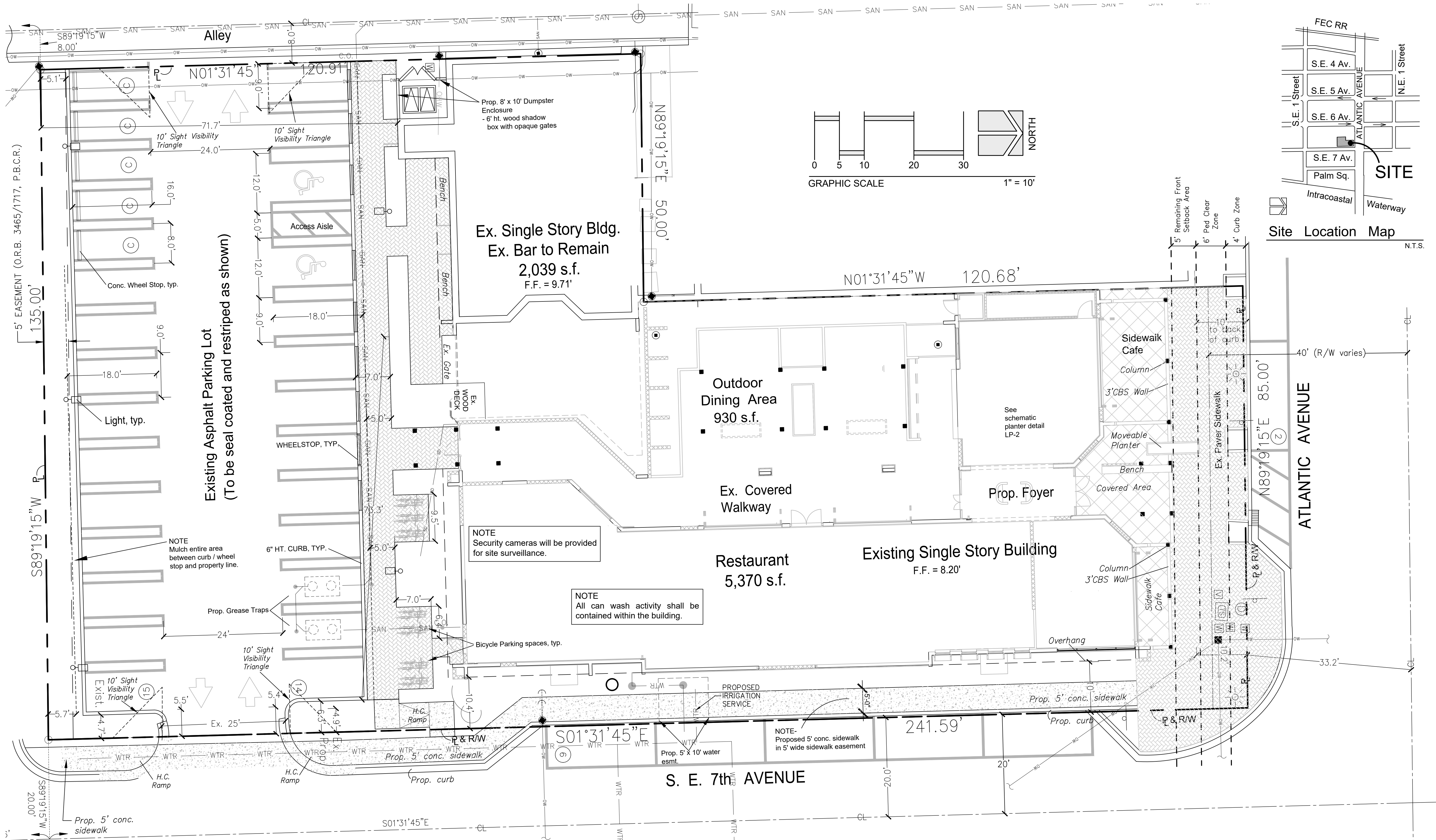




Land Description

The east 17.5 feet of Lot 15 and all of Lots 16, 17 and 18, Block 117, Map of the TOWN OF LINTON (now known as Delray Beach), according to the Plat thereof as recorded in Plat Book 1, Page 3, Public Records of Palm Beach County, Florida.

Said lands situate in the City of Delray Beach, Palm Beach County, Florida and containing 26,578 square feet (0.61 acres) more or less.

Parking Tabulations

Stand Alone Bar (2,039 sf)	1 space / 300sf	6.80
Ex. Restaurant (2,922 sf)	1 space / 300 sf	9.74
Convert Retail to Restaurant (2,215 sf)	6 spaces / 1,000 sf	13.29
New Restaurant Space (233 sf)	6 spaces / 1,000 sf	1.40
Outdoor Dining (930 sf)	6 spaces / 1,000 sf	5.58
TOTAL REQUIRED SPACES		36.81 = 37 spaces
TOTAL PARKING PROVIDED		28 spaces
IN-LIEU PARKING		9 spaces
		(approved 02-03-2015)
Bicycle Spaces		
Required 2 per 1,000 s.f. = 13 spaces		14 spaces provided

Site Tabulations

Total Site Area	26,578 sf	0.61 ac	100%
Total Impervious Area	22,677 sf	0.52 ac	85.32%
Building area	7,409 sf		
Vehicular Use, Sidewalks, and Covered Areas	15,268 sf		
Total Pervious Area	3,901 sf	0.08 ac	14.68%

Site Notes

- Existing Land Use - CC (Commercial Core)
- Proposed Land Use - Same
- Existing Zoning - CBD (Central Business District)
- Proposed Zoning - Same
- Existing Use - Restaurant, Bar
- Proposed Use - Same
- All new utilities on site shall be placed underground
- Sewer - Existing at site
- Water - Existing at site
- Electric / Phone / Nat. Gas / Cable Television - Existing at site

Property Development Regulations

CBD Zoning District

ZONING DISTRICT	MIN. LOT SIZE (S.F.)	MIN. LOT WIDTH (FT.)	MIN. LOT DEPTH (FT.)	MIN. LOT FRONTAGE (FT.)	FRONT SETBACK	SIDE STREET SETBACK	SIDE INTERIOR SETBACK	REAR SETBACK	MAXIMUM BUILDING HEIGHT (FT.)
REQUIRED	0	0	0	0	10'	10'	0'	10'	48'
PROVIDED	26,578 sf	85'	241.59'	85'	16.8'	10'	0'	71.7'	13'-8" (roof deck)

Revisions	Revised By	Revised Date	Revised For
1	SET	05-07-19	Revise per add'l TAC comments
2	SET	03-20-19	Revise pursuant to 03-15-18 TAC review
3	SET	12-18-18	Revise pursuant to 11-15-18 TAC review
4	SET	08-27-18	Revise Courtyard & SW Cafe areas
5	SET	02-16-16	Revisions pursuant to SPRAB cond.
6	SET	11-10-15	Revisions pursuant to TAC comments dated 10-28-15

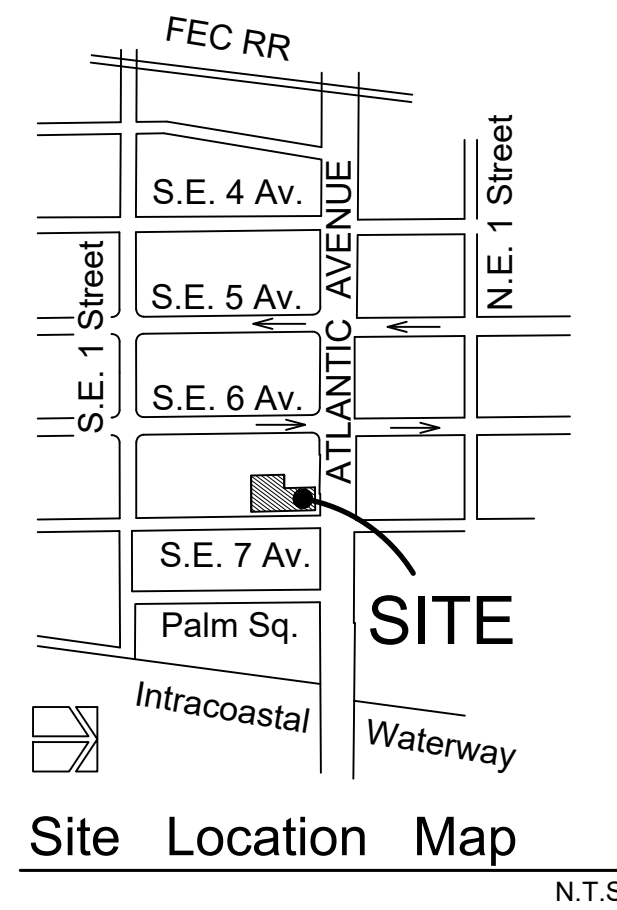
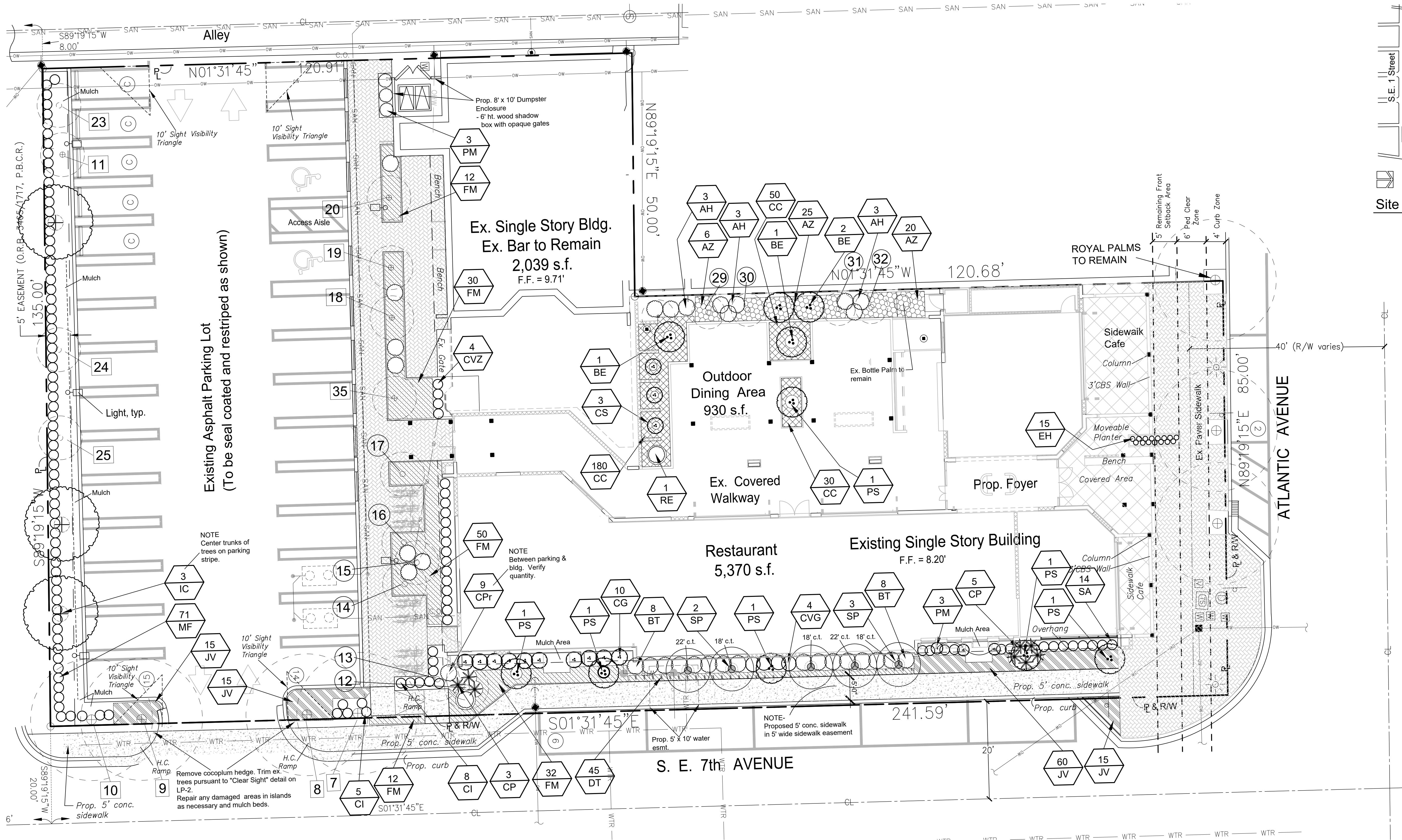
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561-970-0030
LC 260000287
covellidesign.com

Site Plan
640 East Atlantic Avenue
Delray Beach, Florida

Date 08-17-2015
Scale As Noted
PN# 1147

PREPARED BY
Steven E. Tate, RLA
Landscape Architect #967
State of Florida
- for the firm -
DATE 05-13-2019

Drawing No.
SP-1
OF 1



Plant Key			
Quantity	Plan Symbol	Botanic Name / Common Name Specification	Degree of Drought Tolerance
9	AH	Acalypha hispida / Chenille Plant 3' ht x 2' spr., full to ground	-
51	AZ	Alpinia zerumbet 'Variegata' / Variegated ginger 20" ht. x 12-15" spr., 24" o.c.	-
4	BE	Bambusa eutuldoides 'Viridivittata' / Asian Lemon Bamboo Field Grown, 8' x 4", min. 5 mature culms, SEE BELOW FOR SOURCE	-
16	BT	Bambusa textilis gracilis - Graceful Bamboo 10-12' ht, min. 5 mature culms, 15 gal., SEE BELOW FOR SOURCE	-
Bamboo Source- Tropical Bamboo Nursery & Gardens Tag for approval prior to install 2929 G Road E, Loxahatchee, Florida 33470 Office: 561.784.2413			
260	CC	Chlorophytum comosum / Variegated Spider Plant 10" o.a., 12" o.c.	-
13	CI*	Chrysobalanus icaco "Red Tip" / Red Tip Cocoplum 20" ht. x 12-15" spr., 24" o.c.	VERY
11	CG	Clusia guttifera / Small Leaf Clusia 36" ht. x 20-24" spr., full to ground	VERY
8	CP	Crinum procerum var. splendens / Queen Emma's Purple Crinum 30-36" ht., single plant	VERY

Plant Key continued			
Quantity	Plan Symbol	Botanic Name / Common Name Specification	Degree of Drought Tolerance
9	CP*	Crinum procerum var. splendens / Queen Emma's Purple Crinum Existing, relocated as necessary from south side planters. Verify quantity. Add new or substitute extras as required for quantity.	VERY
3	CS	Chamaedorea seifrizii / Reed Palm 6' ht., 10 main stems with suckers, full	-
4	CVG	Codiaeum variegatum 'Gold Dust' / Gold Dust Croton 36" ht. x 24" spr., full	VERY
4	CVZ	Codiaeum variegatum 'Zanzibar' / Zanzibar Croton 20" ht. x 12-15" spr., 24" o.c.	VERY
45	DT	Dianella tasmanica 'Variegata' / White Striped Tasman Flax Lily 12" o.a., full, 15" o.c.	VERY
15	EH	Equisetum hyemale / Rough Horsetail 18" ht., full	-
136	FM	Ficus microcarpa 'Green Island' / Green Island Ficus 12" ht. x 12-15" spr., 24" o.c.	VERY
3	IC*	Ilex cassine / Dahoon Holly 16" ht. x 6' spr.	VERY
105	JV	Jasminum volubile / Wax Jasmine 18" o.a., full, 24" o.c.	VERY

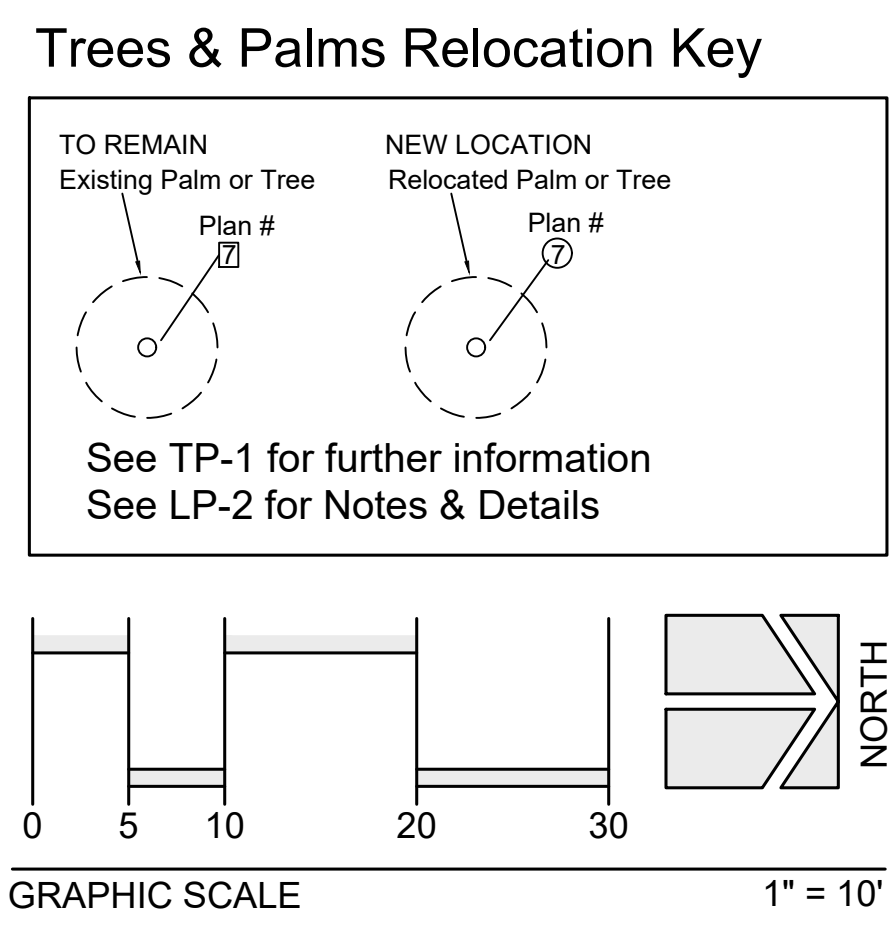
Plant Key continued			
Quantity	Plan Symbol	Botanic Name / Common Name Specification	Degree of Drought Tolerance
71	MF*	Myriacanthus fragrans / Simpson's Stopper 20" ht. x 12-15" spr., 24" o.c.	VERY
6	PM	Podocarpus macrophyllus / Yew Podocarpus 48" ht. x 24" spr., full to ground	MOD
1	PO	Plumeria obtusa / Pink Frangipani 10' ht. x 5-6' spr., 5' c.t., balanced branching	VERY
6	PS	Ptychosperma schefferi / Scheffer's Palm 12' ht. o.a., min. 4 main trunks, with suckers, sun grown	MOD
1	RE	Rhapis excelsa / Lady Palm 4-5' ht. x 30" spr., full with suckers	-
16	SA	Schefflera arboricola 'Trinette' / Variegated Schefflera 20" ht. x 12-15" spr., 24" o.c.	MOD
5	SP*	Sabal palmetto / Cabbage Palm c.t. ht. as noted on plan, slick trunk, matched in trunk character	VERY
* = Native to Florida			
Abbreviations: ht. - height c.t. - clear trunk o.c. - on-center spacing o.a. - overall spr. - spread			

NOTES

- All prohibited plant species shall be eradicated from the development site and reestablishment of prohibited species shall not be permitted.
- Any trees or shrubs placed within water, sewer, or drainage easements shall conform to the City of Delray Beach Standard Details; LD 1.1 & LD 1.2., see LP-2.

NOTE -
The Contractor is responsible to verify all quantities and report any discrepancies to the Landscape Architect.

Drought tolerance noted is per SFWMD (May 2003) "Waterwise", South Florida Edition or University of Florida IFAS Extension Service, as applicable.



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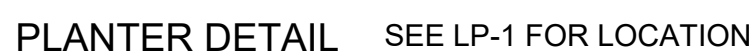
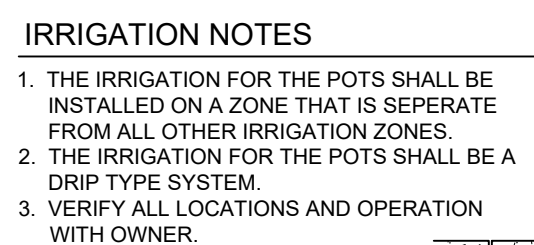
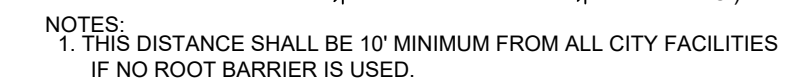
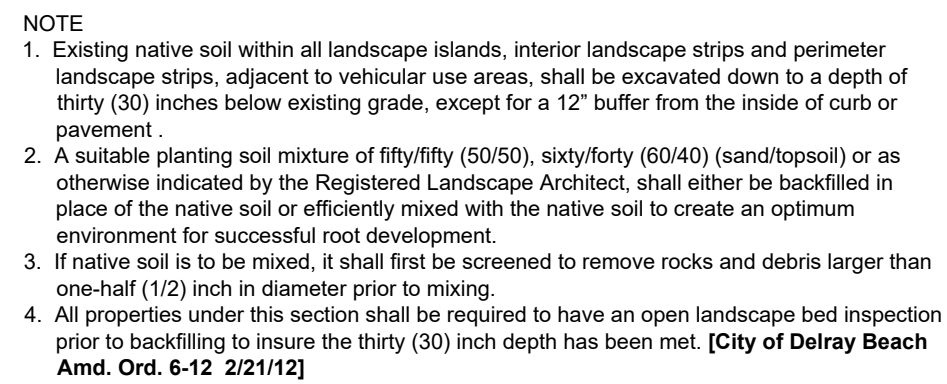
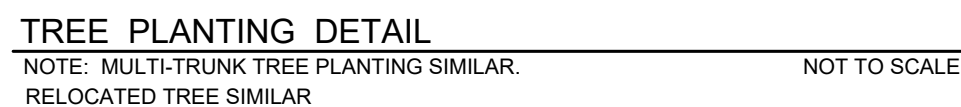
Landscape Plan
640 East Atlantic Avenue
Delray Beach, Florida

Date 08-17-2015
Scale As Noted
PN# 1147

PREPARED BY
Steven E. Tate, R.L.A.
Landscape Architect #967
State of Florida
for the firm

DATE 05-13-2019

Drawing No.
LP-1
OF 2



N.T.S.

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Urban Planning ♦ Landscape Architecture

Delray Beach
Florida

DATE 05-13-2019

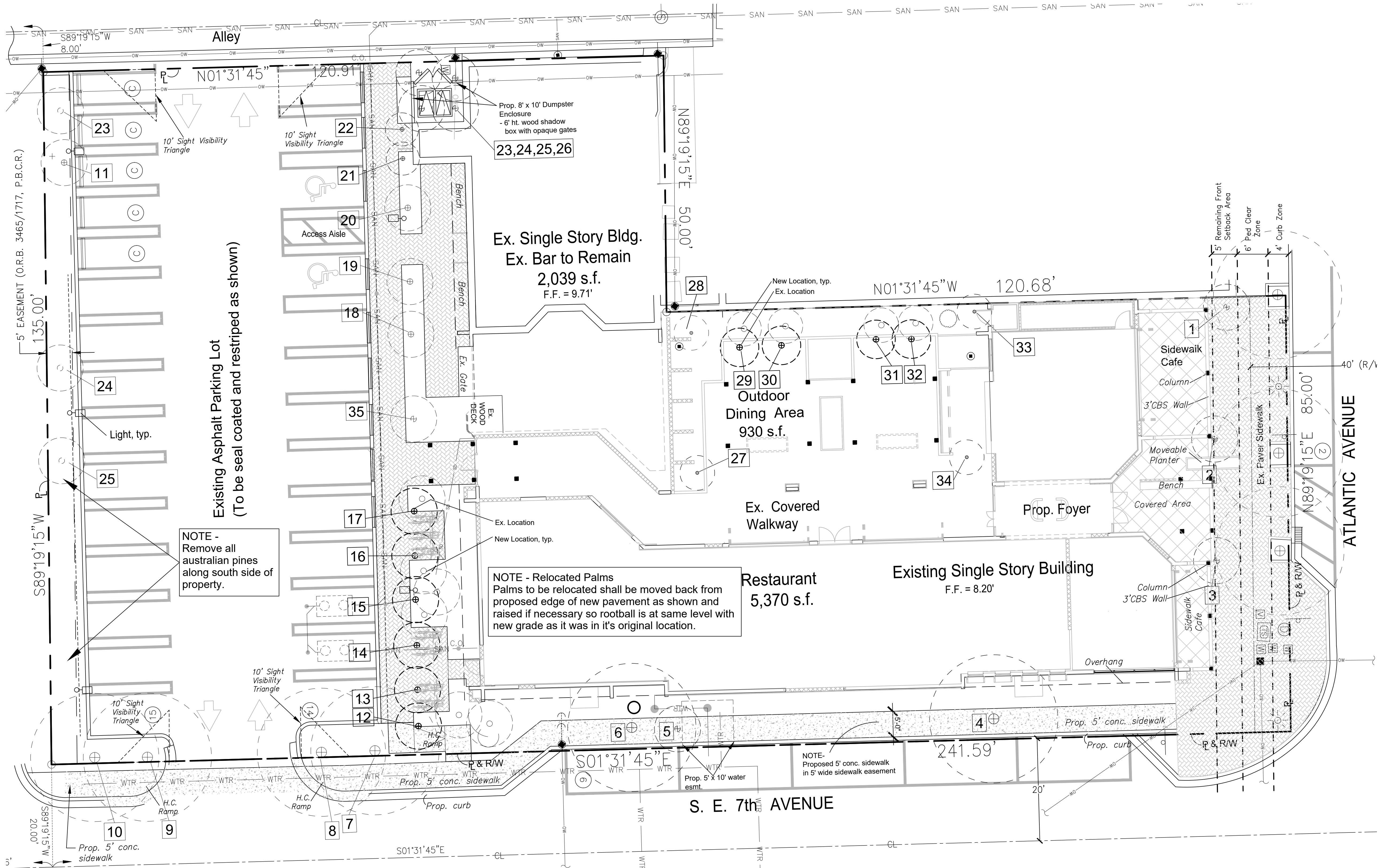
Drawing No.
LP-2
OF 2



1. All landscape and specifications shall meet or exceed the minimum requirements as provided by the City of Delray Beach Land Development Code.
2. All plant material shall meet or exceed Florida Grade #1 as specified in Grades and Standards for Nursery Plants, current edition.
3. All sizes shown for plant material on the plan are to be considered as minimums. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan will also be required for acceptance.
4. Landscape shall be placed to edge of abutting ROW, canals, lakes or other lands.
5. All mechanical equipment, air conditioning, irrigation pump stations and equipment, flp transformers, pool pumps, etc. must be screened on three (3) sides by landscape shrubs. Note: the quantity of screening shrubs may be in addition to the required number of shrubs as provided in the code calculation table. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary.
6. Guying/staking practices shall not permit nails, screws, wires, etc. to penetrate outer surfaces of trees, palms or other planted material. Trees, palms and plant material will be rejected due to this practice.
7. Burlap material, wire cages, plastic/canvas straps, etc. must be cut and removed for the top one-half (1/2) depth of the root ball. Trees and shrubs grown in grow bags or grow bag type material must have such material removed entirely prior to planting the tree or shrub.
8. All plant material shall be free of pests, insects, disease, weeds, etc.
9. All plant material shall be planted at the proper depths, as originally grown and/or so the top of the root ball is flush or slightly above finished grade immediately after planting. All trees should provide trunk taper when properly planted at the correct planting depth.
10. All plant material shall be watered in at time of planting to eliminate air pockets in the root zone area.
11. Upon completion of work, the site shall be cleared of all debris, superfluous materials, and equipment caused by this permit.
12. All landscaped areas shall be provided with an underground fully automatic irrigation system using pop-up sprinklers. System shall provide 100% coverage with a 75% overlap (minimum) using rust-free water, except any preserved areas remaining in natural state. A rain sensor device or switch shall be installed that will override the irrigation system when adequate rainfall has occurred. Water shall not be directed and/or provided onto impervious surfaces and/or be designed or installed to throw water over an impervious surface such as a sidewalk, etc. Hours of operation for all irrigation systems shall be limited to 5:00 p.m. to 8:00 a.m. only or as may be further restricted by South Florida Water Management District or other jurisdictional agency.
13. All plant material and work shall be guaranteed for one-year from date of final job acceptance. During the one year guarantee, any plant material that dies or is in an unhealthy condition shall be replaced with the same plant type at least equal to the size and quality originally specified. The replacement material shall also be guaranteed for one year from the date of its installation. The guarantee will be null and void if plant material is damaged or killed by lightning, hurricane force winds, hail or freeze.
14. The landscape contractor is responsible for verifying there are no conflicts with above or below ground utilities prior to commencing landscape installation. Notify owner if conflicts exist.
15. Any trees to remain shall be pruned in such a way to promote proper horticultural and natural tree growth.
16. All trees and palms shall be placed a minimum of 10' from underground utilities. See detail this sheet.
17. Ground covers shall be spaced as noted or to insure ground cover within 6 months of planting.
18. Place sod on smooth sod bed. Remove any rocks and other debris prior to sodding. Sod shall be placed so there are no gaps or voids between pieces. on slopes place sod at 90° to slope direction. Stake sod or otherwise ensure its establishment on slopes.
19. Mulch shall be eucalyptus or melaleuca mulch. All trees in sod areas are to have a 30" ring covered with a 3" layer of mulch. Cover all shrub beds with a 3" layer of mulch.
20. All plant material shall be fertilized with a tablet form balanced fertilizer containing minor elements. Follow manufacturer's recommendations for rates. sod areas shall be fertilized with a granular form balanced fertilizer with minor elements following manufacturer's recommendations for rates.
21. Planting soil shall be a mix of 1/3 native soil, 1/3 clean sand & 1/3 peat. If native soil is unacceptable, contact landscape architect.
22. Reinforced concrete curbing at least 6" in height shall be provided around all landscape islands and as a separator between all landscape areas that are adjacent to vehicular use areas unless such curbing will interfere with the drainage the drainage.
23. The landscape irrigation system shall utilize reclaimed water ,when available, from one master meter located at the property line. Coordinate location and service with the City of Delray Beach Public Utilities Department.

ALWAYS CALL TWO FULL BUSINESS DAYS BEFORE YOU DIG

CALL
811
sunshine 811



Existing Asphalt Parking Lot
(To be seal coated and restriped as shown)

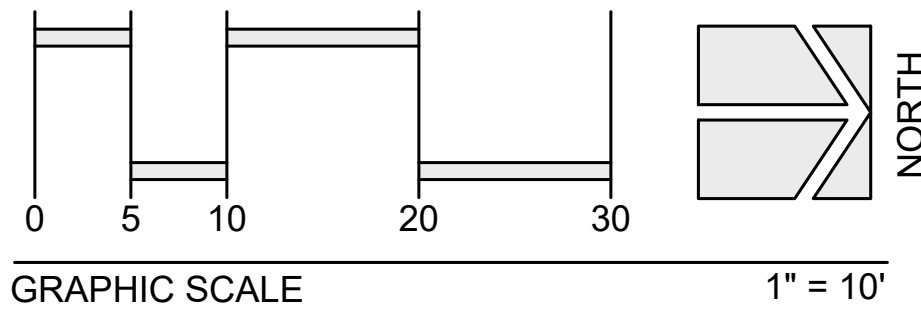
NOTE - Remove all
australian pines
along south side of
property.

Ex. Single Story Bldg.
Ex. Bar to Remain
2,039 s.f.
F.F. = 9.71'

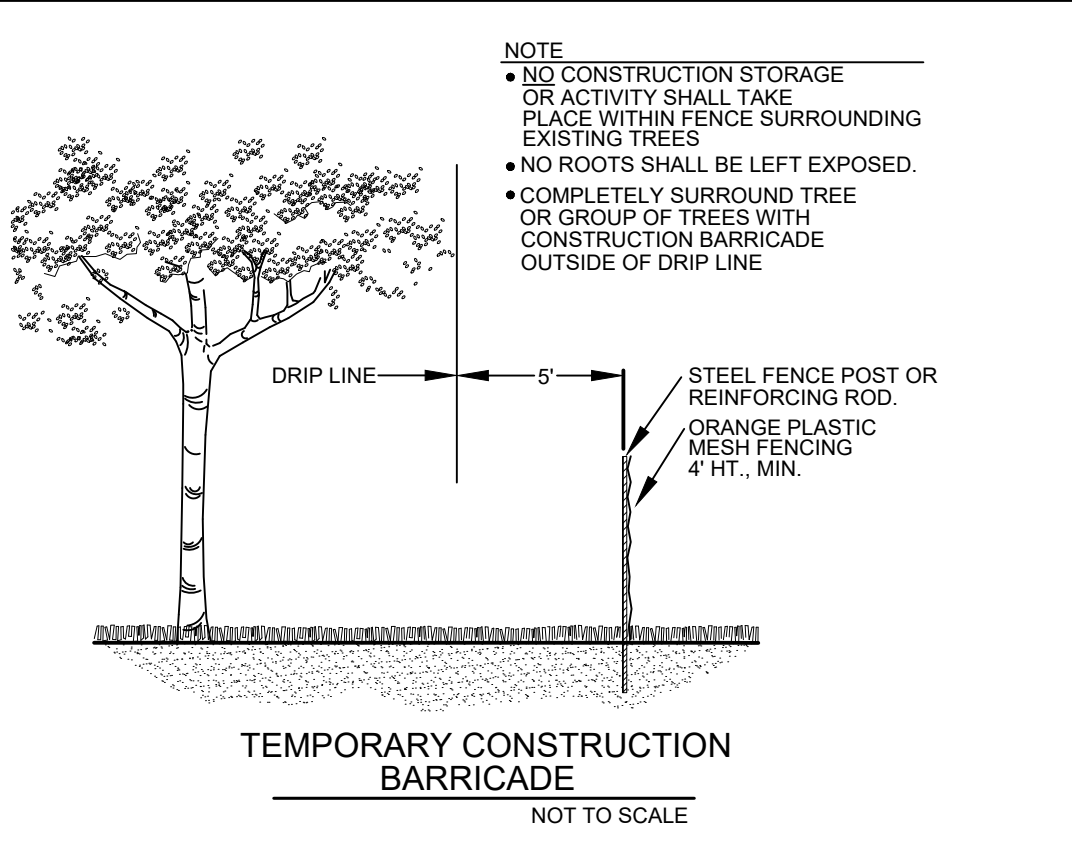
NOTE - Relocated Palms
Palms to be relocated shall be moved back from
proposed edge of new pavement as shown and
raised if necessary so rootball is at same level with
new grade as it was in it's original location.

Restaurant
5,370 s.f.

Existing Single Story Building
F.F. = 8.20'



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sunshine.811.com



Key - Existing Trees on Site

Plan #	Common Name / Botanic Name	Proposed Disposition	Plan #	Common Name / Botanic Name	Proposed Disposition
1	Sabal palmetto / Cabbage Palm	REMOVE	27	Phoenix roebelinii / Dwarf Date Palm	REMOVE
2	Wodyetia bifurcata / Foxtail Palm	REMOVE	28	Dypsis lutescens / Areca Palm	RELOCATE
3	Wodyetia bifurcata / Foxtail Palm	REMOVE	29	Ptychosperma elegans / Alexander Palm	RELOCATE
4	Calophyllum inophyllum / Brazil Beauty Leaf	REMOVE	30	Ptychosperma elegans / Alexander Palm	RELOCATE
5	Sabal palmetto / Cabbage Palm	REMOVE	31	Ptychosperma elegans / Alexander Palm	RELOCATE
6	Calophyllum inophyllum / Brazil Beauty Leaf	REMOVE	32	Ptychosperma elegans / Alexander Palm	RELOCATE
7	Quercus virginiana / Live Oak	RELOCATE	33	Dypsis lutescens / Areca Palm	REMOVE
8	Quercus virginiana / Live Oak	RELOCATE	34	Phoenix roebelinii / Dwarf Date Palm	REMOVE
9	Quercus virginiana / Live Oak	RELOCATE	35	Caryota sp. / Fishtail Palm	RELOCATE
10	Quercus virginiana / Live Oak	RELOCATE			
11	Sabal palmetto / Cabbage Palm	RELOCATE			
12	Wodyetia bifurcata / Foxtail Palm	RELOCATE			
13	Wodyetia bifurcata / Foxtail Palm	RELOCATE			
14	Wodyetia bifurcata / Foxtail Palm	RELOCATE			
15	Wodyetia bifurcata / Foxtail Palm	RELOCATE			
16	Wodyetia bifurcata / Foxtail Palm	RELOCATE			
17	Wodyetia bifurcata / Foxtail Palm	RELOCATE			
18	Wodyetia bifurcata / Foxtail Palm	RELOCATE			
19	Wodyetia bifurcata / Foxtail Palm	RELOCATE			
20	Wodyetia bifurcata / Foxtail Palm	RELOCATE			
21	Veitchia merrillii / Christmas Palm	RELOCATE			
22	Veitchia merrillii / Christmas Palm	RELOCATE			
23	Conocarpus erectus sericeus / Silver Buttonwood	RELOCATE			
24	Conocarpus erectus sericeus / Silver Buttonwood	RELOCATE			
25	Conocarpus erectus sericeus / Silver Buttonwood	RELOCATE			
26	Conocarpus erectus sericeus / Silver Buttonwood	RELOCATE			

NOTE - Existing Trees to Remain
Existing hardwood trees to remain shall be pruned
by a Certified Arborist. This pruning shall consist
of canopy thinning and structural pruning

NOTE
1. See tree barricade detail for trees to remain.
2. Trees & palms to remain shall be pruned
pursuant to ANSI A300 remove dead, diseased
or broken branches and suckers.

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Tree Preservation & Removal Plan
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Date 08-17-2015
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- for the firm -
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OF 1