



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Delray Health and Wellness
Project Location: 2702 North Federal Highway
Request: Class V Site Plan, Landscape Plan and Architectural Elevations for the construction of a 4,761 square foot medical office building and gymnasium.

Board: Site Plan Review and Appearance Board
Meeting Date: April 27, 2016

Board Action:

Approved the Site Plan, Landscape Plan and Architectural Elevations on a 5 to 0 vote (Jim Knight absent, Andrew Youngross stepped down).

Project Description:

The subject property is located on the west side of North Federal Highway, 440 feet south of Gulfstream Boulevard (2702 North Federal Highway). The development proposal consists of the following the construction of a 4,761 square foot medical office building and gymnasium.

Board Comments:

The Board felt that the project will be a good addition to the North Federal Highway corridor. The architectural style of the building will be a good fit and improve the image of the area.

Public Comments:

There were no comments from the public.

Associated Actions: All required actions necessary were taken with the Board's approval. No relief is necessary with this project.

Next Action: The SPRAB action is final unless appealed by the City Commission.

Attachment:

Site Plan Review and Appearance Board Staff Report – April 27, 2016

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: April 27, 2016

ITEM: Delray Health and Wellness – Class V Site Plan, Landscape Plan, Architectural Elevations Associated With The Construction Of A 4,761 Square Foot Medical Office And Gymnasium On The West Side Of North Federal Highway, 440 Feet South of Gulfstream Boulevard (2702 North Federal Highway).

RECOMMENDATION Approval

GENERAL DATA:

Agent..... GE Architecture, Inc.

Owner/Applicant..... Delray Health and Wellness, Inc.

Location..... West side of North Federal Highway, 440 feet south of Gulfstream Boulevard.

Property Size..... 0.48 Acres

Future Land Use Map..... GC (General Commercial)

Current Zoning..... GC

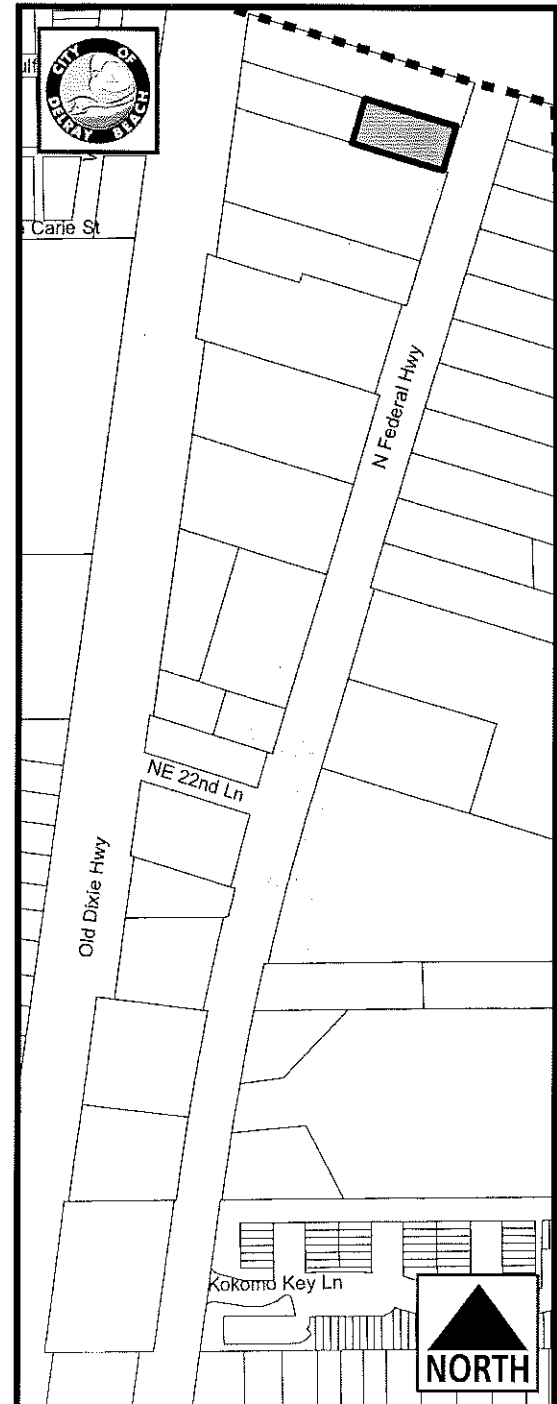
Adjacent Zoning..... North: GC
South: AC (Automotive Commercial)
East: GC
West: GC

Existing Land Use..... Vacant

Proposed Land Use..... Medical Office and Gymnasium

Water Service..... Existing on site

Sewer Service..... Existing on site



ITEM BEFORE THE BOARD

The action before the Board is approval of a Class V Site Plan for the **Delray Health and Wellness**, pursuant to LDR Section 2.4.5(F)(5):

- ☐ Site Plan;
- ☐ Landscape Plan; and
- ☐ Architectural Elevations.

The subject property is located on the west side of North Federal Highway, 440 feet south of Gulfstream Boulevard (2702 North Federal Highway).

BACKGROUND

The subject property consists of Lot 2 of the Jennings's Subdivision and contains 0.48 acres.

The property is vacant and undeveloped. The property contains no development history aside from the plat approval.

The site plan request is now before the Board for action.

PROJECT DESCRIPTION

The development proposal consists of the following:

- Construction of a 4,761 square foot medical office building and gymnasium;
- Construction of 23 parking spaces; and
- Installation of associated landscaping.

SITE PLAN ANALYSIS

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

LDR Section 4.3.4(K) Development Standards Matrix:

The following table indicates that the proposal complies with LDR Section 4.3.4(K) and 4.4.9(F) as it pertains to the GC zone district:

		Standard	Provided
Maximum Building Height		48'	23'
Minimum Building Setbacks	Front (East)	Min.5'/max. 15'	5' 2"
	Rear (West)	10'	80' 8"
	Side Interior (North)	0'	10' 2"
	Side (Interior)South	0'	27' 2"
Open Space		25%	25%

LDR Chapter 4.6 Supplementary District Regulations:

Parking:

Pursuant to Land Development Regulation (LDR) Section 4.6.9(C)(4)(c), medical offices are required to provide 5 spaces per 1,000 square feet of gross floor area. Per LDR Section 4.6.9(C)(3)(a), general commercial uses (gymnasiums) are required to provide 4.5 spaces per 1,000 square feet of gross floor area. The proposed development provides 2,078 square feet of medical office and 2,683 square feet of gymnasium floor area. Based on this the proposed development is required to provide 22 parking spaces. The proposed site plan complies with this requirement since 23 parking spaces are provided.

Sidewalk:

Pursuant to LDR Section 6.1.3(B)(1)(c), the required minimum sidewalk width along Federal Highway is 5 feet and 4 feet exists. The applicant proposes to widen the existing sidewalk to 5 feet. Thus, the development will comply with the minimum sidewalk width.

Lighting:

A photometric plan has been submitted that demonstrates compliance with LDR Section 4.6.8. The parking area will be illuminated with light poles, and the pathways and building entrances will be illuminated with wall mounted light fixtures.

Technical Items: While the revised site plan has accommodated most of the staff concerns the following item remain outstanding, and will need be addressed prior to issuance of a building permit.

1. Provide the in-lieu payment of \$11,000 for a bus shelter.

LANDSCAPE ANALYSIS

The landscaping consists of Green Buttonwood trees, Silver Buttonwood trees, Japanese Blueberry trees, East Palatka Holly trees, Triple Montgomery Palms, Imperial Bromeliad, Perfection Bromeliad, Small Leaf Clusia, Blueberry Flax Lilly, Variegated Draceana, Podocarpus hedge, White Indigo Berry, Conical Topiary, and Dwarf Asian Jasmine. The applicant proposes to remove all of the existing trees on the site consisting of Tropical Almond, and three Sabal Palms. The proposed landscape plan

complies with the City's Land Development Regulations (Section 4.6.16), provided the technical items noted below are addressed:

Landscape Technical Items: The following Landscape Plan items remain outstanding, and will need to be addressed prior to certification of the site plan.

1. That the graphical errors with respect to the placement of trees within the parking lot and on top of other trees be corrected.

ARCHITECTURAL ELEVATIONS

Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed building is an contemporary interpretation with vernacular influences. One of the most prominent features of the building is the curved field house roof. The primary wall colors of the building consist of Beeswax (peach), Bennington Gray (dark beige), and Arcadia White (off white). The proposed architectural expression will provide an interesting mix to the streetscape along North Federal Highway that will be an asset to the eclectic mixture of styles in this corridor. Based on the above, a positive finding with respect to LDR Section 4.6.18(E) can be made.

REQUIRED FINDINGS

Pursuant to Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body, which has the authority to approve or deny the development application. These findings relate to the following areas:

Section 3.1.1(A) - Future Land Use Map:

The subject property has a GC (General Commercial) Future Land Use Map and Zoning Map designation. Pursuant to the LDR Section 4.4.9(B)(2), medical offices and gymnasiums are allowed as principal uses in the GC zoning district. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map designation.

Section 3.1.1 (B) - Concurrency:

As described in Appendix A, a positive finding of concurrency can be made as it relates to water, sewer, streets and traffic, drainage, parks and recreation, open space, schools, and solid waste.

Section 3.1.1 (C) - Consistency (Standards for Site Plan Actions):

As described in Appendix B, a positive finding of consistency can be made as it relates to Standards for Site Plan Actions.

Section 3.1.1 (D) - Compliance With the Land Development Regulations:

As described under the Site Plan Analysis of this report, a positive finding of compliance with the LDRs can be made, when all outstanding items attached as conditions of approval are addressed.

Comprehensive Plan Policies:

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives or policies were noted.

Future Land Use Element Objective A-1 - Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

The property has not been developed and is within a mixed use and commercial corridor (North Federal Highway). The proposed medical office and gymnasium are consistent with the surrounding commercial uses. Further, the proposed development is consistent with the North Federal Highway Redevelopment Plan by providing an office use and locating the building along Federal Highway with no parking. There are no special physical or environmental characteristics of the land that would be negatively impacted by the proposed development.

Transportation Element Policy D-2.2: Bicycle parking and facilities shall be required on all new development and redevelopment. Particular emphasis is to be placed on development within the TCEA Area.

The development proposal provides two bicycle racks on the east side of the building. Based on the above, the policy has been met with the proposed development.

Section 2.4.5 (F)(5) - Compatibility (Site Plan Findings): The approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The subject property is bordered on the north, east and west by GC (General Commercial), and on the south by AC (Automotive Commercial) zoned property. The surrounding land uses are an office to the north, used car dealership to the south, restaurant to the east, and contractors office/warehouse to the west. Given the site design and uses, a positive finding that the proposed development will be compatible with the adjacent and nearby properties can be made.

REVIEW BY OTHERS

The subject property is not in a geographical area requiring review by the DDA (Downtown Development Authority) and HPB (Historic Preservation Board).

Community Redevelopment Agency

At its meeting of March 24, 2016, the CRA reviewed and recommended approval of the proposed site plan.

Courtesy Notices:

Special courtesy notices were provided to the following homeowners and civic associations:

- ☐ Kokomo Key
- ☐ La Hacienda Homeowners Association
- ☐ Neighborhood Advisory Council

Letters of support and objection, if any, will be presented at the SPRAB meeting.

ASSESSMENT AND CONCLUSION

The development proposal involves the construction of a new medical office building and gymnasium. The architecture of the building will be an asset to North Federal Highway. The proposed development is consistent with the policies of the Comprehensive Plan and Chapter 3 of the Land Development Regulations. Positive findings can be made with respect to Section 2.4.5(F)(5) regarding compatibility of the proposed development with surrounding properties.

ALTERNATIVE ACTIONS

- A. Postpone with direction.
- B. Move approval of the request for Class V site plan, landscape plan, and architectural elevations for **Delray Health and Wellness**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), 4.6.18(E), and Chapter 3 of the Land Development Regulations, subject to the attached conditions of approval.
- C. Move denial of the request for Class V site plan, landscape plan, and architectural elevations for **Delray Health and Wellness**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(F)(5), 4.6.18(E), 2.4.7(B)(5), and Chapter 3 of the Land Development Regulations.

STAFF RECOMMENDATION

By Separate Motions:

Site Plan:

Approve the request for a Class V site plan for **Delray Health and Wellness**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), and Chapter 3 of the Land Development Regulations, subject to the following condition:

1. Address all Site Plan and Engineering Technical Items and submit three (3) copies of the revised plans.
2. That a finding of concurrency be submitted from the Palm Beach County Traffic Engineering Division.

Landscape Plan:

Approve the landscape plan for **Delray Health and Wellness** based on positive findings with respect to Section 4.6.16 of the Land Development Regulations, subject to the condition that all that all Landscape Technical Items are addressed and three (3) copies of the revised plans are submitted.

Architectural Elevations:

Approve the architectural Elevations for **Delray Health and Wellness** based upon positive findings with respect to LDR Section 4.6.18.

Attachments:

- Appendix A
- Appendix B
- Site Plan, Landscape Plan, and Architectural Elevations.

Report prepared by: Scott D. Pape, AICP, Principal Planner

APPENDIX A

CONCURRENCY FINDINGS

Pursuant to Section 3.1.1(B) Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water & Sewer:

- ☐ Water service is to be provided via a service lateral connection to the existing 8" water main along the west side of the property. Adequate fire suppression is provided via three existing fire hydrants.
- ☐ Sewer service is to be provided via two service lateral connections to the existing 8" sewer main located within the Old Dixie Highway right-of-way.

Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Drainage:

A preliminary drainage plan has been submitted indicating that drainage will be accommodated via installation of an exfiltration system in the parking area. There are no problems anticipated in complying with South Florida Water Management District requirements and thus, obtaining a surface water permit.

Streets and Traffic:

A traffic impact analysis has been submitted that indicates that the proposed office building will generate 162 average daily trips and 18 peak p.m. trips. The traffic generated by the proposed use is minor and a finding of concurrency from the Palm Beach County Traffic Engineering Division is expected. Thus, a finding of concurrency can be made subject to the condition of approval that a finding of concurrency be submitted from the Palm Beach County Traffic Engineering Division.

Parks and Recreation Facilities:

Park and recreation requirements do not apply to nonresidential uses as they do not create a need or impact on this level of service standard.

Solid Waste:

Based upon the Solid Waste Authority's Trash Generation Rates, trash generated each year by the proposed 2,078 square foot medical office building will be 4.6 pounds per square foot per year or 4.78 tons annually. The trash generated by the 2,683 square foot gymnasium will be 10.2 pounds per square foot per year or 13.68 tons annually. The total trash generation of the proposed development will be 18.46 tons annually. The increase can be accommodated by existing facilities, thereby meeting this level of service standard. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals till the year 2047, thus a positive finding with respect to this level of service standard can be made.

School Concurrency:

A finding of concurrency is not required for the non residential project.

**APPENDIX B
STANDARDS FOR SITE PLAN ACTIONS**

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable X
Meets intent of standard _____
Does not meet intent _____

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable X
Meets intent of standard _____
Does not meet intent _____

- F. Vacant property shall be developed in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable x

Meets intent of standard _____

Does not meet intent _____

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable _____

Meets intent of standard x

Does not meet intent _____

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable _____

Meets intent of standard x

Does not meet intent _____

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable x

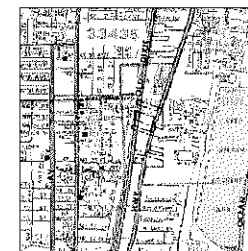
Meets intent of standard _____

Does not meet intent _____

ZONING			
SITE DATA FOR DELRAY HEALTH AND WELLNESS			
DELRAY HEALTH & WELLNESS		20,905 SQ. FT.	100%
TOTAL SITE AREA			
PERVIOUS AREAS:			
PROPOSED OFFICE / GYM - ONE STORY BUILDING FOOTPRINT	4,761 SQ. FT.	22.7%	
CONCRETE SIDEWALKS	1,015 SQ. FT.	4.7%	
DRIVEWAY / PARKING / CURBS	8,904 SQ. FT.	42.6%	
TOTAL IMPERVIOUS AREAS		14,680 SQ. FT.	70%
TOTAL PERVIOUS AREA (LANDSCAPING)		5,226 SQ. FT.	25%
ZONING: GO PROPOSED SETBACK:			
SETBACKS	5'-0" / 10'-0"	FRONT	5'-2" / 5'-2"
SIDE INTL.	5'-0"	SIDE INTL.	10'-0"
SIDE STREET	5'-0" / 10'-0"	SIDE STREET	N.A.
REAR	10'-0"	REAR	80'-5"
ALLOWABLE HT.	45'-0"	HT.	35'-0" APPROX.

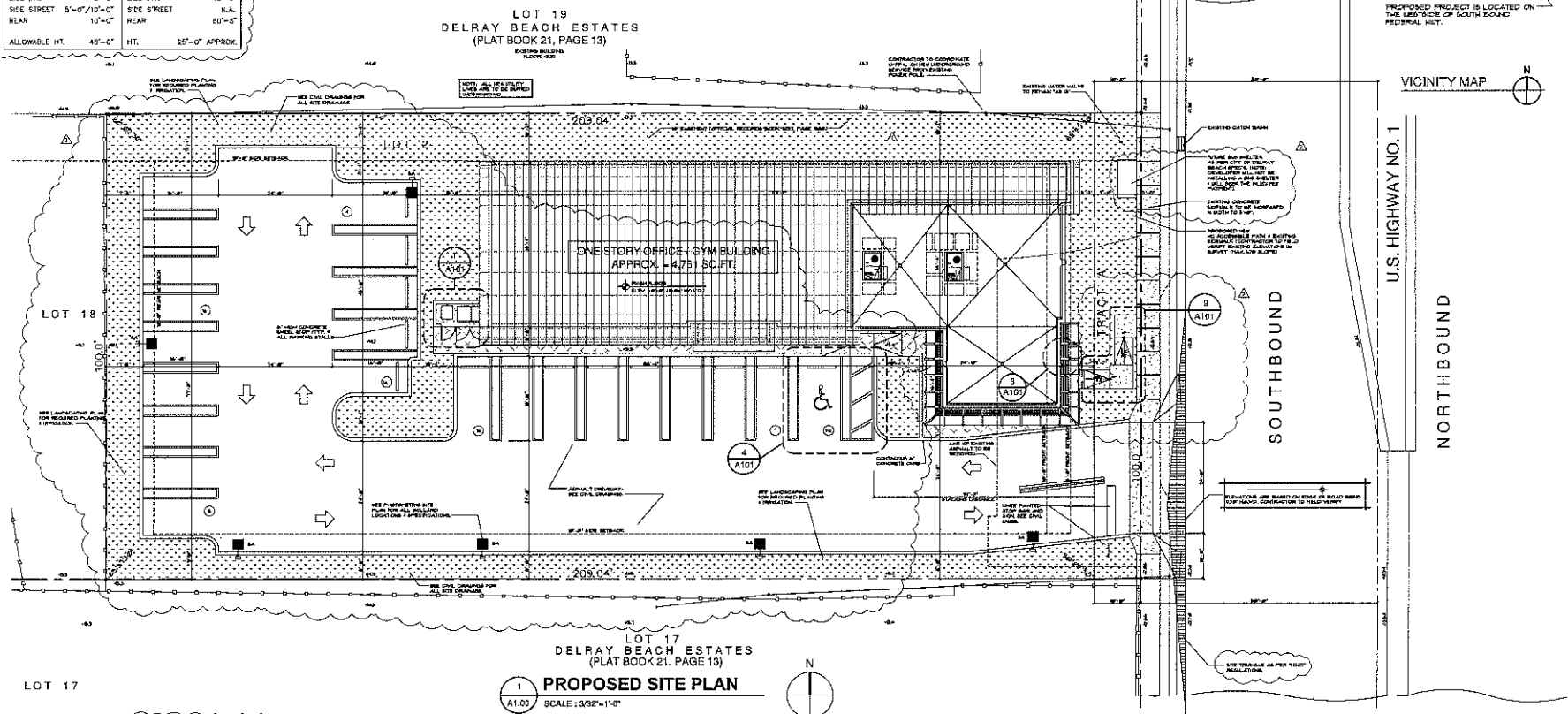
LEGEND:	
	GRASS
	NEW CONCRETE WALKWAY - SEE CIVIL DRAWINGS
	CONCRETE PAVERS (VERIFY W/ OWNER - SEE CIVIL DRAWINGS)
	METAL ROOF PANEL SYSTEM (SEE ROOF PLAN)

- NOTES:
- DO NOT SCALE DRAWINGS!
 - FIELD VERIFY ALL DIMENSIONS!
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
 - ALL AREA CALCULATIONS ARE APPROX.



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Architect, Planner and Designer
AA-26002044
225 George Bush Blvd
Boca Raton, Florida 33444
TEL: 561-275-8011
FAX: 561-275-8129
ISSUED FOR PLANNING & ZONING



LOT 17

LOT 17
DELRAY BEACH ESTATES
(PLAT BOOK 21, PAGE 13)

PROPOSED SITE PLAN

A1.00 SCALE: 1/32"=1'-0"

PARKING REQUIREMENTS

ZONING DESIGNATION: GC - GENERAL COMMERCIAL
PARKING REQUIRED OFFICE/GYM: 4.3 SPACES PER EVERY 1,000 NET SQ. FT. OF BLDG. FOR GYM SPACE = 2,681 S.F.
2,681 S.F. DIVIDED BY 1000 X 4.3 = 12 SPACES
5.0 SPACES PER EVERY 1,000 NET SQ. FT. OF BLDG. FOR OFFICE SPACE = 2,078 S.F.
2,078 S.F. DIVIDED BY 1000 X 5.0 = 10.39 SPACES

TOTAL PARKING REQUIRED: 22 PARKING SPACES
TOTAL M.C. PARKING REQUIRED: 1 SPACES REQUIRED

PARKING PROVIDED

1 H.C. SPACE (80" PARKING)
18 STANDARD SPACES (90" PARKING)
6 COMPACT SPACES (90" PARKING)
TOTAL PARKING SPACES PROVIDED = 25 SPACES

OCCUPANCY CLASSIFICATION

GROUP "A" BUSINESS
GROUP "A" ASSEMBLY
TYPE OF CONSTRUCTION

TYPE V
UNPROTECTED
SPRINKLERED

DESCRIPTION:

LOT 2, JENNINGS'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 80, PAGE 134, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
TRACT "A", JENNINGS'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 80, PAGE 134, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

GENERAL NOTES:

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSETS, ANCHORS, ANGLES, PLATES, OPENINGS, SLOTTES, HANGERS, SLAB DIMENSIONS AND FITTINGS AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION UNLESS SHOWN IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESS PRIOR WRITTEN CONSENT FROM THE ARCHITECT.
- SUBSURFACE SOIL CONDITION INFORMATION WERE PREPARED BY NUTTING ENGINEERING INC. DATED DECEMBER 11, 2014. THE PROPOSED SINGLE STORY BUILDING TO BE CONSTRUCTED ON A SHALLOW FOUNDATION (SEE STRUCTURAL DRAWINGS). THE CONTRACTOR SHOULD OBTAIN A COPY OF THE REPORT FROM ENGINEER AND REPORT ANY DIFFERING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.

PROJECT TITLE
DELRAY HEALTH & WELLNESS

2702 N. FEDERAL HWY
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

NO.	REVISION
1	REVISED 8/24/15 AS PER P.F.C. COMMENTS
2	REVISED 8/24/15 AS PER P.F.C. COMMENTS
3	REVISED 8/24/15 AS PER P.F.C. COMMENTS
4	REVISED 8/24/15 AS PER P.F.C. COMMENTS
5	REVISED 8/24/15 AS PER P.F.C. COMMENTS
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99	REVISED 8/24/15 AS PER P.F.C. COMMENTS
100	REVISED 8/24/15 AS PER P.F.C. COMMENTS

FILE NUMBER 825A100

DRAWING TITLE

PROPOSED SITE PLAN

DATE 10.7.15

DESIGNED BY GEM/J

JOB NUMBER 20150825

DRAWING NUMBER

A1.00

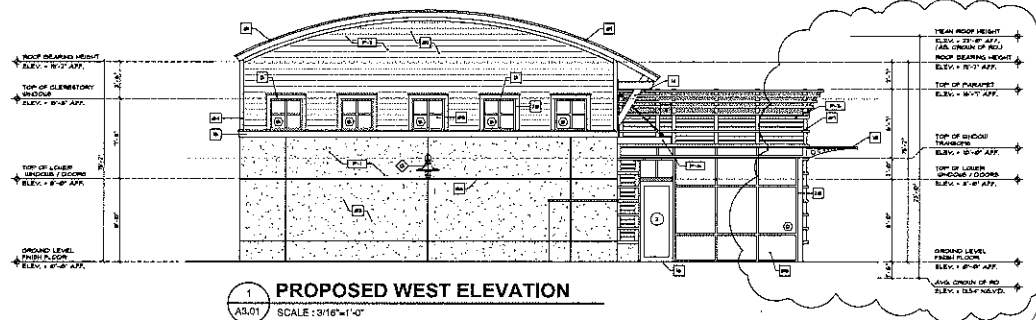
NOTED 414 - 10-6-15

NOTES:

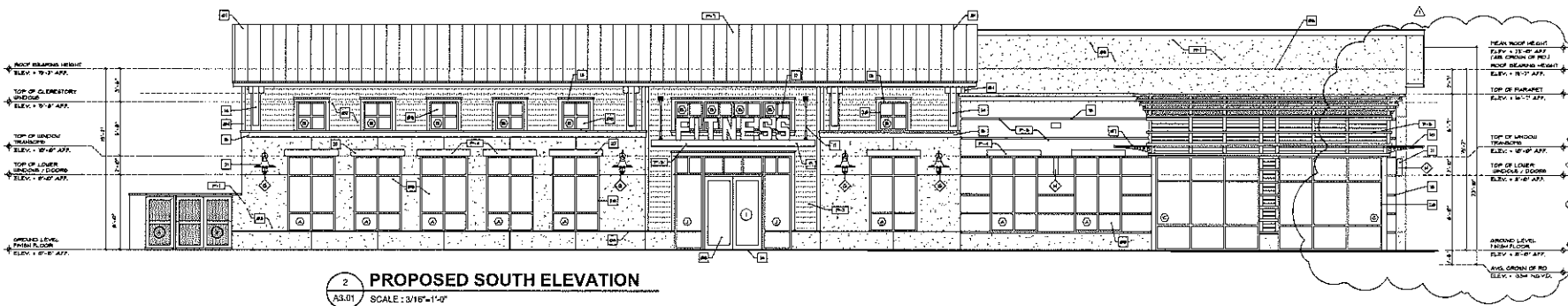
1. DO NOT SCALE DRAWINGS
2. FIELD VERIFY ALL DIMENSIONS
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.

METAL LATH APPLICATION
1. APPLY SCRATCH COAT OF
PRESSURE TO KEY WELL AND
INITIAL SET AND SCRATCH TO
2. APPLY BROWN COAT AFTER
SET FIRST AND HARD AND HAS
STRAIGHTENED TO A TRUE OF
USE OF ADDITIONAL WATER.
RECEIVE FINISH COAT.
3. OUTPUSH BROWN COAT BY
APPLICATION OF FINISH COAT
AND BRING FINISH COAT TO
FINISHED AS APPROVED BY
A THICK COAT WORKING COAT
4. COAT ATTACHED TO COAT
TOTAL THICKNESS 1/2 INCH
5. THINNER (3) COAT USING TOOL
(3) COAT ATTACHED TO METAL
THICK APPROXIMATE TOTAL THICKNESS
1/2 INCH MIN.

100



1 PROPOSED WEST ELEVATION
A3.01 SCALE : 3/16"=1'-0"



2 PROPOSED SOUTH ELEVATION
A3.01 SCALE: 3/16"=1'-0"

[illegible]

- [illegible]



ISSUED FOR	PLANNING & ZONING
BIDS	
PERMIT	2016
CONSTRUCTION	

PROJECT TITLE

**DELRAY HEALTH
& WELLNESS**

2702 N. FEDERAL HWY
DELRAY BEACH, FL

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISED 43.04.16 AS PER T&E COMMENTS	
2	REVISED ROOF OVERHANG	
3	ADDED AVG. GROUND	

THIS DRAWING IS NOT FOR CONSTRUCTION.
IT HAS BEEN ISSUED FOR ENVIRONMENTAL
REVIEW AND/OR PRELIMINARY PRICING
ONLY.

FILE NUMBER 8250301

DRAWING TITLE _____

PROPOSED ELEVATIONS

DATE _____ DRAWN BY _____

10.26.15 1 GEJCMJ

20150825

DRAWING NUMBER

1204

A3.01

1000



Delray Health and Wellness

LOCATION MAP

