



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Growl Enterprises

Meeting	File No.	Application Type
February 22, 2023	2022-269-SPI-SPR-CL1	Class I Site Plan Modification

Property Owner & Applicant

Joseph Penkalski

Request

Consideration of a Class I Site Plan Modification associated with the color change of the building to Benjamin Moore Thundercloud Gray, the removal of one swing door and overhead garage door on both the east and west façades, the addition of shed-style awnings above the existing doors, and a building height increase from 15 feet to 22 feet.

Site Data & Information

Location: 950 SW 15th Avenue

PCN: 12-43-46-20-05-002-0060

Property Size: 0.30 acres

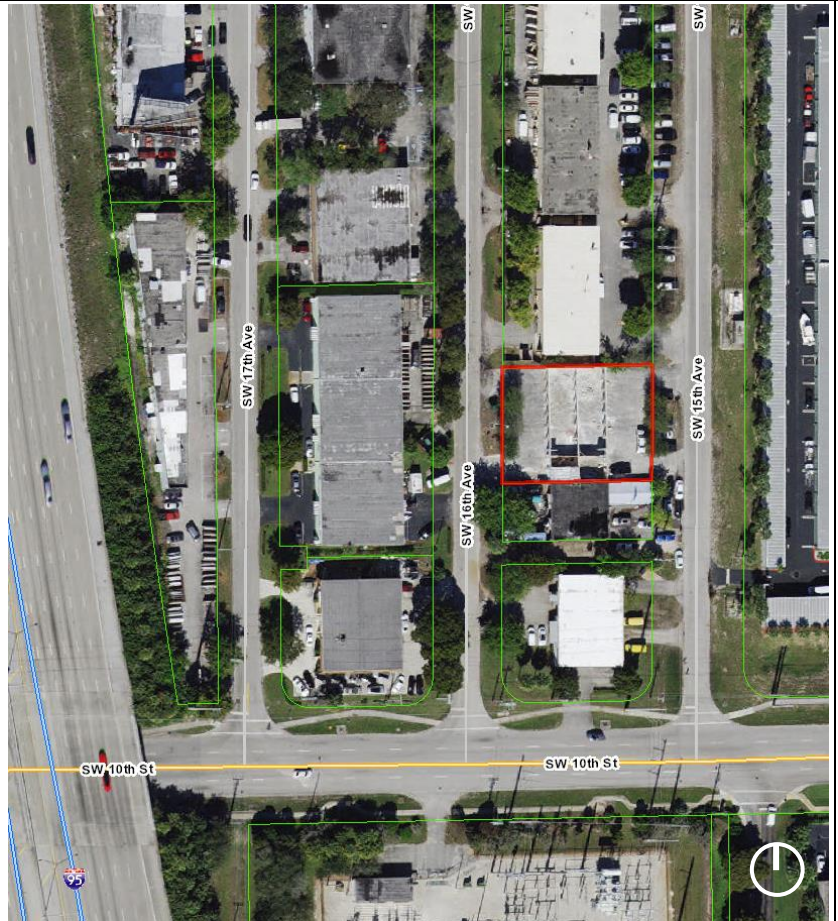
LUM: I (Industrial)

Zoning: IND (Industrial)

Adjacent Zoning:

- North, East, South, West: Industrial

Existing Land Use: Warehouse

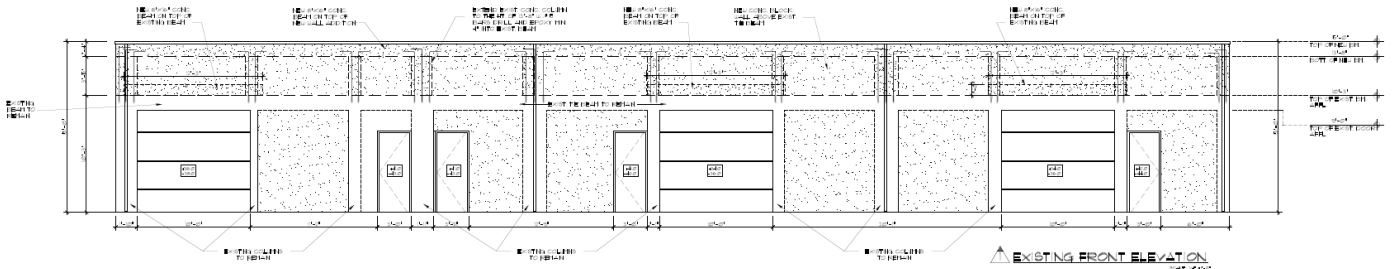


Background

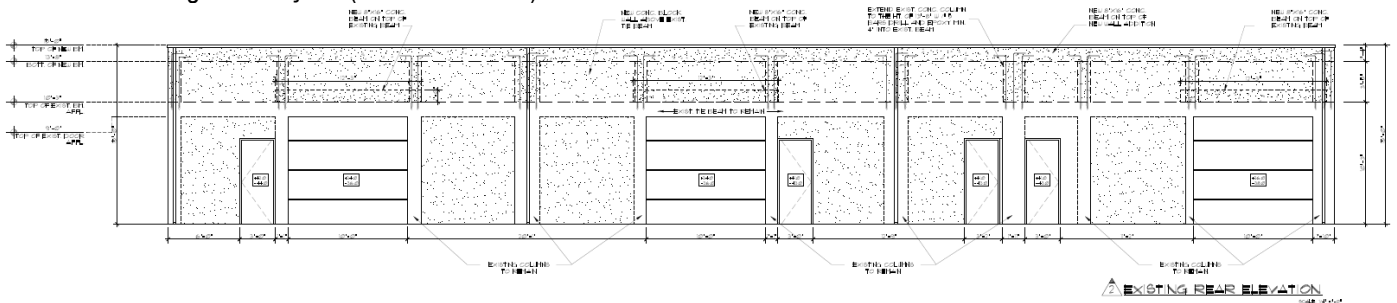
The existing 4,950 square foot warehouse was built in 1971 at a height of 12 feet and accommodated 18 storage bays.



A permit has been issued (Permit No. 20-189552) for exterior modifications associated with the increase of height from 12 feet to 15 feet and the decrease from 18 bays to three storage bays each with an office, approximately 100 square feet each. The elevations associated with the permit are provided below.



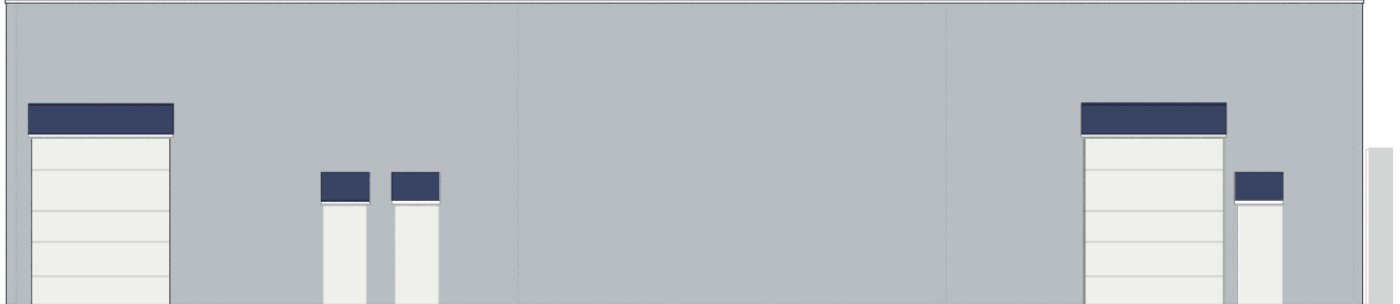
Existing East Façade (SW 15th Avenue)



Existing West Façade (SW 16th Avenue)

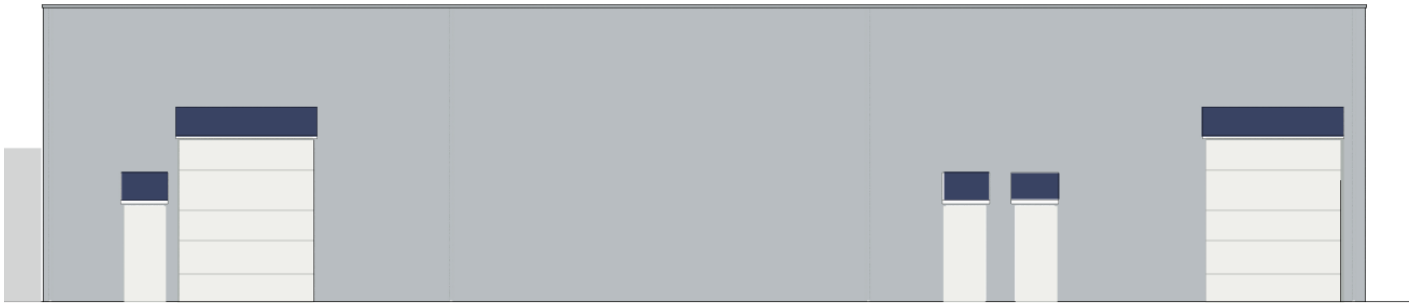
Description of Proposal

The request includes an additional height increase of the structure from 15 feet to 22 feet. The middle overhead garage door and swing door will be removed to create two storage bays, each with a 100 square foot office. The proposal includes a color change to Benjamin Moore Thundercloud Gray with deep sea blue shed-style awnings above the entrance and overhead doors.



PROPOSED FRONT ELEVATION
SCALE: 1/8" = 1'-0"

Proposed East Elevation (SW 15th Avenue)



PROPOSED REAR ELEVATION
SCALE: 1/8" = 1'-0"

Proposed West Elevation (SW 16th Avenue)

Review & Analysis: Site Plan and Zoning

LDR Section 2.4.5(G)(1)(b), Modifications to Site Plans and Master Development Plans: Class I

Approval of items listed in Section 2.4.5(I)(1) such as but not limited to: walls, fences, slabs, dumpster enclosures, sheds, etc. which do not require Board action; and changes in architectural elevations which require Board action.

The proposal includes changes in architectural elevations therefore requiring Board action.

Review & Analysis: Architectural Elevations

LDR Section 2.4.5(I)(1)(a), Architectural (Appearance) Elevations: Rules

The Site Plan Review and Appearance Board or the Historic Preservation Board, as appropriate, may approve, approve subject to conditions or deny architectural elevations or plans for a change in the exterior color of a building or structure, or for any exterior feature which requires a building permit.

The items identified in Section 2.4.5(I)(1)(b) are features and exterior color changes that are not significantly visible from the public street system, facade changes which do not significantly alter the style or image of a structure. The proposed changes are "visible from the public street system", and therefore, Board action is required.

LDR Section 2.4.5(l)(5), Architectural (Appearance) Elevations: Findings

At the time of action on architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.

LDR Section 4.6.18, Architectural Elevations and Aesthetics

(A) Minimum Requirements

- (1) The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.*
- (2) It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

The proposed modifications have been reviewed for compliance with the height regulations in LDR Section 4.3.4(K); a maximum height of 48 feet is allowed, whereas 22 feet is proposed. The additional height is significantly less than the maximum allowed and is deemed appropriate and compatible to the site's surroundings, which is largely made up of one-story non-descript industrial and warehouse buildings.

(B)(15), Building and Structure Requirements

Flat roofs shall be screened from the lateral view of adjacent properties by a parapet. New or replacement rooftop appurtenances, including mechanical equipment, shall be screened by a parapet, enclosure, or other method equal in height to the appurtenance. The screening must be integrated and compatible with the building architecture.

The flat roof is currently not screened by a parapet, as it was not required when the building was originally constructed. However, screening, whether there is rooftop equipment placed on the roof or not, is required. Table 4.3.4(J)(3), Height Exceptions Allowed, specifies that a parapet up to four feet in height is allowed, and does not require specific Board action. Therefore, Staff has added compliance with this requirement as a technical note. The Board can, however, require that the parapet be detailed appropriately with a decorative trim or coping consistent with the simple building design, as analyzed below.

(E) Criteria for Board Action

The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

- (1) The plan or the proposed structure, is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.*

The following Objectives and Policies are from the Neighborhoods, Districts, and Corridors Element of the Always Delray Comprehensive Plan is applicable to the subject request:

- Policy NDC 1.4.3 Use the Industrial land use designation to accommodate manufacturing, fabrication, assembly, and warehousing uses on properties where such uses currently exist and in areas identified as appropriate to continue or expand industrial-based uses.

The proposed modifications contribute to the image of the City and the surrounding industrial area. The improvements are not anticipated to not depreciate the appearance and value of the environment, and are anticipated to be harmonious with other developments along the corridor, as it incorporates similar colors in the surrounding buildings. With increasing redevelopment interest

in this area, many of the latest building improvements have incorporated more architectural detailing in the building design. Therefore, while industrial buildings are commonly designed with limited detail, the Board should consider whether additional detailing, specifically banding trim at the top of the required parapet, should be incorporated to further improve the overall appearance of the elevations.

Optional Board Motions

- A. Move **approval** of the Class I Site Plan Modification (2022-269) associated with the exterior modifications at **Growl Enterprises**, located at **950 SW 15th Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- B. Move **approval, as amended**, of the Class I Site Plan Modification (2022-269) associated with the exterior modifications at **Growl Enterprises**, located at **950 SW 15th Avenue**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- C. Move **denial** of the Class I Site Plan Modification (2022-269) associated with the exterior modifications at **Growl Enterprises**, located at **950 SW 15th Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.
- D. Move to **continue with direction**.

Technical Notes

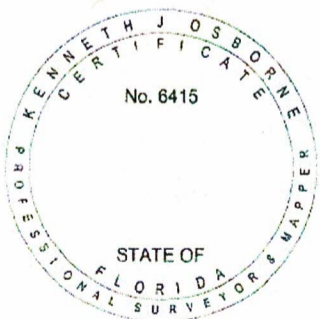
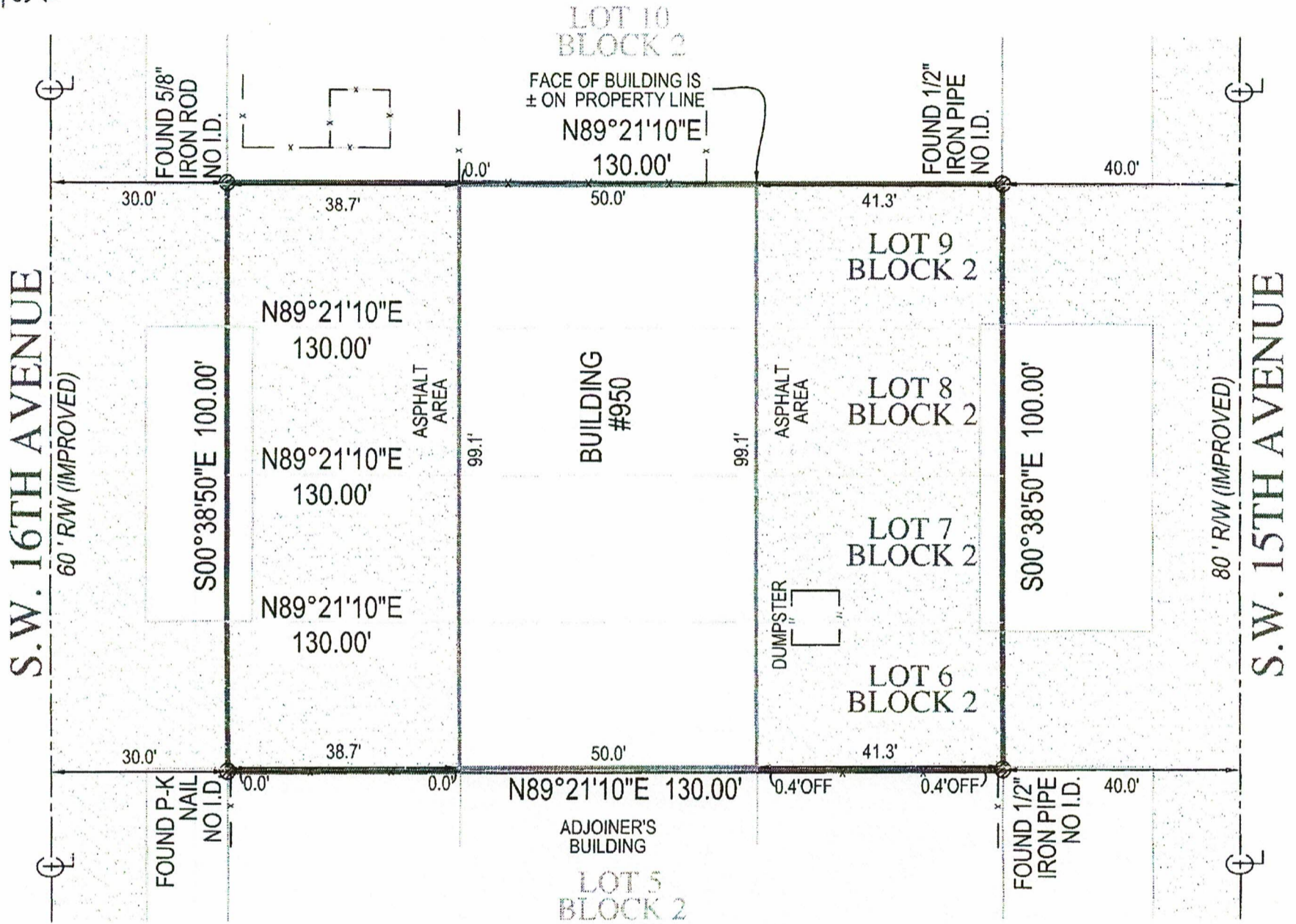
1. That a maximum 4-foot tall parapet be added to the structure to comply with 4.6.18(B)(15), prior to plan certification.

BOUNDARY SURVEY

SURVEY NOTES
THERE ARE FENCES NEAR THE BOUNDARY OF THE PROPERTY.

ADJOINER'S BUILDING IS NEAR SOUTHERLY PROPERTY LINE.

SCALE
1"=30'



SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

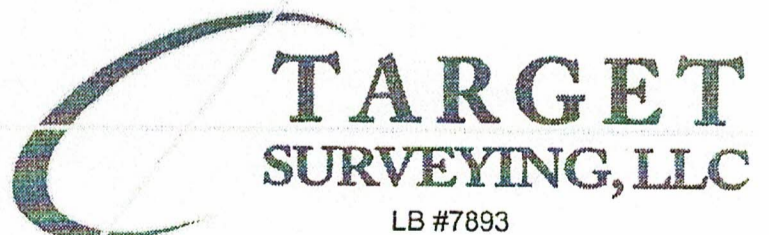
Kenneth J. Osborne

(SIGNED)

KENNETH J OSBORNE
PROFESSIONAL SURVEYOR AND MAPPER #6415

Kenneth J. Osborne Digitally signed by
Kenneth J. Osborne
Date: 2019.11.13
16:56:27 -05'00'

PAGE 2 OF 2 PAGES
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**TARGET
SURVEYING, LLC**

LB #7893

SERVING FLORIDA
6250 N. MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407
PHONE (561) 640-4800
STATEWIDE PHONE (800) 226-4807
STATEWIDE FACSIMILE (800) 741-0576
WEBSITE: <http://targetsurveying.net>

LEGAL DESCRIPTION AND CERTIFICATION

Lots 6, 7, 8, and 9, Block 2, DELRAY BEACH HEIGHTS EXTENSION SECTION A, according to the Plat thereof, as recorded in Plat Book 83, Page 26, of the Public Records of PALM BEACH County, Florida.

Community Number: 125102 Panel: 0979 Suffix: F Flood Zone: X Field Work: 11/12/2019

Certified To:

GROWL ENTERPRISES, LLC; SIMON AND SCHMIDT; MACMILLIAN & STANLEY, PLLC; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;

Property Address:














950 SW 15TH AVE
DELRAY BEACH, FL 33444

Survey Number: 393032

ABBREVIATION DESCRIPTION:

A.E. ANCHOR EASEMENT	F.F. EL. FINISH FLOOR ELEVATION	O.R.B. OFFICIAL RECORDS BOOK
A/C AIR CONDITIONER	F.I.P. FOUND IRON PIPE	(P) PLAT
B.M. BENCH MARK	F.I.R. FOUND IRON ROD	P.B. PLAT BOOK
B.R. BEARING REFERENCE	F.P.K. FOUND PARKER-KALON NAIL	P.C. POINT OF CURVATURE
(C) CALCULATED	(L) LENGTH	P.C.C. POINT OF COMPOUND CURVE
Δ CENTRAL / DELTA ANGLE	L.A.E. LIMITED ACCESS EASEMENT	P.O.B. POINT OF BEGINNING
CH CHORD	L.M.E. LAKE MAINTENANCE EASEMENT	P.O.C. POINT OF COMMENCEMENT
(D) DEED / DESCRIPTION	(M) MEASURED / FIELD VERIFIED	P.R.C. POINT OF REVERSE CURVE
D.E. DRAINAGE EASEMENT	M.H. MANHOLE	P.T. POINT OF TANGENCY
D.H. DRILL HOLE	N&D NAIL & DISK	R/W RIGHT-OF-WAY
D/W DRIVEWAY	N.R. NOT RADIAL	(R) RADIAL / RADIUS
E.O.W. EDGE OF WATER	N.T.S. NOT TO SCALE	S.I.R. SET IRON ROD
F.C.M. FOUND CONCRETE MONUMENT	O.H.L. OVERHEAD UTILITY LINES	T.O.B. TOP OF BANK
		U.E. UTILITY EASEMENT

SYMBOL DESCRIPTIONS:

 = CATCH BASIN	 = MISC. FENCE
 = CENTERLINE ROAD	 = PROPERTY CORNER
 = COVERED AREA	 = UTILITY BOX
+ X.XX = EXISTING ELEVATION	 = UTILITY POLE
 = HYDRANT	 = WATER METER
 = MANHOLE	 = WELL
 = METAL FENCE	 = WOOD FENCE

PAGE 1 OF 2 PAGES
(NOT COMPLETE WITHOUT PAGE 2)

GENERAL NOTES:

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- 5) ONLY VISIBLE ENCROACHMENTS LOCATED.
- 6) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 7) FENCE OWNERSHIP NOT DETERMINED.
- 8) ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFERENCED TO M.G.V.D. 1929
- 9) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.



TARGET SURVEYING, LLC

LB #7893

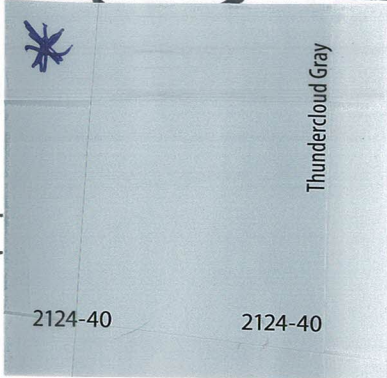


SERVING FLORIDA

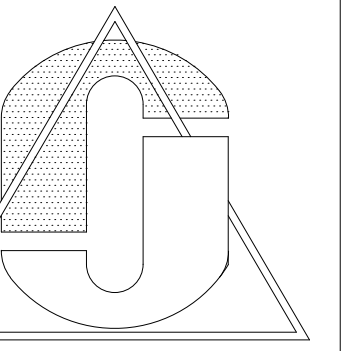
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20-189552

BUILDING MATERIALS AND COLOR SAMPLE FORM

NOTE THE TYPE OF MATERIAL AND COLOR SPECIFICATION PROPOSED INCLUDING TYPES OF FINISHES. CAN ATTACH IMAGES OR PHOTOS OF MATERIALS. ATTACH ACTUAL PAINT COLOR SAMPLES WITH DETAILS OF MANUFACTURER

ROOF	WALLS
	 <p>Thundercloud Gray</p> <p>2124-40 2124-40</p> <p>CP  Benjamin Moore CP</p>
FASCIA	
WINDOWS	SHUTTERS/AWNINGS ?
RAILINGS	 <p>DEEP SEA BLUE</p>
COLUMNS	DEEP SEA BLUE
OTHER	



ELEVATIONS

WAREHOUSE
950 S.W. 15TH AVE.
DELRAY, FLORIDA

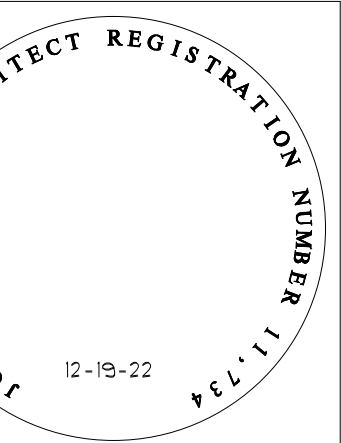
FOR THE PROJECT:

1. JAO ARCHITECTS AND PLANNERS HAS BEEN ENGAGED BY THE CLIENT TO PROVIDE ARCHITECTURAL AND ENGINEERING SERVICES FOR THE PROJECT. THE CLIENT HAS REVIEWED AND APPROVED THE ARCHITECTURAL AND ENGINEERING PLANS AND SPECIFICATIONS. THE CLIENT HAS ADVISED THAT THE ARCHITECTURAL AND ENGINEERING PLANS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK IN THE AREA IN QUESTION.

CONTENTS:

JAO ARCHITECTS & PLANNERS

300 N.W. BOCA RATON BLVD.
SUITE 115
BOCA RATON, FL 33431
TEL (561) 391-4115
FAX (561) 391-4173
E-MAIL JAOARCH@AOL.COM



DATE DRAWN: 12-28-19

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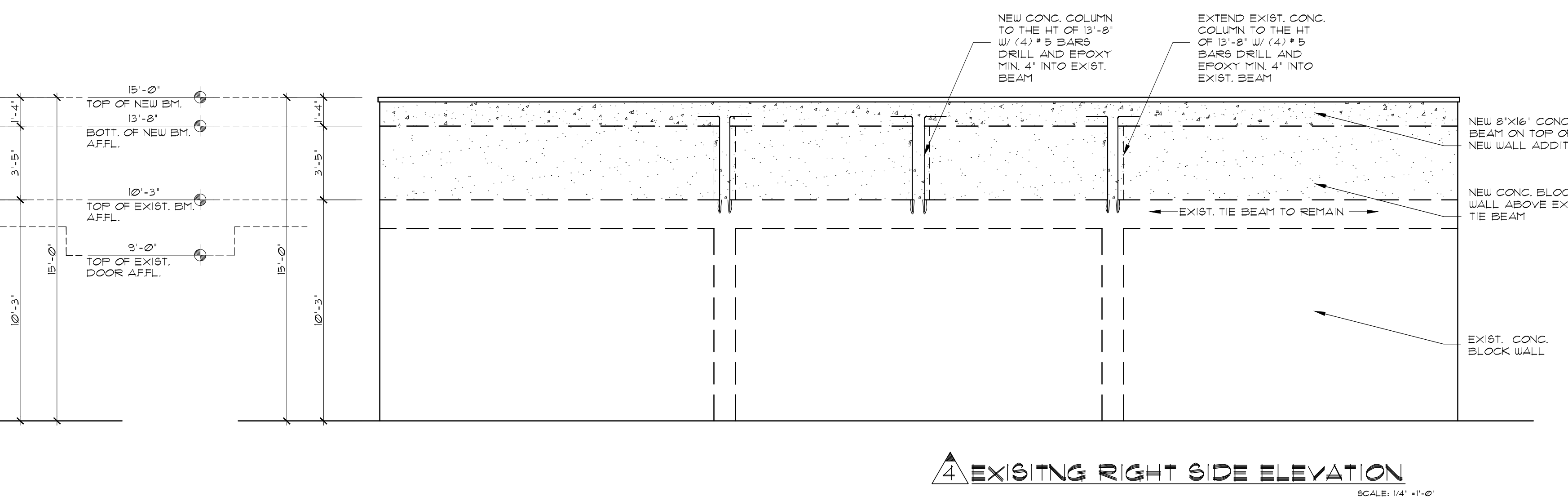
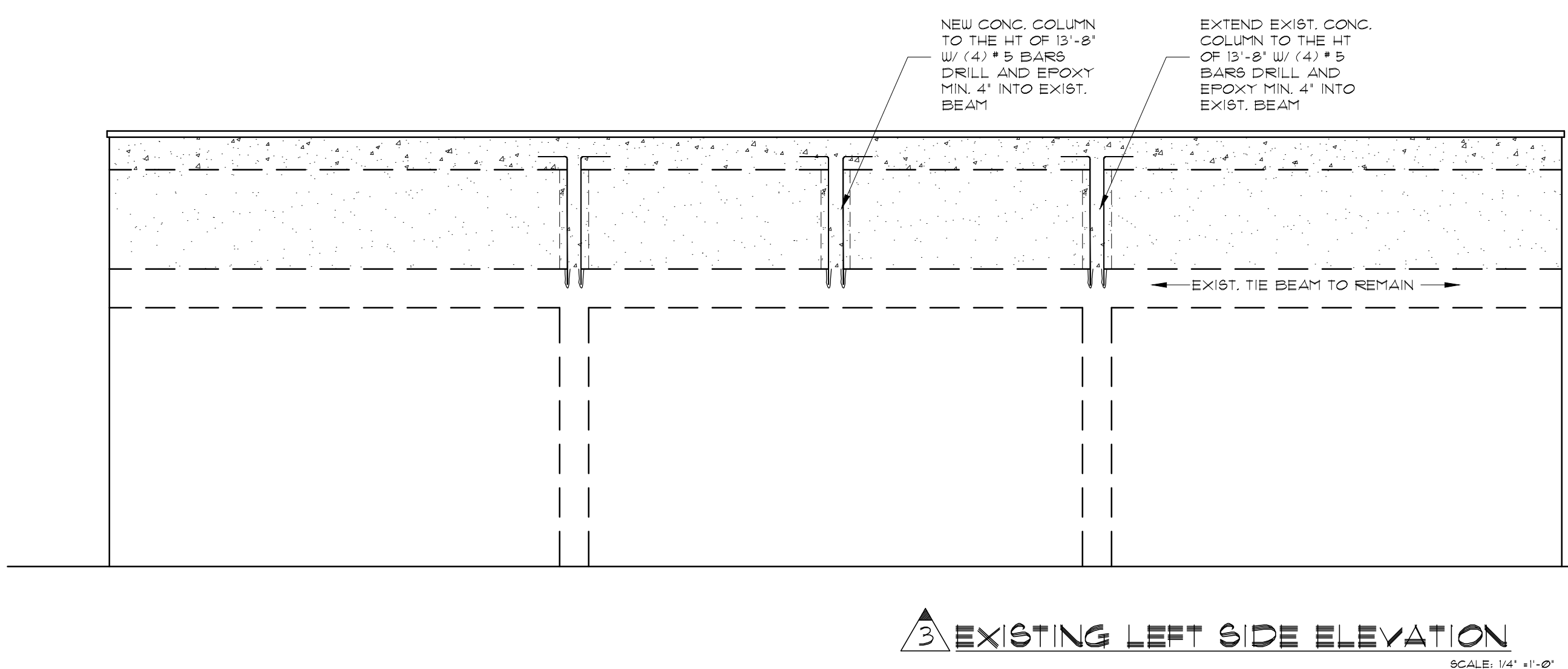
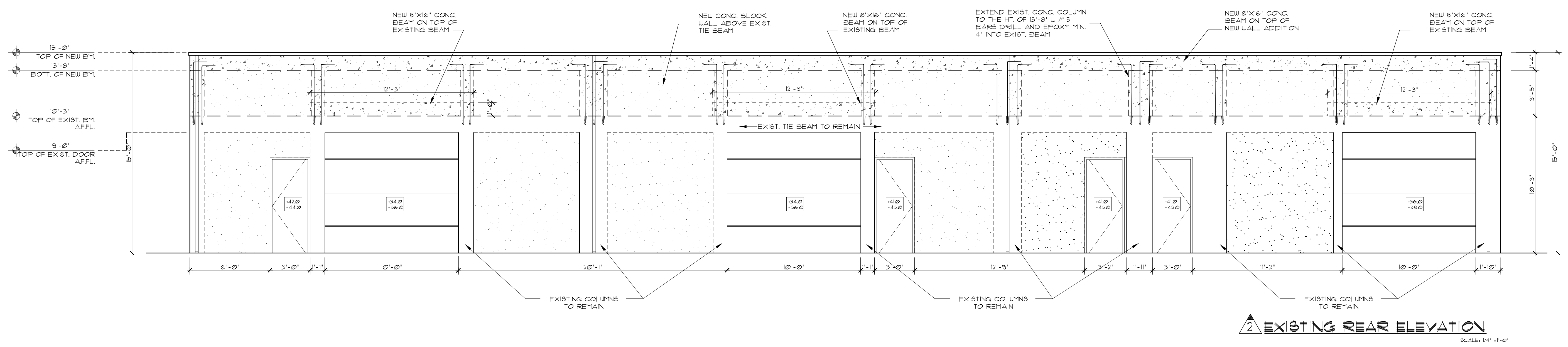
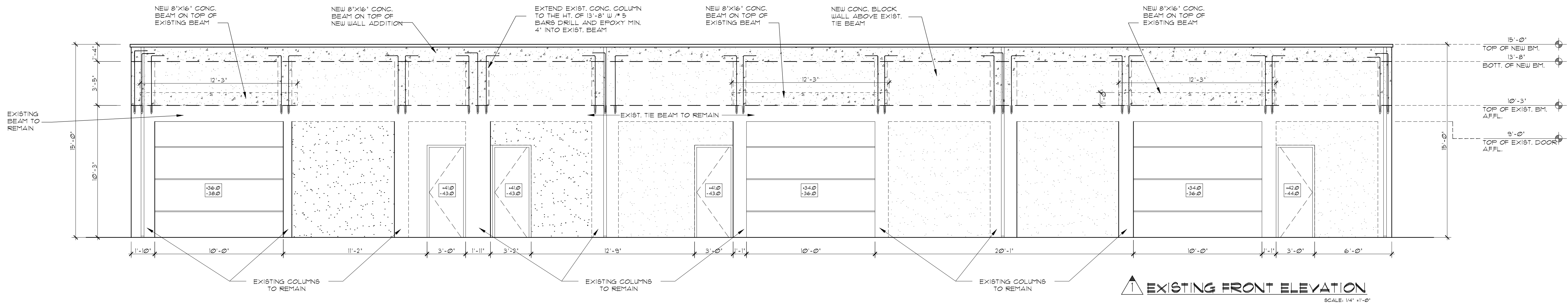
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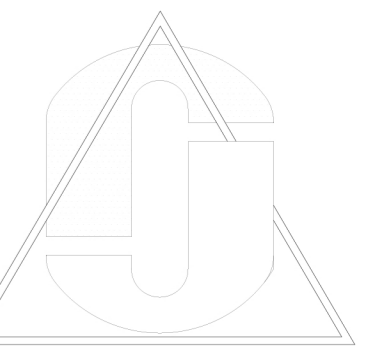
REVISIONS:

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JOB NUMBER: 19-123

SHEET NO:





PROPOSED ELEVATIONS

WAREHOUSE
950 S.W. 15TH AVE.
DELRAY, FLORIDA

FOR THE PROJECT:

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CONTENTS:

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&
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SUITE 105
BOCA RATON, FL 33431
TEL (561) 391-4115
FAX (561) 391-4173
E-MAIL JAOARCH@AOL.COM



DATE DRAWN: 12-28-19

DRAWN BY: JAO

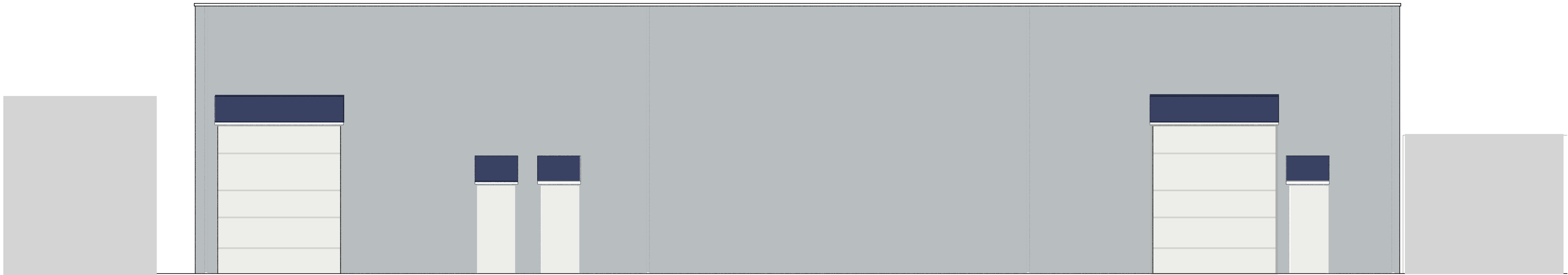
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REVISIONS:

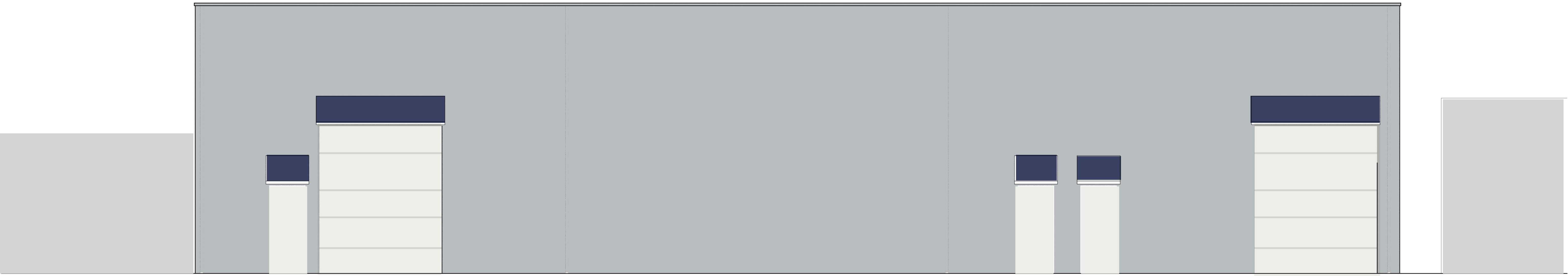
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SHEET NO:



△ PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



△ PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"