

LOCATION MAP:



SUNDY VILLAGE BLOCK 6 I

SITE PLAN RENDERING:



LIST OF DRAWINGS:

CS.1	COVER SHEET
CS.2	SCREEN AND RAILING DETAILS
A.1.11	SITE PLAN
A.1.11	SITE PLAN
A-1.0	BUILDING A FLOOR PLAN
A-1.1	BUILDING ROOF PLAN
A-1.2	BUILDING A ELEVATIONS
A-1.3	BUILDING A ELEVATIONS
BF--2.0	BUILDING B&F FLOOR PLAN
BF-2.1	BUILDING B&F ROOF PLAN
BF-2.2	BUILDING B&F ELEVATIONS
BF-2.3	BUILDING B&F ELEVATIONS
BF-2.4	BUILDING B&F ELEVATIONS
C-3.0	BUILDING C FLOOR PLAN
C-3.1	BUILDING C ELEVATIONS
C-3.2	BUILDING C ELEVATIONS
E-4.0	BUILDING E FLOOR PLAN
E-4.1	PROPOSED ROOF PLAN
E-4.2	BUILDING E ELEVATIONS
E-4.3	BUILDING E ELEVATIONS
E-4.4	BUILDING E ELEVATIONS
G-5.0	BUILDING G FLOOR PLAN
G-5.1	BUILDING G ROOF PLAN
G-5.2	BUILDING G ELEVATIONS
G-5.3	BUILDING G ELEVATIONS

GENERAL NOTES:

- ALL IDEAS, DRAWINGS, PLANS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER OF RECORD. THEY WERE CREATED FOR AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. THE IDEAS, DESIGNS, DRAWINGS, PLANS AND ARRANGEMENTS OF THE SPECIFIED PROJECT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSONS, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND ENGINEER(S) OF RECORD.
- ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER OF RECORD REVIEW ONLY AFTER THEY HAVE BEEN THOROUGHLY REVIEWED BY THE GENERAL CONTRACTOR FOR CONSTRUCTION METHODS, DIMENSIONS, FIELD CONDITIONS, "AS-CONSTRUCTED" DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH THE CONTRACTOR'S APPROVAL STAMP. ONLY REQUESTED SHOP DRAWINGS AND SUBMITTALS TO BE PROVIDED TO ARCHITECT FOR REVIEW, ALL OTHERS TO BE APPROVED AND REVIEWED BY G.C.
- ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY OR CIVIL DWGS. THAT ARE INSERTED INTO THIS SET AND/OR LACK OF. THIS INCLUDES BUT IS NOT LIMITED TO PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC.
- ALL FINISH FLOOR ELEVATIONS SHALL BE CONFIRMED BY LOCAL MUNICIPALITY OR A LICENSED CIVIL ENGINEER OR LICENSED SURVEYOR.
- PRIOR TO START OF CONSTRUCTION, THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, DIMENSIONS AND COORDINATE EXISTING CONDITIONS AT THE JOB SITE WITH THE PLANS AND SPECIFICATIONS. THEY SHALL REPORT ANY INCONSISTENCIES OR ERRORS IN THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT AND ENGINEER OF RECORD BEFORE COMMENCING WORK. THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK. THE CIVIL ENGINEER OF RECORD SHALL ESTABLISH THE "+0'-0" FINISHED FLOOR BASE ELEVATION - REFERENCE CIVIL ENGINEERING PLANS FOR THE HEIGHT.

ABBREVIATIONS:

@	AT	H.C.	HOLLOE CORE
ACT	ACOUSTICAL TILE	H.M.	HOLLOW METAL
ADJ.	ADJUSTABLE	H.V.A.C.	HEATING, VENTILATION, & AIR CONDITIONING
A.B.	ANCHOR BOLT		
A.C.	AIR CONDITIONING	INSUL.	INSULATION
AFF	ABOVE FINISH FLOOR	INV.	INVERT
ALUM.	ALUMINUM	LAM.	LAMINATED
ALT.	ALTERNATE	MAT.	MATERIAL
BD.	BOARD	M.C.	MECHANICAL CONTRACTOR
BDG.	BUILDING	M.H.	MAN HOLE
B.M.	BENCH MARK	MLDG.	MOLDING
B.O.	BOTTOM OF	MTL. MET.	METAL
BRG.	BRIDGING OR BEARING	MIN.	MINIMUM
C/C	CENTER TO CENTER	M.T.	METAL THRESHOLD
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	NO.	NUMBER
C.B.	CATCH BASIN	NOM.	NOMINAL
C.I.	CAST IRON	O.C.	ON CENTER
CER.	CERAMIC	OPG.	OPENING
CLG.	CLEAN OUT	OPEN WEB	FLUJMBING CONTRACTOR
C.O.	CONCRETE	P.C.	PLATE
CONC.	COORDINATE	PL	PRESSURE TREADED
COORD.	COL.	P.S.I.	POUNDS PER SQUARE INCH
COL.	CONTINUOUS	R.A.	RETURN AIR
CONT.	DETAIL	RM.	ROOM
DET.	DOWN	REQD	REQUIRED
DN.	DECK	REIN.	REINFORCING
DK.	DOWN SPOUT	S.B.	SPALSH BLOCK
D.S.	DRY WALL	SCH.	SCHEDULE
D.W.	DRAWING	SEC.	SECTION
DWG.	ELECTRICAL CONTRACTOR	S.C.	SOLID CORE
E.C.	ELEVATION	SIM.	SIMILAR
EL. ELEV.	ELECTRICAL	S.S.	STAINLESS STEEL
ELEC.	EXISTING	S.V.B.	STRAIGHT VINYL BASE
EX/EXIST	EXPOSED OR EXPANSION	SPEC.	SPECIFICATION
EXP.	FIRE EXTINGUISHER	T.O.F.	TOP OF
F.E.	FINISHED FLOOR	T.O.F.	TOP OF FOOTING
F.F.	FINISH	T.O.P.	TOP OF PLATE
FIN.	FLOOR	T.O.S.	TOP OF STEEL
FLR.	FULL SIZE	TP.	TYPICAL
F.S.	FOOT OR FEET	THK.	THICK OR THICKNESS
F.T	FOOTING	T4G	TOUNGUE AND GROOVE
FTG.	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
G.C.	GLASS OR GLAZING	V.C.T.	VINYL COMPOSITION TILE
GL.	GLAZED PAINT	V.C.B.	VINYL COVE BASE
G.PT.	GYP.	VIF	VERIFY IN FIELD
GYP.	GYP.	W	WITH
GWB	GYP.	W.I.	WROUGHT IRON
H.B.	GYP.	WD.	WOOD
HGT.	GYP.	W.W.F.	WELDED WIRE FABRIC
HRDR	GYP.		

WALL LEGEND:

	EXISTING CMU WALL
	EXISTING INTERIOR WALL
	EXISTING FIRE RATED PARTITION WALL
	CMU WALL
	CMU WALL, W/ ONE SIDE 1 x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 2x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 1-5/8" MTL. STUD & GYPSUM BOARD
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 1-5/8" MTL. STUD, (5FAB) & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 2x PT FURRING, (5FAB) & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL
	INTERIOR WALL
	INTERIOR FIRE RATED PARTITION WALL

ARCHITECTURAL SYMBOLS:

	REVISION MARKER		SECTION LETTER
	ELEVATION MARK		WALL SECTION
	ROOM NUMBER		DETAIL NUMBER
	DOOR TAG- REFER TO DOOR SCHEDULE		SECTION LETTER
	WINDOW TAG- REFER TO WINDOW SCHEDULE		BUILDING SECTION
	WALL DETAIL, REFER TO PARTITION DETAILS		SHEET NUMBER
	FIXTURE TAG		DETAIL NUMBER

PROJECT DATA:

PROJECT DESCRIPTION:

THE PROPOSED PROJECT IS A COA APPLICATION FOR VARIOUS ITEMS THAT WERE NOT PART OF THE ORIGINAL COA APPROVAL, INCLUDING HOOD VENTING, REPLACEMENT OF DAMAGED SIDING AND HAND/GUARD RAILS DUE TO HEIGHT DIFFERENCES.

PROJECT INFORMATION:

OWNER: SUNDY VILLAGE WEST
 ADDRESS: 7900 GLADES RD. STE 540 BOCA RATON, FL 33434
 FOLIO: 12-43-46-16-QG-001-0010
 LEGAL: SUNDY VILLAGE NLY 206.70 FT OF PAR. 1

ZONING AND CODE INFORMATION:

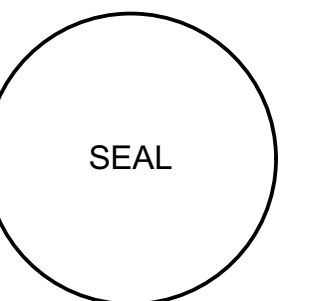
ZONING: OSHADD
 OCCUPANCY: ASSEMBLY
 CONSTRUCTION TYPE: 5B
 ALTERATION LEVEL: COA ONLY
 CURRENT USE: VACANT
 PROPOSED USE: ASSEMBLY

FLORIDA BUILDING CODE:

FBC-2023 8th EDITION BUILDING CODE & FBC-2023, 8TH EDITION BUILDING CODE EXISTING
 FBC EC= FLORIDA BUILDING CODE ENERGY CONSERVATION 2023
 NEC= NFPA 70 2020 EDITION, NATIONAL ELECTRICAL CODE
 FS= FLORIDA STATUTES
 FFFC= FLORIDA FIRE PREVENTION CODE, 7TH EDITION
 NFPA 101: LIFE SAFETY CODE 2018 EDITION
 ACCESSIBILITY CODE: 2023 FLORIDA ACCESSIBILITY CODE



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COA APPLICATION
SUNDY VILLAGE BLOCK 6 I
 22-44 W. ATLANTIC AVE.
 DELRAY BEACH, FLORIDA 33444

COA APPLICATION

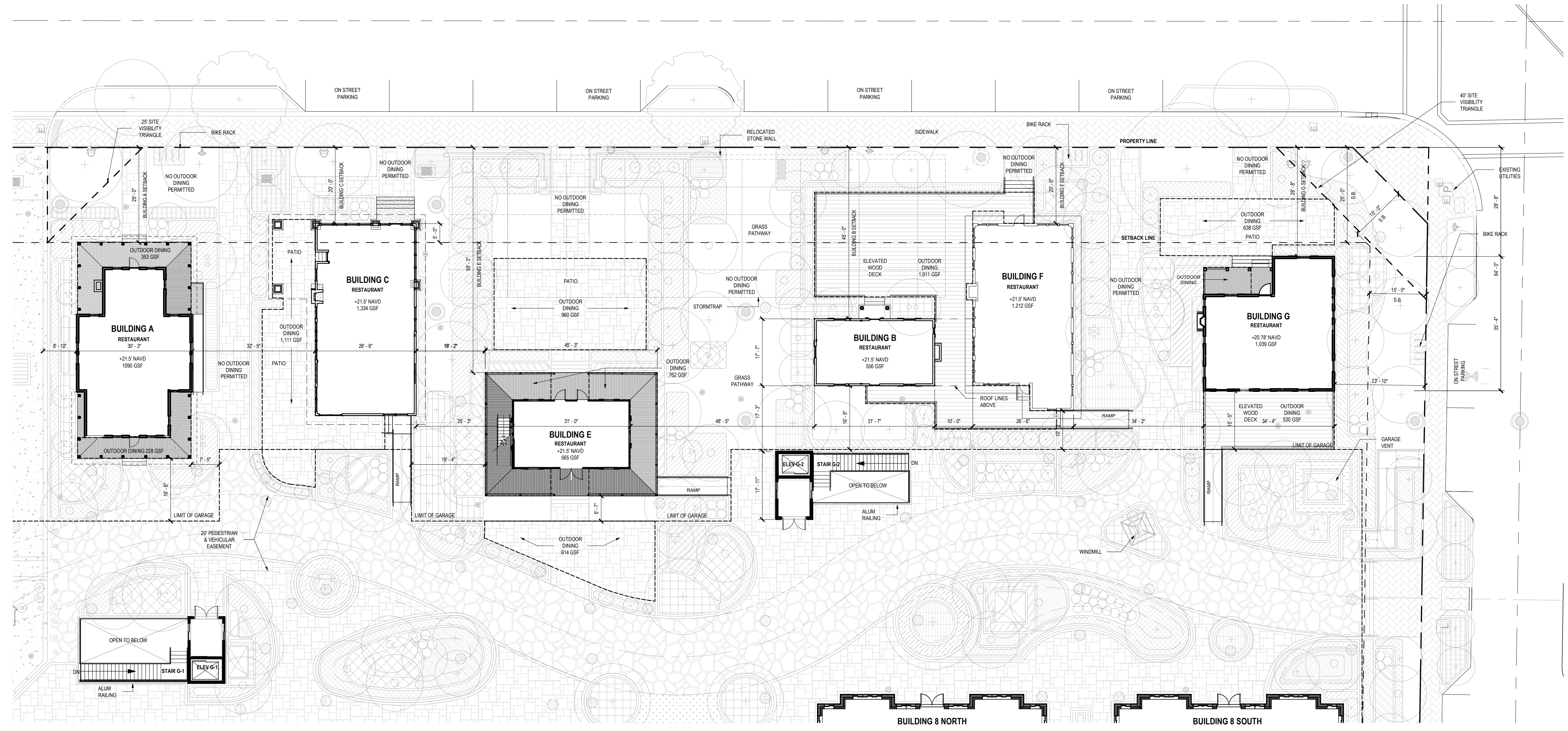
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 DATE: 7.1.2024
 DRAWN BY: SKBT
 CHECKED BY: S.S.

REVISIONS:
 TAC COMMENTS (9.23.24)
 TAC COMMENTS (10.14.24)

COVER SHEET

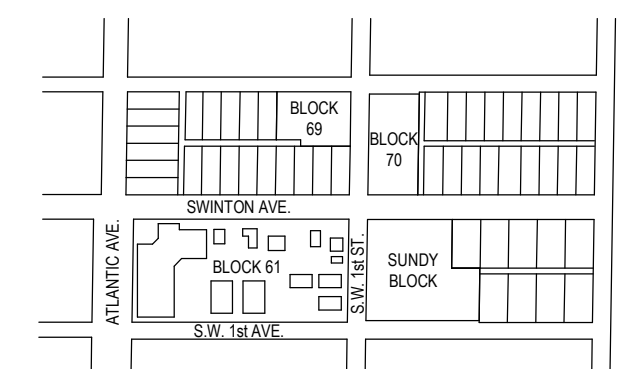
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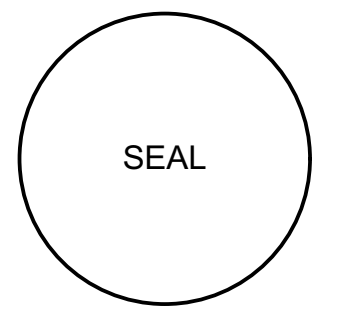
GENERAL NOTES

SHEET NOTES

KEY PLAN



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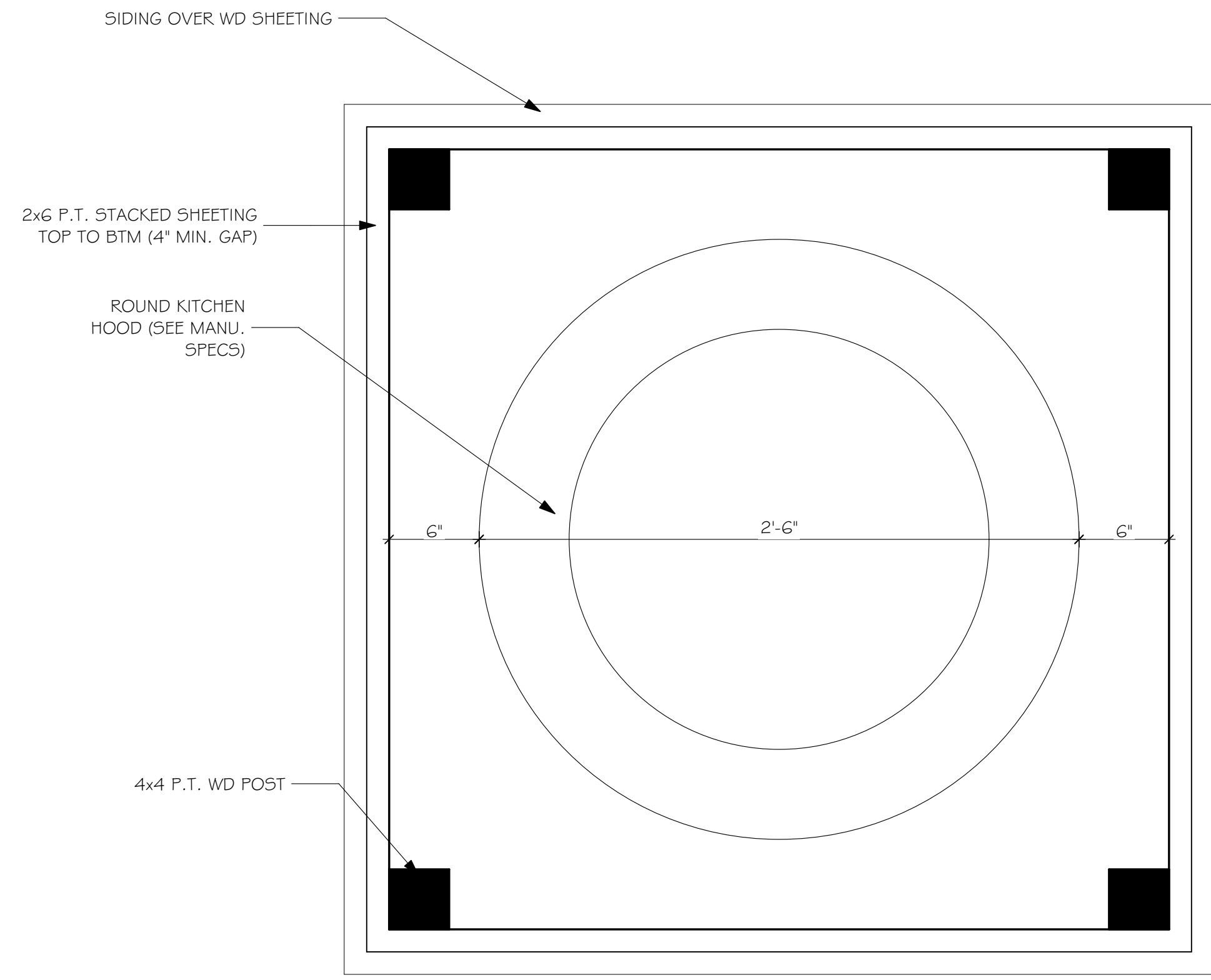
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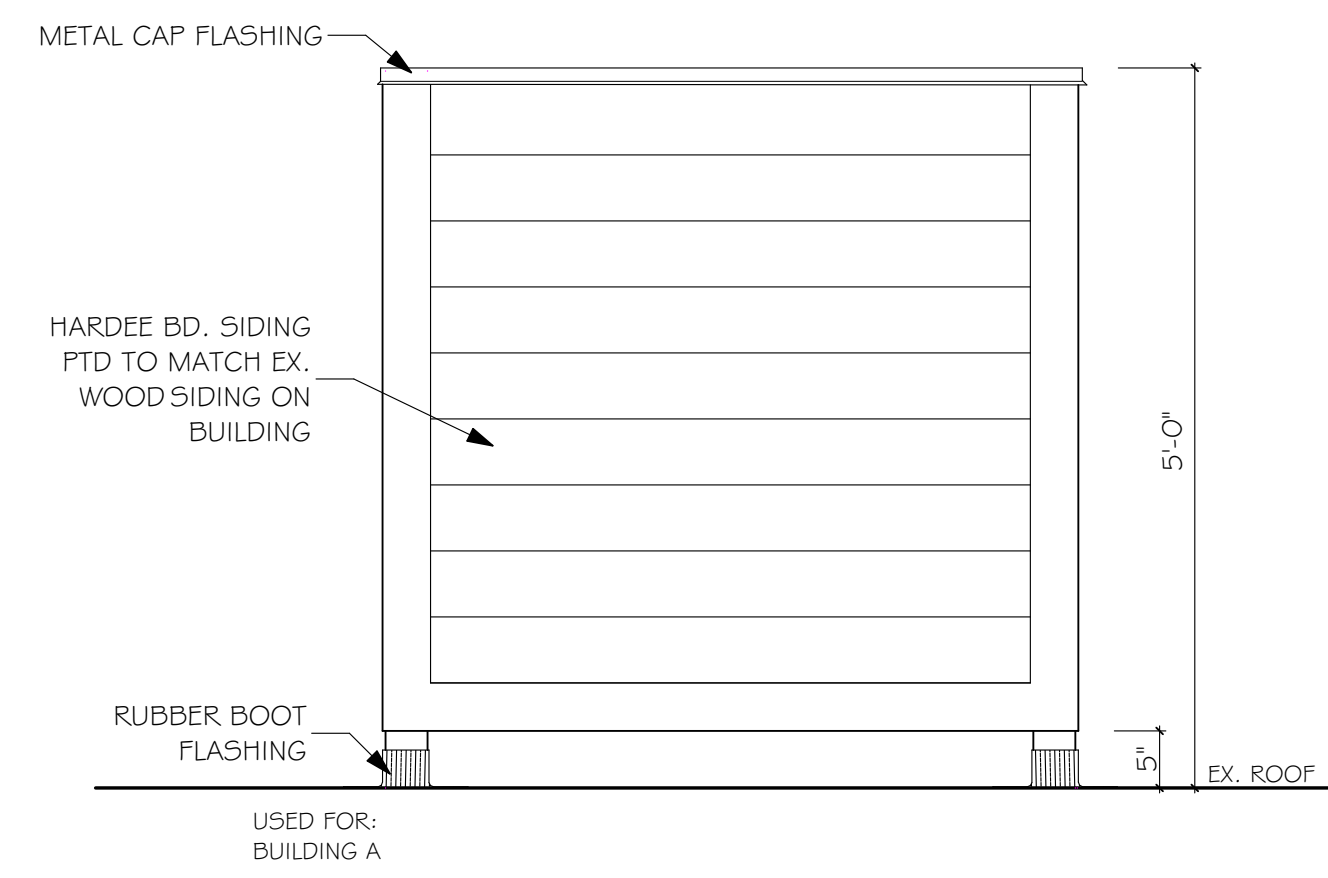
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SITE PLAN

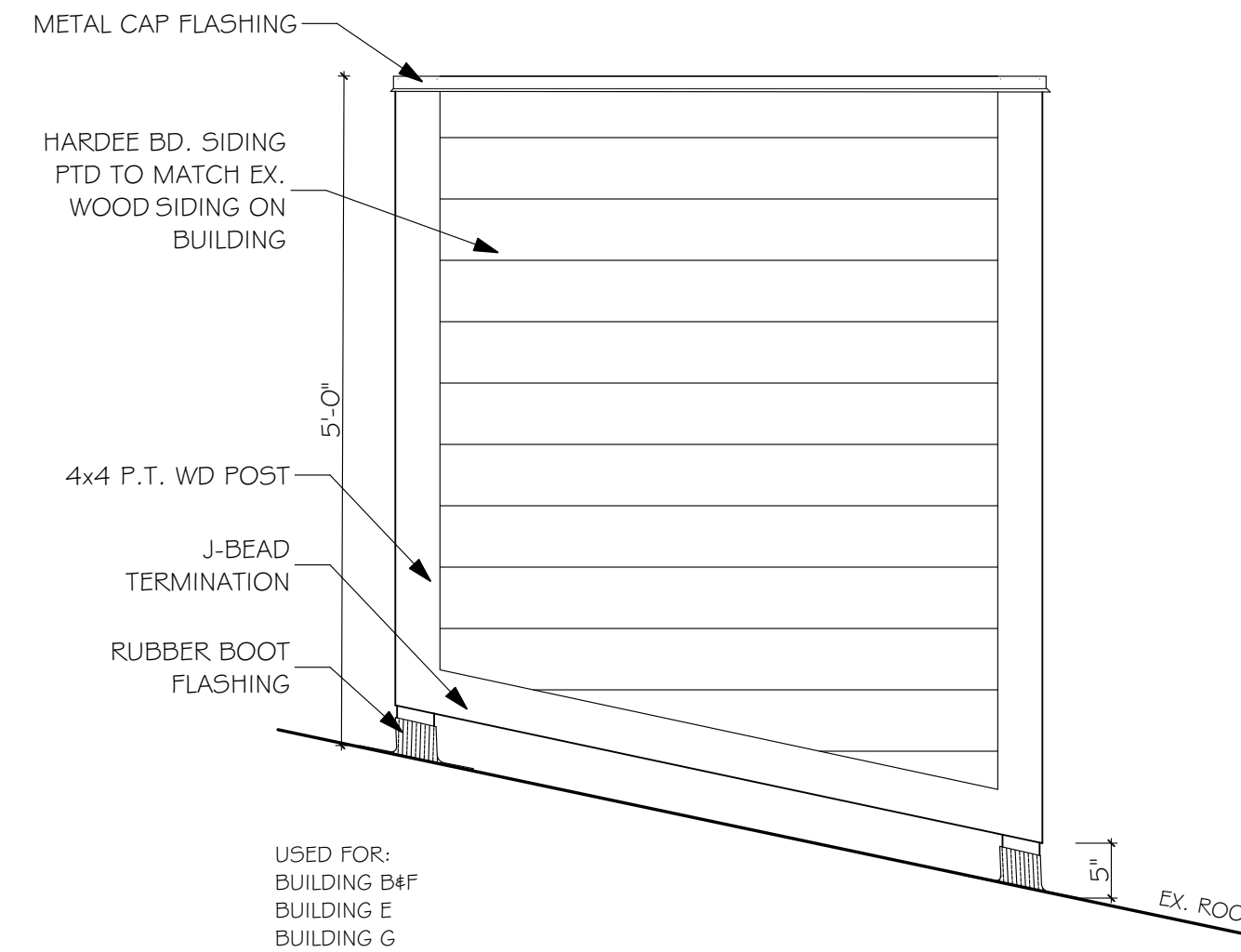
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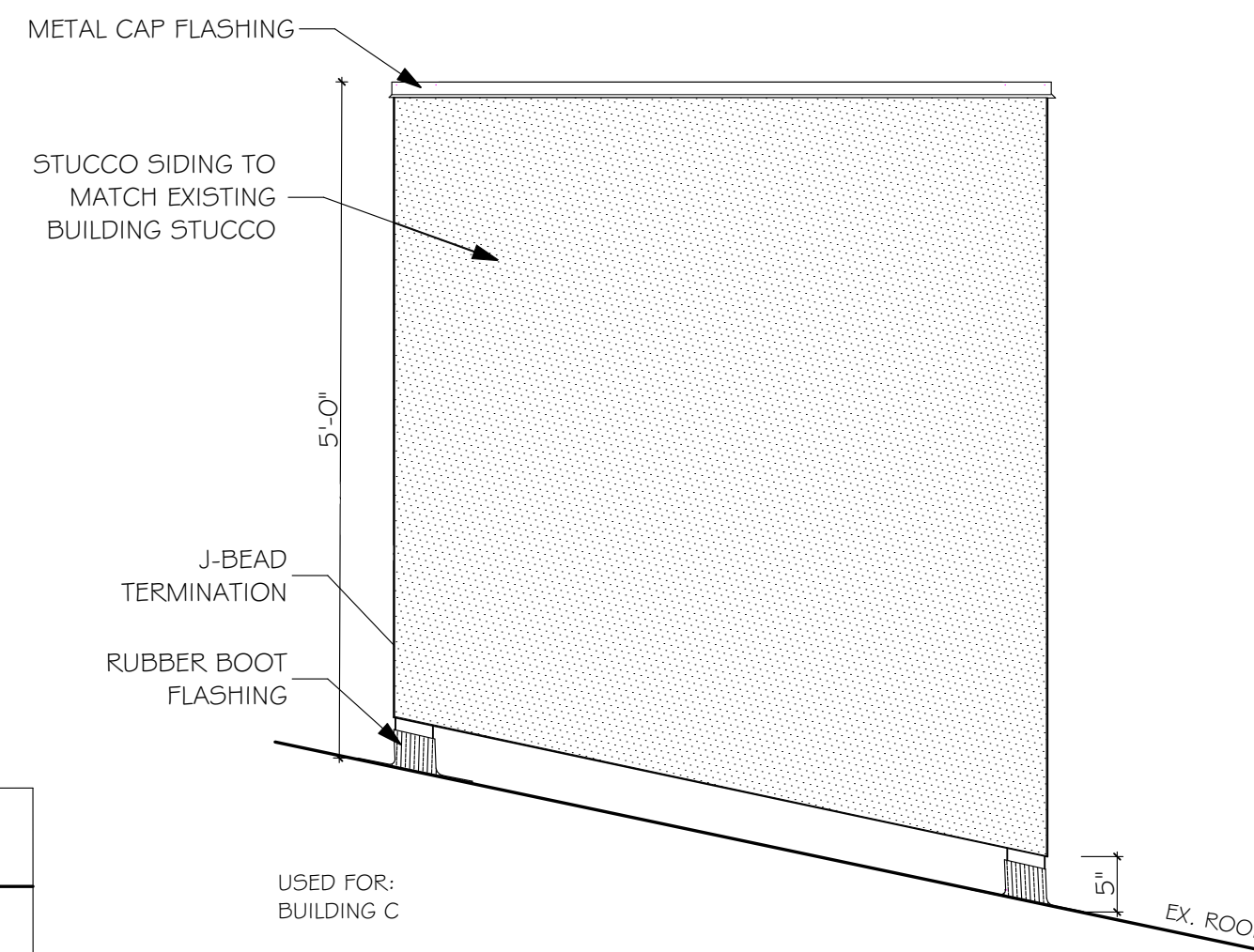
HOOD SCREENING PLAN
SCALE: 1 1/2" = 1'-0"



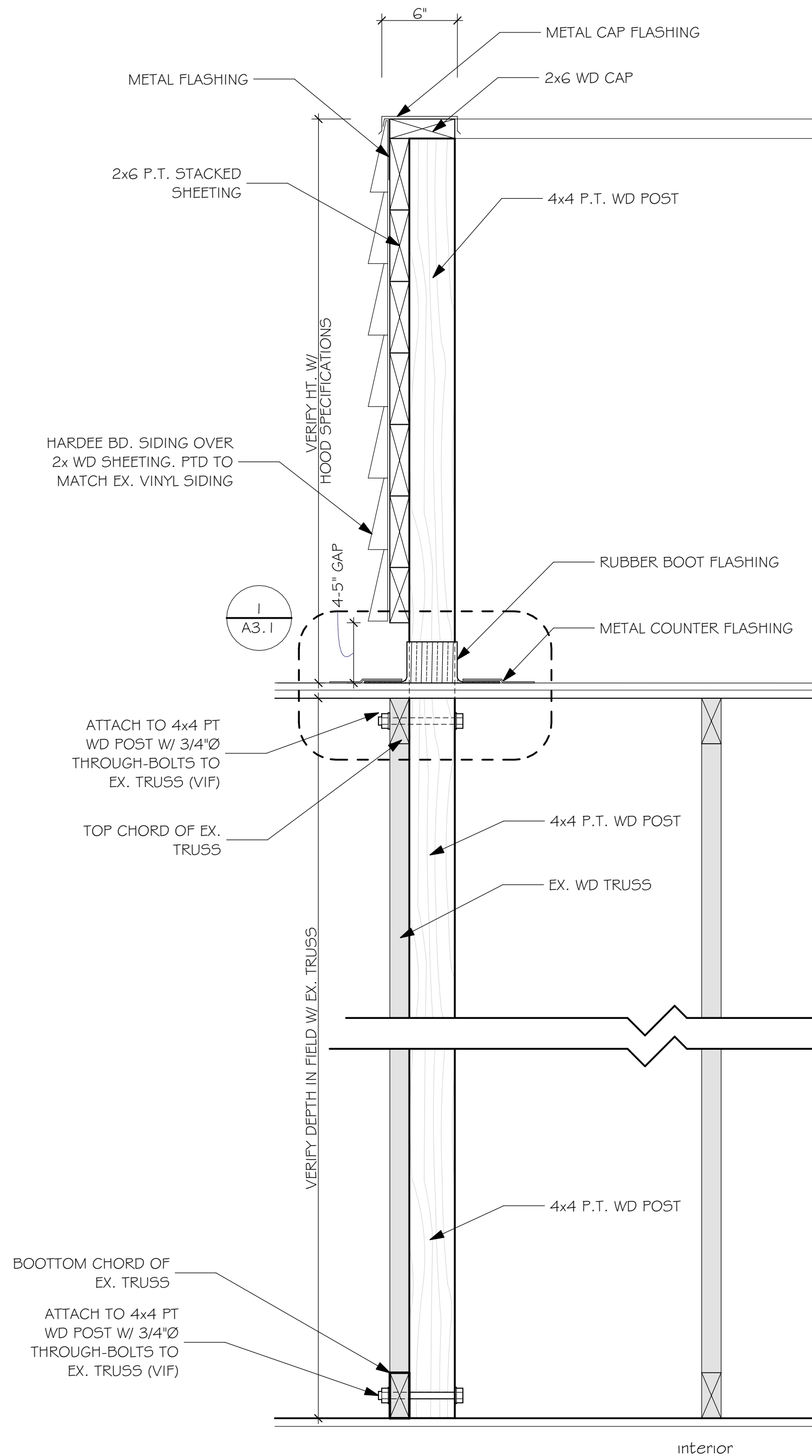
HOOD SCREENING ELEVATION(S)
SCALE: 3/4" = 1'-0"



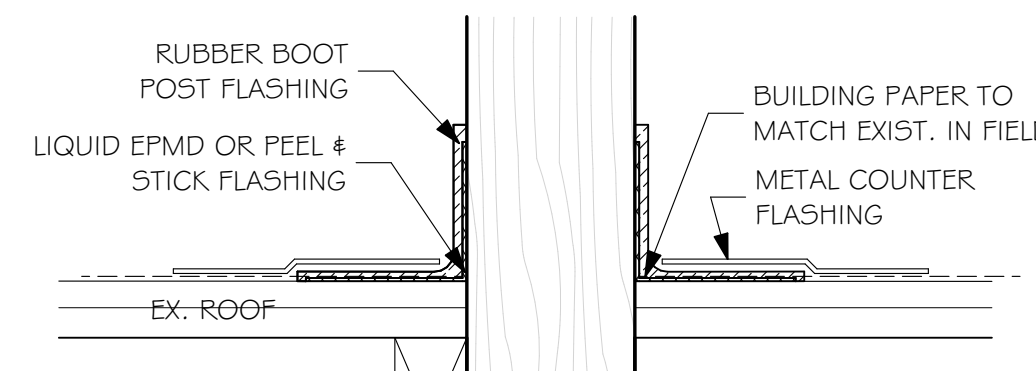
HOOD SCREENING ELEVATION(S)
SCALE: 3/4" = 1'-0"



HOOD SCREENING ELEVATION(S)
SCALE: 3/4" = 1'-0"

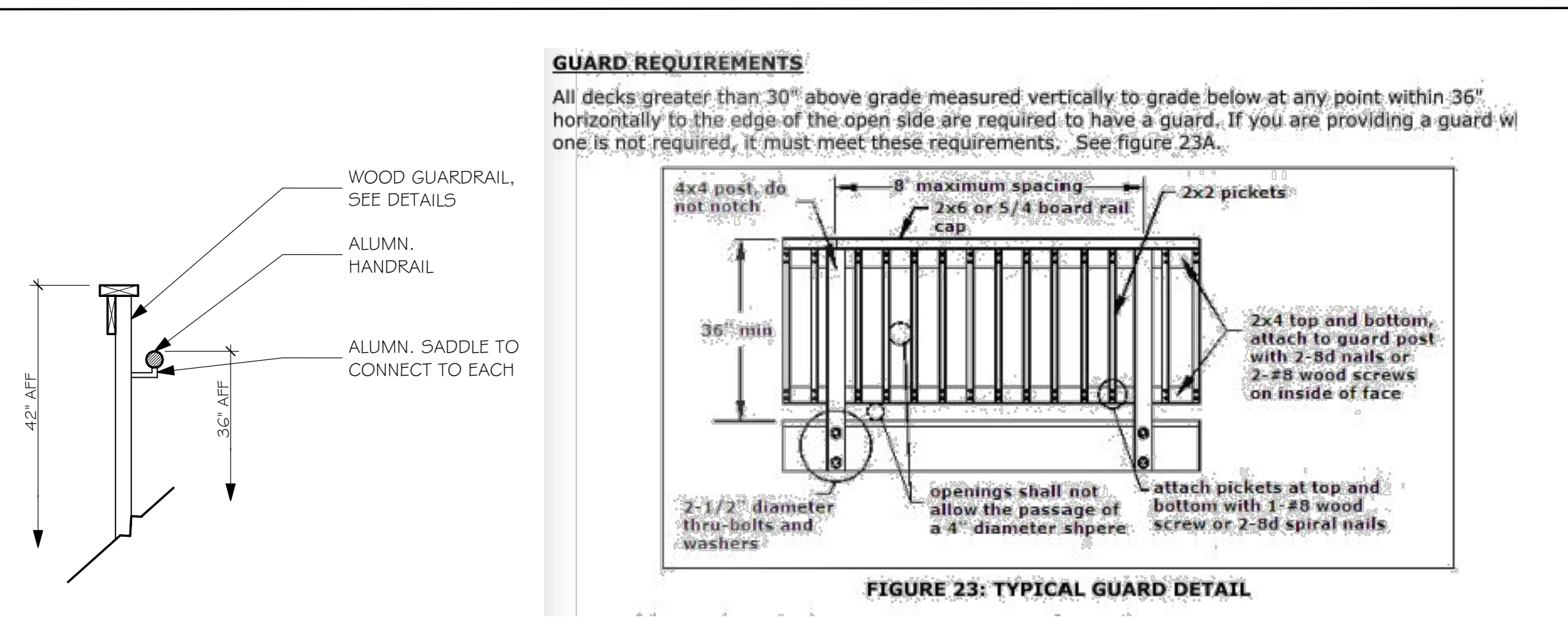


HOOD SCREENING DETAIL
SCALE: 1 1/2" = 1'-0"



FLASHING DETAIL
SCALE: 3" = 1'-0"

GUARD REQ. DTL. (NTS)



GUARD REQUIREMENTS

All decks greater than 30" above grade measured vertically to grade below at any point within 36" horizontally to the edge of the open side are required to have a guard. If you are providing a guard w/ one is not required, it must meet these requirements. See figure 23A.

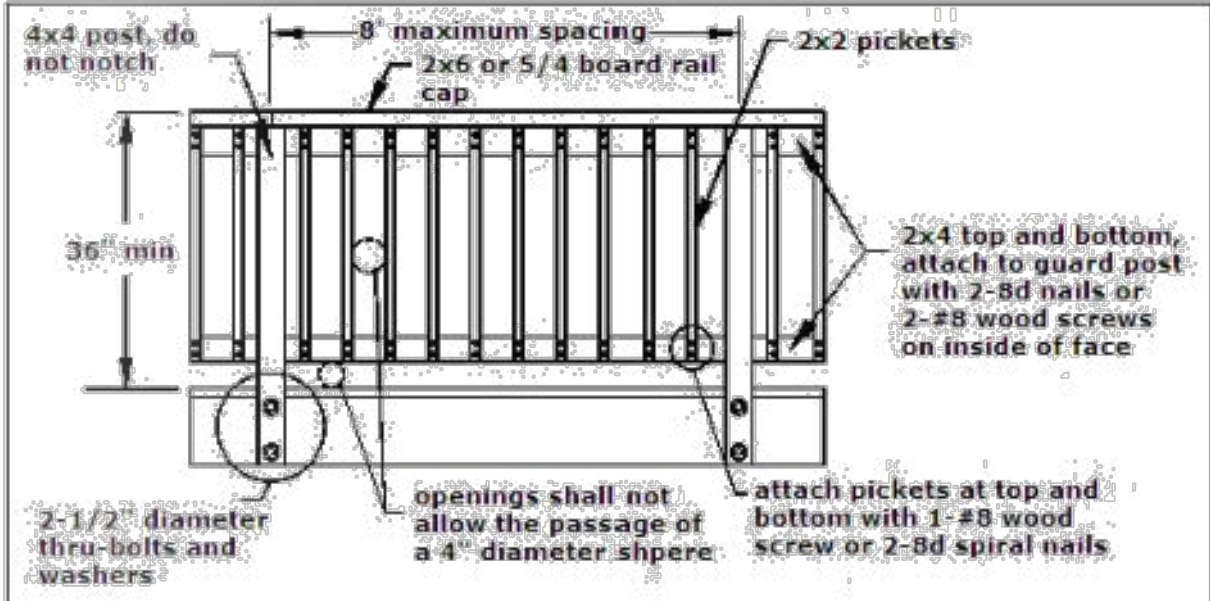


FIGURE 23: TYPICAL GUARD DETAIL

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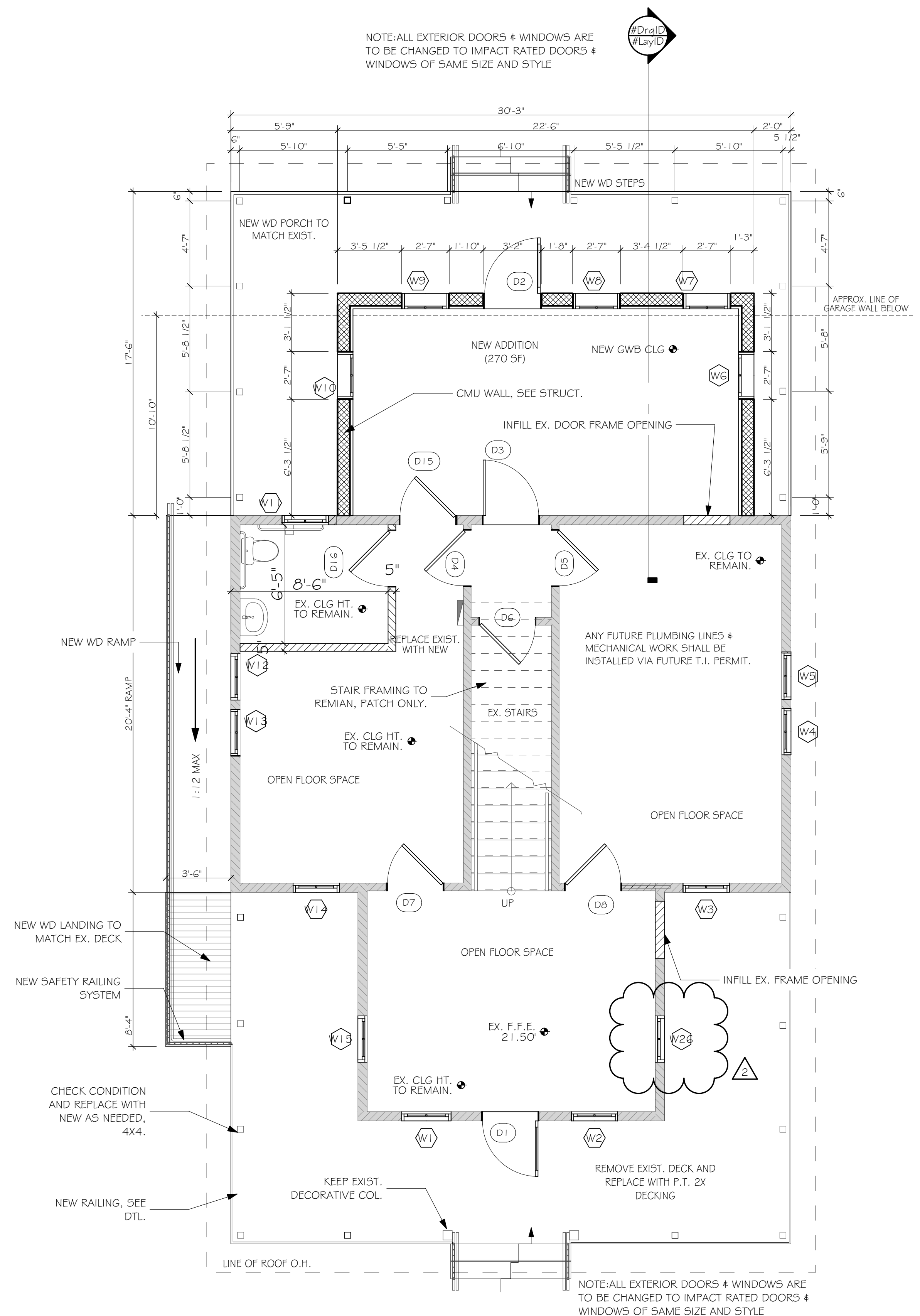
COA APPLICATION
SUNDY VILLAGE
BLOCK 61
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DELRAY BEACH, FLORIDA 334444

COA APPLICATION

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SCREEN AND RAILING DETAILS
CS.2

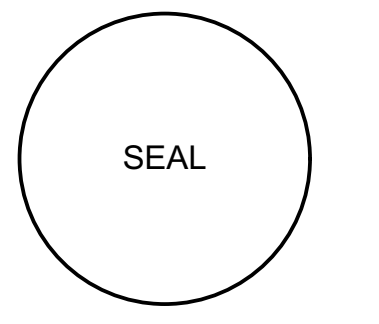


PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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COA APPLICATION

SUNDY VILLAGE

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COA APPLICATION

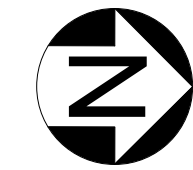
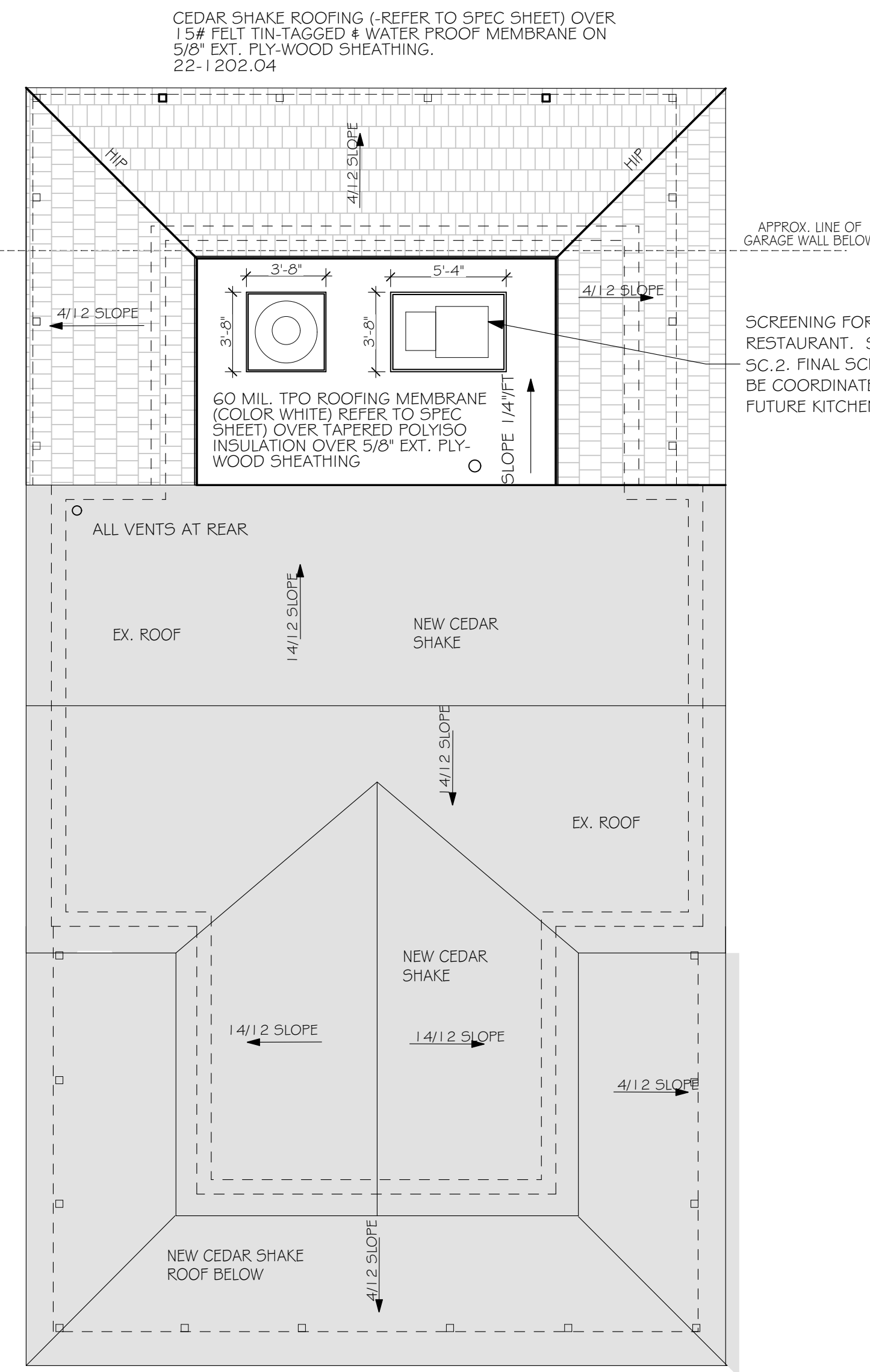
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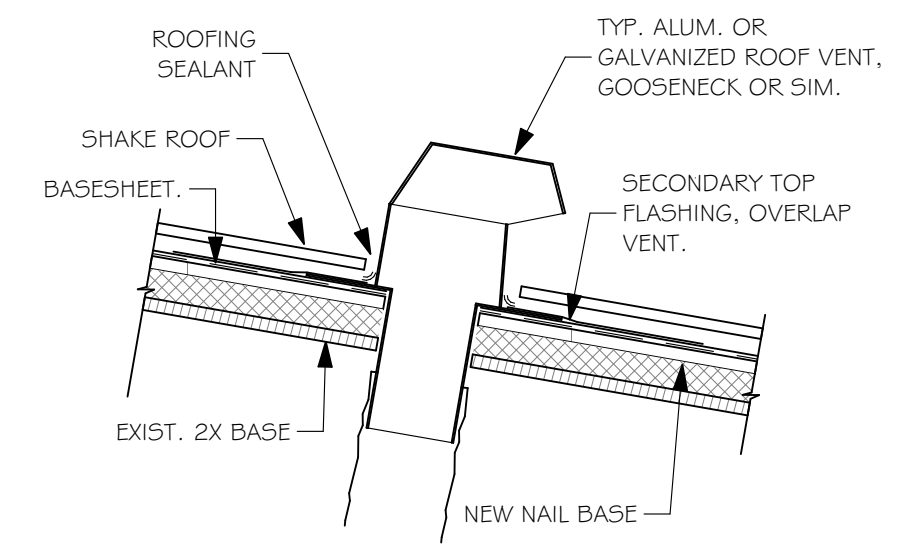
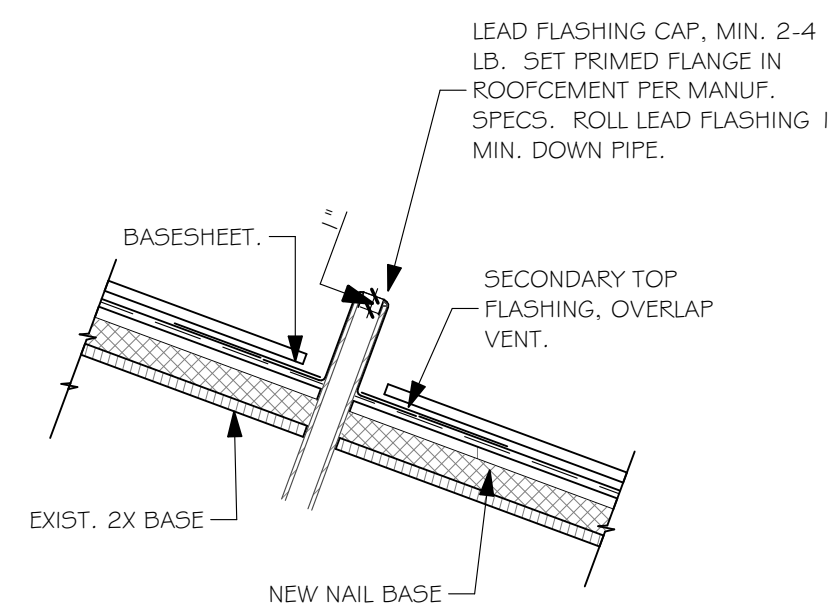
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BUILDING A FLOOR PLAN

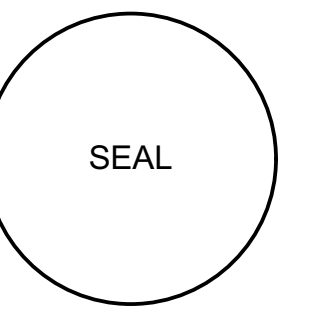
A-1.0



ROOF PLAN
SCALE: 3/16" = 1'-0"



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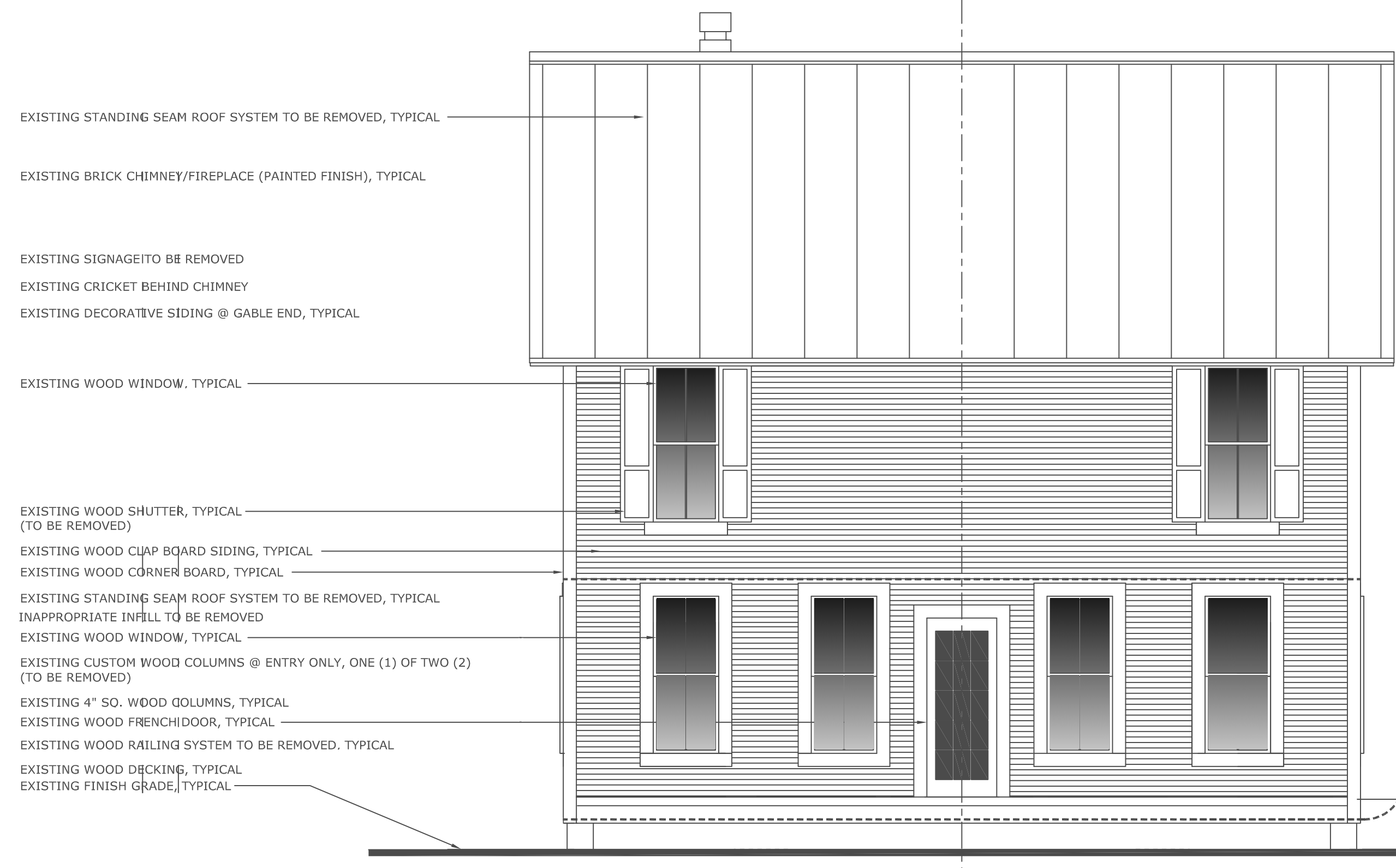
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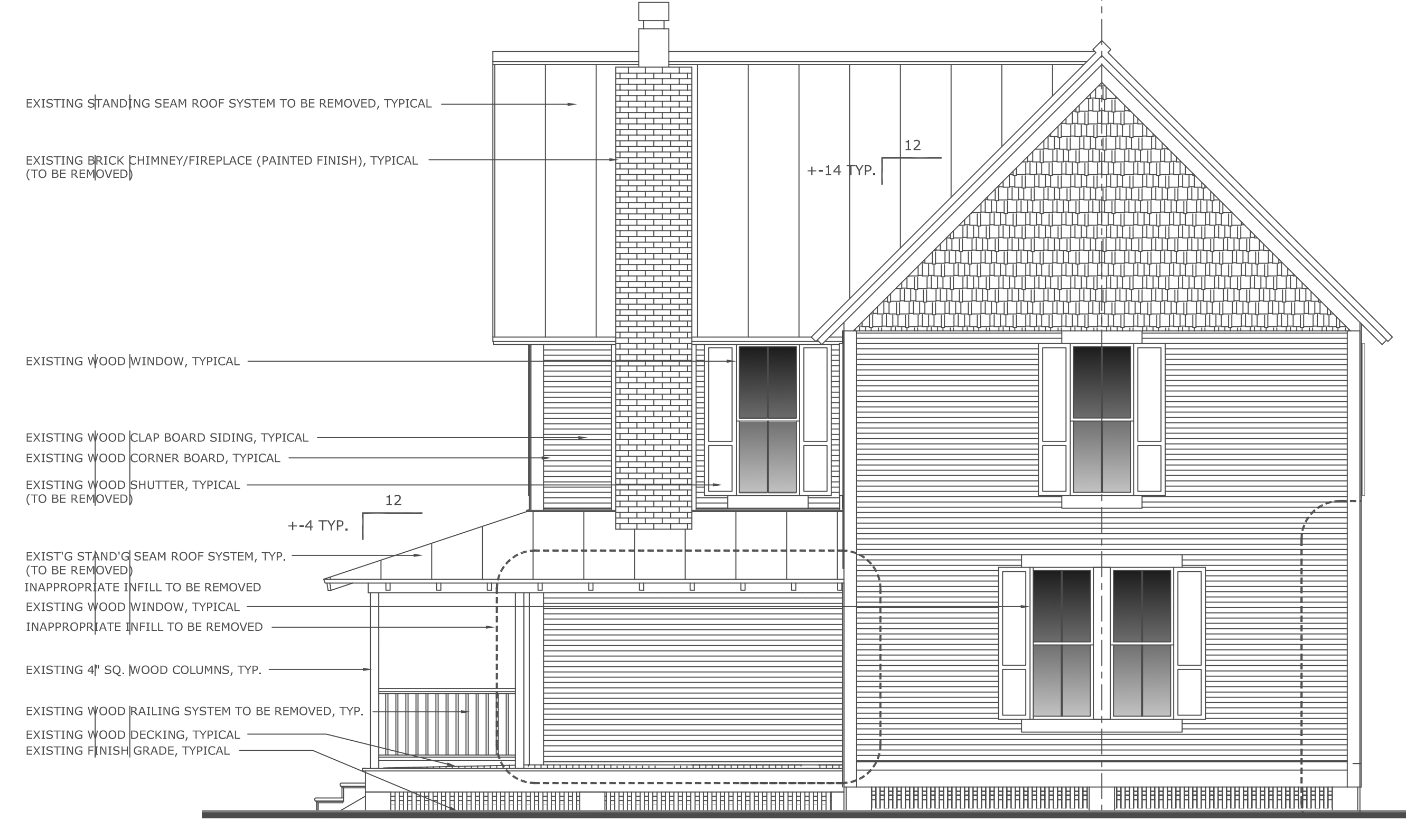
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BUILDING ROOF PLAN

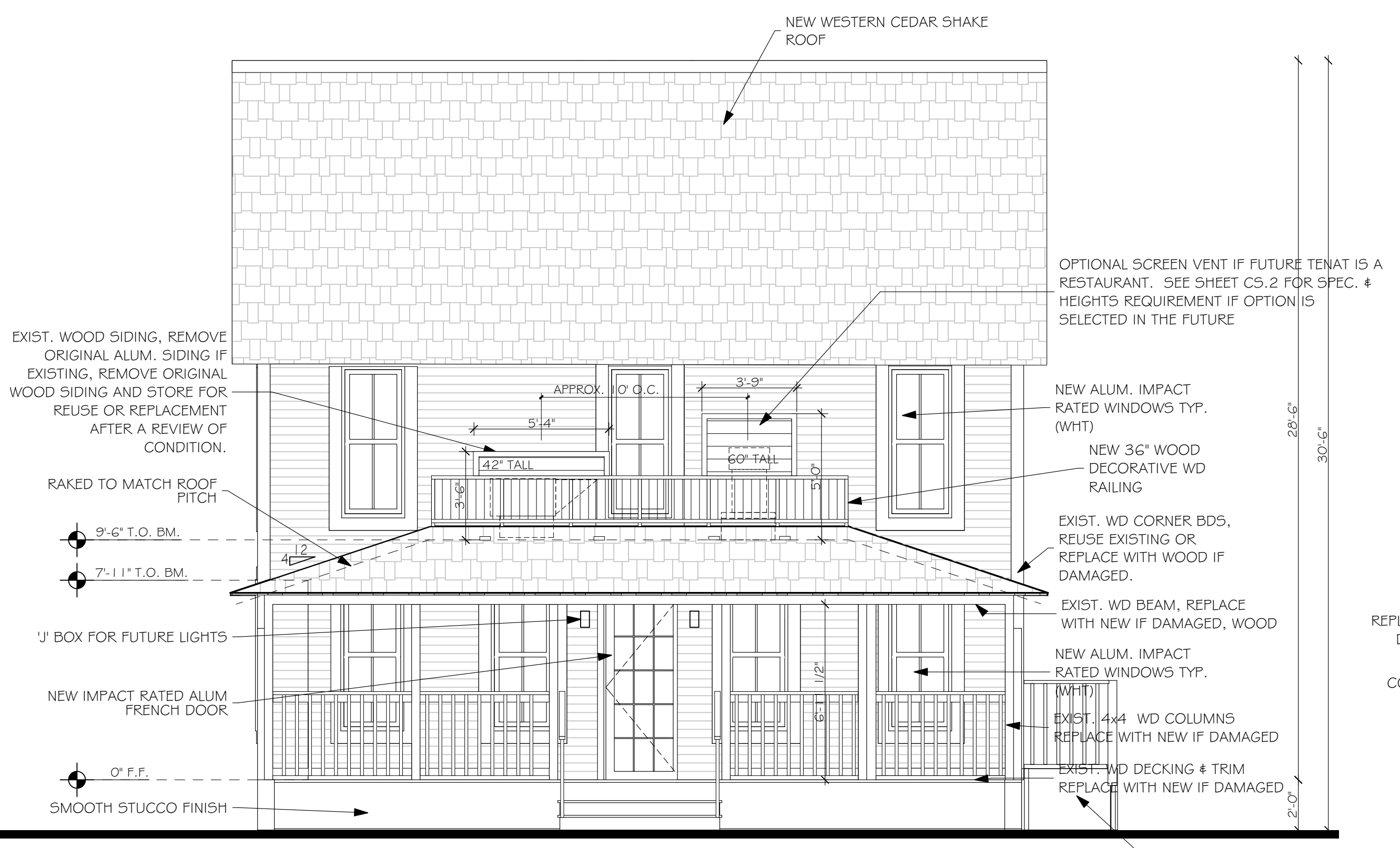
A-1.1



EXISTING BUILDING WEST ELEVATION
SCALE: 1" = 1'-0"

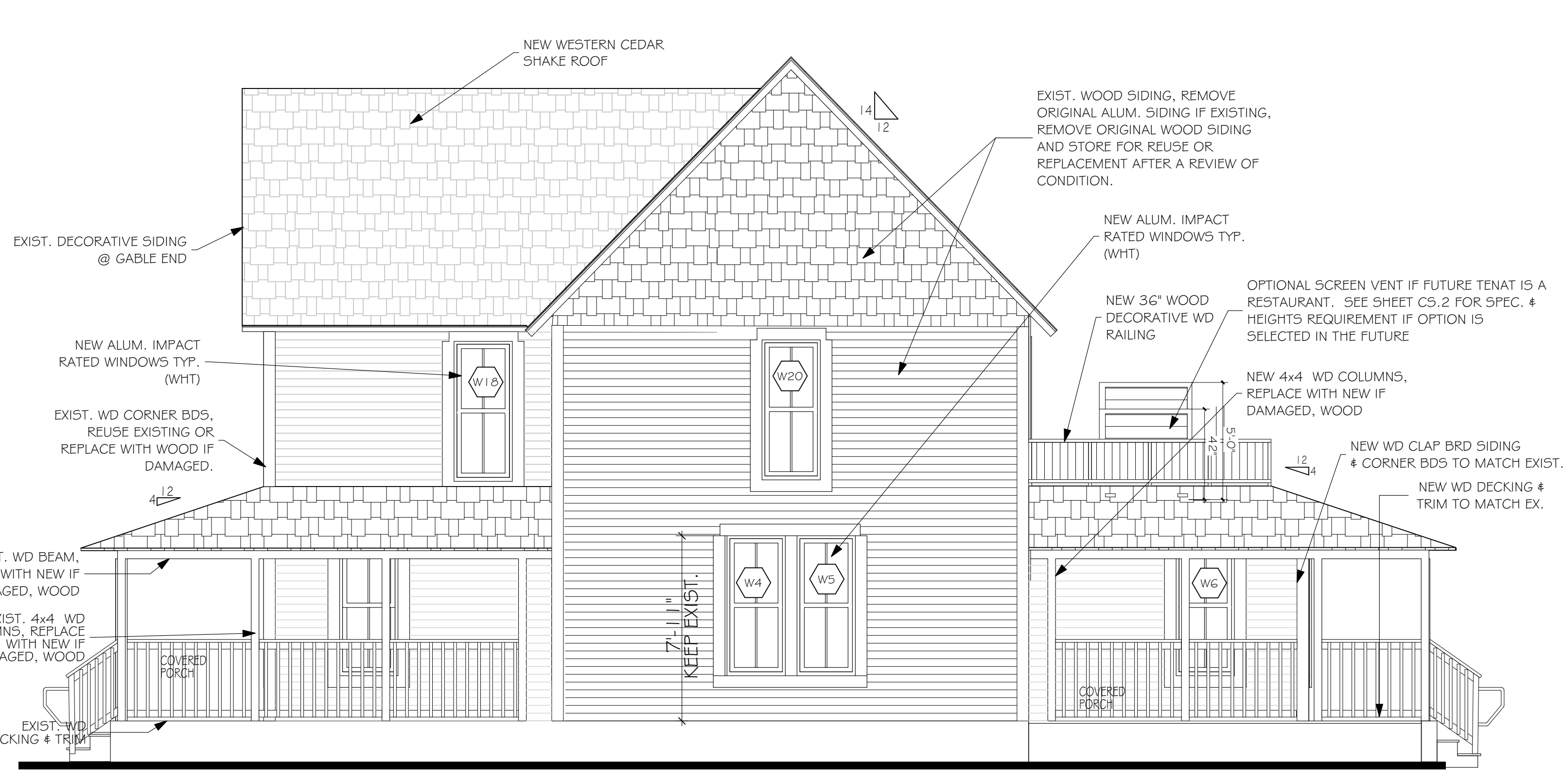


EXISTING NORTH ELEVATION
SCALE: 1" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
- ALL VENTS TO BE ON THE WEST ROOF PLANE OTHER THAN BATHROOM VENTING.



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
- ALL ADA RAMPS WILL HAVE WOOD GUARDRAILS, UNLESS NOTED AS HANDRAIL ONLY.
- REMOVED ALUMINUM SIDING AND DISCARD
- REMOVED ORIGINAL WOOD SIDING, CHECK FOR ANY DAMAGE AND REUSE. DISCARD ANY DAMAGED SIDING AND REPLACE WITH MATCHING PROFILE IN WOOD.
- PROVE EXT-PLYWOOD SHEATHING AND BACKING ON ORIGINAL STUDS AFTER REMOVAL OF SIDING. KEEP ANY ORIGINAL ANGELED BRACING.
- KEEP AND REPLACE ANY ORIGINAL TRIM WOOD AS MUCH AS POSSIBLE, ANY DAMAGED TO BE NEW AND MATCH EXISTING IN WOOD.
- ANY SCREENING TO MATCH STYLE, COLOR AND SIDING OF THE EXISTING HOME.
- FOR ANY WOOD MEMBERS: REUSE EXISTING OR REPLACE WITH WOOD IF DAMAGED.
- WOOD SIDING TO BE REPLACED" INSTEAD OF "NEW SIDING". IF THERE ARE ANY OTHER ELEMENTS THAT CURRENTLY EXIST, ON THE STRUCTURE THAT IS BEING REPLACED WITH THE SAME MATERIAL.

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COA APPLICATION
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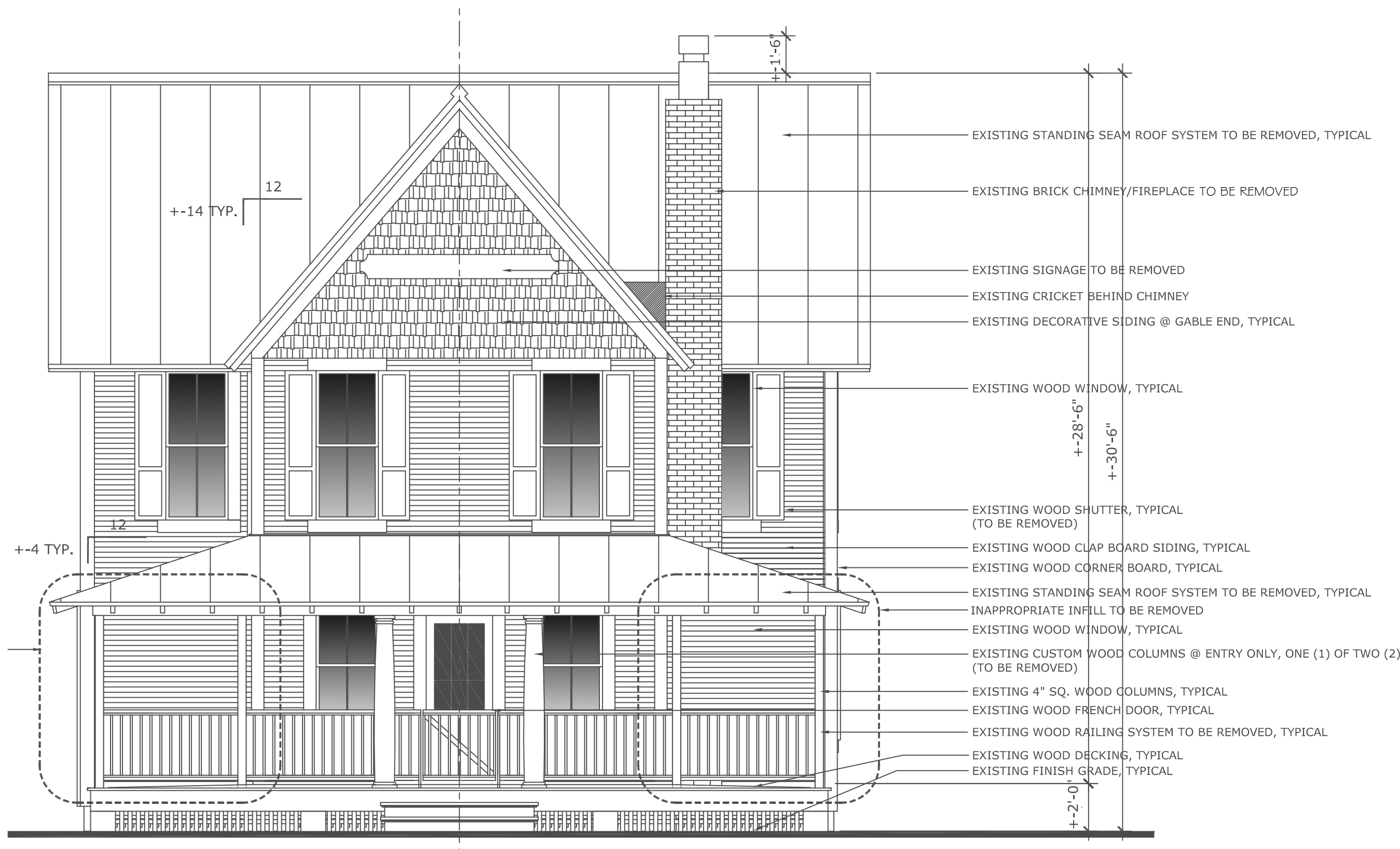
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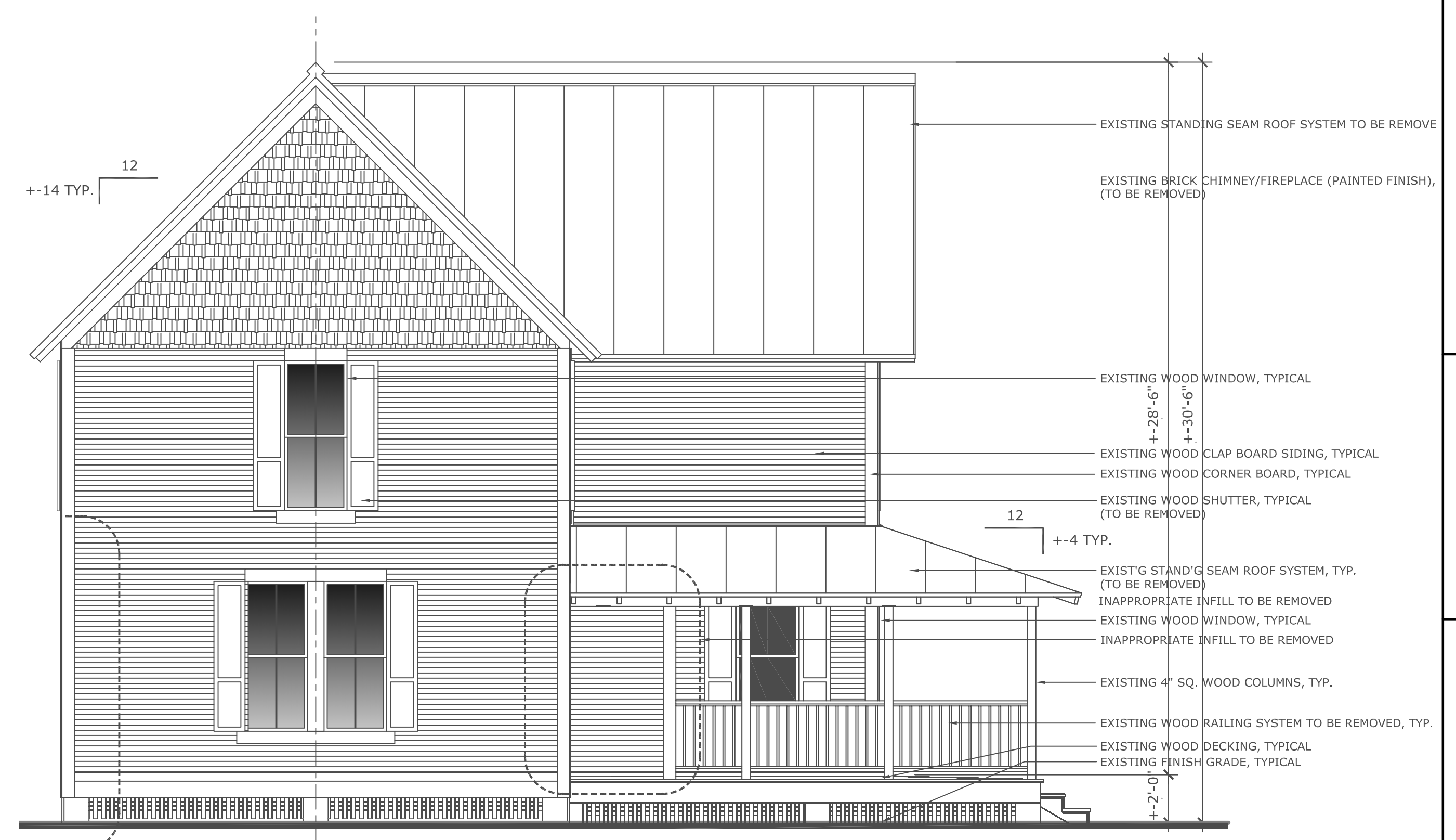
BUILDING ELEVATIONS

A-1.2



EXISTING EAST ELEVATION

SCALE: 1" = 1'-0"



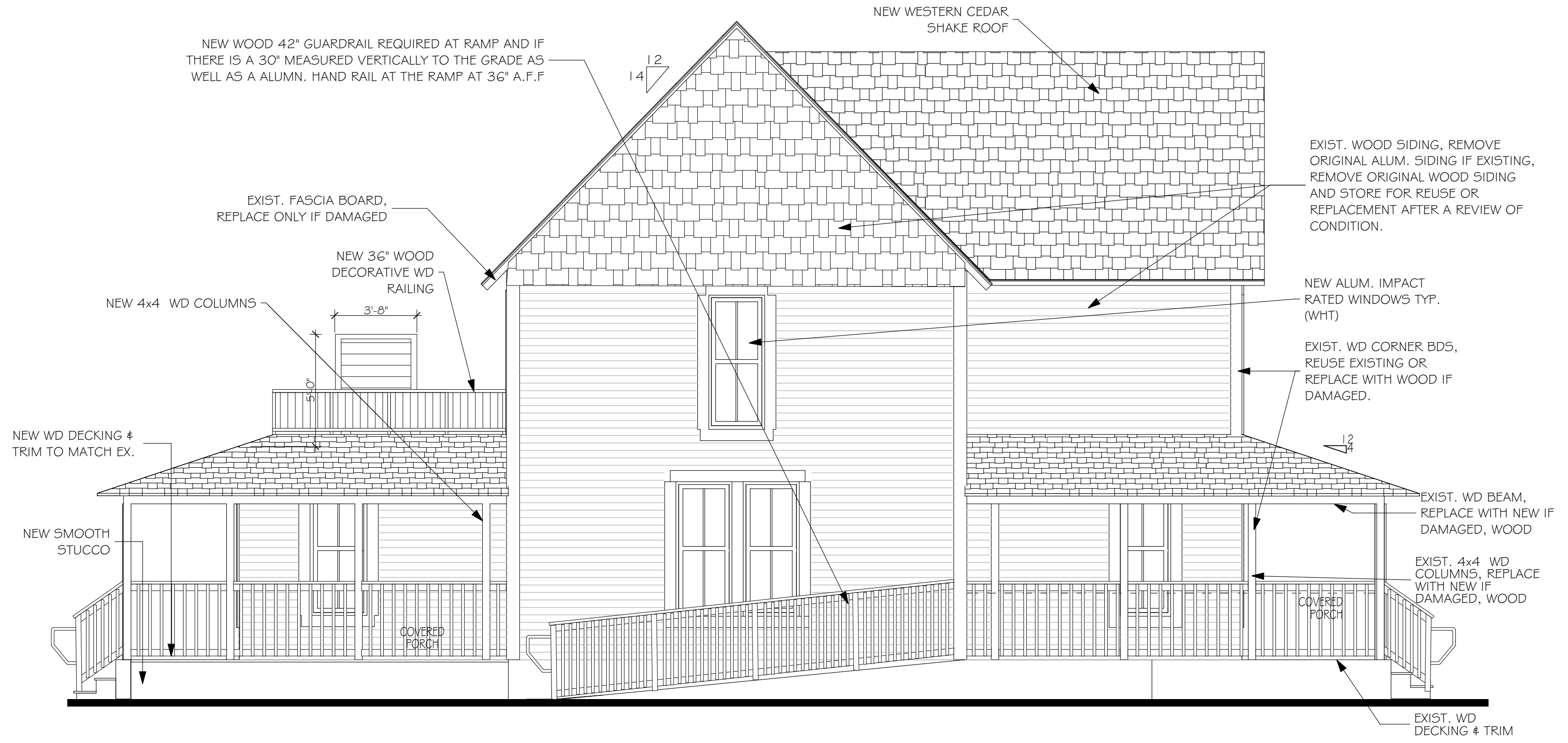
EXISTING SOUTH ELEVATION

SCALE: 1" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

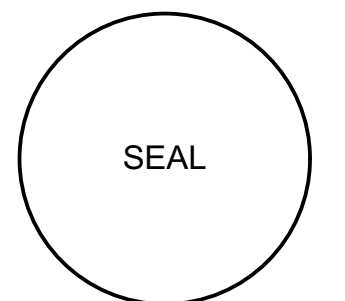


PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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COA APPLICATION
SUNDY VILLAGE BLOCK 61
 22-44 W. ATLANTIC AVE.
 DELRAY BEACH, FLORIDA 334444

COAAPPLICATION

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS. COPYRIGHT STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED REPRODUCTION OR ANY OTHER USE OF THIS DRAWING IS PROHIBITED.

PROJECT NO: 23-534
 DATE: 7.1.2024
 DRAWN BY: SKBT
 CHECKED BY: S.S.

REVISIONS:
 TAC COMMENTS (9.23.24)
 TAC COMMENTS (10.14.24)

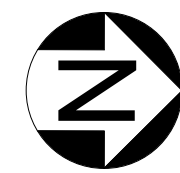
BUILDING A ELEVATIONS

A-1.3

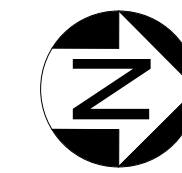
DEMOLITION NOTES:

- DEMOLITION PLANS SHOW APPROXIMATE LAYOUT OF EXISTING BUILDING AND ARE NOT INTENDED TO REPRESENT 'AS-BUILT' CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK, PRIOR TO THE START OF CONSTRUCTION.
- WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES (ELECTRICAL, PLUMBING, LOW-VOLTAGE, ETC) WITHIN DASHED (WALLS) SHALL ALSO BE REMOVED.
- PROVIDE ALL NECESSARY SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT STRUCTURE OR ELEMENT SHOWN TO REMAIN (IF APPLICABLE). SHORING AND BRACING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE LOCAL JURISDICTION.
- ALL ELECTRICAL DEMOLITION (DISCONNECT) WORK SHALL BE PERFORMED BY A FLORIDA LICENSED ELECTRICAL CONTRACTOR. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH CURRENT APPLICABLE CODES.
- ALL PLUMBING LINES; (SUPPLY & DRAIN) SHALL BE PROPERLY DISCONNECTED AND TEMPORARILY CAPPED TO BE EXTENDED AND RELOCATED ACCORDING TO THE FUTURE (SIGNED AND SEALED ENGINEERING DOCUMENTS) BY A FLORIDA LICENSED PLUMBING CONTRACTOR.
- THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS FROM THE SITE.
- ANY AND ALL HAZARDOUS MATERIAL TO BE REMOVED SHALL BE PROPERLY REMOVED AS REQUIRED BY AN EPA LICENSED AND INSURED MATERIAL CONTAINMENT CONTRACTOR.
- ASBESTOS REPORT FOR DEMOLITION SHALL BE COMPLETED AND SUBMITTED BY THE GENERAL CONTRACTOR.
- SELECTIVE DEMOLITION SHALL BE PERFORMED WITH A METHOD DESIGNED TO PRESERVE ADJACENT MATERIAL SCHEDULED TO REMAIN.

NOTE:
ALL NEW MECHANICAL, PLUMBING, GAS AND ELECTRICAL WORK WILL BE PROVIDED WITH THE FUTURE TENANTS BUILD-OUT AND SHALL MEET ALL CURRENT FBC REQUIREMENTS. THIS IS ONLY A DARK SHELL TO REPAIR THE EXISTING BUILDING WITH NO TENANT.



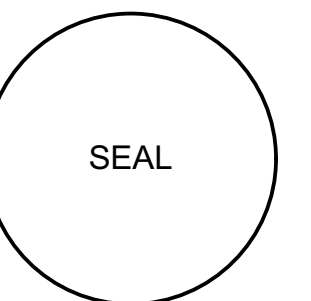
PROPOSED FLOOR PLAN BLDG F
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN BLDG B
SCALE: 1/4" = 1'-0"



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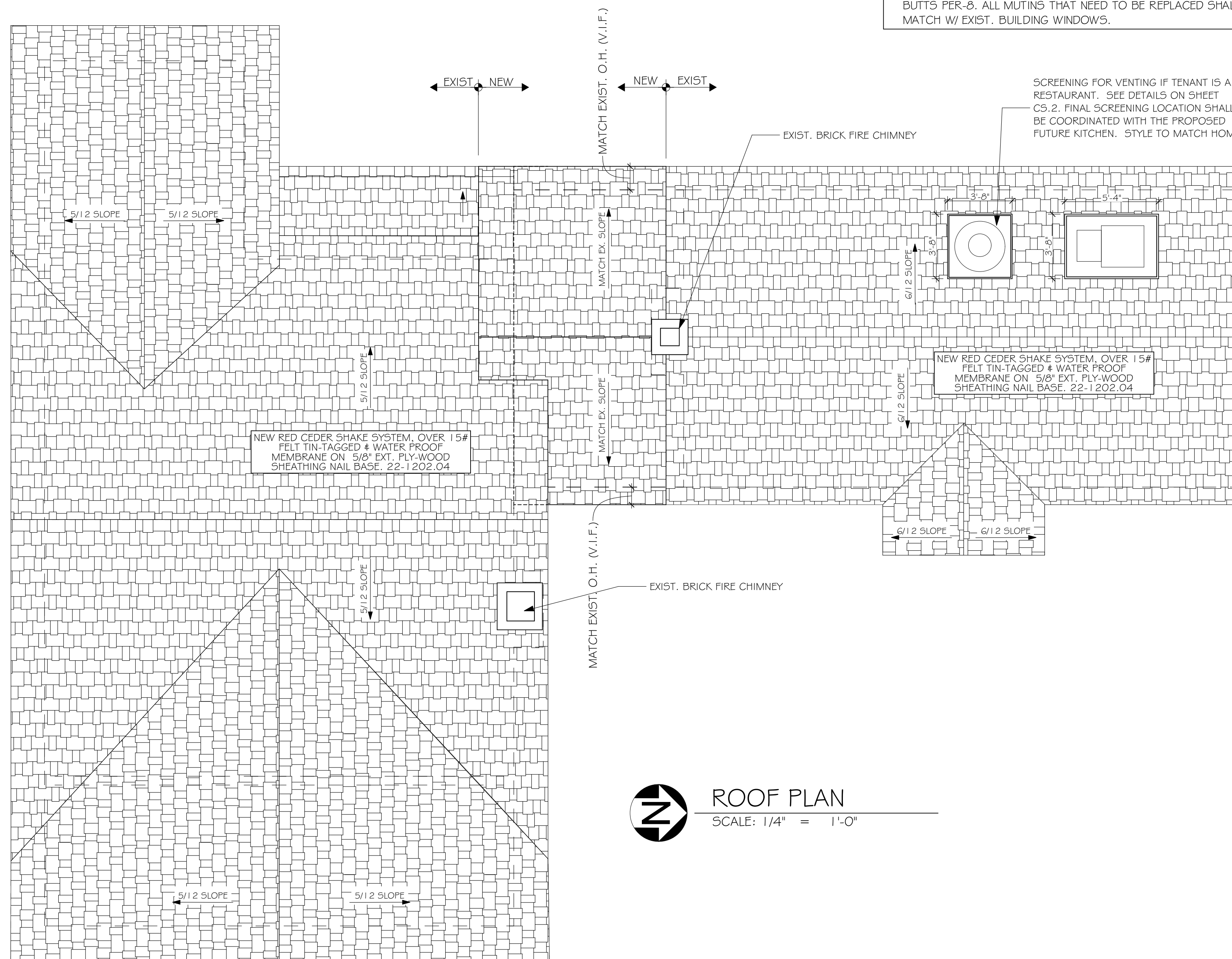
COA APPLICATION
SUNDY VILLAGE BLOCK 61
22-44 W. ATLANTIC AVE.
DELRAY BEACH, FLORIDA 334444

COA APPLICATION

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PROJECT NO:	23-534
DATE:	7.1.2024
DRAWN BY:	SKBT
CHECKED BY:	S.S.
REVISIONS:	
	▲ TAC COMMENTS (9.23.24)
	▲ TAC COMMENTS (10.14.24)

BUILDING B&F FLOOR PLAN
BF--2.0

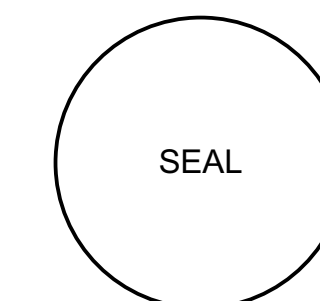


- DOOR & WINDOW NOTES:**
1. REFER TO GENERAL NOTES & SPEC. FOR ADDITIONAL NOTES
 2. ALL EXTERIOR GLAZING GLASS SHALL BE CLEAR (NO TINT AND NON-REFLECTIVE).
 3. G.C. SHALL COORDINATE OPENINGS W/ DOOR & WINDOW MANUFACTURER.
 4. ALL EXTERIOR DOORS AND WINDOWS TO BE IMPACT RATED.
 5. ALL NEW INTERIOR GLASS DOORS AND/OR WINDOWS SHALL BE TEMP. GLASS "SAFETY GLASS"
 6. REFER TO STRUCTURAL DWGS. FOR MIN. PRESSURES REQUIREMENTS.
 7. IF APPLICABLE, ALL 8' HIGH DOORS MUST HAVE (2) PAIR OF BUTTS PER-B. ALL MUTINS THAT NEED TO BE REPLACED SHALL MATCH W/ EXIST. BUILDING WINDOWS.

SCREENING FOR VENTING IF TENANT IS A RESTAURANT. SEE DETAILS ON SHEET CS-2. FINAL SCREENING LOCATION SHALL BE COORDINATED WITH THE PROPOSED FUTURE KITCHEN. STYLE TO MATCH HOME.

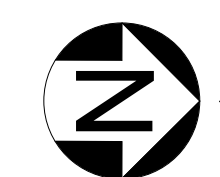


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ROOF PLAN
SCALE: 1/4" = 1'-0"

DOOR HARDWARE GROUP	DESCRIPTION	DOOR HARDWARE											
		PAIR OF BUTTS	KEYED LOCK	THUMB-CYLINDER LOCK	LEVER - LOCK SET	LEVER - PRIVACY SET	LEVER - PASSAGE SET	PANIC EGRESS LOCKSET	POSITIVE LATCH (LABEL)	CLOSER	WEATHER STRIPING	WALL STOP	KICK PLATE
GROUP A	1-1/2	•	•				•	•	•	•			
GROUP B	1-1/2				•						•	•	
GROUP C	1-1/2				•					•	•	•	
GROUP D	1-1/2					•					•	•	
GROUP E									•				•

NOTE:
1. HARDWARE SCHEDULE IS NOT TOTALLY INCLUSIVE & MAY VARY IN SCOPE. SEE FINAL HARDWARE SUPPLIERS HARDWARE LIST FOR COMPLETE DESCRIPTION.
2. FINISH WITH PANIC HARDWARE BY MANUFACTURER. INSTALL ACCORDING TO THE PROVIDED NOTICE OF ACCEPTANCE (NOA)

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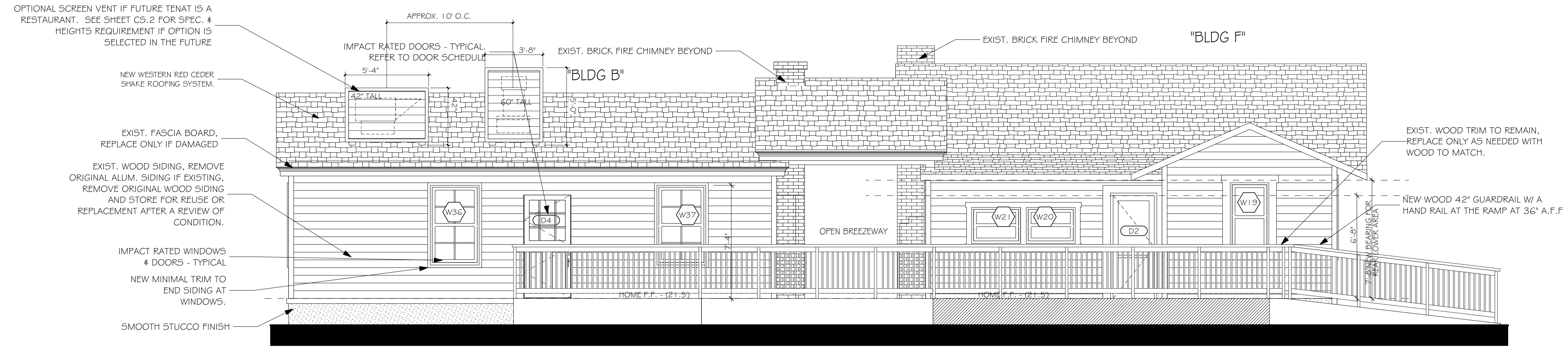
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REVISIONS:

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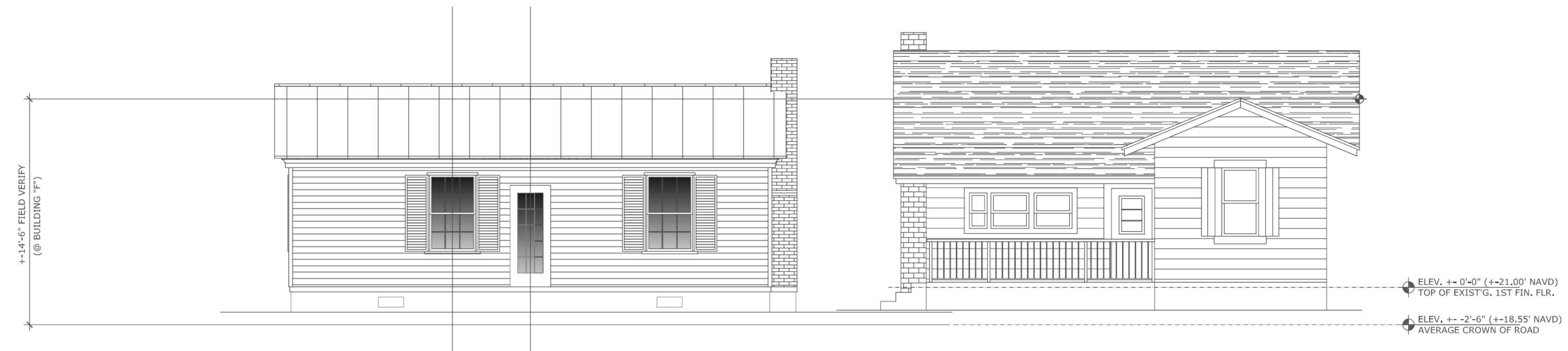
TAC COMMENTS (10.14.24)

BUILDING B&F ROOF
PLAN
BF-2.1

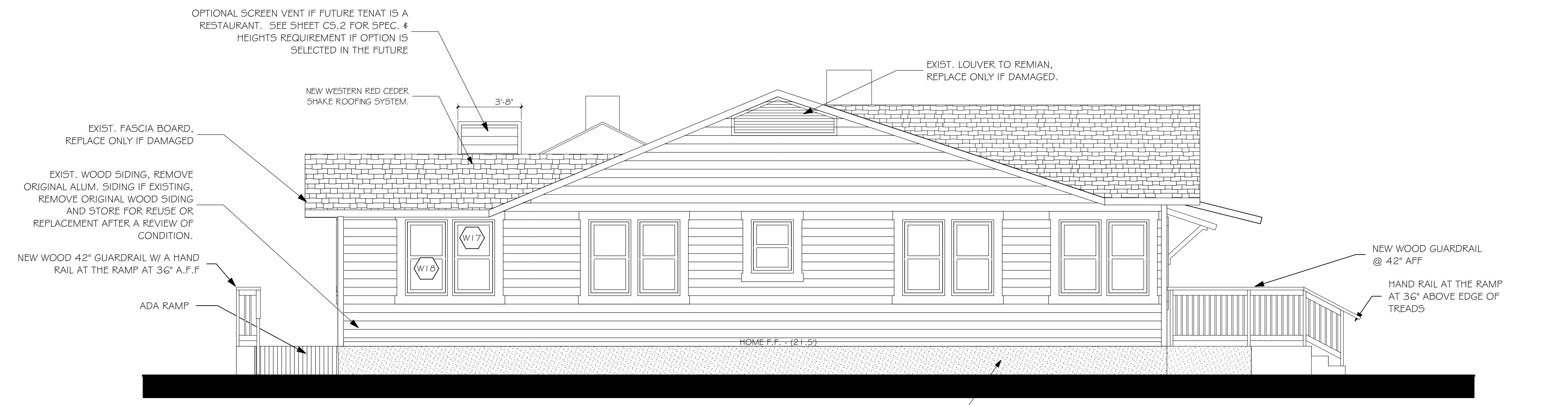


(REAR) WEST ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
- ALL VENTS TO BE ON THE WEST ROOF PLANE OTHER THAN BATHROOM VENTING.



EXISTING WEST ELEVATION
SCALE: 1:1.00

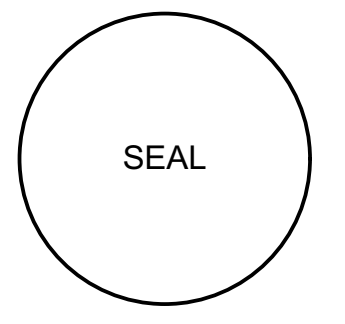


(BUILDING \"F\" LEFT SIDE) SOUTH ELEVATION (1)
SCALE: 1/4" = 1'-0"

NOTES:
- ALL ADA RAMP WILL HAVE WOOD GUARDRAILS, UNLESS NOTED AS HANDRAIL ONLY.
- REMOVED ALUMINUM SIDING AND DISCARD
- REMOVED ORIGINAL WOOD SIDING, CHECK FOR ANY DAMAGE AND REUSE. DISCARD ANY DAMAGED SIDING AND REPLACE WITH MATCHING PROFILE IN WOOD.
- PROVE EXT-PLYWOOD SHEATHING AND BACKING ON ORIGINAL STUDS AFTER REMOVAL OF SIDING. KEEP ANY ORIGINAL ANGELED BRACING.
- KEEP AND REPLACE ANY ORIGINAL TRIM WOOD AS MUCH AS POSSIBLE, ANY DAMAGED TO BE NEW AND MATCH EXISTING IN WOOD.
- ANY SCREENING TO MATCH STYLE, COLOR AND SIDING OF THE EXISTING HOME.
- WOOD SIDING TO BE REPLACED INSTEAD OF \"NEW SIDING\". IF THERE ARE ANY OTHER ELEMENTS THAT CURRENTLY EXIST, ON THE STRUCTURE THAT IS BEING REPLACED WITH THE SAME MATERIAL.



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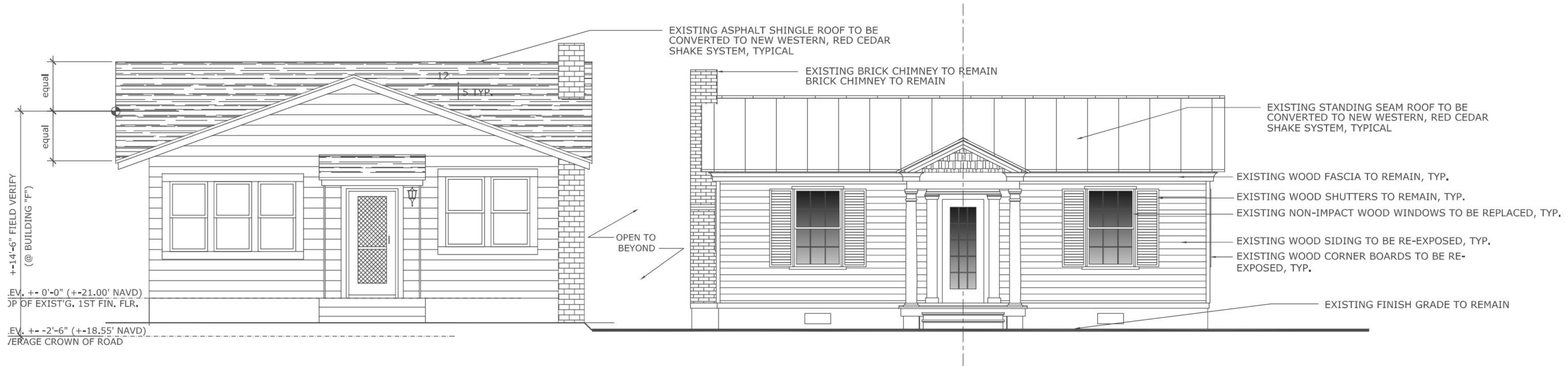
COA APPLICATION
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BLOCK 61
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DELRAY BEACH, FLORIDA 334444

COA APPLICATION

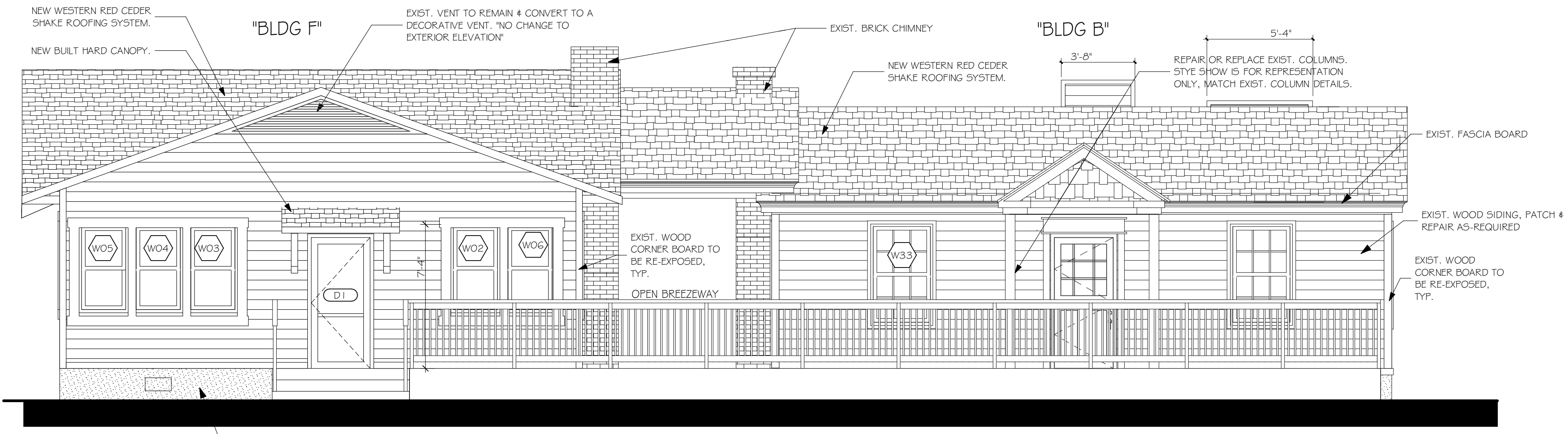
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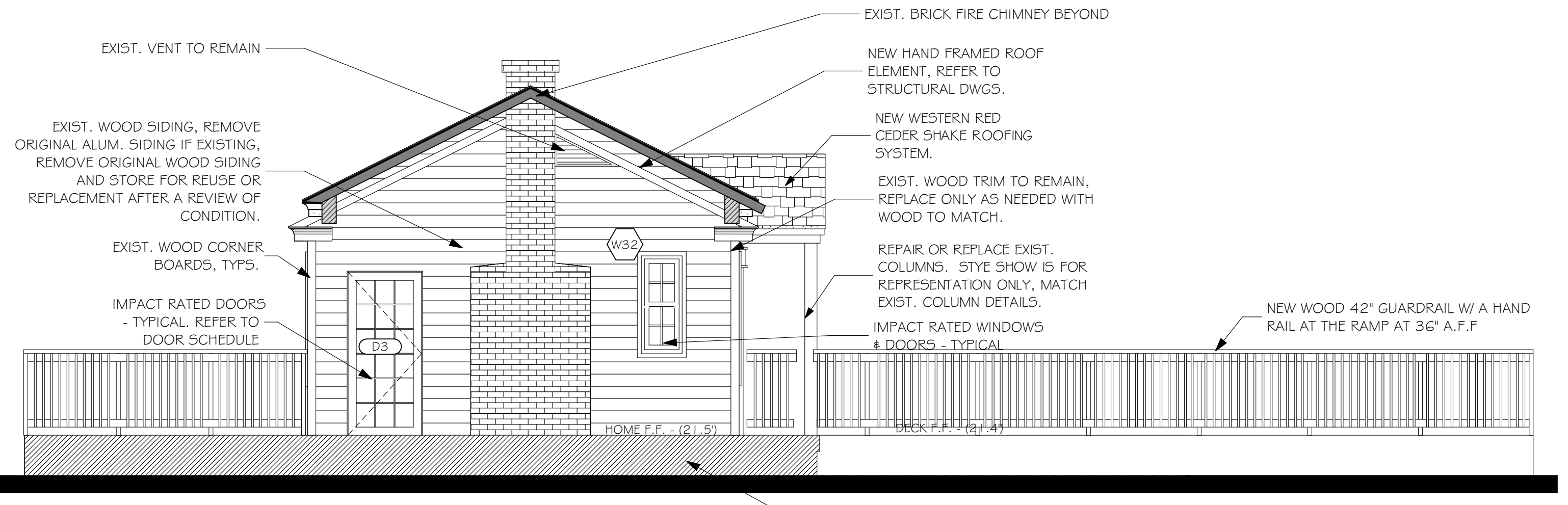
BUILDING B&F
ELEVATIONS
BF-2.2



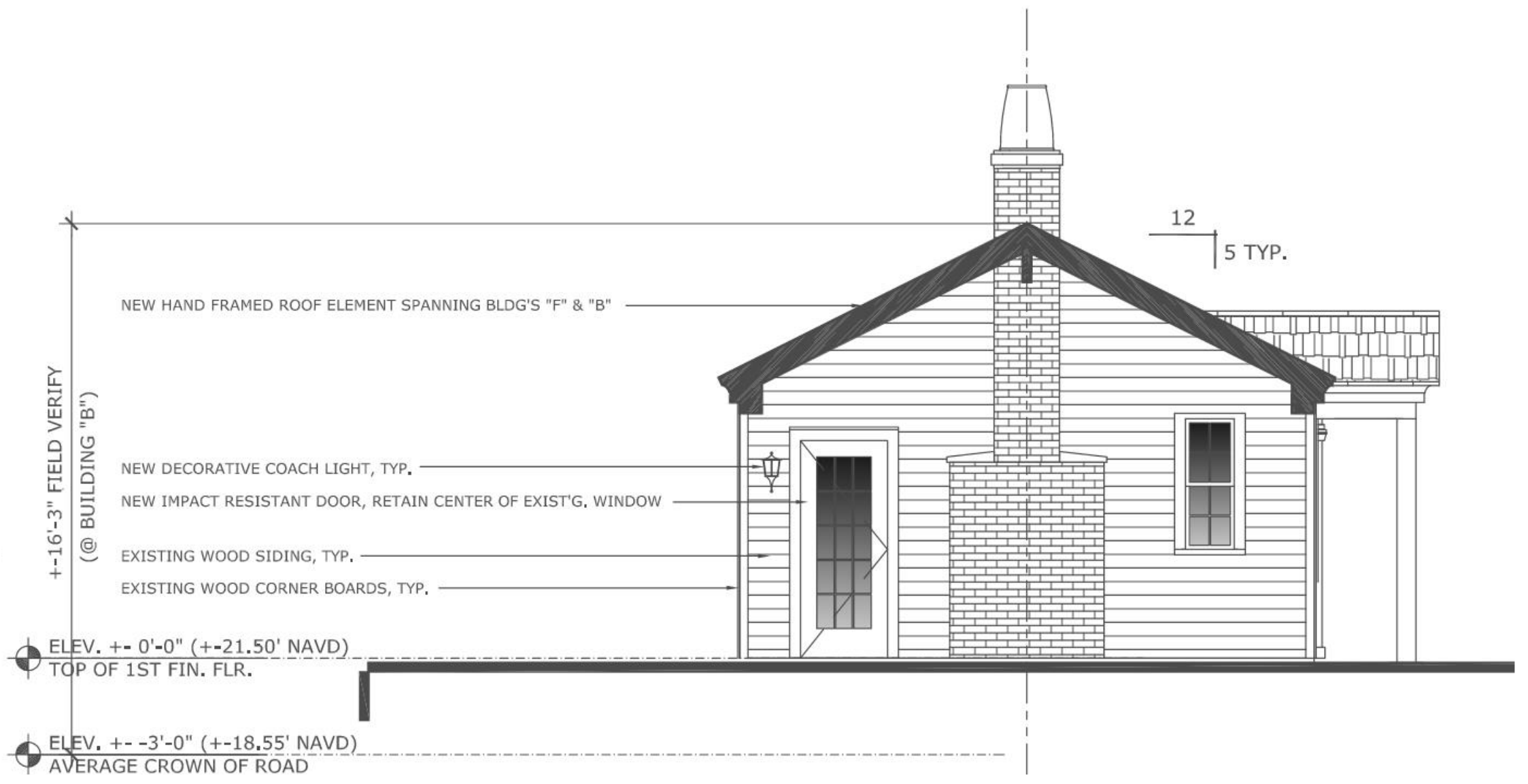
EXISTING EAST ELEVATION
SCALE: 1' = 1'-0"



(FRONT) EAST ELEVATION
SCALE: 1/4" = 1'-0"



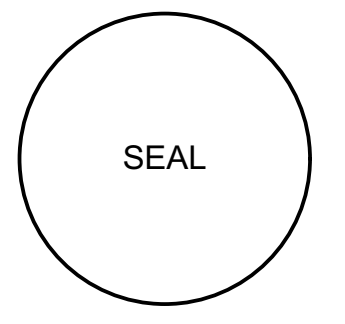
(BLDG B LEFT SIDE) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1' = 1'-0"



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COA APPLICATION
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DELRAY BEACH, FLORIDA 33444

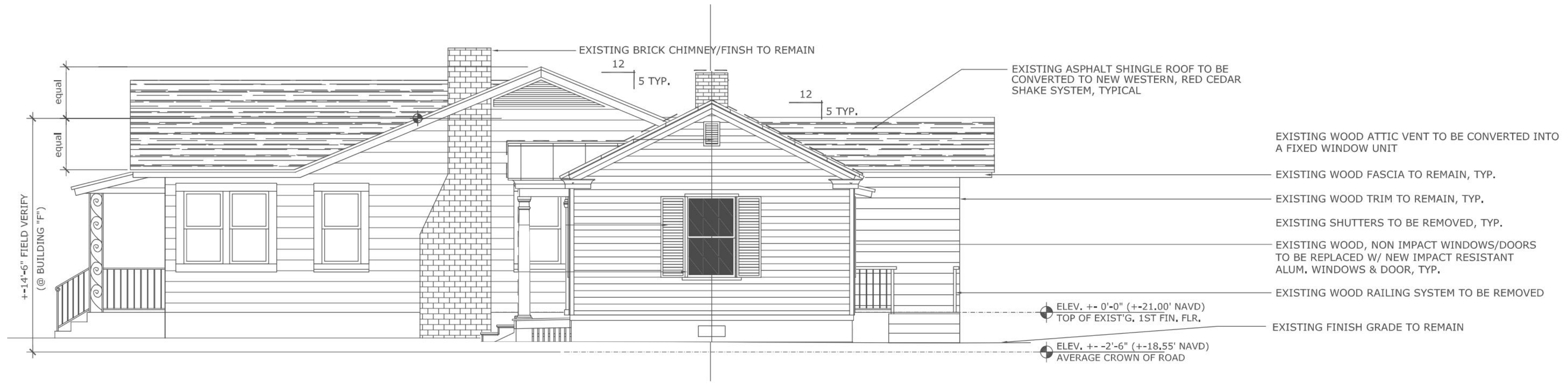
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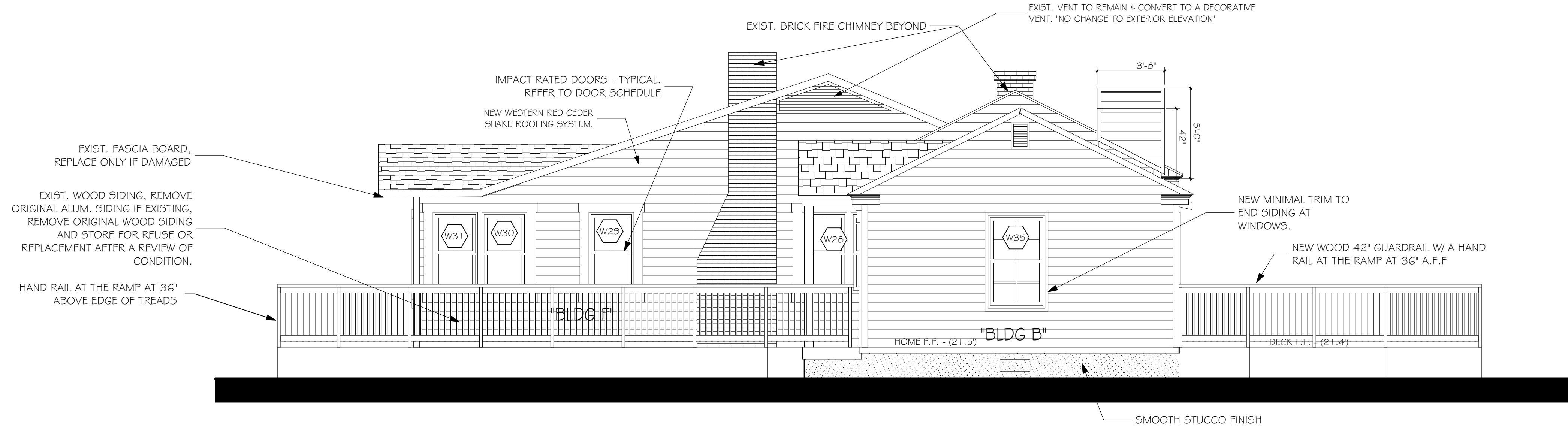
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BUILDING B&F
ELEVATIONS
BF-2.3



EXISTING NORTH ELEVATION
SCALE: 1" = 1'-0"

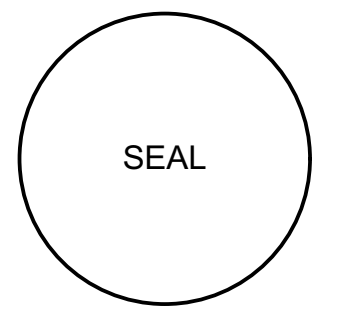


(RIGHT SIDE) NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- NOTES:**
- ALL ADA RAMP WILL HAVE WOOD GUARDRAILS, UNLESS NOTED AS HANDRAIL ONLY.
 - REMOVED ALUMINUM SIDING AND DISCARD
 - REMOVED ORIGINAL WOOD SIDING, CHECK FOR ANY DAMAGE AND REUSE. DISCARD ANY DAMAGED SIDING AND REPLACE WITH MATCHING PROFILE IN WOOD.
 - PROVE EXT-PLYWOOD SHEATHING AND BACKING ON ORIGINAL STUDS AFTER REMOVAL OF SIDING. KEEP ANY ORIGINAL ANGELED BRACING.
 - KEEP AND REPLACE ANY ORIGINAL TRIM WOOD AS MUCH AS POSSIBLE, ANY DAMAGED TO BE NEW AND MATCH EXISTING IN WOOD.
 - ANY SCREENING TO MATCH STYLE, COLOR AND SIDING OF THE EXISTING HOME
 - WOOD SIDING TO BE REPLACED INSTEAD OF "NEW SIDING". IF THERE ARE ANY OTHER ELEMENTS THAT CURRENTLY EXIST, ON THE STRUCTURE THAT IS BEING REPLACED WITH THE SAME MATERIAL.



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COA APPLICATION
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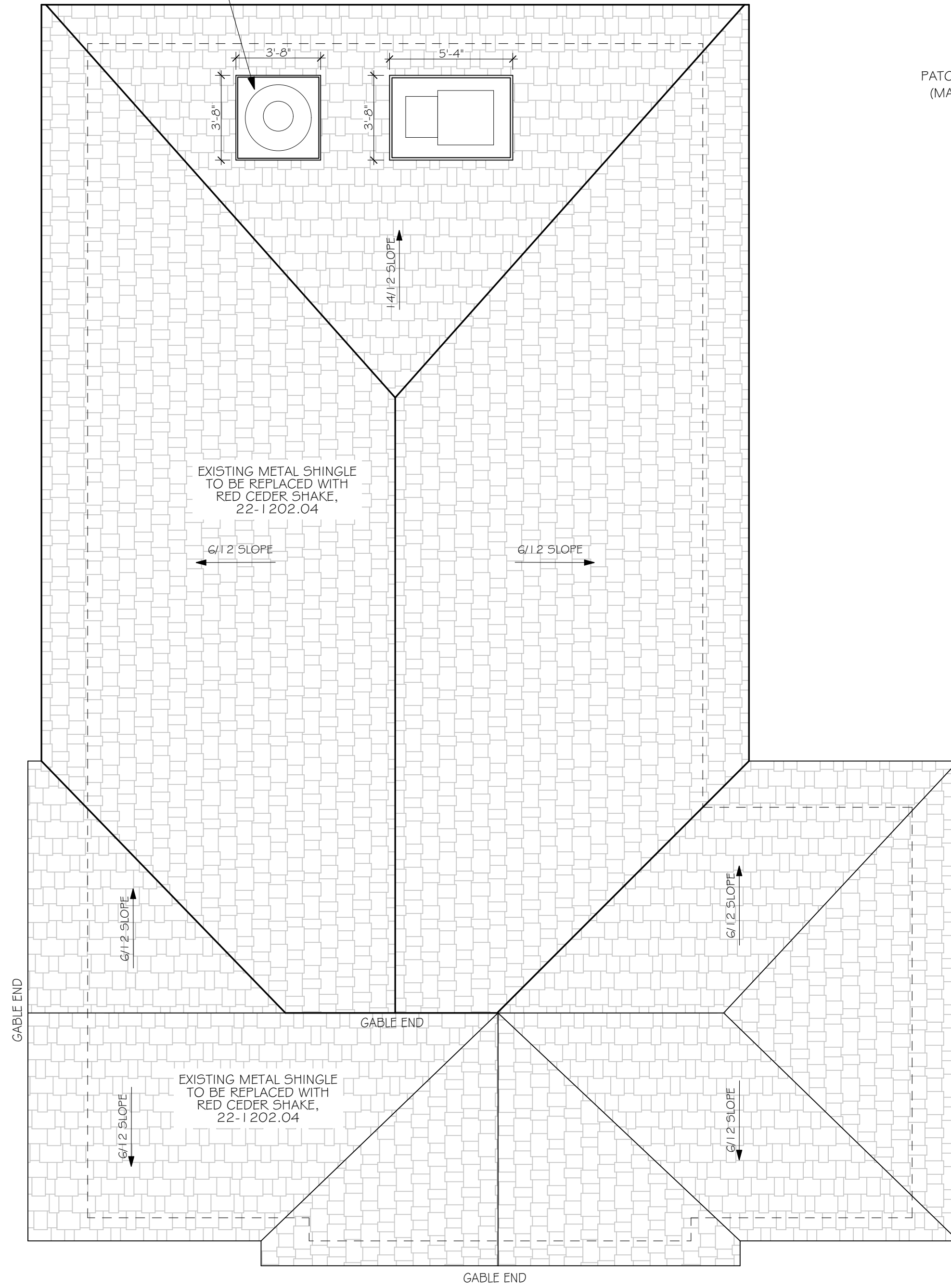
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BUILDING B&F
ELEVATIONS
BF-2.4

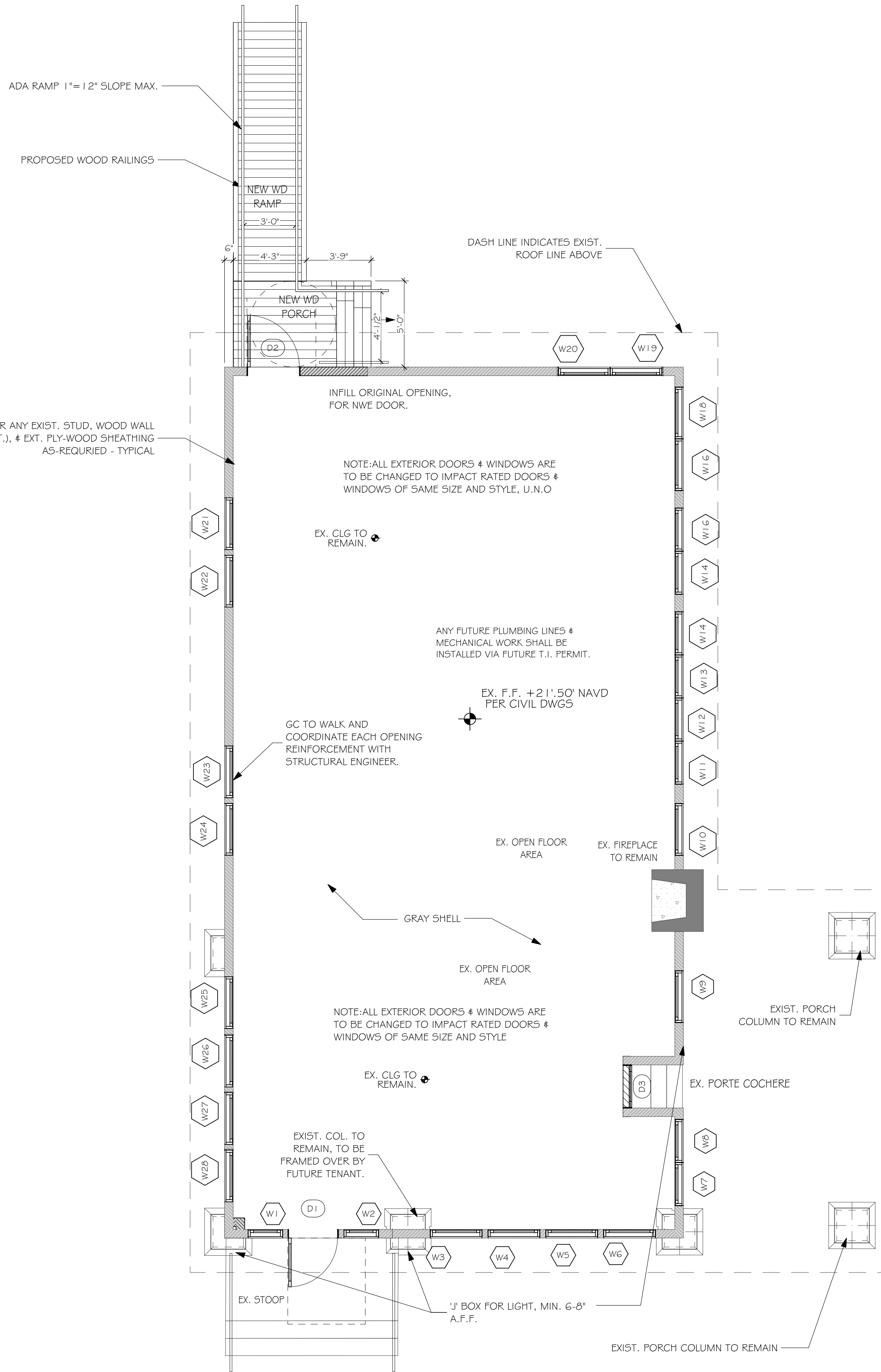
SCREENING FOR VENTING IF TENANT IS A RESTAURANT. SEE DETAILS ON SHEET CS.2. FINAL SCREENING LOCATION SHALL BE COORDINATED WITH THE PROPOSED FUTURE KITCHEN. STYLE TO MATCH HOME.



ROOF PLAN SCALE: 1/4" = 1'-0"

NOTE: ALL NEW MECHANICAL, PLUMBING, GAS AND ELECTRICAL WORK WILL BE PROVIDED WITH THE FUTURE TENANTS BUILD-OUT AND SHALL MEET ALL CURRENT FBC REQUIREMENTS. THIS IS ONLY A DARK SHELL TO REPAIR THE EXISTING BUILDING WITH NO TENANT.

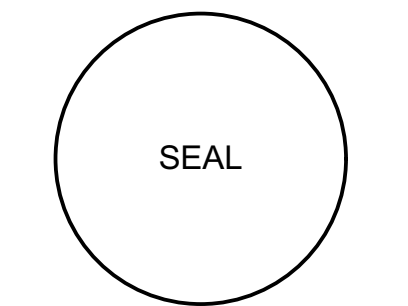
PATCH AND REPAIR ANY EXIST. STUD, WOOD WALL (MATCH W/ EXIST.), & EXT. PLY-WOOD SHEATHING AS-REQUIRED - TYPICAL



PROPOSED FLOOR PLAN SCALE: 1/4" = 1'-0"



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COA APPLICATION SUNDY VILLAGE BLOCK 61 22-44 W. ATLANTIC AVE. DELRAY BEACH, FLORIDA 334444

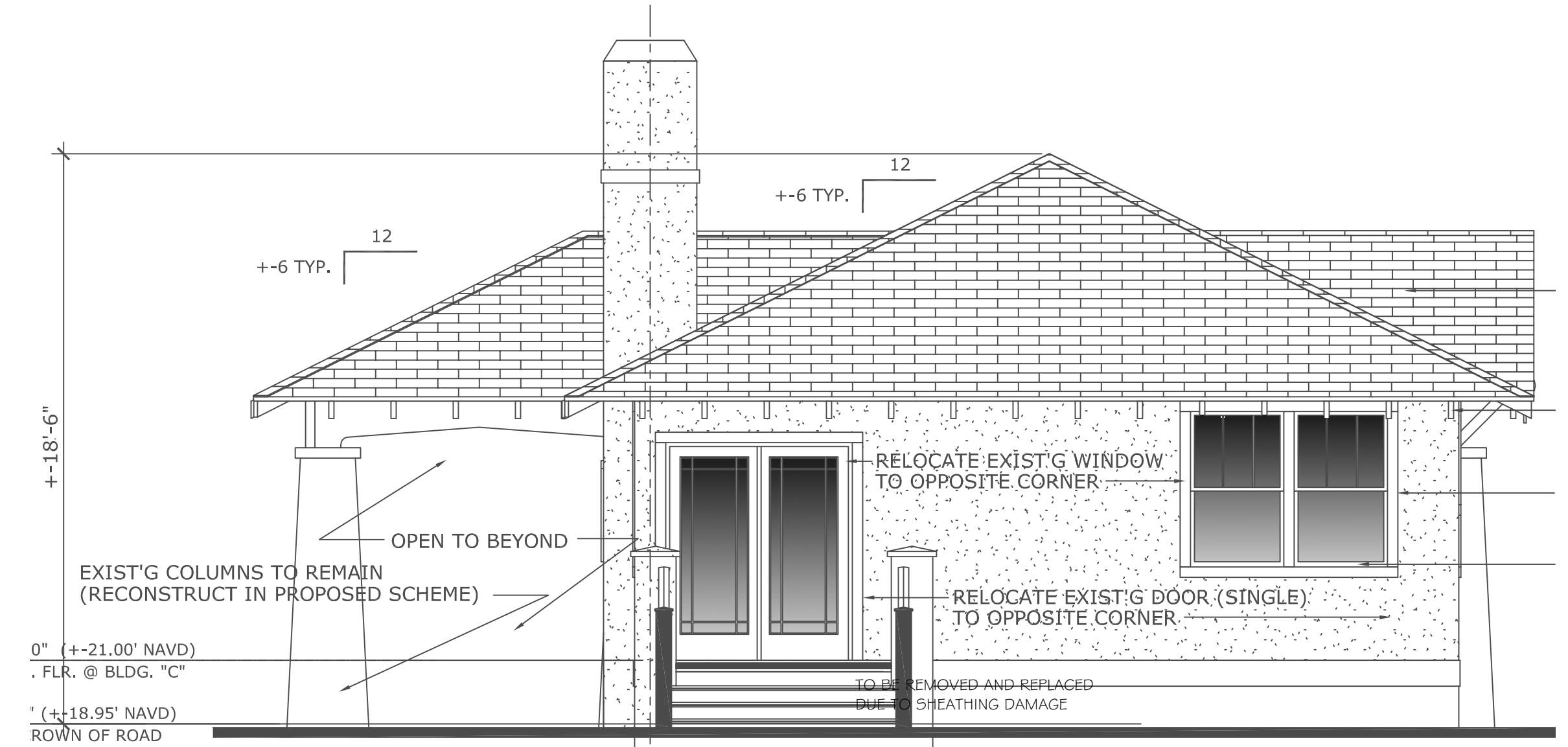
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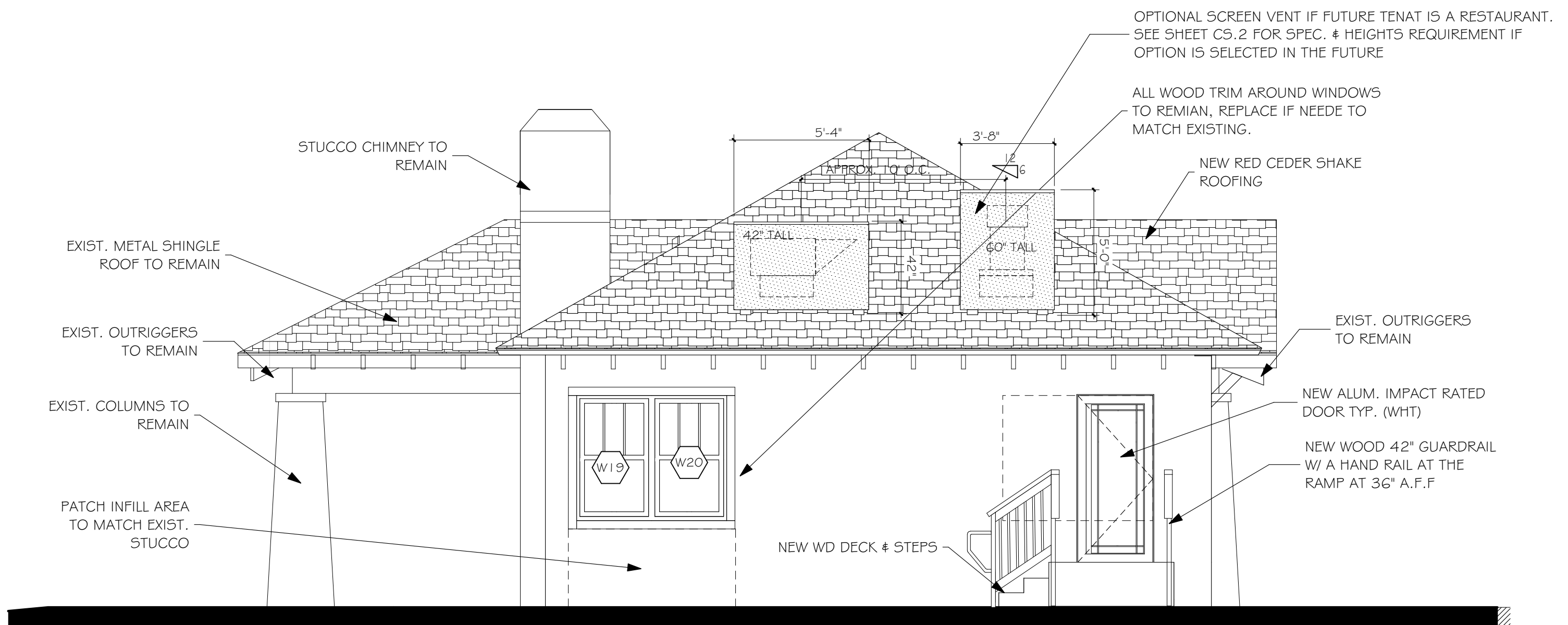
PROJECT NO: 23-534 DATE: 7.1.2024 DRAWN BY: SKBT CHECKED BY: S.S. REVISIONS: TAC COMMENTS (9.23.24) TAC COMMENTS (10.14.24)

BUILDING C FLOOR PLAN

C-3.0



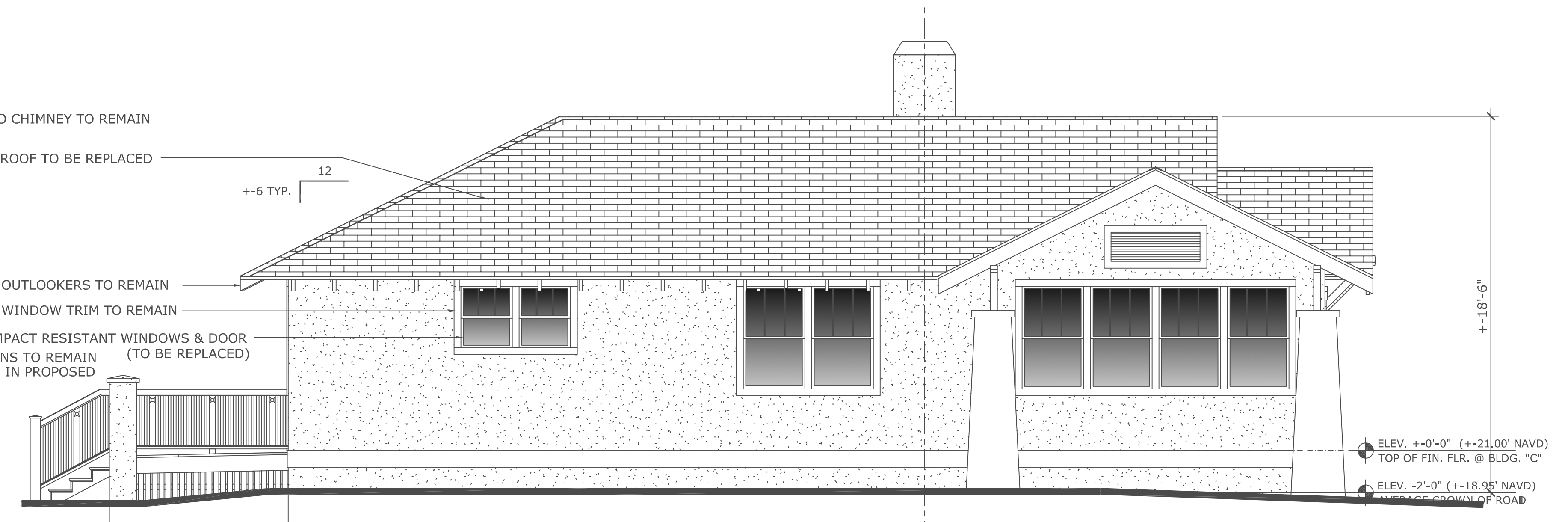
EXISTING WEST ELEVATION
SCALE: 1" = 1'-0"



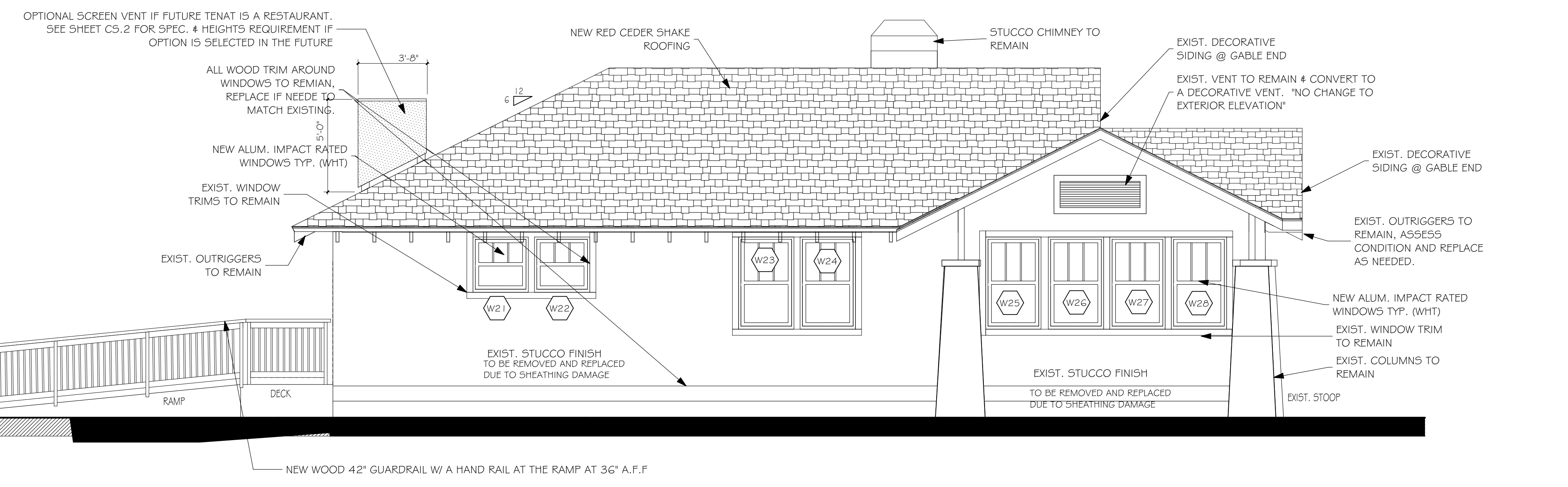
WEST ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
- ALL VENTS TO BE ON THE WEST ROOF PLANE OTHER THAN BATHROOM VENTING.

- EXIST'G STUCCO CHIMNEY TO REMAIN
- EXIST'G METAL ROOF TO BE REPLACED
- EXIST'G WOOD OUTLOOKERS TO REMAIN
- EXIST'G WOOD WINDOW TRIM TO REMAIN
- EXIST'G NON IMPACT RESISTANT WINDOWS & DOOR (TO BE REPLACED)
- EXIST'G COLUMNS TO REMAIN (RECONSTRUCT IN PROPOSED SCHEME)



EXISTING SOUTH ELEVATION
SCALE: 1" = 1'-0"

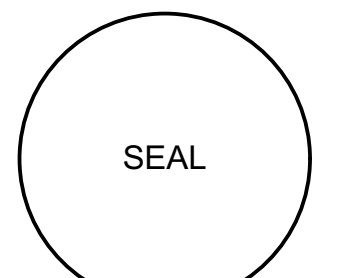


SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
- ALL ADA RAMPS WILL HAVE WOOD GUARDRAILS, UNLESS NOTED AS HANDRAIL ONLY.
- REMOVED ALUMINUM SIDING AND DISCARD
- REMOVED ORIGINAL STUCCO FINISH AND SUBSTRATE DUE TO DAMAGED WATER PROOFING AND SHEATHING.
- PROVE EXT-PLYWOOD SHEATHING AND BACKING ON ORIGINAL STUDS AFTER REMOVAL OF STUCCO.
- KEEP AND REPLACE ANY ORIGINAL TRIM WOOD AS MUCH AS POSSIBLE, ANY DAMAGED TO BE NEW AND MATCH EXISTING IN WOOD.
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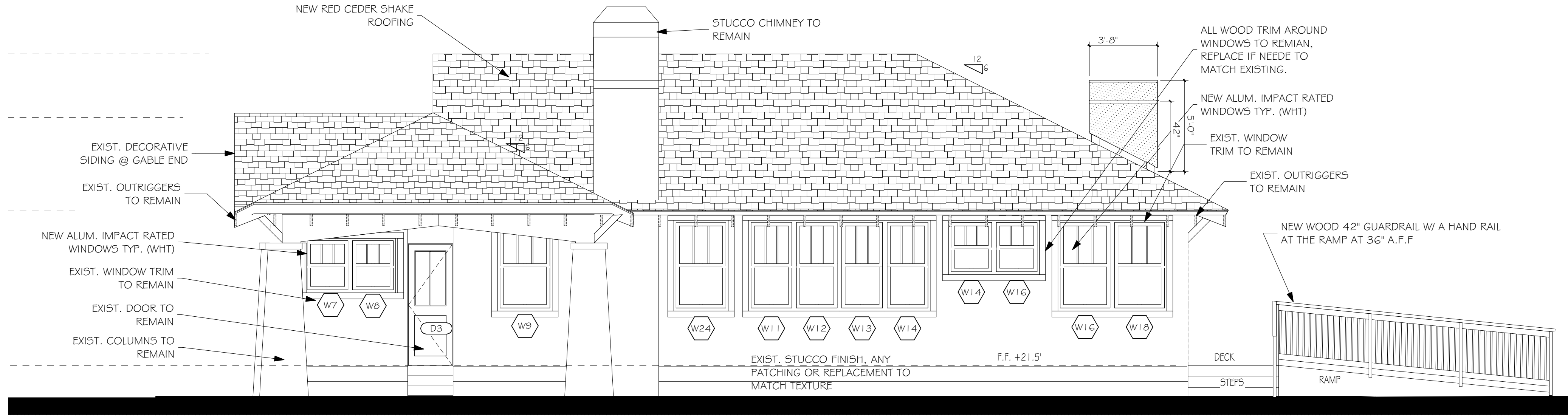
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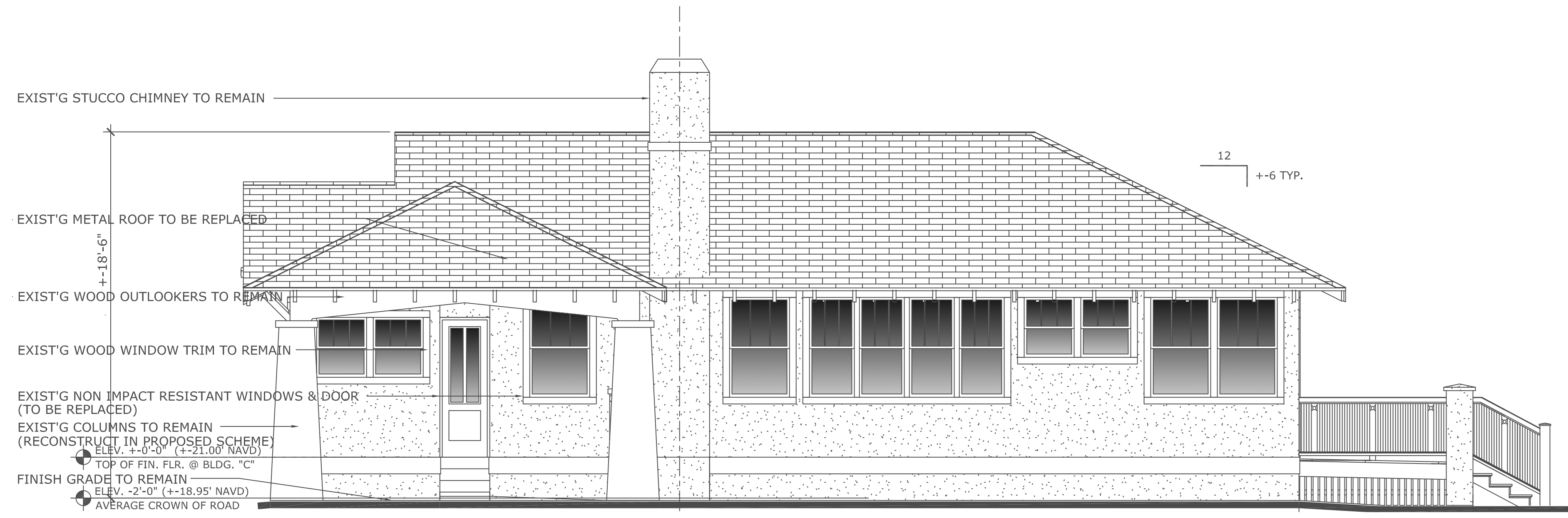
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BUILDING C ELEVATIONS

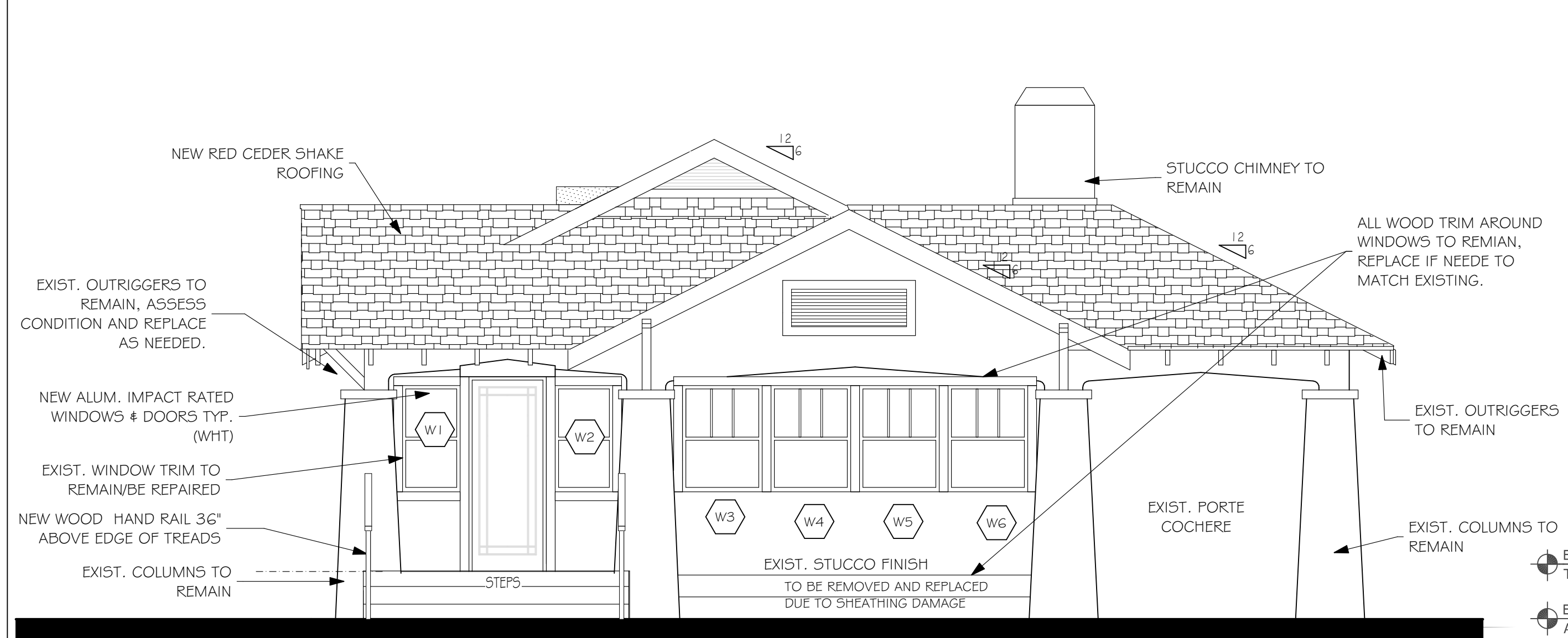
C-3.1



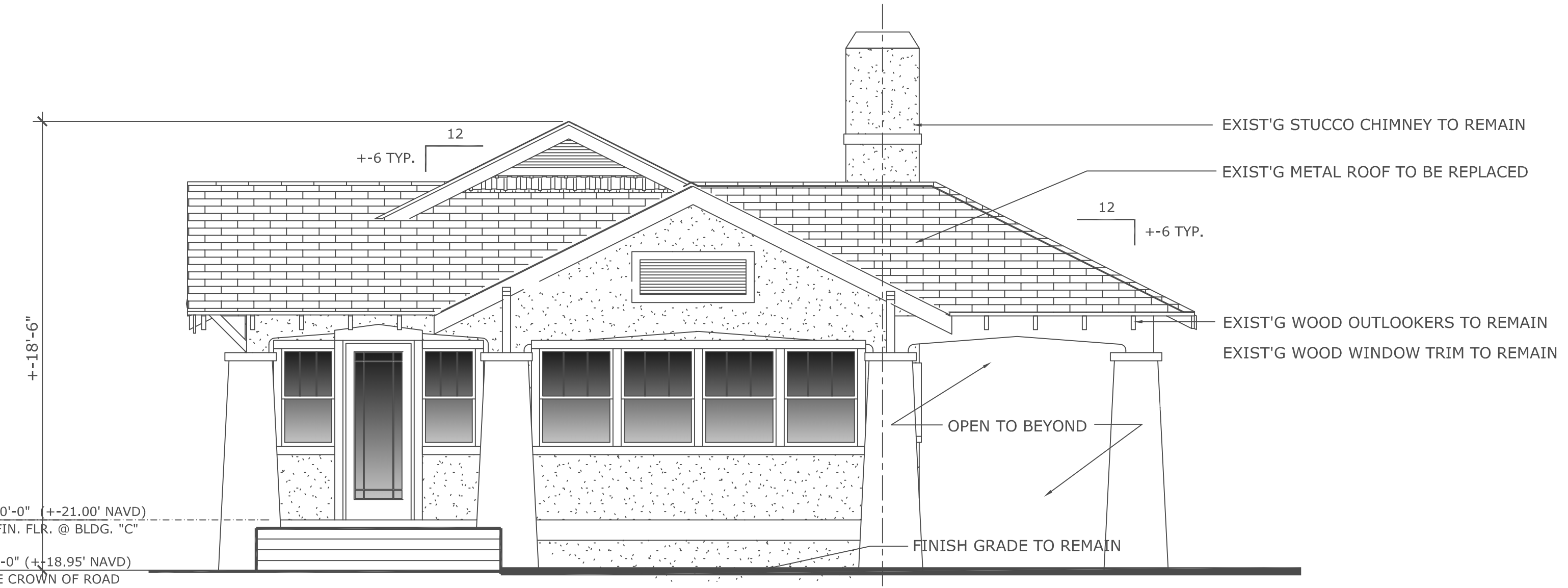
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION
SCALE: 1' = 1'-0"



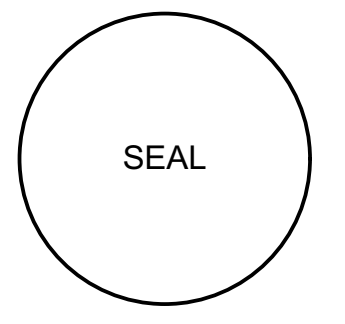
EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 1' = 1'-0"



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TEXAS 26934

COA APPLICATION
SUNDY VILLAGE
BLOCK 61
22-44 W. ATLANTIC AVE.
DELRAY BEACH, FLORIDA 334444

COA APPLICATION

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CHECKED BY: S.S.

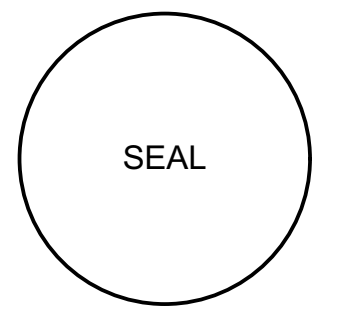
REVISIONS:
TAC COMMENTS (9.23.24)
TAC COMMENTS (10.14.24)

BUILDING C ELEVATIONS

C-3.2



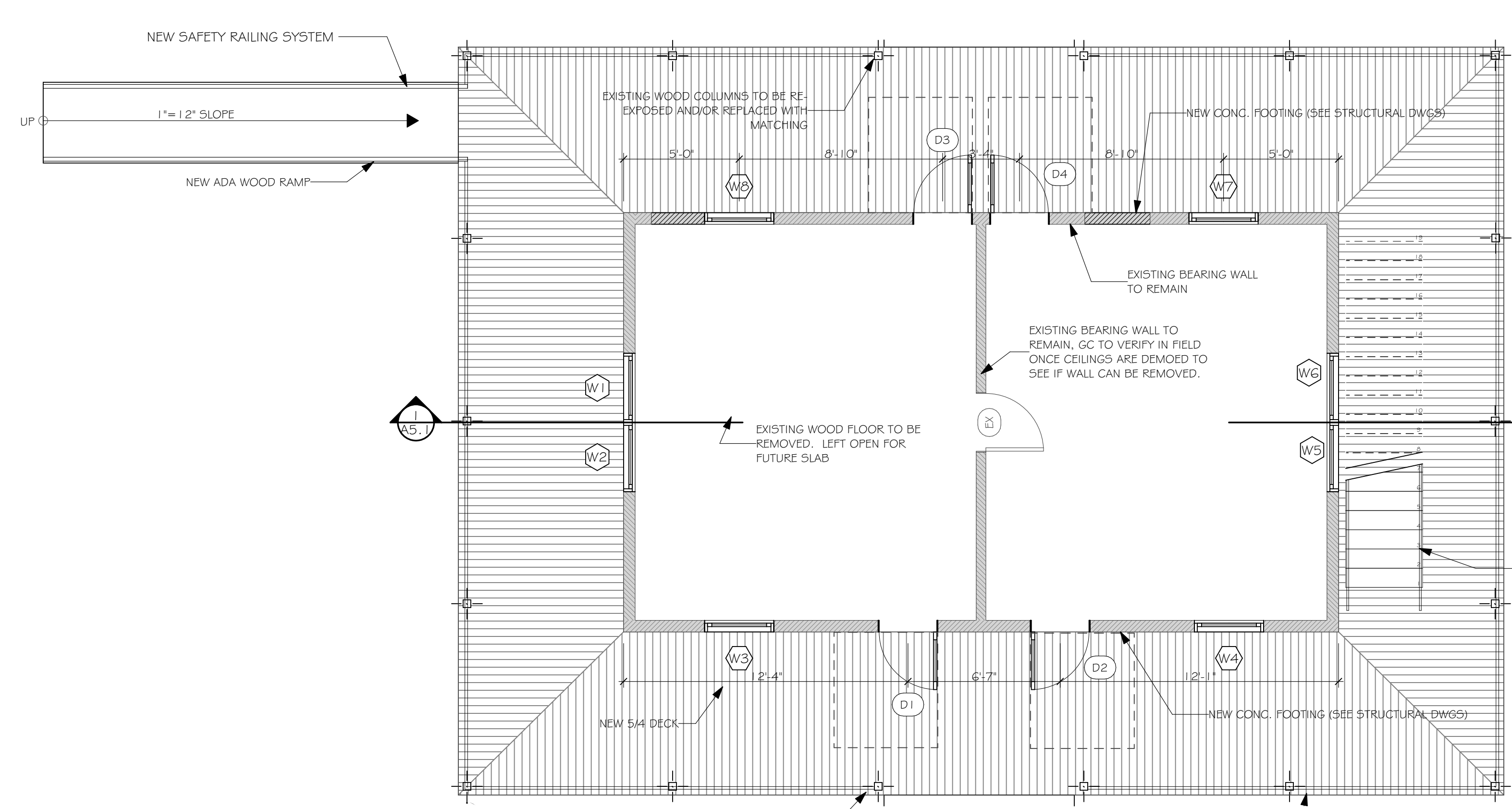
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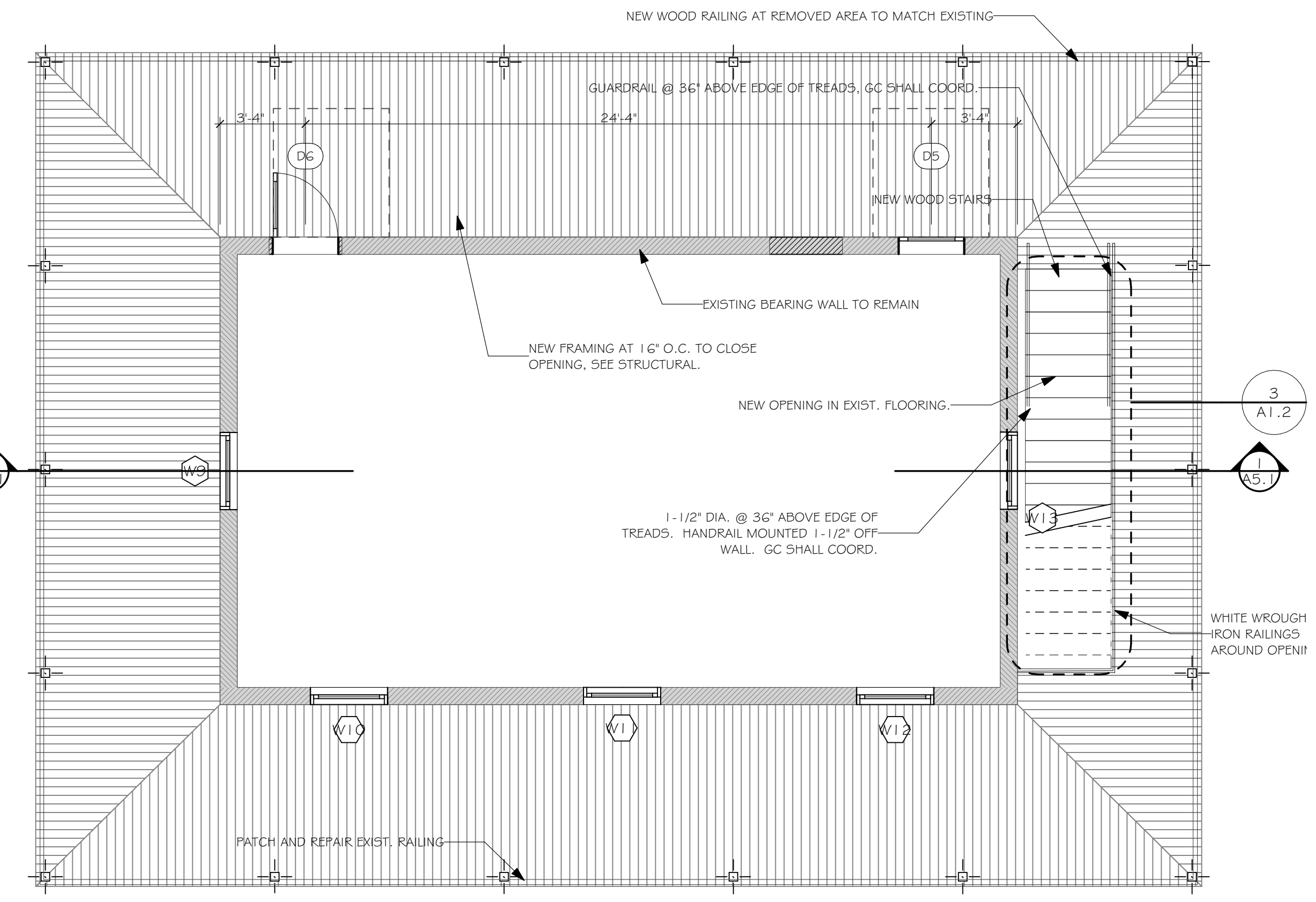
COA APPLICATION
SUNDY VILLAGE BLOCK 61
 22-44 W. ATLANTIC AVE.
 DELRAY BEACH, FLORIDA 334444

WALL LEGEND	
	EXISTING FRAMED EXTERIOR WALL
	REMOVED WALL
	EXISTING INTERIOR WALL
	NEW EXTERIOR WOOD WALL
	NEW INTERIOR WALL



NOTE:
 ALL NEW MECHANICAL, PLUMBING, GAS AND ELECTRICAL WORK WILL BE PROVIDED WITH THE FUTURE TENANTS BUILD-OUT AND SHALL MEET ALL CURRENT FBC REQUIREMENTS. THIS IS ONLY A DARK SHELL TO REPAIR THE EXISTING BUILDING WITH NO TENANT.

PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

COA APPLICATION

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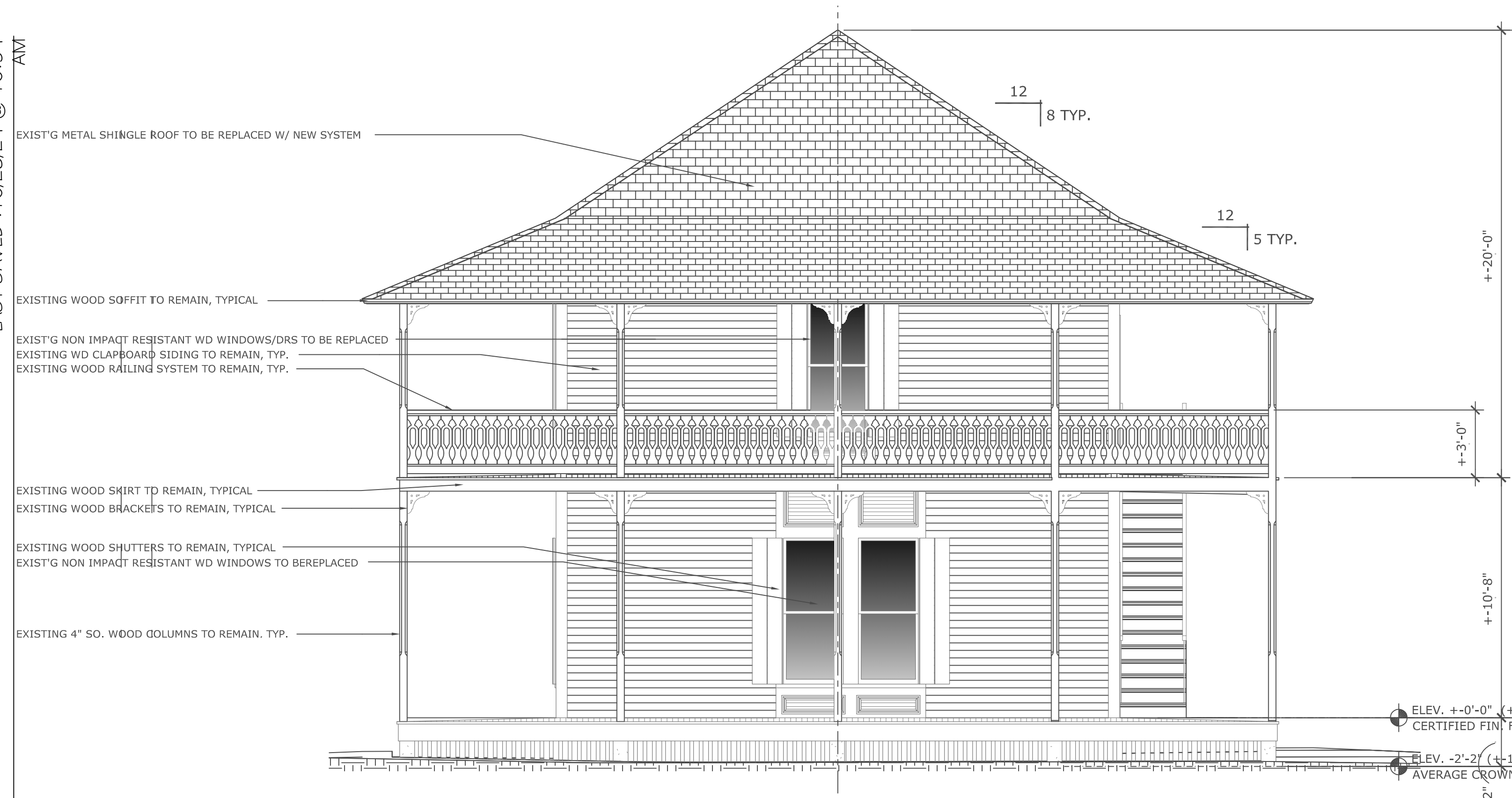
PROJECT NO:	23-534
DATE:	7.1.2024
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CHECKED BY:	S.S.
REVISIONS:	
	TAC COMMENTS (9.23.24)
	TAC COMMENTS (10.14.24)

BUILDING E FLOOR PLAN

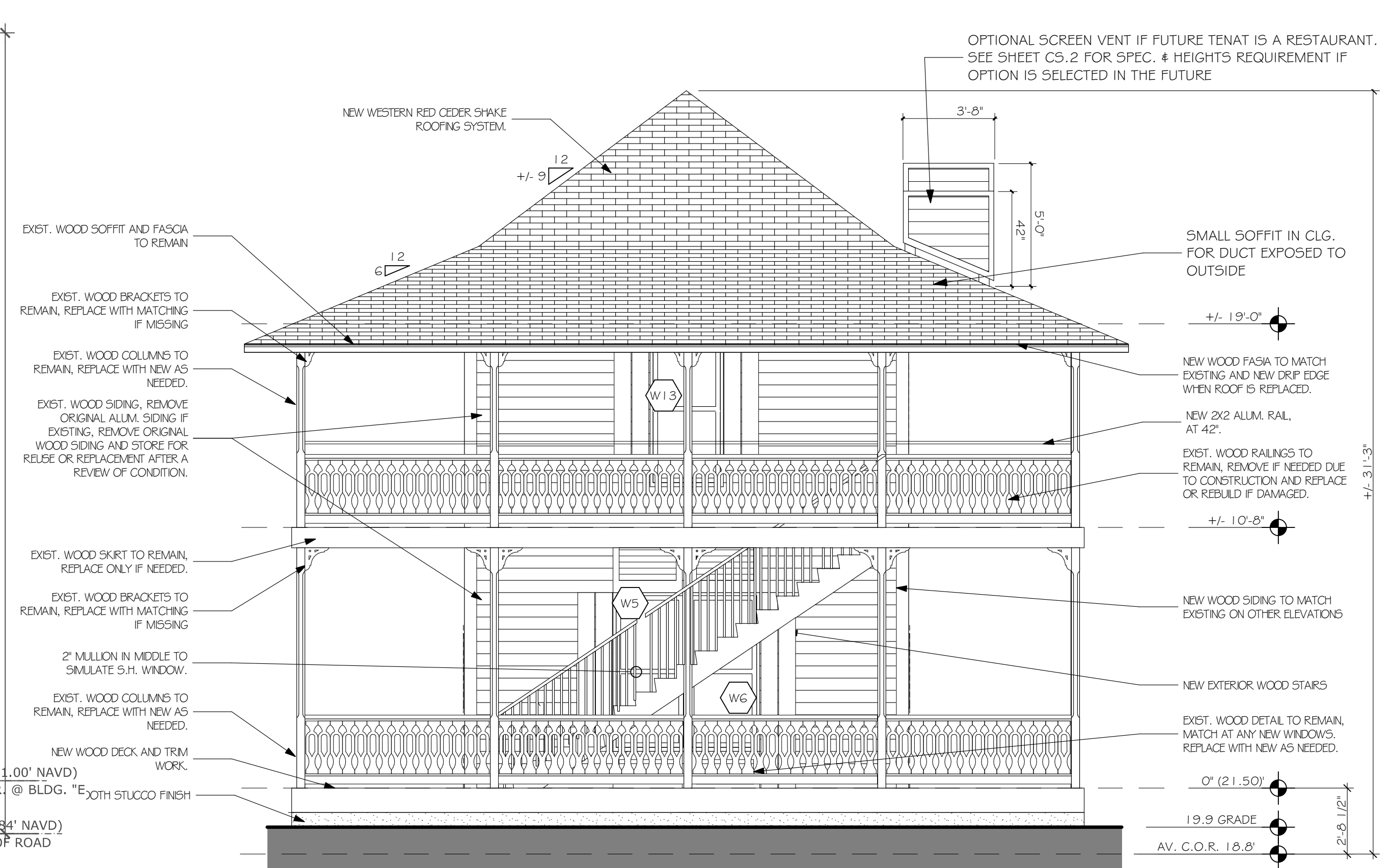
E-4.0

LAST SAVED : 10/23/24 @ 10:54 AM

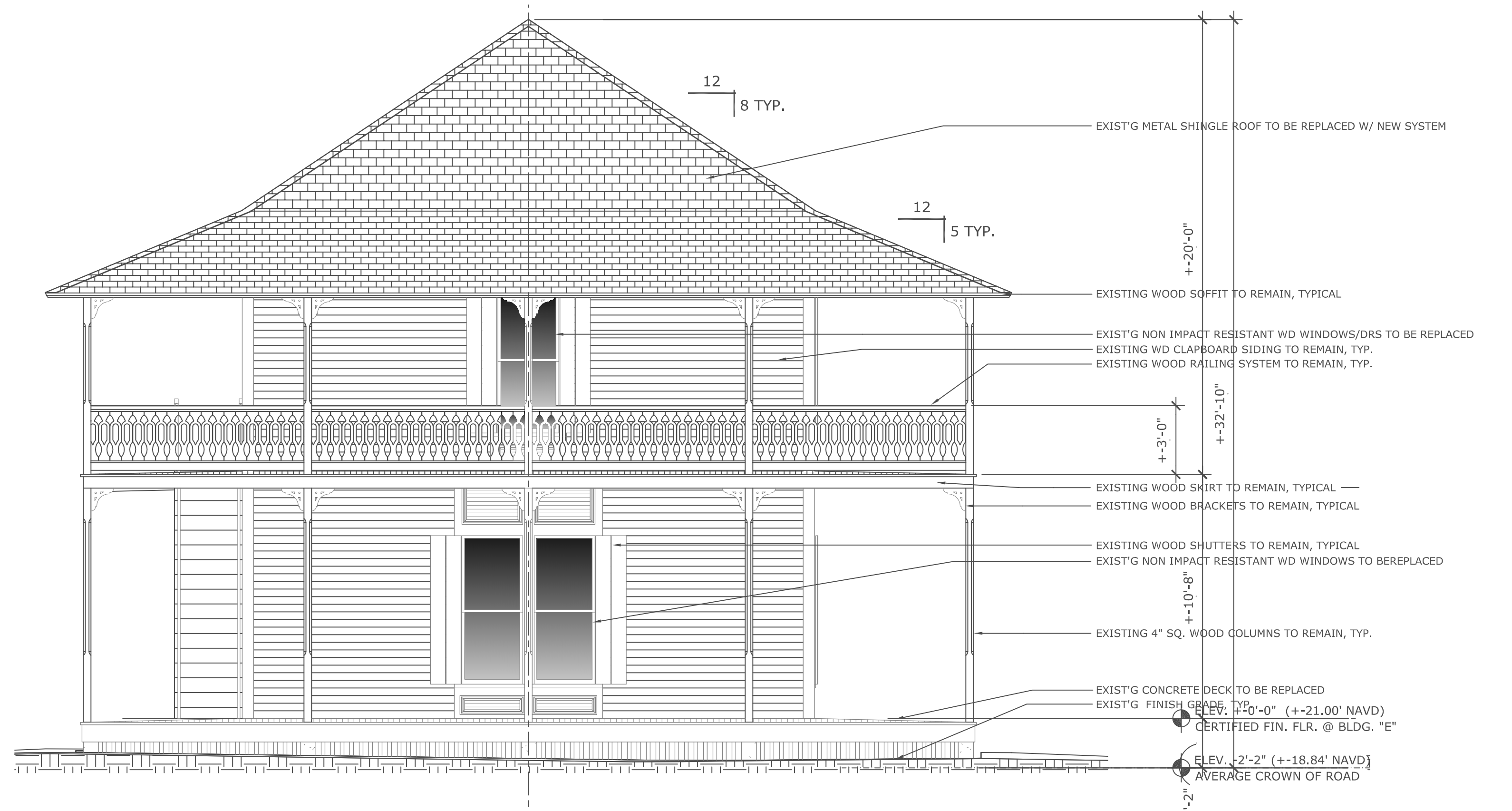
Volumes\SSA Projects\Active Projects\23-534 Sundry Village\09 Sundry Village\CD FLN\Block 61 COA.pln



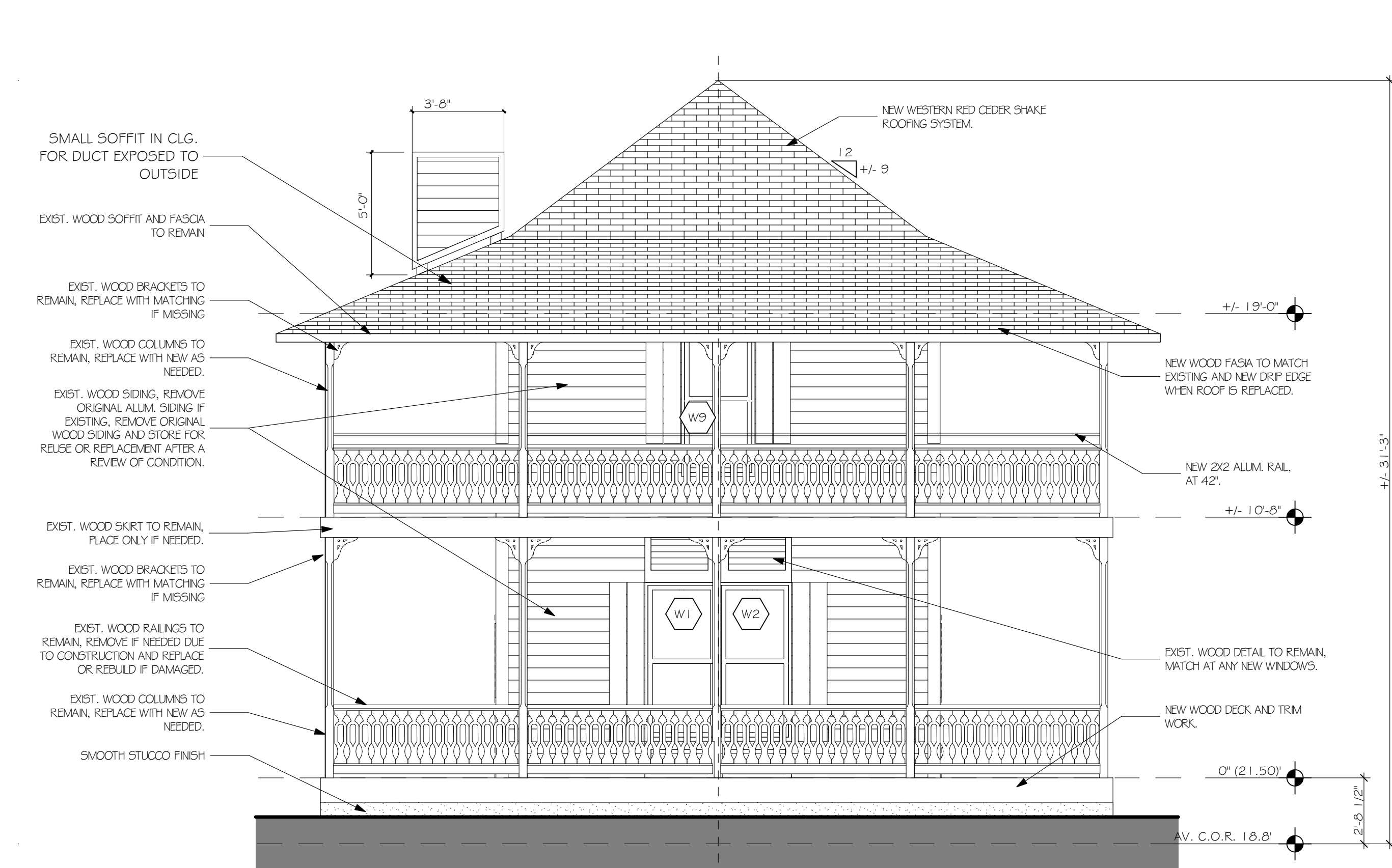
EXISTING NORTH ELEVATION
SCALE: 1" = 1'-0"



NORTH ELEVATION BLDG E
SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1" = 1'-0"



SOUTH ELEVATION BLDG E
SCALE: 1/4" = 1'-0"

NOTES:

- ALL ADA RAMP WILL HAVE WOOD GUARDRAILS, UNLESS NOTED AS HANDRAIL ONLY.
- REMOVED ALUMINUM SIDING AND DISCARD
- REMOVE ORIGINAL WOOD SIDING, CHECK FOR ANY DAMAGE AND REUSE. DISCARD ANY DAMAGED SIDING AND REPLACE WITH MATCHING PROFILE IN WOOD.
- PROVE EXT-PLYWOOD SHEATHING AND BACKING ON ORIGINAL STUDS AFTER REMOVAL OF SIDING. KEEP ANY ORIGINAL ANGELED BRACING.
- KEEP AND REPLACE ANY ORIGINAL TRIM WOOD AS MUCH AS POSSIBLE, ANY DAMAGED TO BE NEW AND MATCH EXISTING IN WOOD.
- ANY SCREENING TO MATCH STYLE, COLOR AND SIDING OF THE EXISTING HOME.
- ALL EXISTING WOOD MEMBERS, (I.E. COLUMNS, SIDING, POSTS, ETC.) TO REMAIN, REPLACE ONLY IF NEEDED TO MATCH EXISTING, IN WOOD.
- WOOD SIDING TO BE REPLACED" INSTEAD OF "NEW SIDING". IF THERE ARE ANY OTHER
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COA APPLICATION
SUNDY VILLAGE BLOCK 61
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DELRAY BEACH, FLORIDA 33444

COA APPLICATION

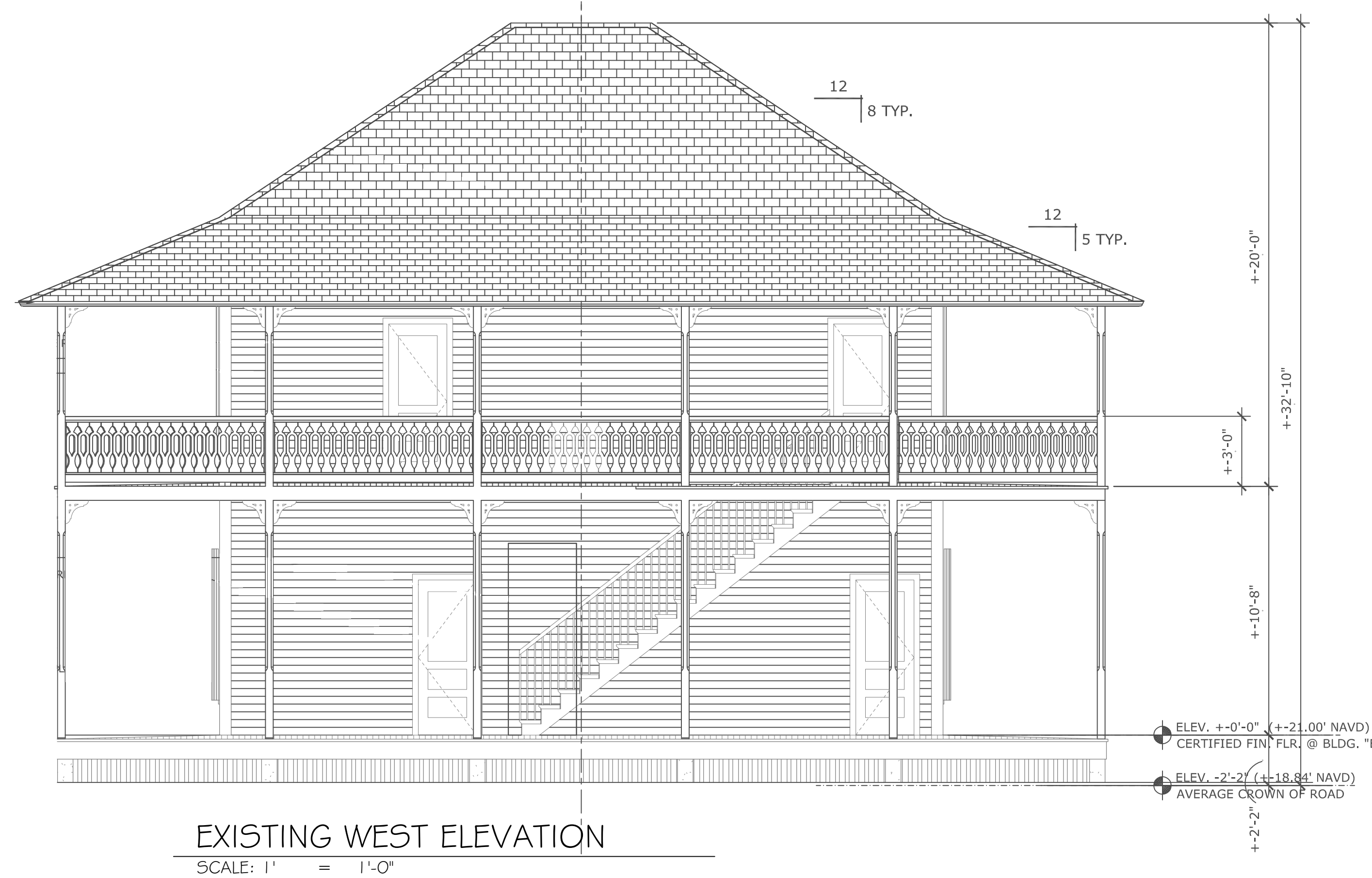
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TAC COMMENTS (10.14.24)

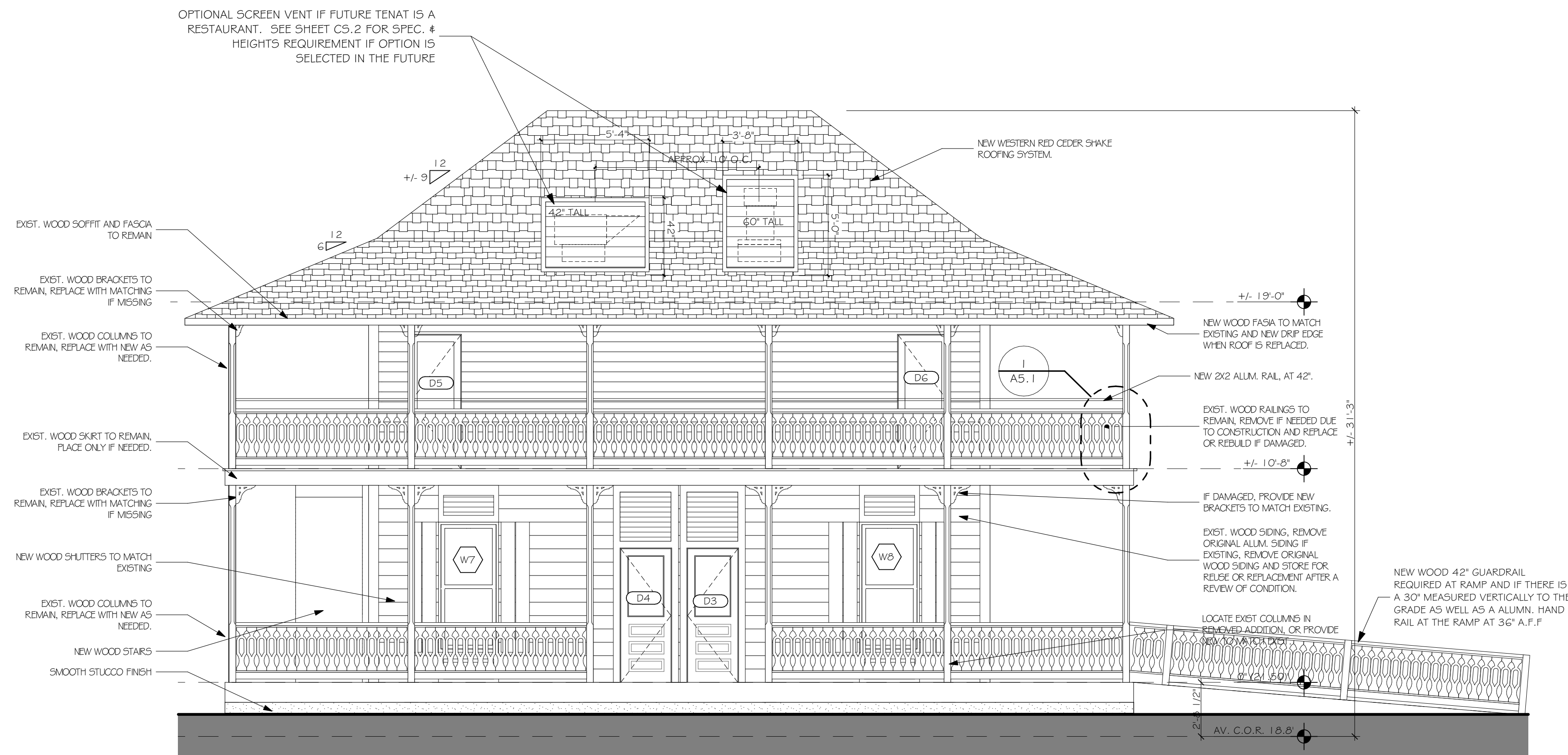
BUILDING E ELEVATIONS

E-4.2



EXISTING WEST ELEVATION

SCALE: 1" = 1'-0"



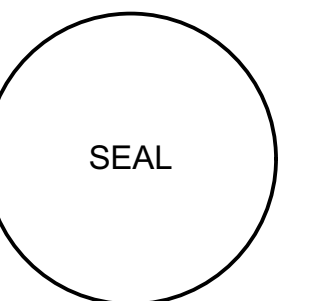
WEST ELEVATION BLDG E

SCALE: 1/4" = 1'-0"

NOTES:
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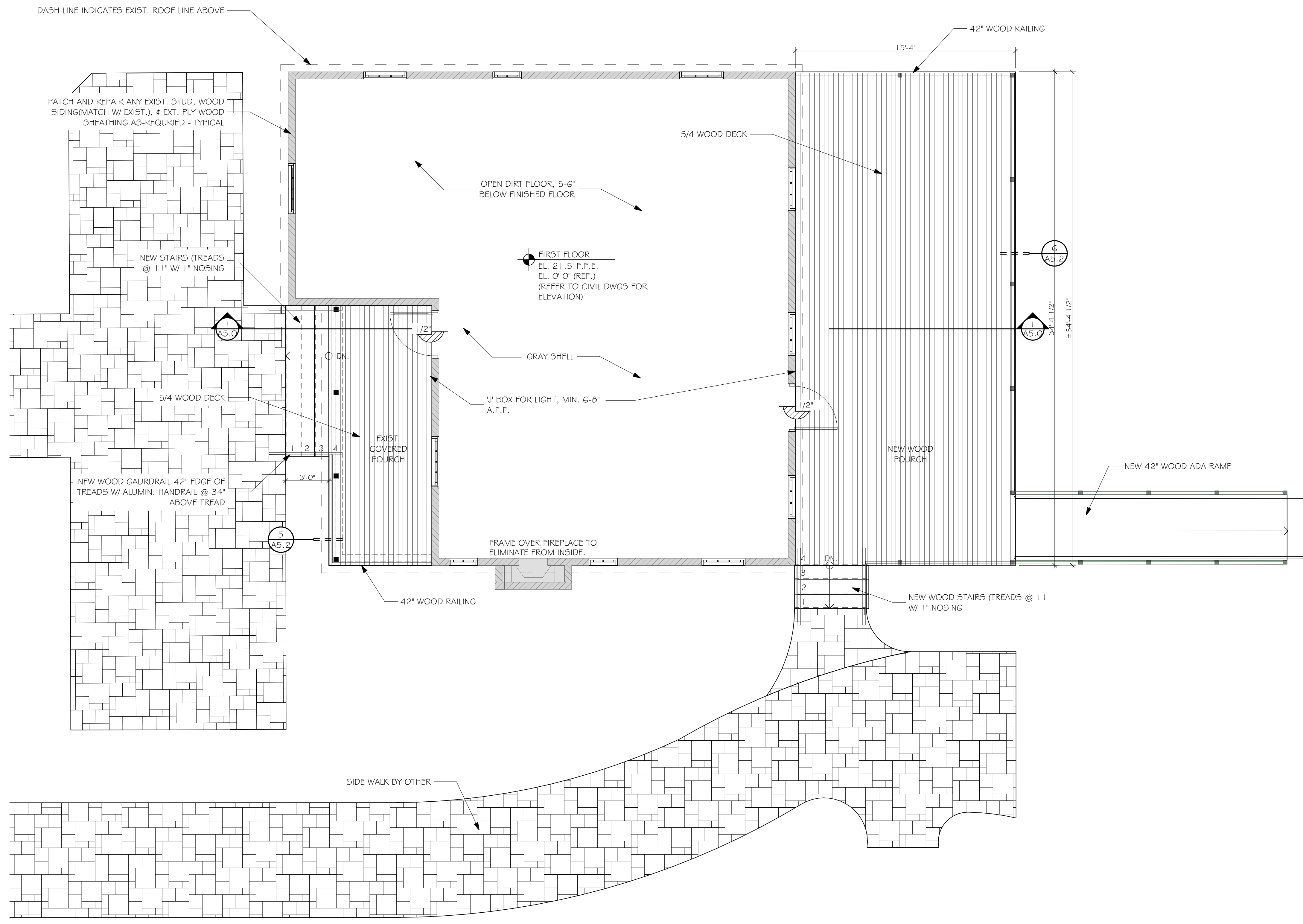
REVISIONS:

TAC COMMENTS (9.23.24)

TAC COMMENTS (10.14.24)

BUILDING E ELEVATIONS

E-4.3

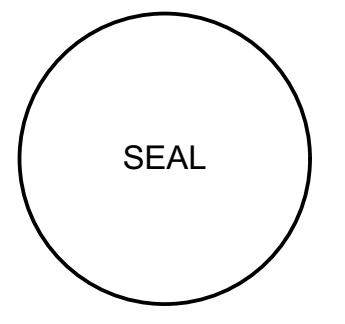


PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"



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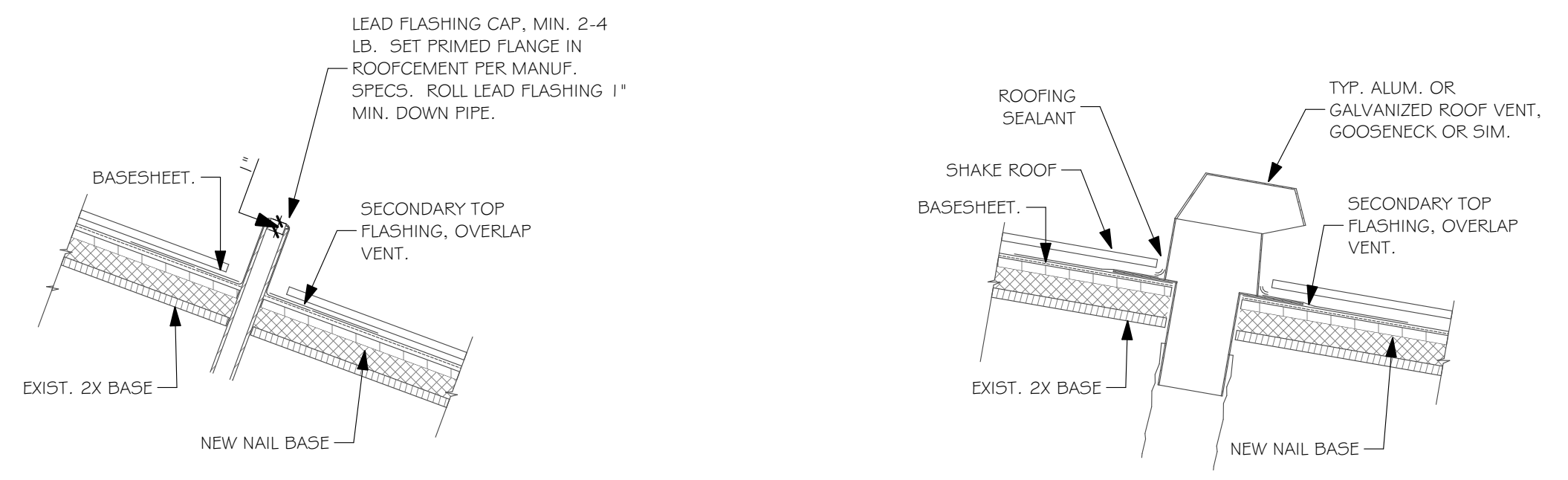
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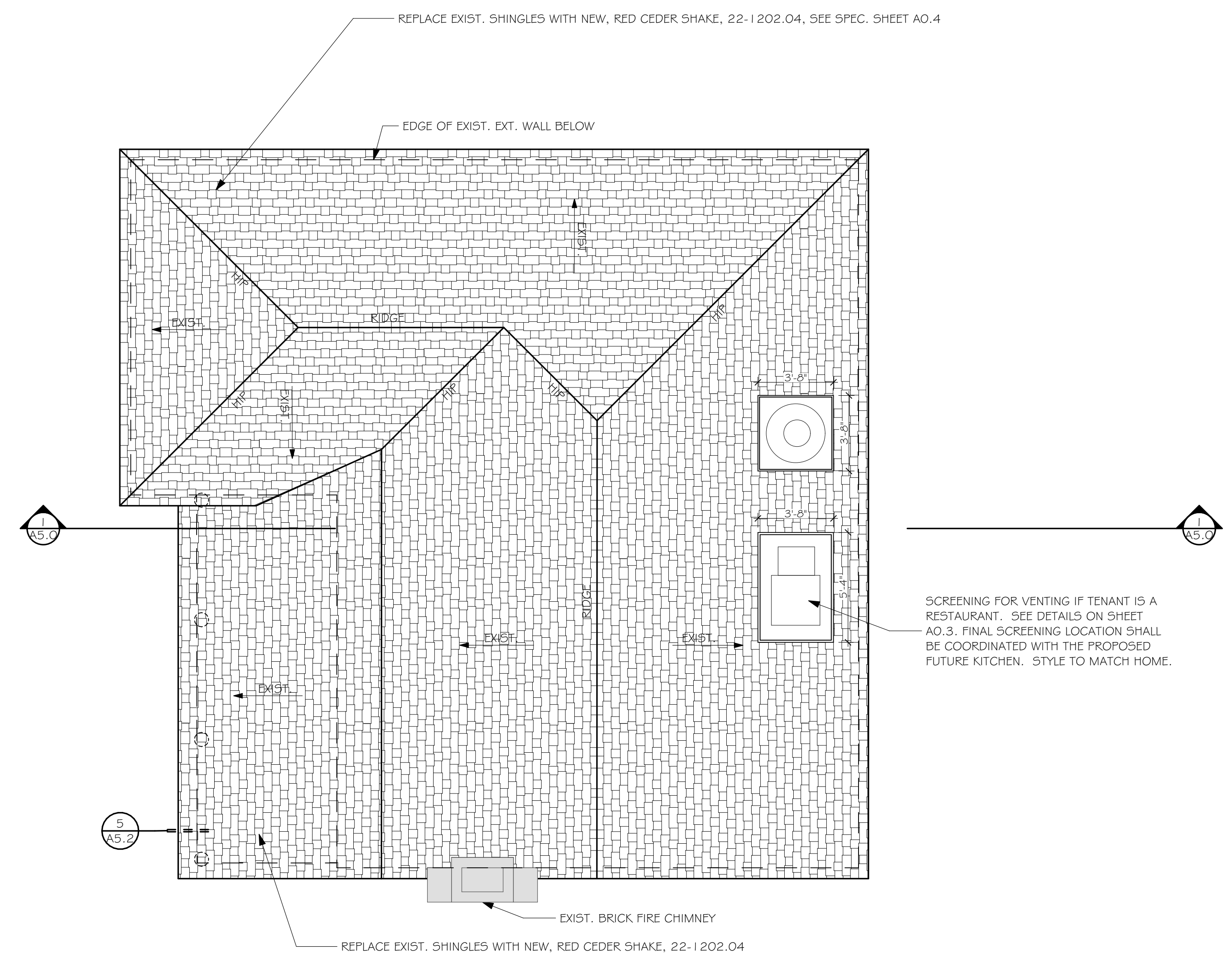
BUILDING G FLOOR PLAN

G-5.0



2 ROOF PENETRATION DTL.
SCALE: 1" = 1'-0"

(IF APPLICABLE)

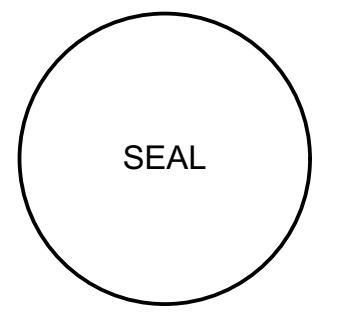


EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTE: PROVIDE 100% GUTTER COVERAGE. GUTTERS (BY OTHERS), PROVIDE DOWNSPOUTS BY GUTTER INSTALLER. GC SHALL COORDINATE W/ OWNER. GC SHALL COORDINATE DOWN SPOUTS LOCATIONS W/ CIVIL ENGINEER PRIOR TO WORK.



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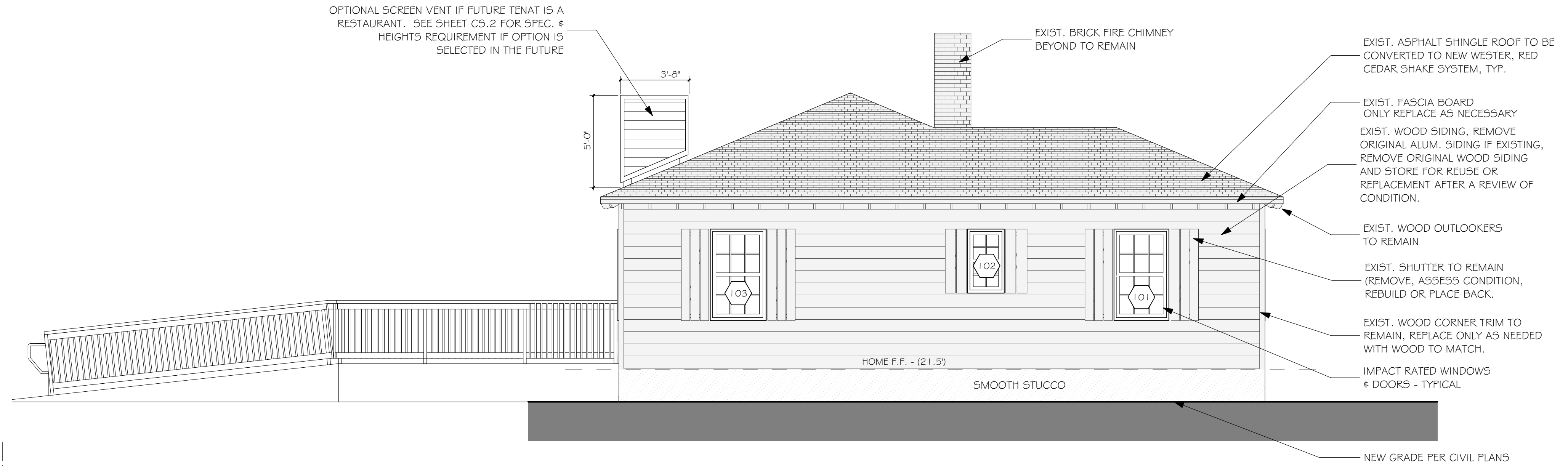
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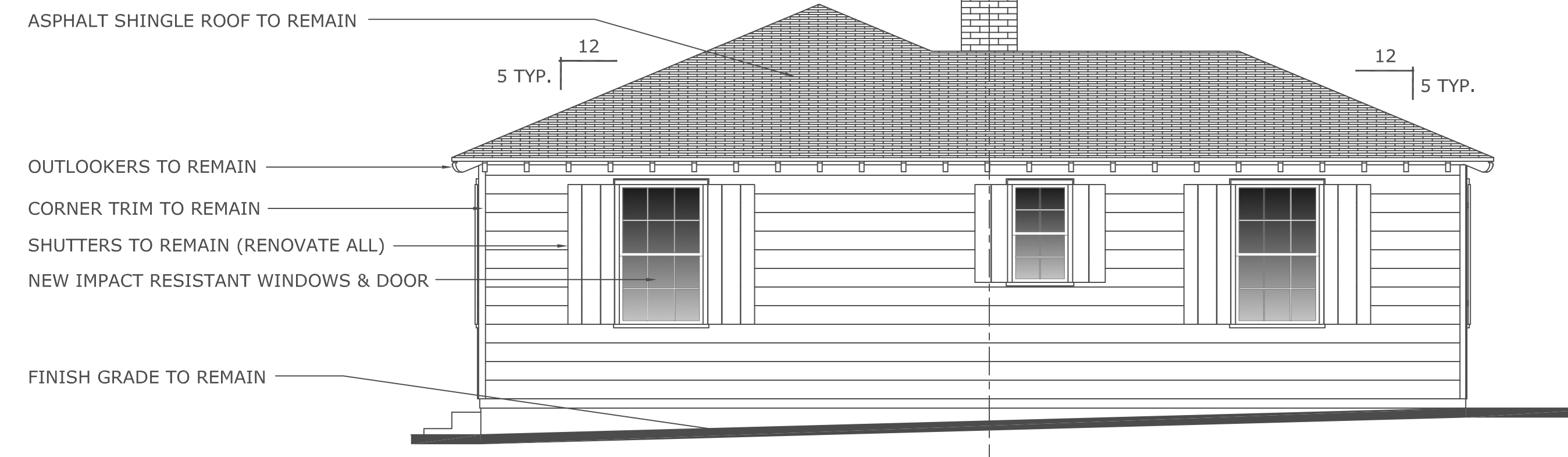
REVISIONS:
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TAC COMMENTS (10.14.24)

BUILDING G ROOF PLAN

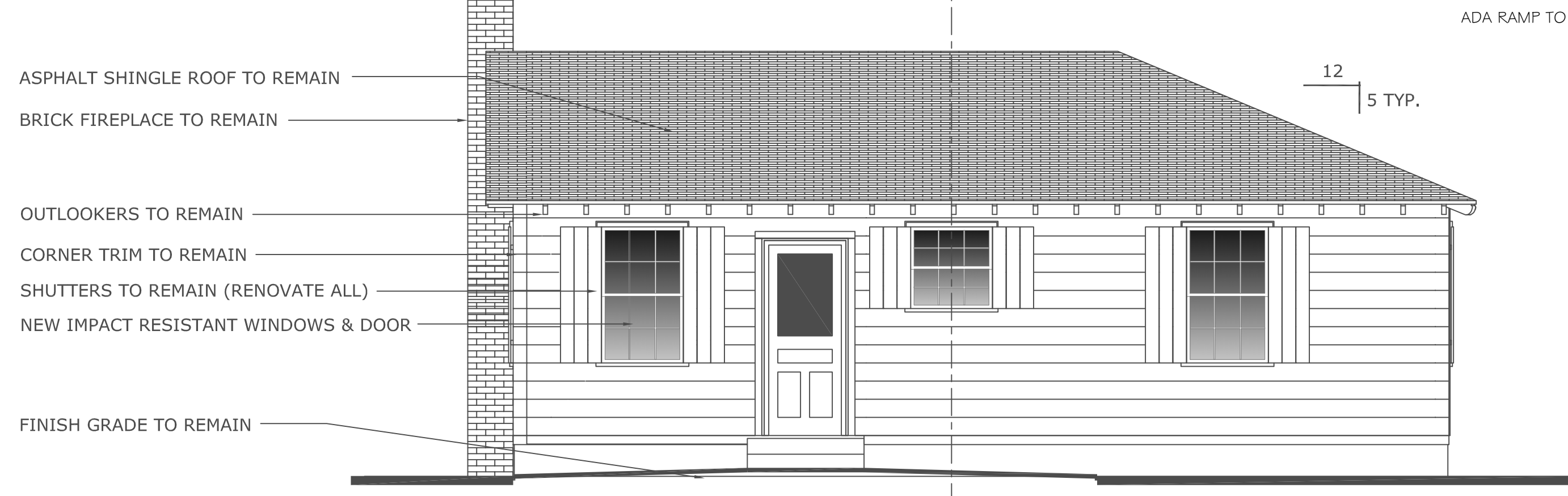
G-5.1



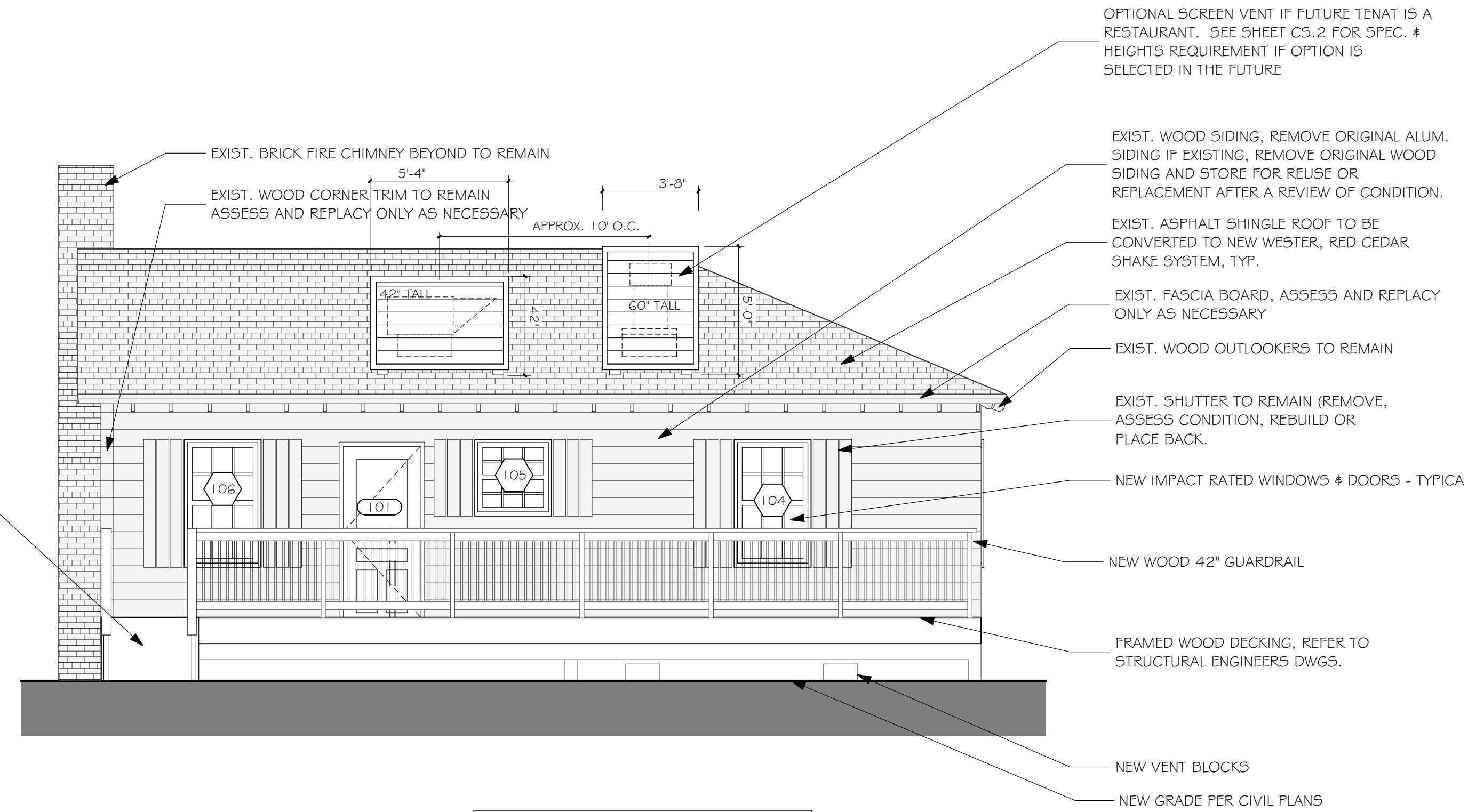
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1' = 1'-0"



EXISTING WEST ELEVATION
SCALE: 1' = 1'-0"



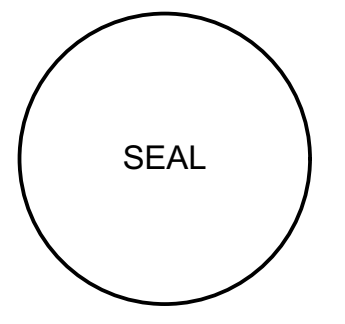
WEST ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
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COA APPLICATION
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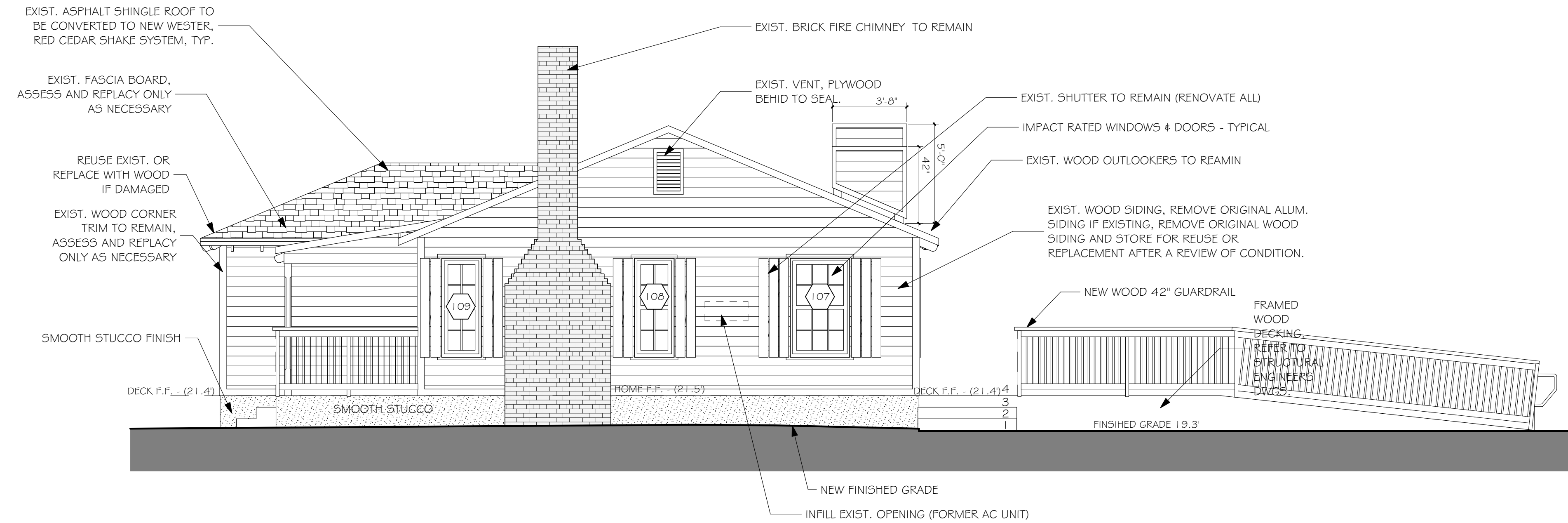
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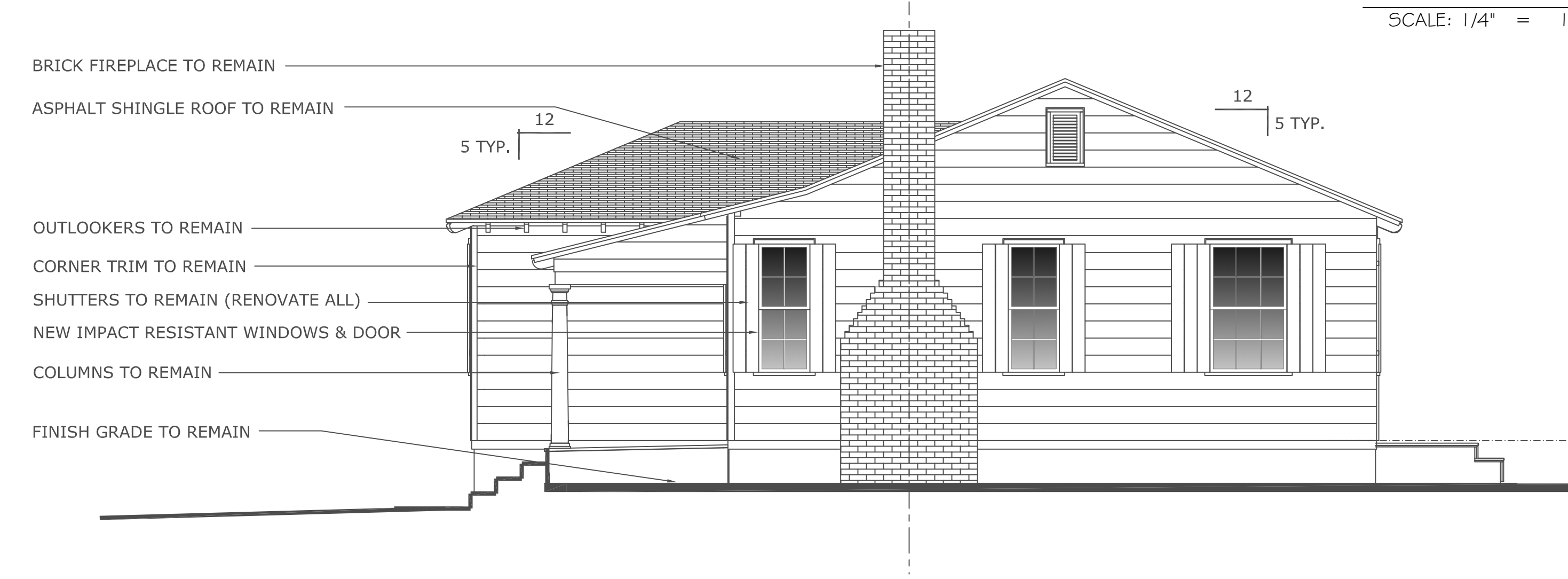
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BUILDING G ELEVATIONS

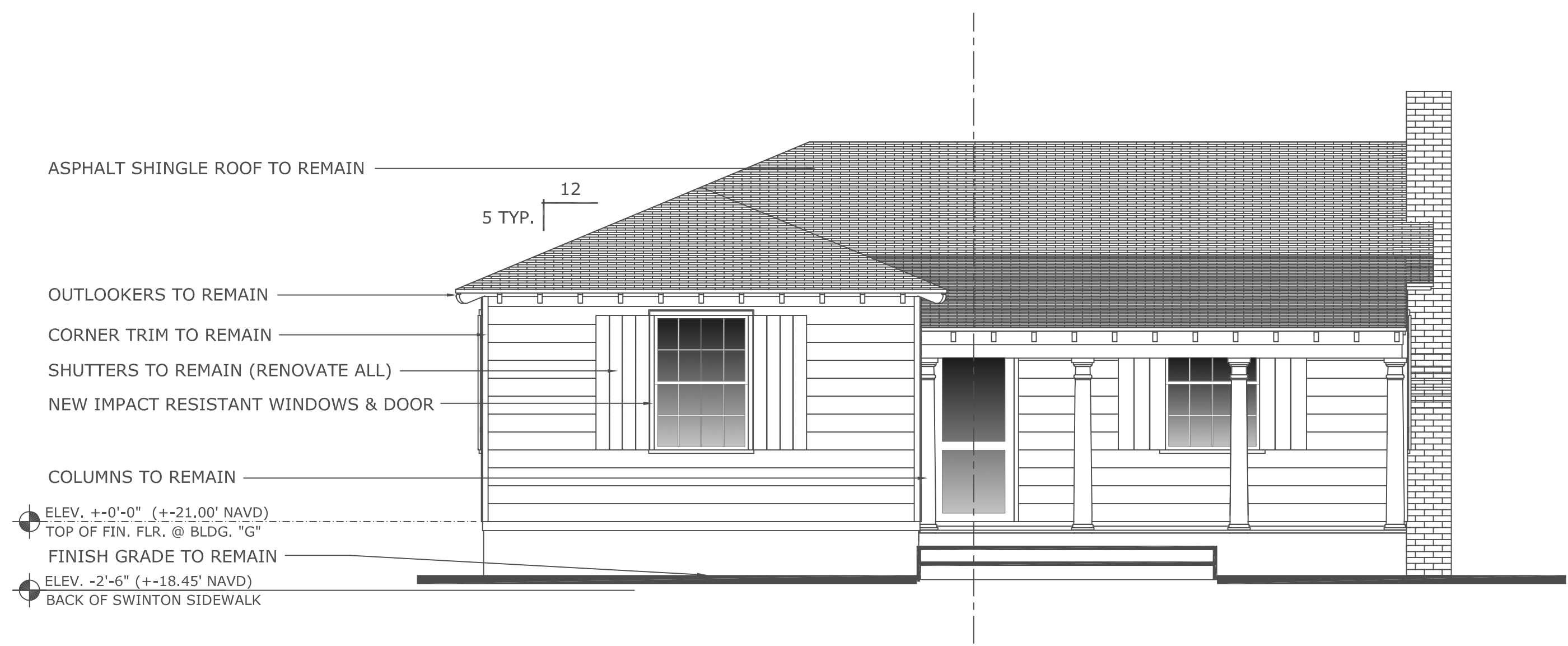
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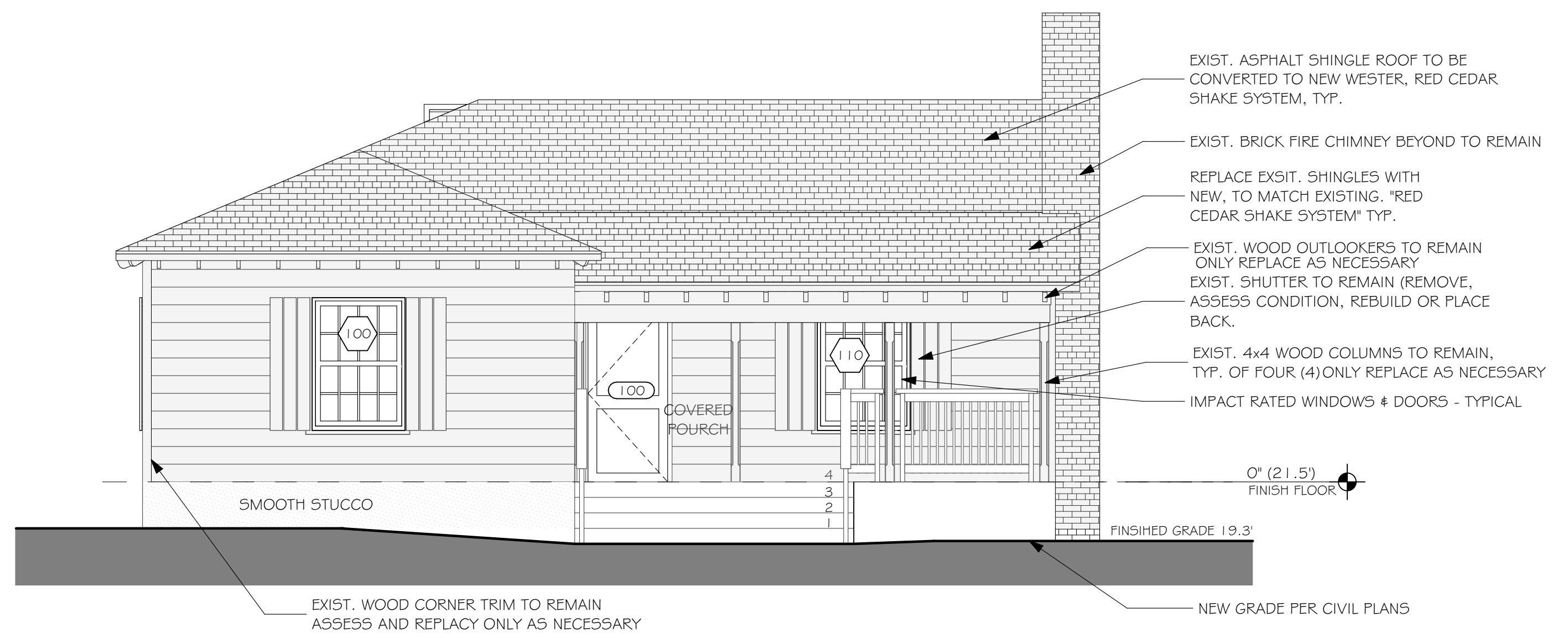
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION
SCALE: 1" = 1'-0"



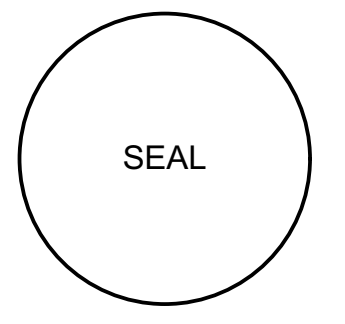
EXISTING EAST ELEVATION
SCALE: 1" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



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BUILDING G ELEVATIONS

G-5.3