

Prepared by: RETURN:

City Attorney's Office
200 N.W. 1st Avenue
Delray Beach, Florida 33444

PCN 12-43-46-16-19-000-0160
Address: 103 Basin Dr. Delray Beach, FL 33483

RIGHT-OF-WAY DEED

THIS INDENTURE made this ___ day of _____, 202_, between Peter Hecht
and Staci Hecht, with a mailing address of 10233 Spyglass Way Boca Raton, FL 33498,
GRANTOR, and **CITY OF DELRAY BEACH, FLORIDA**, a Florida municipal corporation
with a mailing address of 100 N.W. 1st Avenue, Delray Beach, Florida 33444, GRANTEE.
(Whenever used herein the term "GRANTOR" and "GRANTEE" include singular and plural, heirs, legal representatives, and assigns of
individuals, and the successors and assigns of corporation, whenever the context so admits or requires.)

WITNESSETH:

That GRANTOR, for and in consideration of the mutual promises herein contained and other good and valuable consideration, does hereby grant, remise, release, quit claim and convey unto GRANTEE, its successors and assigns, all right, title, interest, claim and demand which GRANTOR has in and to the following-described land, situate, lying and being in the County of Palm Beach, State of Florida, to-wit:

See Exhibit "A" attached hereto.

This Deed is made for the purpose of giving and granting to GRANTEE, its successors and assigns, a right-of-way and easement in and to said lands for public highway, street, and public utility purposes; and is made, executed and delivered with the express understanding and condition that should the same ever be discontinued or abandoned as a public highway or street, the title to same shall thereupon revert to and revest in GRANTOR or assigns.

That this right-of-way shall be subject only to those easements, restrictions, and reservation of record. GRANTOR agrees to provide for the release of any and all mortgages or liens encumbering this right-of-way. GRANTOR also agrees to erect no building or effect any other kind of construction or improvements upon the above-described property.

GRANTOR does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever claimed by, through or under it, that it has good right and lawful authority to grant the above-described right-of-way and that the same is unencumbered. Where the context of this Right-of-Way Deed allows or permits, the same shall include the successors or assigns of the parties.

TO HAVE AND TO HOLD THE SAME, together with all and singular the appurtenances thereto belonging or in anywise incident or appertaining, and all the estate, right, title, interest, and claim whatsoever of the said GRANTOR, in law or in equity to the only proper use, benefit, and behalf of the said GRANTEE, its successors and assigns.

IN WITNESS WHEREOF, said Grantor has signed and sealed these presents the day and year first above written.

WITNESSES:

GRANTOR

Ella Hecht
Signature
Ella Hecht
Print Name
122 Bentley Dr.
Address Mt Laurel, NJ 08054

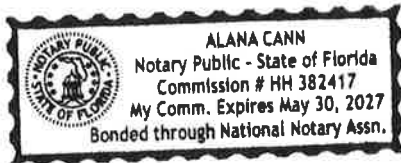
By: Owner Staci Hecht
Name: Staci Hecht
Date: 05-28-24

Max Hecht
Signature
Max Hecht
Print Name
122 Bentley Dr.
Address Mt Laurel NJ 08054

STATE OF Florida
COUNTY OF Palm Beach

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 28 day of May, 2024, by Staci Hecht (name of person acknowledging).

Personally known OR Produced Identification
Type of Identification Produced _____



Alana Cann
Notary Public – State of Florida

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WITNESSES:

Ella Hecht
Signature
Ella Hecht
Print Name

122 Bentley Drive
Mount Laurel, NJ
08054

Max Hecht
Signature
Max Hecht
Print Name

122 Bentley Drive
Mount Laurel NJ 08054

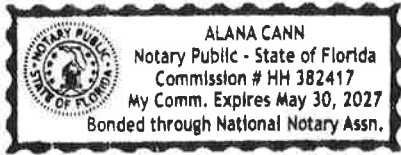
STATE OF Florida
COUNTY OF Palm Beach

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 28 day of May, 2024, by Peter Hecht (name of person acknowledging).

Personally known OR Produced Identification
Type of Identification Produced _____

GRANTOR

By: Owner Peter Hecht
Name: Peter Hecht
Date: 05-28-24



Alana Cann
Notary Public – State of Florida

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ATTEST:

**GRANTEE/ CITY OF DELRAY BEACH,
FLORIDA**

By: _____
City Clerk

By: _____
City Mayor

Approved as to Form:

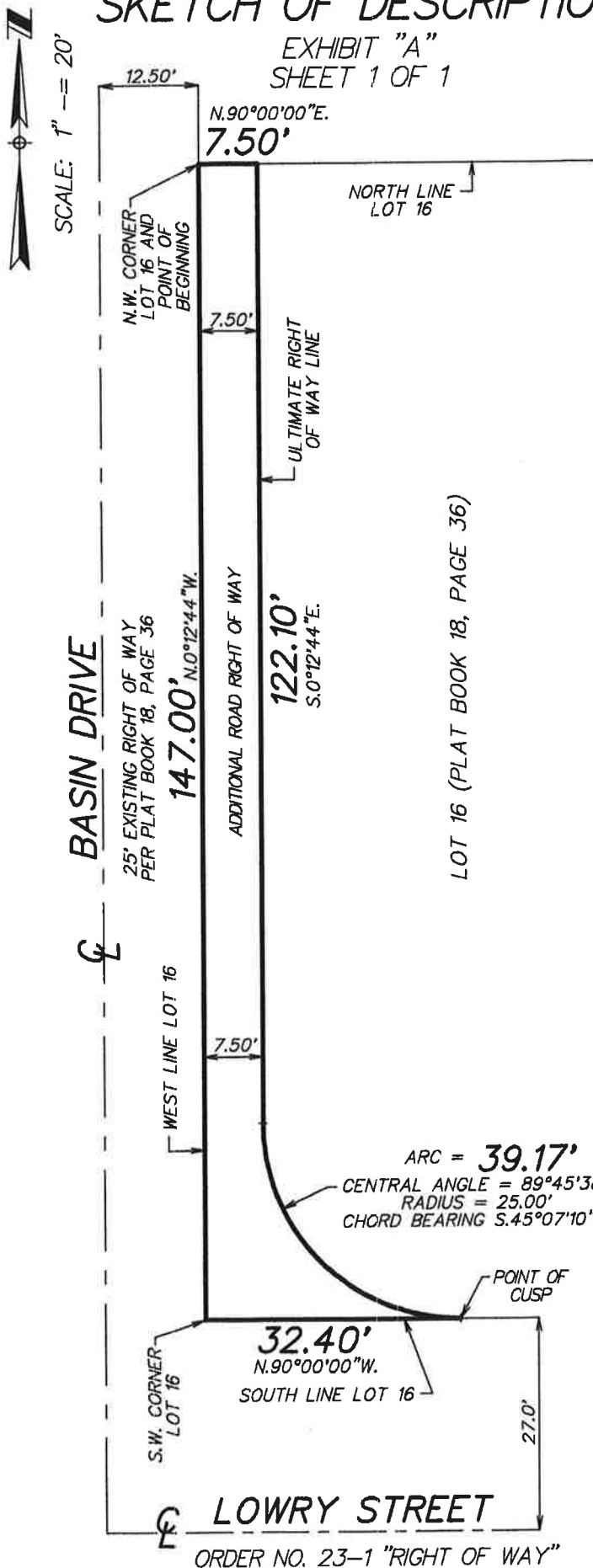
By: _____
City Attorney

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EXHIBIT "A"

SKETCH OF DESCRIPTION

EXHIBIT "A"
SHEET 1 OF 1



NOTES:

THIS IS NOT A SURVEY

THE SOUTH LINE OF LOT 18 IS ASSUMED TO BEAR N.90°00'00"E.

☉ = CENTERLINE

DESCRIPTION:

THAT PORTION OF LOT 16, OCEAN BREEZE ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 18, PAGE 36, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 16; THENCE N.90°00'00"E., ALONG THE NORTH LINE OF SAID LOT 16, A DISTANCE OF 7.50 FEET; THENCE S.0°12'44"E., PARALLEL TO THE WEST LINE OF SAID LOT 16, A DISTANCE OF 122.10 FEET TO A POINT ON A CURVE CONCAVE TO THE NORTHEAST HAVING A CENTRAL ANGLE OF 89°45'38" AND A RADIUS OF 25.00 FEET; THENCE SOUTHEAST, ALONG THE ARC OF SAID CURVE WHOSE CHORD BEARS S.45°07'10"E., A DISTANCE OF 39.17 FEET TO A POINT OF CUSP AND A POINT ON THE SOUTH LINE OF SAID LOT 16; THENCE N.90°00'00"W., ALONG SAID SOUTH LINE, A DISTANCE OF 32.40 FEET TO THE SOUTHWEST CORNER OF SAID LOT 16; THENCE N.0°12'44"W., ALONG THE WEST LINE OF SAID LOT 16, A DISTANCE OF 147.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 1,235 SQUARE FEET MORE OR LESS.

Paul D. Engle

PAUL D. ENGLE
SURVEYOR & MAPPER NO. 5708

DATE: MAY 23, 2024

ENGLE LAND SURVEYING LLC
CERTIFICATE OF AUTHORIZATION #LB8447
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1
DELRAY BEACH FLORIDA 33445
(561) 276-4501 (561) 732-3279