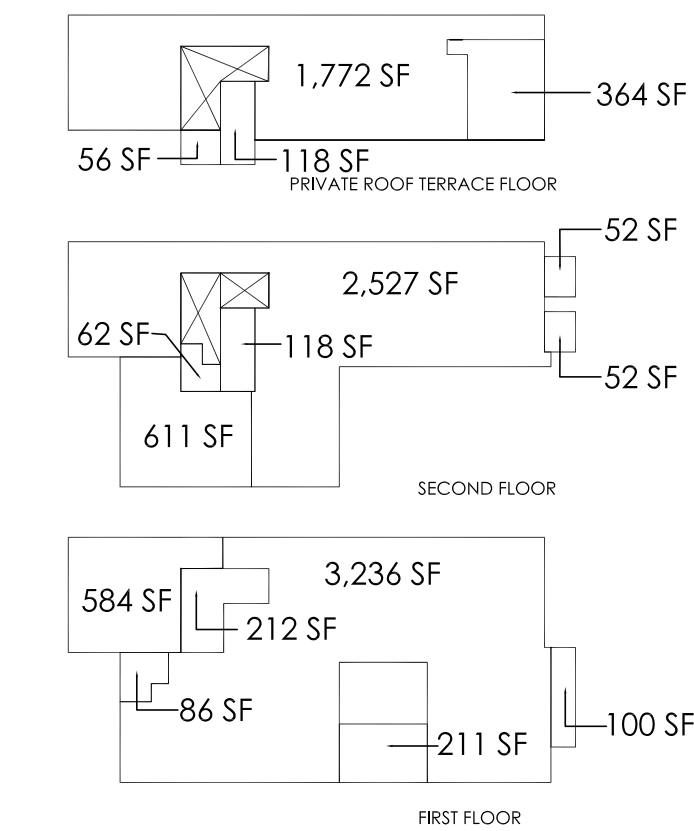


LEGEND

- CONSTRUCTION FENCE
- CONSTRUCTION DUMPSTER
- PUBLIC IMPROVEMENTS-SIDEWALK, CURB ZONE
ADDITIONAL DETAILS AND NOT TO BE PROVIDED
WITH BUILDING PERMIT SUBMITTAL
- TEMPORARY CONSTRUCTION PARKING

- TEMPORARY CONSTRUCTION PARKING CRA PARKING LOT (362 NE 3RD AVE) AND CITY PARKING LOT (362 NE 3RD AVE) JUST NORTH OF THE PROPERTY.
- CONSTRUCTION MATERIALS TO BE DELIVERED AS NEEDED AND STORED ON SITE.
- NO ROADWAY CLOSURES NE 3RD AVE OR ALLEY.



DIMENSIONAL REQUIREMENTS FOR STOREFRONT 4.4.13(I)

		MIN	MAX	PROVIDED
A	BUILDING SETBACK	10'	15'	10'
B	STORE WIDTH	N/A	75' ON REAR RETAIL STREET	49'-8"
C	STOREFRONT BASE	9'	3'	7'
D	GLAZING HEIGHT PLUS STOREFRONT BASE	8'	-	12'
E	REQUIRED OPENINGS	80%	-	361%
MAX. ALLOWABLE ENCROACHMENT OF ELEMENTS IN ALL DISTRICTS				
F	AWNING/EYEBROW PROJECTION	5'	-	4'
G	PROJECTING SIGN	N/A	3'	N/A

DEVELOPMENT STANDARDS PER LDR TABLE 4.4.13

ZONE	CBD	MIN. LOT SIZE (SF)	MIN. LOT WIDTH (SF)	MIN. LOT DEPTH (SF)	MIN. LOT COVER (%)	MIN. PERIMETER BUFFER (FT)	MIN. OPEN SPACE (FT)	MIN. FRONT SETBACK (FT)	MIN. SIDE STREET (FT)	MIN. SOUTH (FT)	MIN. WEST (FT)	MIN. REAR SETBACK (FT)	MAX. BUILDING HEIGHT (FT)
REQUIRED		2,000	20'	N/A	N/A	N/A	N/A	10'-0"	0'-0"	0'-0"	0'-0"	0'-0"	54'-0"
PROVIDED		6,405	50'	125'-10"	69.1%	0'	N/A	10'-0" PROPOSED	N/A	0'-0" EXISTING	10'-0" PROPOSED	33'-6"	

PRELIMINARY STAGING PLAN
N.T.S.

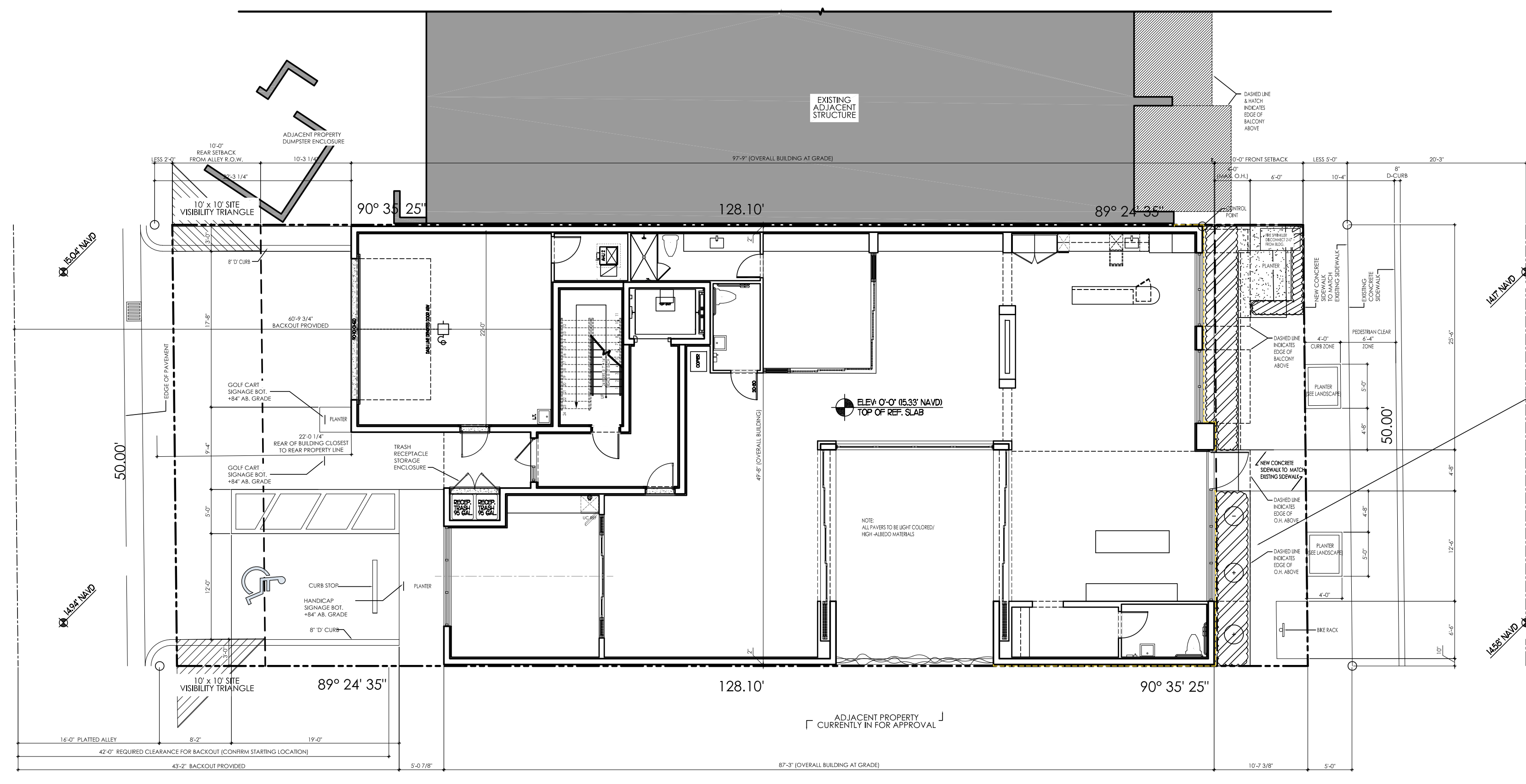
DIMENSIONAL REQUIREMENTS FOR LOBBY ENTRY TABLE 4.4.13(K)

		MIN	MAX	PROVIDED
A	BUILDING SETBACK	10'	15'	10'
B	LOBBY ENTRY WIDTH	N/A	N/A	17'
MAX. ALLOWABLE ENCROACHMENT OF ELEMENTS IN ALL DISTRICTS				
C	OVERHANG/AWNING PROJECTION	N/A	10'	4'
D	COLUMNS, PILASTER, POSTS	N/A	5'	4'

SETBACK WAIVER HAS BEEN APPLIED FOR

LOBBY FRONTAGE ENTRANCE
(SEE LOBBY ENT. TABLE THIS SH.T.)

BUILDING FACADE TRANSPARENCY PER LDR 4.4.13(F)(1)(i)
GLAZING AREA: 592 SQ.FT. (9.6%)
GLASS TRANSPARENCY: NOT TO EXCEED 20%



PROJECT DATA
ARCHITECTURAL STYLE

THIS BUILDING IS IN THE MASONRY MODERN STYLE EXEMPLIFIED BY LOAD BEARING CONSTRUCTION, PLUNCHED OPENINGS, STUCCO WITH STONE ACCENTS, A LOGGIA AT THE TOP, AND LOUVERED SHADING DEVICES.

PROJECT DESCRIPTION
THIS PROJECT IS A PREVIOUSLY KNOCKED DOWN STRUCTURE TO CREATE A FIRST FLOOR BUSINESS SPACE WITH DEDICATED RESIDENTIAL PARKING GARAGE FOR A 3 BEDROOM PLUS LOFT, 4 BATH SECOND FLOOR APARTMENT INCLUDING A ROOF TERRACE.

PROJECT INFORMATION
PROJECT OWNER: OCEAN PARKER DELRAY LLC
PROJECT ADDRESS: 314 NE 3RD AVENUE, DELRAY BEACH, FLORIDA
FOLIO NUMBERS: 12-43-46-16-01-08-0170
LEGAL DESCRIPTION: TOWN OF DELRAY BEACH, LOT 17, (LESS E. 5 FT. NE 3RD & W. 2 FT. ALLEY R/W/S) BLOCK 81 DELRAY BEACH, FL. AS RECORDED IN PLAT BOOK 11, PAGE 32 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FL. SAID LAND SITUATE, LYING, AND BEING IN PALM BEACH COUNTY.

ZONING AND CODE INFORMATION
ZONING CLASSIFICATION: CBD- CENTRAL BUSINESS DISTRICT / RAILROAD CORRIDOR SUB-DISTRICT OCCUPANCY MIXED USE BUSINESS / RESIDENTIAL R-3
CONSTRUCTION TYPE: VB
CURRENT USE: VACANT
PROPOSED USE: BUSINESS / RESIDENCE
INTERIOR FINISH CLASS: A
FINISH FLOOR ELEVATION: 15.33' N.A.V.D.
FLOOD ZONE: D
BASE FLOOD ELEVATION: 15.12' N.A.V.D.
PROPOSED BUILDING HEIGHT: 33'-6"
LOT SIZE: 6,405 SQ. FT.
SQUARE FOOTAGE: 10,161 SQ. FT.

FLORIDA BUILDING CODE
FBC- 2023 BUILDING CODE
FBC-FC- FLORIDA BUILDING CODE ENERGY CONSERVATION 2023
NEC- NFPA 70 2023 EDITION, NATIONAL ELECTRICAL CODE
FIS- FLORIDA STATUTES
FLORIDA FIRE PREVENTION CODE
NFPA 101 - LIFE SAFETY CODE 2023
ACCESSIBILITY CODE: 2023 FLORIDA ACCESSIBILITY CODE

BUILDING DATA

FIRST FLOOR A/C (BUSINESS)	3,236 SQ. FT.
SECOND FLOOR A/C (RESIDENTIAL)	2,645 SQ. FT.
PRIVATE ROOF TERRACE A/C	118 SQ. FT.
TOTAL A/C	5,999 SQ. FT.
FIRST FLOOR STAIRS AND ELEVATOR	212 SQ. FT.
SECOND FLOOR STAIR LANDING	62 SQ. FT.
PRIVATE ROOF TERR. STAIR LANDING	56 SQ. FT.
GARAGE / MECH.	584 SQ. FT.
COVERED FRONT ENTRY	100 SQ. FT.
COVERED REAR ENTRY	86 SQ. FT.
TRELLIS COURTYARD	21 SQ. FT.
SECOND FLOOR BALCONIES	715 SQ. FT.
PRIVATE ROOF TERR. DECK / MECH.	2136 SQ. FT.
TOTAL NON A/C	4,162 SQ. FT.
GROSS SQUARE FEET	10,161 SQ. FT.

SITE / LAND DATA

TOTAL GROSS SITE AREA	6,405 SQFT (0.147 ACRE)	
FAR CALC		
ALLOWED	EXISTING	PROPOSED
3.0 MAX	N/A	101' (6,913 SF)
MAX. NO. OF STORIES	2	N/A
MAX. SITE COVERAGE (BLDG)	N/A	69.1% (4,429 SF)
HARDSCAPE (IMPERMEABLE W/ BLDG)	N/A	70.8% (4,538 SF)
GREEN SPACE (PERMEABLE)	N/A	100% (6,405 SF)
29.2% (1,867 SF)		

SETBACKS:

	REQUIRED	EXISTING	PROPOSED
FRONT (EAST)	10'-0" MIN	10'-0"	10'-0"
REAR (WEST)	10'-0" MIN	10'-0"	10'-0"
SIDE (NORTH)	0'-0"	0'-0"	0'-0"
SIDE (SOUTH)	0'-0"	0'-0"	0'-0"
MAX. BUILDING HEIGHT	54'-0"	N/A	33'-6"

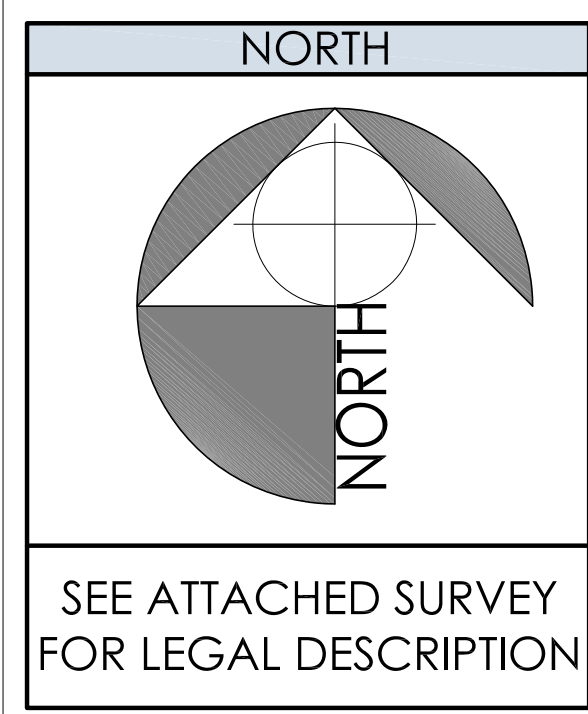
PARKING DATA

DEVELOPMENT STANDARDS PER LDR 4.4.13 (I)(1)

	HC REQUIRED	STAND REQUIRED	HC PROVIDED	STAND PROVIDED
BUSINESS	3236 SF	0 SPACES	1 SPACE	0 SPACES
FIRST FLOOR	(1 SPACE)	0 SPACES	1 SPACE	0 SPACES
RESIDENTIAL	0 SPACES	2645 SF (2 SPACES)	0 SPACES	2 SPACES
SECOND FLOOR	0 SPACES	0 SPACES	0 SPACES	3 SPACES
TOTAL SPACES REQUIRED				

BICYCLE PARKING DATA

	REQUIRED	EXISTING	PROPOSED
1 SP/5,000 SF		0	7



SITE PLAN
1" = 10'-0"

Revisions

T.A.C. COMMENTS	05.01.24
T.A.C. COMMENTS	06.14.24

SITE PLAN APPROVAL

Date: 01/15/2024
Drawn | Checked: JZ | JG
Date | Approval: -
Date | Permit: -
Date | Construction: -

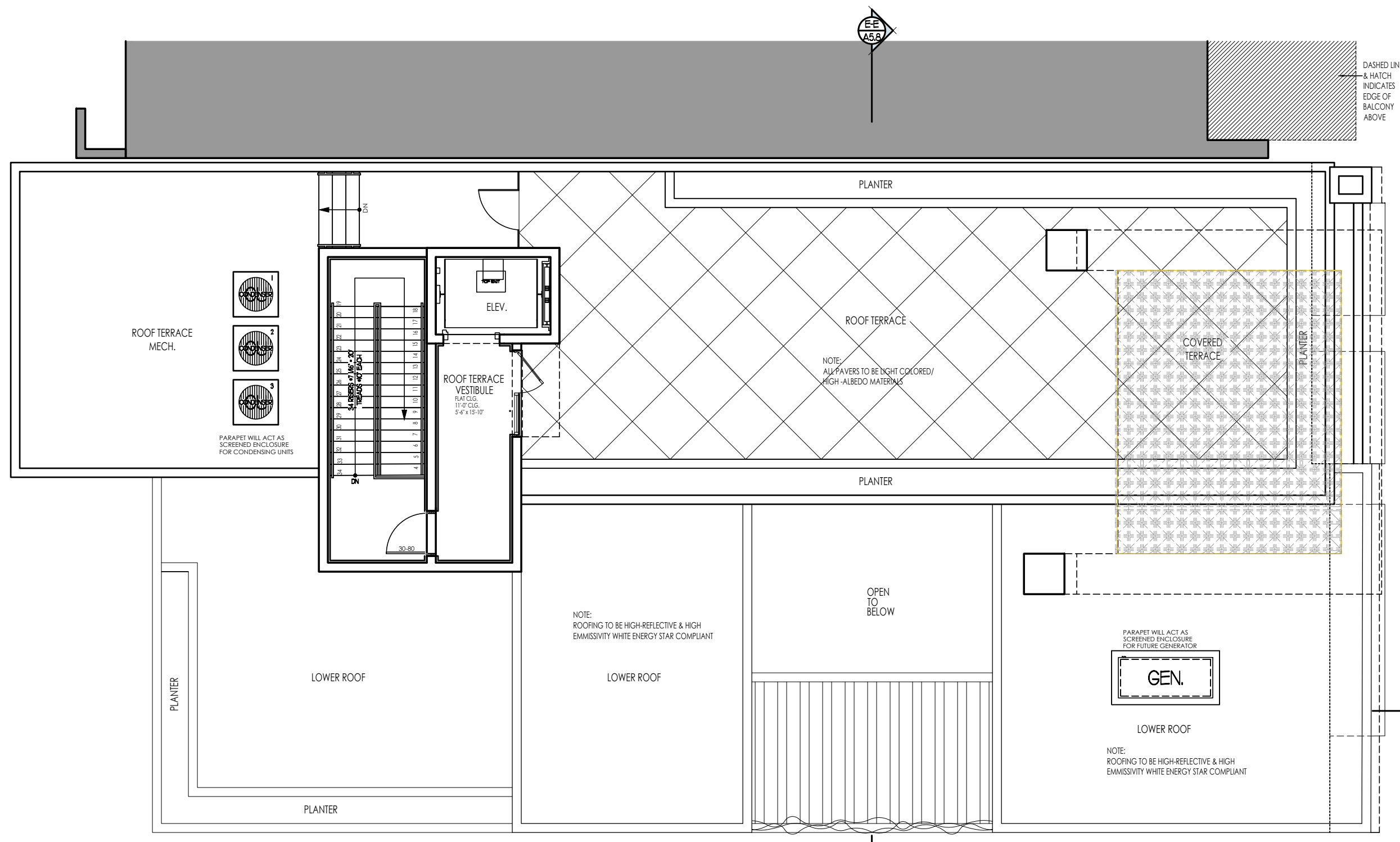
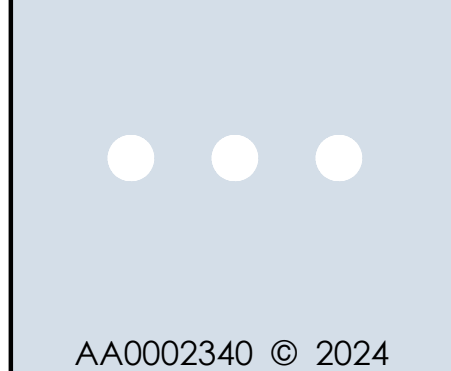
Revisions

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▲ T.A.C. COMMENTS	06.14.24

SITE PLAN APPROVAL

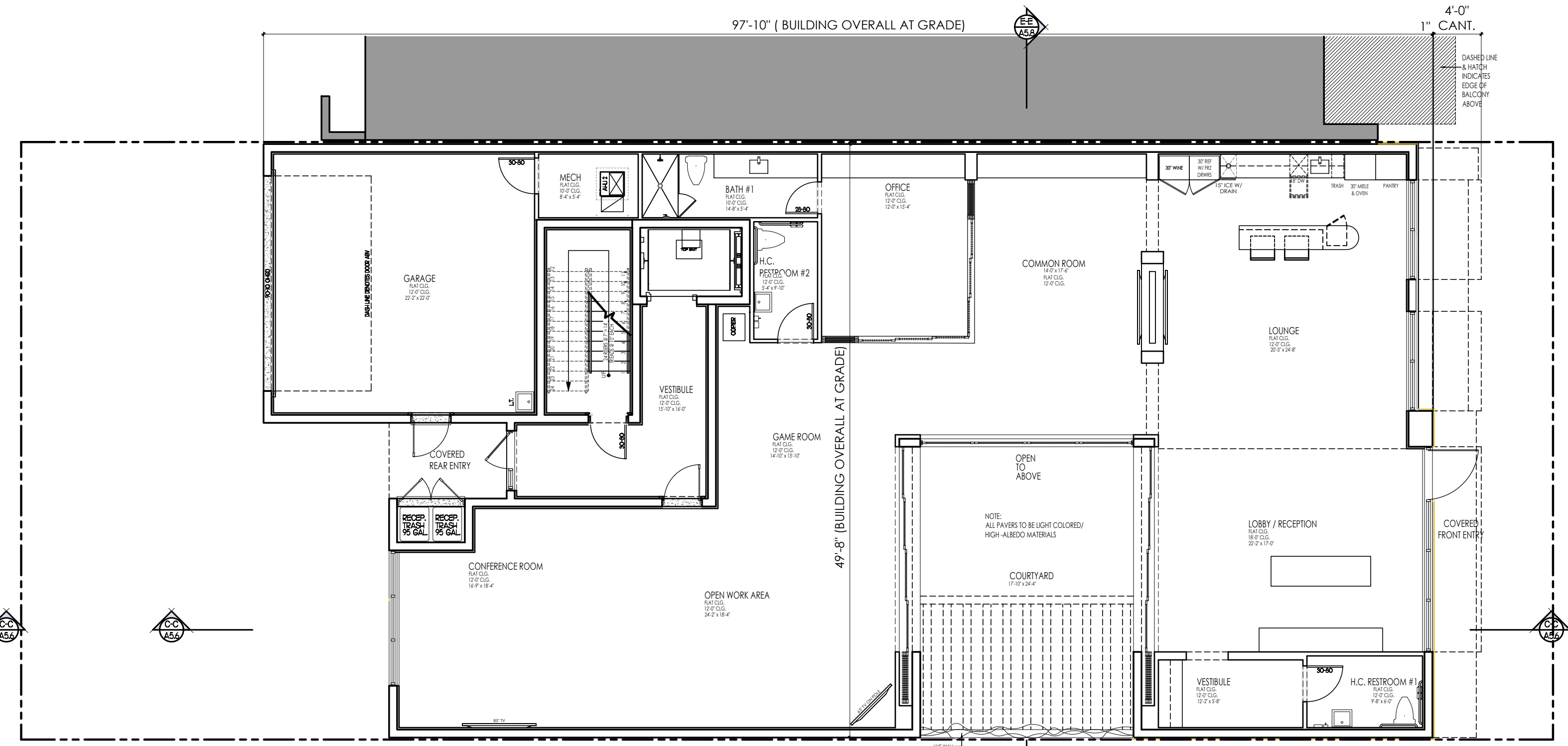
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Drawn Checked	JZ JG
Date Approval	-
Date Permit	-
Date Construction	-

Seal:



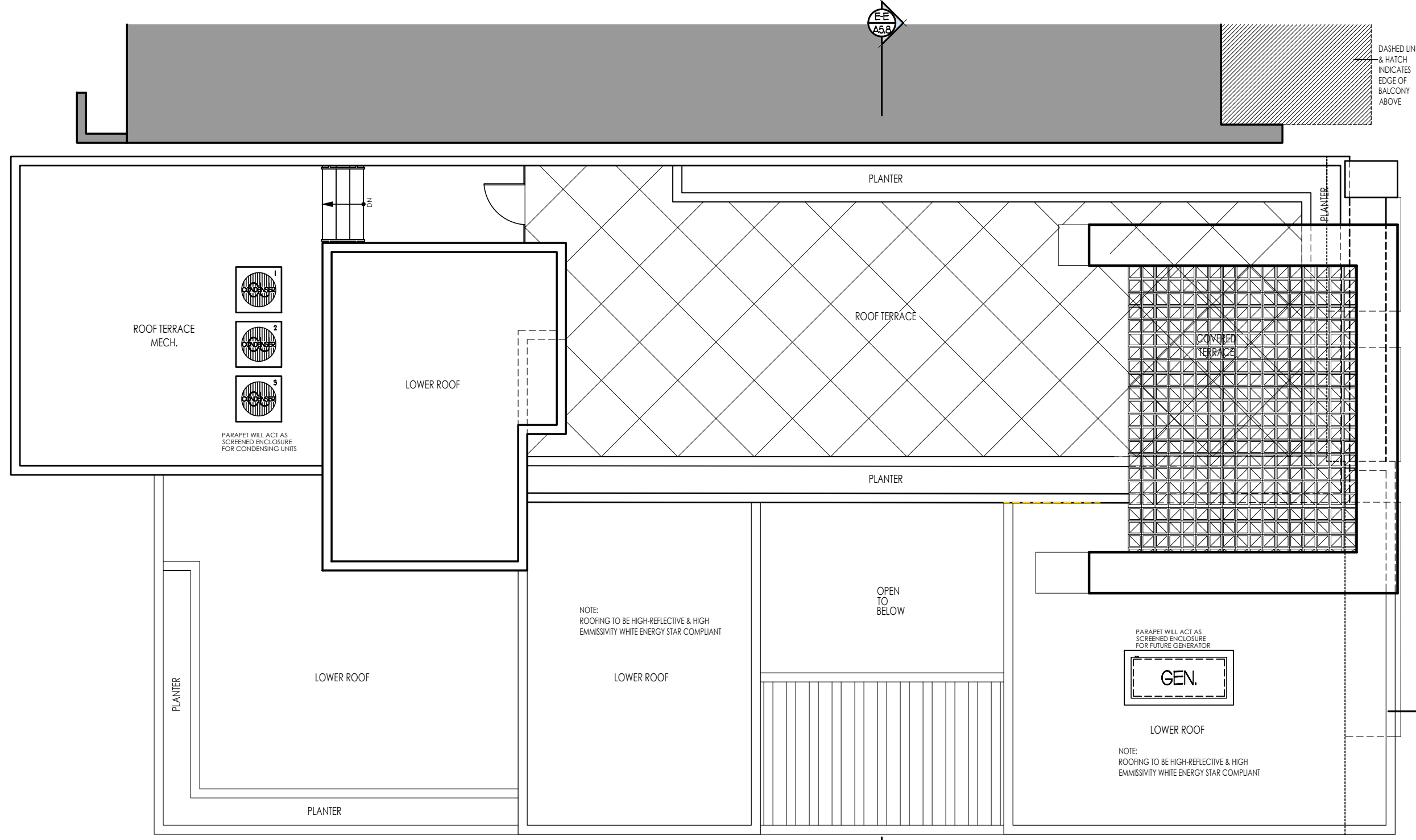
PROPOSED PRIVATE ROOF TERRACE PLAN

SCALE 1/8" = 1'-0"



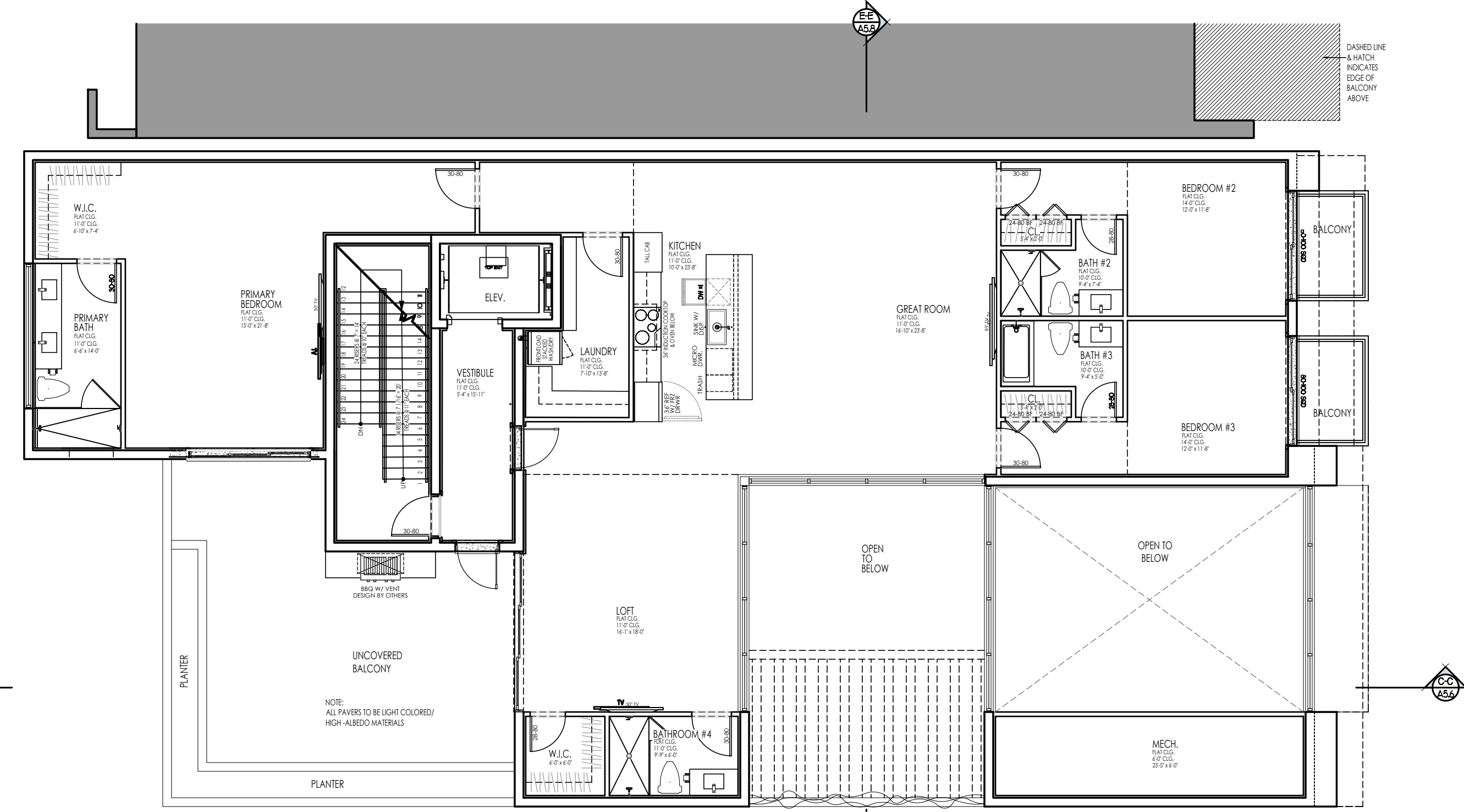
PROPOSED FIRST FLOOR PLAN

SCALE 1/8" = 1'-0"



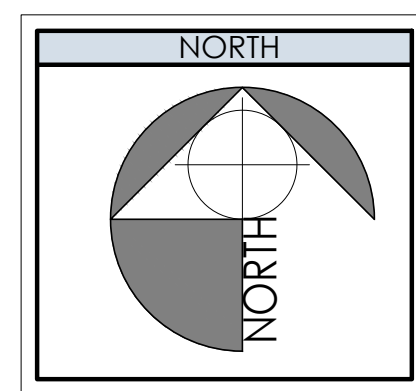
PROPOSED ROOF PLAN

SCALE 1/8" = 1'-0"

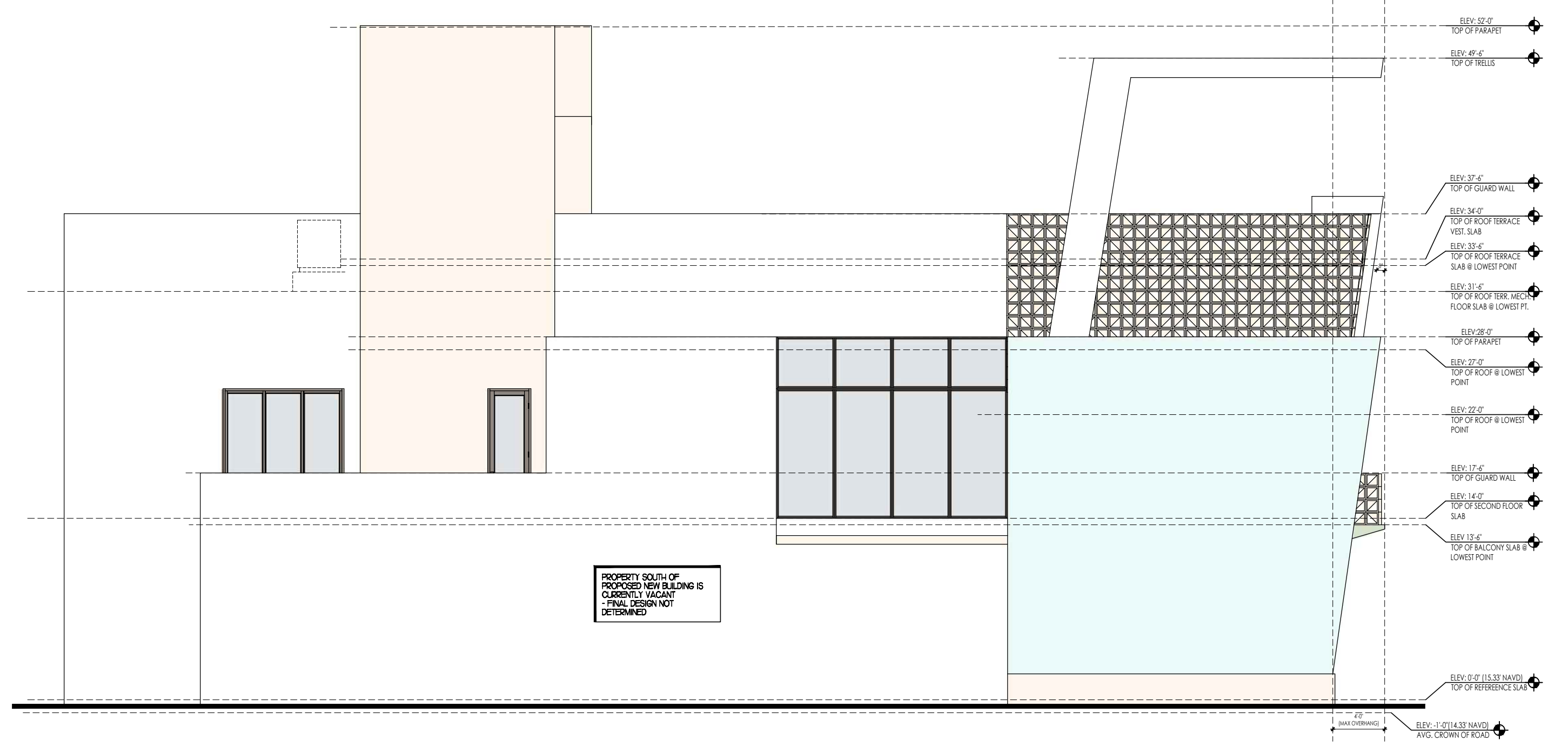


PROPOSED SECOND FLOOR PLAN

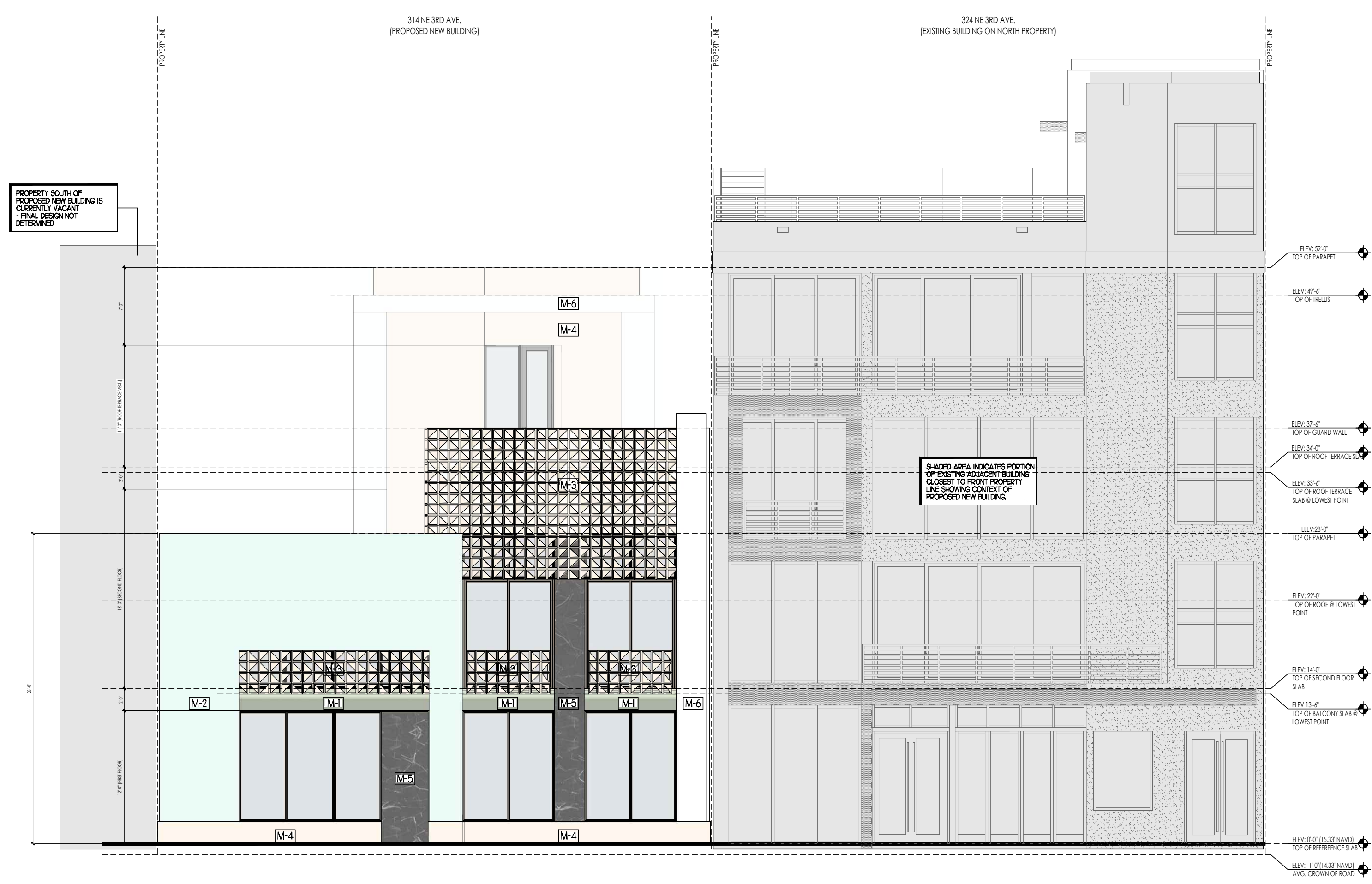
SCALE 1/8" = 1'-0"



FINISH SCHEDULE	
M-1	PAINT SHERWIN-WILLIAMS COLOR SW 6730 ROMAINE 150-C2
M-2	PAINT SHERWIN-WILLIAMS COLOR SW 6225 SLEEPY BLUE CUSTOM DESIGNED MTL LOUVER / PREFAB. RAILING SHERWIN-WILLIAMS COLOR SW 9101 TRES NATURALE 203-C1 PAINTED SMOOTH CEMENTITIOUS FINISH BELOW SHERWIN-WILLIAMS COLOR SW 7757 HIGH REFLECTIVE WHITE 256-C1
M-3	PAINT SHERWIN-WILLIAMS COLOR SW 6357 CHOICE CREAM 265-C5
M-4	CLADDING DARK MARBLE PATTERN
M-5	PAINTED SMOOTH CEMENTITIOUS FINISH SHERWIN-WILLIAMS COLOR SW 7757 HIGH REFLECTIVE WHITE 256-C1
M-6	



LEFT SIDE ELEVATION (SOUTH)
1/8" = 1'-0"

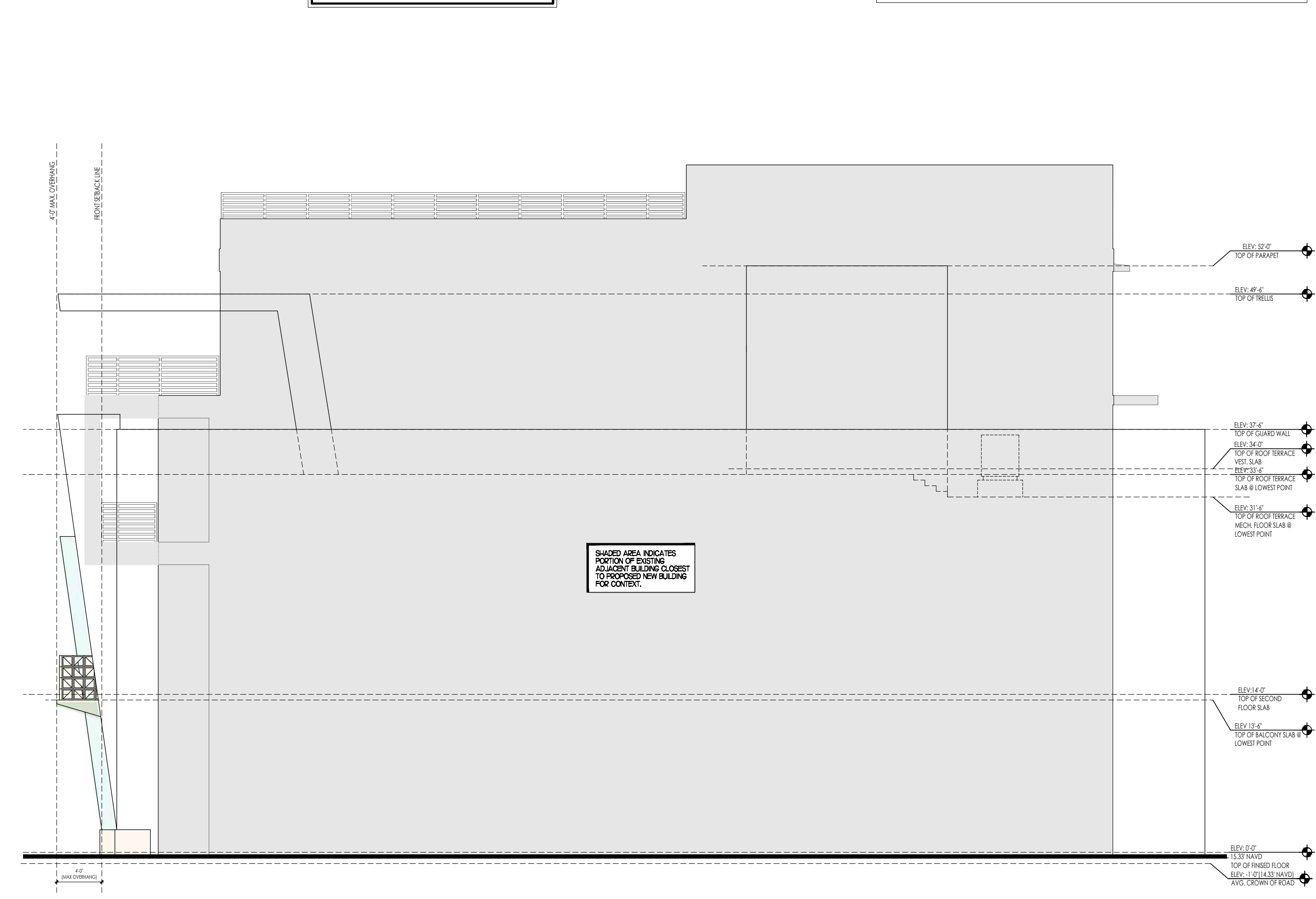


BUILDING FACADE TRANSPARENCY
PER LDR 4.4.13(F)(5)(a)
BUILDING FACADE AREA: 204-758-1638 SQFT.
GLAZING AREA: 592 SQFT. (36.1%)
GLASS TRANSPARENCY: NOT TO EXCEED 20%

FRONT ELEVATION (EAST)
1/8" = 1'-0"



REAR ELEVATION (WEST)
1/8" = 1'-0"



RIGHT SIDE ELEVATION (NORTH)
1/8" = 1'-0"

Revisions

△	T.A.C. COMMENTS	05.01.24
△	T.A.C. COMMENTS	06.14.24

SITE PLAN APPROVAL
Date | 04/09/2024
Drawn | Checked | KG | J.G.
Date | Approval | -
Date | Permit | -
Date | Construction | -

Seal:
AA0002340 © 2024



Revisions		
△	T.A.C. COMMENTS	05.01.24
△	T.A.C. COMMENTS	06.14.24

SITE PLAN APPROVAL	
Date	04/09/2024
Drawn Checked	KG JG
Date Approval	-
Date Permit	-
Date Construction	-

Seal:
● ● ●



KEY MAP
SCALE N.T.S.



PERSPECTIVE VIEW C
SCALE N.T.S.



PERSPECTIVE VIEW B
SCALE N.T.S.



PERSPECTIVE VIEW A
SCALE N.T.S.

Revisions		
1	T.A.C. COMMENTS	05.01.24
2	T.A.C. COMMENTS	06.14.24

SITE PLAN APPROVAL

Date	04/09/2024
Drawn Checked	KG JG
Date Approval	-
Date Permit	-
Date Construction	-

Seal:





KEY MAP
SCALE N.T.S.



PERSPECTIVE VIEW D
SCALE N.T.S.



PERSPECTIVE VIEW C
SCALE N.T.S.



PERSPECTIVE VIEW B
SCALE N.T.S.



PERSPECTIVE VIEW A
SCALE N.T.S.

Revisions

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△	T.A.C. COMMENTS	06.14.24

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Date	04/09/2024
Drawn Checked	KG JG
Date Approval	-
Date Permit	-
Date Construction	-

Seal:

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KEY MAP
SCALE N.T.S.



EXIST. BLDG. PERSPECTIVE VIEW D
SCALE N.T.S.



EXIST. BLDG. PERSPECTIVE VIEW C
SCALE N.T.S.



EXIST. BLDG. PERSPECTIVE VIEW B
SCALE N.T.S.



EXIST. BLDG. PERSPECTIVE VIEW A
SCALE N.T.S.

Revisions

△	T.A.C. COMMENTS	05.01.24
△	T.A.C. COMMENTS	06.14.24

SITE PLAN APPROVAL

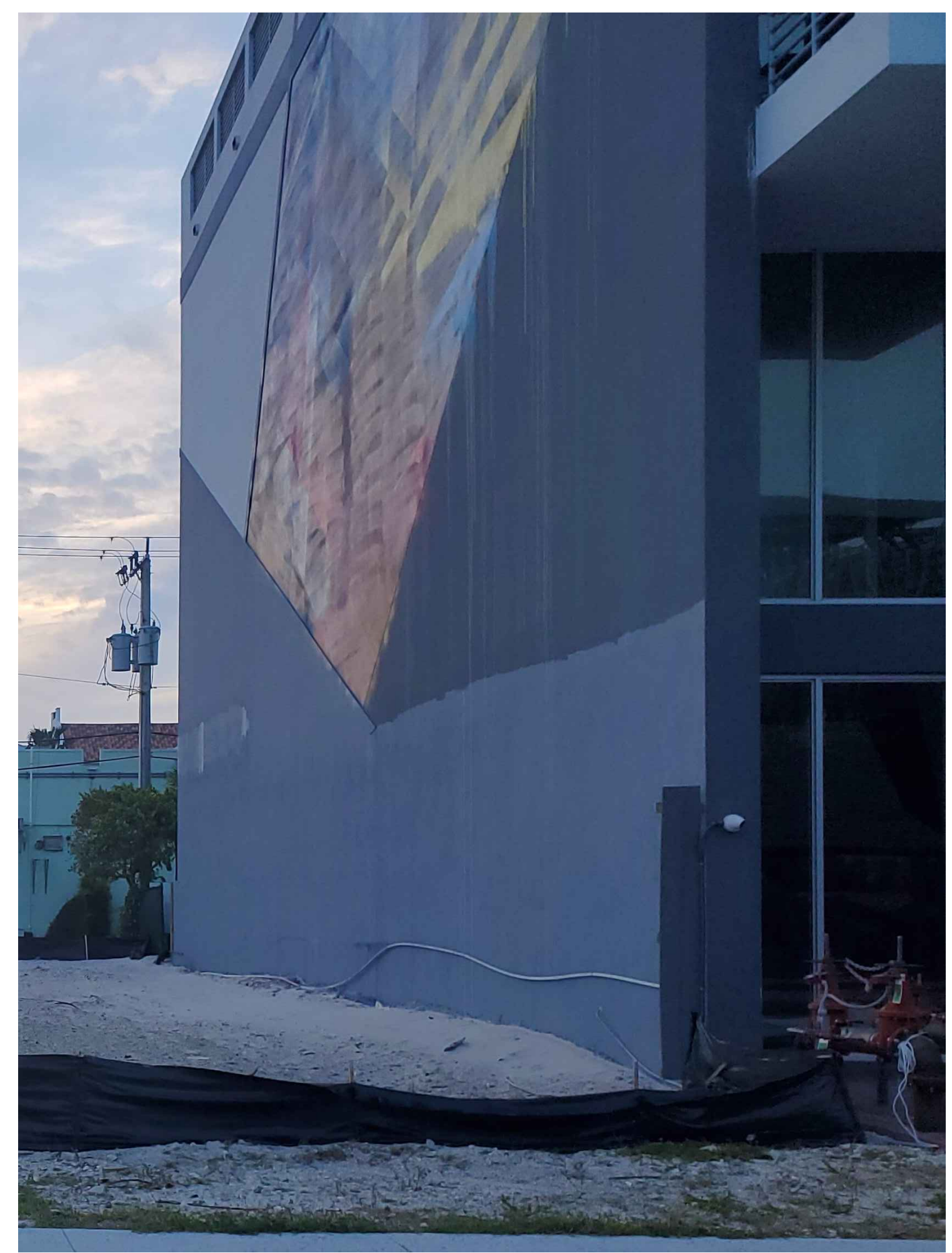
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Drawn Checked	KG JG
Date Approval	-
Date Permit	-
Date Construction	-

Seal:

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EXIST. BLDG. PHOTOGRAPH C
SCALE N.T.S.



EXIST. BLDG. PHOTOGRAPH B
SCALE N.T.S.



KEY MAP
SCALE N.T.S.



EXIST. BLDG. PHOTOGRAPH A
SCALE N.T.S.

Revisions

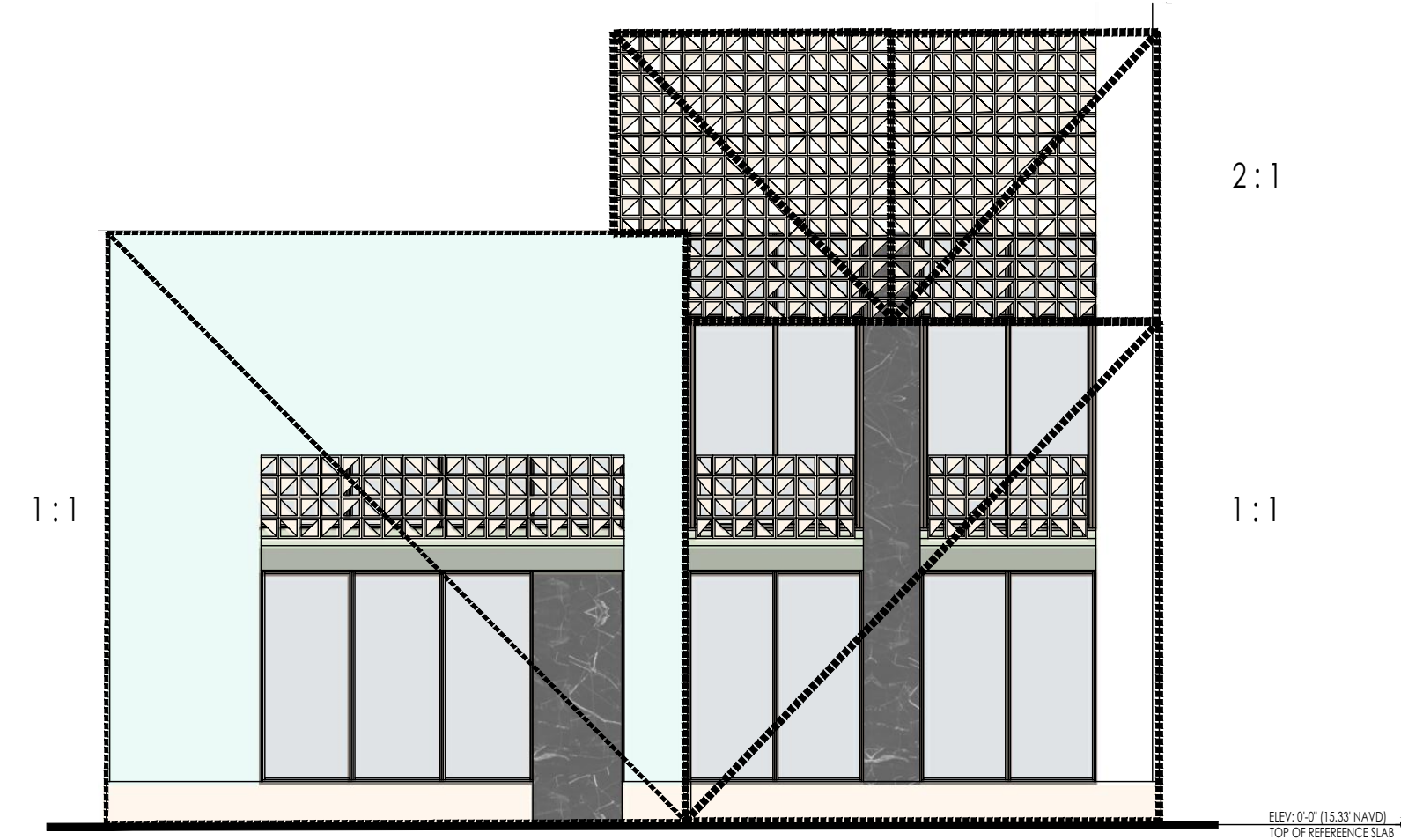
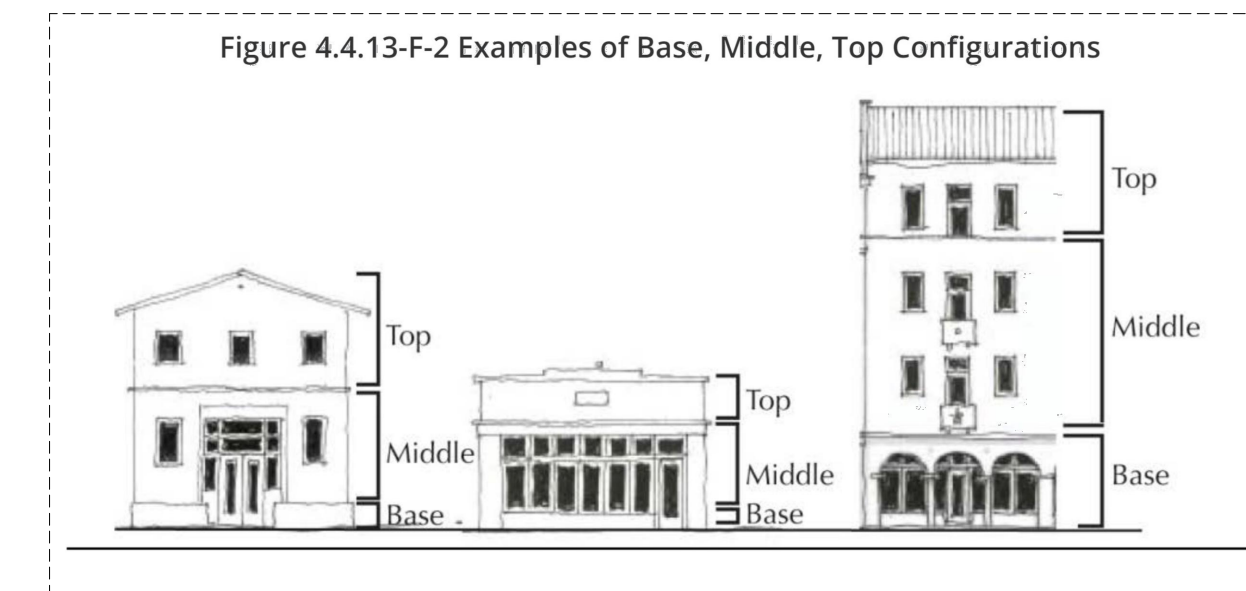
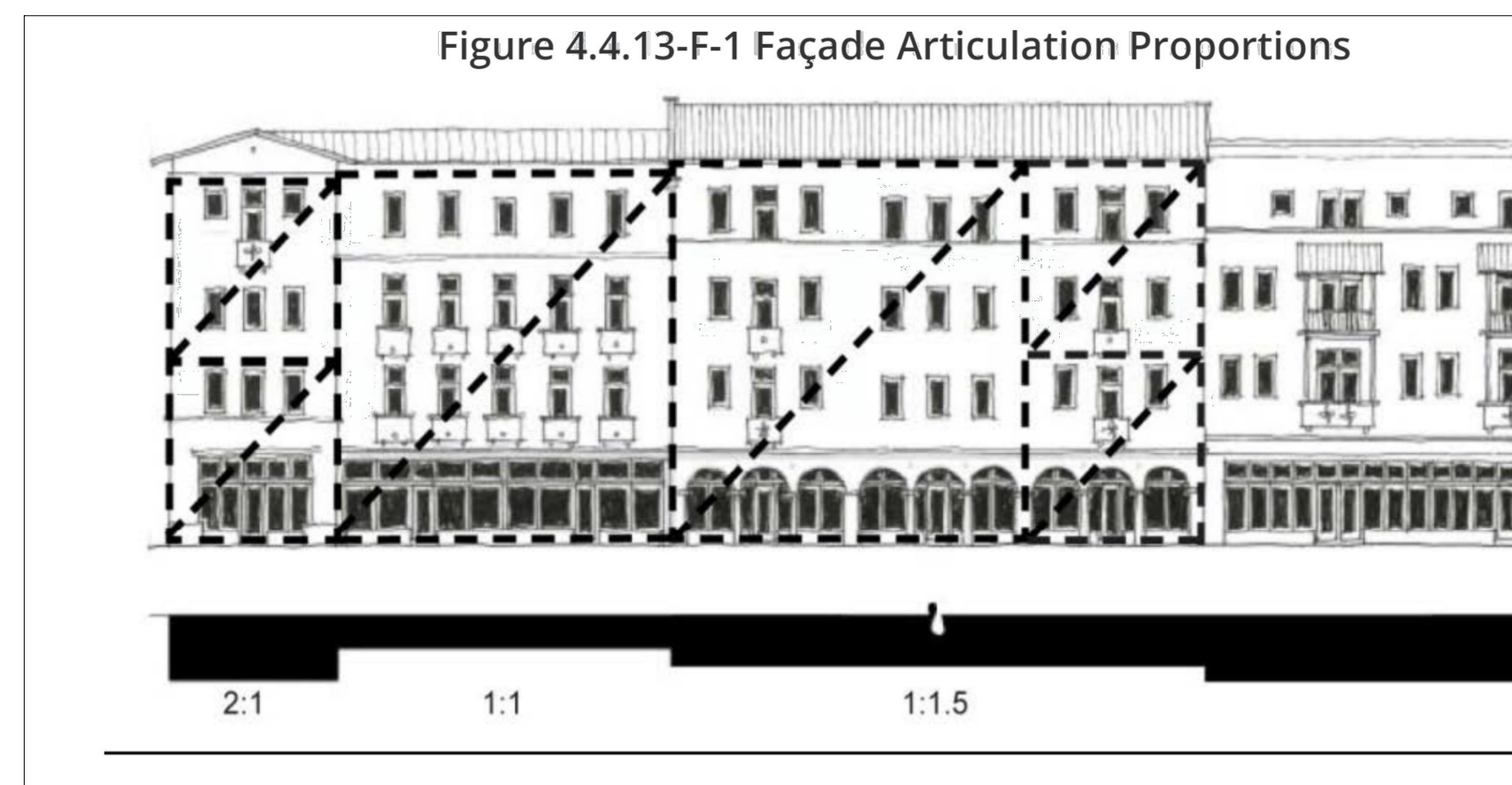
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SITE PLAN APPROVAL

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Drawn Checked	KG JG
Date Approval	-
Date Permit	-
Date Construction	-

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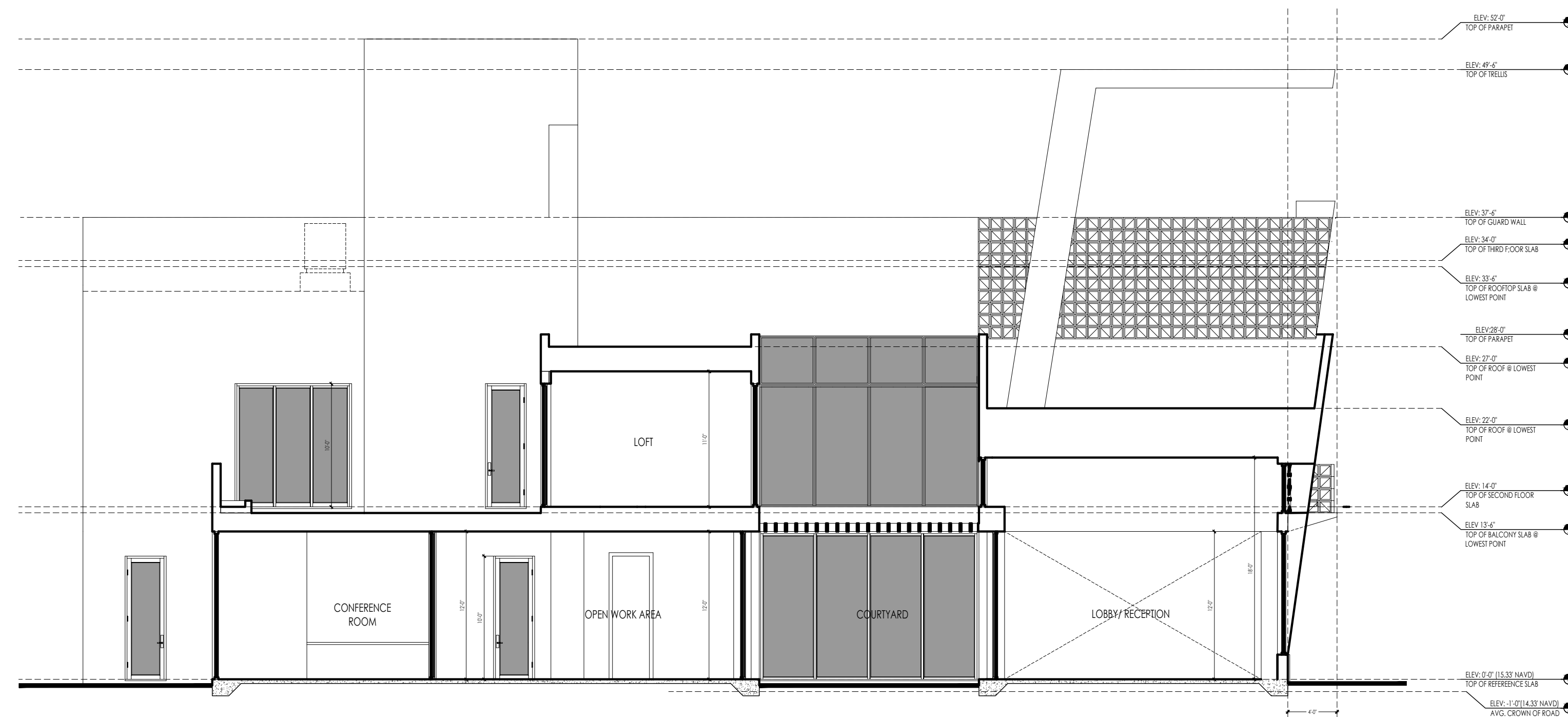
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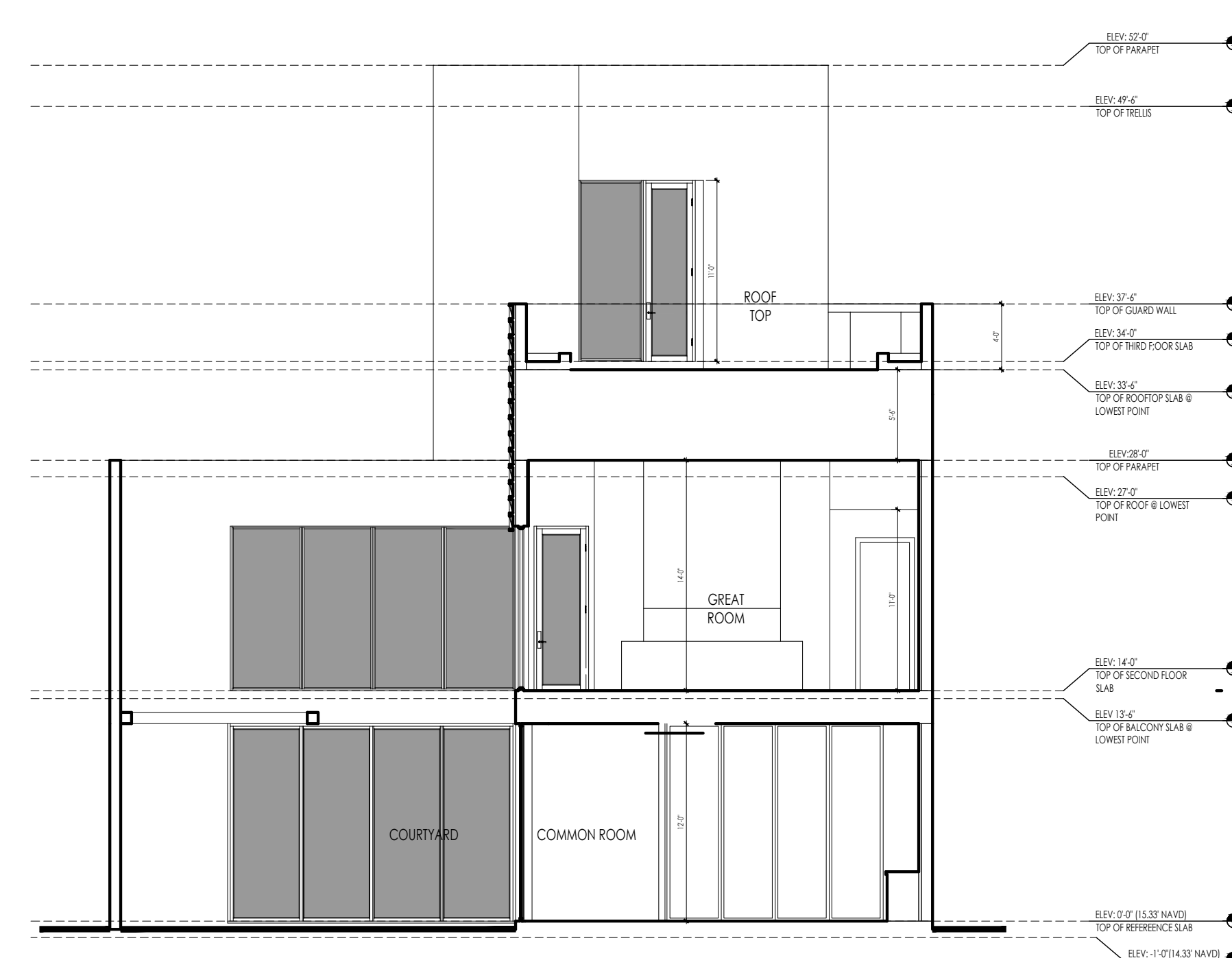
FACADE ARTICULATION PROPORTION PLAN
1/8" = 1'-0"



BASE / MIDDLE / TOP CONFIGURATION
1/8" = 1'-0"



BUILDING SECTION C-C
1/8" = 1'-0"



BUILDING SECTION E-E
1/8" = 1'-0"

Project Number:
23075

314 NE 3rd Avenue
Delray Beach, Florida

A F I N I T I
architects
6100 Broken Sound Pkwy, NW - Suite 8 - Boca Raton FL - 33487
561.750.0445 AFFINITIARCHITECTS.COM

Revisions

△	T.A.C. COMMENTS	05.01.24
△	T.A.C. COMMENTS	06.14.24

SITE PLAN APPROVAL

Date | 04/09/2024
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 Date | Approval | -
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 Date | Construction | -

Seal:

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A5.6

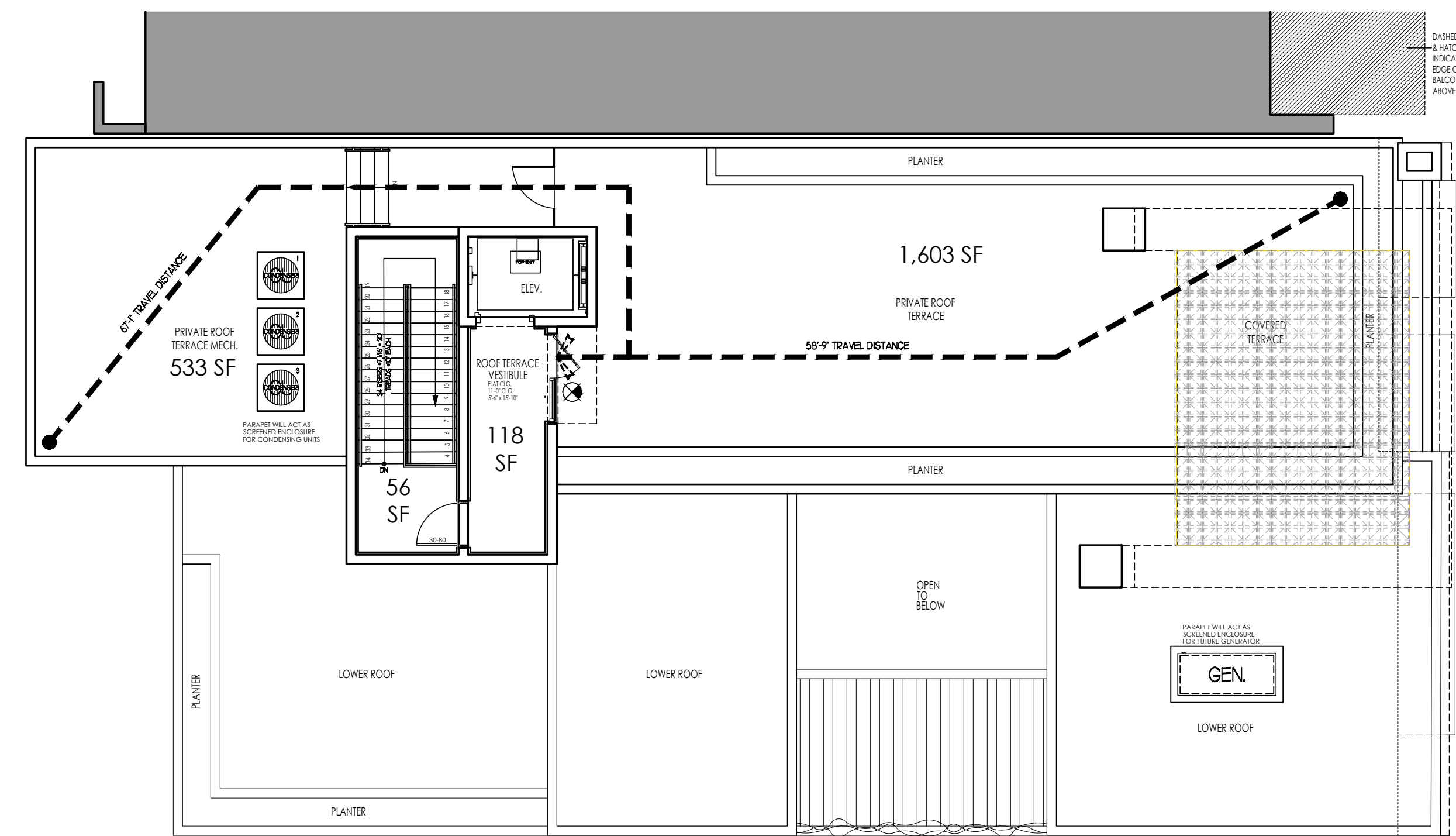
Revisions

1	T.A.C. COMMENTS	05.01.24
2	T.A.C. COMMENTS	06.14.24

SITE PLAN APPROVAL

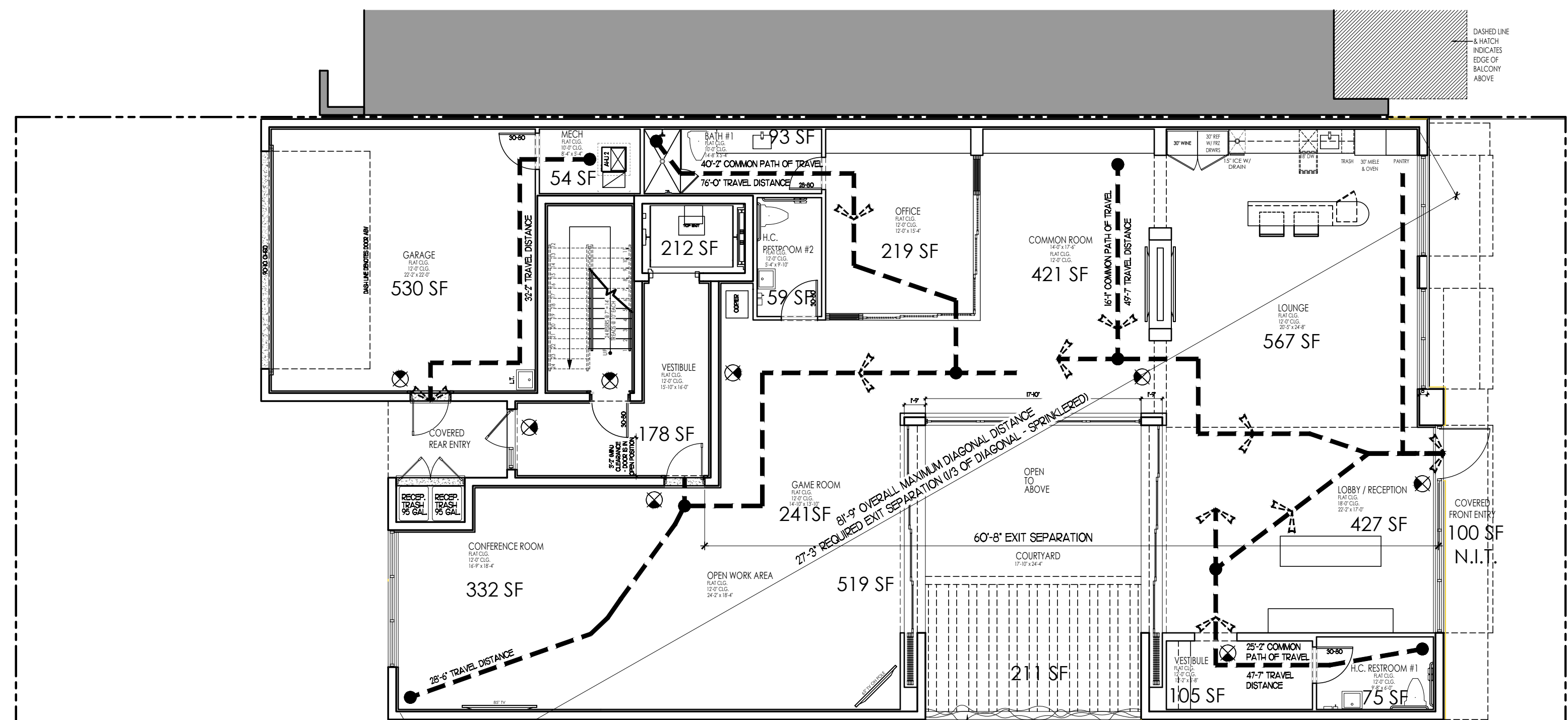
Date	04/09/2024
Drawn Checked	JZ JG
Date Approval	-
Date Permit	-
Date Construction	-

Seal:



PROPOSED PRIVATE ROOF TERRACE LIFE SAFETY PLAN

SCALE 1/8" = 1'-0"



PROPOSED FIRST FLOOR LIFE SAFETY PLAN

SCALE 1/8" = 1'-0"

CONSTRUCTION REQUIREMENTS

GROUP	BAR-3
TYPE	VB/SPRINKLERED

BUILDING CAPACITIES OFFICE BUILDING

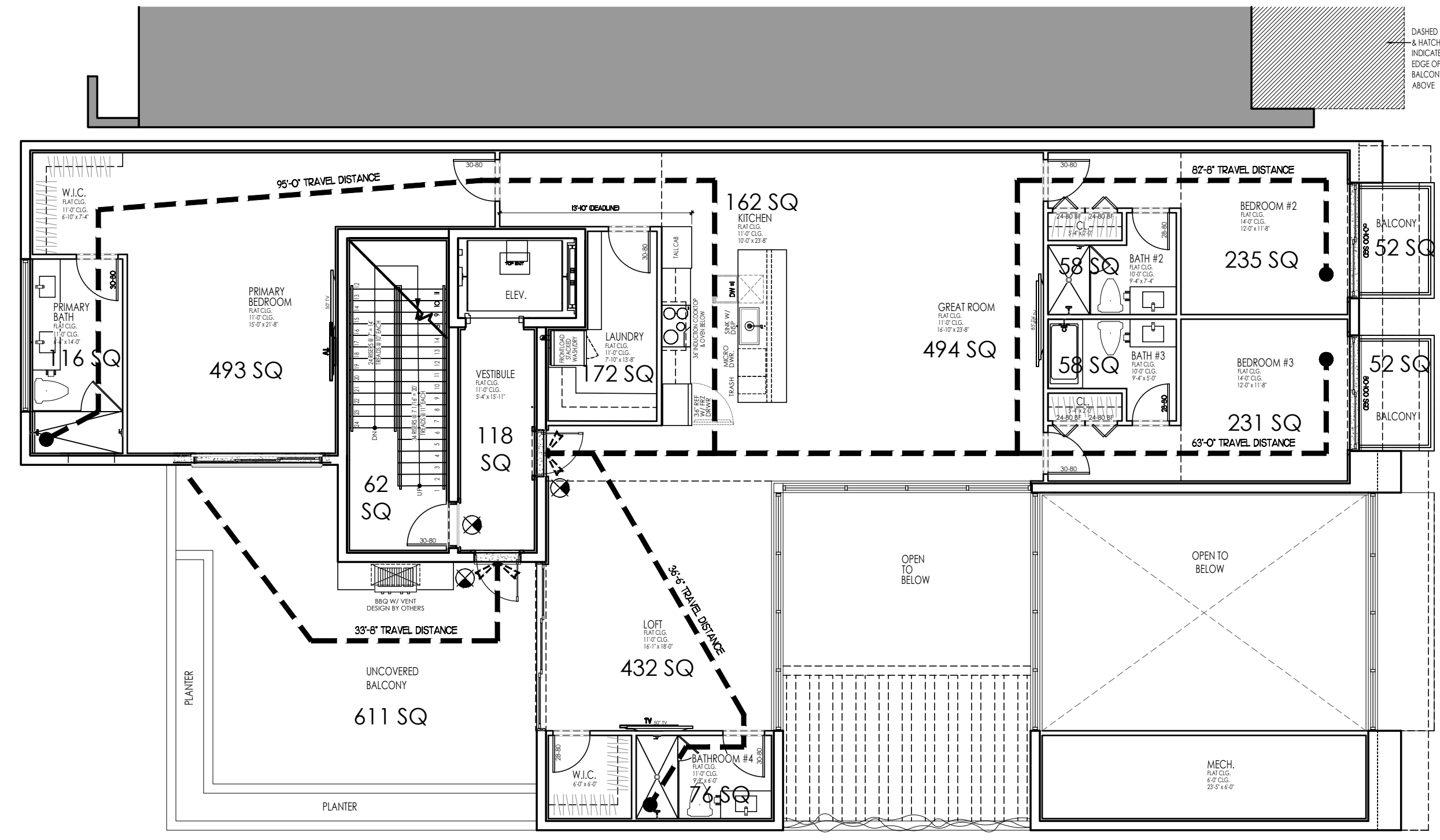
USE	AREA	SQ. FT. PER OCCUPANT	NO. OF OCCUPANTS
BUSINESS			
1ST FLR. VESTIBULE	390 SF	150 BUSINESS AREA	3
COMMON ROOM	421 SF	150 BUSINESS AREA	3
CONFERENCE ROOM	332 SF	150 BUSINESS AREA	3
LOBBY/RECEPTION	427 SF	150 BUSINESS AREA	3
LOUNGE	567 SF	150 BUSINESS AREA	4
OPEN WORK AREA	519 SF	150 BUSINESS AREA	4
OFFICE	219 SF	150 BUSINESS AREA	2
GAME ROOM	241 SF	150 BUSINESS AREA	2
TOTAL	3,461 SF		24
TOILET ROOMS			
BATH #1	93 SF		1
H.C. RESTROOM H. / VEST.	150 SF		1
H.C. RESTROOM #2	93 SF		1
TOTAL	332 SF		3
STORAGE			
MECH/STORAGE ROOM	54 SF	150	1
TOTAL	54 SF		1
RESIDENTIAL			
2ND FLR. VESTIBULE	150 SF	200	1
GREAT ROOM	494 SF	200	3
KITCHEN/REST.	162 SF	200	1
LAUNDRY	172 SF	200	1
PRIMARY BED/W.C.	493 SF	200	3
PRIMARY BATH	16 SF	200	1
BD #1/W.C.	23 SF	200	2
BATH #1	58 SF	200	1
BD #2/W.C.	23 SF	200	2
BATH #2	58 SF	200	1
BD #3/W.C.	23 SF	200	1
BATH #3	43 SF	200	3
BATH #4	76 SF	200	1
PRIVATE ROOF TERR. VESTIBULE	118 SF	200	1
DED. RESIDENT GAR.	530 SF	200	3
TOTAL	3,481 SF		24
TOTALS			
BUILDING A.C. TOTALS	5,999 SF		
ALL NON-FAC. STAIR/LAND.	330 SF		
COV. ENTRIES	184 SF		
COV. COURTYARD	21 SF		
DED. RESIDENT GAR. / MECH.	584 SF		
2ND FLR. BALCONIES	76 SF		
PRIVATE ROOF TERRACE	1,603 SF		
PRIVATE ROOF TERR. MECH.	533 SF		
GRAND TOTAL	10,481 SF		

LIFE SAFETY LEGEND

(X)	UNDESIGNED BY OCCUPANT/FIRE RESISTANCE
(---)	MAXIMUM TRAVEL DISTANCE
(---)	15M FIRE RATED CURTAIN ASSEMBLY - SEE DETAIL A-113
(---)	15M FIRE RATED WALL ASSEMBLY - SEE DETAIL B-113

LEGEND:

- CEILING MOUNTED EMERGENCY EXIT SIGN (SEE ELECTRICAL PLANS FOR ALL LOCATIONS)
- ALL FIRE EXTINGUISHERS TO BE SUB. ABC TYPE IN CABINETS PLACED NO MORE THAN 75'-0" APART • EA. FLOOR.



PROPOSED SECOND FLOOR LIFE SAFETY PLAN

SCALE 1/8" = 1'-0"

