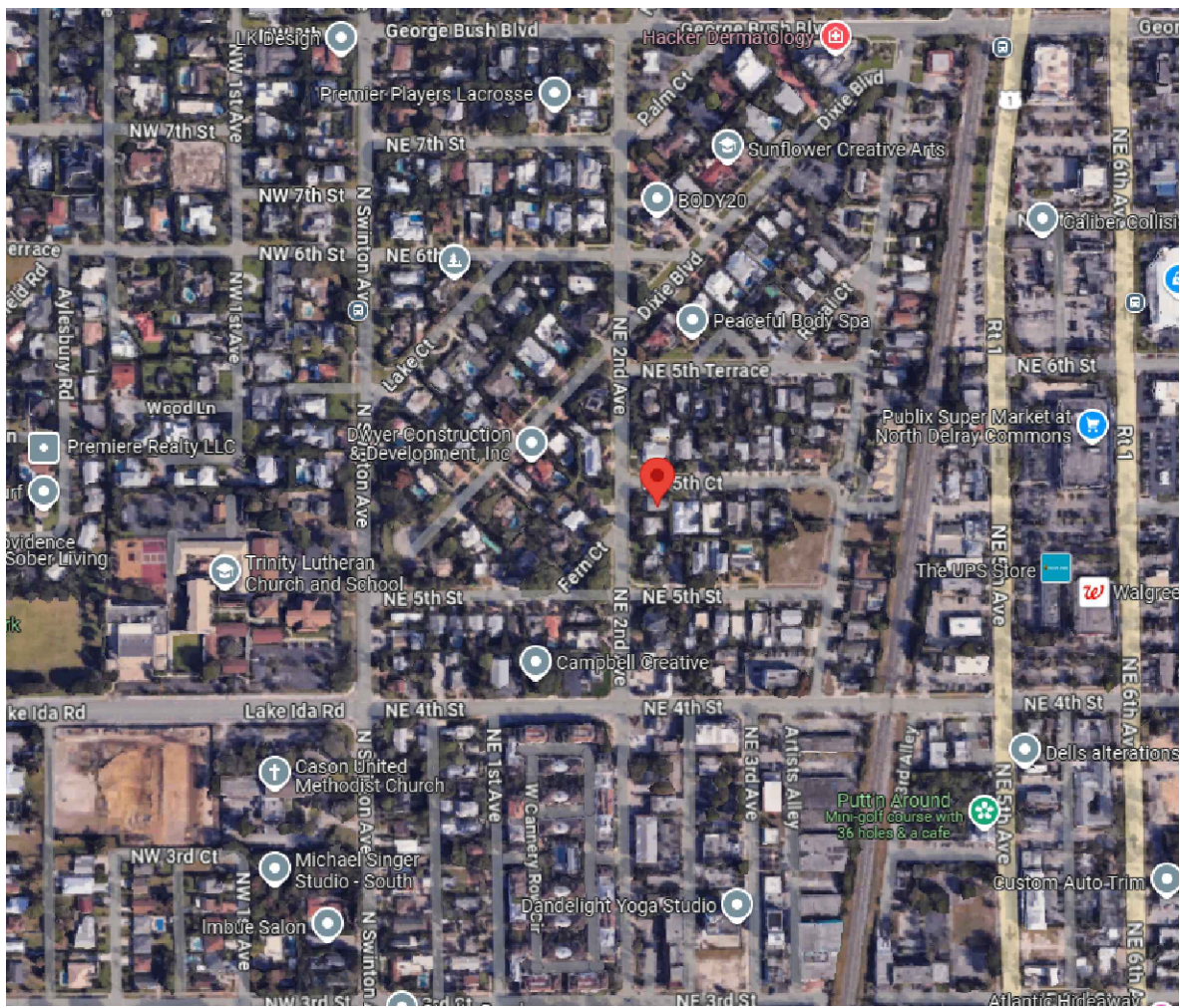


CRITERIA	REQUIRED	EXISTING	PROPOSED
BUILDING SETBACKS			
FRONT	25'	19.09'	19.09'/25.06'
SIDE	7.5'	10.08'	10.08'
SIDE STREET	15'	45.43'	34.44'
REAR	10'	10.72'	10.72'
NUMBER OF STORIES	3	1	1
LOT WIDTH	80'	60.0'	60.0'
LOT DEPTH	100'	105'	105'
FRONTAGE	80'	163.19'	163.19'
SITE AREA	7,500	6,168	6,168
PERVIOUS/IMPERVIOUS	N/A	3,705/22,463'	3,705/22,463'
OPEN SPACE	25%	60.07%	60.07%
WATER BODIES	N/A	N/A	N/A
GROUND FLOOR AREA	1,000'	1,336'	1,336'
LOT COVERAGE	N/A	21.66%	21.66%
FLOOR AREA RATIO (FAR)	0.70	0.22	0.22
NUMBER OF DWELLING UNITS	N/A	1	1
DENSITY	N/A		
DWELLING UNITS			
STUDIO/EFFICIENCY	NUMBER OF UNITS	SQ FT UNDER AIR	TOTAL SQ FT
1 BEDROOM			
2 BEDROOM	1	1,336	1,336
3 BEDROOM			
4 BEDROOM			
PARKING SPACES REQUIRED			
USE	# OF SPACES	REQUIRED	EXISTING
REGULAR SPACES	2	2	2
COMPACT SPACES	0	0	0
ACCESSIBLE SPACES	0	0	0
TOTALS	2	2	2
BIKE RACKS	0	0	0

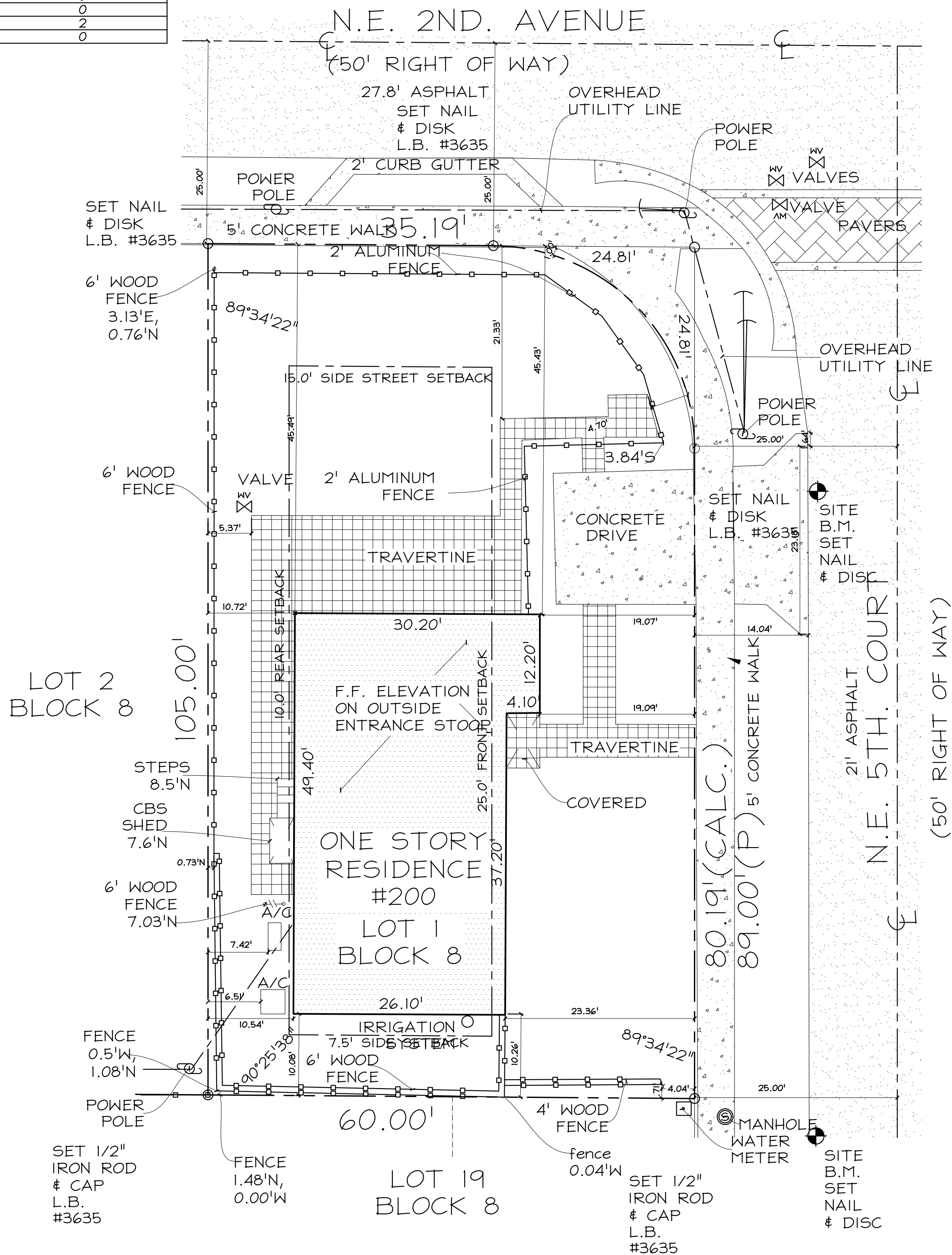


LOCATION MAP
SCALE: NTS

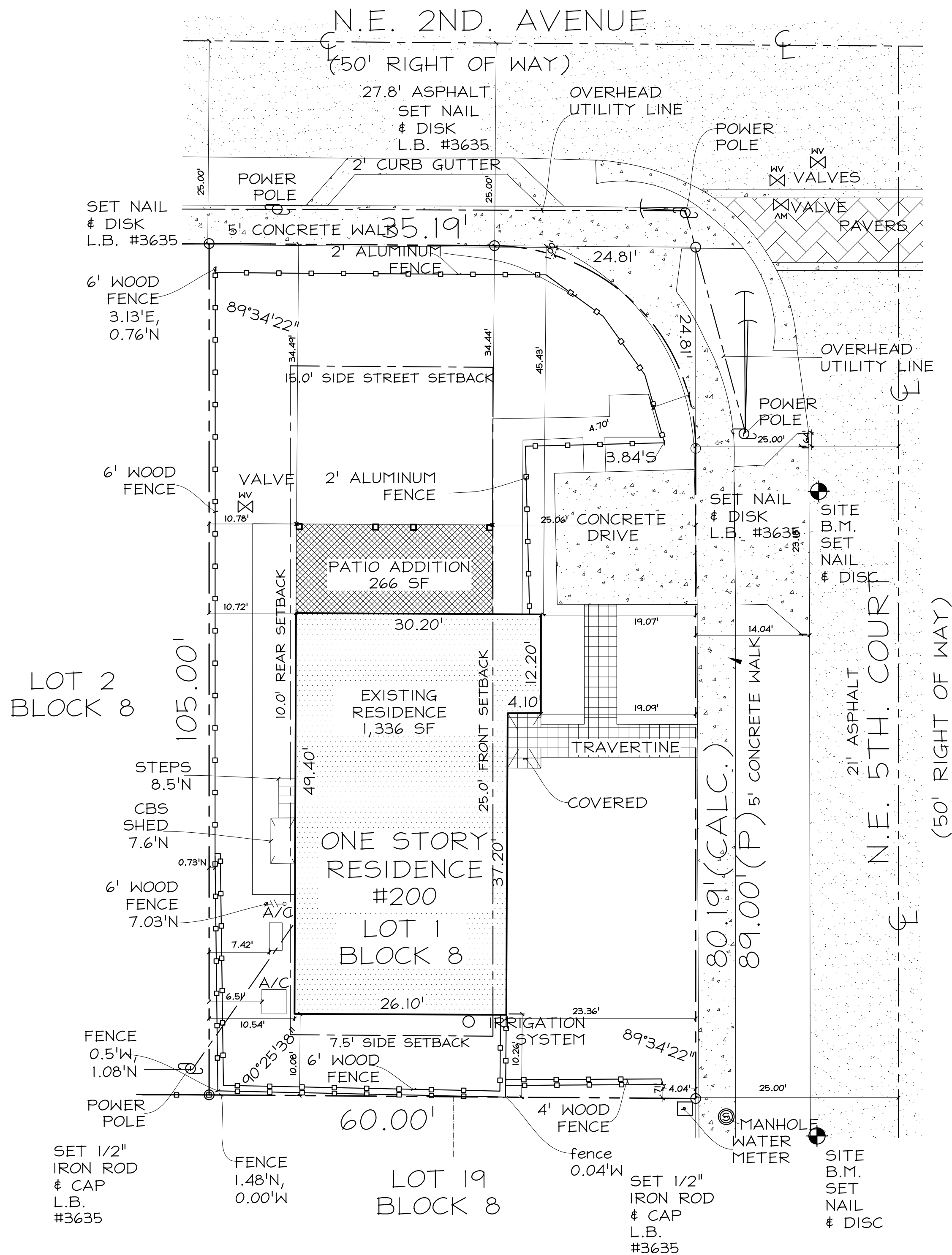
LEGAL DESCRIPTION:

LOT 1, BLOCK 8, DEL-IDA PARK,
ACCORDING TO THE PLAT THEREOF
AS RECORDED IN PLAT BOOK 9,
PAGE 52, PUBLIC RECORDS OF
PALM BEACH COUNTY, FLORIDA

PARCEL IDENTIFICATION NUMBER
12-43-46-09-29-008-0010

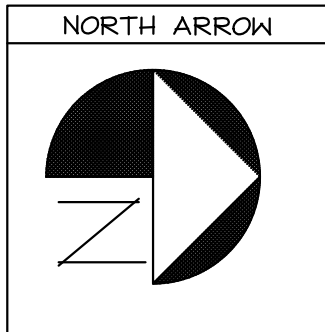


EXISTING SITE PLAN
SCALE: 1" = 10'



PROPOSED SITE PLAN
SCALE: 1" = 10'

SITE AREA CALCULATIONS			
SITE AREA	6,168 SQ FT	100.00%	
HOUSE AREA	1,336 SQ FT		
TOTAL AREA	1,336 SQ FT	21.66%	
DRIVES/WALK	605 SQ FT		
PATIO ADDITION	266 SQ FT		
REAR WALK/AC	256 SQ FT		
TOTAL NON	1,127 SQ FT	18.27%	
GREEN SPACE	3,705 SQ FT	60.07%	



PAUL CHARETTE A.I.A.
LICENSE AR0016279

MARK HUNLEY A.I.A.
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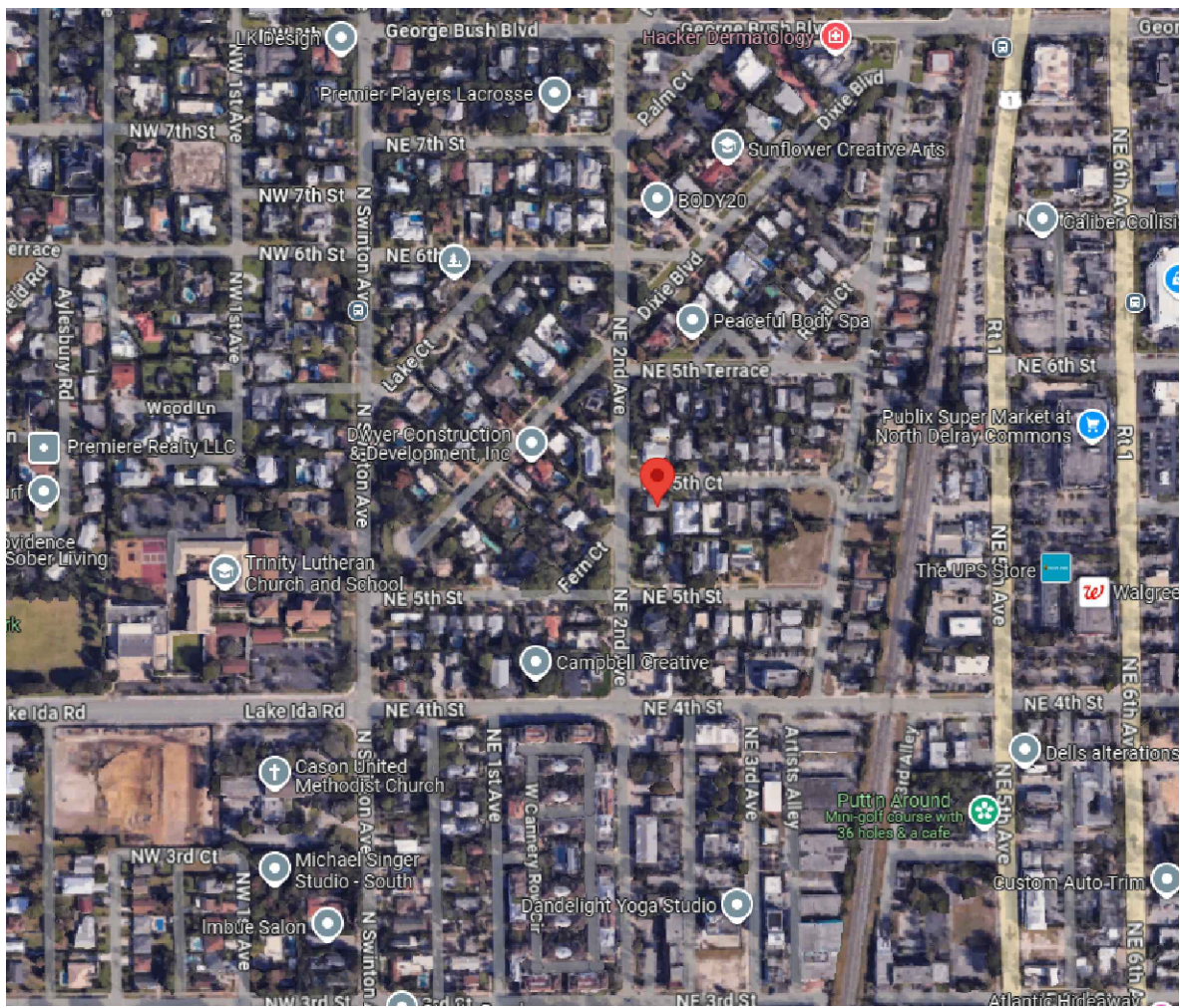
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INTERNATIONAL
ARCHITECTURE
551 NW 77TH ST SUITE 107
BOCA RATON, FL 33487

CONNOLLY RESIDENCE
200 NE 5TH CT
DELRAY BEACH, FL 33444
JOB NUMBER: 2024-026

STARTED: 02/26/2024
PRELIM: 04/09/2024
PRELIM 2: 06/26/2024
PRELIM 3: 07/12/2024
PRELIM FINAL:
CONST. DOCS:
BLDG DEPT:
BLDG DEPT:
BLDG DEPT:
AS-BUILTS:
ISSUED: 2/7/2025
SHEET

SP-1

CRITERIA	REQUIRED	EXISTING	PROPOSED
BUILDING SETBACKS			
FRONT	25'	19.09'	19.09'/25.06'
SIDE	7.5'	10.08'	10.08'
SIDE STREET	15'	45.43'	34.44'
REAR	10'	10.72'	10.72'
NUMBER OF STORIES	3	1	1
LOT WIDTH	80'	60.0'	60.0'
LOT DEPTH	100'	105'	105'
FRONTAGE	80'	163.19'	163.19'
SITE AREA	7,500	6,168	6,168
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OPEN SPACE	25%	60.07%	60.07%
WATER BODIES	N/A	N/A	N/A
GROUND FLOOR AREA	1,000'	1,336'	1,336'
LOT COVERAGE	N/A	21.66%	21.66%
FLOOR AREA RATIO (FAR)	0.70	0.22	0.22
NUMBER OF DWELLING UNITS	N/A	1	1
DENSITY	N/A		
DWELLING UNITS			
STUDIO/EFFICIENCY	NUMBER OF UNITS	SQ FT UNDER AIR	TOTAL SQ FT
1 BEDROOM			
2 BEDROOM	1	1,336	1,336
3 BEDROOM			
4 BEDROOM			
PARKING SPACES REQUIRED			
USE	# OF SPACES	REQUIRED	EXISTING
REGULAR SPACES	2	2	2
COMPACT SPACES	0	0	0
ACCESSIBLE SPACES	0	0	0
TOTALS	2	2	2
BIKE RACKS	0	0	0

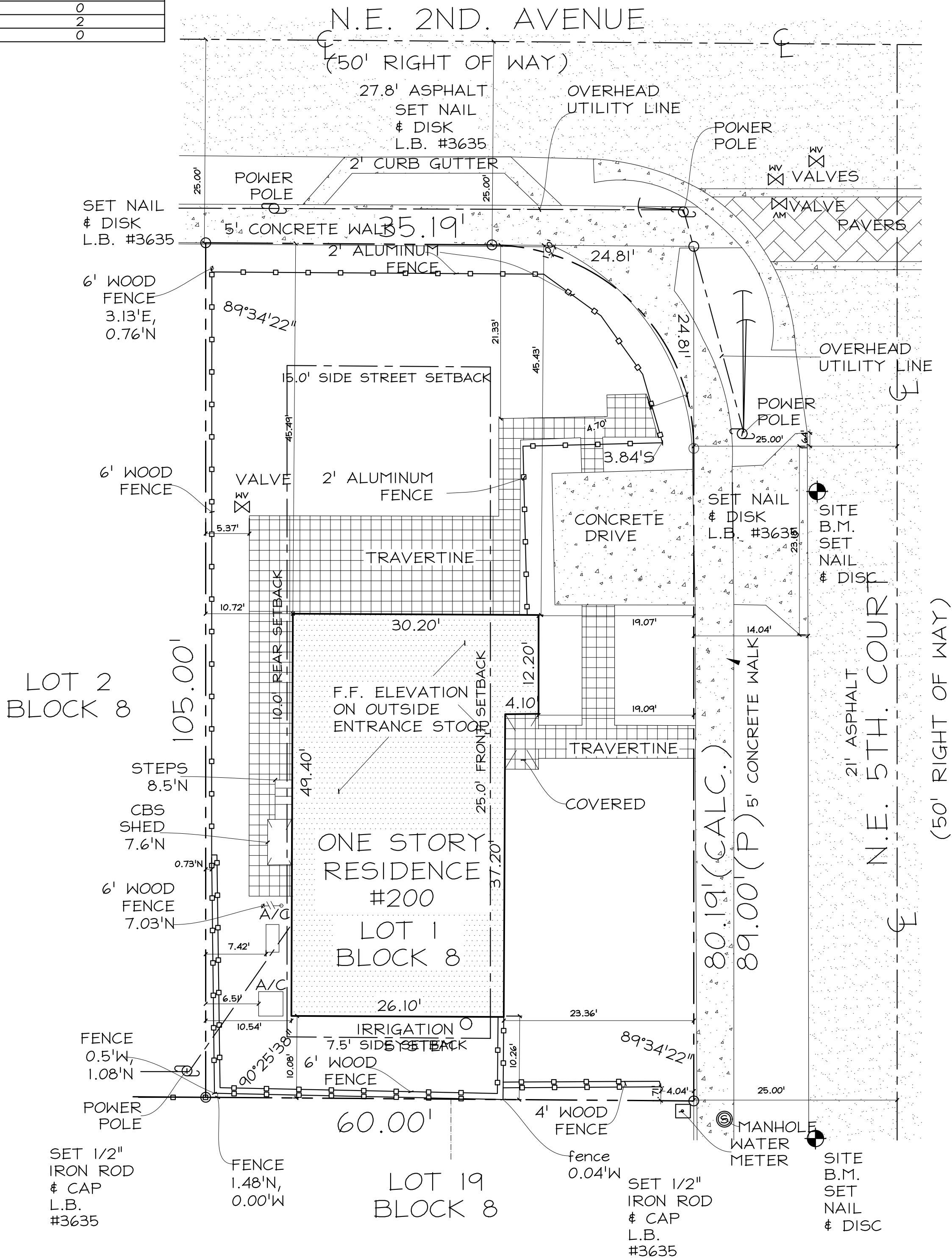


LOCATION MAP
SCALE: NTS

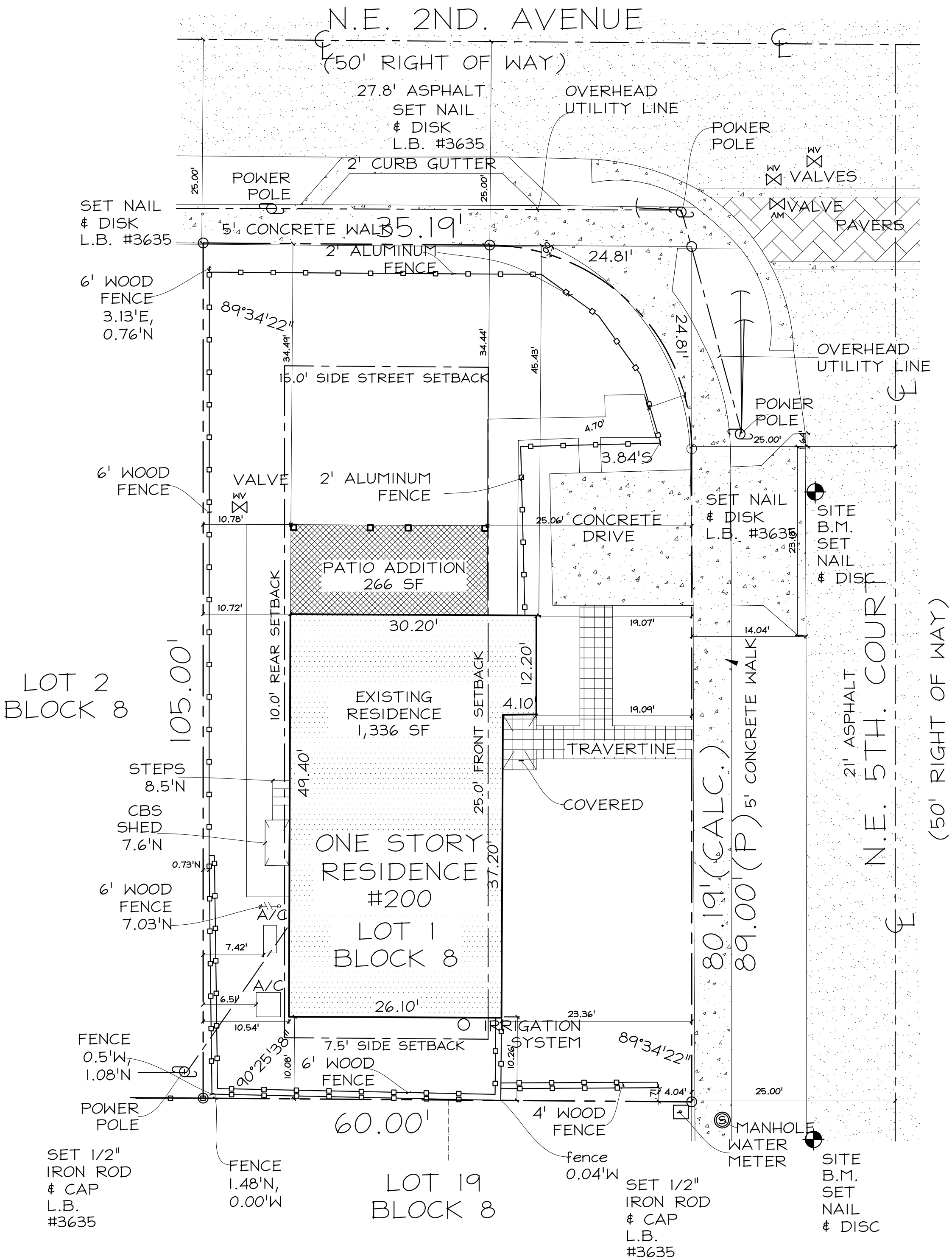
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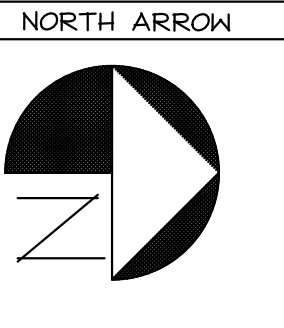


EXISTING SITE PLAN
SCALE: 1" = 10'



PROPOSED SITE PLAN
SCALE: 1" = 10'

SITE AREA CALCULATIONS			
SITE AREA	6,168 SQ FT	100.00%	
HOUSE AREA	1,336 SQ FT		
TOTAL AREA	1,336 SQ FT	21.66%	
DRIVES/WALK	605 SQ FT		
PATIO ADDITION	266 SQ FT		
REAR WALK/AC	256 SQ FT		
TOTAL NON	1,127 SQ FT	18.27%	
GREEN SPACE	3,705 SQ FT	60.07%	



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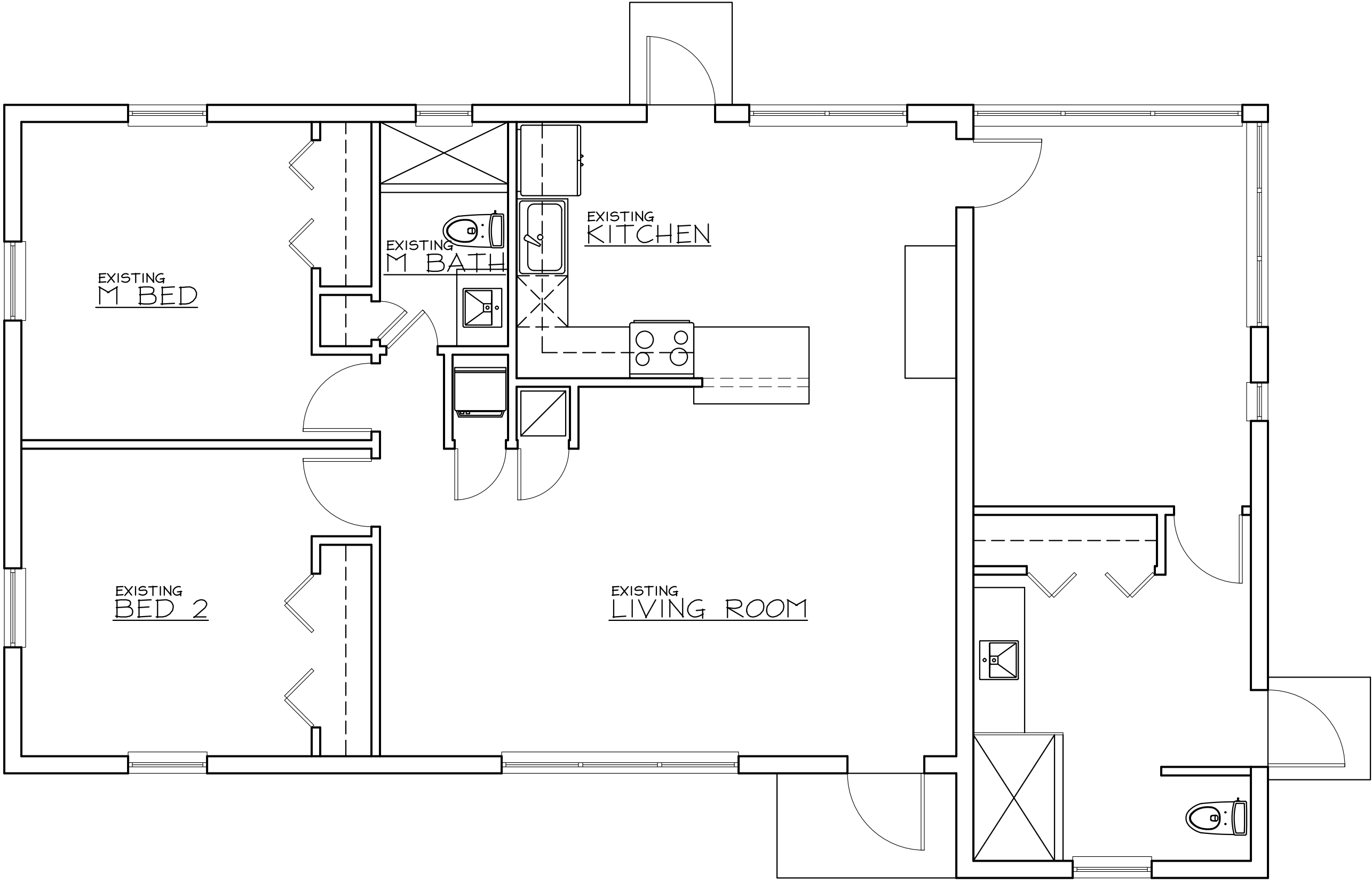
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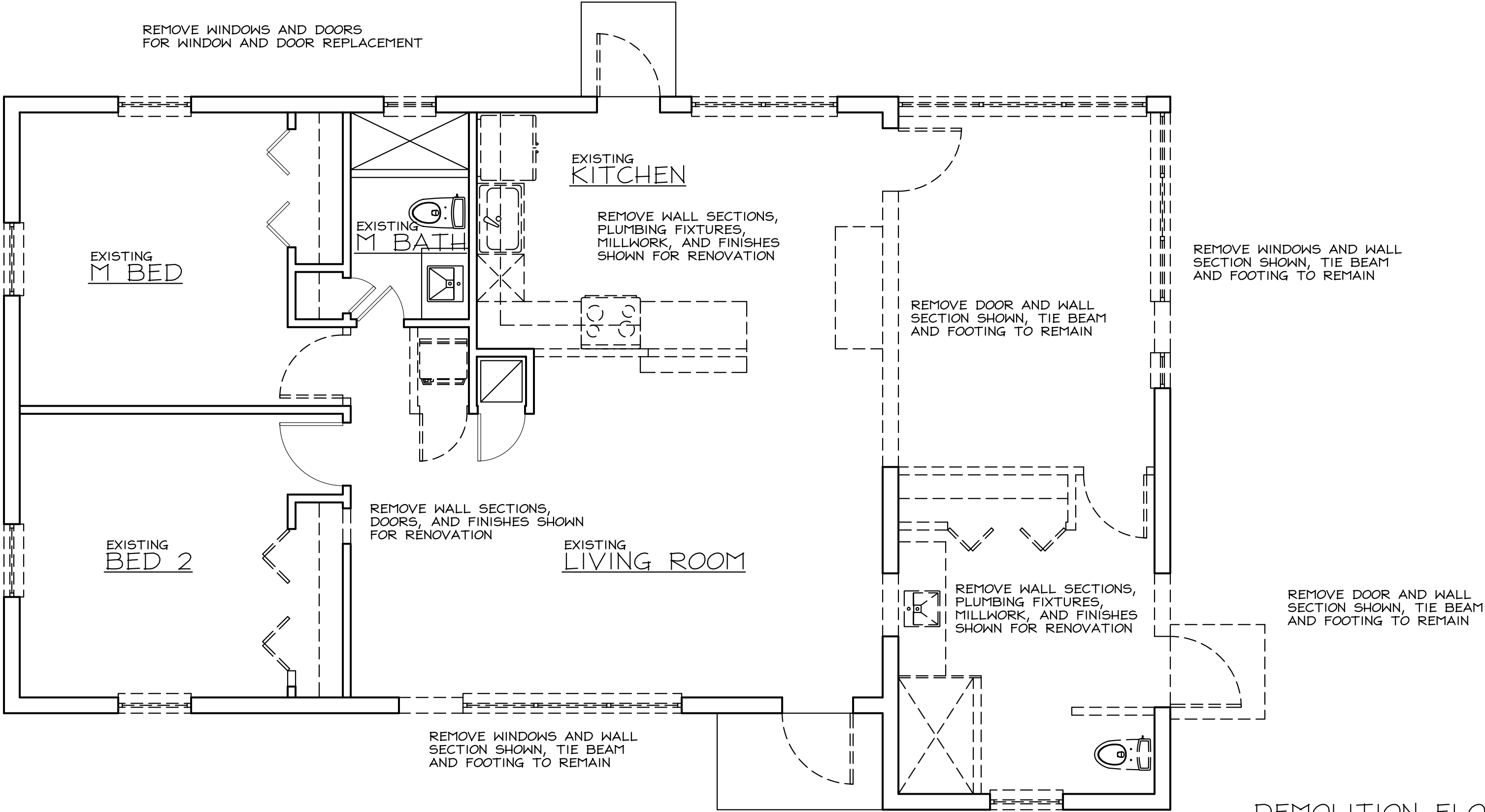
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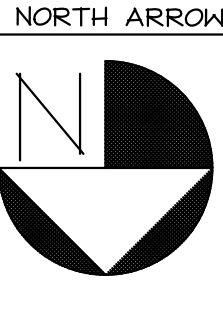
SP-1



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



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ISSUED: 2/3/2025
SHEET

A-1

WEATHER FLASHING FOR CMU
PROVIDE FLASHING PER CODE WEATHER CAULKING ON ALL SIDES OF BUCKS BEFORE WINDOW INSTALL
PAINT CMU SILLS, JAMBS AND 8" AROUND OPENINGS WITH LATEX WATER WATERPROOFING
PROVIDE CAULKING ON WINDOWS AND DOORS PER NOA
PROVIDE CAULKING ON WINDOWS AND DOORS @ PERIMETER AFTER STUCCO APPLIED
PER FBC R612.1 AND R703.8.8

WINDOW SCHEDULE

ZONE	MARK	SIZE	WINDOW NOA	MO	REQUIRED WINDLOADS	MULLION NOA	COMMENTS	FRAME	GLASS
ZONE 5	W1	25SH	23-0707.10	37" X 63"	+36.3 -47.5		EGRESS	WHITE ALUM	CLEAR
ZONE 4	W2	25SH	23-0707.10	37" X 63"	+36.3 -39.5			WHITE ALUM	CLEAR
ZONE 4	W3	DBL 24SH	23-0707.10	(2) 37" X 50-5/8"	+36.3 -39.5	23-0913.05		WHITE ALUM	CLEAR
ZONE 5	W4	24SH	23-0707.10	37" X 50-5/8"	+36.3 -47.5			WHITE ALUM	CLEAR
ZONE 5	W5	TRP 24SH	23-0707.10	(3) 37" X 50-5/8"	+36.3 -47.5	23-0913.05		WHITE ALUM	CLEAR
ZONE 4	W6	DBL 24SH	23-0707.10	(2) 37" X 50-5/8"	+36.3 -39.5	23-0913.05		WHITE ALUM	CLEAR
ZONE 4	W7	H33SH	23-0707.10	26-1/2" X 33-3/8"	+38.0 -41.3			WHITE ALUM	CLEAR
ZONE 5	W8	25SH	23-0707.10	37" X 63"	+36.3 -47.5		EGRESS	WHITE ALUM	CLEAR
ZONE 5	W9	25SH	23-0707.10	37" X 63"	+36.3 -47.5		EGRESS	WHITE ALUM	CLEAR
ZONE 5	W10	25SH	23-0707.10	37" X 63"	+36.3 -47.5		EGRESS	WHITE ALUM	CLEAR

NOTE: CONTRACTOR TO VERIFY WITH WINDOW NOA BUCK SIZE TO BE IN FULL CONTACT, JAMB AND HEAD.
PER FBC 2023 ENERGY CONSERVATION CODE WINDOW MUST MATCH ENERGY CALCULATIONS AND MIN U-VALUE .40 AND SHGC .25
ALL GLAZING TO BE IMPACT RATED AS PER THE FBC 2023 - NO STORM PANELS REQUIRED

WEATHER FLASHING FOR CMU
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PROVIDE CAULKING ON WINDOWS AND DOORS @ PERIMETER AFTER STUCCO APPLIED
PER FBC R612.1 AND R703.8.8

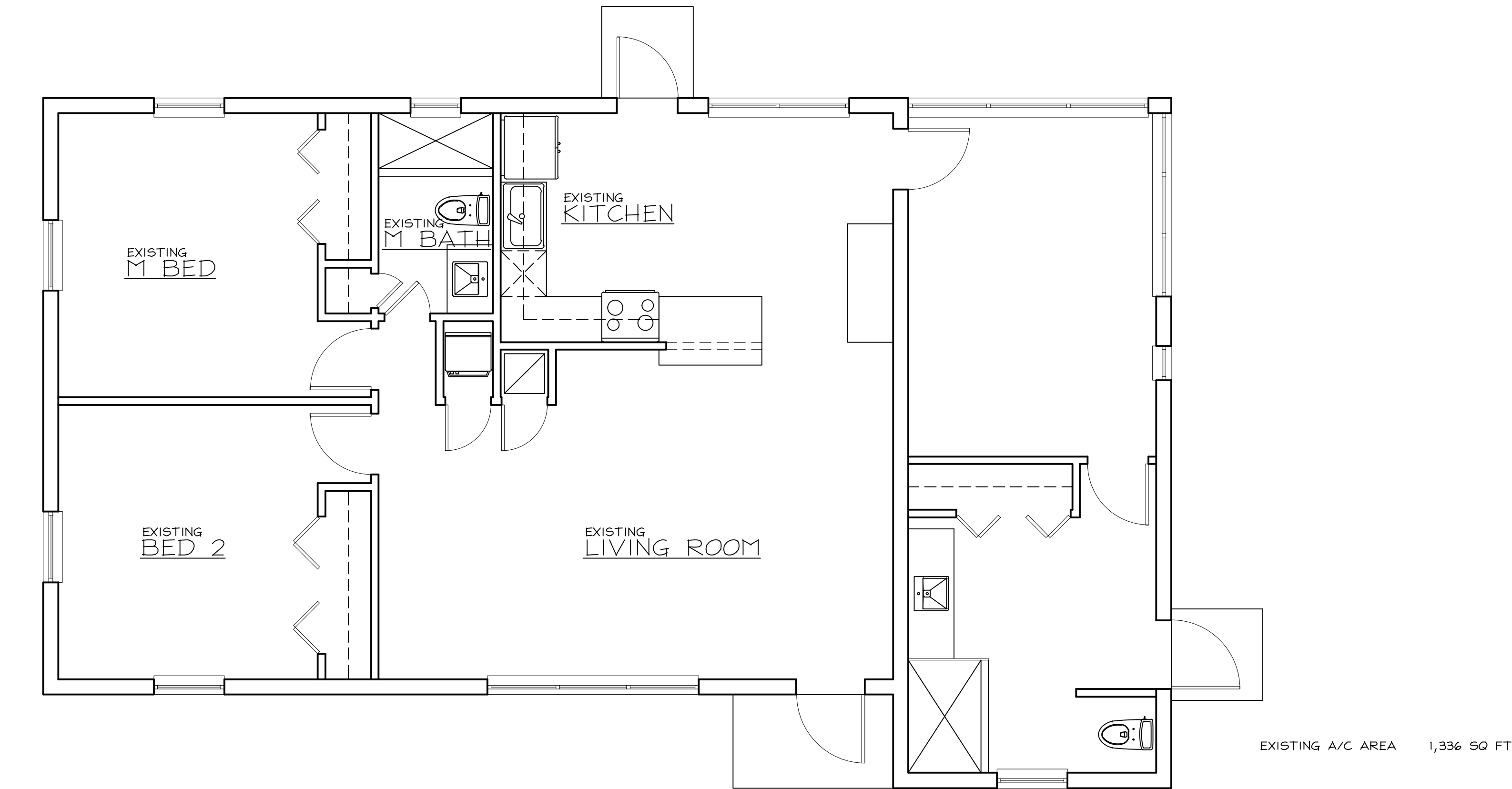
EXTERIOR DOOR SCHEDULE

ZONE	MARK	SIZE	MO	NOA	REQUIRED WINDLOADS	COMMENTS
ZONE 4	D1	3068 FD	36" X 80"	23-0724.04	+36.3 -39.5	
ZONE 4	D2	2868 FD	32" X 80"	23-0724.04	+36.3 -39.5	
ZONE 5	D3	9068 SGD	108" X 80"	23-0710.07	+36.3 -47.5	
ZONE 4	D4	2868 FD	32" X 80"	23-0724.04	+36.3 -39.5	

NOTE: CONTRACTOR TO VERIFY WITH WINDOW NOA BUCK SIZE TO BE IN FULL CONTACT, JAMB AND HEAD.
PER FBC 2023 ENERGY CONSERVATION CODE WINDOW MUST MATCH ENERGY CALCULATIONS AND MIN U-VALUE .40 AND SHGC .25
ALL GLAZING TO BE IMPACT RATED AS PER THE FBC 2023 - NO STORM PANELS REQUIRED

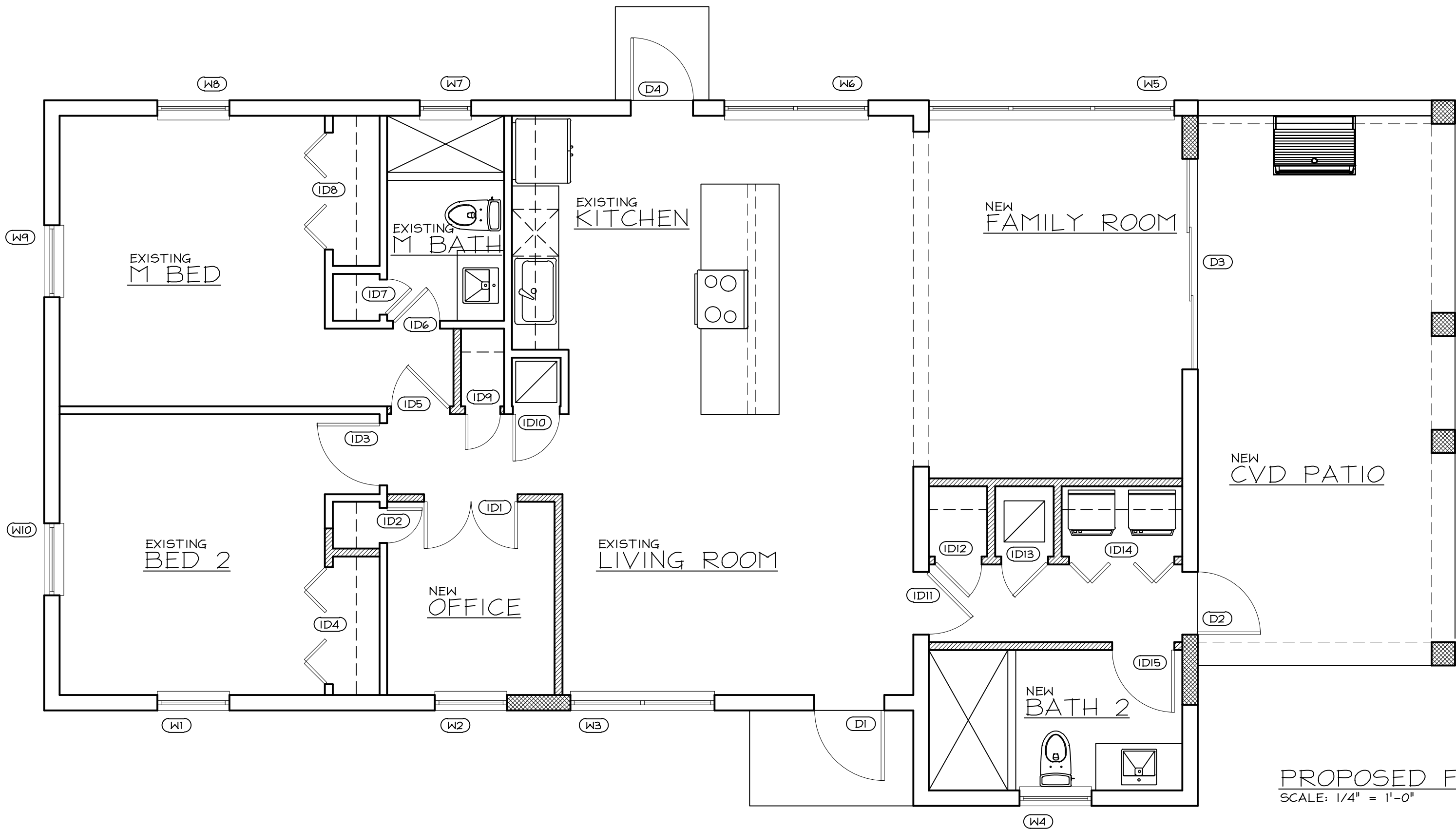
INTERIOR DOOR SCHEDULE

MARK	SIZE	OPENING	COMMENTS
ID1	4068 TWIN DR	48" X 80"	
ID2	1668 PNL DR	18" X 80"	
ID3	2868 PNL DR	32" X 80"	
ID4	5068 BIFOLD	60" X 80"	
ID5	2668 PNL DR	30" X 80"	
ID6	2068 PNL DR	24" X 80"	
ID7	1668 PNL DR	18" X 80"	
ID8	5068 BIFOLD	60" X 80"	
ID9	1668 PNL DR	18" X 80"	
ID10	2068 PNL DR	24" X 80"	
ID11	2868 PNL DR	32" X 80"	
ID12	2068 PNL DR	24" X 80"	
ID13	2068 PNL DR	24" X 80"	
ID14	4668 TWIN DR	54" X 80"	
ID15	2868 PNL DR	32" X 80"	

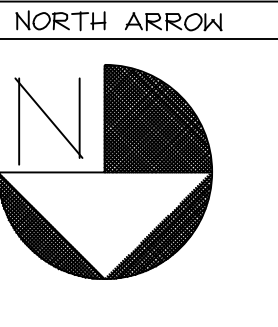


EXISTING A/C AREA 1,336 SQ FT

EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



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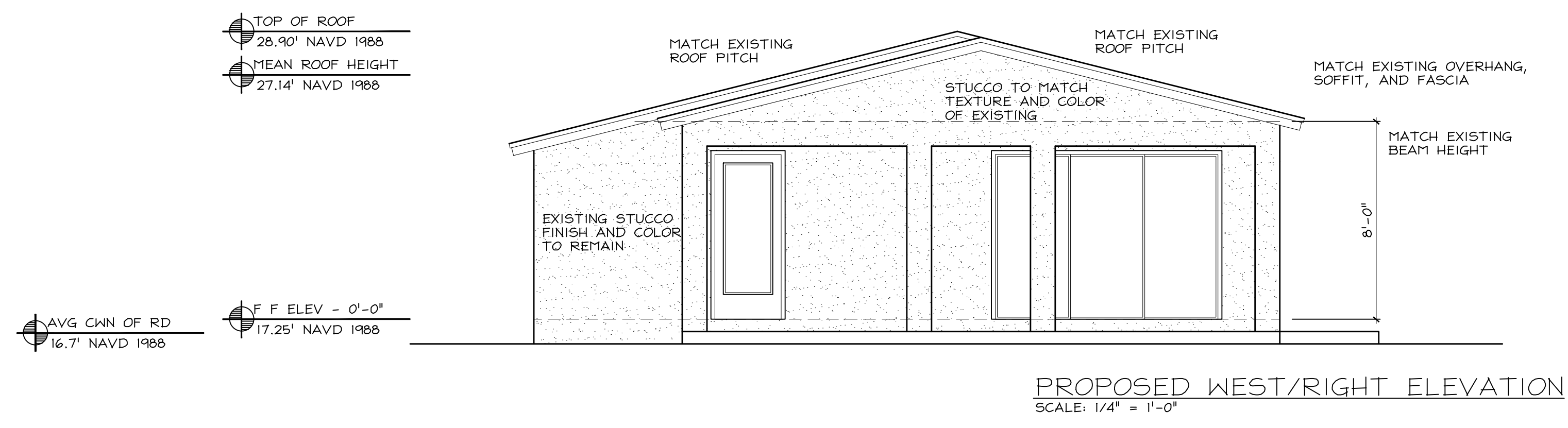
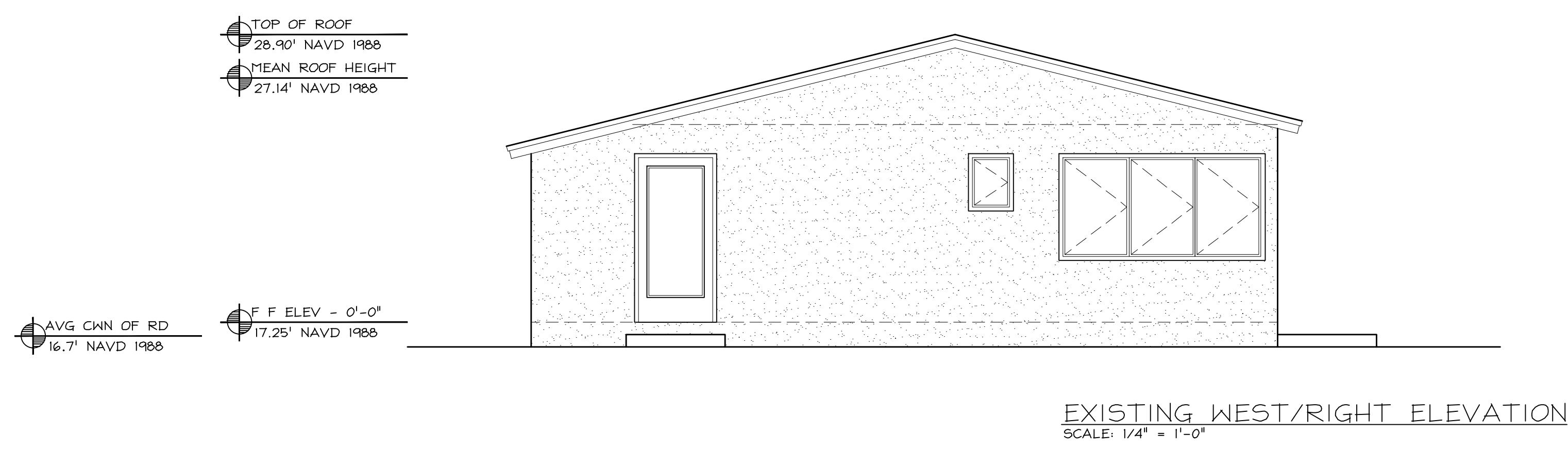
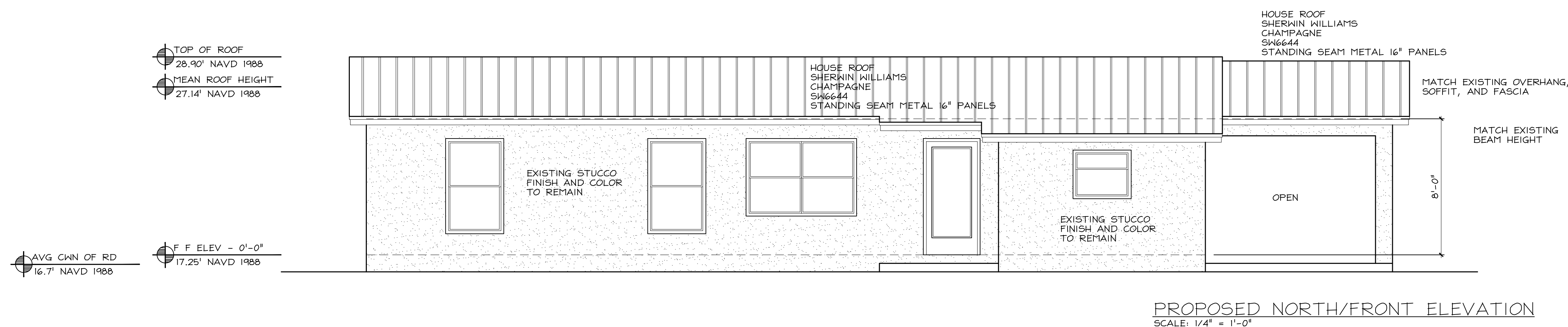
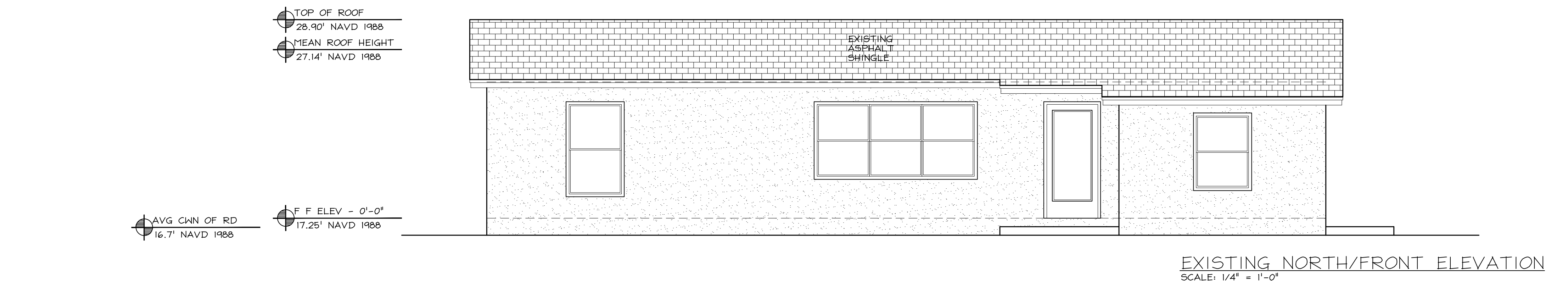
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PRELIM 3:
PRELIM FINAL:
CONST DOCS:
BLDG DEPT:
BLDG DEPT:
BLDG DEPT:
AS-BUILTS:
ISSUED: 3/14/2025
SHEET

A-2



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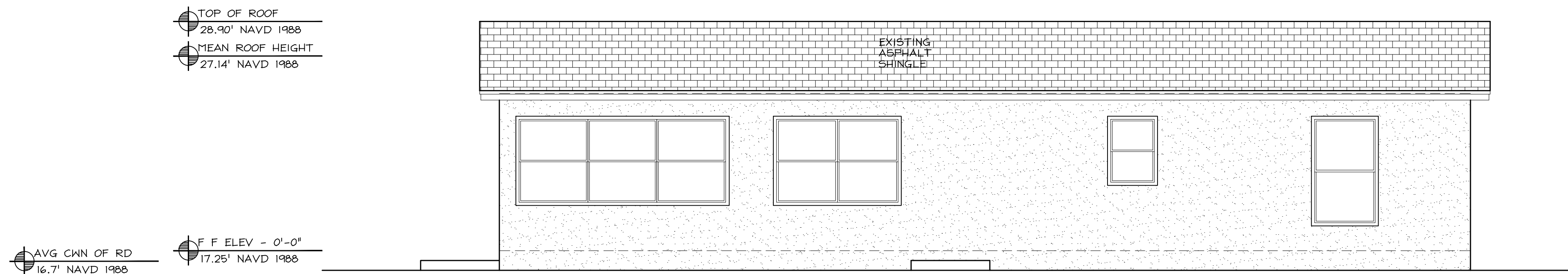
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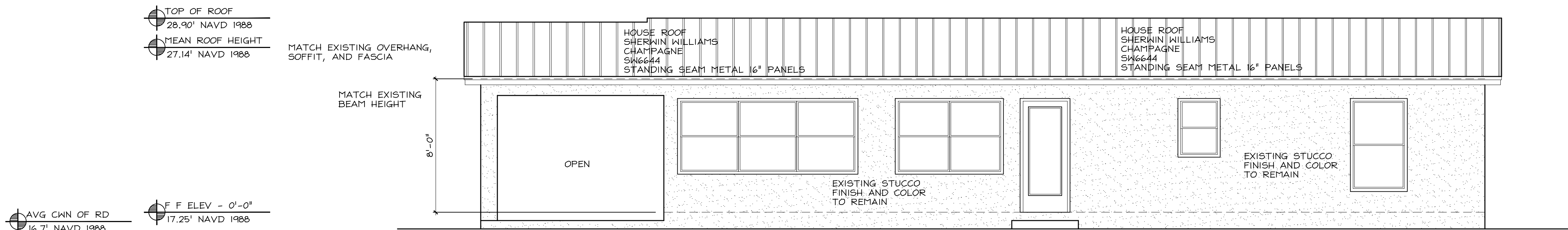
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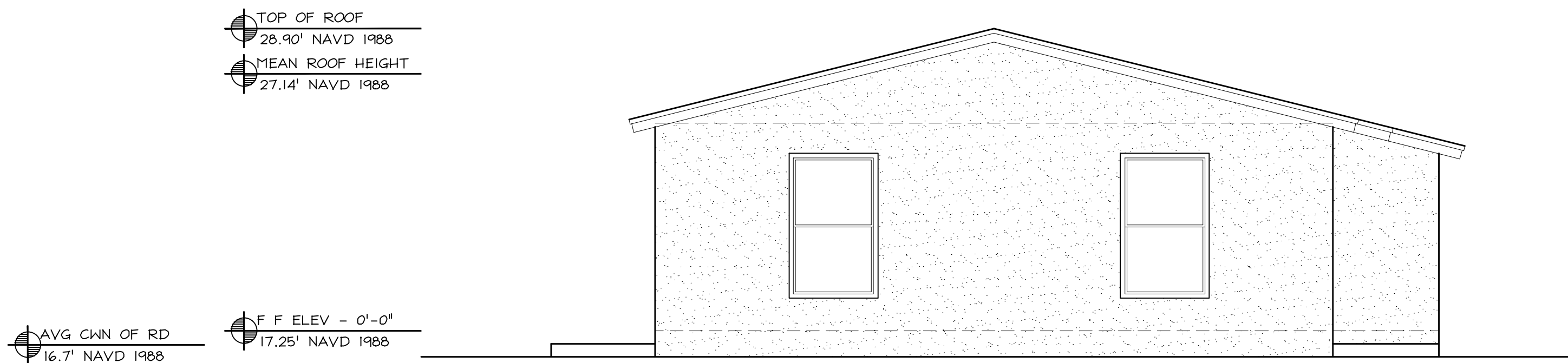
A-4



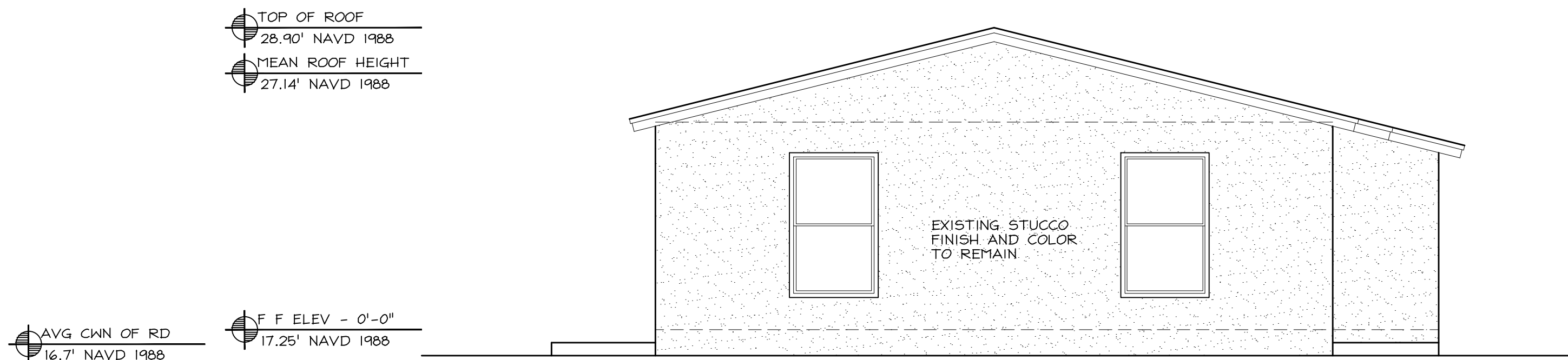
EXISTING SOUTH/REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH/REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EAST/LEFT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST/LEFT ELEVATION
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A-5



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BLDG DEPT:
BLDG DEPT:

AS-BUILTS:
ISSUED: 2/3/2025
SHEET

A-7

BOUNDARY & TOPOGRAPHIC SURVEY

SYMBOLS & LEGEND OF ABBREVIATIONS:

R/W	=	RIGHT OF WAY	X7.00'	=	ELEVATIONS BASED ON N.A.V.D.
N	=	NORTH	[44]	=	APPARENT ENCROACHMENT
S	=	SOUTH	P.B.C.R.	=	PALM BEACH COUNTY RECORDS
E	=	EAST	M.D.C.R.	=	MIAMI-DADE COUNTY RECORDS
W	=	WEST	P.O.C.	=	POINT OF COMMENCEMENT
D.B.	=	DEED BOOK	F.O.B.	=	POINT OF BEGINNING
ENCH.	=	ENCROACH	CHATT.	=	CHATTahoochee
F.F.	=	FINISHED FLOOR	F.P.L.	=	FLORIDA POWER & LIGHT
GAR.	=	GARAGE	B.C.R.	=	BROWARD COUNTY RECORDS
C/L	=	CENTERLINE	O.R.B.	=	OFFICIAL RECORDS BOOK
MH	=	MANHOLE	F.D.O.T.	=	FLORIDA DEPARTMENT OF TRANSPORTATION
(M)	=	MEASURED	D.E.P.	=	DEPARTMENT OF ENVIRONMENTAL PROTECTION
P.B.	=	PLAT BOOK	D.N.R.	=	DEPARTMENT OF NATURAL RESOURCES
A/C	=	AIR CONDITIONER	P.R.M.	=	PERMANENT REFERENCE MONUMENT
P	=	PLAT	N.A.V.D.	=	NORTH AMERICAN VERTICAL DATUM

⊞	VALVE	⊞	UTILITY BOX	—	PARKING STRIPE
⊞	MANHOLE	⊞	HYDRANT	—	OVERHEAD UTILITY LINES
⊞	BASIN	⊞	UTILITY POLE	—	6" CONCRETE WALL
⊞	WELL	⊞	VAULT	—	COVERED AREA
⊞	WATER METER	⊞	LIGHT	—	CONCRETE
⊞	MONITORING WELL	⊞	BOLLARD	—	BRICK PAVERS
⊞	PROPERTY CORNER	⊞	AIR CONDITIONER	—	TILE
— x —	CHAIN LINK FENCE	—		—	ASPHALT
— // —	WOOD FENCE	—		—	CONCRETE FENCE
— —	METAL FENCE	—		—	WIRE FENCE
— ○ —	PVC FENCE				

STREET ADDRESS:
200 NE 5TH COURT DELRAY BEACH, FL 33444

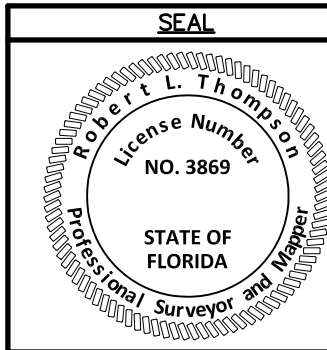
LEGAL DESCRIPTION:
LOT 1, BLOCK 8, DEL-IDA PARK ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 52, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

- NOTES:**
- Unless otherwise noted field measurements are in agreement with record measurements.
 - Angles shown hereon are per Plat book 9, Page 52, Palm Beach county records.
 - The lands shown hereon were not abstracted for ownership, rights of way, easements, or other matters of records by Accurate Land Surveyors, Inc.
 - Ownership of fences and walls if any are not determined.
 - This survey is the property of Accurate Land Surveyors, Inc. and shall not be used or reproduced in whole or in part without written authorization.
 - Any and all underground features such as foundations, utility lines, Ext. were not located on this survey. This is an above ground survey only.
 - The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.
 - The location of overhead utility lines are approximate in nature due to their proximity above ground. size, type and quantity must be verified prior to design or construction.
 - Accuracy statement: This survey meets or exceeds the horizontal accuracy for SUBURBAN LINEAR : 1 FOOT IN 7,500 FEET.
 - Printed copies of this survey are not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.
 - PDF copies of this survey are not valid without the digital signature of a Florida licensed Surveyor and Mapper and must be verified.

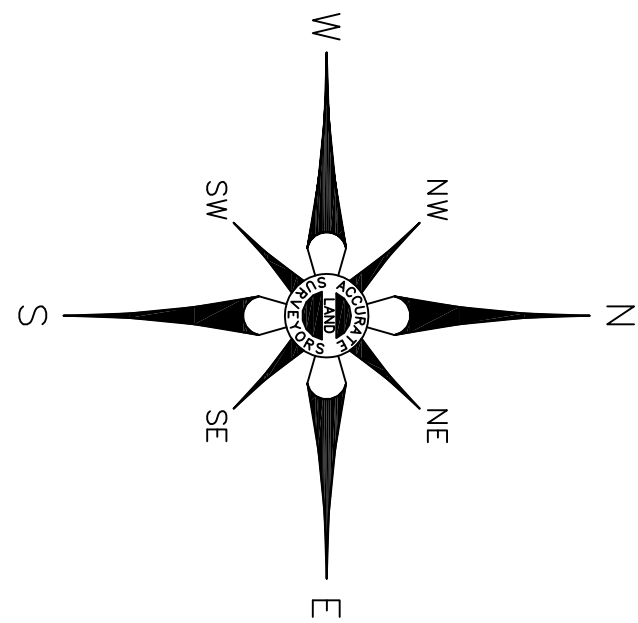
FLOOD INFORMATION:
FLOOD ZONE: X
BASE FLOOD ELEVATION: N/A
CONTROL PANEL NUMBER: 125102/12099C0977-F
EFFECTIVE: 10/5/2017
REVISED:

BENCHMARK INFORMATION:
PALM BEACH COUNTY BENCHMARK "CHEROKEE BLONDE" ELEV: 21.763' NAVD1988

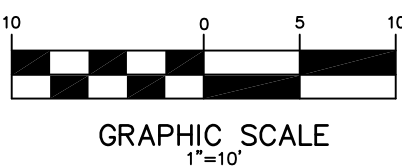
CERTIFY TO:
THOMAS J. CONNOLLY



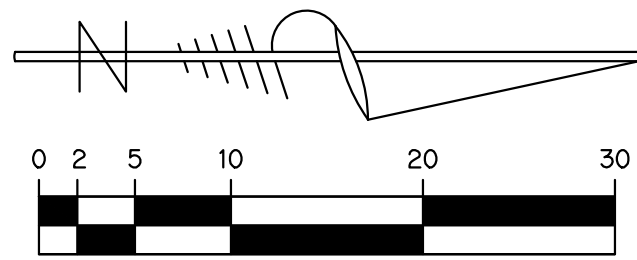
CERTIFICATION:
This is to certify that this above ground sketch of boundary survey was made under my responsible charge and is accurate and correct to the best of my knowledge and belief. I further certify that this sketch meets the current Standards of Practice, established by the Board of Professional Surveyors and Mappers, Chapter 5J-17, Florida Administrative Codes, pursuant to current Section 472.027, Florida Statutes.



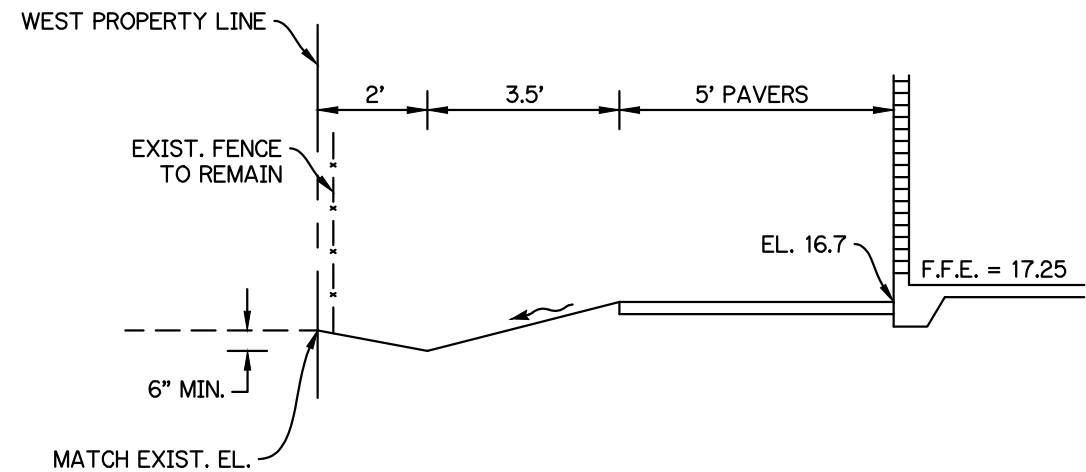
CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	39.08'	25.00'	89°34'22"	24.81'



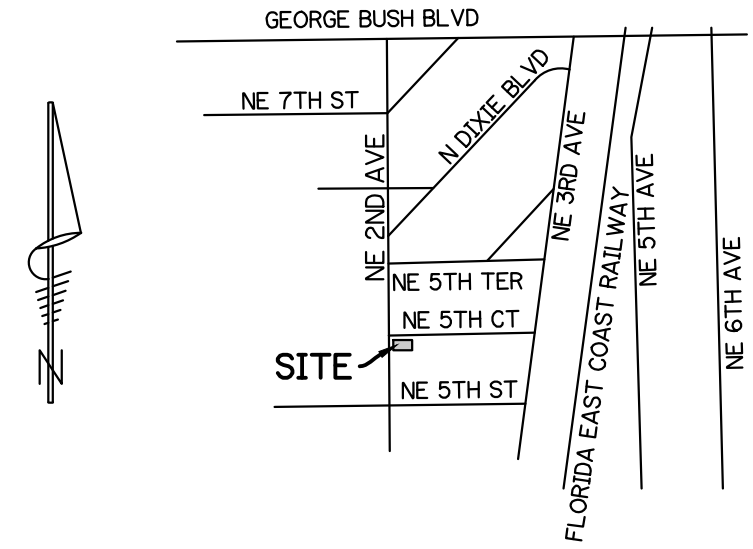
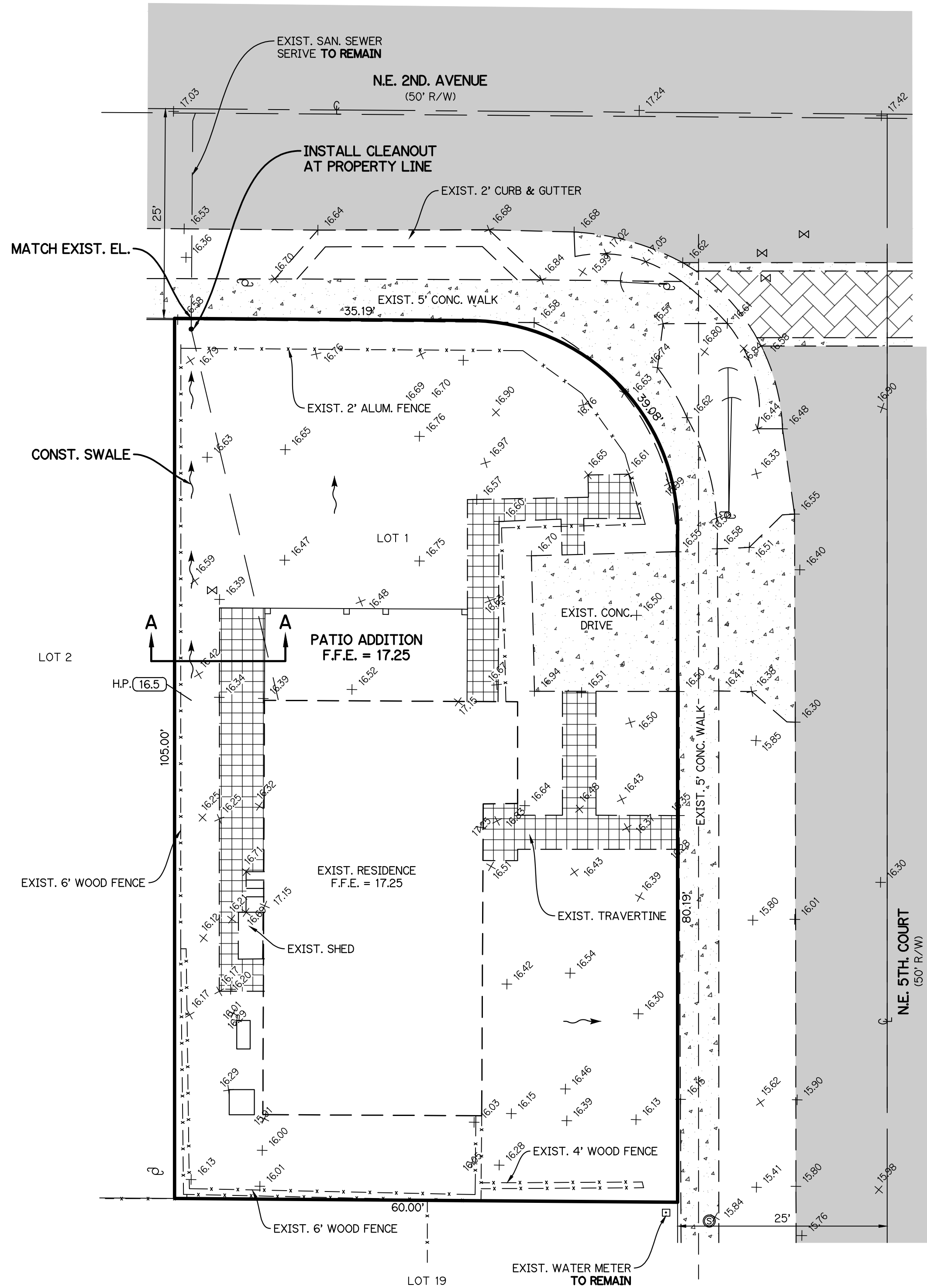
ORIGINAL DATE OF FIELD SURVEY: 02-28-2024	DRAWN BY: O.J.W.	
FIELD BOOK: ALS-SU-24-0261	CHECKED BY: RLT	
REVISIONS & SURVEY UPDATES	DATE OF SURVEY & REVISIONS	BY
RE-SIZE SURVEY TO MATCH SITE PLAN SU-24-1623	01-21-2025	AL/RLT
UPDATE/TOPOGRAPHIC SURVEY SU-24-1350	10-14-2024	AL/RLT



SCALE: 1" = 10'



SECTION "A-A"
NOT TO SCALE



LOCATION MAP
NOT TO SCALE

LEGEND:

DIRECTION OF FLOW	
EXISTING ELEVATION	
FINISH FLOOR ELEVATION	F.F.E.
HIGH POINT	H.P.
PROPOSED CONTOUR LINE	
PROPOSED ELEVATION	
EXISTING POWER POLE	
EXISTING SANITARY MANHOLE	
EXISTING VALVE	

WATER MANAGEMENT CALCULATIONS:

TOTAL LOT AREA = 6,168 SF
EXISTING PERVIOUS AREA = 3,666 SF (59%)
EXISTING IMPERVIOUS AREA = 2,502 SF (41%)
PROPOSED PERVIOUS AREA = 3,691 SF (60%)
PROPOSED IMPERVIOUS AREA = 2,477 SF (40%)

NOTES:

- BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY ACCURATE LAND SURVEYORS, INC., PROJECT NUMBER SU-24-0261, DATED 02-28-2024.
- ALL ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM.
- IN THE EVENT OF ANY PAVEMENT DAMAGE TO THE ROADWAY OR ALLEY, OR UTILITY TRENCHING, THE PAVEMENT MUST BE RESTORED PER CITY STANDARD DETAIL GU 1.0 REQUIRING MILLING AND RESURFACING FOR 50' EACH WAY PAST THE DAMAGED/TRENCHED AREA.
- PROPOSED IMPROVEMENTS RESULT IN LESS THAN 25% INCREASE IN IMPERVIOUS AREA. NO ADDITIONAL WATER MANAGEMENT RETENTION REQUIRED.

RONALD W. LAST, STATE OF FLORIDA, PROFESSIONAL ENGINEER,
LICENSE NO. 38707

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RONALD
W. LAST ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

SITE ENGINEERING PLAN
FOR
200 NE 5th Court
DELRAY BEACH, FL

REVISIONS	DATE	BY	CK

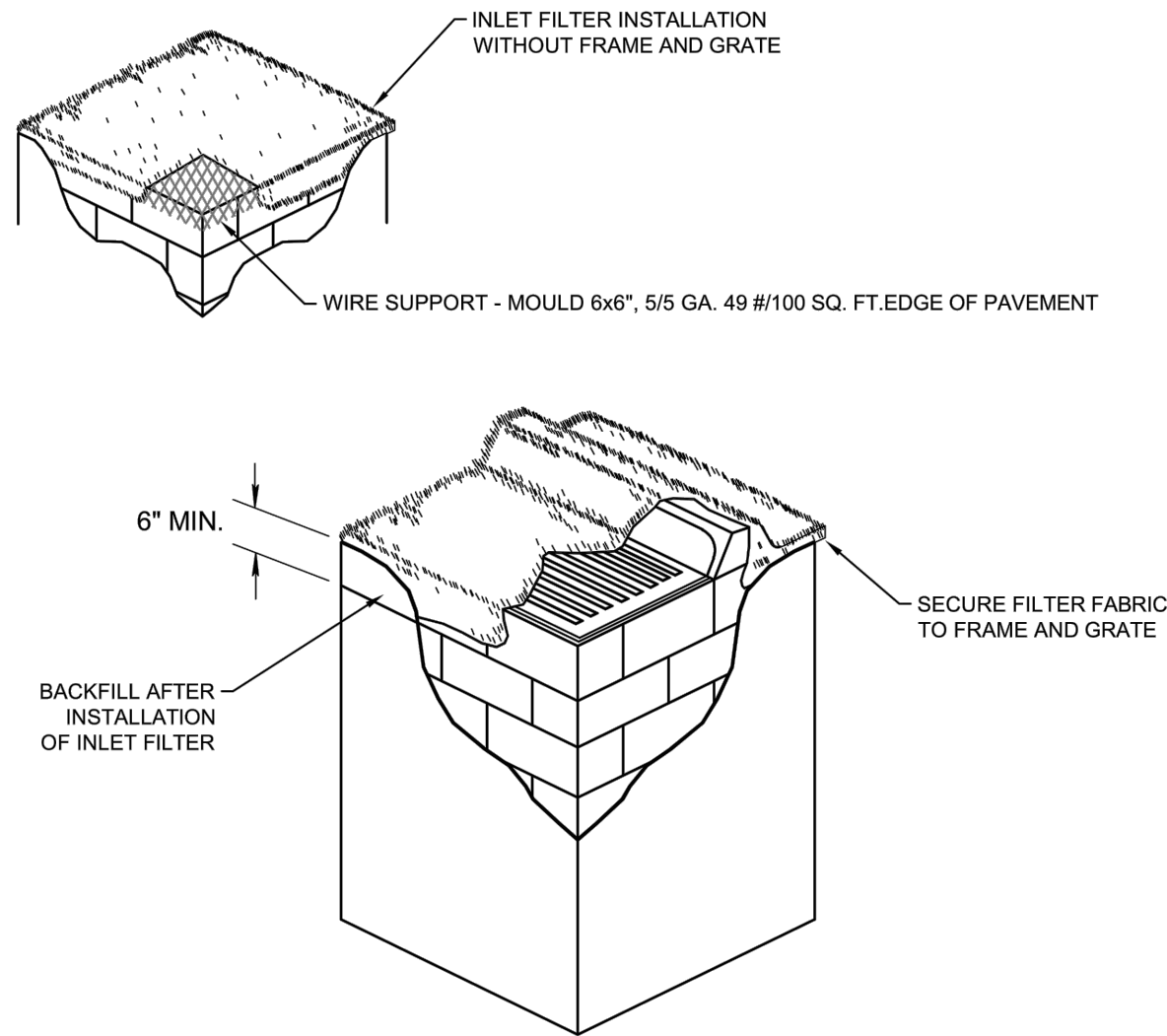
EB 9889
LPI
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

SCALE: 1"=10'
DATE: DEC 2024
DESIGNED BY: SAS
CHECKED BY:RWL
DRAWING FILE:
24-172 SI

12/17/2024
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

24-172 SI

SHEET 1 OF 4



NOTES:

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL

N.T.S.

DATE: 10-04-2024

D 10.0

1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.

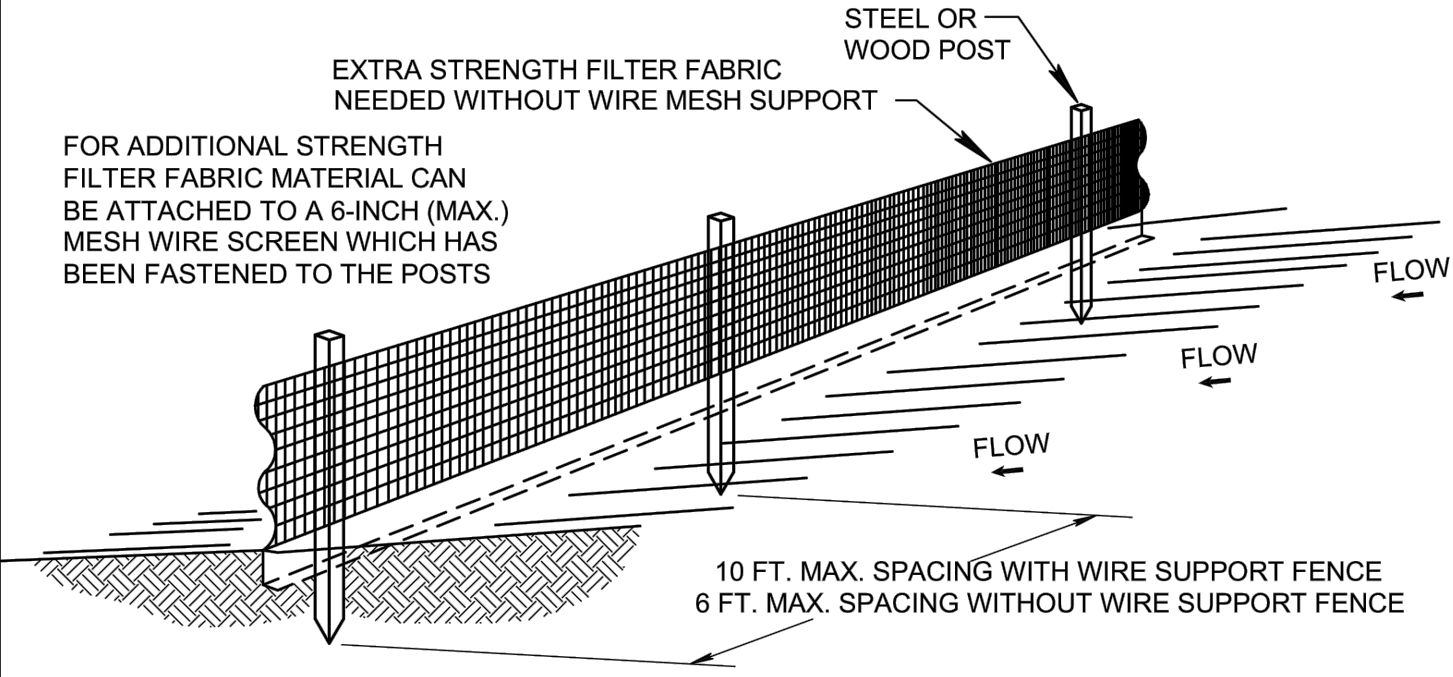
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

EROSION CONTROL NOTES

N.T.S.

DATE: 10-04-2024

D 11.0



NOTES:

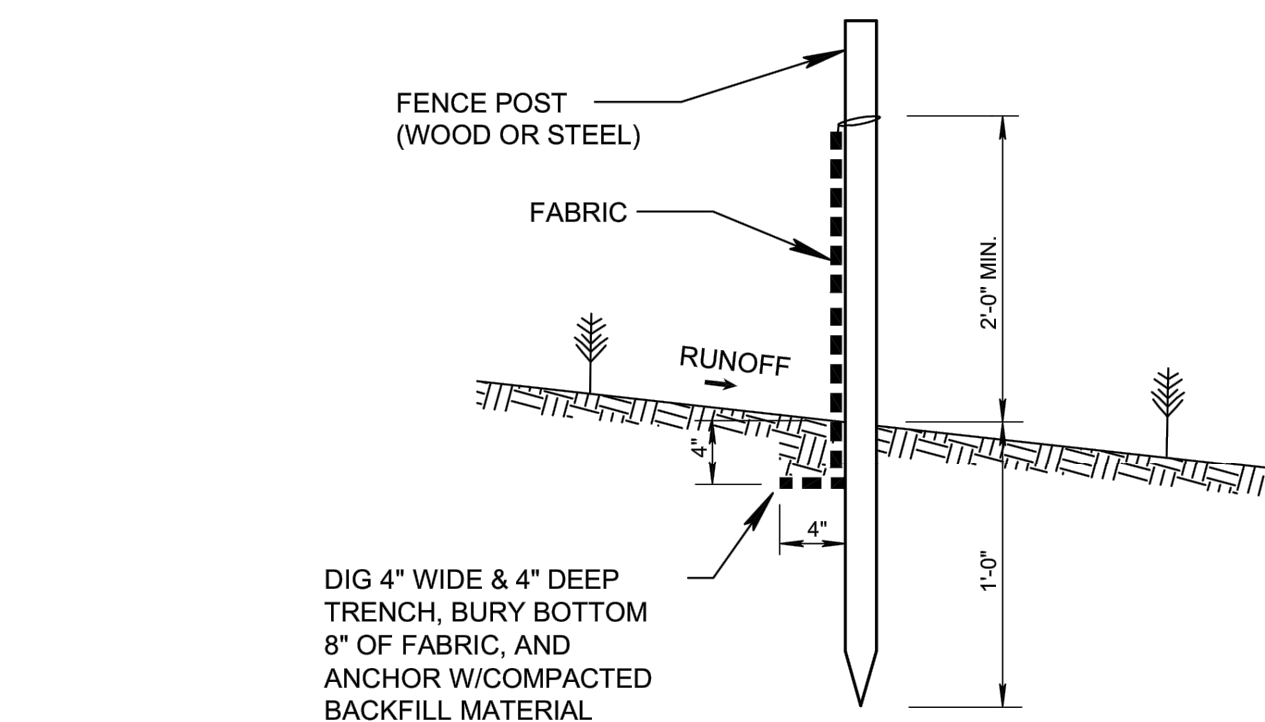
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES.
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION
DETAIL 1 OF 2

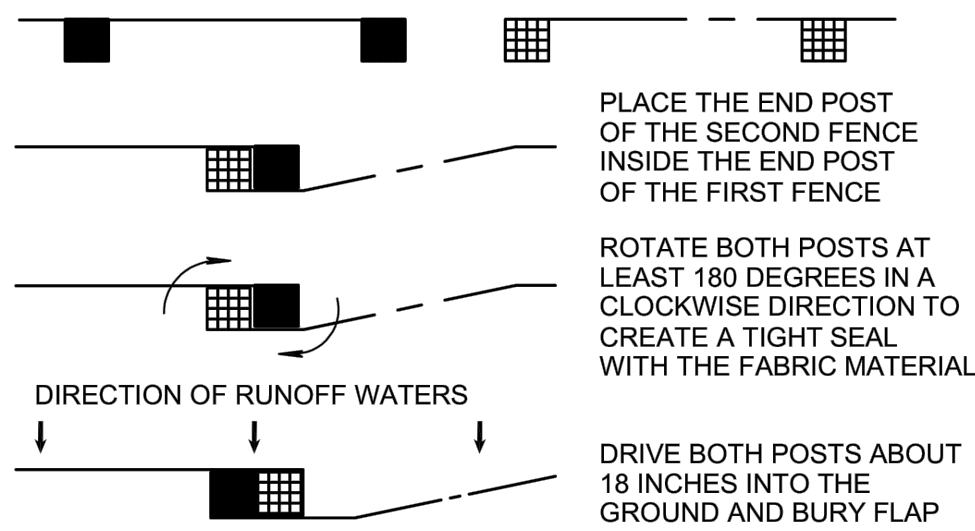
N.T.S.

DATE: 10-04-2024

D 12.0



SILT FENCE SECTION
NOT TO SCALE



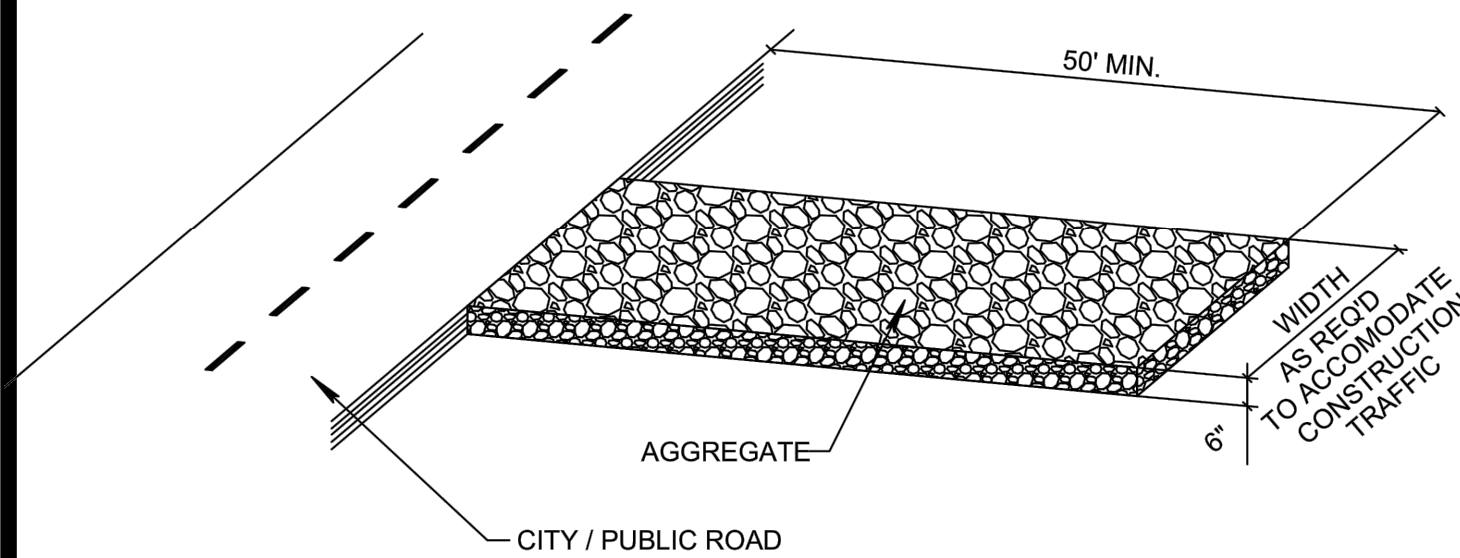
ATTACHING TWO SILT FENCES
NOT TO SCALE

SILT FENCE INSTALLATION
DETAIL 2 OF 2

N.T.S.

DATE: 10-04-2024

D 12.1



NOTE:

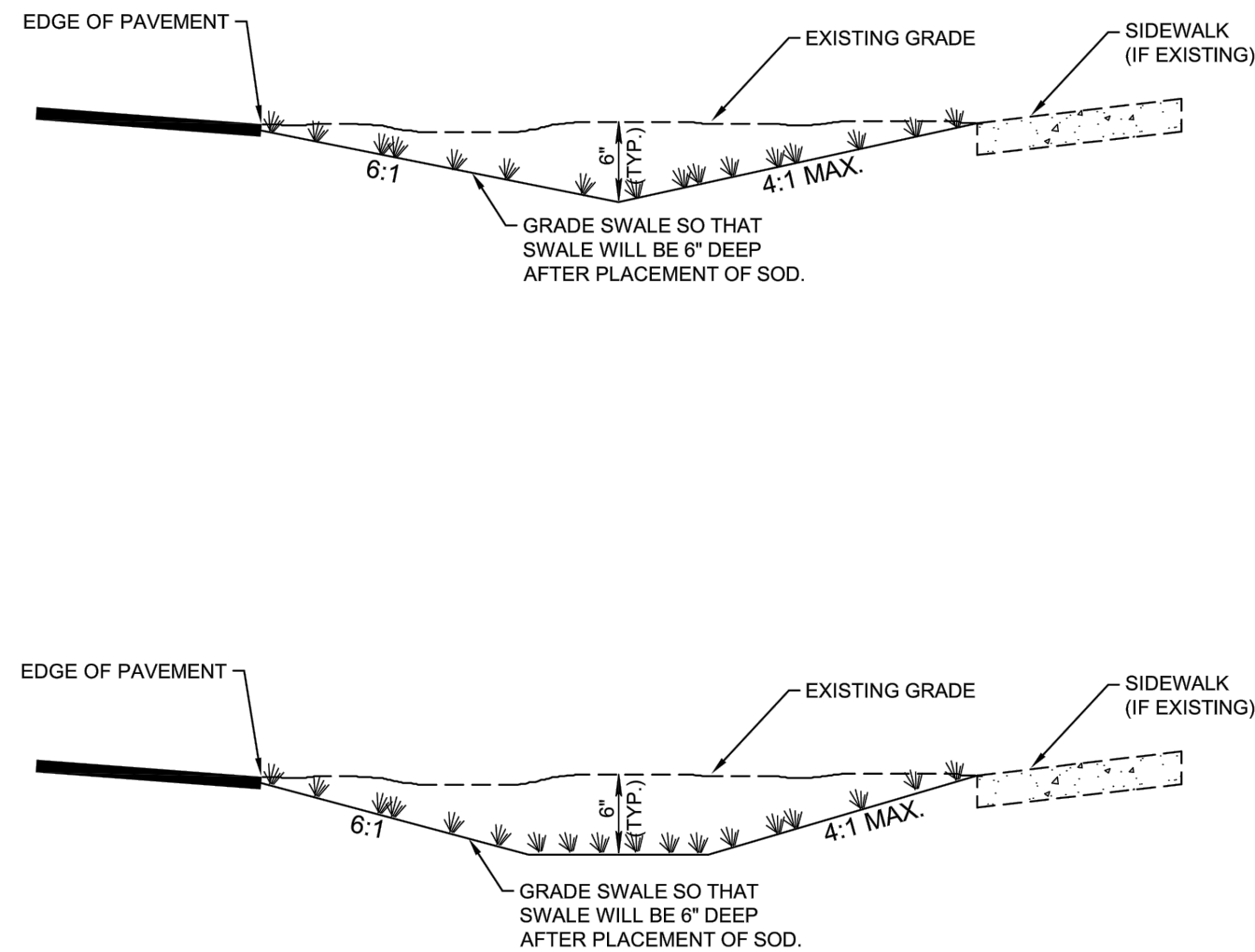
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION
ENTRANCE DETAIL

N.T.S.

DATE: 10-04-2024

D 13.0



NOTE:

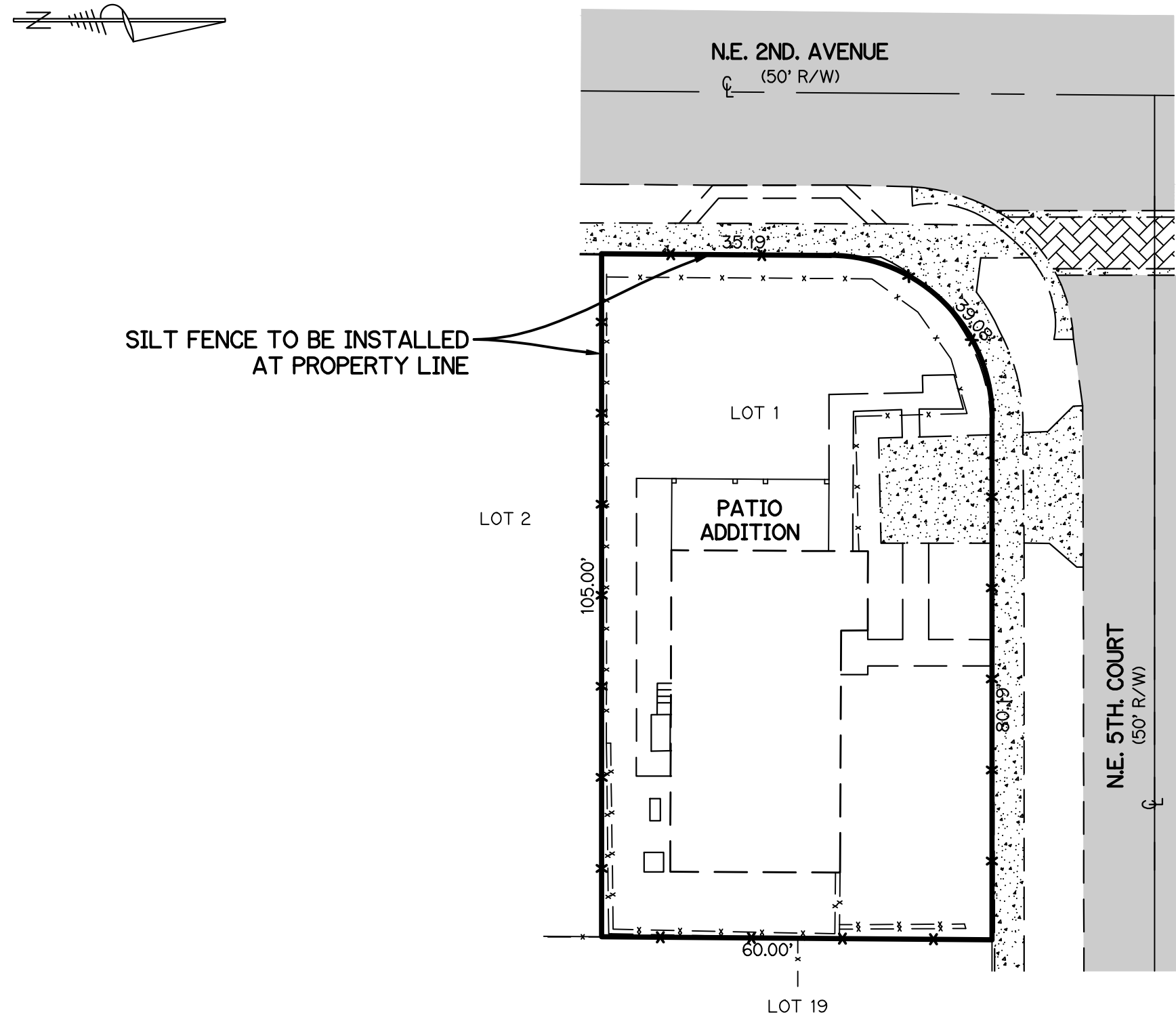
1. CONTRACTOR TO REPLACE ALL IRRIGATION, TREES & SHRUBBERY IN SWALES DAMAGED DURING CONSTRUCTION.

SWALE REPLACEMENT DETAIL

N.T.S.

DATE: 10-04-2024

D 14.0



NOTES:

1. CONTRACTOR TO MAINTAIN ALL POLLUTION PREVENTION MEASURES AT ALL TIMES UNTIL LANDSCAPING IS COMPLETE.

SITE PLAN

SCALE: 1"=20'

RONALD W. LAST, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 38707

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RONALD W. LAST ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

POLLUTION PLAN AND DETAILS
FOR
200 NE 5TH COURT
DELRAY BEACH, FL

REVISIONS	DATE	BY	CHK

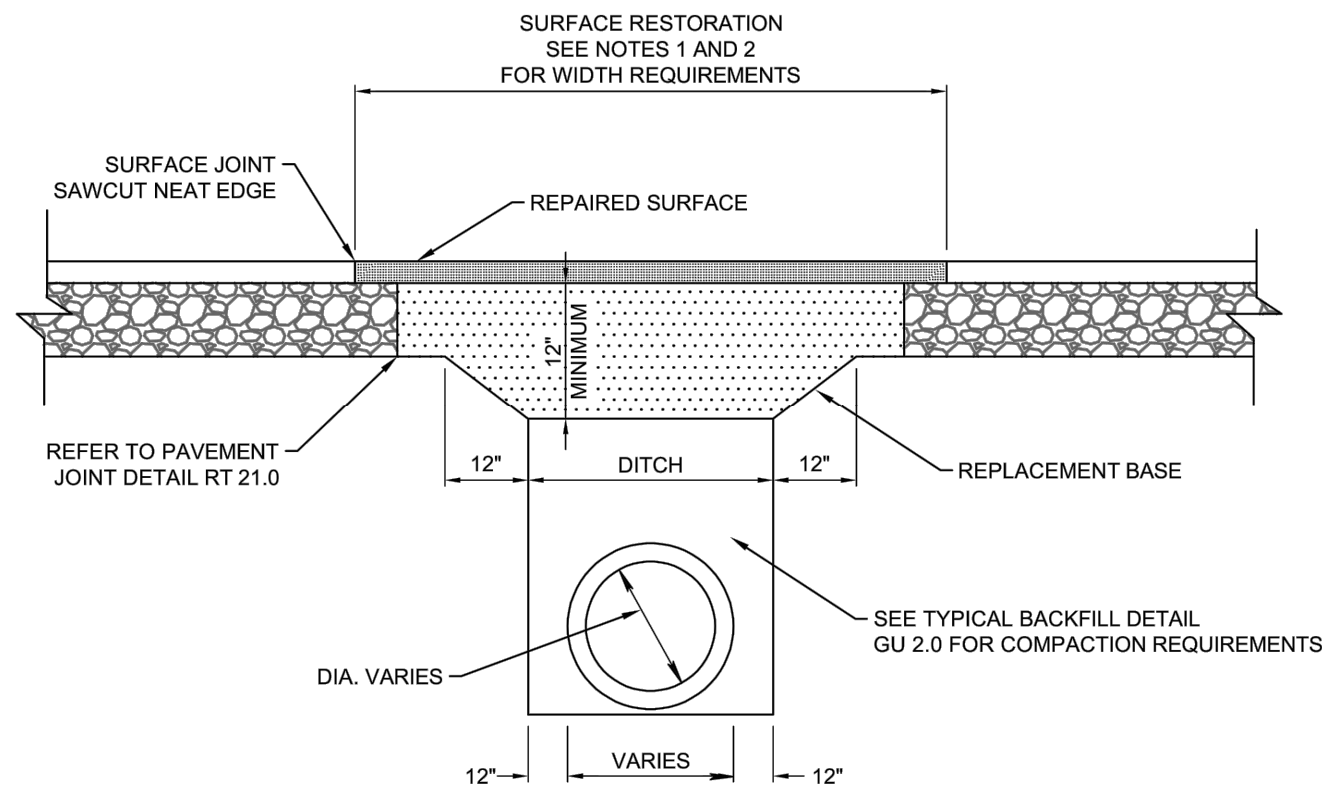
EB 9889
LDi
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

SCALE: N/A
DATE: DEC 2024
DESIGNED BY: SAS
CHECKED BY:RWL
DRAWING FILE:
24-172 DET

12/17/2024
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

24-172 SI

SHEET 2 OF 4



SECTION - WHERE APPLICABLE

NOTES:

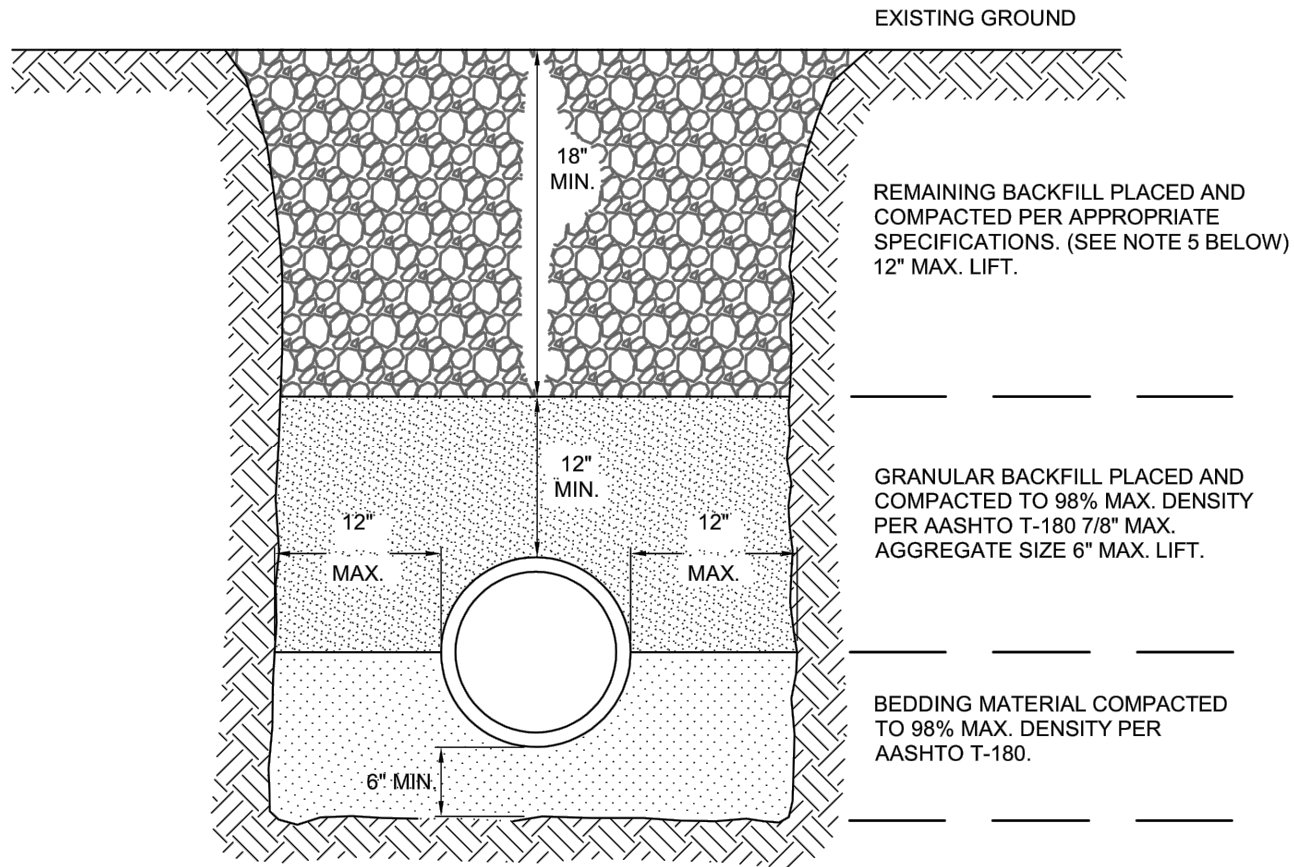
- FOR COMMERCIAL PROJECTS THAT DAMAGE THE ROADWAY SURFACE THE ROADWAY SHALL BE MILLED AND RESURFACED 50' IN EACH DIRECTION FROM THE DAMAGED AREA. MILLING AND RESURFACING SHALL BE FOR THE FULL LANE WIDTH OF ANY DAMAGED LANE.
- FOR RESIDENTIAL PROJECTS THAT DAMAGE THE ROADWAY SURFACE THE ROADWAY SHALL BE MILLED AND RESURFACED FOR THE WIDTH OF THE RESIDENTIAL PROPERTY (MIN. 50' REPAIR LENGTH). MILLING AND RESURFACING SHALL BE FOR THE FULL LANE WIDTH OF ANY DAMAGED LANE.
- MILLING DEPTH SHALL BE 1" AND RESURFACING SHALL BE 1" TYPE S-III ASPHALTIC CONCRETE.
- BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180. MAX LIFT THICKNESS SHALL BE 6".
- 24" EXCAVATEABLE FLOWABLE FILL MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
- ASPHALTIC CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
- ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
- SURFACE MATERIAL SHALL BE S-III ASPHALTIC CONCRETE (FOR TRENCH REPAIR, THICKNESS SHOULD BE TWICE THE THICKNESS OF THE ADJACENT EXISTING ASPHALT).
- ANY PAVEMENT CUTS SHALL BE COLD PATCHED AT THE END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.

PAVEMENT REPAIR DETAIL

N.T.S.

DATE: 10-04-2024

GU 1.0



NOTES:

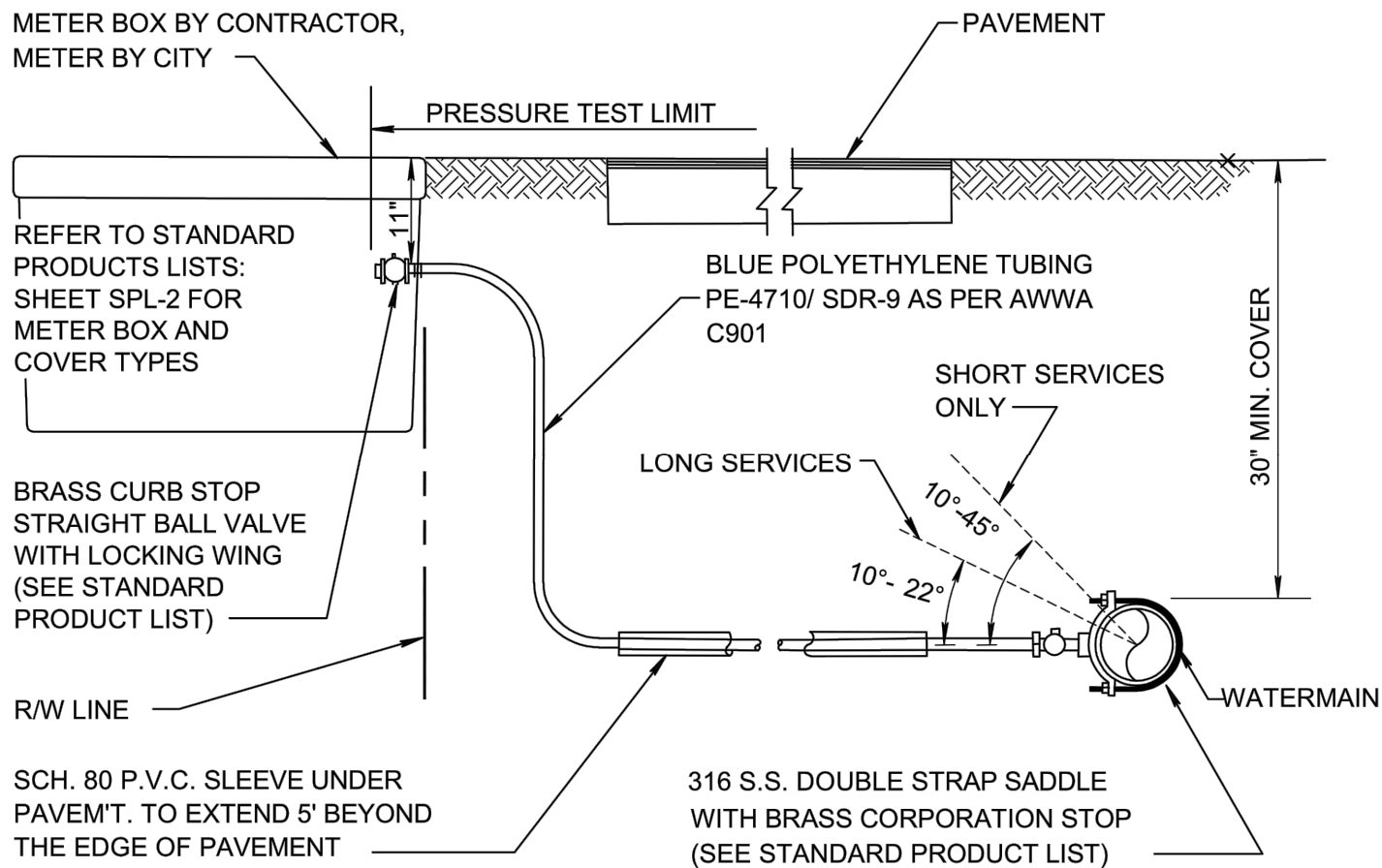
- UNSATURABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED OFF SITE AND DISPOSED IN A PROPER LANDFILL; BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMEROCK 3/8"-7/8" SIZING.
- THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
- THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
- BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
- COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE PER (AASHTO T-180).
- COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS. CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

TYPICAL BACKFILL DETAIL

N.T.S.

DATE: 10-04-2024

GU 2.0



NOTES:

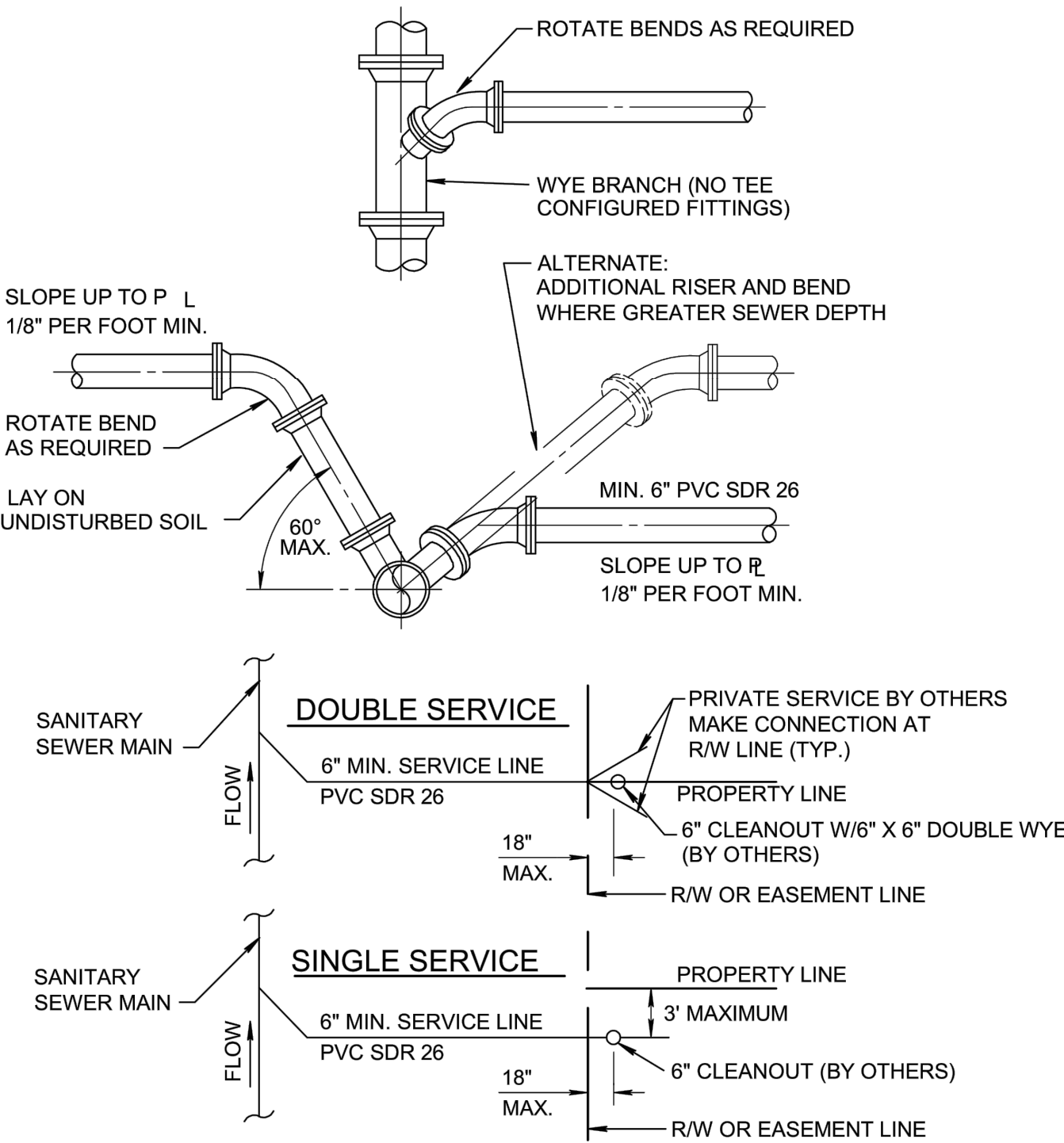
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
- SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
- ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1" MIN.).
- NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
- MAXIMUM SERVICE LENGTH IS 100' TO METER.
- CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
- MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
- METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
- ALL VALVES TO BE BALL VALVES.
- METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
- ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
- ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/ DEVELOPER; IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/ DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE METER.
- ALL WATER SERVICE SHALL BE A MINIMUM OF 2".
- WATER METERS SHALL BE LOCATED OUTSIDE ANY DRIVEWAYS BY 2'

TYPICAL URBAN/REDEVELOPMENT AREA
SERVICE CONNECTION

N.T.S.

DATE: 10-04-2024

PW 12.0



NOTE:

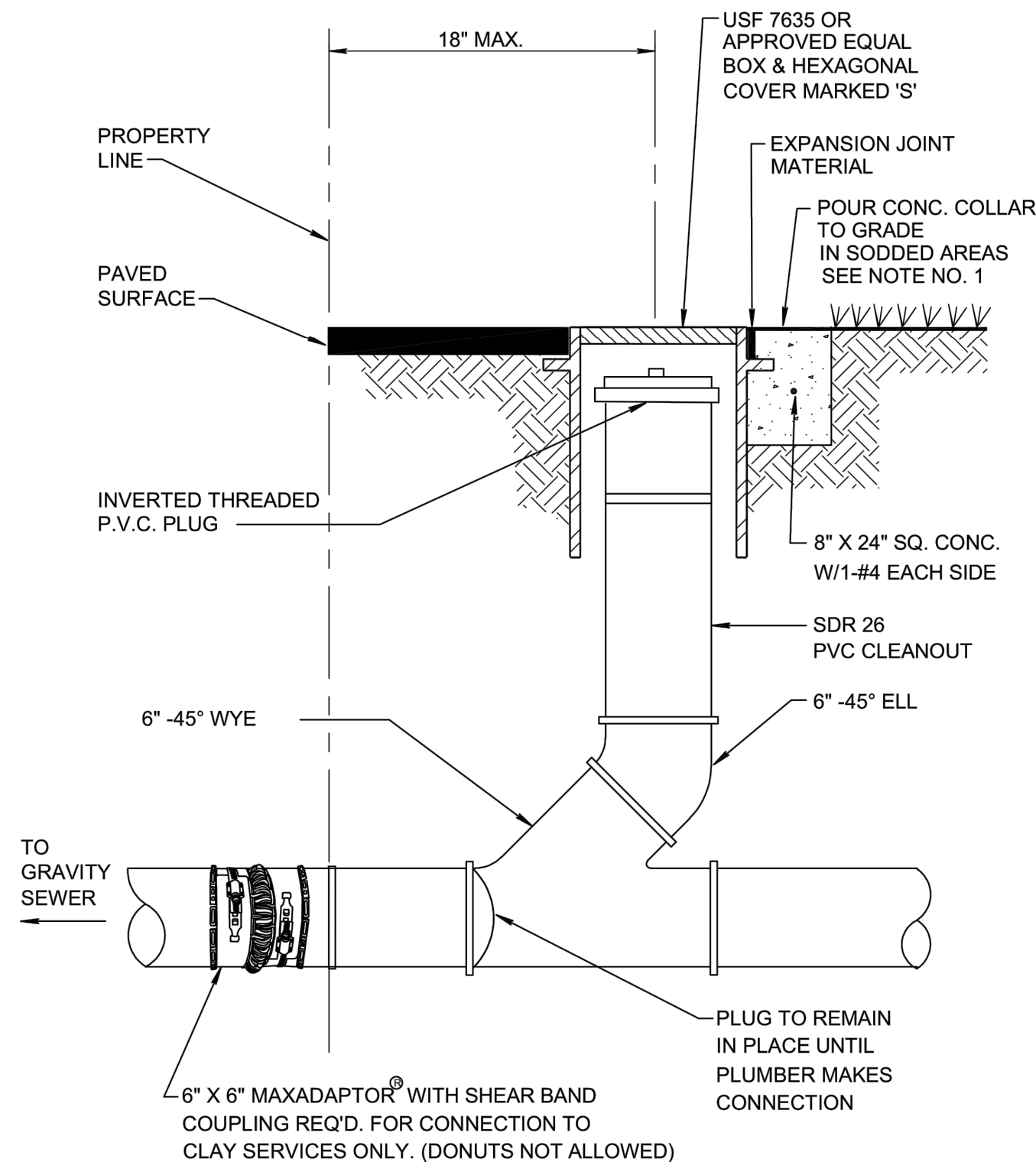
- SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2"X 4" TREATED STAKE.
- CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
- SEE DETAIL PW 2.0 FOR SEPARATION REQUIREMENTS.

SEWER SERVICE CONNECTION

N.T.S.

DATE: 10-04-2024

WW 8.0



NOTE:

- ALL SANITARY SEWER LATERALS AND CLEANOUT TO BE MINIMUM 6" DIAMETER IN SIZE UNLESS OTHERWISE PREVIOUSLY APPROVED BY THE DEPARTMENT.
- MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

TYPICAL CLEANOUT

N.T.S.

DATE: 10-04-2024

WW 10.0

CONSTRUCTION NOTES

- ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE BUILDING PAD, ROAD AND PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM 18" LIFTS THOROUGHLY AND UNIFORMLY COMPACTED TO ACHIEVE 95 PERCENT OF THE ASTM D1557 MAXIMUM DRY DENSITY.
- ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1 FOOT. ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
- FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, or A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. FILL MATERIAL SHOULD HAVE NOT MORE THAN 10; BY WEIGHT PASSING THE NO. 200 SIEVE AND SHALL HAVE NO PARTICLE SIZE LARGER THAN 12". CARE SHOULD BE EXERCISED WHEN PLACING MATERIALS WHICH EXCEED 3" TO ASSURE THAT NESTING DOES NOT OCCUR AND TO FURTHER ASSURE THAT THE +3" PARTICLES ARE FULLY SURROUNDED BY FINER GRAINED MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
- ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF THE CITY OF DELRAY BEACH ENGINEERING DIVISION.
- ALL HANDICAP SPACES, RAMPS, AND ACCESS AREAS SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN DISABILITY ACT" (ADA) (28 CFR PART 36), AND "ACCESSIBILITY BY HANDICAPPED PERSONS", CHAPTER 553, PART V, FLORIDA STATUTES, ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
- UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770. FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.

UNIVERSAL COLOR CODE FOR MARKING
UNDERGROUND UTILITY LINES

RED	ELECTRIC
YELLOW	GAS-OIL
ORANGE	COMMUNICATION, CATV
BLUE	WATER
GREEN	SEWER
PINK	SURVEY MARKINGS
WHITE	PROPOSED EXCAVATION

- THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES IF APPLICABLE.

FLORIDA POWER AND LIGHT COMPANY
A T & T
DELRAY BEACH WATER UTILITIES DEPARTMENT
LOCAL CABLE TELEVISION COMPANY(S)
FLORIDA DEPARTMENT OF TRANSPORTATION
LOCAL GAS COMPANY

- ALL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS AND SHALL RESTORE THEM PROMPTLY.
- FLOOD INFORMATION IS AS FOLLOWS:

COMMUNITY NUMBER: 125102
PANEL NUMBER: 0977
SUFFIX: F
DATE OF FIRM INDEX: OCTOBER 5, 2017
ZONE: X
BASE FLOOD ELEV: N/A
- CONTRACTOR SHALL VERIFY EXISTING WATER SERVICE MATERIAL. IF THE WATER SERVICE IS GALVANIZED THEN IT SHALL BE REPLACED TO THE WATER MAIN PER PW 9.1o AT THE OWNERS EXPENSE.

RONALD W. LAST, STATE OF FLORIDA, PROFESSIONAL ENGINEER,
LICENSE NO. 38707

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RONALD W. LAST ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

CONSTRUCTION NOTES & DETAILS

FOR

200 NE 5TH COURT

DELRAY BEACH, FL

REVISIONS	DATE	BY	CHK

EB 9889

LPI
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3986

SCALE: N/A

DATE: DEC 2024

DESIGNED BY: SAS

CHECKED BY:RWL

DRAWING FILE:
24-172 DET

12/16/2024
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

24-172

SI

SHEET 3 OF 4

