

ABBREVIATIONS

Table with 3 columns: Abbreviation, Description, and Symbol. Includes terms like ABOVE, ACQUIS, ADJ, AL, APPROX, etc.

MULTIFAMILY



DESIGN PARAMETERS

BUILDING CLASSIFICATION: THREE STORY MULTI-FAMILY RESIDENCE
FBC 2023 CHAPTER 3, GROUP R-3 OCCUPANCY
TABLE 504.4 CONSTRUCTION TYPE V-B

WIND LOADS AS PER FBC 2023 EDITION, CODE 8th EDITION AND ANSI/ASCE 7-16

THE FOLLOWING DESIGN PARAMETERS ARE REPEATED FROM THE STRUCTURAL DRAWINGS (SEE STRUCTURAL PLANS FOR ADDITIONAL STRUCTURAL NOTES/DESIGN PARAMETERS)

Table with 2 columns: Building Designed As, Enclosed, Rigid; Wind Exposure Classification, C; Wind Speed Design, 170 mph; etc.

Table with 2 columns: Min. Soil Bearing Pressure, 2,500 PSF; Shutters, NO; Impact Resistant Assembly, YES; etc.

DRAWING INDEX

Large table listing drawing titles and sheet numbers under ARCHITECTURAL and CIVIL categories. Includes items like COVER SHEET, AERIAL, SITE AERIAL VIEWS, etc.

CONSTRUCTION NOTES, SPECIFICATIONS AND GENERAL REQUIREMENTS

Main body of construction notes divided into sections: ARCHITECT'S STATUS, EARTH WORK, TRUSSES, ROUGH CARPENTRY, DOORS AND WINDOWS, CONCRETE, CONCRETE UNIT MASONRY, SHOP DRAWINGS, TIMBER, STRUCTURAL STEEL, REINFORCING STEEL, SECTION AND DETAILS, PLUMBING FIXTURES. Includes detailed technical specifications and requirements.

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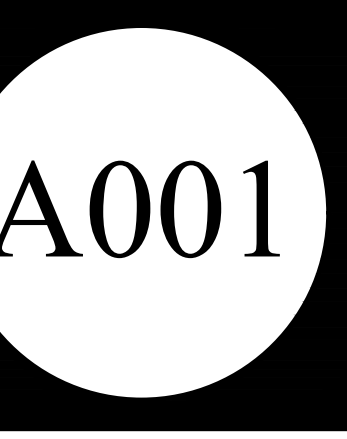
MULTIFAMILY
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DELRAY BEACH, FLORIDA

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STRUCTURES AREA TABULATION	
BUILDING A FOOTPRINT	11753 SF
BUILDING B FOOTPRINT	11753 SF
BUILDING C FOOTPRINT	10857 SF
BUILDING D FOOTPRINT	7767 SF
BUILDING E FOOTPRINT	4802 SF
BUILDING F FOOTPRINT	4802 SF
BUILDING G FOOTPRINT	6910 SF
REC. CENTER	1578 SF
TOTAL	73477 SF

PROJECT DATA		
- SITE	191,134 S.F.	100.00%
- SITE (80' RIGHT OF WAY ADJUSTMENT)	191,134 S.F.	100.00%
- GROUND FLOOR AREA	13,477 S.F.	38.69%
- OPEN SPACE (LANDSCAPE)	50,749 S.F.	27.41%
- REQUIRED OPEN SPACE (25%)	46,263 S.F.	0%
- WATER BODIES	0 S.F.	
- NO. OF DWELLING UNITS	47 UNITS	
- PARKING REQUIRED (2.5 SPACES/UNIT)	112 SPACES	
- PARKING PROVIDED	199 SPACES	

PARKING ANALYSIS	
GARAGE PARKING	94
STANDARD (DRIVEWAY PARKING)	60
COMPACT (DRIVEWAY PARKING)	34(17%)
ADDITIONAL PARKING (ON SITE)	11
TOTAL PARKING	199

UNIT TYPE 1 A/C AREA TABULATION	
UNIT 1 (1ST FLOOR)	1231 SF
UNIT 1 (2ND FLOOR)	1601 SF
TOTAL	2832 SF

UNIT TYPE 1 NON A/C AREA TABULATION	
BALCONY 1	128 SF
BALCONY 2	113 SF
COVERED PATIO	80 SF
GARAGE	402 SF
TOTAL	703 SF

UNIT TYPE 2 A/C AREA TABULATION	
UNIT TYPE 2 (1ST FLOOR)	1119 SF
UNIT TYPE 2 (2ND FLOOR)	1530 SF
TOTAL	2650 SF

UNIT TYPE 2 NON A/C AREA TABULATION	
BALCONY 1	82 SF
BALCONY 2	97 SF
COVERED PATIO	129 SF
GARAGE	396 SF
TOTAL	704 SF

UNIT TYPE 3 A/C AREA TABULATION	
UNIT TYPE 3 (1ST FLOOR)	708 SF
UNIT TYPE 3 (2ND FLOOR)	1012 SF
UNIT TYPE 3 (3RD FLOOR)	1079 SF
TOTAL	2799 SF

UNIT TYPE 3 NON A/C AREA TABULATION	
BALCONY 1	192 SF
BALCONY 2	148 SF
BALCONY 3	150 SF
BALCONY 4	146 SF
COVERED PATIO	161 SF
GARAGE	419 SF
TOTAL	1173 SF

CLUBHOUSE A/C AREA TABULATION	
CLUBHOUSE 1ST FLOOR	188 SF
CLUBHOUSE 2ND FLOOR	1191 SF
TOTAL	2380 SF

CLUBHOUSE NON A/C AREA TABULATION	
COVERED AREA	991 SF
TOTAL	991 SF

LEGEND	
UNIT TYPE 1 (3 BEDROOMS) - 28' WIDE	14
UNIT TYPE 2 (3 BEDROOMS) - 28' WIDE	25
UNIT TYPE 3 (3 BEDROOMS) - 30' WIDE	8
TOTAL	47

BUILDING SEPARATION (DISTANCE BETWEEN RESIDENTIAL BUILDINGS)		
REQUIRED	PROVIDED	
PROVIDED DISTANCE BETWEEN BUILDING A TO BUILDING B	59' + 59" + 2(26.58') + 26.58') / 6 = 118' + 106.32' / 6 = 37.39'	25'-0" (SEEKING RELIEF)
PROVIDED DISTANCE BETWEEN BUILDING B TO BUILDING C	55.3' + 55.3' + 2(26.58') + 26.58') / 6 = 110.6' + 106.32' / 6 = 36.15'	25'-0" (SEEKING RELIEF)
PROVIDED DISTANCE BETWEEN BUILDING C TO BUILDING D	55.3' + 55.3' + 2(26.58') + 26.58') / 6 = 110.6' + 106.32' / 6 = 36.15'	25'-0" (SEEKING RELIEF)
PROVIDED DISTANCE BETWEEN BUILDING D TO BUILDING E	39' + 39' + 2(38') + 38' / 6 = 78' + 152' / 6 = 38.33'	25'-0" (SEEKING RELIEF)
PROVIDED DISTANCE BETWEEN BUILDING E TO REC. CENTER	42' + 42' + 2(26.58') + 26.58') / 6 = 84' + 106.32' / 6 = 31.72'	12'-4" (SEEKING RELIEF)

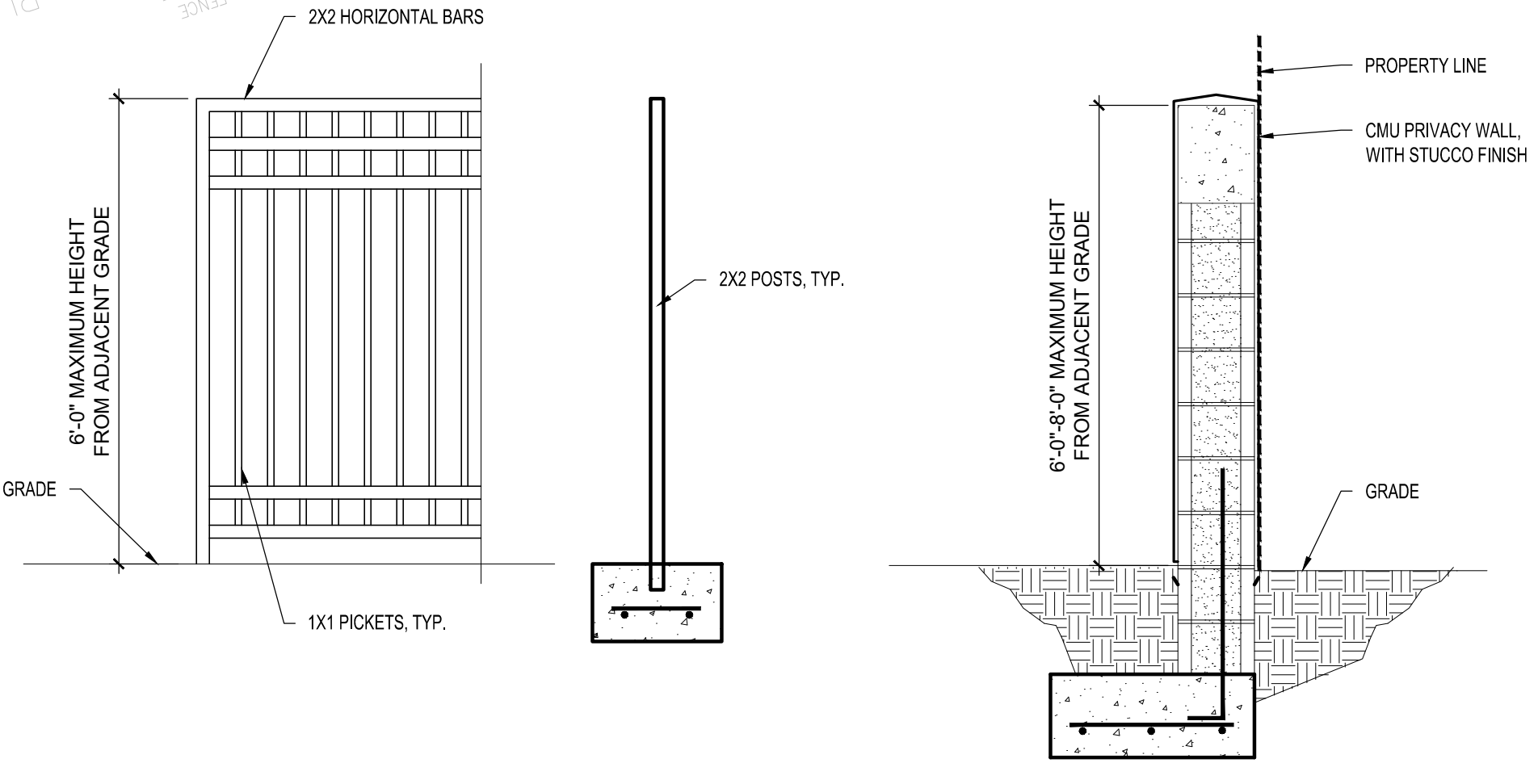
PROPOSED FINISHED FLOOR	
AVERAGE CROWN OF ROAD 12.0' NAVD	F.F. 12.0' +18" = 13.5' NAVD

GREEN BUILDING CERTIFICATION TO BE SUBMITTED BY A GREEN BUILDING ACCREDITED PROFESSIONAL PRIOR TO BUILDING PERMIT SUBMISSION.

SITE PLAN KEY NOTE LEGEND	
101 DRIVEWAY SPACES, WIDTH 11'5" x 16' LENGTH, MATERIAL: PAVERS 1' FULL SIZE 1 COMPACT	112 ASPHALT ROAD
102 DRIVEWAY SPACES, WIDTH 18' x 16' LENGTH, MATERIAL: PAVERS 2' FULL SIZE 2 VEHICLES	113 EXISTING 7' CONCRETE SIDEWALK
103 GATE SPACES, 14' W x 6' H, SINGLE AND 20' W x 6' H, DOUBLE ALUMINUM VEHICULAR GATE.	114 TOT LOT
104 MINIMUM 4' ARTICULATION	115 6" HIGH CMU WALL WITH STUCCO FINISH
105 PROPOSED FOOT SIGHT TRIANGLE (TYP.)	116 4' INTERIOR CONCRETE SIDEWALKS
106 60X60 WHEELCHAIR PASSING SPACE, EVERY 200' MAXIMUM TYP.	117 LIGHT POST
107 LIFT STATION	118 11' TURNING LANE
108 CALL BOX	119 6" EXISTING BIKE LANE
109 6" HIGH ALUMINUM FENCE	120 2' BUFFER BETWEEN DRIVING & BIKE LANE
110 4' W. x 6' H. ALUMINUM GATE	121 4' PROPOSED WALKWAYS
111 6" HIGH CMU WALL WITH STUCCO FINISH	122 6" PROPOSED SIDEWALKS
123 PER TABLE A.6.5(D) - 1 PLANNED UNIT DEVELOPMENT 4 BICYCLE SPACES PER 50 UNITS LOCATED AT COMMON AREA (CLUBHOUSE SHOWERS NOT REQUIRED).	

GC (PUD) MULTIFAMILY	MIN. LOT SIZE (SQ. FT.)	MIN. LOT WIDTH (FT.)	MIN. LOT DEPTH (FT.)	MIN. FLOOR AREA (SQ. FT.)	MIN. LOT FRONTAGE (FT.)	MIN. OPEN SPACE (%)	MIN. FRONT SETBACK (FT.)	MIN. SIDE SETBACK (FT.) N	MIN. SIDE SETBACK (FT.) S	MIN. REAR SETBACK (FT.)	MAX. BLDG HEIGHT (FT.)	F.A.R.	DENSITY
REQUIRED	N/A	0	0	N/A	0	25	10	10	10	10	48	X	12 UNITS/ACRE =51 UNITS
PROVIDED	185,134	600	420.25	73,477	X	27.41	10	10	10	10	X	81%	11UNITS/ACRE =47 UNITS

REVISIONS	BY	DATE
1	ZF	02.23.24
2	GL	03.07.24
3	GL	04.10.24
4	GL	05.06.24
5	GL	07.17.24
6	GL	10.25.24
7	GL	12.11.24
8	GL	04.21.25
9	GL	09.22.25
10	GL	03.16.26
11	GL	04.21.26



1 SITE PLAN
1"=30'-0"

2 DETAILS
1/2"=1'-0"

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△ ELEVATIONS	GL	04.10.24
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1 BUILDING A ELEVATIONS
3/32"=1'-0"

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2 BUILDING A & BUILDING D ELEVATIONS
3/32"=1'-0"

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1 FRONT RENDERING
1/4"=1'-0"

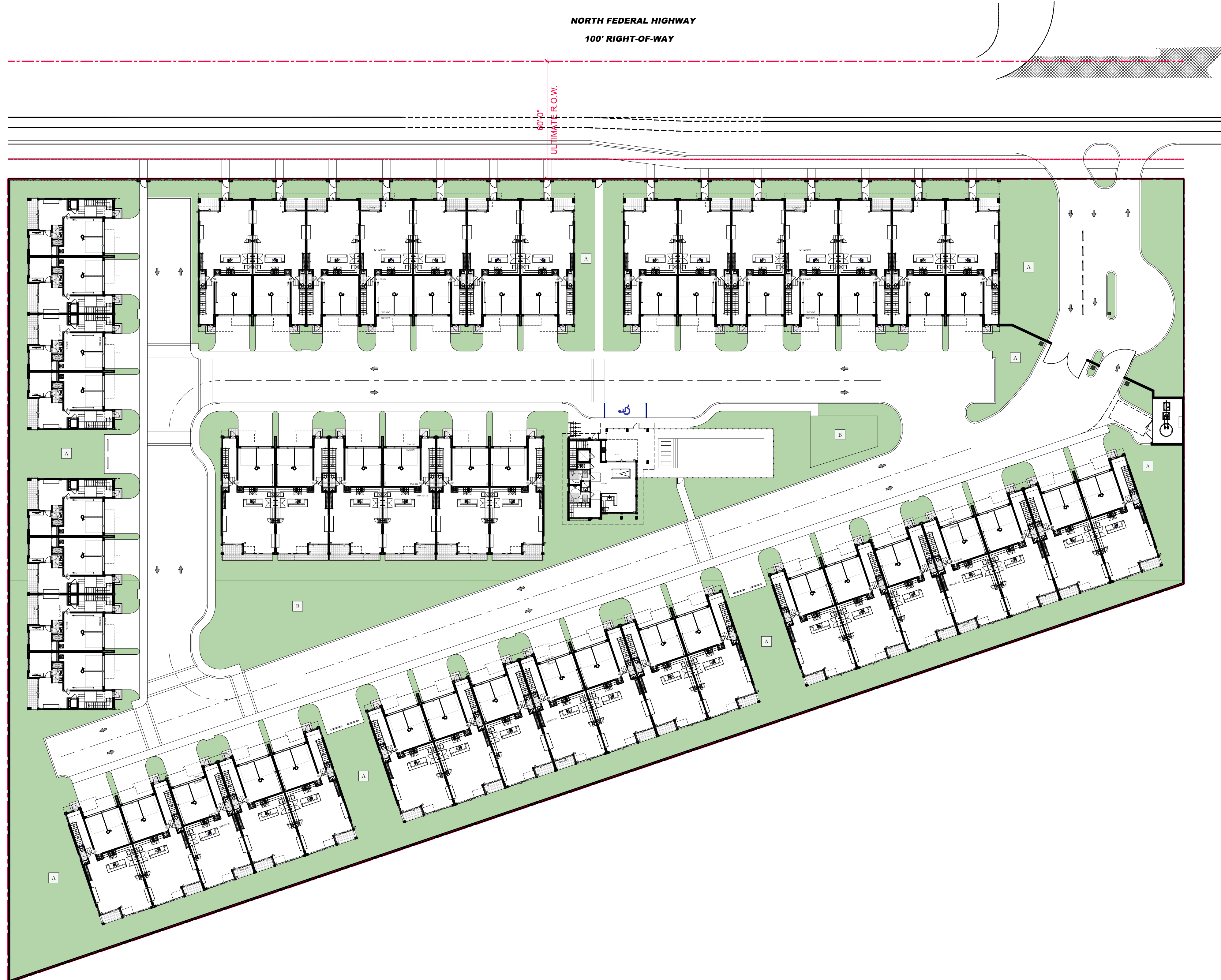
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LEGEND	
EXCLUDED IMPERVIOUS=	[White Box]
OPEN SPACE=	[Green Box]

OPEN SPACE TABULATION	
DRIVEWAYS	15,200 SF
ROADS & PARKING	35,789 SF
SIDEWALKS	8,281 SF
BUILDING FOOTPRINTS	73,477 SF
POOL/POOL TERRACE	1,648 SF
TOTAL	+134,385 SF
SITE AREA	165,134 SF
IMPERVIOUS AREA	+134,385 SF
OPEN SPACE AREA	+30,749 SF (18.62%)
IMPERVIOUS AREA	+134,385 SF (72.59%)

OPEN SPACE PLAN KEY NOTE LEGEND	
A	NATURAL AREA (GARDENS)
B	REC. SPACE (TOT LOT & PLAY AREA)

REVISIONS	BY	DATE
△ SITE PLAN	ZF	02.23.24
△ FLOOR PLAN	GL	03.07.24
△ ELEVATIONS	GL	04.10.24
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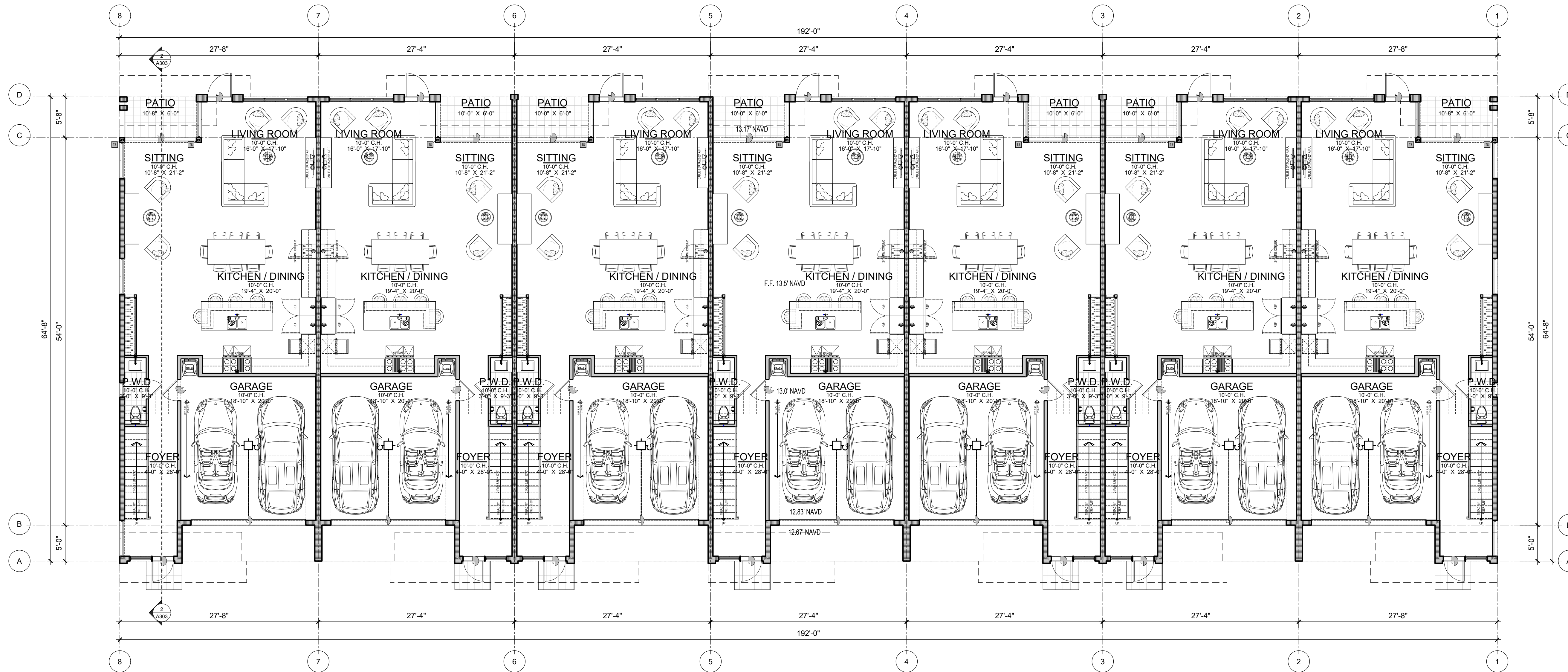
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A201a



1 1ST FLOOR PLAN
1/8"=1'-0"

BUILDING A

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△ ELEVATIONS	GL	04.10.24
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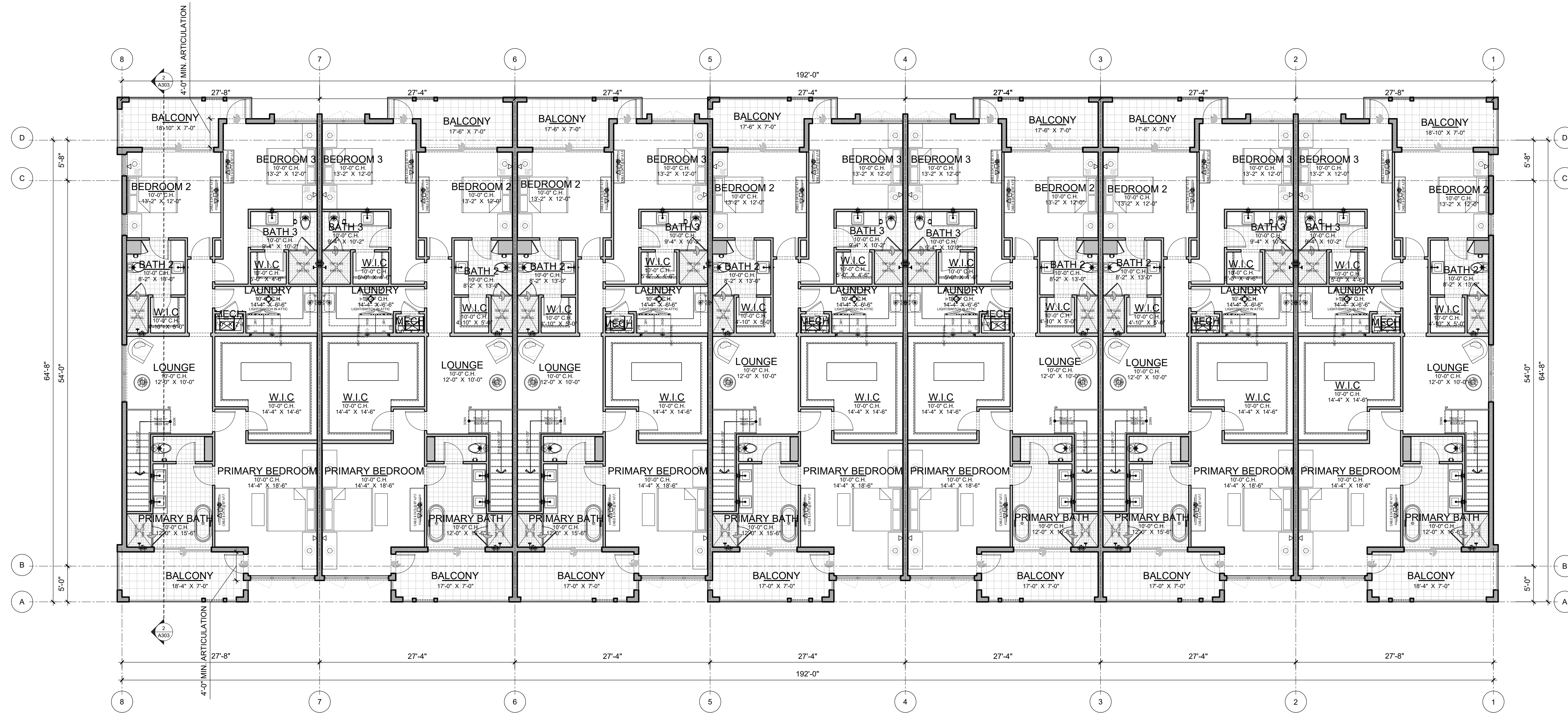
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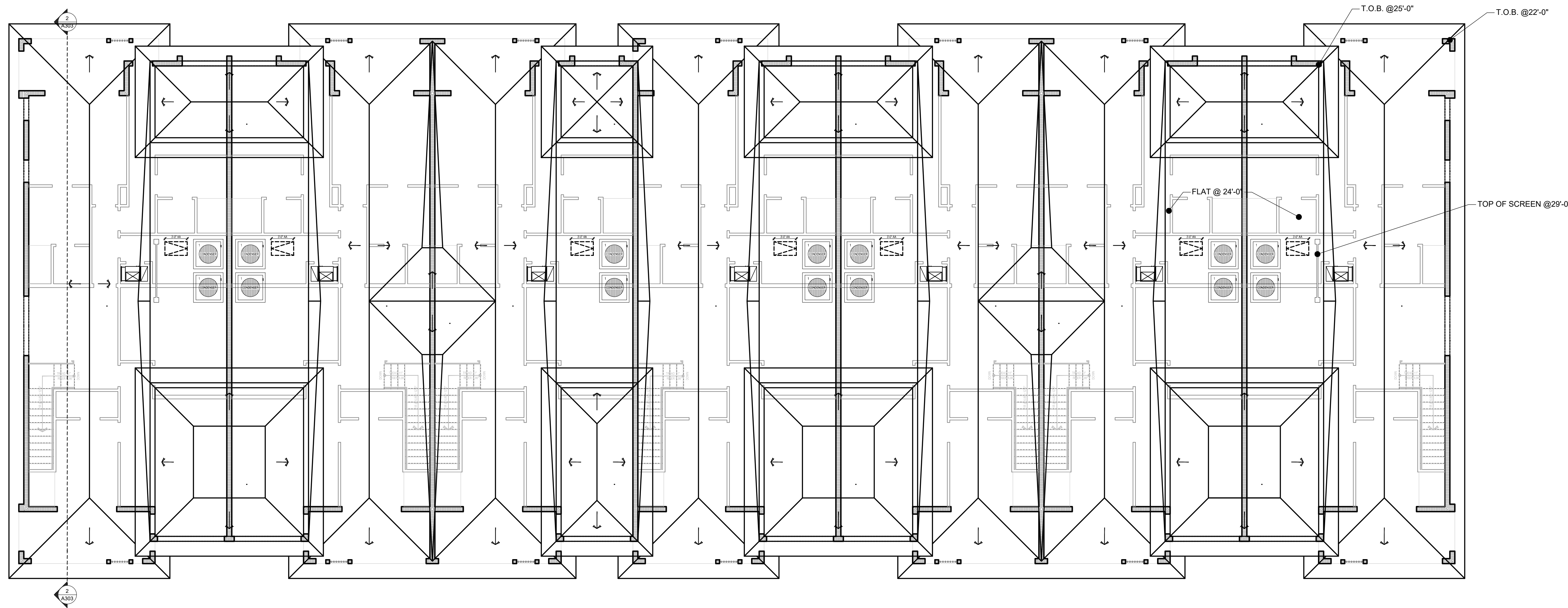


1 2ND FLOOR PLAN
1/8"=1'-0"

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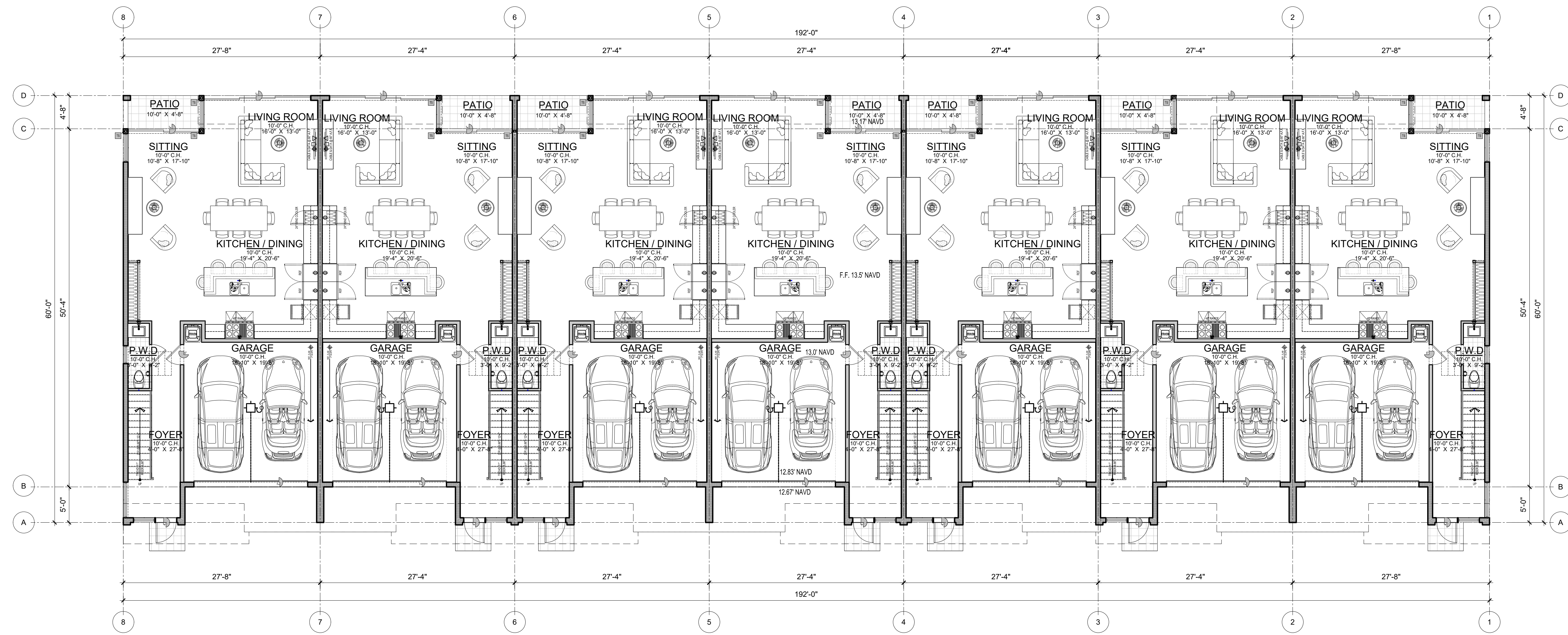
BUILDING A

1 ROOF PLAN
 1/8"=1'-0"

A203

REVISIONS	BY	DATE
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△ FLOOR PLAN	GL	03.07.24
△ ELEVATIONS	GL	04.10.24
△ UPDATED SITE PLAN	GL	05.06.24
△ ELEVATIONS	GL	07.17.24
△ UPDATED SITE PLAN	GL	10.25.24
△ SITE PLAN REVIEW SUB.	GL	12.11.24
△ SITE PLAN REVIEW SUB.	GL	04.21.25
△ SITE PLAN REVIEW SUB.	GL	09.22.25
△ SITE PLAN REVIEW SUB.	GL	03.16.26
△ SITE PLAN REVIEW SUB.	GL	04.21.26

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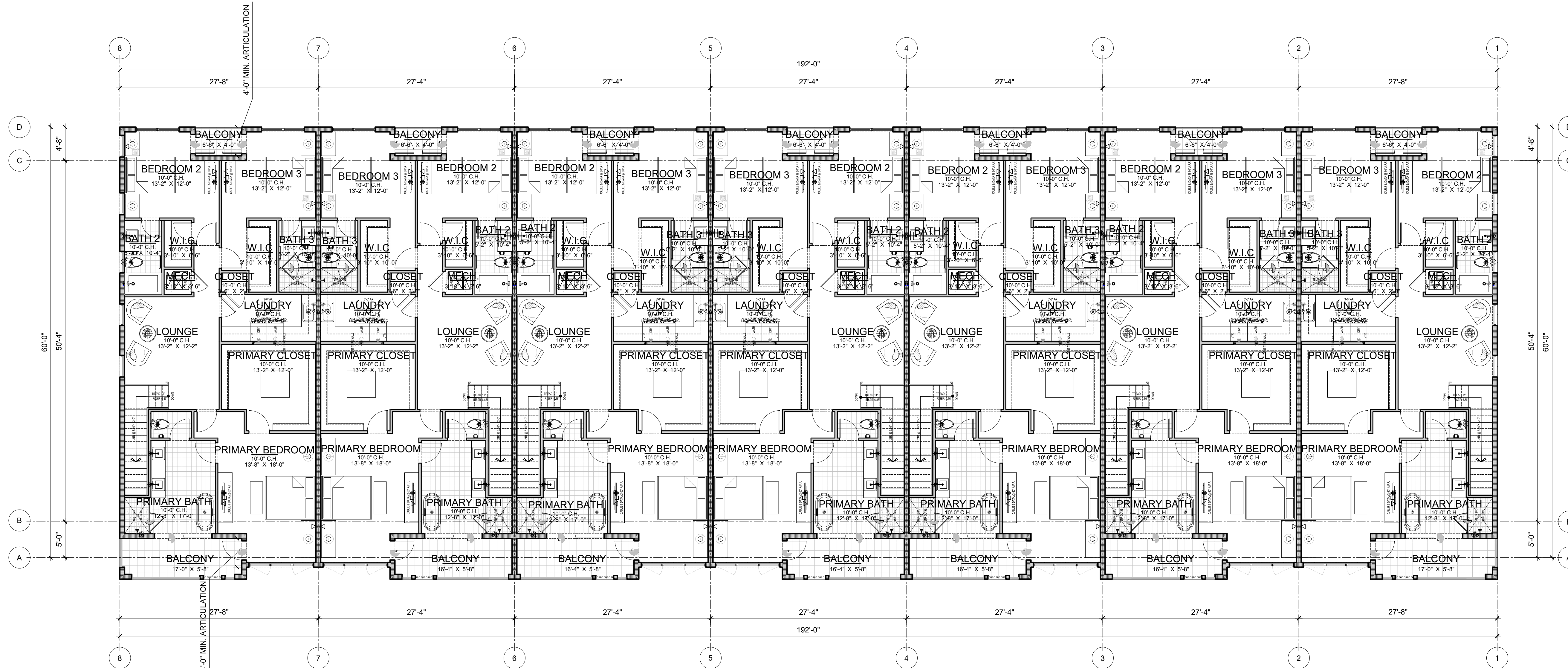
A211a

1 1ST FLOOR PLAN
 1/8"=1'-0"

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△ SITE PLAN REVIEW SUB.	GL	04.21.26

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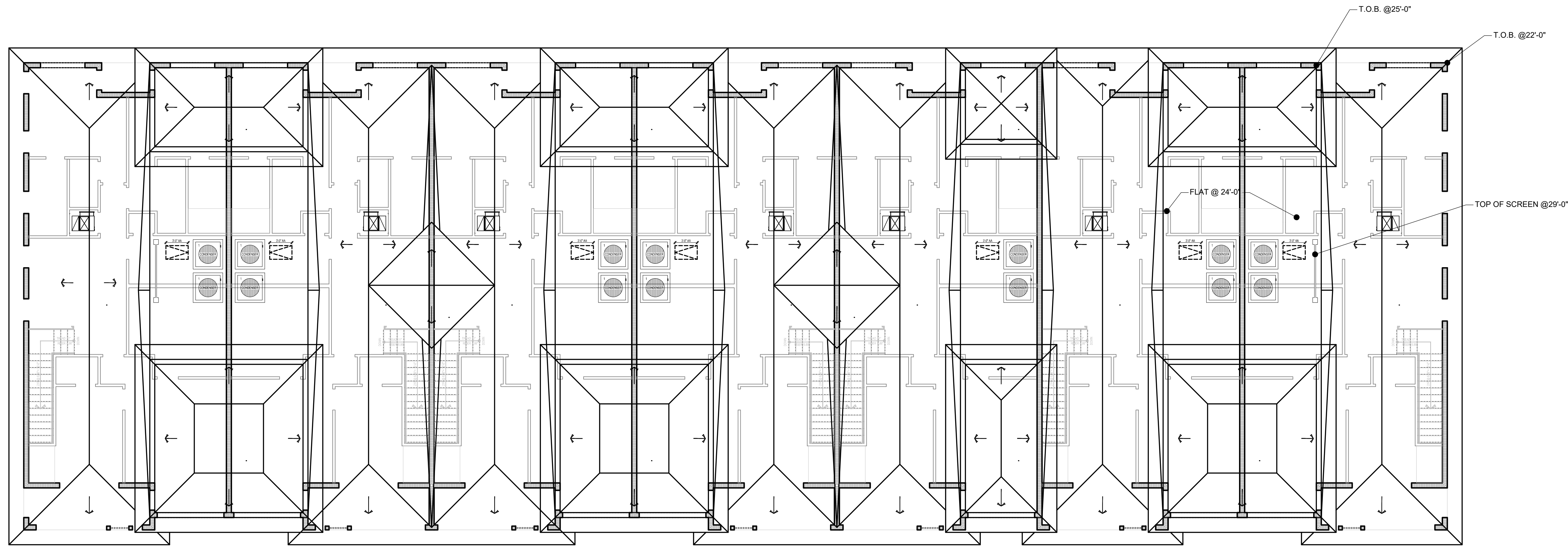
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1 2ND FLOOR PLAN
1/8"=1'-0"

A212a

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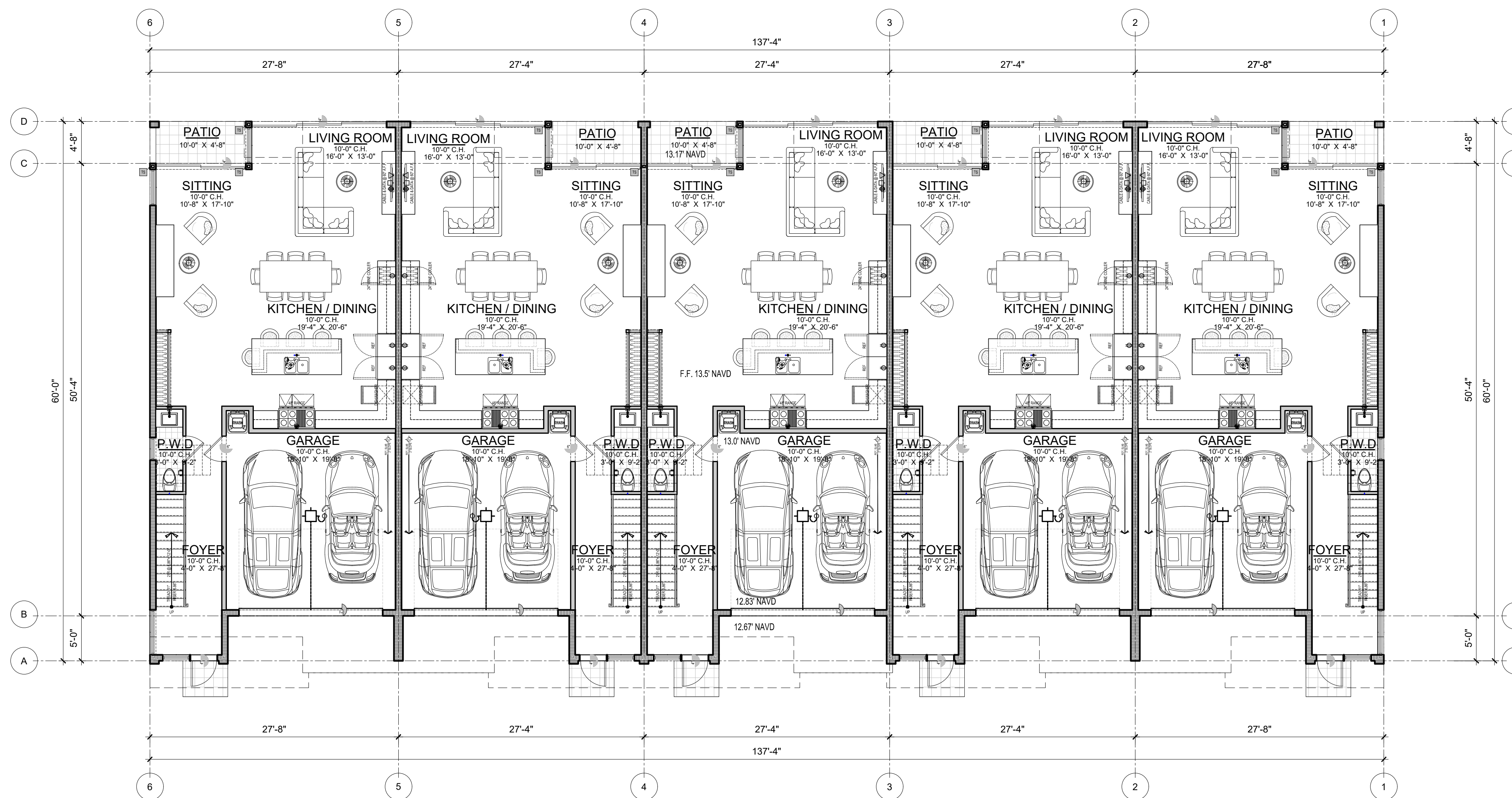
A213

1 ROOF PLAN
 1/8"=1'-0"

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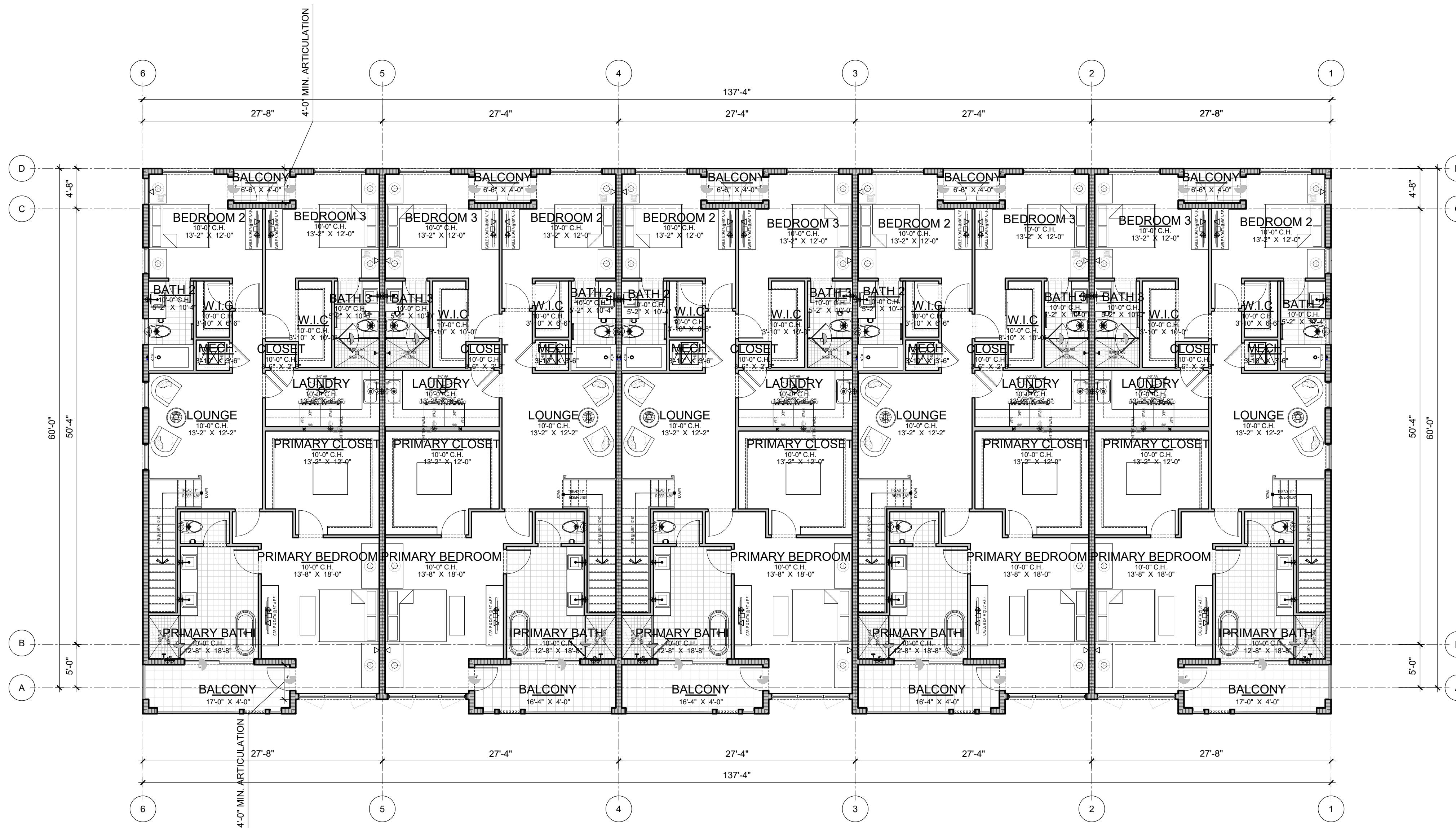
A221a

1 1ST FLOOR PLAN
1/8"=1'-0"

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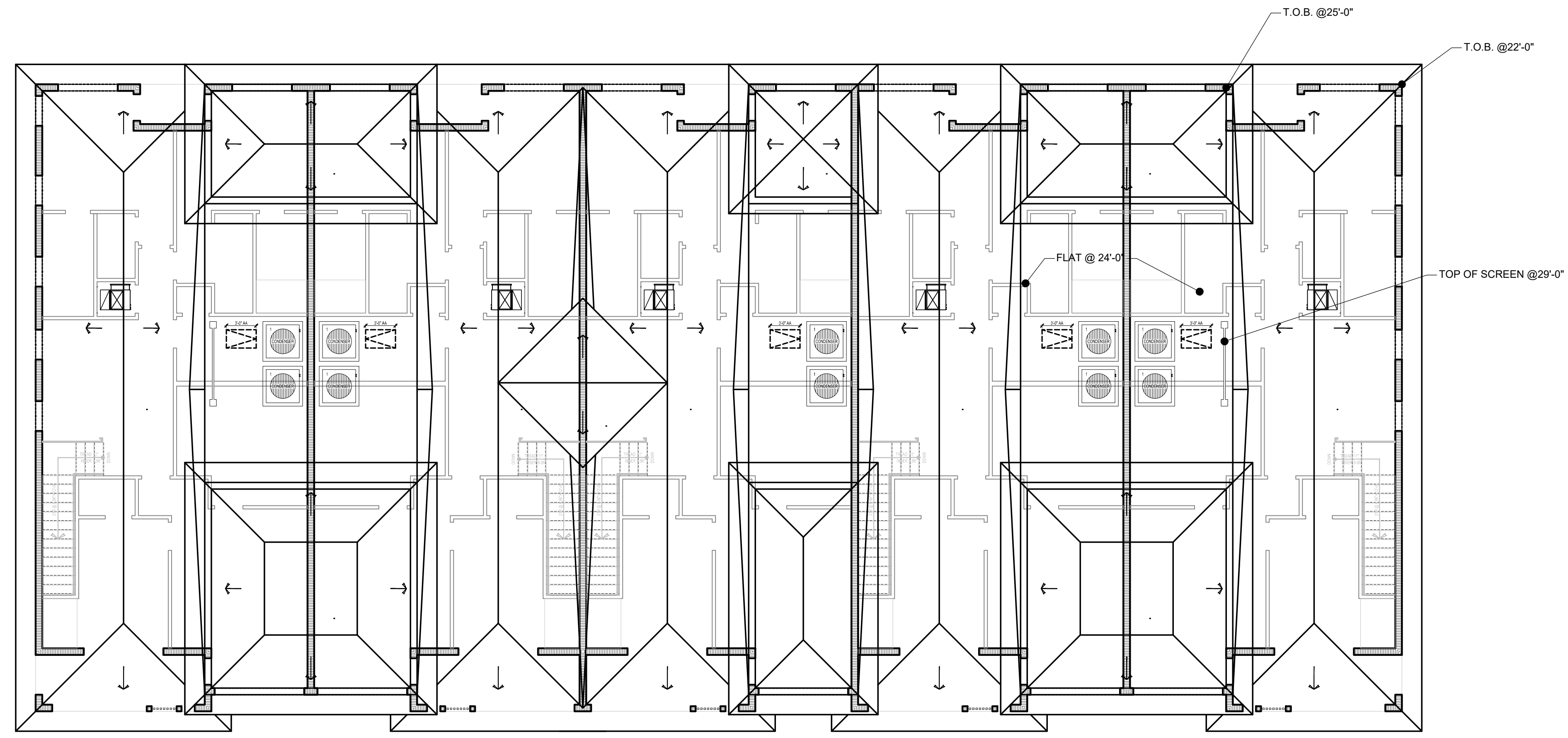
BUILDING C

A222a

1 2ND FLOOR PLAN
1/8"=1'-0"

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A223

1 ROOF PLAN
1/8"=1'-0"

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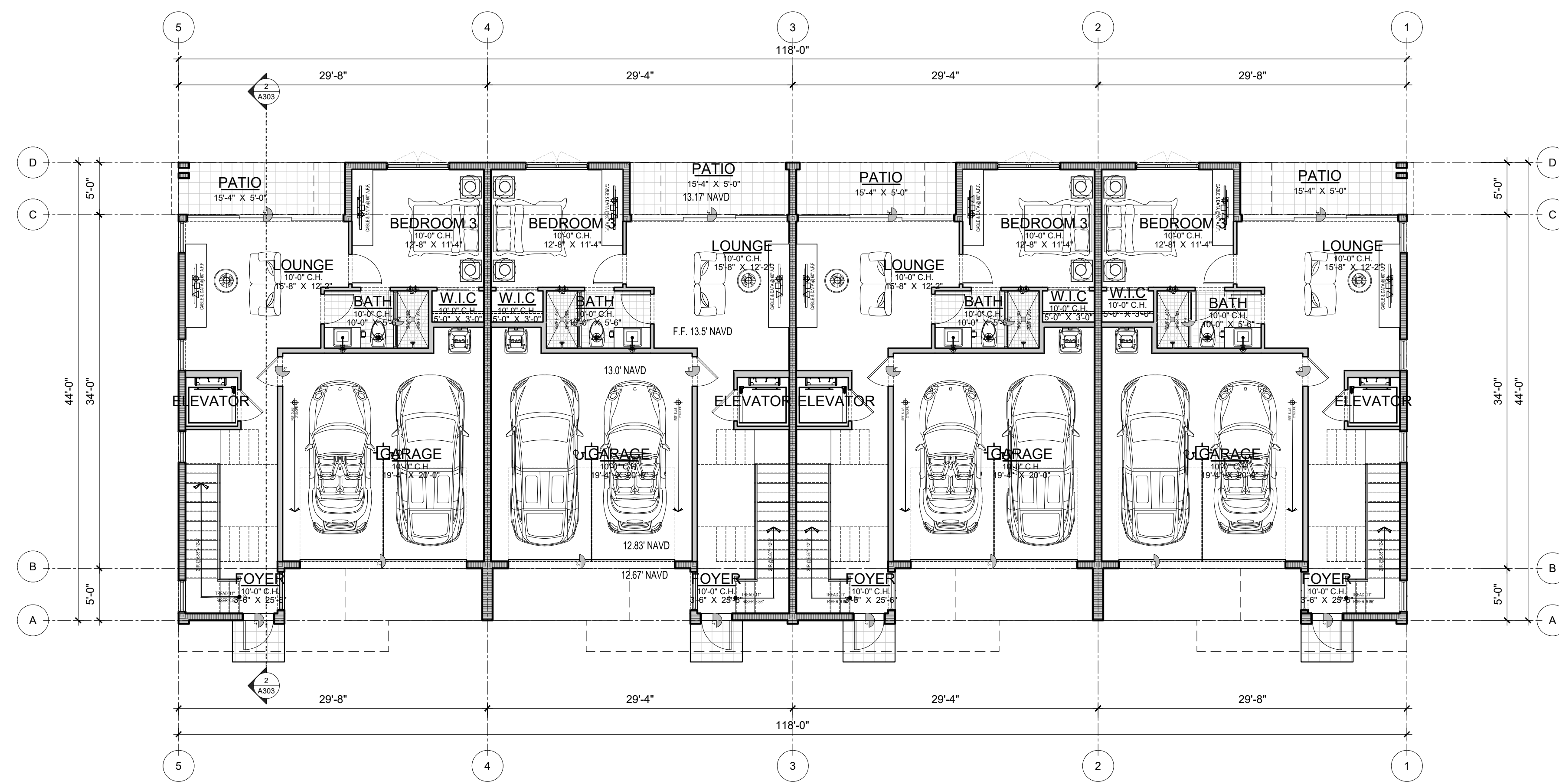
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1 1ST FLOOR PLAN
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A231a

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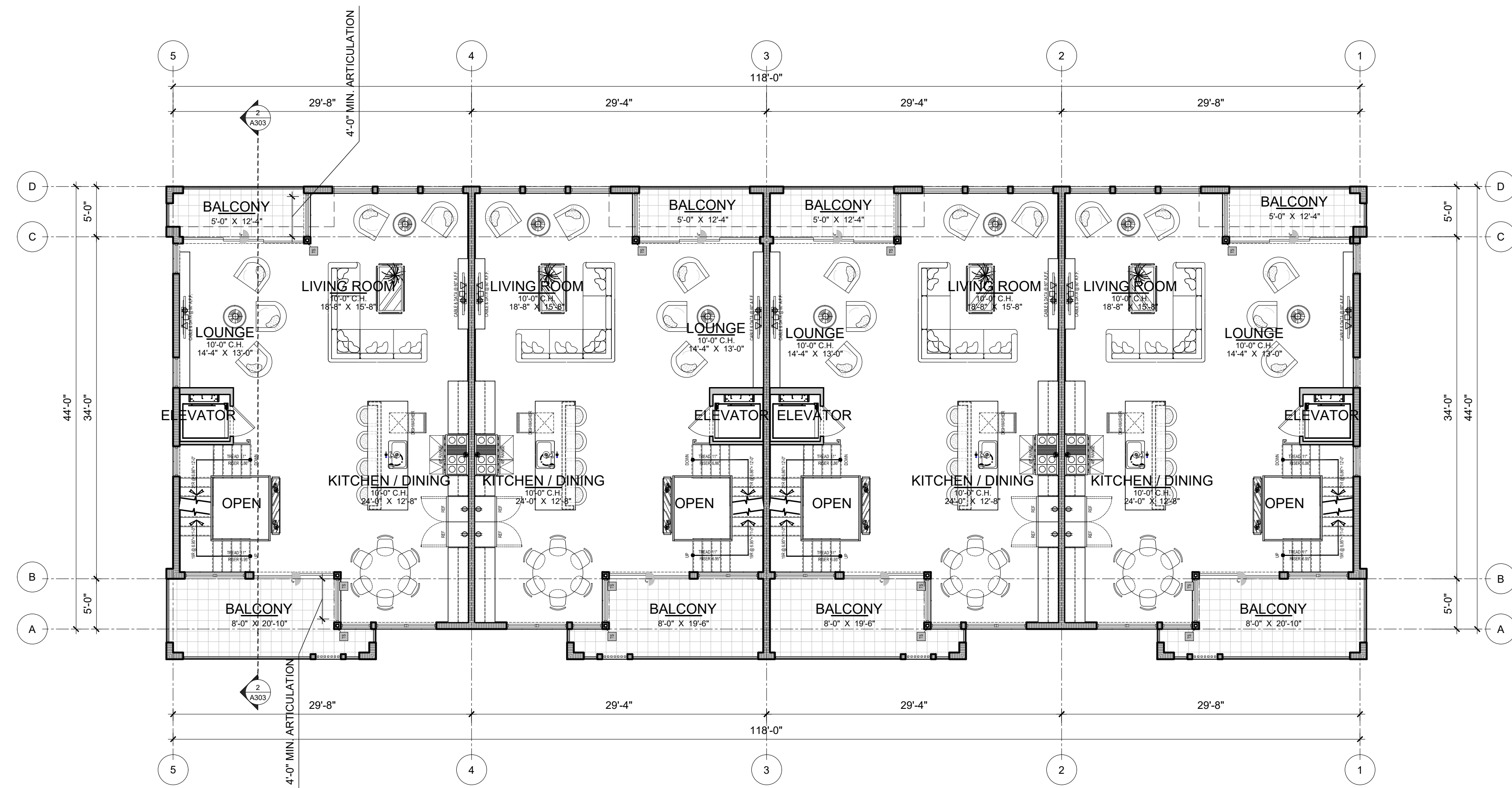
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A232a



1 2ND FLOOR PLAN
1/8"=1'-0"

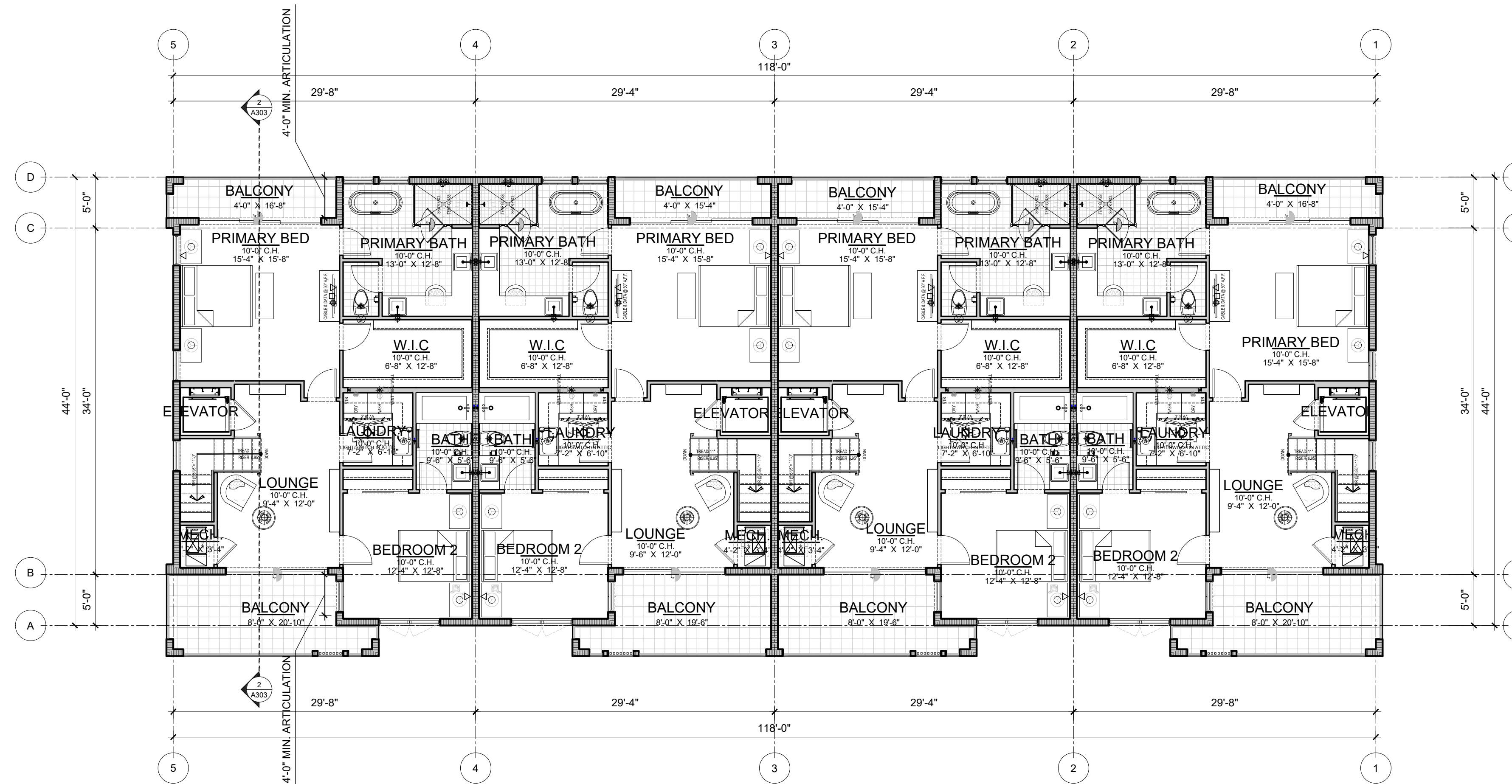
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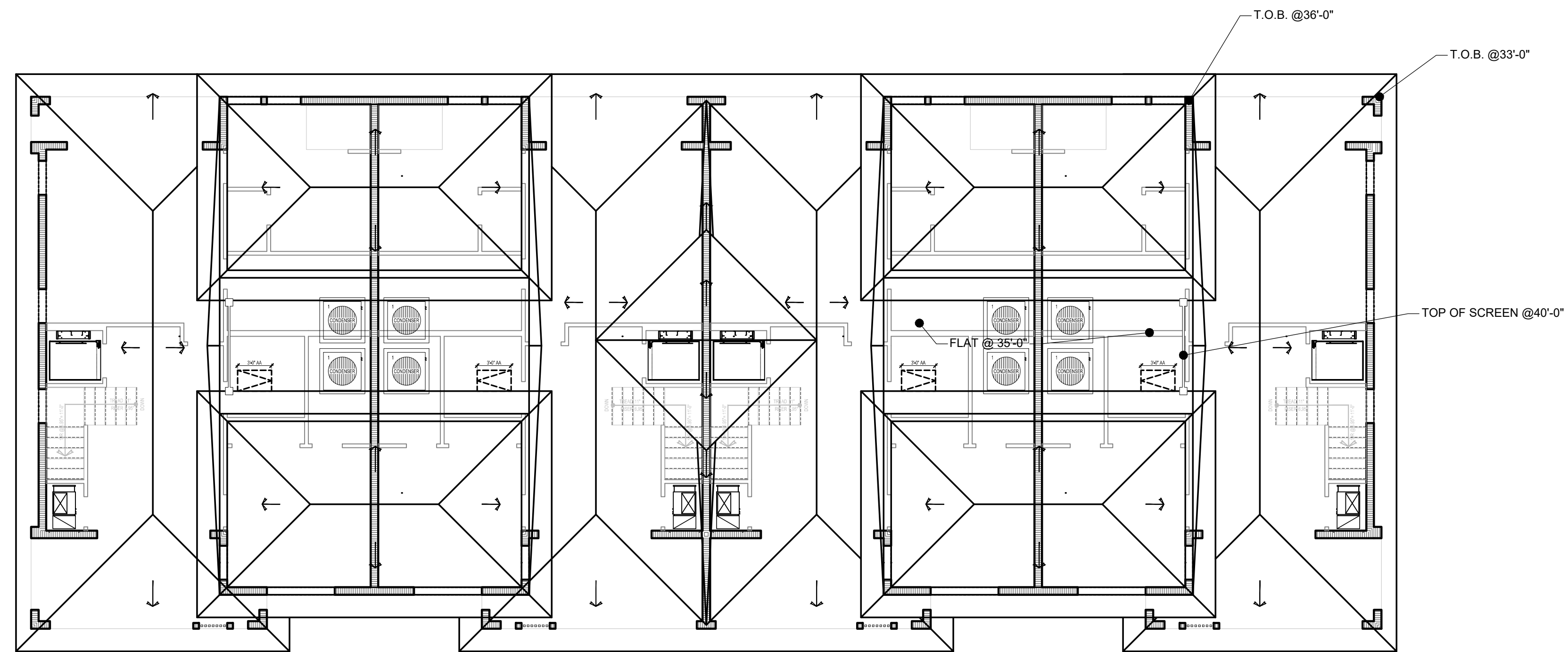
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A233a

1 3RD FLOOR PLAN
1/8"=1'-0"

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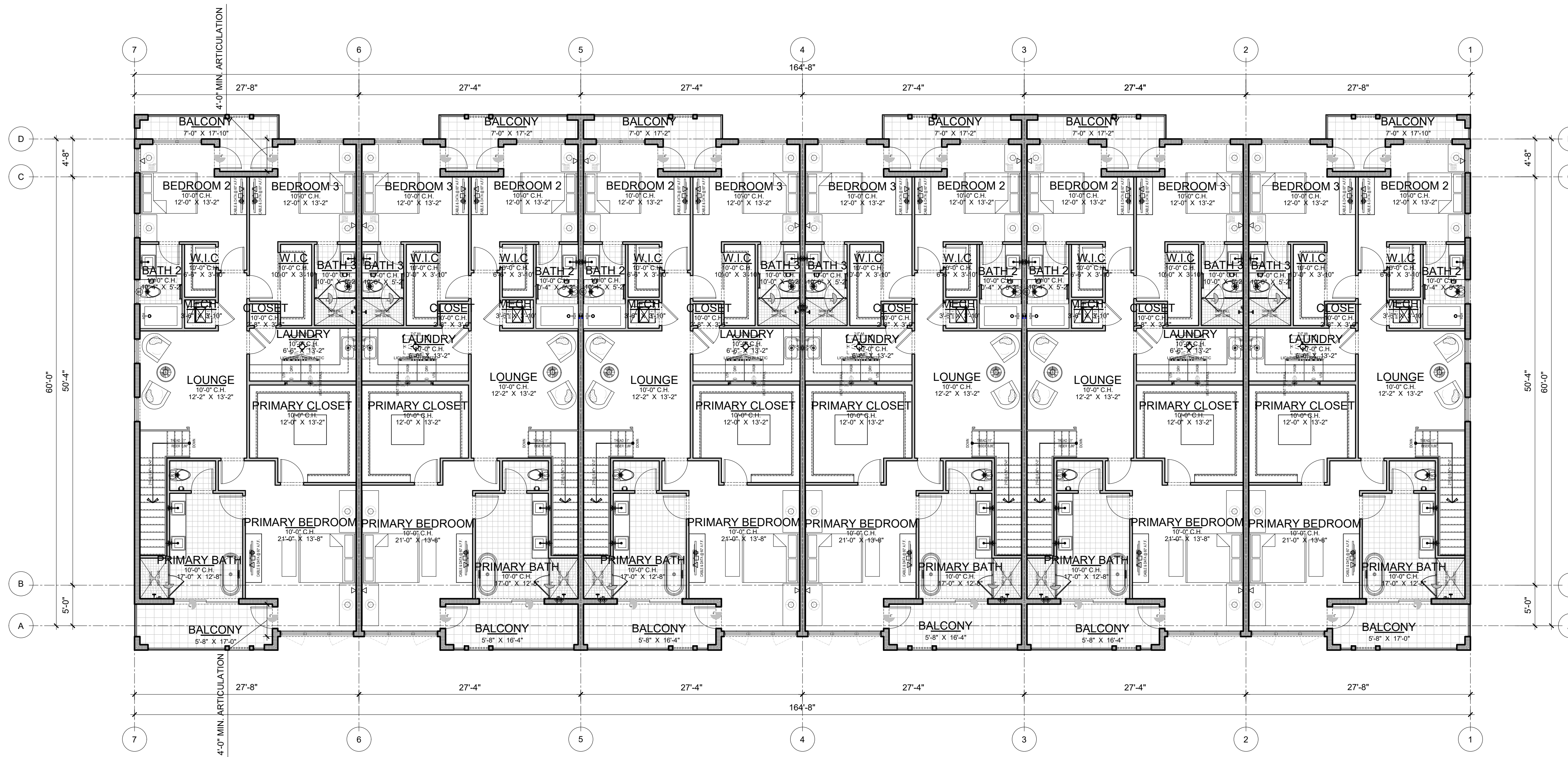
A234

1 ROOF PLAN
1/8"=1'-0"

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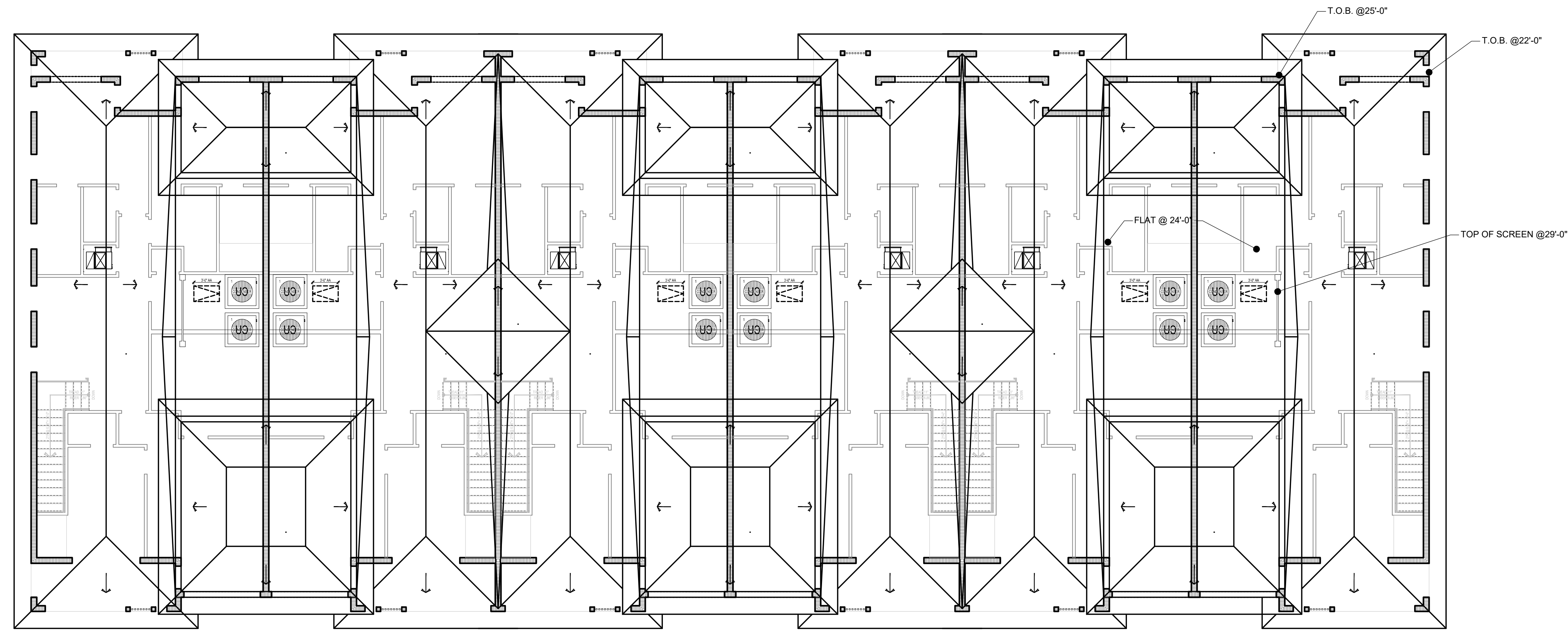
BUILDING

A242a

1 2ND FLOOR PLAN
1/8"=1'-0"

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REVISIONS	BY	DATE
△ SITEPLAN	ZF	02.23.24
△ FLOOR PLAN	GL	03.07.24
△ ELEVATIONS	GL	04.10.24
△ UPDATED SITE PLAN	GL	05.06.24
△ ELEVATIONS	GL	07.17.24
△ UPDATED SITE PLAN	GL	10.25.24
△ UPDATED SITE PLAN	GL	12.11.24
△ SITE PLAN REVIEW SUB.	GL	04.21.25
△ SITE PLAN REVIEW SUB.	GL	09.22.25
△ SITE PLAN REVIEW SUB.	GL	03.16.26
△ SITE PLAN REVIEW SUB.	GL	04.21.26



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 DELRAY BEACH, FLORIDA

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BUILDING E

A243

1 ROOF PLAN
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SITE PLAN REVIEW SUBMITTAL 04-21-25

MULTIFAMILY
2419 N. FEDERAL HWY.
DELRAY BEACH, FLORIDA

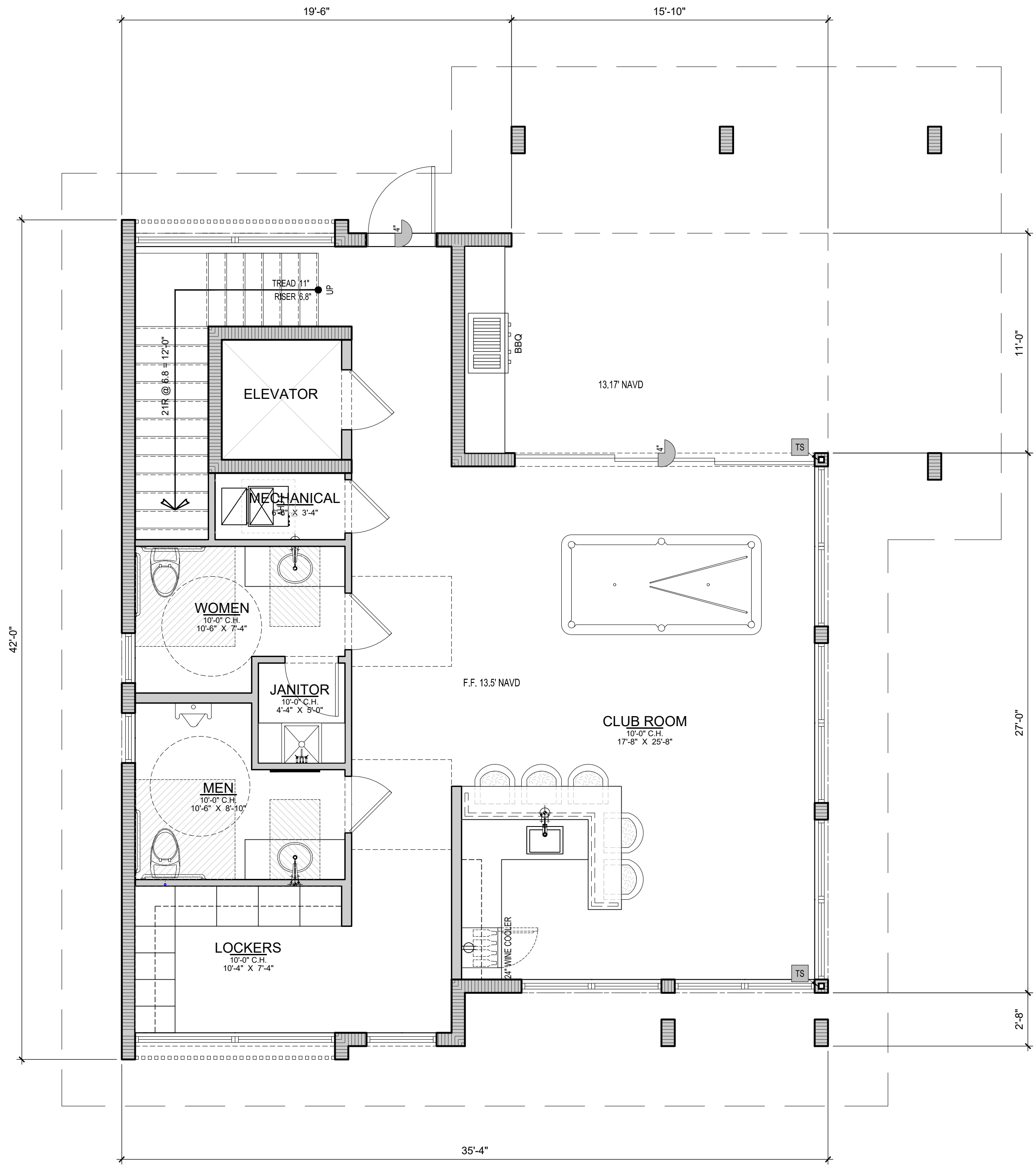
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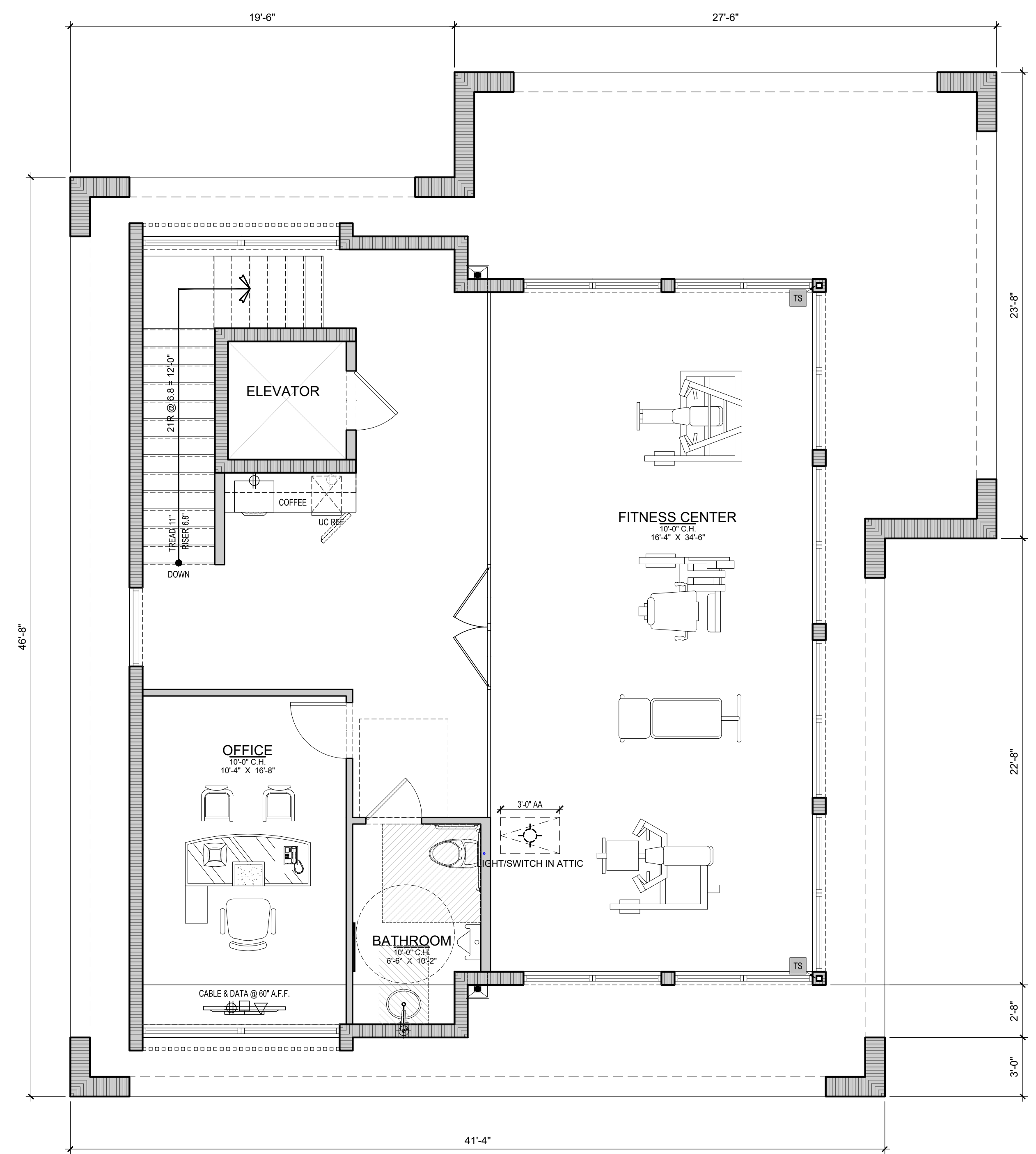
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A261

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1 1ST FLOOR PLAN
1/4"=1'-0"



2 2ND FLOOR PLAN
1/4"=1'-0"

REC CENTER

REVISIONS	BY	DATE
△ SITEPLAN	ZF	02.23.24
△ FLOOR PLAN	GL	03.07.24
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△ UPDATED SITE PLAN	GL	05.06.24
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△ SITE PLAN REVIEW SUB.	GL	03.16.26
△ SITE PLAN REVIEW SUB.	GL	04.21.26

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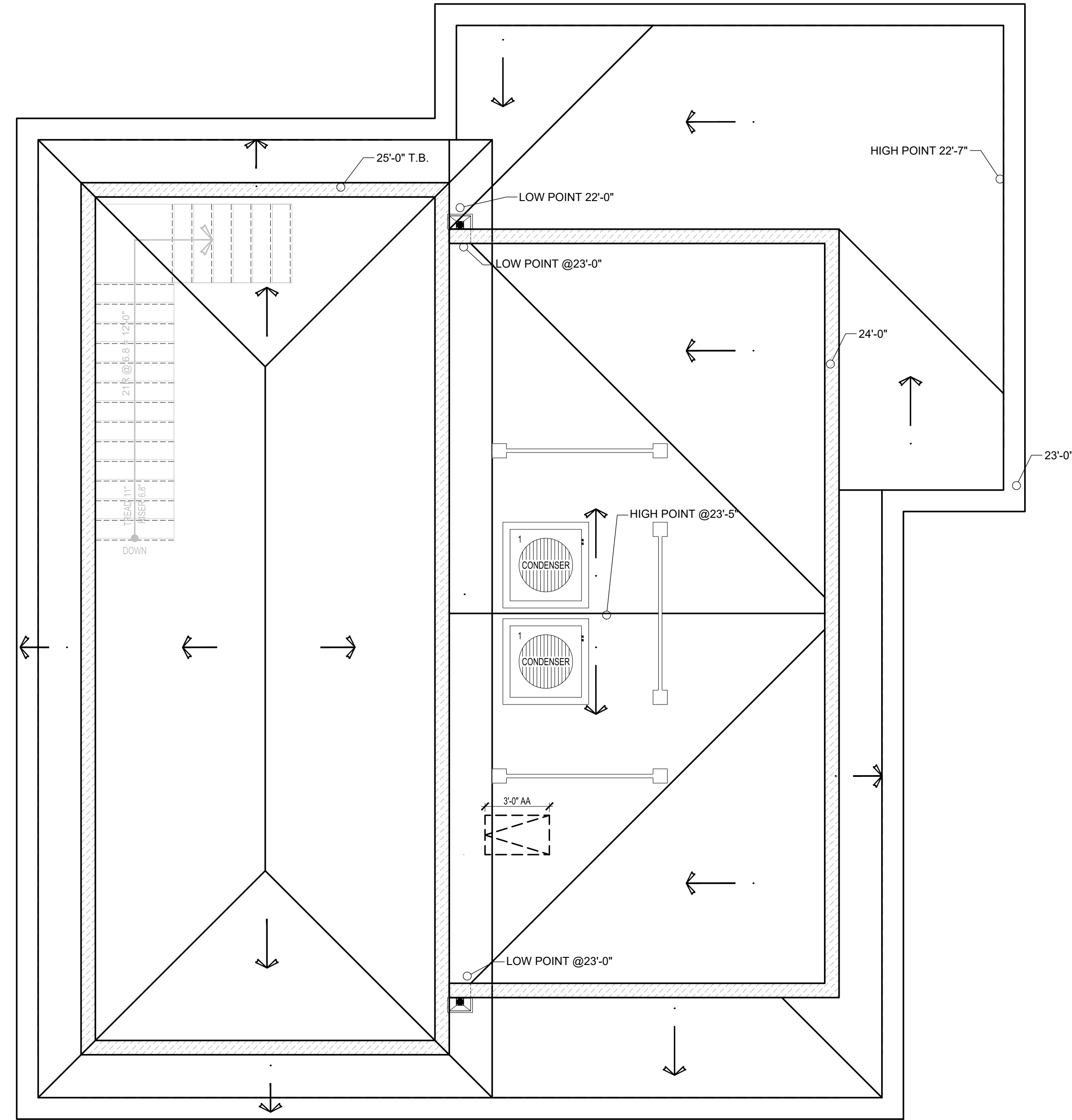
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1 ROOF PLAN
1/4"=1'-0"

REVISIONS	BY	DATE
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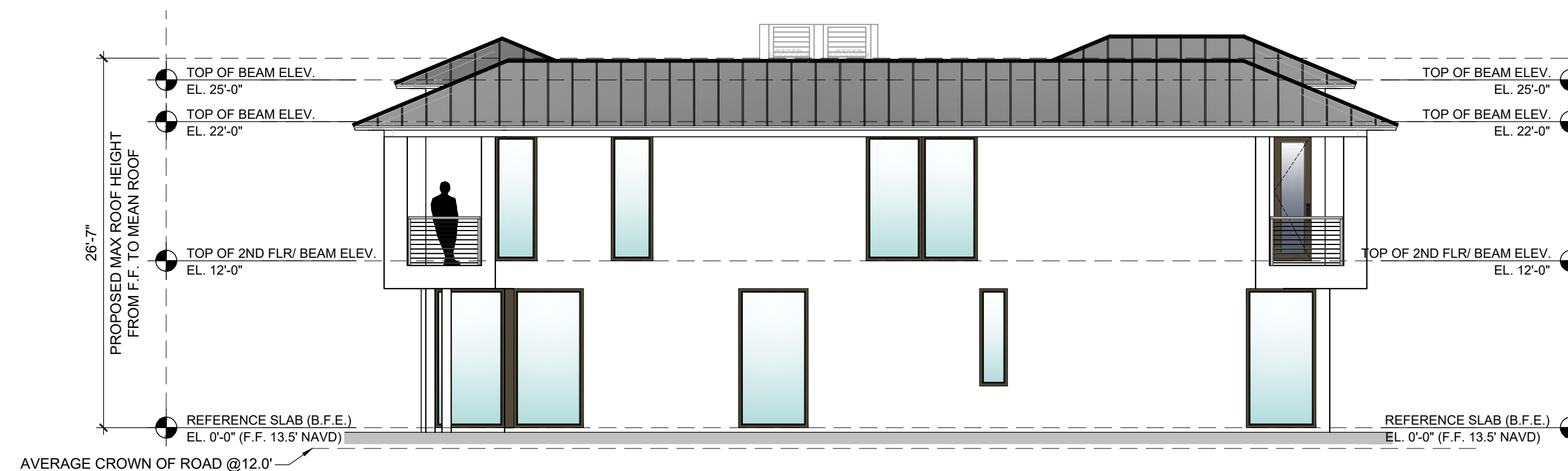
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MULTIFAMILY
2419 N. FEDERAL HWY.
DELRAY BEACH, FLORIDA



1 OVERALL FRONT ELEVATION
1/8"= 1'-0"



2 OVERALL SIDE ELEVATION
1/8"= 1'-0"



3 OVERALL REAR ELEVATION
1/8"= 1'-0"

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1 ENLARGED FRONT ELEVATION
1/4" = 1'-0"



2 ENLARGED REAR ELEVATION
1/4" = 1'-0"

REVISIONS	BY	DATE
△ SITEPLAN	ZF	02.23.24
△ FLOOR PLAN	GL	03.07.24
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△ SITE PLAN REVIEW SUB.	GL	03.16.26
△ SITE PLAN REVIEW SUB.	GL	04.21.26



1 OVERALL FRONT ELEVATION
1/8" = 1'-0"



2 OVERALL SIDE ELEVATION
1/8" = 1'-0"



3 OVERALL REAR ELEVATION
1/8" = 1'-0"

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A302a

REVISIONS	BY	DATE
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△ FLOOR PLAN	GL	03.07.24
△ ELEVATIONS	GL	04.10.24
△ UPDATED SITE PLAN	GL	05.06.24
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△ SITE PLAN REVIEW SUB.	GL	03.16.26
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1 ENLARGED FRONT ELEVATION
1/4" = 1'-0"



2 ENLARGED REAR ELEVATION
1/4" = 1'-0"

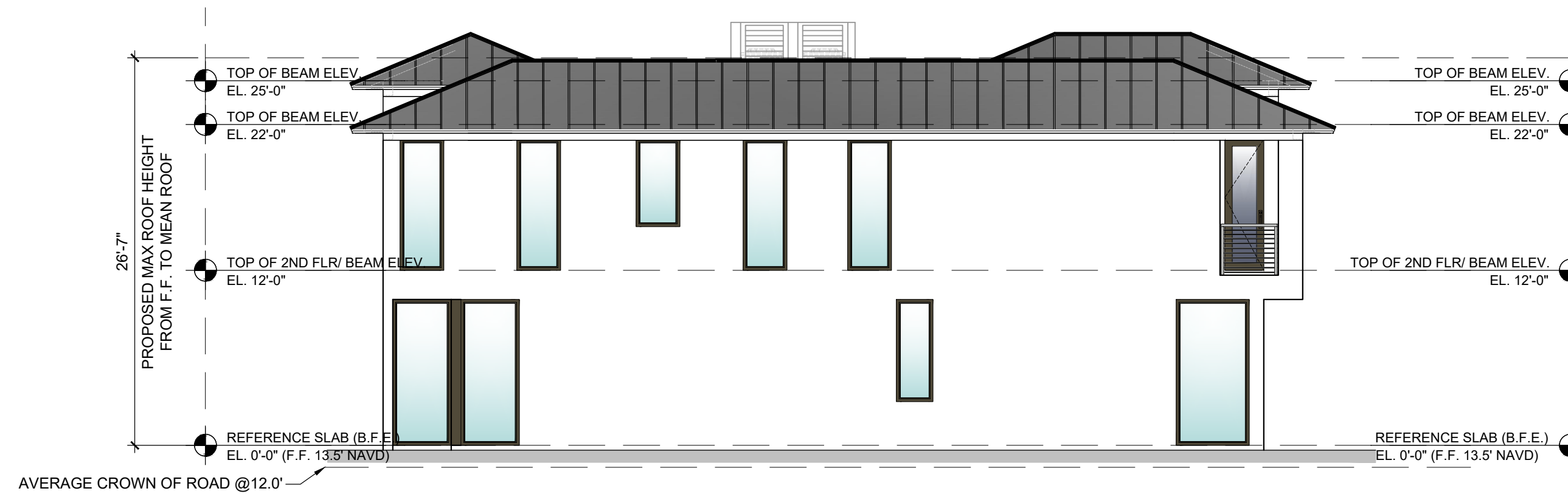
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1 OVERALL FRONT ELEVATION
1/8"= 1'-0"



2 OVERALL SIDE ELEVATION
1/8"= 1'-0"



3 OVERALL REAR ELEVATION
1/8"= 1'-0"

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1 ENLARGED FRONT ELEVATION
1/4" = 1'-0"



2 ENLARGED REAR ELEVATION
1/4" = 1'-0"



1 OVERALL FRONT ELEVATION
1/8" = 1'-0"



2 OVERALL SIDE ELEVATION
1/8" = 1'-0"



3 OVERALL REAR ELEVATION
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1 ENLARGED FRONT ELEVATION
1/4" = 1'-0"



2 ENLARGED REAR ELEVATION
1/4" = 1'-0"

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BUILDING D

A304b

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REVISIONS	BY	DATE
△ SITEPLAN	ZF	02.23.24
△ FLOOR PLAN	GL	03.07.24
△ ELEVATIONS	GL	04.10.24
△ UPDATED SITE PLAN	GL	05.06.24
△ ELEVATIONS	GL	07.17.24
△ UPDATED SITE PLAN	GL	10.25.24
△ UPDATED SITE PLAN	GL	12.11.24
△ SITE PLAN REVIEW SUB.	GL	04.21.25
△ SITE PLAN REVIEW SUB.	GL	09.22.25
△ SITE PLAN REVIEW SUB.	GL	03.16.26
△ SITE PLAN REVIEW SUB.	GL	04.21.26

BLANK SPACE REQUIRED BY CITY OF DELRAY BEACH

SITE PLAN REVIEW SUBMITTAL 04-21-25

MULTIFAMILY
2419 N. FEDERAL HWY.
DELRAY BEACH, FLORIDA

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BUILDING

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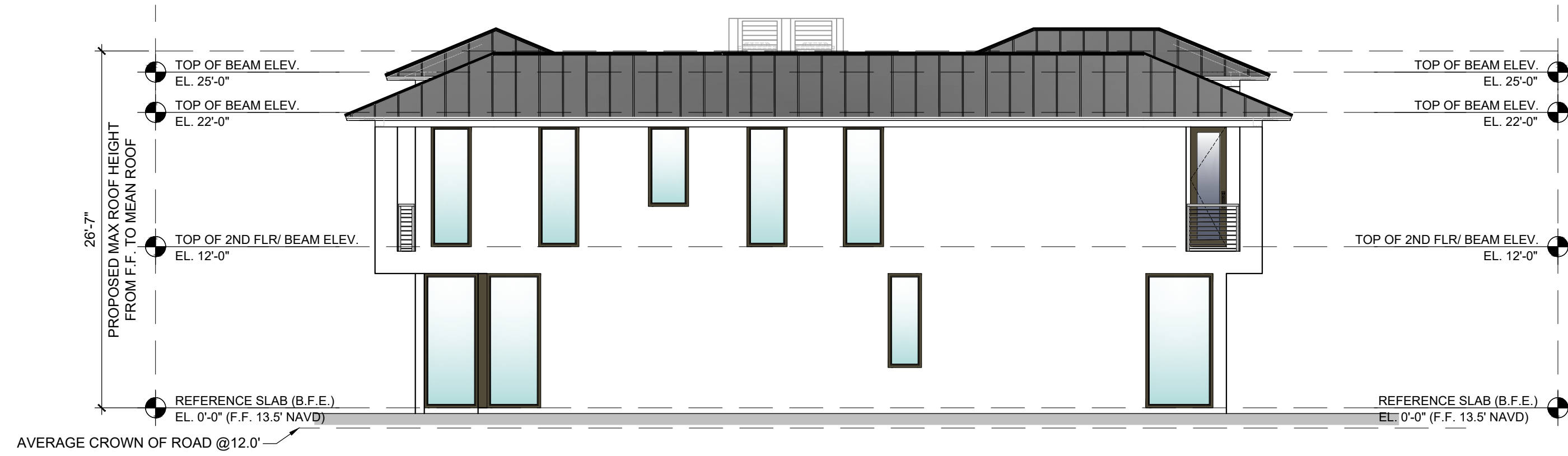
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A305a

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1 OVERALL FRONT ELEVATION
1/8" = 1'-0"



2 OVERALL SIDE ELEVATION
1/8" = 1'-0"



3 OVERALL REAR ELEVATION
1/8" = 1'-0"

REVISIONS	BY	DATE
△ SITEPLAN	ZF	02.23.24
△ FLOOR PLAN	GL	03.07.24
△ ELEVATIONS	GL	04.10.24
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△ SITE PLAN REVIEW SUB.	GL	09.22.25
△ SITE PLAN REVIEW SUB.	GL	03.16.26
△ SITE PLAN REVIEW SUB.	GL	04.21.26



1 ENLARGED FRONT ELEVATION
1/4" = 1'-0"



2 ENLARGED REAR ELEVATION
1/4" = 1'-0"

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△	GL	09.22.25
△	GL	03.16.26
△	GL	04.21.26

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SITE PLAN REVIEW SUBMITTAL 04-21-25

MULTIFAMILY
2419 N. FEDERAL HWY.
DELRAY BEACH, FLORIDA

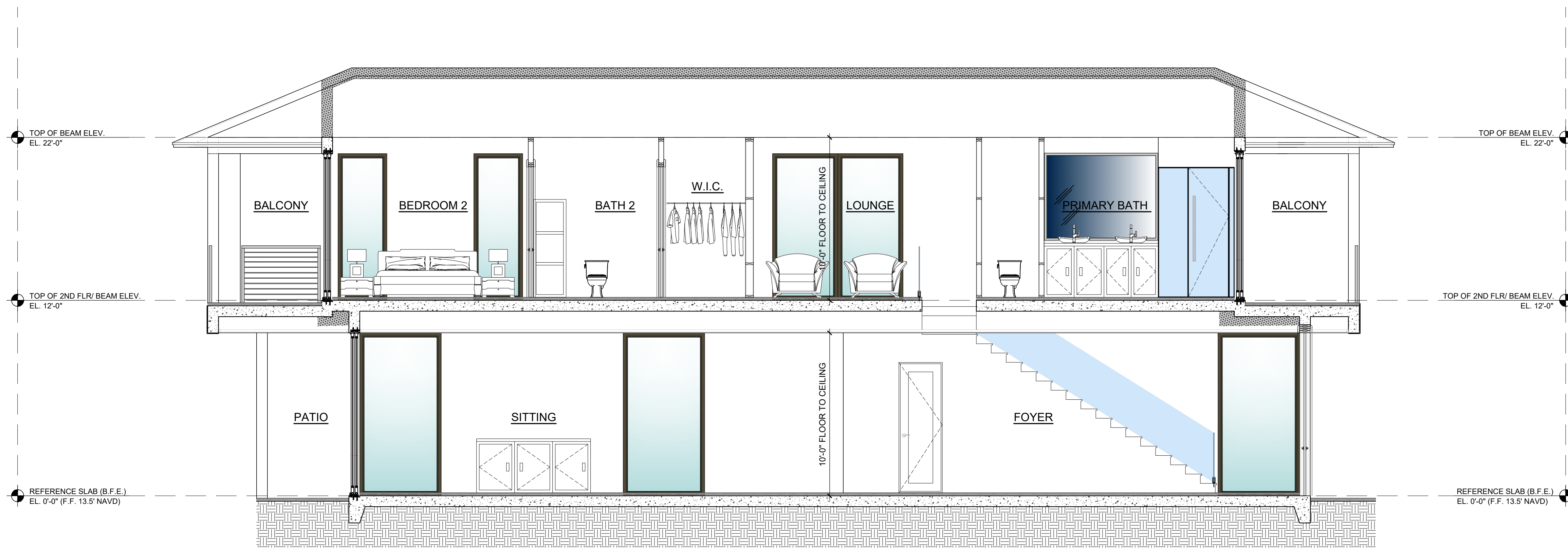
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1 BUILDING SECTION
1/4" = 1'-0"

A306

REVISIONS	BY	DATE
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△ FLOOR PLAN	GL	03.07.24
△ ELEVATIONS	GL	04.10.24
△ UPDATED SITE PLAN	GL	05.06.24
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△ SITE PLAN REVIEW SUB.	GL	03.16.26
△ SITE PLAN REVIEW SUB.	GL	04.21.26

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04-21-25

SITE PLAN REVIEW SUBMITTAL

TYPICAL THREE STORY SECTION

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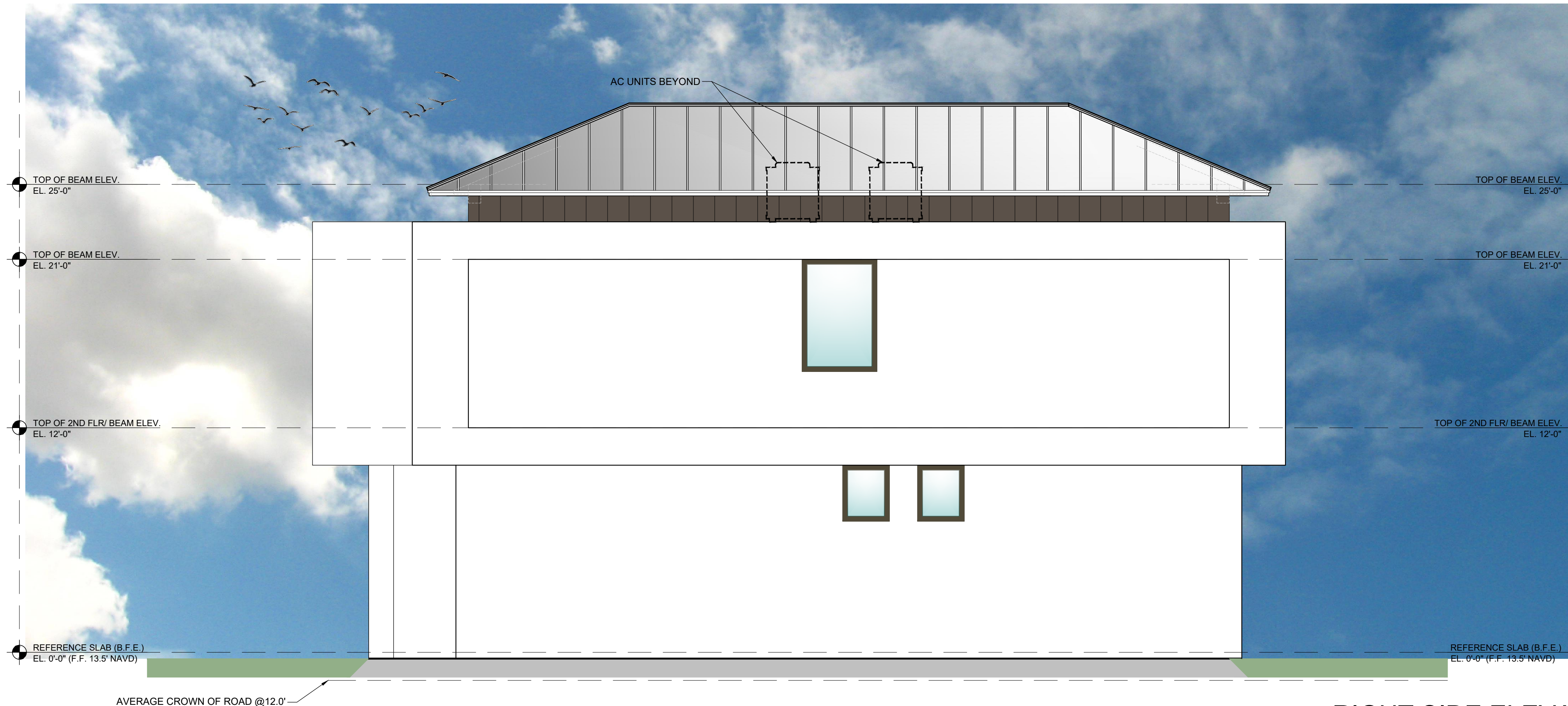


1 BUILDING SECTION
1/4" = 1'-0"

A307



1 FRONT ELEVATION
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

REVISIONS	BY	DATE
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△ SITE PLAN REVIEW SUB.	GL	03.16.26
△ SITE PLAN REVIEW SUB.	GL	04.21.26



3 REAR ELEVATION
1/4"= 1'-0"



4 LEFT SIDE ELEVATION
1/4"= 1'-0"

SITE PLAN REVIEW SUBMITTAL 04-21-25

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