



## HISTORIC PRESERVATION BOARD STAFF REPORT

### Upton Park - 103 NW 5th Avenue

Meeting	File No.	Application Type
May 7, 2025	2024-164	Level 2 Site Plan Modification, Certificate of Appropriateness, & Waiver

### REQUEST

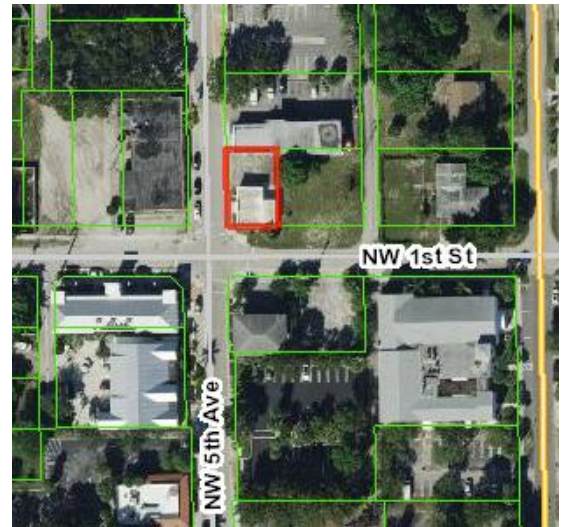
The item before the Board is consideration of a Level 2 Site Plan Modification, Certificate of Appropriateness, and Waiver (2024-164) request associated with alterations and construction of an addition to an existing one-story non-contributing commercial structure at the property located at 103 NW 5th Avenue to be known as Upton Park, within the West Settlers Historic District.

### GENERAL DATA

**Owner:** Romau, LLC  
**Agent:** Gareth Dunn  
**Location:** 103 NW 5th Avenue  
**PCN:** 12-43-46-16-01-027-0083  
**Property Size:** 0.9 acres  
**Zoning:** CBD (Central Business District)  
**Historic District:** West Settlers Historic District  
**Land Use:** Commercial Core  
**Adjacent Zoning:**

- East: CBD (Central Business District)
- North: (Community Facilities)
- West: CBD (Central Business District)
- South: CBD (Central Business District)

**Existing Use:** Commercial  
**Proposed Use:** Mixed-Use



### BACKGROUND AND PROJECT DESCRIPTION

The subject property consists of the west 51' of Lot 8, Block 27 and is zoned GC (General Commercial). Located at the northeast corner of NW 5<sup>th</sup> Avenue and NW 1<sup>st</sup> Street, the property contains a one-story 1,339 sq. ft., non-contributing commercial building within the West Settler's Historic District. Built in 1952 as a restaurant, the original 364 square foot building was designed by Samuel Ogren, Jr. In 1962 a larger addition was constructed. Presently, the building possesses minimal architectural merit with the exception of recent additions of the portico and decorative cornices along the building's facade. The commercial current use is a boxing gym.

At their meeting of July 18, 2001, the Historic Preservation Board (HPB) approved a site plan modification to construct a 165 sq. ft. addition at the northeast corner of the building and associated elevation changes that included the construction of a portico with columns and decorative cornices on the front facade. The addition and elevation changes completed; however, the addition was never constructed.

Project Planner:	Review Dates:	Attachments:
Katherina Paliwoda, Senior Planner, Paliwodak@mydelraybeach.com Michelle Hoyland, Principal Planner, HoylandM@mydelraybeach.com	HPB: May 7, 2025	1. Plans 2. Materials and Color Samples 3. Renderings 4. Justification Statements

At its meeting of June 4, 2003, HPB approved the Certificate of Appropriateness (2003-240) request for the installation of a free-standing monument sign.

On October 20, 2021, Staff administratively approved Certificate of Appropriateness (2021-017) request for a color change for the property. Specifically, the revised approval is as follows:

- Yellow - Behr “Polka Dot Skirt” (P280-3) – Walls; and,
- Black - Behr “Pure Black” (8620) – Windows, Door trim, and Fascia

The subject request is a Level 2 Site Plan Modification, Certificate of Appropriateness, and Waiver request for alterations and construction an addition as follows:

- Alterations of the existing 1,339 sq. ft. structure including new arcades and façade changes on the west and south sides of the existing structure;
- Proposed ground floor additions on the north, west, and south sides of the existing structure;
- Proposed 6,086 sq. ft. second floor addition above the existing one-story non-contributing commercial structure consisting of three residential units with rooftop terraces;
- Waiver request to allow a reduction in the required minimum rear (east) setback from the required 10-15’ to 5’1” – 5’7”; and,
- Landscaping and hardscaping.

The request is now before the board.

#### REVIEW AND ANALYSIS

**LDR Section 2.4.10(A)(1)(b), Level 2. Level 2 Site Plan applications include new construction, additions to an existing building, or the conversion of an existing single-family residence or duplex, consisting of no more than a total of five dwelling units for multi-family residential development or 15,000 gross square feet of mixed-use or non-residential development.**

The project is being reviewed and processed as a Level 2 Site Plan Modification. The proposal involves an increase to the building size via additions to the existing commercial structure, which will contain additional ground floor commercial space and three new second floor residential units with rooftop terraces. A setback waiver is also proposed, review of which is by the Historic Preservation Board. The overall project will contain a total of 9,824 square feet.

**LDR Section 2.4.10(A)(3)(b), Findings. All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.**

- **Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.**

The proposal is for exterior alterations and additions to an existing one-story non-contributing commercial structure. A review of the Performance Standards can be found later in this report.

**Pursuant to Land Development Regulation (LDR) Section 2.4.10(A)(3)(d), Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable.**

Pursuant to Land Development Regulation (LDR) Section 2.4.12(A)(5), prior to approval, a finding must be made that any Certificate of Appropriateness is consistent with Historic Preservation purposes pursuant to Objective HPE 1.4 of the Historic Preservation Element of the Comprehensive Plan; the provisions of Section 4.5.1; the Delray Beach Historic Preservation Design Guidelines; and, the Secretary of the Interior's Standards for Rehabilitation.

#### **ZONING AND USE REVIEW**

Pursuant to LDR Section 4.4.13 – The Central Business District (CBD) is established to preserve and protect the cultural and historic aspects of downtown Delray Beach and simultaneously provide for the stimulation and enhancement of the vitality and economic growth of this special area.

Pursuant to LDR Section 4.4.13(A)(3) – West Atlantic Neighborhood Sub-district. The West Atlantic Neighborhood Sub-district regulations are intended to be consistent with the adopted West Atlantic Avenue Redevelopment Plan and the Downtown Delray Beach Master Plan. The emphasis of these regulations is on the preservation and enhancement of existing neighborhoods, while promoting a pedestrian friendly commercial area along West Atlantic Avenue that contains a mix of residential, commercial and civic functions. Businesses that are oriented toward serving the local neighborhood, as opposed to a regional area, are encouraged. Density incentives are available for redevelopment in this Sub-district to promote the inclusion of workforce housing.

Pursuant to LDR Section 4.4.13(B)(5) – West Atlantic Neighborhood Commercial Area. The location of commercial uses is limited within the West Atlantic Neighborhood Sub-district to protect established residential areas from commercial intrusion.

The subject property is subject to compliance with those additional regulations noted in the LDRs and required for this area. The proposed commercial and residential uses are permitted within the subject LDR Section.

Pursuant to LDR Section 4.4.13(C)(3)(c) Allowable Uses, Required Retail Frontage Use Limitations - West Atlantic Neighborhood Sub-district, At least 50 percent of the building frontage of the sidewalk level story shall be for General retail uses and/or facilities, except that sales of automotive parts, lawn care equipment, firearms, or second hand material (other than verifiable antiques) are not permitted and Services and facilities. Up to 50 percent of the building frontage of the sidewalk level story may be for business, professional, and medical uses/offices; more than 50 percent may be approved as a Conditional Use.

The proposal involves the construction of additions to an existing non-contributing commercial building, which will contain commercial uses (Retail and Services & Facilities) on the ground floor and three new second-floor residential units with rooftop terraces. The existing one-story structure contains a service use (boxing gym) to which the proposed ground floor addition on the north side of the building will contain retail use. The proposed uses are permitted within the CBD zoning district.

Pursuant to LDR Section 4.4.13 properties located within the CBD zoning district shall be developed according to the requirements noted in the chart below.

The proposal is in compliance with the applicable requirements, or a waiver has been requested.

DEVELOPMENT STANDARDS	REQUIRED/ PERMITTED	EXISTING	PROPOSED
Required Setbacks:			
Front (West)	10' Min./15' Max	4'10"	0'3"-11'4" **
Side Interior (North)	0' Min./5' Max	1'5"	1'1 ½"
Side Street (South)	10' Min.	12'6"	9'3"-14'3" **
Rear (East)	10' Min.	31'7"	5'1" – 5'7"
Building Height:	35' Max (3 stories)	12' (1-story)	35' (2-stories)
Minimum Lot Size:	2,000 sq. ft.	3,902 sq. ft.	3,902 sq. ft.
Minimum Lot Width & Frontage:	20' (75%)	51'/77.5' (60%)	51'
Minimum Lot Depth:	N/A	76.5'	76.5'
Open Space	N/A	503 sq. ft. (12.9%)	574 sq. ft. (14.9%)
Floor Area Ratio (Per the Comprehensive Plan – Neighborhood, Districts, & Communities Policy)	3.0	.34	2.52

\* Proposed Waiver

\*\*Encroachment of setback permitted for Arcade frontage

Pursuant to LDR Section 4.4.13(C)(4)(h) Rooftop Terraces. Uses- Rooftop terraces may be used for outdoor dining, open-air lounges, exercise and fitness activities (both as principal or accessory uses), rooftop gardens, urban agriculture, and recreational amenities.

For properties adjoining or separated by an alley from a residential zoning district, OSSHAD, or an existing residential use, rooftop terrace design shall provide screening at least six feet in height along the adjoining perimeter to limit oversight into residential properties. Privacy screening shall not extend above 60 feet and may consist of a parapet, landscape, railings, etc.

Railings or parapets shall be a minimum of four feet in height, consistent with proposed architectural style, and provided for the full perimeter of rooftop terrace. Railing and parapet height may not extend beyond the maximum building height of 60 feet.

The proposed second story residential addition contains a three new units with individual unit rooftop terraces that include a sun deck with fire pit, a covered lounge area, and a summer kitchen. There are both metal railings and parapet walls surrounding the rooftop that meet the 4' height requirement and planter areas. Also, as there are three proposed residential units that will be adjoined, there is an additional 8' wall and landscaping between the terraces to provide privacy screening. Therefore, request meets the requirements of this section.

#### **FRONTAGE STANDARDS, MINIMUM STREETSCAPE WIDTH**

Pursuant to LDR Section 4.4.13(E), Frontage Standards define architecture and design components for the entrance(s) to buildings and the area between building facades and streets.



Building setbacks and other development standards are coordinated with street cross-sections to ensure a superior public realm result, improving both the overall visual appearance and multi-modal uses of downtown streets.

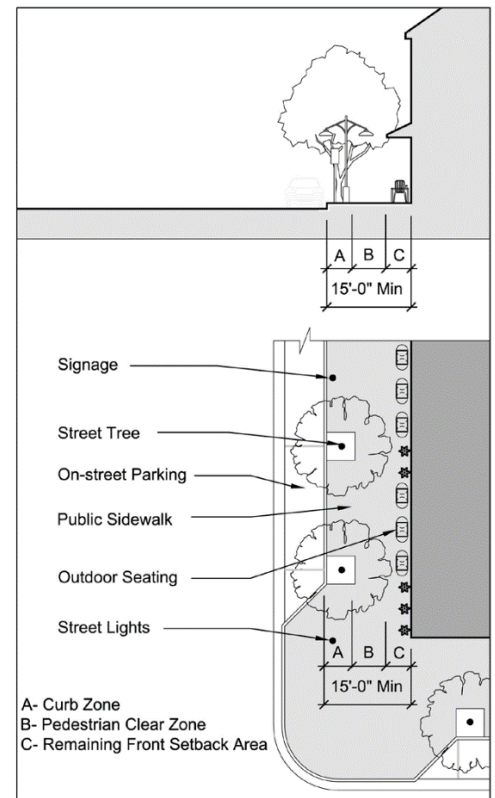
(1) **Frontage standards and allowable uses.** The use of the ground story is an important factor in streetscape design and appropriate frontage types. For the purposes of Frontage Standards, unless otherwise specified, residential uses are single-family homes, townhomes, multi-family residential dwellings, assisted living facilities that do not comport with the definition of "community residence", nursing homes, continuing care facilities, community residences, and large family childcare homes and live/work uses. All other uses are considered to be "commercial uses" for the purposes of this section.

(2) **Streetscape standards.** Front setback areas, which include side setback areas facing streets, shall be detailed to augment public right-of-way design, to establish shaded, continuous routes for pedestrians, and to organize landscaping and other elements to ensure a superior public realm.

(a) **Minimum Streetscape Width.** The combination of public sidewalk (located within the right-of-way) and hardscape (located in front setback areas) shall provide a minimum streetscape area no less than 15 feet in width, measured from the back of curb. The streetscape area shall be organized as follows:

1. **Curb zone.** The curb zone shall be at least four feet wide, measured from the back of curb to the pedestrian clear zone. This zone accommodates street trees and public infrastructure needs such as utility poles, street lights, street signs, parking meters, etc. These elements shall be located as close to the curb as possible; signs and parking meters shall be consolidated as much as possible. Space for pedestrian use is also accommodated in the curb zone. See Figures 4.4.13-E-1 and 4.4.13-E-2.

2. **Pedestrian clear zone.** A continuous pedestrian clear zone shall be provided on all streetscapes (See Figures 4.4.13-E-1 and 4.4.13-E-2). Any portion of the pedestrian clear zone within the front setback area shall be improved as an extension of the public sidewalk and shall match the public sidewalk in design and material, providing a seamless physical transition. A sidewalk easement, in a form acceptable to the City Attorney, over any portion of the pedestrian clear zone located within the front setback shall be granted to the City. The property owner shall also be required to enter into a maintenance agreement, in a form acceptable to the City Attorney, requiring the property owner to be responsible for and maintain any improvements made or installed by the owner to meet the requirements of this section. The sidewalk easement and maintenance agreement



require City Commission approval subsequent to site plan approval and shall be recorded prior to site plan certification.

- a. The minimum width of the pedestrian clear zone in the Central Core, Beach, West Atlantic Neighborhood and Railroad Corridor Sub-districts is six feet.
  - b. The minimum width of the pedestrian clear zone on Primary Streets in the South Pairs Neighborhood Sub-district is 10 feet and the minimum width of the pedestrian clear zone on all other streets in the Sub-district is six feet.
3. Remaining front setback area. Any remaining front setback area within the 15-foot wide minimum streetscape shall be detailed appropriately for the ground story use of the building (See Figures 4.4.13-E-1 and 4.4.13-E-2):
- a. Commercial uses. Buildings with retail or commercial uses in the ground story shall detail and design any remaining front setback area within the 15-foot wide minimum streetscape area using a hardscape design. This portion may be used to accommodate outdoor dining areas, subject to Section 6.3. Landscaping comprised of plants in removable planters, palms and/or ground planting may be installed adjacent to the building provided views into storefront windows are not obstructed.
  - b. Residential or hotel uses. Buildings with residential or hotel uses in the ground story shall detail and design any remaining front setback area within the 15-foot wide minimum streetscape area using hardscape or foundation planting landscaping. The encroachment of porches or stoops in this area may be permitted, pursuant to Section 4.4.13(E)(4).

The subject property has frontage along NW 5<sup>th</sup> Avenue (west side) and NW 1<sup>st</sup> Street (south side). There is a five-foot right-of-way dedication required along NW 5<sup>th</sup> Avenue. Additionally, since the Pedestrian Clear Zone encroaches onto the property along NW 5<sup>th</sup> Avenue and SW 1<sup>st</sup> Street, a Pedestrian Clear Zone Easement will need to be submitted for review by the City Attorney and approved by the City Commission. This item is attached as a Site Plan Technical Item. It is also noted that there is an existing terrazzo material along the sidewalks of NW 5th Avenue and partially along the side of NW 1<sup>st</sup> Avenue. This material will and design style will be retained (see image below).



Pursuant to LDR Section 4.4.13(E)(2)(b) Street trees. Street trees are intended to provide a shaded environment for the pedestrian, provide a physical separation between pedestrians and vehicles, improve the overall visual appearance of the street, and reduce urban heat island effects.

The subject request includes an arcade with storefront frontage, to which the street trees are not required. However, the proposal includes three (3) Japanese Blueberry Trees on the south of the property within landscape islands in the adjacent right-of-way.

It is noted that the property owner shall be required to enter into a maintenance agreement, in a form acceptable to the City Attorney, requiring the property owner to be responsible for and maintain any tree grates, irrigation, and landscaping installed by the property owner to meet the requirements of this section. This is included as a site plan technical item.

### **FRONTAGE TYPES**

Pursuant to LDR Section 4.4.13(E)(4)(e), Frontage Types, Storefront, the storefront is a frontage type along sidewalk level of the ground story, typically associated with commercial uses. The table below, as regulated by Table 4.4.13(I), provides the dimensional requirements for all elements contained in a storefront and identifies compliance with the requirements:

Storefronts	Minimum Required	Maximum Allowed	Proposed
Building Setback	10'	15'	15'
Storefront Width	N/A	75' on Required Retail Street	59' 11 1/2" -West 24'7" - South
Storefront Base	9"	3'	2'
Glazing Height	8'	---	10'2"
Required Openings	80%	----	80.86%

Pursuant to LDR Section 4.4.13(E)(4)(f), An Arcade is a covered, unglazed, linear hallway attached to the front of a building, supported by columns or pillars. The arcade extends into the public right-of-way, over the streetscape area, creating a shaded environment ideal for pedestrians. This frontage type is typically associated with commercial uses.

1. ***Arcade dimensions.*** Table 4.4.13(J) provides the dimensional requirements and the maximum allowable encroachment permitted (see below). Figure 4.4.13-E-13 illustrates the dimensional requirements and Figure 4.4.13-E-14 provides a character example.

Arcade Dimensions	Minimum	Maximum	Proposed
Building Setback	Varies	15'	15'
Arcade Depth	10'	20'	10'
Arcade Height	10'	20'	12'
Column/Pillar to Face of Curb	2'	5'	4'
Column/Pillar Width and Depth	1'	--	1'3"

Figure 4.4.13-E-13 Arcade Frontage Type



Figure 4.4.13-E-14 Arcade Character Example



- a. Arcades shall extend over the sidewalk. A sidewalk should not run parallel to an arcade, allowing pedestrians to bypass storefront windows.
- b. Use of the arcade on local streets requires entering into a right-of-way agreement, in a form acceptable to the City Attorney, with the City. The City Commission shall determine in its sole and absolute discretion whether to approve or deny an agreement, which shall be based upon a determination of whether the arcade is in the best interest of the general public. This agreement shall establish liability, indemnification, and insurance responsibilities in a form acceptable to the City. For County, State, and Federal roads, agreements with the appropriate agencies and the City shall be required.
- c. Arcades shall have a clear depth between the interior face of the columns and the building facade of at least ten feet and no more than 20 feet. If the distance between the property line and the face of curb is not sufficient to accommodate the minimum depth of ten feet required for an arcade, or, if the distance between the property line and the face of curb is deep enough that using the required building setback results in an arcade with a clear depth greater than 12 feet, the front setback may be administratively adjusted by the Development Services Director, taking into consideration the ultimate location of the face of curb. If determined necessary by the City, the property owner shall grant a pedestrian and underground utility easement to the City, in a form acceptable to the City Attorney, on the applicant's property to reach ten feet of clear depth.
- d. Arcade ceilings shall be designed with coffers or exposed beams extruding at least six inches, aligned with columns or pillars. Arcades shall have a clear height above the sidewalk of at least ten feet and no more than 20 feet.
- e. Support columns or pillars shall be at least 12 inches wide and deep. See Section 4.6.18(B)(14)(iii). Columns and pillars shall be placed two to five feet from the face of the curb.
- f. The arcade area extending over the public right-of-way may contain a second story or incorporate roof terraces; additional stories are not permitted.

## 2. Arcade elements

- a. Arcades shall be combined with storefronts.

- b. The height and proportions of the arcade shall be consistent with the architecture and proportions of the building to which it is attached.
- c. Potted landscaping or ground planting shall be provided between the face of the columns or pillars and the face of curb.
- d. Lighting shall be incorporated into arcades to meet CPTED principles.

The subject proposal includes arcade with storefront frontage along the south and west facades which extend over the public right-of-way and contain a second story for use with the residential use. The proposal meets the design requirements for arcades. It is noted that since the arcade on the south side of the structure extends into SW 1<sup>st</sup> Street a right-of-way agreement acceptable to the City Attorney will need to be submitted and approved by the City Commission. This item is attached as a Site Plan Technical Item.

### **ARCHITECTURAL STANDARDS**

Pursuant to LDR Section 4.4.13(F), Architectural standards. To ensure high quality architecture in the downtown area, the following architectural standards apply to all buildings in the Central Business District Sub-districts and in the OSSHAD with CBD Overlay. In addition to the standards in Section 4.6.18, the following standards apply in all CBD Sub-districts.

The architectural standards include façade composition, appropriate architectural styles, walls, openings, roofs, elements, parking garages, reduction of urban heat islands, and green building practices. In addition to the architectural standards, the architectural style must adhere to the Delray Beach Architectural Design Guidelines, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Historic Preservation Visual Compatibility Standards due to its location within a Historic District.

Pursuant to LDR Section 4.4.13(F)(6)(d)&(e) Flat roofs shall be screened from adjacent properties and streets with decorative parapets. The maximum height of the parapet wall shall be six feet in height or sufficient height to screen all roof mounted equipment, whichever is greater, measured from the top of the roof deck to the top of the parapet wall. Exception to the height requirements shall be pursuant to Section 4.3.4(J)(3).

**Roof mounted electrical, mechanical, air conditioning, and communication equipment shall be completely screened from adjacent properties and streets.**

The proposed rooftop terraces are expected to be appropriately screened as the parapet and aluminum railings are four feet tall and the interior parapet walls will be eight feet walls to separate the adjoining residences. The rooftop will include A/C units which will be screened from the public right-of-way and adjacent residences.

### **GREEN BUILDING REQUIREMENTS:**

Pursuant to LDR Section 4.4.13(F)(9) Reduction of Urban Heat Islands. To reduce urban heat islands for both roofed and non-roofed areas, the following standards shall apply to building and site design:

**Non-roofed: Provide landscaped or vegetated shade (within five years of planting) on at least 30 percent of non-roofed surfaces on the side, including parking lots, walkways, plazas, etc.; or use light-colored/high-albedo materials (reflectance of at least 0.3) for 30 percent of the site's non-roofed impervious surfaces; or, use open-grid pavement system (net impervious area of less than 50 percent) for a minimum of 50 percent of the parking lot area.**



**Roofed:** Use Energy Star roof-compliant, high-reflectance and high emissivity roofing based on the specifications of Low-Sloped Roofs (pitch: up to 2:12) and Steep-Sloped Roofs (pitch: greater than 2:12) or install a "green" (vegetated) roof for at least 50 percent of the roof area.

The subject request includes a rooftop terrace that contains covered areas and landscaping which meets the minimum requirements at 10.14% (276 sq. ft.). However, the applicant has not specified how the rooftop materials will meet this requirement, this is included as a site plan technical item.

### **PARKING**

**LDR Section 4.4.13(I)(2)(d) Minimum number of off-street parking spaces** -Properties less than 65 feet in width with a building no more than two stories in height are not required to provide off-street parking, except for restaurant and lounge uses. Properties less than 65 feet in width with a building more than two stories in height shall provide the full parking requirement for all uses in all stories.

The subject property is 51 feet wide and the proposal includes a second story addition to the existing one-story structure with rooftop terraces; thus, the request is not required to provide parking.

### **BICYCLE PARKING**

**Pursuant to LDR Section 4.4.13(I)(4)(a)(3) Minimum Number of Bicycle Parking Spaces – Bicycle parking requirements are applied to new development, expansion of an existing use, and changes of use.**

**Pursuant to LDR Section 4.4.13(I)(4)(a)(3)(b)(1)(a)-(c) Design and location:**

- a. Provided in a safe, accessible and convenient location within 300 feet of a main building entrance; when there is more than one building entrance, bicycle parking shall be distributed to serve all entrances.
- b. If bicycle parking is proposed within the minimum streetscape area (see Section 4.4.13(E)(2)), it shall not encroach within the minimum pedestrian clear zone.
- c. If bicycle parking is proposed within the right-of-way, a maintenance agreement (in a form acceptable to the City Attorney) is required.

A minimum number of 1 bicycle parking space is required in the CBD for this property. The proposal will include one city standard bicycle rack, which holds 2 bicycles to be placed in the front west side of the property.

## **ARTICLE 4.6 SUPPLEMENTAL DISTRICT REGULATIONS**

### **LIGHTING**

**Pursuant to LDR Section 4.6.8 – Lighting:** All developments/redevelopments are encouraged to utilize energy efficiency lighting. The maximum height for luminaires on buildings and structures is 25' or eave overhang, whichever is lower, and 25' for a parking lot. All perimeter exterior lighting shall be full cutoff luminaires to minimize spillover on adjacent properties. In order to decrease urban glow, no luminaries shall be directed upwards.

**Pursuant to LDR Section 4.6.8 – Requirements for outdoor parking and commercial sites:** Light control and spillage. For perimeter exterior lighting, only full cutoff luminaires will be approved. The applicant is encouraged to minimize light spillage from building and site and to reduce urban glow for the development/redevelopment proposed. Maximum allowable illumination at the property line of any adjoining parcel or public right-of-way is 0.25 horizontal and vertical foot-candles measured at six feet above grade level.

A Photometric Plan has been submitted; however, it does not comply with the Lighting regulations. The photometric plan is required to show existing and proposed illumination for the storefront on the west side of the building fronting NW 5<sup>th</sup> Avenue, as well as show a maximum spillage of .25 on the south side of the property line fronting NW 1<sup>st</sup> Street. This has been added as a site plan technical item.

### **PUBLIC INFRASTRUCTURE**

Pursuant to LDR Section 6.1.2(A) Infrastructure and Public Property – Improvement Obligations, Concurrent, or prior to construction associated with an approved development application, the development shall provide for the construction of improvements as identified in Section 5.3.1(C) and off-site improvements to the following extents:

Pursuant to LDR Section 5.3.1(C) - Standard improvements, The standard improvements which are to be accommodated in street right-of-way are:

- Travel lanes, including turning lanes
- Parking lanes, where appropriate;
- Drainage devices either curb and gutter or swale systems;
- Pedestrian ways (sidewalks);
- Bicycle lanes or paths, where appropriate.

Such improvements shall be provided in accordance with design standards set forth in Section 6.1.2 and 6.1.3.

Pursuant to LDR Section 5.3.1(D)(4) - Additional right-of-way width may be required to promote public safety and welfare; to provide for stormwater management; to provide adequate area for street trees; and to assure adequate access, circulation, and parking in high intensity use areas. Such a determination shall be advanced by a recommendation from the City Engineer and may be based upon the results of a traffic study or general knowledge of the City. The authority for requiring such additional right-of-way shall rest with the body having the approval authority of the associated development application.

A 5' right-of-way dedication is required for NW 5<sup>th</sup> Avenue. The dedications must be completed prior to the submittal of a building permit. This has been added as a site plan technical item.

### **REFUSE CONTAINER AREA**

The project proposes a refuse area on the north side of the property which will be enclosed with a five-foot high wall on the east side of the area, landscaping on the north side and a wood gate on the west side, facing the front of the property.

## **LANDSCAPE ANALYSIS**

**Pursuant to Land Development Regulation (LDR) Section 2.4.10(A)(3)(c), Findings.**

Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

Pursuant to LDR Section 4.6.16 – **Landscape Regulations** – The provisions of this Section are minimum standards which may be increased in accordance with the guidelines contained herein as well as aesthetic criteria established by the Site Plan Review and Appearance Board and the Historic Preservation Board when applicable. Additional landscape requirements may



be required for certain zoning districts and roadways as provided for elsewhere in these regulations.

The ground floor landscaping and landscaping within the adjacent rights-of-way have been designed to accommodate the proposed arcades and streetscape requirements. With regard to the rooftop terrace, the outer areas will be screened with planters that contain a variety of shrubs to meet the requirements for rooftop terrace screening. Overall, the landscape plans for the proposed site have been reviewed by the Senior Landscape Planner and can be determined to be in compliance with the code.

## HISTORIC PRESERVATION ANALYSIS

### **LDR SECTION 4.5.1**

#### **HISTORIC PRESERVATION: DESIGNATED DISTRICTS, SITES, AND BUILDINGS**

Pursuant to LDR Section 4.5.1(E), Development Standards, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

#### **Pursuant to LDR Section 4.5.1(E)(2) – Minor Development.**

The subject application is considered "Minor Development" as it involves "The construction, reconstruction, or alteration of more than 25 percent of the existing floor area of the building and all appurtenances within the Central Business District."

**Pursuant to LDR Section 4.5.1(E)(3)(a)(1.) (d) – Buildings, Structures, Appurtenances and Parking:** Buildings, structures, appurtenances and parking shall only be moved, reconstructed, altered, or maintained, in accordance with this chapter, in a manner that will preserve the historical and architectural character of the building, structure, site, or district:

**Appurtenances:** Appurtenances include, but are not limited to, stone walls, fences, light fixtures, steps, paving, sidewalks, signs, and accessory structures.

**Fences and Walls:** The provisions of Section 4.6.5 shall apply, except as modified below:

- a. Chain-link fences are discouraged. When permitted, chain-link fences shall be clad in a green or black vinyl and only used in rear yards where they are not visible from a public right of way, even when screened by a hedge or other landscaping.
- b. Swimming pool fences shall be designed in a manner that integrates the layout with the lot and structures without exhibiting a utilitarian or stand-alone appearance.
- c. Fences and walls over four feet (4') shall not be allowed in front or side street setbacks.
- d. Non-historic and/or synthetic materials are discouraged, particularly when visible from a public right of way.
- e. Decorative landscape features, including but not limited to, arbors, pergolas, and trellises shall not exceed a height of eight feet (8') within the front or side street setbacks.

The project proposes a refuse area on the north side of the property which will be enclosed with a five-foot high wall on the east side of the area, landscaping on the north side and a wood gate on the west side, facing the front of the property. The proposal meets the requirements of this code.

## **SECRETARY OF THE INTERIORS STANDARDS**

Pursuant to LDR Section 4.5.1(E)(5) - Standards and Guidelines: a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

### **Standard 1**

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

### **Standard 2**

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

### **Standard 3**

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

### **Standard 4**

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

### **Standard 5**

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

### **Standard 6**

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

### **Standard 7**

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

### **Standard 8**

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

### **Standard 9**

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**Standard 10**

**New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

**Standards 9 and 10** are applicable. The existing non-contributing structure was constructed as a commercial building and will continue to maintain its original use as a boxing gym with the addition of storage space for the gym, a retail space, and three upper floor residential units with rooftop terraces. The proposed architectural style for the structure is Art/Streamline Moderne, and a single structure exists in the Art Deco style within the West Settlers Historic District. The structure represents a modest approach to the style, with simple architectural detailing. The proposed structure is a more elaborate approach to the style, primarily in the building articulations and architectural detailing. The Streamline Moderne style was created in the 1930s as a more simplified version of the Art Deco architectural style that appeared in the 1920s. While the Art Deco style emphasized vertical lines and elements, Streamline emphasized a more horizontal approach to the style. The overall appearance of Streamline Moderne was very clean and smooth without any harsh corners on the building.

The additions will be constructed from CBS block with smooth stucco walls. Decorative elements on the exterior will use raised smooth textured stucco and decorative metal grills. Windows will be white aluminum framed with clear glass, and railings will also be white aluminum. There are no concerns with any of the proposed materials as they can be considered appropriate to the property and the historic streetscape.

**Pursuant to LDR Section 4.5.1I(7) – Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures, and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1I(2) shall be determined by utilizing criteria contained in (a)-(m) below.**

- a. Height:** The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.1I(2)(a), shall also be determined through application of the Building Height Plane.
- b. Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- c. Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.

- d. **Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- e. **Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- f. **Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- g. **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- h. **Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- i. **Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
- j. **Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:
  - a. For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line:
  - b. For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line:
- k. **Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
- l. **Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.
- m. **Additions to individually designated properties and contributing structures in all historic districts:** Visual compatibility shall be accomplished as follows:
  - 1. Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.
  - 2. Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.
  - 3. Characteristic features of the original building shall not be destroyed or obscured.

4. **Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.**
5. **Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design but shall be coherent in design with the existing building.**
6. **Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.**

With regard to **Height**, the second-floor addition, there are existing contributing commercial structures within the historic streetscape that are also at the 2-story level, so there are no concerns with regard to the height of the residential additions.

With regard to **Relationship of Materials, Texture, and Color**, the proposed ground floor and 2<sup>nd</sup> floor additions will be constructed out of CBS with a smooth stucco material with raised smooth stucco bands to create horizontal band designs throughout the structure. Additional design elements include decorative metal grills and entry gate, horizontal metal railings, stucco columns, and concrete eyebrows. Exterior walls will be painted white with two accent colors of Benjamin Moore – Palace Blue (CW 605) and Cranberry Cocktail (2083-20). Windows and doors will be white aluminum with clear glass. Proposed railings throughout the structure will be white aluminum.

Regarding the **Front Façade Proportion**, new arcades are proposed on the front (west) and side (south) of the property and will be the first arcades to exist within the West Settlers Historic District. The arcades will provide shaded walkways forward of the buildings storefronts. The walkways will utilize the same terrazzo material and design that currently exists in front of the property and along NW 5<sup>th</sup> Avenue. Additionally, the proposal includes the construction of landscaping within the adjacent rights-of-way, to ensure compatibility with the historic streetscape.

Regarding **Roof Shapes**, the proposed material will be a flat roof with modified bitumen with a built-up wooden deck for the rooftop terrace. The proposal also includes covered rooftop areas and decorative tile walls adjacent to the proposed outdoor kitchen areas.

Regarding **Rhythm of Solids to Voids**, the proposed structure consists of arcades with storefront windows and doors on the ground floor, meeting the storefront requirements of the CBD. Particular attention has been paid to the front facades along NW 5<sup>th</sup> Avenue and NW 1<sup>st</sup> Street in that the design of the structure can be considered visually compatible with the historic district.

- a. **Proportion of Openings (Windows and Doors): The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.**

The **Proportion of Openings (Windows and Doors)** is visually compatible with the styles of similar buildings within the historic district as other commercial structures exist in the area with storefronts. With respect to the upper floor residential units, the window proportions are a bit larger than the prevailing style for other multi-family residential uses but are consistent with the proposed window opening for the overall structure. It is noted that the north side of the building only consists of two window openings, given its close proximity to an adjacent two-story structure. The openings on the rear

of the structure can be considered appropriate for the structure and the district, which include windows, balcony recesses, and decorative metal detailing.

As for the proposed **Additions** and **Architectural style**, the existing structure is non-contributing to the historic district. The existing structure does not possess architectural features that would be considered contributing to the district in the future, largely due to the fact that the façade of the structure has been altered. The proposed architectural style of Art/Streamline Moderne is a style within the historic period of significance for the historic district. The Streamline Moderne style was created in the 1930s as a more simplified version of the Art Deco architectural style that appeared in the 1920s. While the Art Deco style emphasized vertical lines and elements, Streamline emphasized more horizontal style. The overall appearance of Streamline Moderne was very clean and smooth without any harsh corners on the building. According to the 1997-2000s Resource Survey for the West Settlers Historic District, there is only one structure existing in the Art Deco architectural style existing within the district. The 1946 structure is located at 53 NW 5<sup>th</sup> Avenue and was known as The Green Inn. The building's style includes a stepped central parapet, block glass windows, and clean lines that are significant to the Moderne style. The structure, as with most structures within the West Settlers Historic District, had modest designs which differentiated the community from its adjacent neighbors where architectural styles were designed with larger more elaborate elements.



The proposed Art/Streamline Moderne structure incorporates the softened corners and clean lines throughout the building along with some decorative metal features used over some of the residential windows and entrance gates. The three existing block glass windows on the side (east) elevation will be retained, where the existing one-story structure remains. The Art/Streamline Moderne architectural style is a more simplified version of Art Deco style; however the board must determine how appropriate and visually compatible the proposed Art/Streamline Moderne style is for the West Settlers Historic District.

#### ARCHITECTURAL ANALYSIS

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Historic Preservation Board (HPB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.

2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

A complete review of the elevations and aesthetics can be found in the Historic Analysis section of this report. The development proposal is also subject to the requirement for Visual Compatibility pursuant to LDR Section 4.5.1(E)(7), which provides for a specific analysis of the exterior of the proposal as it is situated within the West Settlers Historic District. As previously mentioned, the existing structure currently has no defined architectural style. Decorative elements that currently exist on the structure include the front portico with columns, decorative arched eyebrows over the windows, and block glass windows on the side (east) interior of the building. The proposed design of the structure is in the Art/Streamline Moderne style. The structure is considered a non-contributing resource to the West Settlers Historic District. The design of the existing building has been taken into account with the proposed modifications and the board will need to determine that the proposal meets the requirements of this code section.

**Pursuant to LDR Section 4.4.13(K)(3) Historic Preservation Board. Any development of properties located within a Historic District or Individually Designated Sites as listed on the Local Register of Historic Places in Section 4.5.1(I) is subject to review by the Historic Preservation Board (HPB), pursuant to Article 2.1. Architectural styles are determined by those which are both permitted in the CBD and identified as appropriate for the historic district based on the Period(s) of Significance per the adopted Ordinance.**

The proposed architectural style for the subject property is Art/Streamline Moderne. The Art Deco and Streamline Modern styles are found within the CBD and Art Deco can be found within the West Settlers Historic District, the request does not require a recommendation from HPB to City Commission for the approval of the proposed architectural style. Therefore, HPB would be the approving body to review and approve the style and ensure its compliance with the LDRs. The proposal incorporates architectural elements that can be considered in conformity with good taste, good design, and is anticipated to contribute to the improvements of the West Settlers Historic District.

#### **WAIVER ANALYSIS**

##### **CBD WAIVER CRITERIA:**

**Pursuant to LDR Section 2.1.9(E)(12)(h)- The Historic Preservation Board - Board Actions. The Board hereby has the authority to take action on the following items associated with property, sites, and structures located within a Historic District or for Individually Designated Sites as listed on the Local Register of Historic Places in Section 4.5.1(I), pursuant to the procedures and standards of the LDR:**

**(h) Waivers within the Central Business District.**

**Pursuant to 2.4.11(B)(4)(b)(2) Waivers on Historic Properties or Sites. For waiver requests, including those to the requirements of the CBD zoning district, the Historic Preservation Board (HPB) shall take final action on property under its purview.**



## **WAIVER REQUEST**

**Pursuant to LDR Table 4.4.13(C) - Rear Setback, the required rear setback is a minimum of 10'.** The subject waiver is to allow a reduction in the required rear (north) setback from 10' to 5'1" - 5'7" for the construction of a new addition for ground floor commercial use and second floor residential uses.

## **LDR FINDINGS:**

**a. Shall not adversely affect the neighboring area;**

The north side of the structure is considered the rear for setback purposes and currently exists at a 31' 8½" setback. The proposal is to provide a 5'1" - 5'7" setback on the rear (west) side of the property. The lot is only 51' x 76.50' and contains 3,902 sq. ft. The north side of the property is the only area on the small lot where an addition could be accommodated (aside from a vertical addition). Additionally, given the fact that the front of the property (for setback purposes) is technically SW 1<sup>st</sup> Avenue, the north side of the property serves as the rear. Yet NW 5<sup>th</sup> Avenue is the commercial corridor for the West Settlers Historic District, requiring a 10' setback on the north breaks the continuity of the commercial streetscape. Therefore, the design of the proposal provides a better pedestrian experience along NW 5<sup>th</sup> Avenue, by placing the buildings closer together, which is typical of downtown commercial areas. The board will need to make a determination that the proposed configuration will not adversely affect the neighboring area.

**b. Shall not significantly diminish the provision of public facilities;**

The subject request for relief is not anticipated to significantly diminish the provision of public facilities. The proposal does include the provision of arcades within the right-of-way on the south and west sides of the property, where the setback will also be reduced as requested. Public facilities will be accommodated as required by code.

**c. Shall not create an unsafe situation; and,**

The subject request is not anticipated to create an unsafe situation as the relief request specifically pertains to the north side of the property and will allow for a continuous pedestrian experience incorporated with the proposed arcade.

**d. Does not result in the grant of a special privilege in that the same waiver would be granted under similar circumstances on other property for another applicant or owner.**

The waiver request will facilitate the expansion of an existing commercial business within the West Settlers Historic District and is not expected to grant any special privileges in that the same waiver could be granted under similar circumstances.

## **Within the CBD, the following additional Waiver findings are applicable:**

**1. The waiver shall not result in an inferior pedestrian experience along a Primary Street, such as exposing parking garages or large expanses of blank walls.**

Given the fact that the front of the property (for setback purposes) is technically SW 1<sup>st</sup> Avenue, the north side of the property serves as the rear. Yet NW 5<sup>th</sup> Avenue is the commercial corridor for the West Settlers Historic District. Literal interpretation of the code requires a 10' setback on the north, which could break the continuity of the commercial streetscape and the pedestrian experience. The proposed design provides a better pedestrian experience along NW 5<sup>th</sup> Avenue, by placing the buildings closer together, which is typical of downtown commercial areas.

**2. The waiver shall not allow the creation of significant incompatibilities with nearby buildings or uses of land.**

As the subject request only affects north setback of the structure, and the proposed setback still permits enough space to accommodate refuse area and a/c equipment, there are no concerns

that the granting of this waiver would have a negative effect on any adjacent structures or uses of land.

**3. The waiver shall not erode the connectivity of the street and sidewalk network or negatively impact any adopted bicycle/ pedestrian master plan.**

The subject request proposes an arcade with storefront along NW 5<sup>th</sup> Avenue and NW 1<sup>st</sup> Street which ensures a walkable experience for pedestrians by not creating a large expanse or break in the streetscape.

**4. The waiver shall not reduce the quality of civic open spaces provided under this code.**

As the existing site is smaller than the 20,000 square feet requirement for open space, the request is not required to provide a civic open space.

**FINDINGS AND PERFORMANCE STANDARDS**

Pursuant to LDR Section 2.4.10(A)(3)(b), Level 2, Level 3, and Level 4 Site Plan applications require compliance with the findings in Chapter 3, Performance Standards.

**LDR Section 3.1.1 Required Findings, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.**

A complete review and analysis of the request based on the Required Findings of LDR Section 3.1.1 are provided throughout the following report sections.

**LDR SECTION 3.1.1(A) - LAND USE MAP**

The subject property has a Land Use Map (LUM) designation of CC (Commercial Core) and a zoning designation of CBD (Central Business District) The zoning district is consistent with the Land Use Map designation. The proposed commercial uses are permitted. Positive findings can be made with respect to Future Land Use Map consistency.

**LDR SECTION 3.1.1(B) - CONCURRENCY**

As described in Appendix "A", a positive finding of concurrency can be made as it relates to water and sewer, streets and traffic, drainage, and solid waste.

**LDR SECTION 3.1.1(C) - CONSISTENCY**

As described in Appendix "B", a positive finding of Consistency can be made as it relates to Standards for Site Plan Actions (LDR Section 3.2.3).

**LDR SECTION 3.1.1(D) - COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS**

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDRs can be made, provided the conditions of approval are met.

The development proposal involves change of use, modifications to existing architectural elevations, and to site design. Specifically, the proposal includes additional commercial space and three new residential units on the second floor with rooftop terraces. The board will need to determine that positive finding can be made with respect to compliance with the LDRs.

## COMPREHENSIVE PLAN

**Pursuant to the Historic Preservation Element (HPE), Objective 1.4, Historic Preservation Planning: Implement appropriate and compatible design and planning strategies for historic sites and properties within historic districts.**

The objective shall be met through continued adherence to the City's Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

**HPE Objective 1.4 - Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.**

The development proposal involves the request for the ground floor additions, construction of a second-story residential addition above a one-story non-contributing commercial structure and exterior modifications. There are no concerns with respect to soil, topographic or other physical considerations. With respect to the adjacent land uses, the property is in an historic district that is comprised of commercial, single-family, and multi-family uses. The board will need to make a determination that the proposal can be found to be consistent with the requirements of this Comprehensive Plan Policy.

**Historic Preservation Element 1.4.1 Prior to approval or recommending approval of any land use or development application for property located within a historic district or designated as a historic site, the Historic Preservation Board must make a finding that the requested action is consistent with the provisions of Section 4.5.1 of the Land Development Regulations relating to historic sites and districts and the "Delray Beach Design Guidelines".**

The board will need to make a determination that the alterations are consistent with the requirements of the Comprehensive Plan, and the provisions of LDR Section 4.5.1 relating to historic sites and districts as well as the "Delray Beach Historic Preservation Design Guidelines".

## SITE PLAN TECHNICAL ITEMS

1. That prior to certification the applicant will need to submit the approved SCAD form.
2. That the 5' R.O.W dedications must be completed prior to submittal of a building permit.
3. That a Pedestrian Clear Zone Easement be submitted for review by the City Attorney and approved by the City Commission prior to submittal of a building permit.
4. That a landscape maintenance agreement be completed prior to submittal of a building permit.
5. That a right-of-way agreement acceptable to the City Attorney will need to be submitted and approved by the City Commission prior to submittal of a building permit.
6. That the applicant include documentation to show compliance with the standards to reduce urban heat islands for both roofed and non-roofed areas of development within the CBD.
7. That the number of bikes for the bike rack are included on the site data table and a detail of the bike rack be included with the plan set.
8. That existing and proposed building square foot calculations are consistent through the plan set.
9. Include all proposed fencing on the site plan.
10. Revise photometric plan to ensure it meets the Lighting requirements of LDR Section 4.6.8.
11. That the park impact fee of \$500.00 per dwelling unit will be collected prior to issuance of a building permit.

<b>ALTERNATIVE ACTIONS</b>
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- A. Move to continue with direction.
- B. Approve the Level 2 Site Plan Modification, Certificate of Appropriateness, and Waiver (2024-164), for the property located at **103 NW 5th Avenue, West Settlers Historic District**, by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations.
- C. Approve Level 2 Site Plan Modification, Certificate of Appropriateness, and Waiver (2024-164), for the property located at **103 NW 5th Avenue, West Settlers Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations, subject to the following conditions:
- D. Deny Level 2 Site Plan Modification, Certificate of Appropriateness, and Waiver (2024-164), for the property located at **103 NW 5th Avenue, West Settlers Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

<b>PUBLIC AND COURTESY NOTICES</b>
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- |   |  |
|---|--|
| <p><input checked="" type="checkbox"/> Courtesy Notices were provided to the following, at least 5 working days prior to the meeting:</p> <p><input checked="" type="checkbox"/> West Settlers Historic District Homeowners Association</p> | <p><input checked="" type="checkbox"/> Public Notices are not required for this request.</p> <p><input checked="" type="checkbox"/> Agenda was posted on 4/30/25, 5 working days prior to meeting.</p> |
|---|--|

**APPENDIX "A"**  
**CONCURRENCY FINDINGS**

**Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:**

Water and Sewer:

Water and sewer services are existing on site. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South-Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Drainage:

Drainage and water run-off will be addressed through the on-site retention and exfiltration trenches. There should be no impact on drainage as it relates to this level of service standard.

Transportation:

The proposed project results in an increase of two peak hour AM trips and four peak hour PM trips. Because the site generates fewer than 37 peak hour trips, a full traffic study is not required. Furthermore, this residential project is allowed an exception from the traffic concurrency standards. Therefore, the project meets the Palm Beach County Traffic Performance Standards.

Parks and Recreation:

**Pursuant to LDR Section 5.3.2**, a park impact fee of \$500.00 per dwelling unit will be collected prior to issuance of a building permit.

Solid Waste:

The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Schools:

The applicant submitted a SCAD letter in June 2024. Prior to certification the applicant will need to submit the approved form.

**APPENDIX "B"**  
**CONSISTENCY FINDINGS & STANDARDS FOR SITE PLAN ACTIONS**

**A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X

Does not meet intent \_\_\_\_\_

- B. All development shall provide pedestrian, bicycle, and vehicular interconnections to adjacent properties, where possible, and include accessible routes from the entry points of publicly-accessible buildings to the sidewalk network in accordance with the Americans with Disabilities Act (ADA).**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- C. Open space enhancements and recreational amenities shall be provided to meet Objective OPR 1.4 and other requirements of the Goals, Objectives and Policies, as applicable, of both the Open Space, Parks, and Recreation Element and Conservation Element.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- D. Any proposed street widening or modifications to traffic circulation shall be evaluated by the City, and if found to have a detrimental impact upon or result in the degradation of an existing neighborhood, the request shall be modified or denied.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- E. Development of residentially zoned vacant land shall be planned in a manner consistent with adjacent development regardless of zoning designations.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- F. Property shall be developed or redeveloped in a manner so that the use, intensity, and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services: are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- G. Development shall provide a variety of housing types that accommodates the City's growing and socio-economically diverse population to meet the Goals, Objectives, and Policies the Housing Element.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X

Does not meet intent \_\_\_\_\_

- H. Consideration shall be given to the effect a development will have on the safety, livability, and stability of surrounding neighborhoods and residential areas. Factors such as but not limited to, noise, odors, dust, and traffic volumes and circulation patterns shall be reviewed and if found to result in a degradation of the-surrounding areas, the project shall be modified accordingly or denied.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- I. Development shall not be approved if traffic associated with such development would create a new high accident location or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- J. Tot lots and recreational areas, serving children, teens, and adults shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units..**

Not applicable   X    
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- K. Development shall not exceed the maximum limits established in the Table NDC-1, Land Use Designations: Density, Intensity, and Implementing Zoning Districts, of the Neighborhoods, Districts, and Corridors Element or specific standards established in the zoning districts that limit density (dwelling units per acre) or intensity (floor area ratio) and must adhere to whichever limit is lower. Development in areas included in density or incentive programs (i.e. workforce housing programs specified in Article 4.7-Family/Workforce Housing) may exceed the Standard density limit, up to the specified Revitalization/Incentive density established for the program: development in all other areas shall not exceed the Standard density. (Ord. No. 23-20, § 12, 9-10-20)**

Not applicable   X    
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- L. Development shall meet the intent of CSR 5, Energy Efficiently and Diverse Energy Mix and, where applicable, the requirements of LDR Section 7.11.1, Green Building Regulations.**

Not applicable \_\_\_\_\_









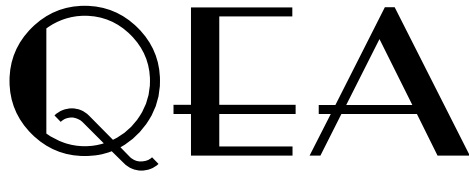
HISTORIC PRESERVATION BOARD TBA May 7, 2025  
103 NW 5th Avenue

Meets intent of standard   X  

Does not meet intent \_\_\_\_\_

Review No.	Submittal Date	TAC Comments Transmitted	Fee Due with Next Submittal?:
1	6/5/2024	6/21/2024	No <u>  X  </u> Yes _____ Amount: _____
EX	Extension Request	12/6/2024	Approved on 11/14/2024 (deadline to respond to Notice of Closure letter - 11/15/24)
EX	Extension Request	12/20/2025	Approved on 12/13/2024
2	12/19/2024	1/16/2025	No <u>  X  </u> Yes _____ Amount: _____
EX	Extension Request	03/7/2025	Approved on 2/24/2025
3	3/5/2025	Determined Board Ready 3/20/2025	No <u>  X  </u> Yes _____ Amount: _____

BUILDING MATERIALS AND COLOR SAMPLE FORM	
<p>NOTE THE TYPE OF MATERIAL AND COLOR SPECIFICATION PROPOSED INCLUDING TYPES OF FINISHES. CAN ATTACH IMAGES OR PHOTOS OF MATERIALS. <b>ATTACH ACTUAL PAINT COLOR SAMPLES WITH DETAILS OF MANUFACTURER</b></p>	
<p>ROOF</p>  <p><i>Flat Roof</i> <i>Built Up Deck</i></p>	<p>WALLS</p>  <p><i>Smooth Stucco</i></p>
<p>FASCIA</p> <p><i>Not Applicable</i></p>	<p>TRIM/OTHER</p>  <p><i>Accent Wall</i></p>
<p>WINDOWS</p>  <p><i>White Alum.</i></p>	<p>SHUTTERS/AWNINGS</p> <p><i>Not Applicable</i></p>
<p>RAILINGS</p>  <p><i>Similar White Railing</i></p>	<p>FENCE</p>  <p><i>Wood Panel</i></p>
<p>COLUMNS</p> <p><i>Not Applicable</i></p>	<p>OTHER</p> <div style="display: flex; justify-content: space-around;"> <div style="background-color: #800000; color: white; padding: 10px; text-align: center;"> <i>Paint Color BM (2083-20)</i> </div> <div style="background-color: #008080; color: white; padding: 10px; text-align: center;"> <i>Paint Color BM (CW-605)</i> </div> </div>



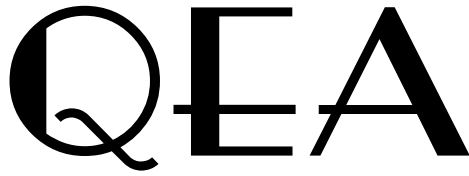
QUANTUM ENGINEERING ASSOCIATES INC.

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*Structural Engineering & Cost Segregation*

## **JUSTIFICATION STATEMENTS**

### **SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION:**

1. THIS NON-CONTRIBUTING HISTORICAL PROJECT EXISTS AS A SINGLE-STORY COMMERCIAL SPACE AND WILL REMAIN THIS WAY EVEN WITH THE ADDITION. OUR GOAL IS TO MAINTAIN THE SHELL OF THE ORIGINAL STRUCTURE WHILE ADDING ADDITIONAL USE AND AREAS OF THE PROJECT TO REPLICATE LARGER STRUCTURES FROM THE SAME PERIOD. THE ORIGINAL MATERIALS ARE NO LONGER A FEATURE OF THE EXISTING BUILDING, BUT WE HAVE MAINTAINED THE SPATIAL RELATIONSHIPS RELATING TO THE EXISTING AND THE NEW.
2. THE HISTORIC CHARACTER OF THE PROPERTY HAS BEEN ALTERED OVER TIME AND, IN OUR OPINION, DOES NOT REFLECT THE PERIOD IN WHICH IT WAS BUILT. OUR GOAL IS TO RESTORE SUCH AREAS AND INCREASE THE BUILDING SIZE TO REPLICATE THE ART DECO CONSTRUCTION METHODS PRESENT WITHIN THE ORIGINAL TIME PERIOD.
3. THERE WILL BE NO CHANGES TO THIS PROJECT'S RECORD OF ITS TIME. OUR DESIGN AND VISION WILL IN NO WAY CREATE A FALSE SENSE OF HISTORICAL DEVELOPMENT. EXISTING AND NEW ADDITIONS WILL SEAMLESSLY MERGE AND FURTHER ENRICH THE PROJECT'S STANDING IN A HISTORICAL CONTEXT.
4. THE HISTORIC SIGNIFICANCE OF THIS PROJECT HAS BEEN DIMINISHED OVER THE LIFE OF THE BUILDING WITH VARIOUS UNAPPROVED CHANGES. RETENTION AND PRESERVATION IN THIS CASE ARE THEREFORE DIFFICULT, HOWEVER, THE PROPOSED STRUCTURE WILL OFFER A HIGH-LEVEL HISTORICAL SIGNIFICANCE.
5. ALL PROPOSED CONSTRUCTION DETAILS (MATERIALS, FEATURES, FINISHES) & CRAFTSMANSHIP WILL BE PERFORMED TO A HIGH LEVEL AND AIM TO PRESERVE THE TECHNIQUES USED FROM THE HISTORICAL PERIOD.
6. WHERE WE INTEND TO REPLACE AND REBUILD ELEMENTS OF THE EXISTING, WE WILL MATCH THE OLD DESIGN, COLOR, TEXTURE, SCALE, & MATERIALS.
7. CHEMICAL OR PHYSICAL TREATMENTS ARE NOT CONTAINED WITHIN THE SCOPE OF THIS PROJECT.
8. SHOULD WE DISCOVER ANY ARCHEOLOGICAL RESOURCES THROUGHOUT THIS PROJECT, THEY WILL BE PROTECTED AND PRESERVED IN PLACE. IF NECESSARY TO DISTURB, MITIGATION MEASURES WILL BE UNDERTAKEN.



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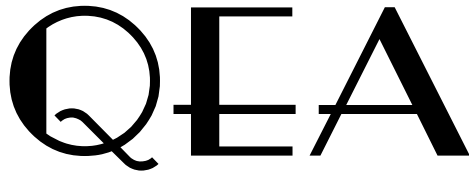
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9. THE NEW ADDITION, IN THIS CASE, IS FOCUSED ON SURROUNDING THE EXISTING PROPERTY AND BUILDING ABOVE THE ORIGINAL STRUCTURE. FROM THE STREET LEVEL, WE HAVE AIMED IN OUR DESIGN PROCESS TO EMBRACE THE HISTORICAL IMPORTANCE OF THE EXISTING STRUCTURE AND CARRY THIS CHARM AND PROPORTIONS INTO THE NEW SPACES. ULTIMATELY ADDING ADDITIONAL HISTORICAL VALUE TO THE PROJECT.

10. OUR ADDITION DESIGN, SHOULD IT EVER NEED TO BE REMOVED, WOULD NOT IMPAIR THE ORIGINAL FORM AND INTEGRITY OF HISTORICAL PROPERTY.

VISUAL COMPATIBILITY STANDARDS LDR SECTION 4.5.1 E (7) A-M:

- OUR BUILDING HEIGHTS ADHERE TO THE CODE REFERENCES EVEN THOUGH OUR INTENTION IS TO ADD AN ADDITIONAL FLOOR WITH ROOF TERRACE ACCESS. THE HEIGHTS FOR THE FIRST FLOOR & UPPER FLOORS MEET THE REQUIREMENTS.
- BOTH THE STREET FRONT FAÇADE PROPORTIONS WILL BE MAINTAINED AS WILL THE OPENINGS OF WINDOWS & DOORS ON THE ELEVATIONS. WE DO INTEND TO ADD DOORS MATCHING THE STYLE OF THE EXISTING FRONT ENTRY DOOR. THERE IS ALREADY A DOOR AT THE REAR OF THE SIDE ELEVATION, SO I FEEL THIS ELEMENT WILL BE FITTING IN ITS CONTEXT AND LOCATION.
- THE BUILDING'S NUMEROUS RHYTHMS WILL BE MAINTAINED AS TO NOT ALLOW AN APPEARANCE OF VARYING RELATIONSHIPS BETWEEN THE STRUCTURE, THE STREET & THE FRONT PROJECTIONS.
- ALL MATERIALS, TEXTURE & COLORS ARE UNABLE TO BE MAINTAINED DUE TO ALTERATIONS OVER TIME. HOWEVER, THE PROPOSED BUILDING HAS PURPOSELY REPLICATED THE ART DECO PERIOD WITHIN THE DELRAY CBD TO JUSTIFY THE IMPORTANCE OF THE NEW BUILDING'S HISTORICAL CHARACTERISTICS.
- ROOF SHAPES OF THE EXISTING (FLAT ROOF) WAS ALSO APPLIED TO THE NEW ADDITION TO APPEAR CONSISTENT WITH THE ARCHITECTURAL STYLE, AS WELL AS WITH THE FLAT ROOF MATERIAL.
- THE BUILDING SCALE HAS ALTERED WITH THE ADDITIONAL SQUARE FOOTAGE AND INCREASE IN FLOOR LEVELS, BUT THE PROPORTIONS OF THE BUILDING MASSES REMAIN THE SAME. SINCE OUR ADDITION AREAS ARE WRAPPING THE CROSS STREETS, THE USE OF ARCADE AND UPPER FLOOR BALCONIES SIGNIFICANTLY REDUCE THE MASS OF THE NEW STRUCTURE'S IMPACT AT STREET LEVEL AND ALLOW THE SCALE OF THE BUILDING TO REMAIN UNIFORM.



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- ALTHOUGH WE PLAN TO RAISE THE EXISTING CLG. (APPROX. 24 INCHES) AND ADD A FLOOR, WE FEEL THAT THE DIRECTIONAL EXPRESSION OF THE ARCADE ELEVATIONS WITH LIVING SPACE ABOVE WILL REMAIN COMPATIBLE WITHIN THIS HISTORICAL AREA, & THE NEW ARCHITECTURAL STYLE (ART MODERNE/STREAMLINE MODERNE) WILL ENHANCE THE NEIGHBORHOOD TO POSSIBLY FOLLOW SUIT. EXPANSION OF THE PEDESTRIAN DOWNTOWN WOULD BE A WELCOMED ADDITION TO THIS AREA. THIS ALLOWS FOR THE BUILDINGS' INCREASE IN HEIGHT AT STREET LEVEL TO BE ABSORBED INTO THE ARCADE, RECESSED BALCONIES, AND UPPER TERRACE HARDSCAPE/LANDSCAPE PLANTERS.

- IN ALL OF OUR EFFORTS, WE HAVE ALWAYS KEPT THE HISTORICAL CONTRIBUTING FACTORS OF THE NEIGHBORHOOD AT THE FOREFRONT. THIS BUILDING, EVEN THOUGH NON-CONTRIBUTING, WILL CONTRIBUTE TO ITS SPECIFIC AREA. FOR YEARS TO COME, THIS BUILD/PROJECT MAY BECOME AN EXAMPLE OF THE MERGING OF HISTORIC PRESERVATION IN AN EVER-CHANGING MODERN WORLD.

## GENERAL NOTES

1. TYPE OF CONSTRUCTION: CLASS V, PROTECTED, GROUPS A3/A3 OCCUPANCY PREPARED USING THE FLORIDA BUILDING CODE 2023 EDITION.
2. CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE AS ADAPTED BY THE COUNTY AND ALL APPLICABLE AMENDMENTS.
3. BUILDER SHALL COORDINATE ALL THE WORK OF ALL TRADES.
4. BUILDER SHALL REVIEW DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK. THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING TO THE ARCHITECT. BACKCHARGES WILL NOT BE ACCEPTED. DO NOT SCALE DRAWINGS.
5. SUBMIT MINIMUM THREE (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW.
6. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE F.B.C. CHAPTER 13 ENERGY EFFICIENCY. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTATIONS. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
7. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
8. CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
9. WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWING TO BUILDER.
10. ALL WINDOWS AND DOORS SHALL BE CALKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE F.B.C. ENERGY CONSERVATION CODE.
11. ALL CONSTRUCTION IN BROWARD AND DADE COUNTIES SHALL COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE (HVHZ) SECTIONS OF THE F.B.C.

## SITE PLAN NOTES

1. THE ARCHITECTURAL SITE PLAN, IF PROVIDED IN THESE DOCUMENTS IS FOR GENERAL LOCATION OF THE HOUSE, POOL, DRIVEWAYS AND SITE FEATURES ONLY. THE G.C. OR OWNER SHALL PROVIDE A PRELIMINARY LOT FIT PERFORMED BY A LICENSED SURVEYOR AT 50 PERCENT COMPLETION OF PROJECT. THE SURVEYOR IS RESPONSIBLE FOR VERIFYING BUILDING LOT FIT, LOT COVERAGE, EASEMENT LOCATIONS, SET BACKS, AND ALL SITE DIMENSIONS PRIOR TO PERMIT AND CONSTRUCTION. IF ANY CONFLICTS OCCUR BETWEEN THE ARCHITECTURAL SITE PLAN AND SURVEYORS LAYOUT, THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO PERMITTING AND CONSTRUCTION. NO WORK SHALL BE PERFORMED UNTIL THE GENERAL CONTRACTOR RESOLVES THESE CONFLICTS.

## CONCRETE NOTES

1. CONCRETE SHALL CONFORM TO ASTM C94/C 94M-17A, SHALL HAVE A MAXIMUM WATER/CEMENT RATIO OF 0.45 AND SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS (UNLESS NOTED OTHERWISE) ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH AC 308-19 AND THIS 402-2016. ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH THIS 402-2017.
2. MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE: SLABS ON VAPOR BARRIER - 3/4" BEAMS AND COLUMNS - 1 1/2" FORMED CONCRETE BELOW GRADE-2" UNFORMED CONCRETE BELOW GRADE-3"
3. REINFORCING STEEL: GRADE 60 (FY=60,000) ASTM A615/A 615M-15en1.
4. DETAIL OF CONCRETE REINFORCEMENT SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION" AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS NOTED OTHERWISE.
5. ADEQUATE VERTICAL AND HORIZONTAL SHORING SHALL BE PROVIDED TO SAFELY SUPPORT ALL LOADS DURING CONSTRUCTION.
6. DOWNLAYS COLUMN AND WALL REINFORCING TO FOOTING WITH SAME SIZE AND NUMBER OF DOWNLAYS AS VERTICAL BARS ABOVE.
7. REINFORCING STEEL SHALL BE LAPPED 48 BAR DIA. MIN. WHERE SPACED AND SHALL BE SPICED TOGETHER. PROVIDE CORNER BARS SAME SIZE AND NUMBER AS HORIZ. BEAM REINFORCING AT EACH FACE. LAP 48 BAR DIA. MIN.
8. PLACING DRAWINGS ON BAR LISTS SHALL CONFORM TO AGC'S "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE CONSTRUCTION" AS PUBLISHED BY THE CONCRETE REINFORCING STEEL INSTITUTE UNLESS NOTED OTHERWISE.

## FOUNDATION NOTES

1. FLOOR SLAB TO BE 4" THICK POURED CONCRETE SLAB WITH 6" X 6" X 16'X16' W/16M ON 6 MIL VISQUEUM (OR EQUAL) ON CLEAN WELL COMPACTED FILL PRE TREATED FOR TERMITES. MINN SHALL BE LOCATED IN THE MIDDLE TO UPPER HALF OF THE SLAB DEPTH AND MUST BE SUPPORTED AT 3'-0" O/C EACH WAY WITH APPROVED MATERIALS.
2. ALL REINFORCING STEEL TO BE GRADE 60.
3. COLUMN AND WALL CENTERLINES SHALL COINCIDE WITH FOOTING CENTERLINES UNLESS OTHERWISE NOTED.
4. FOOTING DESIGN BASED ON ASSUMED SOIL BEARING CAPACITY OF 2500 P.S.F., CONTRACTOR TO SUBMIT SOIL BEARING TEST RESULTS OR SOIL BEARING CAPACITY REPORT BY A FLORIDA REGISTERED ENGINEER.
5. ALL SITE PREPARATIONS & DRAINAGE RECOMMENDATIONS MADE IN THE SITE SPECIFIC GEOTECHNICAL REPORT MUST BE STRICTLY ADHERED TO.
6. FILL PLACED WITHIN 5'-0" OF THE CONSTRUCTION PERIMETER SHALL CONSIST OF CLEAN WELL GRADED SAND IN 12" LIFT(S) MAX. AND VIBRATORY COMPACTED TO ACHIEVE A MINIMUM OF 95% MODIFIED PROCTOR ASTM D 1557-12E1.
7. AFTER STANDARD CLEANING AND GRUBBING HAS BEEN COMPLETED AND APPROVED, APPLY VIBRATORY COMPACTOR WITH A MINIMUM OF FOUR PASSES TO THE EXISTING GROUND.
8. SLABS SHALL NOT BE LOADED UNTIL 12 HOURS HAS ELAPSED.
9. SPLICES SHALL BE 48 BAR DIAMETERS AND CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CORNER BARS SHALL BE 48 BAR DIAMETERS EACH WAY.
10. ALL MONOLITHIC FOOTINGS HAVE BEEN CHECKED FOR THE USE OF TRANSFER REINFORCEMENT AT THE PERIMETER. NATIONAL ANALYSIS SHALL BE SUBMITTED, BUT ONLY IF REQUESTED BY THE BUILDING OFFICIAL.
11. CONCRETE FOR FOUNDATIONS AND FOOTINGS SHALL BE 2500 PSI MIN. MAXIMUM WATER/CEMENT RATIO MUST NOT EXCEED 0.45.

## BEAM SCHEDULE NOTES

1. SCHEDULED HOOPS AND STIRRUPS SHALL BE PLACED AT EACH END (E.E.) OF BEAM OR THROUGHOUT (T.O.) BEAM AS INDICATED ON BEAM SCHEDULE. STIRRUPS SHALL BE TYPE S-8 AND HOOPS SHALL BE TYPE T-2 TYPICAL CRSI BAR BENDS UNLESS OTHERWISE NOTED.
2. ALL BEAM (MARK "B") TOP BARS SHALL BE CONTINUOUS UNLESS OTHERWISE NOTED
3. ALL THE BEAMS (MARK "TB") REINFORCING SHALL BE CONTINUOUS THROUGH THE BEAMS ONLY. ALL SPLICES TO BE A MINIMUM OF 48 BAR DIAMETERS.
4. BUNDLE ALL STRUCTURAL BEAM TOP BARS IN PAIRS OVER SUPPORTS WITH TOP BARS FROM ADJACENT BEAMS. (UNO).
5. DROP BOTTOM OF THE BEAMS AS REQUIRED AT WINDOW & DOOR HEADS (28" MAX.) AND 2-1/2" BOTTOM IF DROP EXCEEDS 8".
6. THE BEAM SCHEDULE DEPTHS ARE MINIMUM AND MAY BE INCREASED 8" TO FIT BLOCK WORK.
7. ALL ADDED LOGITIONAL BEAM REINFORCING SHALL EXTEND 6" MINIMUM INTO SUPPORT UNLESS OTHERWISE NOTED.
8. REFER TO CONCRETE NOTES FOR INFORMATION ON CONCRETE AND STEEL SPECIFICATIONS.
9. ONE-QUARTER OF MAXIMUM BOTTOM REINFORCING STEEL AREA OF EITHER ADJACENT BEAM SHALL EXTEND THRU SUPPORT AND LAP WITH A CLASS "A" TENSION LAP SPICE ON EITHER SIDE OF SUPPORT.
10. MARK "C" IN REINFORCING COLUMN BETWEEN TWO BEAMS INDICATES THAT REINFORCING SHALL BE CONTINUOUS THRU THESE TWO BEAMS.

## STEEL NOTES

1. STRUCTURAL STEEL SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". MATERIALS SHALL CONFORM TO THE APPLICABLE ASTM SPECIFICATION AS FOLLOWS: W SHAPES - A992/A 992M-22, OTHER SHAPES - A36/A 36M-14, PLATES A36/A 36M-14, BOLTS - A 307-21 TUBULAR - ASTM A500/A500M-21 GRADE B (48 KSI)
2. WELDED CONSTRUCTION SHALL CONFORM TO THE AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE". ELECTRODES FOR FELD AND SHOP WELDS SHALL BE A16.5 A51 E70XX.

## MASONRY NOTES

1. CONCRETE UNITS TO BE ASTM C 90-16a. ASTM GRADES NI OR NI. PROVIDE PRECAST UNITS AS NECESSARY. (FM = 2000 PSI)
2. MORTAR TYPE M PER ASTM C 270-14a.
3. CONCRETE FILL
- A. CELLS UNITS AND BOND BEAMS WHERE SPECIFIED SHALL BE FILLED W/ 3000 PSI PEA GRAVEL CONCRETE.
- B. THE MIX DESIGN SHALL BE APPROVED BY THE ENGINEER.
- C. ALL CONCRETE SHALL BE OF A FLUID CONSISTENCY WITH A SLUMP OF 9"-11" MAX., WHICH MEANS THAT THE CONSISTENCY SHALL BE AS FLUID AS POSSIBLE FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENT PARTS.
- D. THE USE OF ADMIXTURES SHALL NOT BE PERMITTED WITHOUT WRITTEN CONSENT OF THE ENGINEER.
4. REINFORCING: VERTICAL: A. ASTM A615/A 615M-15en1. PER REINFORCING SECTION (GRADE 60).
- B. WHEN A FOUNDATION DOWNEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCING.
- C. VERTICAL REINFORCING STEEL SHALL HAVE A MINIMUM CLEARANCE OF ONE-HALF INCH FROM THE MASONRY.
- D. VERTICAL REINFORCING SHALL BE AS LOCATED ON THE PLAN AND AS INDICATED IN THE COLUMN SCHEDULE.
- E. VERTICAL REINFORCING EACH SIDE OF ANY OPENING, IF REQUIRED, SHALL BE CONTINUOUS TO THE BE BEAM. PRECAST UNITS SHALL HAVE OPENINGS TO ALLOW REINFORCING BARS TO CONTINUE UNINTERRUPTED.
- HORIZONTAL: A. HORIZONTAL REINFORCEMENT SHALL BE PROVIDED AS SCHEDULED IN THE BEAM SCHEDULE.
- B. HORIZONTAL JOINT REINFORCEMENT SHALL CONSIST OF AT LEAST 9 GAGE LADDER TYPE REINFORCEMENT SPACED NOT MORE THEN 16" O/C VERT. REINFORCEMENT SHALL ALSO BE PROVIDED AT THE BOTTOM AND TOP OF ALL OPENINGS AND EXTEND NOT LESS THEN 24" BEYOND THE OPENING. PROVIDE 8" MIN EMBEDMENT INTO CONCRETE COLUMNS AND BEAMS AND FULL DEPTH LAPS AT ALL MASONRY "L" AND "T" INTERSECTIONS.
5. GENERAL: A. STRUCTURAL DESIGN IS IN ACCORDANCE WITH T.M.S. 402-16, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND THE COMMENTARY ON BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.
- B. CONSTRUCTION SHALL BE IN ACCORDANCE WITH T.M.S. 602-16, SPECIFICATIONS FOR MASONRY STRUCTURES AND THE COMMENTARY ON SPECIFICATIONS FOR MASONRY STRUCTURES.
- C. IN HVHZ AREAS THE BUILDER SHALL EMPLOY A SPECIAL INSPECTOR APPROVED BY THE BUILDING OFFICIAL TO ENSURE COMPLIANCE WITH THE APPROVED STRUCTURAL PLANS IN ACCORDANCE WITH SECTION 2122.2.4 F.B.C.
6. VERTICAL CELLS FOR MASONRY TO BE GROUTED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR, UNOBSTRUCTED CONT. CELL.
7. CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF GROUTED CELLS AT EACH LEFT OVER 4'-0" HIGH. CLEANOUTS SHALL BE SEALED AFTER CLEANING AND INSPECTION, AND BEFORE GROUTING.

## FRAMING NOTES

1. THE TRUSS AND FLOOR SYSTEM LAYOUT SHOWN ON THIS SHEET IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL FINAL TRUSS AND FLOOR SYSTEM DESIGNERS LAYOUT.
2. THIS FRAMING SCHEME (DIRECTION OF TRUSSES AND SLABS, MAJOR G.T. BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND AUTHORIZE STRUCTURAL REVISIONS ACCORDINGLY.
3. FINAL SIGNED AND SEALED ENGINEERED TRUSS AND FLOOR SYSTEM DESIGN MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW. TRUSS AND FLOOR SYSTEM DESIGNERS MUST PROVIDE ALL TRUSS CONNECTIONS AS PART OF THE DESIGN.
4. TRUSS AND FLOOR SYSTEM MANUFACTURER SHALL SUBMIT THREE (3) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR DESIGN FOR REVIEW INCLUDING TWO (2) COPIES FOR ARCHITECT/ENGINEERS REVIEW PRIOR TO FABRICATION. REVIEW OF SHOP DRAWINGS IS A COURTESY BY THE ARCHITECT/ENGINEER AND IN NO WAY RELIEVES THE MANUFACTURER OF HIS RESPONSIBILITY TO PROVIDE A LAYOUT THAT FULLY INTEGRATES WITH THE ARCHITECT/ENGINEERS SUPERSTRUCTURE. IF THERE IS ANY CONFLICT OR ADDITIONAL STRUCTURE NEEDED, THE TRUSS AND FLOOR SYSTEM COMPANY SHALL NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF THE SPECIFIC AREAS OF CONCERN.
5. TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC AND MISC. EQUIPMENT. COORDINATE LOCATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS THE BUILDER SHALL BE RESPONSIBLE FOR THE COMPLETE COORDINATION BETWEEN THE TRUSS DESIGN AND AIR CONDITIONING DESIGN REQUIREMENTS.
6. ARCHITECT NOR ENGINEER ACCEPTS ANY RESPONSIBILITY FOR STRUCTURAL BEAMS, COLUMNS, AND FOOTINGS UNTIL REVIEW OF APPROVED TRUSS AND FLOOR SYSTEM DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.
7. ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH CLIPS, TOP AND BOTTOM CHAIN STUD.

## CODES USED:

- FLORIDA BUILDING CODE 8TH EDITION (2023)
- FLORIDA EXISTING BUILDING CODE, ALTERATION LEVEL II (2023)
- NEC 2020
- A.S.C.E. - 7-22

## PLAN NOTES

1. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR REINSECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRICAL PANEL.
2. PROVIDE 3" STEEL POST OR BOLLARD OR TIRE BUMPER IN FRONT OF ALL EQUIPMENT (HVAC, DHW, WASHER/DRYER) LOCATED IN THE GARAGE AT FLOOR LEVEL PER F.B.C. MECHANICAL CODE.
3. PROVIDE 1/2 P.T. FIRESTOP VERTICALLY AT THE CEILING AND FLOOR LEVELS. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0", AND ALL OTHER LOCATIONS PER F.B.C. SECTION 1302.11.
4. ALL GLAZING WITHIN 24"(48" IN HVHZ) AND PARALLEL TO A DOOR SHALL BE TEMPERED. ALL WINDOWS OR GLASS ENCLOSURES AT OR WITHIN 36" OF TUBS AND SHOWERS WITH SILLS LESS THAN 60" ABOVE FLOOR SHALL BE TEMPERED. ALL GLASS IN SLEIGHTS, SLIDING GLASS DOORS AND FRENCH DOORS SHALL BE TEMPERED.
5. EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. EGRESS WINDOWS SHALL HAVE A MINIMAL NET OPENING OF 24" HIGH, 20" WIDE, AND MIN. NET AREA OF 5.7 S.F. FOR 2nd FLOOR WINDOWS AND 5.0 S.F. FOR 1st FLOOR WINDOWS. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR. LATCH AT 54" A.F.F. MAX. IN HVHZ AREAS WHERE THERE IS MORE THAN A 4'-0" DROP, THE SILL SHALL BE NO LESS THAN 36" A.F.F. OR PROVIDE AN APPROVED SAFEGUARD.
6. ALL BATHROOM FLOORS SHALL BE OF APPROVED IMPERVIOUS MATERIALS.
7. IN AREAS OTHER THAN HVHZ FIXED GLASS THICKNESS SHALL BE DETERMINED USING TABLE 2405.3.1 & .3A OF F.B.C. AS THE MINIMUM THICKNESS ALLOWED.
8. IN HVHZ AREAS PROVIDE HURRICANE SHUTTERS AS PER F.B.C. SECTION 24-13 UNLESS THE EXTERIOR WALL COMPONENTS OF THE ENCLOSED BUILDING HAS SPECIFIC PRODUCT APPROVAL TO PRESERVE THE ENCLOSED BUILDING ENVELOPE AGAINST IMPACT LOADS AS SET FORTH IN CHAPTER 16.
9. POCKETS AT STAIRS, LANDINGS & BALCONIES SHALL BE SPACED TO PREVENT PASSAGE OF A 4" DIAMETER SPHERE.
10. PROVIDE A MINIMUM OF 4" CLEAR ALL AROUND AIR HANDLER UNITS.
11. IN ZERO LOT LINE HOMES: DRYER VENTS, EXHAUST FANS & KITCHEN HOODS SHALL NOT VENT THROUGH THE SIDE WALL AND MUST MAINTAIN A 10'-0" SETBACK.

## LOAD SCHEDULE

1. THE TRUSS AND FLOOR SYSTEM LAYOUT SHOWN ON THIS SHEET IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL FINAL TRUSS AND FLOOR SYSTEM DESIGNERS LAYOUT.
2. THIS FRAMING SCHEME (DIRECTION OF TRUSSES AND SLABS, MAJOR G.T. BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND AUTHORIZE STRUCTURAL REVISIONS ACCORDINGLY.
3. FINAL SIGNED AND SEALED ENGINEERED TRUSS AND FLOOR SYSTEM DESIGN MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW. TRUSS AND FLOOR SYSTEM DESIGNERS MUST PROVIDE ALL TRUSS CONNECTIONS AS PART OF THE DESIGN.
4. TRUSS AND FLOOR SYSTEM MANUFACTURER SHALL SUBMIT THREE (3) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR DESIGN FOR REVIEW INCLUDING TWO (2) COPIES FOR ARCHITECT/ENGINEERS REVIEW PRIOR TO FABRICATION. REVIEW OF SHOP DRAWINGS IS A COURTESY BY THE ARCHITECT/ENGINEER AND IN NO WAY RELIEVES THE MANUFACTURER OF HIS RESPONSIBILITY TO PROVIDE A LAYOUT THAT FULLY INTEGRATES WITH THE ARCHITECT/ENGINEERS SUPERSTRUCTURE. IF THERE IS ANY CONFLICT OR ADDITIONAL STRUCTURE NEEDED, THE TRUSS AND FLOOR SYSTEM COMPANY SHALL NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF THE SPECIFIC AREAS OF CONCERN.
5. TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC AND MISC. EQUIPMENT. COORDINATE LOCATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS THE BUILDER SHALL BE RESPONSIBLE FOR THE COMPLETE COORDINATION BETWEEN THE TRUSS DESIGN AND AIR CONDITIONING DESIGN REQUIREMENTS.
6. ARCHITECT NOR ENGINEER ACCEPTS ANY RESPONSIBILITY FOR STRUCTURAL BEAMS, COLUMNS, AND FOOTINGS UNTIL REVIEW OF APPROVED TRUSS AND FLOOR SYSTEM DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.
7. ALL INTERIOR LOAD BEARING PARTITIONS TO BE CONSTRUCTED WITH CLIPS, TOP AND BOTTOM CHAIN STUD.

## (CONT'D)

8. STRUCTURAL WOOD AND TIMBER FRAMING SHALL CONFORM TO THE "TIMBER CONSTRUCTION MANUAL" AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
9. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CONCRETE OR OTHER CEMENTITIOUS MATERIALS AND THE WOOD AS PER CODE.
10. BUILDER SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND BRIDGING USED DURING ERECTION OF TRUSSES AND STRUCTURAL SLABS TO PREVENT COLLAPSE OR DAMAGE.
11. HEADERS FOR FRAMED OPENINGS GREATER THAN 6'-0" MUST BE ENGINEERED AND STAMPED BY THE TRUSS MANUFACTURER. (UNLESS NOTED OTHERWISE)
12. ALL HEADERS OVER DOORS AND WINDOWS TO BE (2) OR (3) 2X12'S UNLESS OTHERWISE NOTED, (FOR WOOD FRAME CONSTRUCTION DEPENDING ON ALL WALL THICKNESS).
13. DIMENSIONAL LUMBER SHALL BE SOUTHERN PINE, NO. 2 OR BETTER AND SHALL PROVIDE ALLOWABLE STRESS VALUES OF 1200 PSI IN BENDING FOR A SINGLE MEMBER USES. 90 PSI IN HORIZONTAL SHEAR AND SHALL HAVE A MODULES ELASTICITY OF 1600 KSI OR BETTER, AS DETERMINED BY AN APPROVED LUMBER GRADING AGENCY.
14. NON-BEARING INTERIOR PARTITIONS MAY BE CONSTRUCTED OF 25 GAUGE CEE CHANNEL. TYPE STUDS AT 24" O/C WITH MATCHING TRACKS TOP AND BOTTOM, WITH 1/2" GYPSUM DRYWALL EACH SIDE. ATTACH DRYWALL WITH 1" LONG BUGLE HEAD DRYWALL SCREWS AT 12" O/C MAX.
15. METAL LATH OVER SHEATHING SHALL BE 3/8" W-GROVE OR DIMPLED. CEILING AND SOFFITS SHALL BE HIGH RID TYPE. FASTEN TO SUBSTRATE AT 4" O/C AS FOLLOWS: CONCRETE: 3/4" LONG STUD NAILS W/ 3/8" HEAD. HORIZONTAL AND VERTICAL WOOD FRAMING MEMBERS W/ NAILS OR STAPLES TO PROVIDE AT LEAST 1-3/4" PENETRATION INTO HORIZONTAL WOOD FRAMING MEMBERS, AND 3/4" PENETRATION INTO VERTICAL WOOD FRAMING MEMBERS. ON VERTICAL WOOD FRAMING MEMBERS, COMMON NAILS SHALL BE BENT OVER TO ENGAGE AT LEAST THREE STRANDS OF LATH, OR BE BENT OVER A RIB WHEN RIB LATH IS INSTALLED. SHEATHING: 14 GAUGE STAPLES 1" LEG. 7/16" CROWN METAL W/1. FRAMING: SELF TAPPING SCREWS #12 x 1/2" WASHER HEAD STAPLES SHALL NOT BE USED FOR SOFFITS OR CEILINGS
16. WHERE CEMENT PLASTER IS APPLIED TO LATH OVER FRAME CONSTRUCTION, BONDING OF THE PLASTER TO THE WATER BARRIER SHALL BE PREVENTED BY PROVIDING A DBL. LAYER OF WATER BARRIER OR BY INSTALLING A HOUSE WRAP BENEATH THE WATER BARRIER.
17. PNEUMATIC FASTENERS SYSTEM TO BE HILTI-COIL NAIL PROGRAM. TYPE TO BE CRF 1120 1-1/2" LONG AND .120" DIAMETER U.N.O.
18. WHEN WOOD POSTS ARE NOT IN A FIRE-RATED WALL, FIRE RATE POST AS FOLLOWS: WRAP POST ON ALL SIDES FROM BASE OF POST TO UNDERSIDE OF BEARING WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD. THIS WILL PROVIDE A ONE HOUR RATING FOR THE POST.
19. TRUSS MANUFACTURER SHALL DESIGN TRUSSES TO COMPLY WITH ALL SUPERIMPOSED LOADS PER F.B.C. 2023.

## MECHANICAL NOTES

1. ALL HEATING, AIR CONDITIONING, REFRIGERATION AND VENTILATION EQUIPMENT SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE "FLORIDA BUILDING CODE MECHANICAL" AND FLORIDA BUILDING CODE ENERGY CONSERVATION.
2. A 4" CLEARANCE IS TO BE MAINTAINED AROUND ALL AIR HANDLING UNITS.
3. PROVIDE FIRE DAMPERS AT SUPPLY AND RETURNS WHICH PASS THROUGH RATED ASSEMBLIES IF ANY.
4. ALL DWELLING ROOMS MUST HAVE HVAC RETURNS. RETURNS MAY BE DUCTED, JUMPERS OR TRANSFER GRILLES.
5. A/C UNITS MAY HAVE CONC. PAD OR OTHER APPROVED MATERIAL EXTENDING AWAY. ADJOINING GRADE OR SHALL BE SUSPENDED A MIN. OF 6" AWAY. ADJOINING GRADE. PADS SHALL BE A MINIMUM 4'-0"x8'-0" PAD FOR DOUBLE UNIT.

## ELECTRICAL NOTES

1. CONTRACTOR SHALL VERIFY WITH F.P.A.L. THE LOCATION OF SERVICE AND SHALL LOCATE METER & PANELS AS REQUIRED.
2. ALL WIRE SHALL BE THIN COPPER. UNLESS NOTED OTHERWISE.
3. WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPACITY.
4. ALL BRANCH CIRCUITS IN RACEWAY OR NON METALLIC SHEATHED CABLE.
5. COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
6. VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURER SPECIFICATIONS.
7. PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LOAD AND UNITS.
8. PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT A/C EQUIP. AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER PANEL AND AS PER MANUFACTURER RECOMMENDATIONS.
9. PROVIDE GFCI PROTECTION FOR ALL BATHROOM, GARAGE, EXTERIOR, KITCHEN, LAUNDRY AND NET BAR OUTLETS PER NEC 210.8(A).
10. ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE UL APPROVED AND AS SELECTED BY OWNER.
11. PROVIDE PRE-WIRED TELEPHONE OUTLETS AS SHOWN ON PLAN.
12. PROVIDE PRE- WIRED T.V. OUTLETS FOR CABLE AS SHOWN ON PLANS.
13. DEDICATED CIRCUITS SHALL HAVE NO MORE THEN 8 DUPLEX RECEPTACLES.
14. ALL CLOSET LIGHTING SHALL COMPLY WITH NEC SEC. 410.6.
15. THE BRANCH CIRCUITS CONTAINING SMOKE DETECTORS SHALL HAVE ARC-FAULT PROTECTION PER NEC SEC. 210.12. SMOKE DETECTORS SHALL BE CONNECTED TO ARC-FAULT CIRCUITS AHEAD OF SWITCH AND HAVE SELF CONTAINED BATTERY BACK-UP. DETECTORS SHALL BE TANDON WIRED SO ALL DETECTORS SOUND SIMULTANEOUSLY.
16. PREMIRE FOR GARAGE DOOR OPENER SENSOR.
17. PROVIDE ARC-FAULT CIRCUIT INTERRUPTOR PROTECTION IN DWELLING UNIT LIVING, DINING, FAMILY ROOMS, DEN/ LIBRARIES, BEDROOMS, SUNROOMS, CLOSETS, HALLWAYS OR SM. ROOMS PER NEC 210-12 (B).
18. SMOKE DETECTORS REQUIRED ON ALL HVAC UNITS WITH 2001 CFM OR MORE.
19. CEILING AREA 110 V. SMOKE DETECTORS SHALL NOT BE CLOSER THAN 3 FT. FROM THE DOOR TO BATHROOMS, WASHER/DRYERS, A/C SUPPLY AND RETURNS & KITCHENS. SMOKE DETECTORS MAY BE WITHIN 20 FT. OF A COOKING APPLIANCE IF THEY ARE OF THE PHOTOELECTRIC TYPE.
20. CARBON MONOXIDE ALARM TO BE INSTALLED WITHIN 10' OF A ROOM USED FOR SLEEPING PURPOSES WHEN THE BUILDING HAS A FOSSIL BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE. PRIMARY POWER SHALL COME FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED BY THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP.
21. IF USED, A COMBINATION SMOKE/ CARBON MONOXIDE ALARM SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.
22. TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN DWELLING UNITS IN ALL AREAS SPECIFIED IN NEC 210.52 FOR 125 VOLT, 15 & 20A RECEPTACLES PER NEC 408.11
23. INTERSYSTEM BONDING TERMINATION FOR CONNECTING INTERSYSTEM BONDING AND GROUNDING CONDUCTORS SHALL BE PROVIDED FOR TV, COMMUNICATIONS, RADIO, CATV, ETC. PER NEC 250.14.

## PLUMBING NOTES

1. ALL PLUMBING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 405, F.B.C.
2. ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE 604.3, F.B.C.
3. DISPOSITION OF RAIN WATER SHALL COMPLY WITH F.B.C. PLUMBING CODE CHAPTER 11.
4. ALL PLUMBING PENETRATIONS MUST BE A MINIMUM 10'-0" FROM ROOF JACKS.
5. CONDENSATE DRAINS MUST BE A MINIMUM OF 12" OFF THE BUILDING.
6. SHOWER COMPARTMENTS AND WALLS ABOVE BATH TUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THEN 70 INCHES ABOVE THE DRAIN INLET.

## DRAWING INDEX

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## ABBREVIATIONS

ABV ABOVE	EXT. EXTERIOR	M.C. MEDICINE CABINET	SMS SHEET METAL SCREWS
AFB ABOVE FINISHED FLOOR	F.B.C. FLORIDA BUILDING CODE	M.R.H. MEAN ROOF HEIGHT	ST. STIRRUPS
AHU AIR HANDLER UNIT	F.R. FIRE RATED	M.T. METAL THRESHOLD	STL. STEEL
B.F. BI FOLD	FR FRENCH DOOR	M.W. MASONRY	SW. SWITCH
B.P. BI PASS	FIN. FINISHED	MFR. MANUFACTURER	S.W.O.T. SHEARWALL OVERTURNING FORCE
B.L.C. BLOCK	FL. FLOOR	MICRO. MICROWAVE	TEMP. TEMPERED
B.L.R. BELOW	G.T. GROUND TRUSS	MIN. MINIMUM	T.B. THROUGH BOLT
BRC. BEARING	GA. GAUGE	M.O. MASONRY OPENING	T.O. THROUGH OUT
BTM. BOTTOM	GALV. GALVANIZED	MONO. MONOLITHIC	T.O.B.B. TOP OF MASONRY BOND BEAM
C.G. CEILING	GFI GROUND FAULT INTERRUPT	MET. METAL	T.O.P.L. TOP OF WOOD PLATE
CMU CONCRETE MASONRY UNITS	CL. GLASS	O.H.D. OVER HEAD DOOR	T.O.T.B. TOP OF THE BEAM
COL. COLUMN	CMG GYPSUM WALLBOARD	O/C ON CENTER	TYP. TYPICAL
CONC. CONCRETE	C.P. BO. GYPSUM WALLBOARD	P.L.F. POUNDS PER LINEAR FOOT	U.N.O. UNLESS NOTED OTHERWISE
CSMT. CASHMERE	HT. HEIGHT	P.S.F. POUNDS PER SQUARE FOOT	U.L. UNDERWRITERS LABORATORIES
DBL. DOUBLE	HPS. HOOPS	P.S.I. POUNDS PER SQUARE INCH	V.L.F. VERIFY IN FIELD
DIA. DIAMETER	HR. HOUR	P.T. PRESSURE TREATED	W. WEDGE ANCHORS
DSP. DISPOSAL	HS. HORIZONTAL SLIDING	PARTN. PARTITION	W/ WITH
DP. DESIGN PRESSURE	HVHZ HIGH VELOCITY HURRICANE ZONE	PKT. POCKET	WC. WATER CLOSET
DR. DOOR	INS. INSULATION	PLYND. PLYWOOD	WD. WOOD
DW. DISH WASHER	INT. INTERIOR	R.O. ROUGH OPENING	
E.E. EACH END	LG. LONG	S.C. SOLID CORE	
ELEC. ELECTRICAL	LN. LINEN	S.G.D. SLIDING GLASS DOOR	
ELEV. ELEVATION	LT. LIGHT	SF. SQUARE FOOT	
E.S. EACH SIDE	L.T. LAUNDRY TUB	SH. SINGLE HUNG	









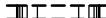












## ELECTRICAL SYMBOLS LEGEND

DUPLEX RECEPTACLE / ARC FAULT INTERRUPT AT 12" A.F.F.	SINGLE RECEPTACLE DEDICATED	TELEVISION JACK PREWIRED	FAN BOX
DUPLEX RECEPTACLE AT BASE	SINGLE RECEPTACLE AT 60" A.F.F.	HVAC THERMOSTAT	JUNCTION BOX
DUPLEX RECEPTACLE AT 6" ABV. COUNTER	SINGLE RECEPTACLE DEDICATED UNDERCOUNTER	INTERCOM AT 60" A.F.F.	PADDLE FAN W/ OR W/O LIGHT
DUPLEX RECEPTACLE GROUND FAULT INTERRUPT	DUPLEX RECEPTACLE - ARC FAULT INTERRUPT @ 12" A.F.F.	SECURITY KEYPAD	FLUORESCENT LIGHT FIXTURE
DUPLEX RECEPTACLE AT 12" ABV. COUNTER	DUPLEX RECEPTACLE TOP REC. SWITCHED ARC FAULT INTERRUPT	DOOR CHIME	FLUORESCENT LIGHT FIXTURE
DUPLEX RECEPTACLE TOP REC. SWITCHED	SWITCH SINGLE POLE	PUSH BUTTON	INCANDESCENT LIGHT FIXTURE OLG. MINTED.
DUPLEX RECEPTACLE WATERPROOF GROUND FAULT INTERRUPT	SWITCH THREE WAY	TELEPHONE OUTLET AT 12" A.F.F.	INCANDESCENT LIGHT FIXTURE WALL MINTED.
DUPLEX RECEPTACLE UNDER COUNTER	SWITCH FOUR WAY	TELEPHONE OUTLET FLUSH IN FLOOR	H HAT OLG. MOUNTED
QUADRUPLEX RECEPTACLE	SWITCH DIMMER	DEDICATED DATA LINE	H HAT VAPOR PROOF
DUPLEX RECEPTACLE FLUSH IN FLOOR	SWITCH KEYED	CENTRAL VACUUM RECEPTACLE	RECESSED EYEBALL
		SECURITY LIGHTS	CARBON MONOXIDE DETECTOR

LOW VOLT. SMOKE DETECTOR	SMOKE DETECTOR	EXHAUST FAN
EXHAUST FAN	EXHAUST FAN / JOINT COMBO	SPEAKER IN OLG.
LV DOOR RELEASE	VOLUME CONTROL	SWITCH DISCONNECT
BREAKER PANEL	F.P.A.L. METER & DISC.	LOW VOLTAGE TRANSFORMER

## PLAN / ELEVATION SYMBOLS LEGEND

DETAIL SCALE	INTERIOR ELEVATION	SHEARWALL LABEL
DETAIL SCALE	DOOR LABEL	BEAM LABEL
SECTION SCALE	WINDOW LABEL	TRUSS CONNECTOR LABEL
SECTION SCALE	COLUMN LABEL	REVISION
INTERIOR ELEV. SCALE	FOOTING LABEL	NORTH ARROW
		BREAK LINE
		GRAPHIC SCALE

	SHEARWALL LABEL		GROUT FILLED CELL SEE FOUNDATION PLAN		POTSHLF HEIGHT AS NOTED
	BEAM LABEL		POURED CONCRETE COLUMN		DROPPED SOFFIT HEIGHT AS NOTED
	TRUSS CONNECTOR LABEL		NON-BEARING FRAME CONSTRUCTION		ARCHED OPENING SEE PLAN OR ELEV.
	REVISION		BEARING FRAME CONSTRUCTION		1 HOUR FIRE RATED WALL
	NORTH ARROW		FRAME CONSTRUCTION ABOVE OR BELOW		2 HOUR FIRE RATED WALL
	BREAK LINE		BEAM HEIGHT CHANGE		4 HOUR FIRE RATED WALL
	GRAPHIC SCALE		FLOOR ELEVATION		MASONRY CONSTRUCTION TYPICAL







revisions	
no.	date
-TAC COMMENTS (JUNE 24)	12/19/2024
-TAC COMMENTS (JAN 25)	03/04/2025
-TAC COMMENTS (MAR 25)	04/01/2025

designed

drawn

checked

date

scale

job no.

GTD/SMS

GTD

SMS

05/15/2024

1/4" = 1'-0"

24-XXXX-ARC

Shawn M. Stambaugh, PE

FL LIC. #1850 - CA, 20210

COMMERCIAL PROJECT

2 STORY ADDITION

103 NW 5TH AVENUE

CITY OF DELRAY BEACH

FLORIDA

project



Structural Engineering

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Cost Segregation

6415 LAKE WORTH ROAD SUITE 105

GREENACRES, FL 33463

954.202.6914

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drawing

PROJECT

COMPOSITE

PLAN

sheet

COMP. -1

of

COMPOSITE LEGEND

- EXISTING BLDG.

DEMOLITION AREAS

NEW PROPOSED GROUND FLR. A/C AREAS

PROPOSED GENERAL CIRCULATION

PROPOSED ARCADE W/ STOREFRONT
- PROPOSED UNIT A/C AREAS

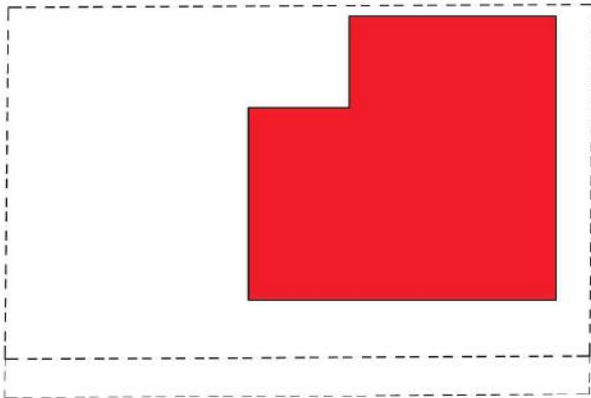
PROPOSED BALCONIES

PROPOSED COV'D. ROOFTOP AREAS

PROPOSED ROOFTOP DECK AREAS

PROPOSED ROOFTOP PLANTERS

EXISTING PROPERTY LINE



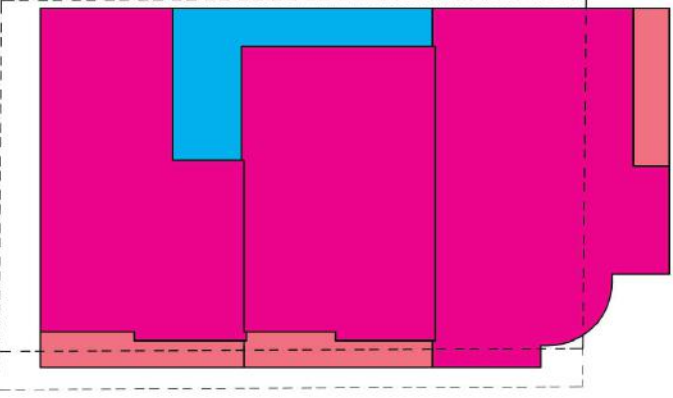
GROUND FLOOR

EXISTING PROPERTY LINE



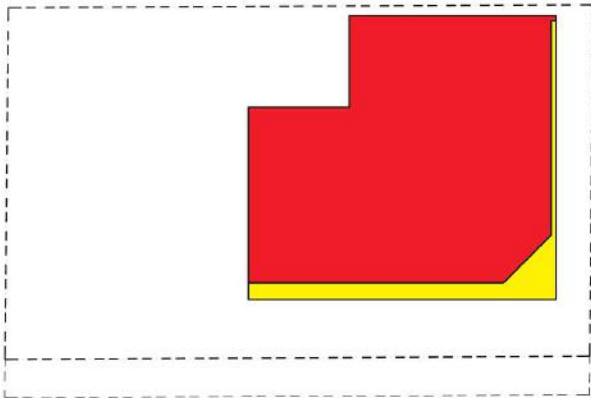
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EXISTING PROPERTY LINE



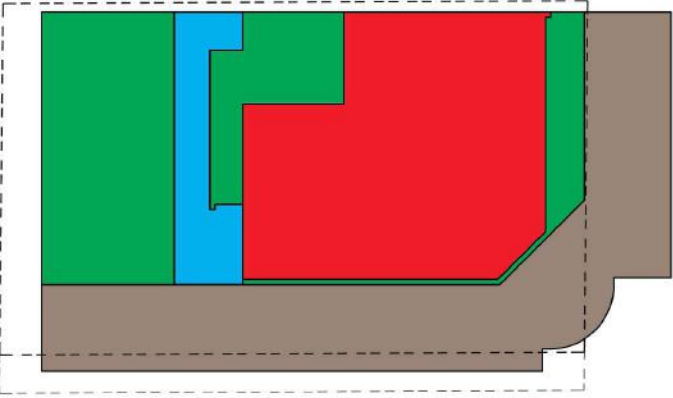
SECOND FLOOR

EXISTING PROPERTY LINE



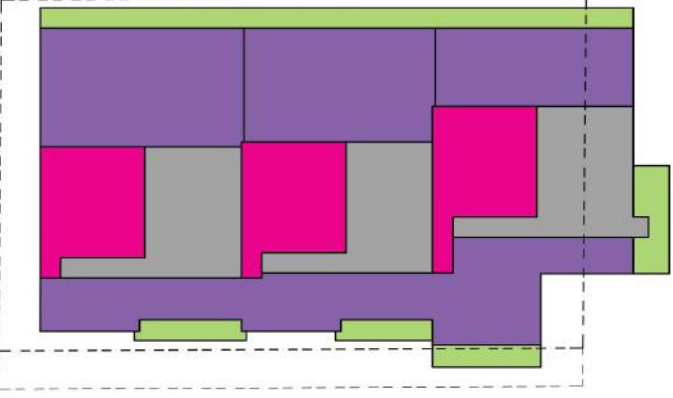
GROUND FLOOR

EXISTING PROPERTY LINE



GROUND FLOOR

EXISTING PROPERTY LINE



ROOF TERRACE



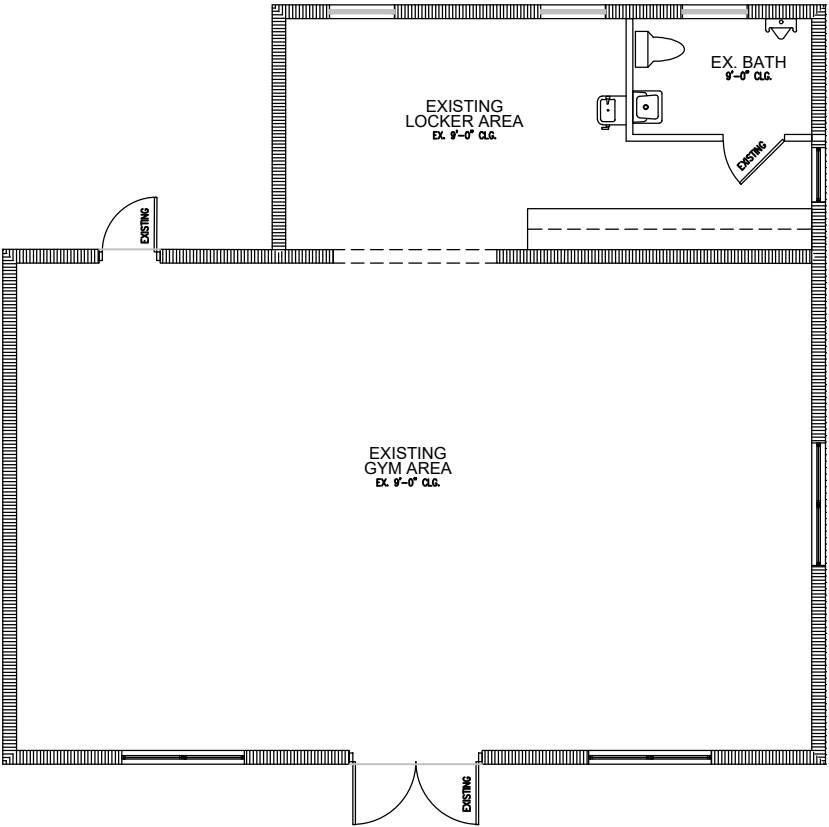


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no.	date
-TAC COMMENTS (JUNE 24)	12/19/2024
-TAC COMMENTS (JAN 25)	03/04/2025
-TAC COMMENTS (MAR 25)	04/01/2025

designed	GTD/SMS
drawn	GTD
checked	SMS
date	05/15/2024
scale	1/4" = 1'-0"
job no.	24-XXXX-ARC

Shawn M. Stambaugh, PE  
FL LIC. #1850 - CA. 20210

EX. BLDG.	
EX. A/C FIRST FLOOR	1,330 S.F.
TOTAL A/C SQ. FEET	1,330 S.F.



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103 NW 5TH AVENUE  
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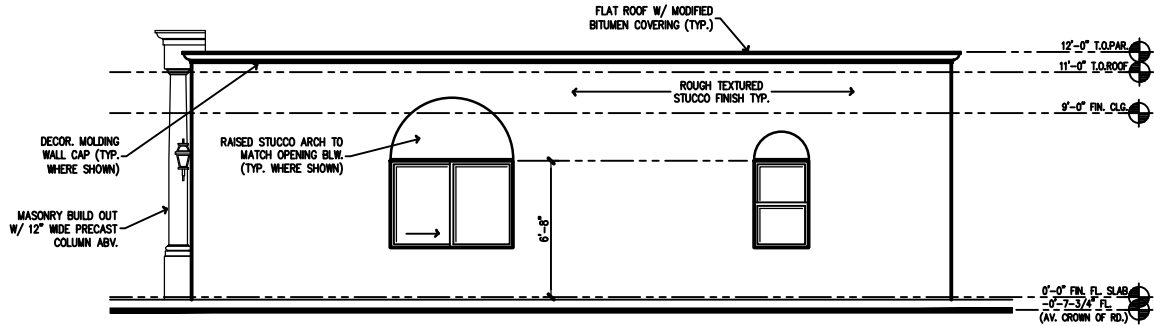
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drawing  
EXISTING  
GROUND  
FLOOR PLAN

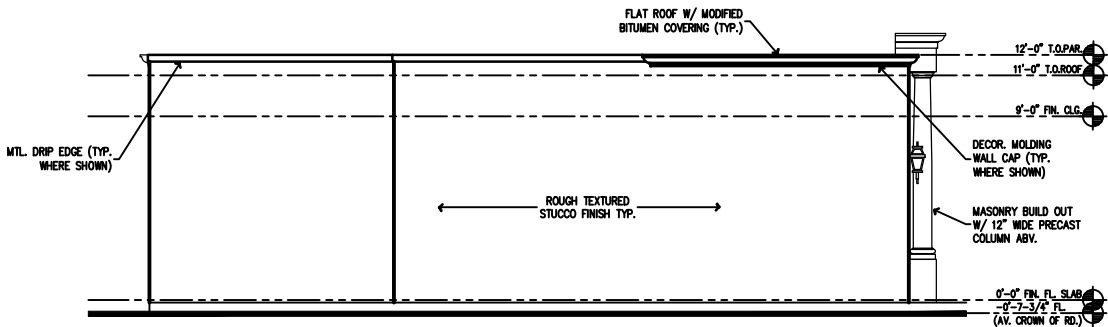
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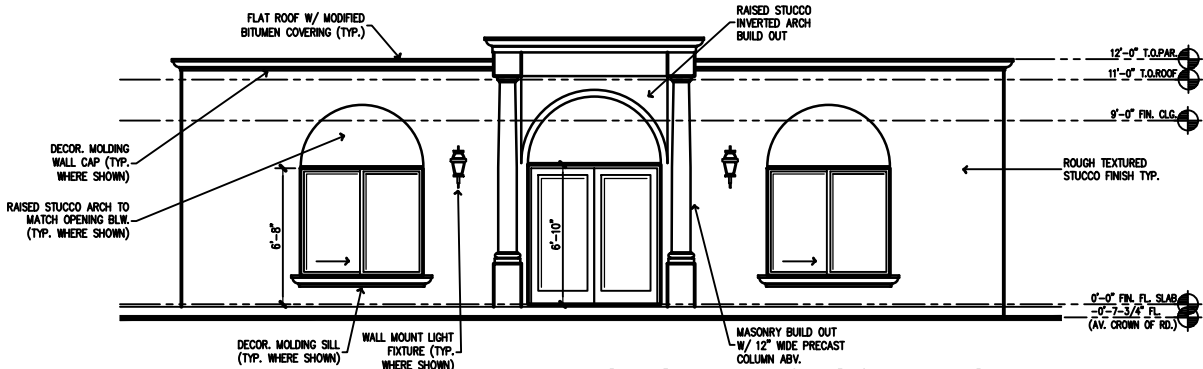




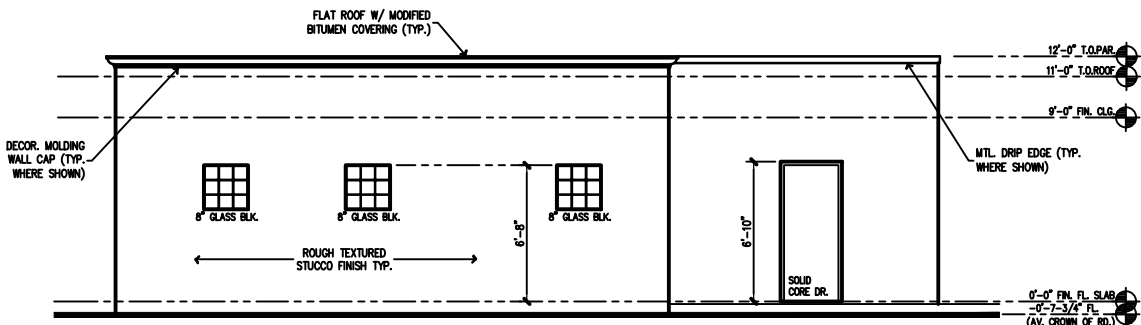
EXISTING 1ST. ST. (SOUTH) ELEVATION



EXISTING NORTH ELEVATION



EXISTING 5TH AVE. (WEST) ELEVATION



EXISTING EAST ELEVATION

revisions	no.	date
-TAC COMMENTS (JUNE 24)	12	12/19/2024
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FL LIC. #1850 - CA. 26210

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sheet  
EX-2

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revisions	no.	date
-TAC COMMENTS (JUNE 24)	12/19/2024	
-TAC COMMENTS (JUN 25)	03/04/2025	
-TAC COMMENTS (JUN 25)	04/01/2025	

designed	GTD/SMS
drawn	GTD
checked	SMS
date	05/15/2024
scale	1/4" = 1'-0"
job no.	24-XXXXLARC

Shawn M. Stambaugh, PE  
FL LIC. #1850 - CA. 20210

COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project

**QEA**  
QUANTUM ENGINEERING ASSOCIATES INC.

Structural Engineering  
•  
Cost Segregation

6415 LAKE WORTH ROAD SUITE 105  
GREENACRES, FL 33463  
866-202-6904  
WWW.QEASSOCIATES.COM

drawing  
**DEMOLITION  
PLAN**

sheet  
D-1

of

**IMPORTANT CONTRACTOR NOTE:**  
PROVIDE SHORING, BRACING AND SECURING FOR ALL  
STRUCTURAL ITEMS REQUIRED TO REMAIN BEFORE DEMOLITION.

**OWNER/CONTRACTOR NOTE:**  
PER FBCB-105.9 ASBESTOS.  
THE ENFORCING AGENCY SHALL REQUIRE EACH BUILDING PERMIT FOR  
THE DEMOLITION OR RENOVATION OF AN EXISTING STRUCTURE TO  
CONTAIN AN ASBESTOS NOTIFICATION STATEMENT WHICH INDICATES THE  
OWNER'S OR OPERATOR'S RESPONSIBILITY TO COMPLY WITH THE  
PROVISIONS OF SECTION 469.003, FLORIDA STATUTES, AND TO NOTIFY  
THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF HIS OR HER  
INTENTIONS TO REMOVE ASBESTOS, WHEN APPLICABLE, IN ACCORDANCE  
WITH STATE AND FEDERAL LAW.

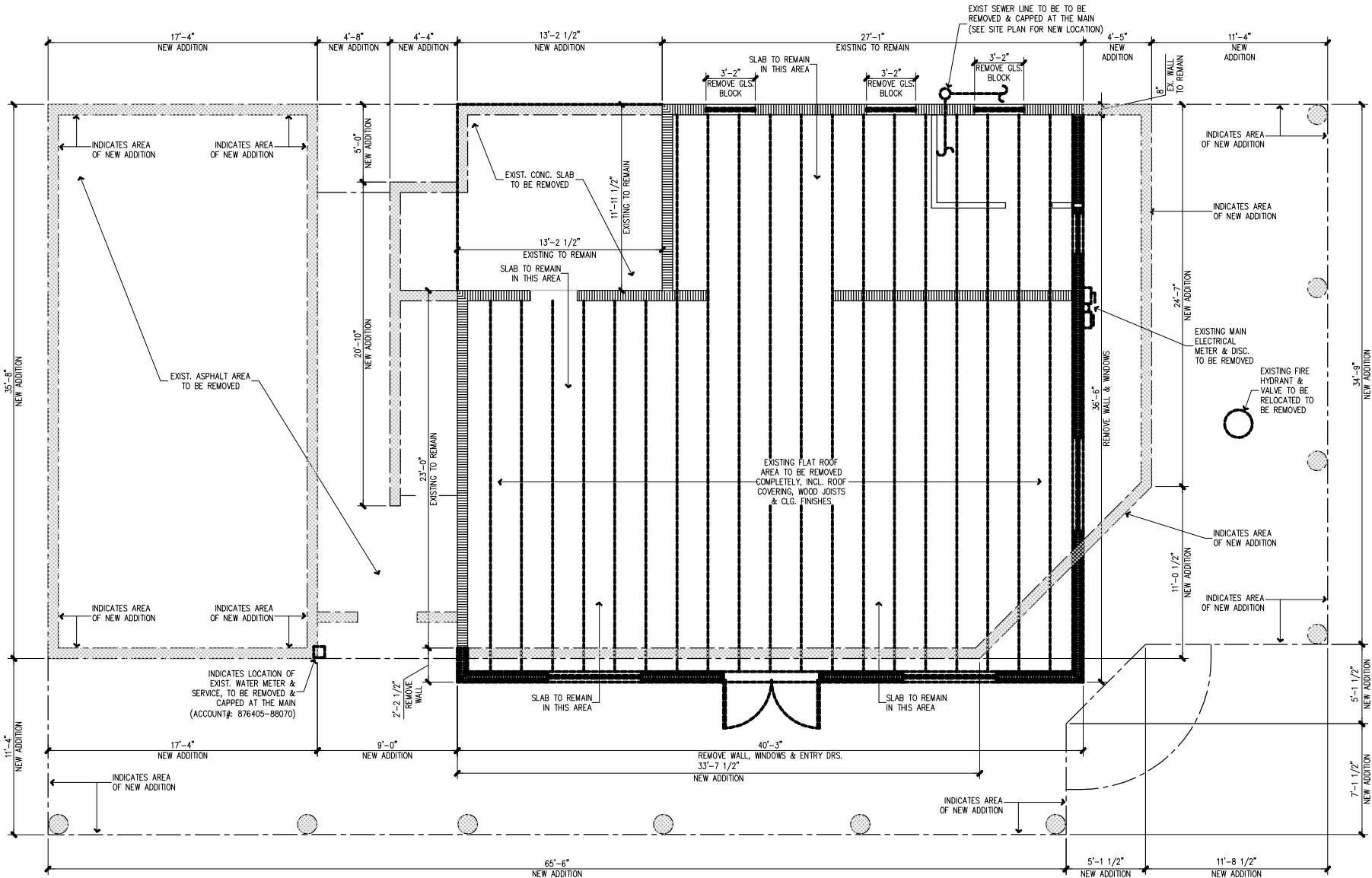
#### DEMOLITION GENERAL NOTES

1. THE EXTENT OF THE DEMOLITION WORK IS SHOWN ON THE DEMOLITION DRAWING AND  
REFERRED TO IN ALL DRAWINGS. DEMOLITION INCLUDES THE COMPLETE REMOVAL OF  
PORTIONS OF THE BUILDING AS INDICATED, AND ALL MISCELLANEOUS DAMAGED PORTIONS  
OF THE BUILDING AS REQUIRED TO MEET SPECIFICATIONS AND DRAWING REQUIREMENTS.  
EXISTING PLUMBING AND ELECTRICAL LINES TO BE REMOVED OR CONCEALED BY LICENSED  
PROFESSIONAL.
2. REMOVE ALL DEMOLITION MATERIALS AND DERRIS FROM THE CONSTRUCTION SITE.
3. ALL EXISTING EXPOSED SURFACES THAT ARE TO REMAIN IN PLACE THAT ARE DAMAGED  
DURING CONSTRUCTION SHALL BE REPAIRED AS REQUIRED TO MATCH EXISTING UNDAMAGED  
SURFACES.
4. ARRANGE WITH THE UTILITY COMPANIES FOR THE DISCONNECTION OF SERVICES AND  
REMOVAL OF FITTINGS & FIXTURES BEFORE STARTING DEMOLITION WORK.
5. PROTECT PARTS OF THE EXISTING WORK SCHEDULED TO REMAIN. CUT AWAY CAREFULLY  
THE PARTS TO BE DEMOLISHED TO REDUCE THE AMOUNT OF NECESSARY REPAIRS.
6. SECURE OWNER'S EXISTING PROPERTY TO BE SALVAGED, COORDINATE THOSE ITEMS WITH  
THE OWNER.
7. SHORE, BRACE AND SECURE STRUCTURAL ITEMS TO REMAIN BEFORE DEMOLITION.
8. REMOVE ANY AND ALL NECESSARY EXISTING CONCRETE SLABS TO ACCOMMODATE NEW  
PLUMBING LINES, COLUMNS, FOUNDATIONS & OTHER STRUCTURAL ITEMS IN COORDINATION  
WITH THESE DRAWINGS.

**NOTE:** REMOVE EXISTING MASONRY WALL AS SHOWN TO  
TOP OF FOOTING WHERE APPLICABLE. PAINT ALL EXPOSED  
REBARS W/ ZINC RICH PAINT.

**BEAM NOTE:**  
EXIST. CONCRETE TIE-BEAM TO REMAIN (UNLESS INDICATED OTHERWISE).  
CONTRACTOR TO NOTIFY ENGINEER OF RECORD OF DISCREPANCIES.

**NOTE:** ALL EXISTING PLUMBING (SUPPLY & SANITARY), HVAC &  
ELECTRICAL TO BE EITHER REMOVED COMPLETELY, UNDISTURBED IF  
REMAINING OR RESPONSIBLY ABANDONED IN AREAS THAT REMAIN.



NOTE: ALL WINDOW AND DOOR GLAZING TO BE IMPACT RESISTANT, NON-REFLECTIVE, LOW-UV & NON-INSULATED. CLEAR, NO-TINT GLAZING ON GROUND FLOOR. LIGHT GREY TINT MAYBE BE UTILIZED ON UPPER FLOORS. ALL WINDOWS AND DOORS TO HAVE ALUMINUM FRAMES & TO BE OF WHITE COLOR.

DOOR SCHEDULE														
MARK	STYLE	DOOR		R.O.		D.P.		NOTES	MATERIAL	FRAME COLOR	GLASS			TINT
		WD	HGT	W	H	+	-				COLOR	LIGHT TRANS. REDUCTION	VIS. LIGHT TRANSMIT.	
001	DOUBLE EXTERIOR	6'-8"	8'-0"	84"	124"	XX-XX	XXX-XX	Sgl. Pane w/ transom abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
002	DOUBLE EXTERIOR	6'-8"	8'-0"	84"	124"	XX-XX	XXX-XX	Sgl. Pane w/ transom abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
003	DOUBLE EXTERIOR	6'-8"	8'-0"	84"	124"	XX-XX	XXX-XX	Sgl. Pane w/ transom abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
004	SINGLE EXTERIOR	3'-0"	8'-0"	40"	96"	XX-XX	XX-XX	Solid core	ALUMINUM	WHITE	CLEAR	20%	0.8	N/A
005	SINGLE EXTERIOR	3'-0"	8'-0"	40"	96"	XX-XX	XX-XX	Solid core	ALUMINUM	WHITE	CLEAR	20%	0.8	N/A
006	SINGLE	2'-10"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
007	SINGLE EXTERIOR	3'-0"	8'-0"	40"	96"	XX-XX	XX-XX	Sgl. Lite - main egress	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
008	SINGLE EXTERIOR	3'-0"	8'-0"	40"	96"	XX-XX	XX-XX	Sgl. Lite - main egress	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
009	SINGLE EXTERIOR	3'-0"	8'-0"	40"	96"	XX-XX	XX-XX	Sgl. Lite - main egress	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
010	SLIDING DOUBLE EXTERIOR	6'-0"	8'-0"	74"	96"	XX-XX	XX-XX	2 Pnl.	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
011	SLIDING DOUBLE EXTERIOR	6'-0"	8'-0"	74"	96"	XX-XX	XX-XX	2 Pnl.	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
012	SINGLE EXTERIOR	3'-0"	8'-0"	40"	96"	XX-XX	XX-XX	Sgl. Lite	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
013	SLIDING DOUBLE EXTERIOR	6'-0"	8'-0"	74"	96"	XX-XX	XX-XX	2 Pnl.	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
014	BIFOLD	2'-0"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
015	SINGLE	2'-8"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
016	POCKET	2'-8"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
017	SINGLE	2'-8"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
018	SLIDING DOUBLE	5'-0"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
019	SLIDING DOUBLE	5'-8"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
020	SINGLE	2'-8"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
021	SLIDING DOUBLE	6'-0"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
022	SLIDING DOUBLE	5'-8"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
023	BIFOLD	2'-8"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
024	SINGLE	2'-8"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
025	SLIDING DOUBLE	6'-0"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
026	SINGLE	2'-8"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
027	SLIDING DOUBLE	5'-0"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
028	POCKET	2'-8"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
029	SINGLE	2'-8"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
030	BIFOLD DOUBLE	4'-0"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
031	BIFOLD	2'-4"	8'-0"	-	-	-	-	-	-	-	-	-	-	-
032	SINGLE EXTERIOR	3'-4"	6'-8"	44"	82"	XX-XX	XXX-XX	Sgl. Lite	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
033	SINGLE EXTERIOR	3'-4"	6'-8"	44"	82"	XX-XX	XXX-XX	Sgl. Lite	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
034	SINGLE EXTERIOR	3'-4"	6'-8"	44"	82"	XX-XX	XXX-XX	Sgl. Lite	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED

WINDOW SCHEDULE															
MARK	TYPE	STYLE	SIZE		R.O.		D.P.		NOTES	MATERIAL	FRAME	GLASS		TINT	
			W	H	W	H	+	-			COLOR	COLOR	LIGHT TRANS. REDUCTION		VS. LIGHT TRANSMIT.
001	FIXED	PICTURE	7'-4"	6'-2"	80"	100"	XX-XX	XX-XX	Dbl. Pane w/ gls. Abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
002	FIXED	TRANSOM	7'-4"	2'-0"	78"	100"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
003	FIXED	TRANSOM	7'-0"	2'-0"	84"	124"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
004	3860HR*	HORIZONTAL SLIDER	3'-8"	6'-2"	122"	100"	XX-XX	XX-XX	Modified w/ 1" Gl's btwn. & Abv. W/ gls. Abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
005	FIXED	PICTURE	3'-8"	6'-2"	132"	100"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
006	3860HR*	HORIZONTAL SLIDER	3'-8"	6'-2"	122"	100"	XX-XX	XX-XX	Modified w/ 1" Gl's btwn. & Abv. W/ gls. Abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
007	FIXED	TRANSOM	11'-0"	2'-0"	132"	100"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
008	FIXED	PICTURE	4'-0"	6'-2"	50"	100"	XX-XX	XX-XX	Sgl. Pane w/ gls. Abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
009	FIXED	TRANSOM	4'-0"	2'-0"	50"	100"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
010	FIXED	TRANSOM	7'-0"	2'-0"	84"	124"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
011	6060HR	HORIZONTAL SLIDER	6'-2"	6'-2"	74"	100"	XX-XX	XX-XX	W/ f. Gl's. Abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
012	FIXED	TRANSOM	6'-2"	2'-0"	70"	100"	XX-XX	XX-XX	W/ transom abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
013	61060HR	HORIZONTAL SLIDER	6'-10"	6'-6"	86"	100"	XX-XX	XX-XX	W/ transom abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
014	FIXED	TRANSOM	6'-10"	2'-0"	86"	100"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
015	61060HR	HORIZONTAL SLIDER	6'-10"	6'-6"	86"	100"	XX-XX	XX-XX	W/ transom abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
016	FIXED	TRANSOM	6'-10"	2'-0"	86"	100"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
017	3060HR*	HORIZONTAL SLIDER	3'-2"	6'-2"	116"	100"	XX-XX	XX-XX	Modified w/ 1" Gl's btwn. & Abv. W/ gls. Abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
018	FIXED	PICTURE	3'-4"	6'-2"	116"	100"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
019	3060HR*	HORIZONTAL SLIDER	3'-2"	6'-2"	116"	100"	XX-XX	XX-XX	Modified w/ 1" Gl's btwn. & Abv. W/ gls. Abv.	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
020	FIXED	TRANSOM	9'-8"	2'-0"	116"	100"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
021	FIXED	TRANSOM	7'-0"	2'-0"	84"	124"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	NO
022	FIXED	PICTURE	3'-2"	3'-2"	38"	38"	XX-XX	XX-XX	12" Gl's. Block	ALUMINUM	WHITE	CLEAR	20%	0.8	N/A
023	FIXED	PICTURE	3'-2"	3'-2"	38"	38"	XX-XX	XX-XX	12" Gl's. Block	ALUMINUM	WHITE	CLEAR	20%	0.8	N/A
024	FIXED	PICTURE	3'-2"	3'-2"	38"	38"	XX-XX	XX-XX	12" Gl's. Block	ALUMINUM	WHITE	CLEAR	20%	0.8	N/A
025	2032	CASEMENT	2'-2"	3'-2"	28"	42"	XX-XX	XX-XX	Obscure temp.	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
026	6050HR	HORIZONTAL SLIDER	6'-1"	5'-1"	75"	63"	XX-XX	XX-XX	Egress	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
027	FIXED	PICTURE	3'-2"	5'-0"	116"	62"	XX-XX	XX-XX	(3) Eq. Pnls.	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
028	-	PICTURE	3'-2"	5'-0"	-	-	-	-	-	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
029	-	PICTURE	3'-2"	5'-0"	-	-	-	-	-	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
030	FIXED	PICTURE	3'-2"	5'-0"	116"	62"	XX-XX	XX-XX	(3) Eq. Pnls.	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
031	-	PICTURE	3'-2"	5'-0"	-	-	-	-	-	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
032	-	PICTURE	3'-2"	5'-0"	-	-	-	-	-	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
033	FIXED	PICTURE	3'-2"	8'-0"	38"	98"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
034	FIXED	PICTURE	3'-2"	8'-0"	38"	98"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
035	FIXED	PICTURE	3'-2"	8'-0"	38"	98"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
036	FIXED	PICTURE	3'-2"	8'-0"	38"	98"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
037	FIXED	PICTURE	3'-2"	8'-0"	38"	98"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
038	FIXED	PICTURE	3'-2"	8'-0"	38"	98"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
039	FIXED	PICTURE	3'-2"	8'-0"	38"	98"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
040	FIXED	PICTURE	3'-2"	8'-0"	38"	98"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
041	FIXED	PICTURE	3'-2"	8'-0"	38"	98"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
042	FIXED	PICTURE	3'-2"	8'-0"	38"	98"	XX-XX	XX-XX	Sgl. Pane	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
043	2032	CASEMENT	2'-2"	3'-2"	28"	42"	XX-XX	XX-XX	Obscure temp.	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
044	2032	CASEMENT	2'-2"	3'-2"	28"	42"	XX-XX	XX-XX	Obscure temp.	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
045	6050HR	HORIZONTAL SLIDER	6'-1"	5'-1"	75"	63"	XX-XX	XX-XX	Egress	ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
046	FIXED	TRANSOM	6'-0"	2'-0"	74"	26"	XX-XX	XX-XX		ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
047	FIXED	TRANSOM	5'-8"	3'-0"	70"	38"	XX-XX	XX-XX		ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
048	FIXED	TRANSOM	3'-0"	3'-0"	38"	38"	XX-XX	XX-XX		ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
049	FIXED	TRANSOM	5'-8"	3'-0"	70"	38"	XX-XX	XX-XX		ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
050	FIXED	TRANSOM	3'-0"	3'-0"	38"	38"	XX-XX	XX-XX		ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
051	FIXED	TRANSOM	5'-8"	3'-0"	70"	38"	XX-XX	XX-XX		ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED
052	FIXED	TRANSOM	3'-0"	3'-0"	38"	38"	XX-XX	XX-XX		ALUMINUM	WHITE	CLEAR	20%	0.8	ALLOWED

PRODUCT APPROVAL				
MANUFACTURER	DESCRIPTION	PRODUCT	FL/ADA No.	EXPRES
LARSON INDUSTRIES, INC.	EXTERIOR WINDOWS	SERIES "500-7700" ALUM. SINGLE HANG WINDOW-LH	23-1010.03	12/01/2026
LARSON INDUSTRIES, INC.	EXTERIOR WINDOWS	SERIES "2000" OUTSWING ALUM. CASEMENT WINDOW-LH	24-0104.04	03/04/2025
LARSON INDUSTRIES, INC.	EXTERIOR WINDOWS	SERIES "4000/5000" ALUM. FIXED WINDOW-LH	23-1010.02	06/22/2027
LARSON INDUSTRIES, INC.	SGL./DBL. EXTERIOR DOORS	SERIES "2000 LA PORTE" 6'-0" OUTSWING GLAZED ALUMINUM French Doors - LH	23-1012.03	06/09/2026
PST INDUSTRIES, INC.	EXT. SLIDING GLASS DOORS	SERIES "500-770" ALUMINUM SLIDING GLASS DOOR W/ 90 PNL. & 120 PNL. COORDS - LH	24-1210.08	02/17/2030
SEES GLASS BLOCK, INC.	EXT. GLASS BLOCK	HIGH PERFORMANCE RESISTANT GLASS BLOCK PANELS	23-1012.14	10/09/2026
QVF	FLAT ROOF AREAS	QVF CONVENTIONAL BUILT-UP ROOF SYSTEMS FOR WOOD DECKS	24-0208.04	11/04/2025

revisions  
no. \_\_\_\_\_ date \_\_\_\_\_  
-TAC COMMENTS (JUNE 24) 12/19/2024  
-TAC COMMENTS (JUN 25) 03/04/2025  
-TAC COMMENTS (AUG 25) 04/01/2025

designed 6TD/SMS  
drawn 6TD  
checked SMS  
date 05/15/2024  
scale 1/4" = 1'-0"  
job no. 24-XXXXLARC

Shawn M. Stambaugh, PE  
FL LIC. #1850 - CA. 26210

COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project



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Cost Segregation

6415 LAKE WORTH ROAD SUITE 105  
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561-202-6904  
WWW.QEASSOCIATES.COM

drawing  
DOOR &  
WINDOW  
SCHEDULES

sheet  
A-0



revisions	
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-TAC COMMENTS (JUNE 24)	12/19/2024
-TAC COMMENTS (JAN 25)	03/04/2025
-TAC COMMENTS (MAY 25)	04/01/2025

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drawing  
2ND FLOOR  
PLAN

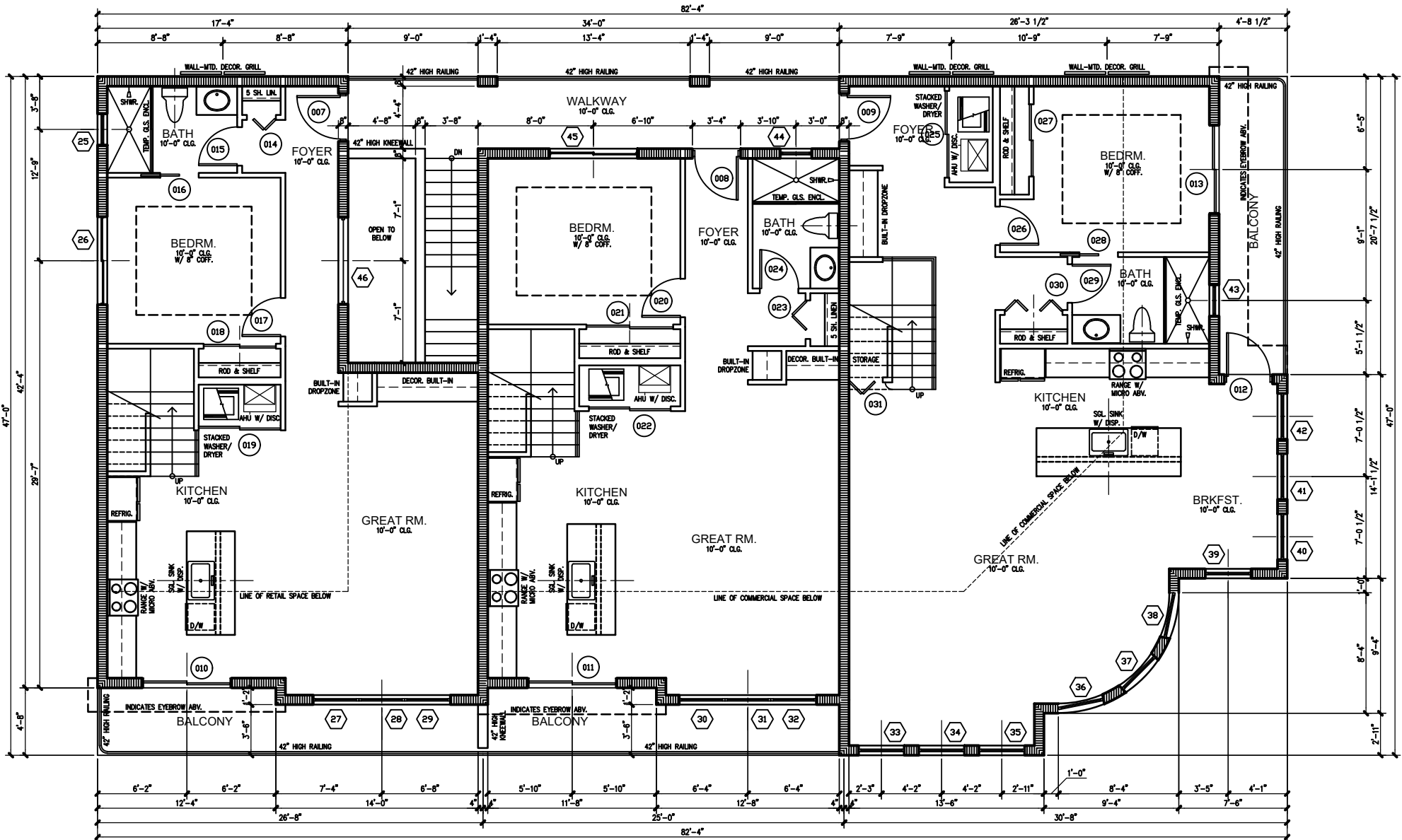
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of

UNIT "A" AREA	
MAIN A/C FLOOR	961 S.F.
LANDING AREA	142 S.F.
TOTAL A/C SQ. FEET	1,103 S.F.
OPEN BALCONY	108 S.F.
COV'D. DECK	217 S.F.
OPEN USABLE DECK	507 S.F.
TOTAL SQUARE FEET	1,935 S.F.

UNIT "B" AREA	
MAIN A/C FLOOR	953 S.F.
LANDING AREA	142 S.F.
TOTAL A/C SQ. FEET	1,095 S.F.
OPEN BALCONY	100 S.F.
COV'D. DECK	195 S.F.
OPEN USABLE DECK	476 S.F.
TOTAL SQUARE FEET	1,866 S.F.

UNIT "C" AREA	
MAIN A/C FLOOR	1,213 S.F.
LANDING AREA	142 S.F.
TOTAL A/C SQ. FEET	1,355 S.F.
OPEN BALCONY	97 S.F.
COV'D. DECK	217 S.F.
OPEN USABLE DECK	444 S.F.
TOTAL SQUARE FEET	2,113 S.F.



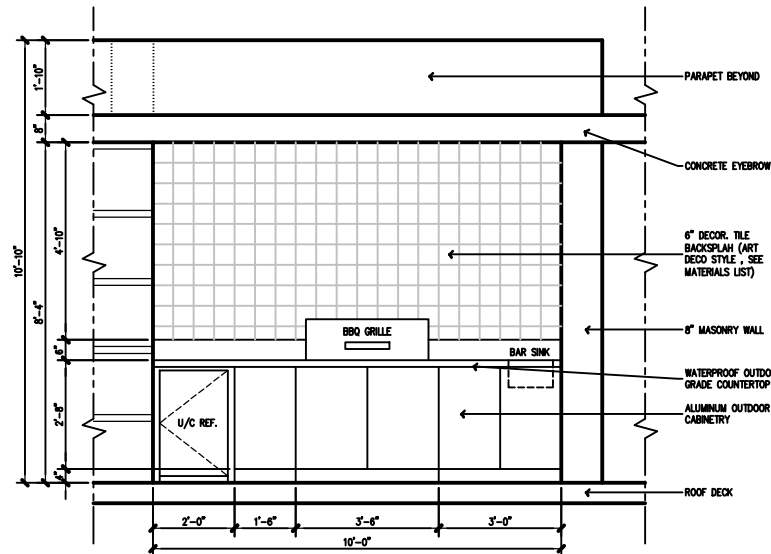
UNIT A

UNIT B

UNIT C



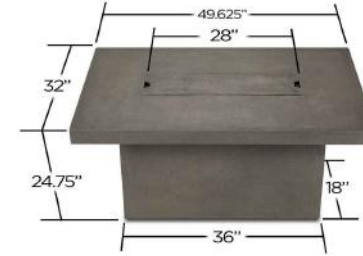




1 SUMMER KITCHEN ELEV.  
ROOFTOP TYPICAL  
SCALE: 1/2" = 1'-0"



DECOR. WALL TILE SAMPLE  
NOTE: SUPPLY MAY VARY AT TIME OF INSTALLATION, CONTRACTOR TO  
SUBMIT SIMILAR ALTERNATE FOR APPROVAL PRIOR TO INSTALL.

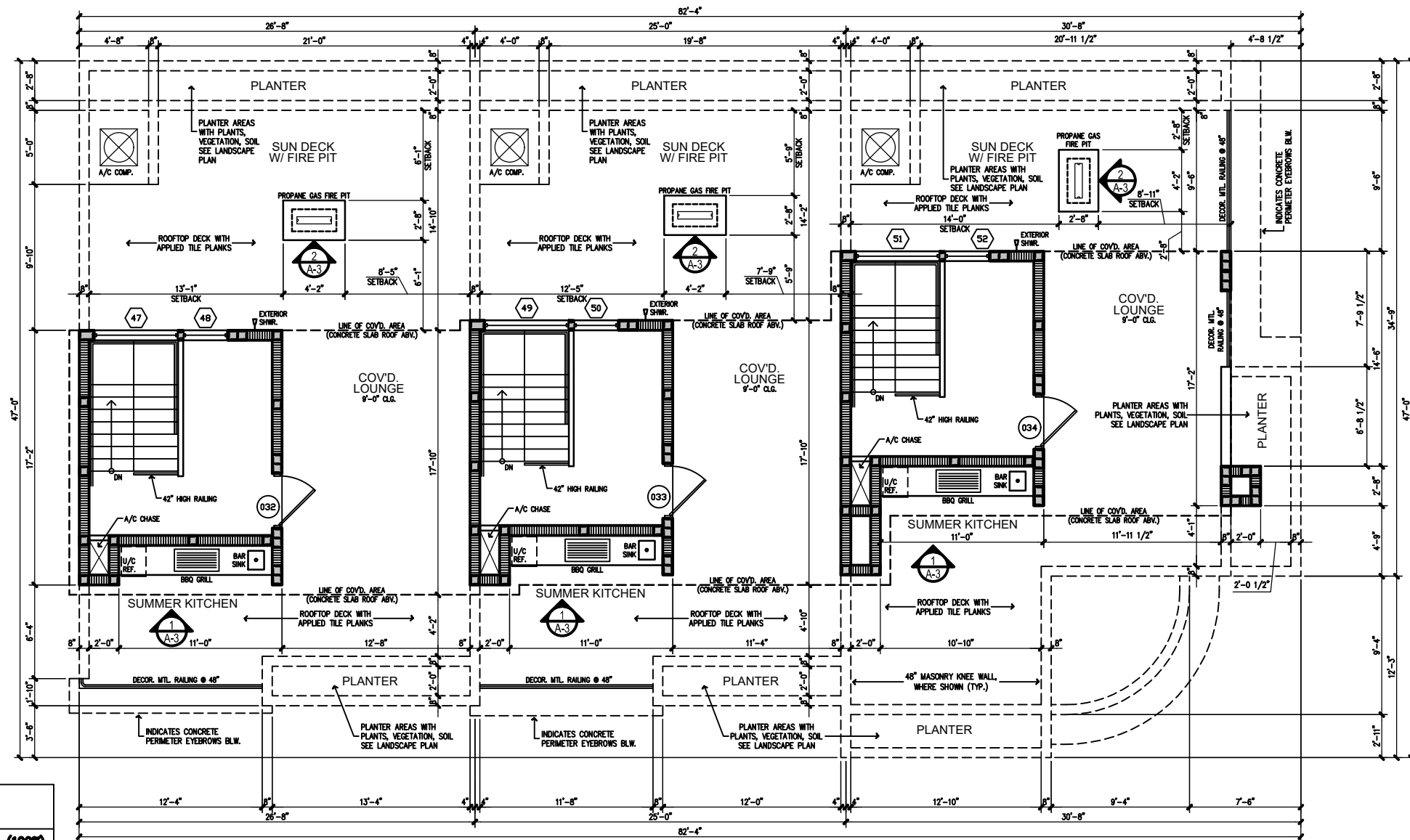


2 FIRE PIT DIMENSIONS  
VENTURA RECTANGULAR FIRE TABLE (MODEL # 9640 LP)  
BY REALFLAME FIREPLACES

revisions	no.	date
-TAC COMMENTS (JUNE 24)	12/19/2024	
-TAC COMMENTS (JAN 25)	03/04/2025	
-TAC COMMENTS (MAY 25)	04/01/2025	

designed GTO/SMS  
drawn GTO  
checked SMS  
date 05/15/2024  
scale 1/4" = 1'-0"  
job no. 24-XXXXLARC

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ROOFTOP LANDSCAPE CALC. (LDR Section 4.3.3(RR)(3))	
TOTAL ROOFTOP AREA	2,721 SF. (100%)
MIN. REQ'D. LANDSCAPE	272 SF. (10.0%)
PROVIDED PLANTER L'SCAPE	276 SF. (10.14%)

UNIT A

UNIT B

UNIT C

COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project

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Structural Engineering  
Cost Segregation

6415 LAKE WORTH ROAD SUITE 105  
GREENACRES, FL 33463  
863-202-6994  
WWW.QEASSOCIATES.COM

drawing  
3RD FLOOR/  
ROOFTOP  
TERRACE  
PLAN  
sheet  
A-3  
of

revisions	
no.	date
-TAC COMMENTS (JUNE 24)	12/19/2024
-TAC COMMENTS (JAN 25)	03/04/2025
-TAC COMMENTS (MAR 25)	04/01/2025

designed	GTD/SMS
drawn	GTD
checked	SMS
date	05/15/2024
scale	1/4" = 1'-0"
job no.	24-XXXX.ARC

Shawn M. Stambaugh, PE  
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project  
COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA

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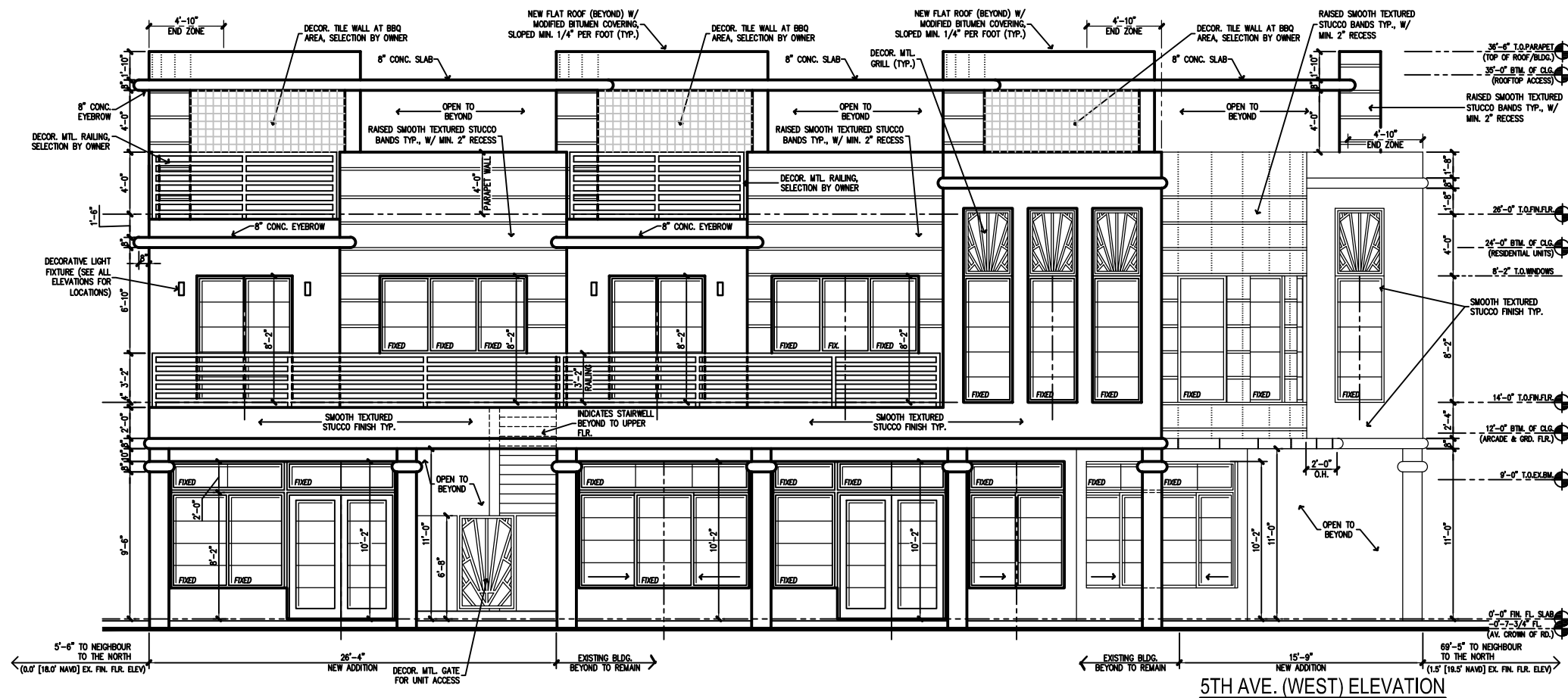
Structural Engineering  
●  
Cost Segregation

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GREENACRES, FL 33463  
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drawing  
WEST  
ELEVATIONS

sheet  
A-4.1

of



revisions	
no.	date
-TAC COMMENTS (JUNE 24)	12/19/2024
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-TAC COMMENTS (MAR 25)	04/01/2025

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drawn GTO  
checked SMS  
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job no. 24-XXXXLARC

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COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project

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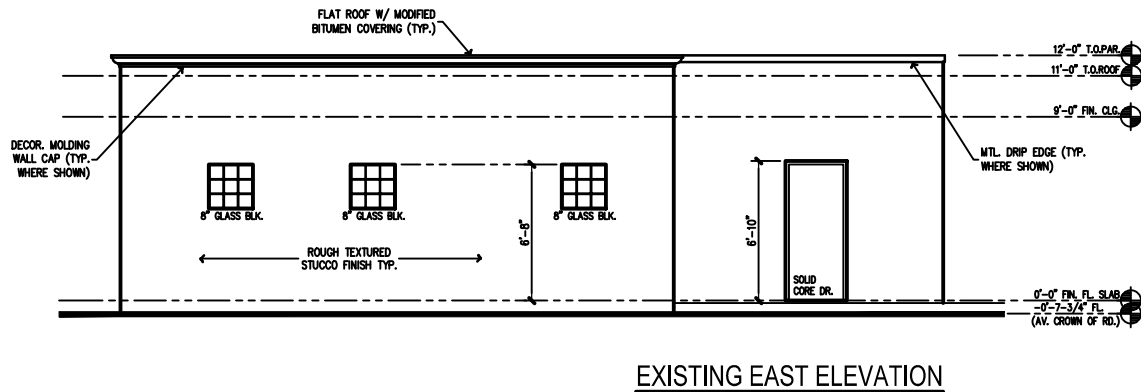
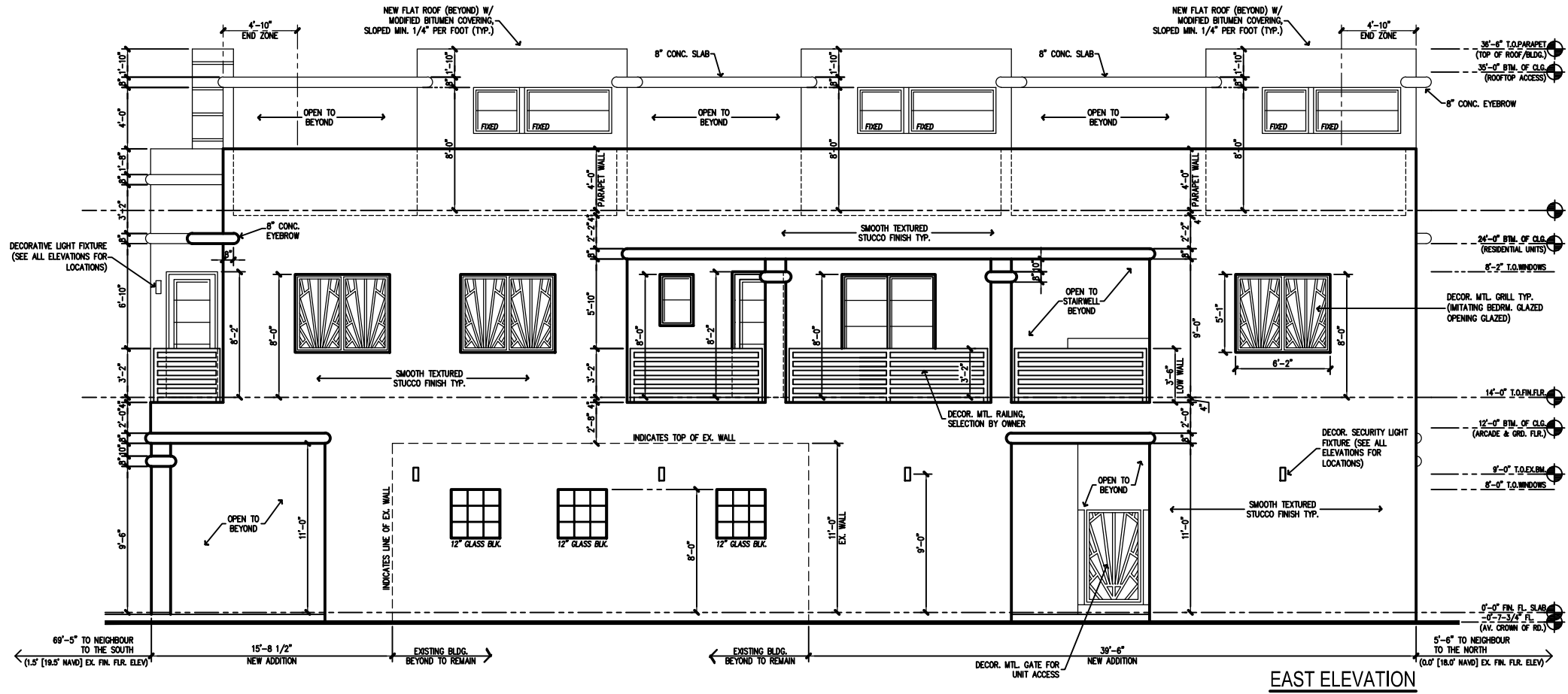
Structural Engineering  
•  
Cost Segregation

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GREENACRES, FL 33463  
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drawing  
**EAST  
ELEVATIONS**

sheet  
**A-4.2**

of





revisions	no.	date
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-TAC COMMENTS (JAN 25)	13	03/04/2025
-TAC COMMENTS (MAY 25)	14	04/01/2025

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drawn	GTD
checked	SMS
date	05/15/2024
scale	1/4" = 1'-0"
job no.	24-XXXX-ARC

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FL LIC. #1850 - CA. 26210

COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project

**QEA**  
QUANTUM ENGINEERING ASSOCIATES INC.

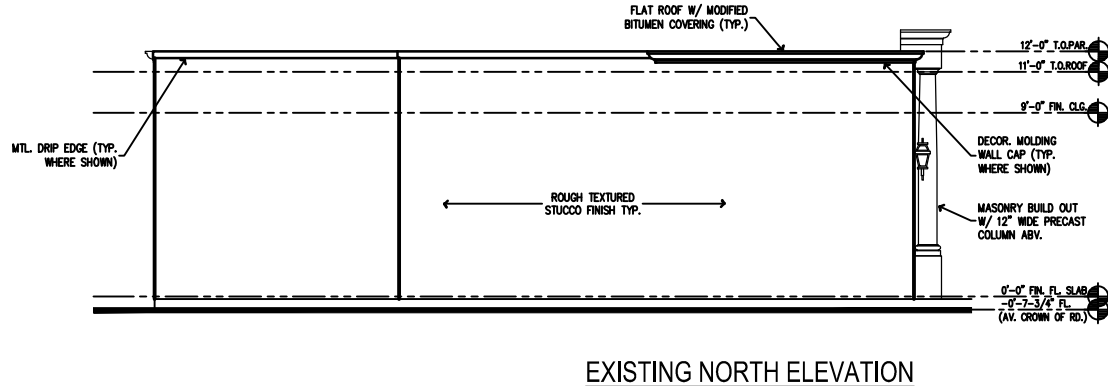
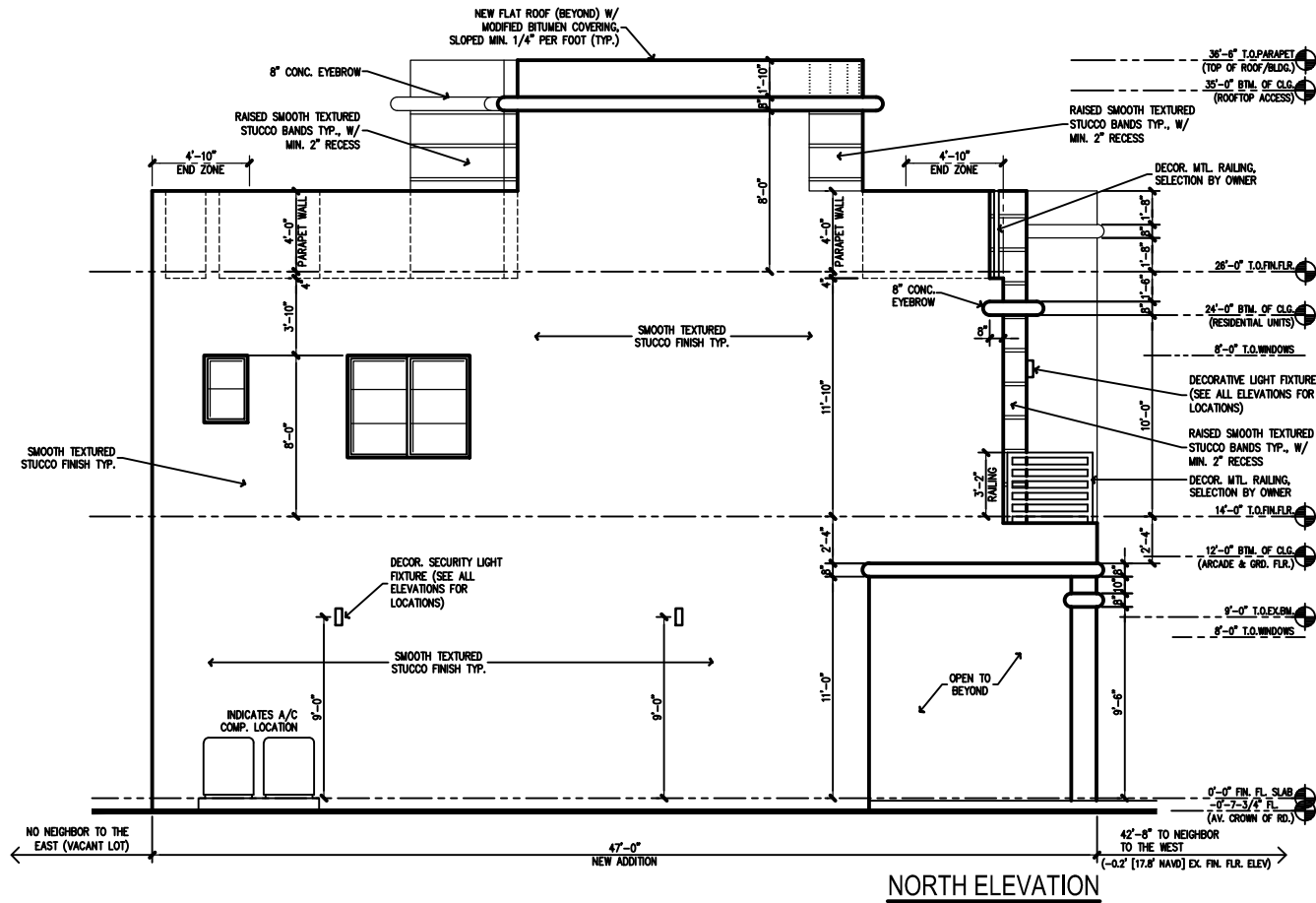
Structural Engineering  
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Cost Segregation

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drawing  
**NORTH  
ELEVATIONS**

sheet  
**A-4.4**

of



revisions	
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-TAC COMMENTS (MAR 25)	04/01/2025

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drawn	GTD
checked	SMS
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scale	1/4" = 1'-0"
job no.	24-XXXX.ARC

Shawn M. Stambaugh, PE  
FL LIC. 61850 - CA. 26210

project  
COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA



*Structural Engineering*  
●  
*Cost Segregation*

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drawing  
FACADE  
TRIPARTITE  
COMPOSITION

sheet  
A-4.5

of



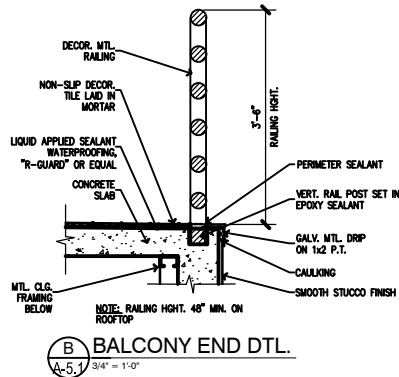
1ST. ST. (SOUTH) ELEVATION



5TH AVE. (WEST) ELEVATION

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-TAC COMMENTS (JAN 25)	03/04/2025	
-TAC COMMENTS (MAY 25)	04/01/2025	

designed GTO/SMS  
drawn GTO  
checked SMS  
date 05/15/2024  
scale 1/4" = 1'-0"  
job no. 24-XXXXLARC



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COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project

**QEA**  
QUANTUM ENGINEERING ASSOCIATES INC.

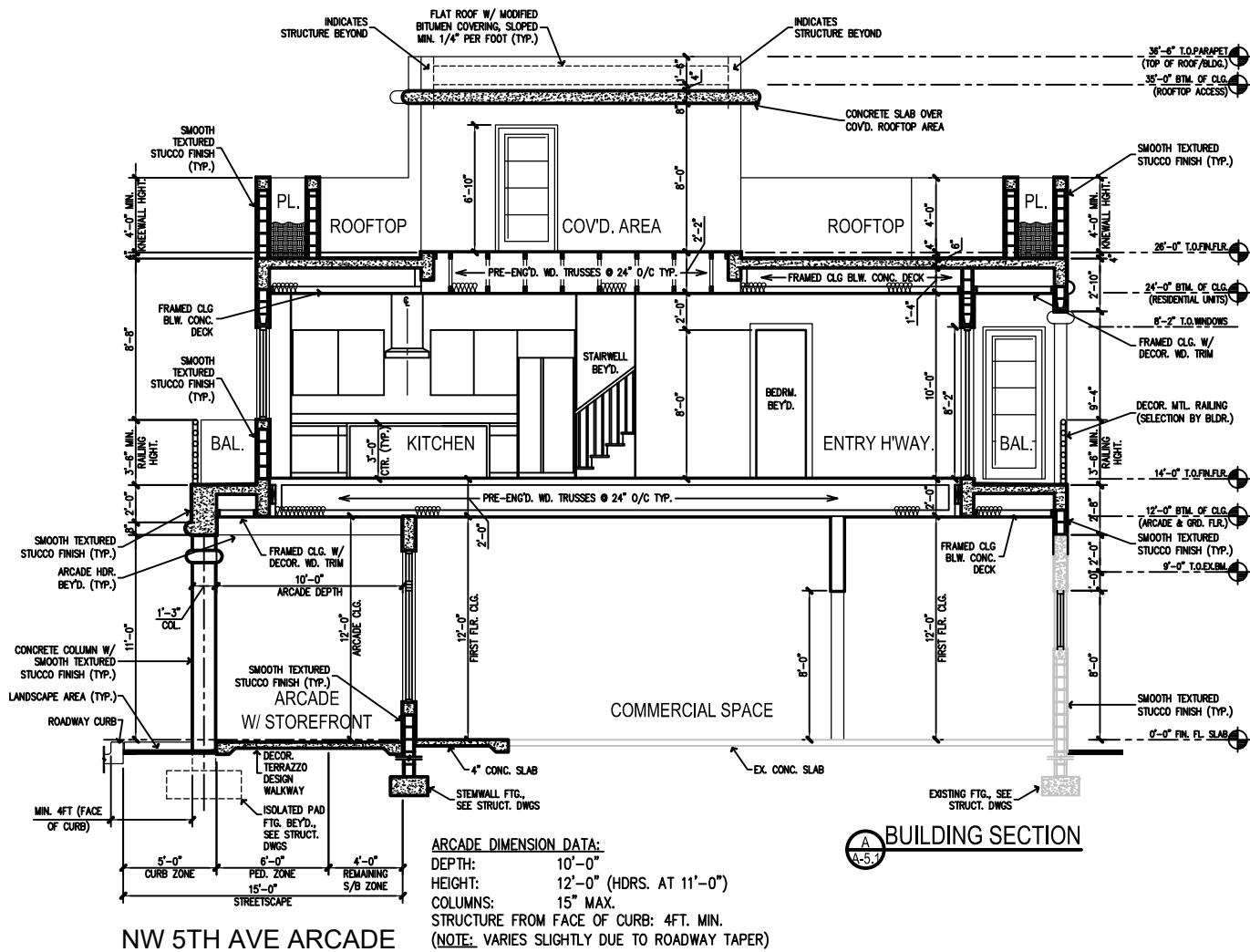
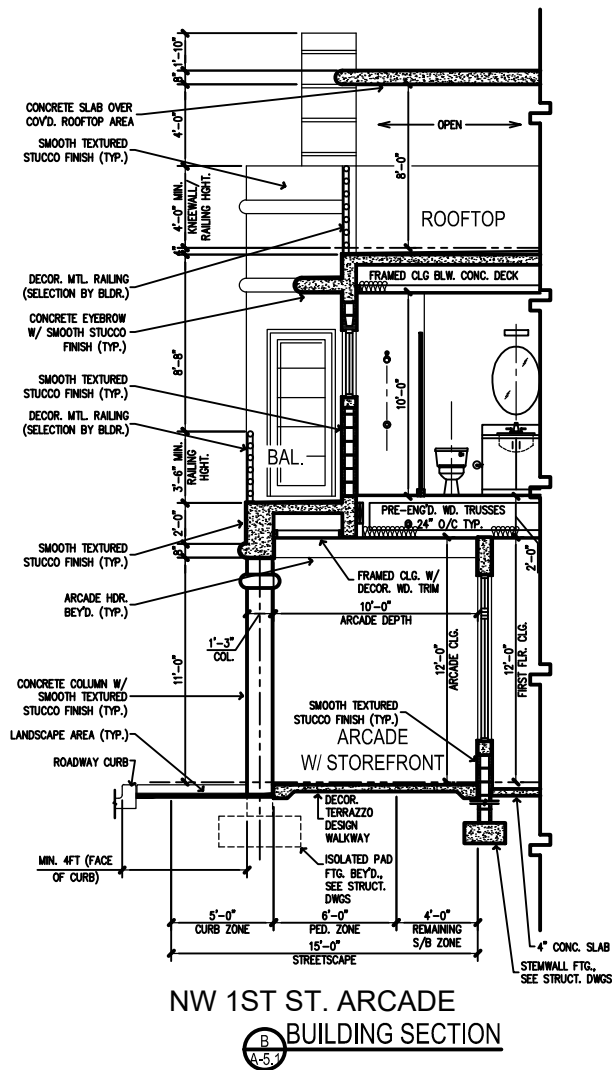
Structural Engineering  
•  
Cost Segregation

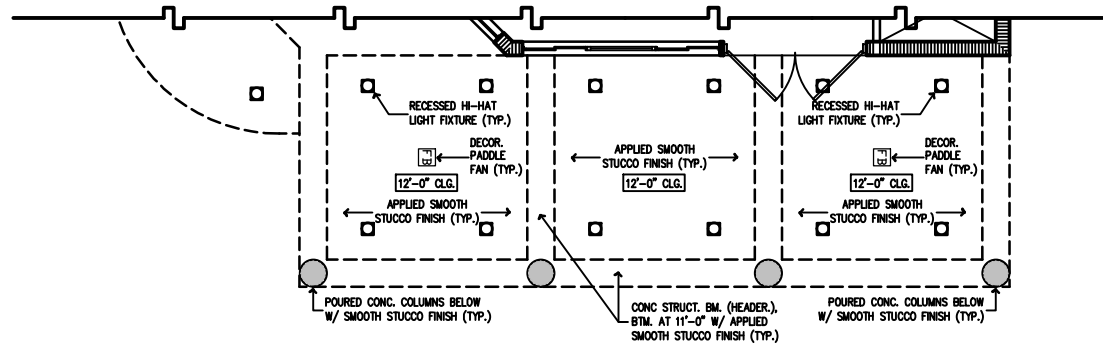
6415 LAKE WORTH ROAD SUITE 105  
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866-202-6994  
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drawing  
**BUILDING SECTIONS**

sheet  
A-5.1

of

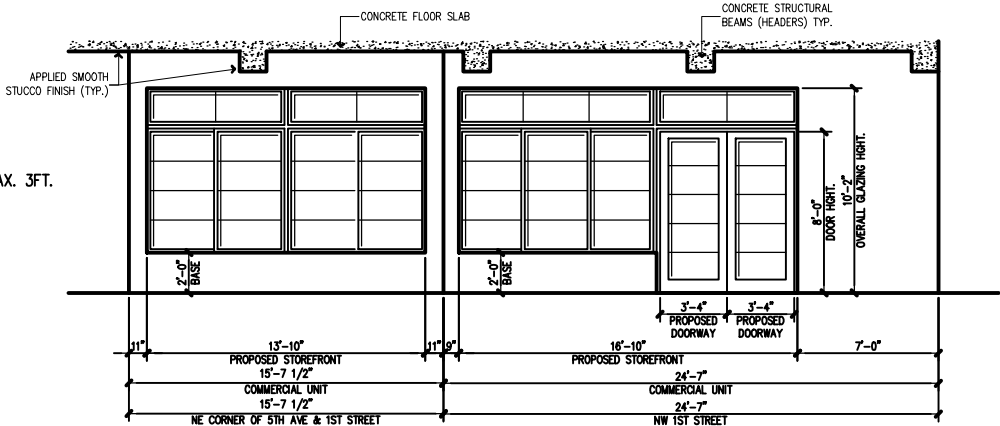




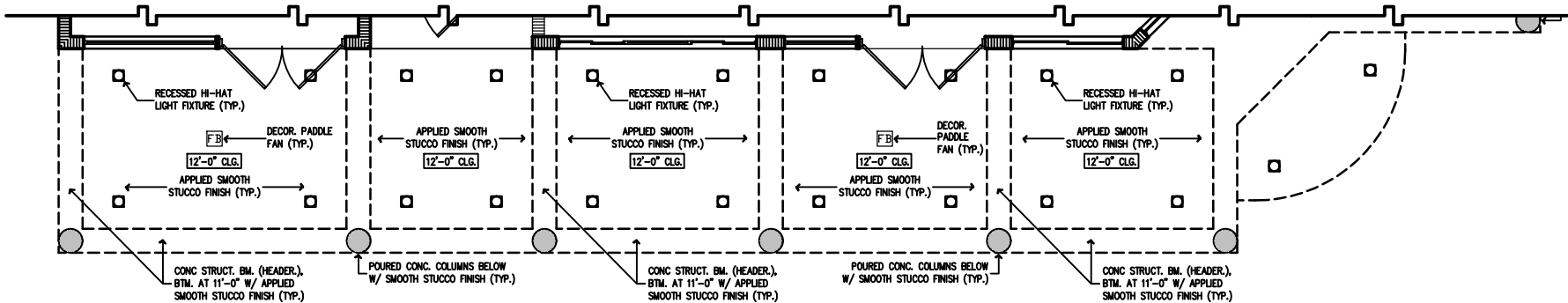
NW 1ST ST. ARCADE CLG.

LOT FRONTAGE CALC. (LDR Section 4.3.13(E)(4)(E)(e)(1))	
TOTAL BLDG. FRONTAGE	91.16 L.F. (100%)
MIN. REQUIRED OPENINGS	72.93 L.F. (80%)
PROPOSED STOREFRONT	73.50 L.F. (80.63%)

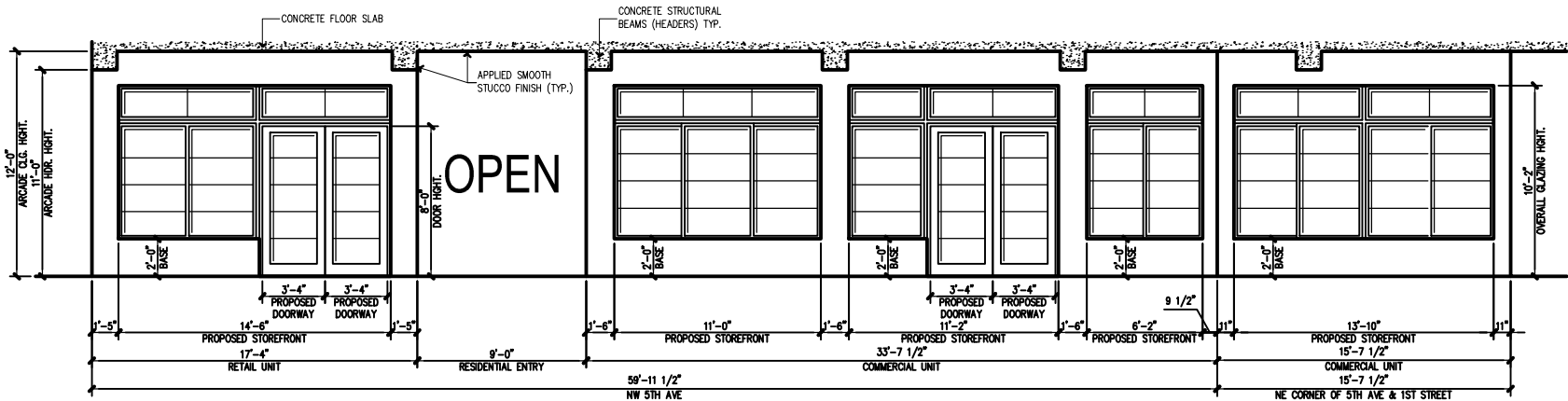
STOREFRONT GENERAL REQUIREMENTS  
STOREFRONT BASE: MIN. 9" - MAX. 3FT.  
GLAZING HGT. INCL. BASE: MIN. 8 FT.  
REQUIRED OPENINGS: MIN. 80%



NW 1ST ST. STOREFRONT



NW 5TH AVE ARCADE CLG.



NW 5TH AVE STOREFRONT

revisions	no.	date
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designed: GTO/SMS  
drawn: GTO  
checked: SMS  
date: 05/15/2024  
scale: 1/4" = 1'-0"  
job no.: 24-XXXXARC

Shawn M. Stambaugh, PE  
FL LIC. #1850 - CA. 20210

COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project

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Structural Engineering  
Cost Segregation

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drawing  
ARCADE W/  
STOREFRONT  
SCALE: 1/4" = 1'-0"

sheet  
A-5.2

of



revisions	
no.	date
-TAC COMMENTS (JUNE 24)	12/19/2024
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-TAC COMMENTS (MAR 25)	04/01/2025

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COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project



Structural Engineering  
•  
Cost Segregation

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drawing  
STREETSCAPE  
ELEVATIONS  
SCALE:  $\frac{3}{32}$ " = 1'-0"

sheet  
A-5.3

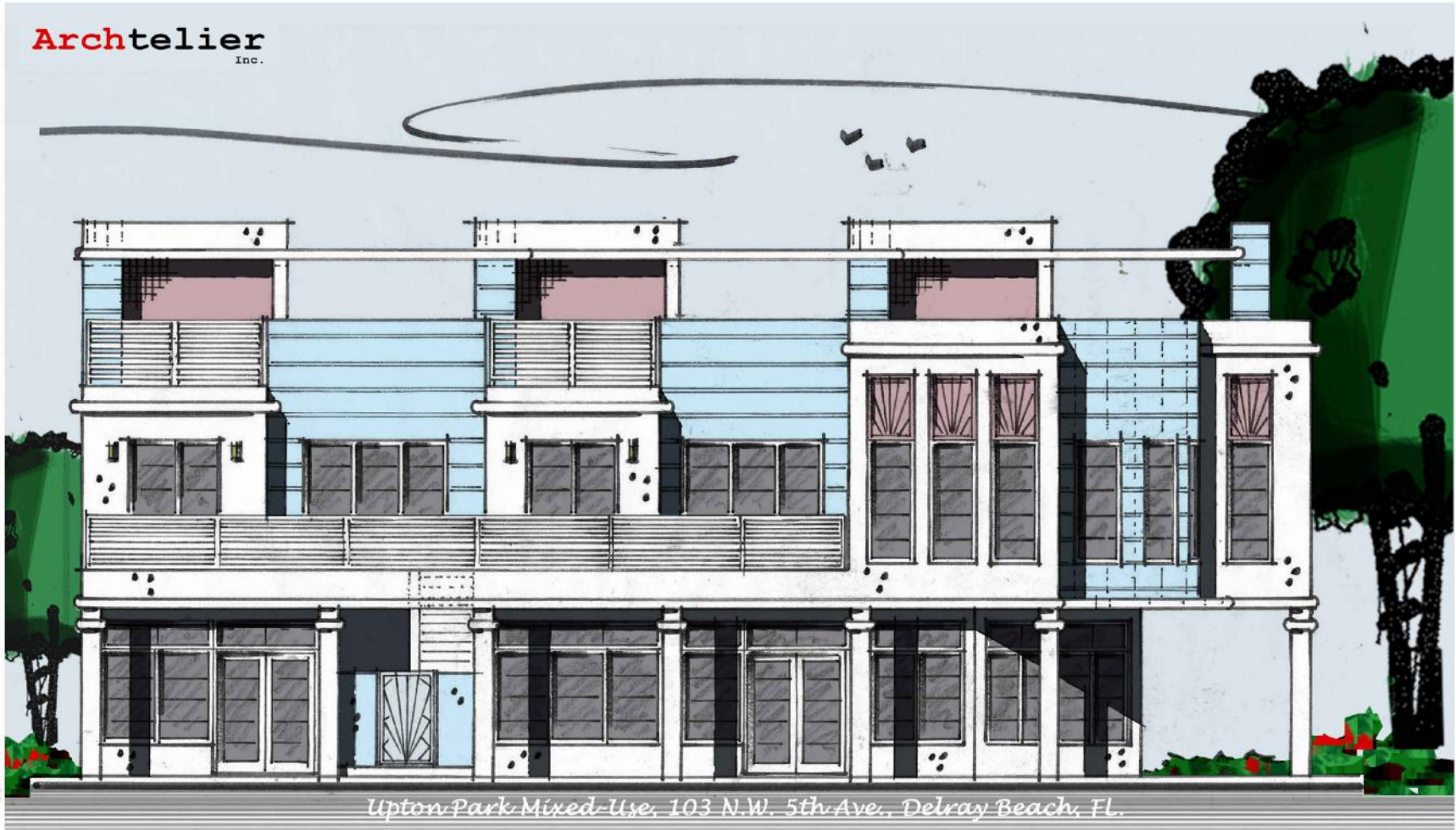
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WITH SELECTED COLOR PALETTE

COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project

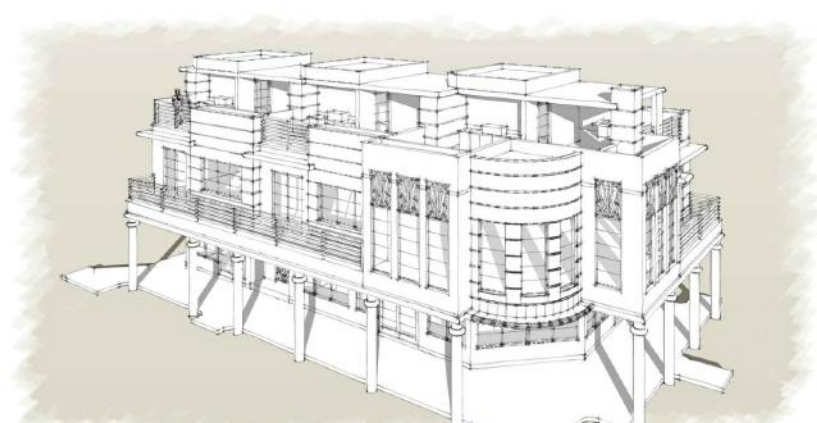
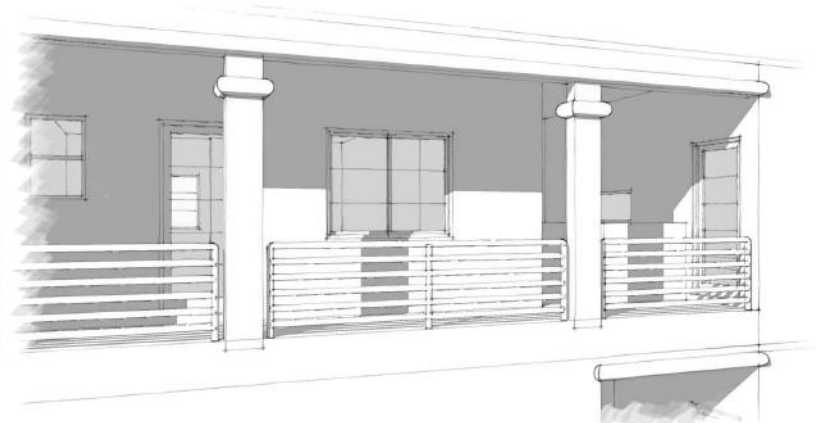


Structural Engineering  
Cost Segregation

6415 LAKE WORTH ROAD SUITE 105  
GREENACRES, FL 33463  
954-202-6914  
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drawing  
BUILDING  
RENDERING  
(WEST  
ELEVATION)  
sheet  
A-6.1

of



revisions	
no.	date
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-TAC COMMENTS (MAR 25)	04/01/2025

designed GTO/SMS  
drawn GTO  
checked SMS  
date 05/15/2024  
scale 1/4" = 1'-0"  
job no. 24-XXXX-ARC

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FL LIC. #1850 - CA. 20210

COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project



Structural Engineering  
•  
Cost Segregation

6415 LAKE WORTH ROAD SUITE 105  
GREENACRES, FL 33463  
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drawing  
BUILDING  
RENDERINGS

sheet  
A-6.2

of



EXISTING PHOTOGRAPHS

revisions	
no.	date
-TAC COMMENTS (JUNE 24)	12/19/2024
-TAC COMMENTS (JUN 25)	03/04/2025
-TAC COMMENTS (JUN 25)	04/01/2025
designed	GTD/SMS
drawn	GTD
checked	SMS
date	05/15/2024
scale	1/4" = 1'-0"
job no.	24-XXXXLARC



LEFT SIDE VIEW (NORTH)



FRONT VIEW (WEST)



RIGHT SIDE VIEW (SOUTH)



REAR VIEW (EAST)



NW 5TH AVE  
EAST VIEW

NORTH NEIGHBOR



EXISTING RESIDENCE



SOUTH NEIGHBOR



NW 5TH AVE  
WEST VIEW

OPPOSITE SOUTH NEIGHBOR



OPPOSITE NEIGHBOR



OPPOSITE NORTH NEIGHBOR



NW 1ST STREET  
NORTH VIEW

WEST NEIGHBOR



EXISTING RESIDENCE



EAST NEIGHBOR



NW 1ST STREET  
NORTH VIEW

OPPOSITE EAST NEIGHBOR



OPPOSITE NEIGHBOR



OPPOSITE WEST NEIGHBOR

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COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project



Structural Engineering  
•  
Cost Segregation

6415 LAKE WORTH ROAD SUITE 105  
GREENACRES, FL 33463  
954-202-6914  
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drawing  
EXISTING  
PHOTOGRAPHS

sheet  
A-6.3

of

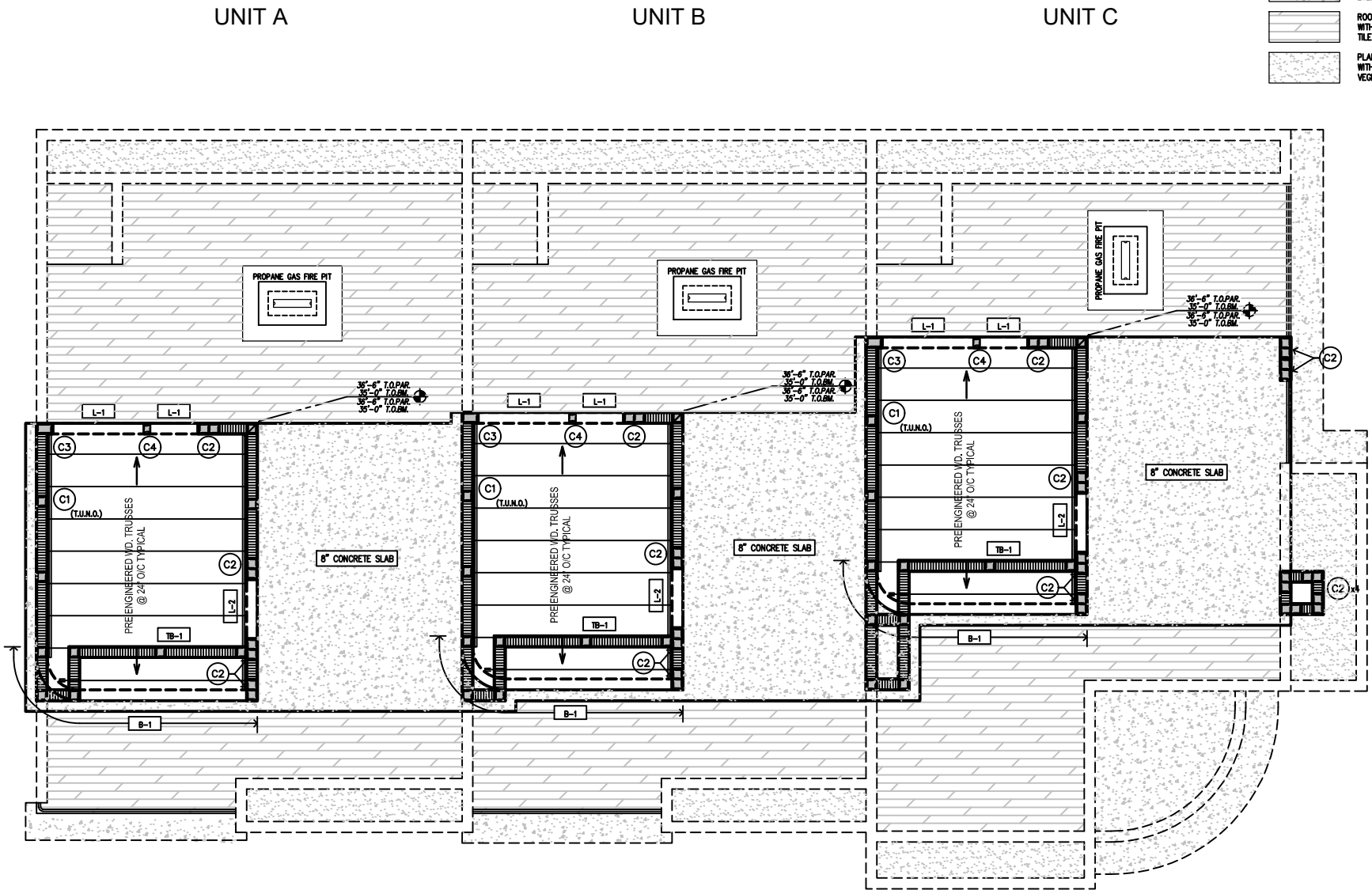
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-TAC COMMENTS (MAR 25)	04/01/2025

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drawn	GTD
checked	SMS
date	05/15/2024
scale	1/4" = 1'-0"
job no.	24-XXXXLARC

ROOF PLAN  
MATERIAL LEGEND

	CONCRETE SLAB ROOF & PERIMETER EYEBROWS
	ROOFTOP DECK WITH APPLIED TILE PLANKS
	PLANTER AREAS WITH PLANTS, VEGETATION, SOIL

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COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project

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drawing  
ROOF  
FRAMING  
PLAN

sheet  
S-4

of

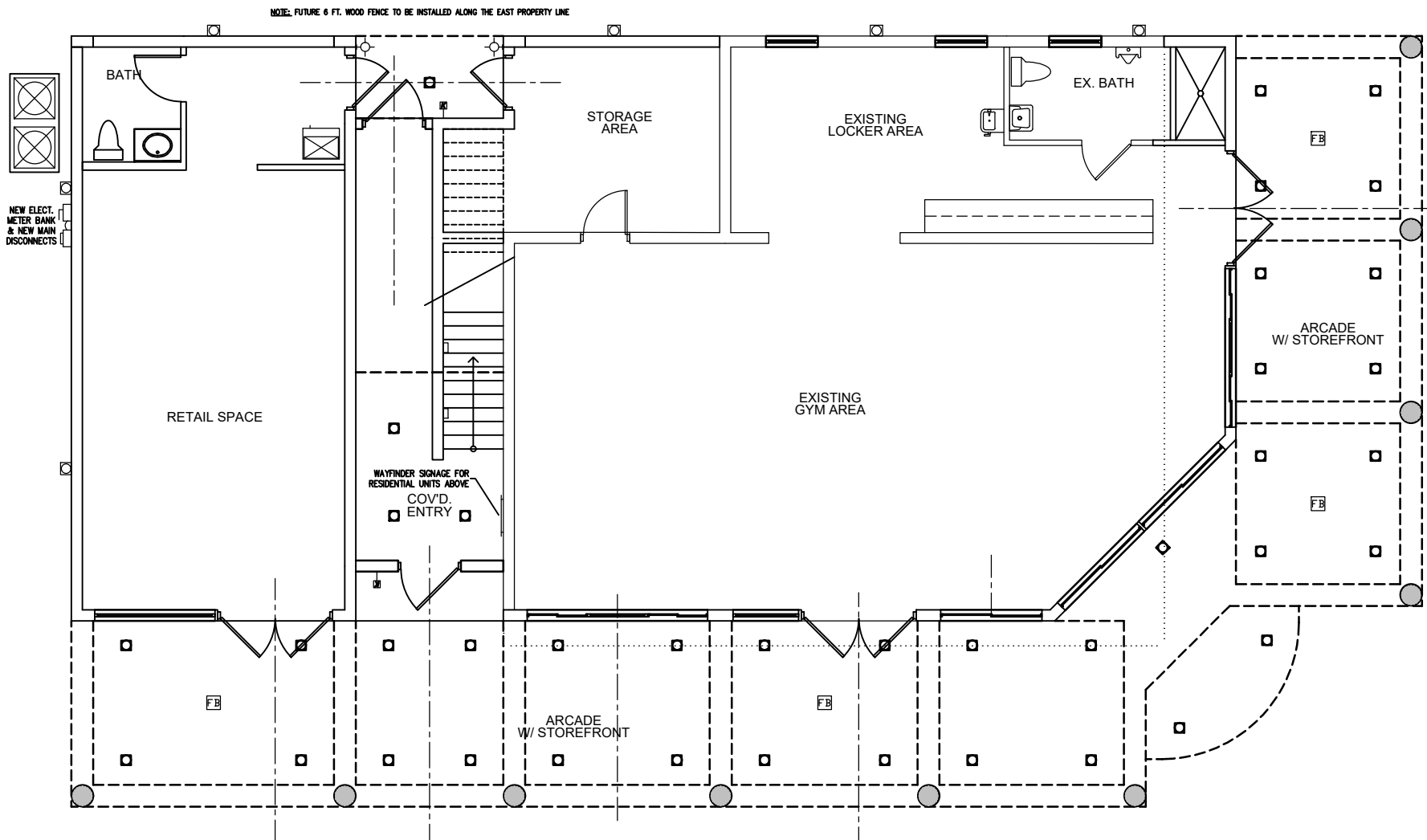
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-TAC COMMENTS (MAR 25)	04/01/2025	

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drawn GTD  
checked SMS  
date 05/15/2024  
scale 1/4" = 1'-0"  
job no. 24-XXXXLARC

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LEGEND

- RECESSED WALL DOWN LIGHTS
- DECOR. WALL MOUNT FIXTURE
- RECESSED C.L.G. FIXTURE
- FAN BOX
- SECURITY WALL LIGHT ON TIME CLOCK
- KEYPAD FOR RESIDENTIAL UNIT ACCESS



COMMERCIAL PROJECT  
2 STORY ADDITION  
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CITY OF DELRAY BEACH  
FLORIDA  
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drawing  
**ELECTRICAL  
PLAN/  
SECURITY  
FEATURES**  
sheet  
E-1

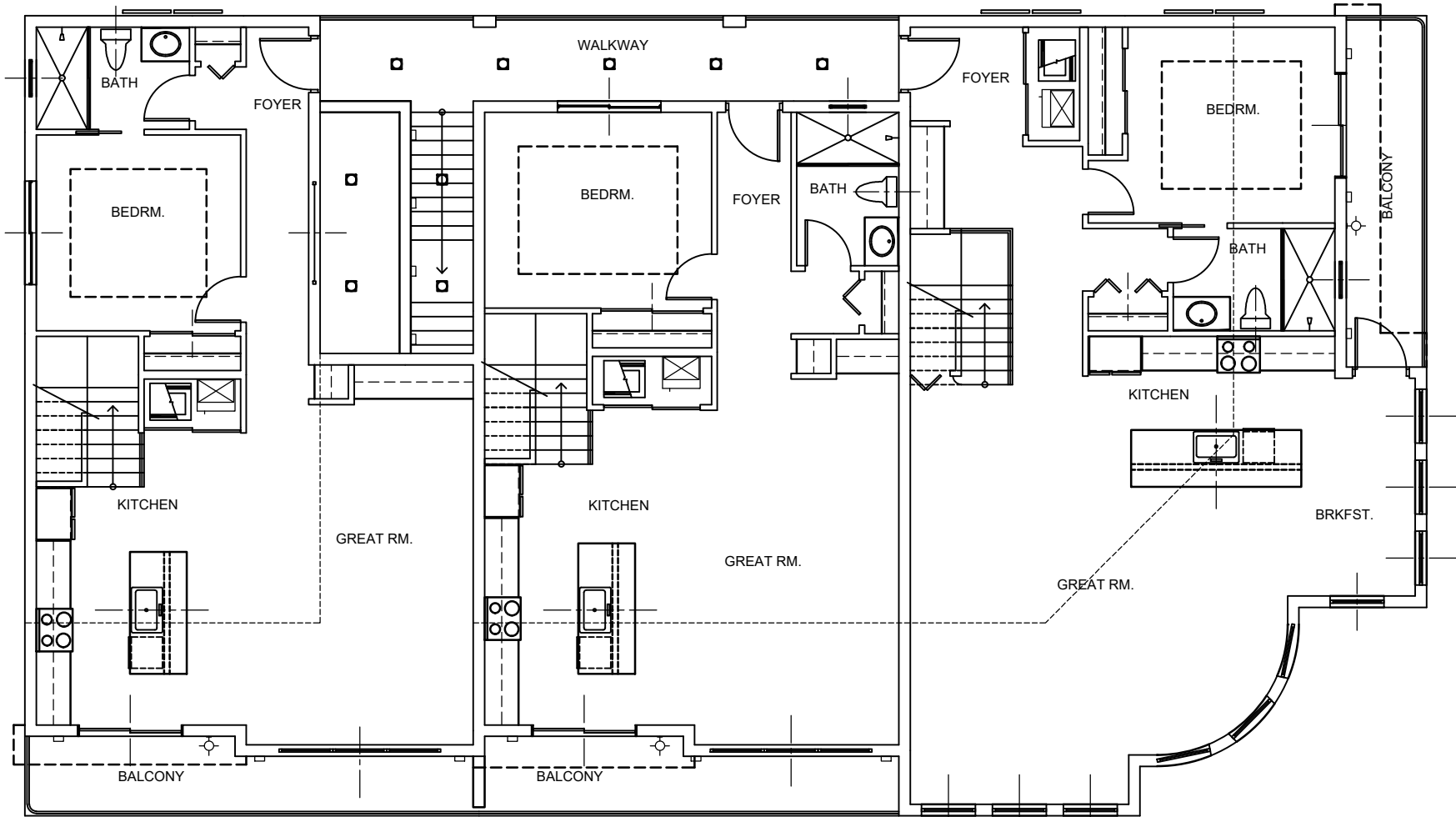
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revisions	
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COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project



Structural Engineering  
•  
Cost Segregation

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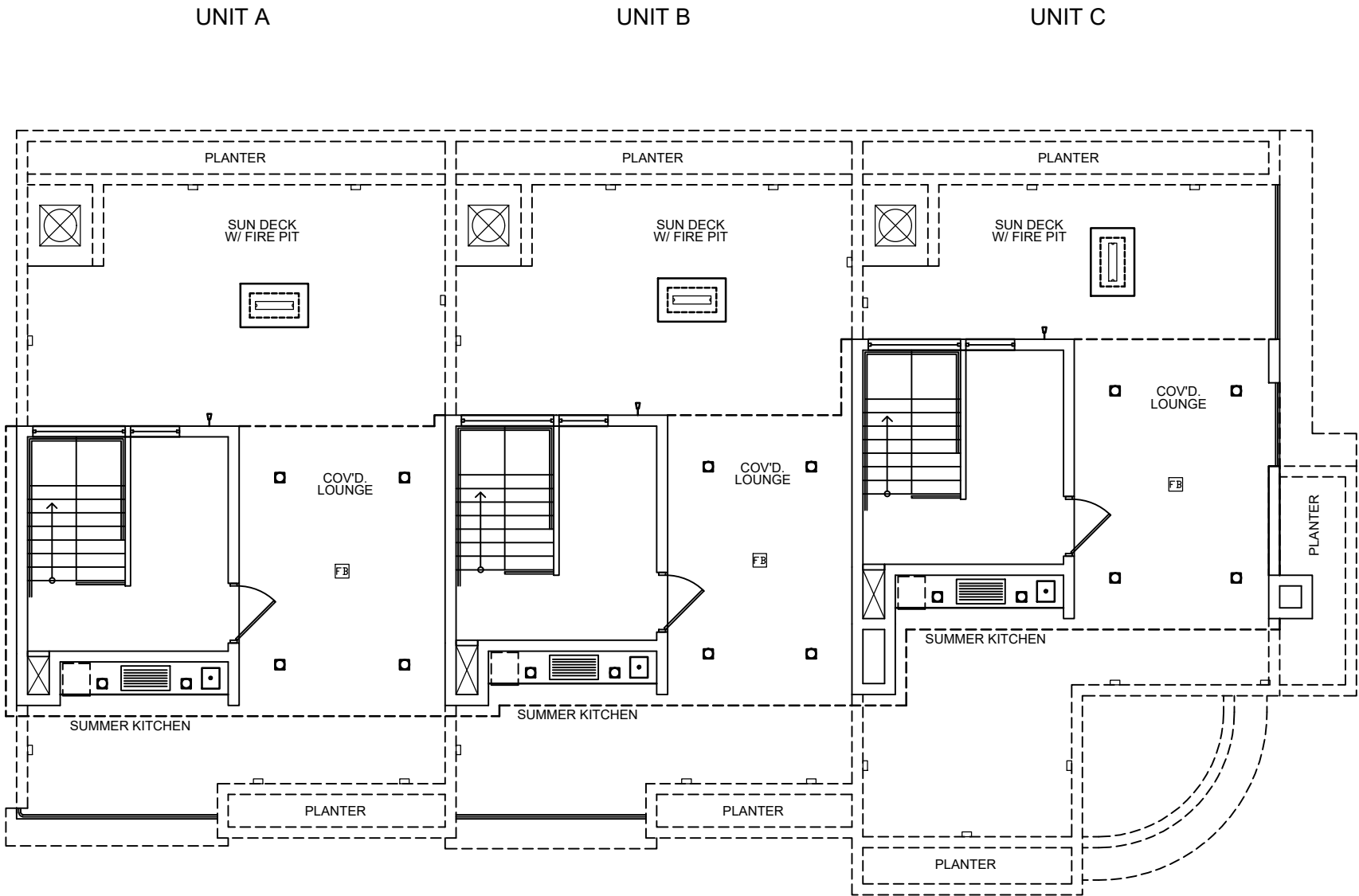
drawing  
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FLOOR  
ELECTRICAL  
PLAN  
sheet  
E-2

of



revisions	
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COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
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FLORIDA  
project



Structural Engineering  
•  
Cost Segregation

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drawing  
3RD FLOOR/  
ROOFTOP  
TERRACE  
ELECT. PLAN  
sheet  
E-3

of





revisions	
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COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project

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drawing  
GROUND  
FLOOR LIFE  
SAFETY PLAN

sheet  
LS-1

of

FIRE SAFETY LEGEND		
MARK	TYPE	REMARKS
	EMERGENCY LIGHT	W/ BATTERY PACK
	EXIT LIGHT	W/ BATTERY PACK, HATCH SHOWS ORIENTATION OF SIGNAGE
	FIRE EXTINGUISHER	10# ABC WALL MTD. DRY CHEMICAL
	FIRE ALARM	INTERCONNECTED FIRE ALARM

**FIRE SAFETY NOTES:**  
1. PROVIDE IN-DUCT SMOKE DETECTOR FOR A/C UNITS OVER 2000 CFM.  
2. FIRE EXTINGUISHER TO BE 10 LB. ABC DRY CHEMICAL AND MOUNTED 48" A.F.F.  
3. EMERGENCY LIGHT, EXIT LIGHT AND SMOKE DETECTOR TO HAVE BATTERY BACKUP & SHALL BE WIRED AHEAD OF SWITCH.

**PLAN NOTES:**  
PER 2023 F.B.C. ACCESSIBILITY  
THIS CODE ESTABLISHES THE MINIMUM STANDARDS FOR THE ACCESSIBILITY OF BUILDINGS AND FACILITIES BUILT OR ALTERED WITHIN THE STATE.

NEW WINDOW GLAZING TO BE IMPACT RESISTANT.

ALL INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH NFPA 101, SECTION 12.3.3

NOTE: INTERIOR FINISH MATERIALS OTHER THAN THOSE APPLIED TO FLOORS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84.			
OCCUPANCY	SPRINKLERED		
	EXITS / ACCESS	OTHER SPACES	
A-3	B	B	C
R-2	C	C	C

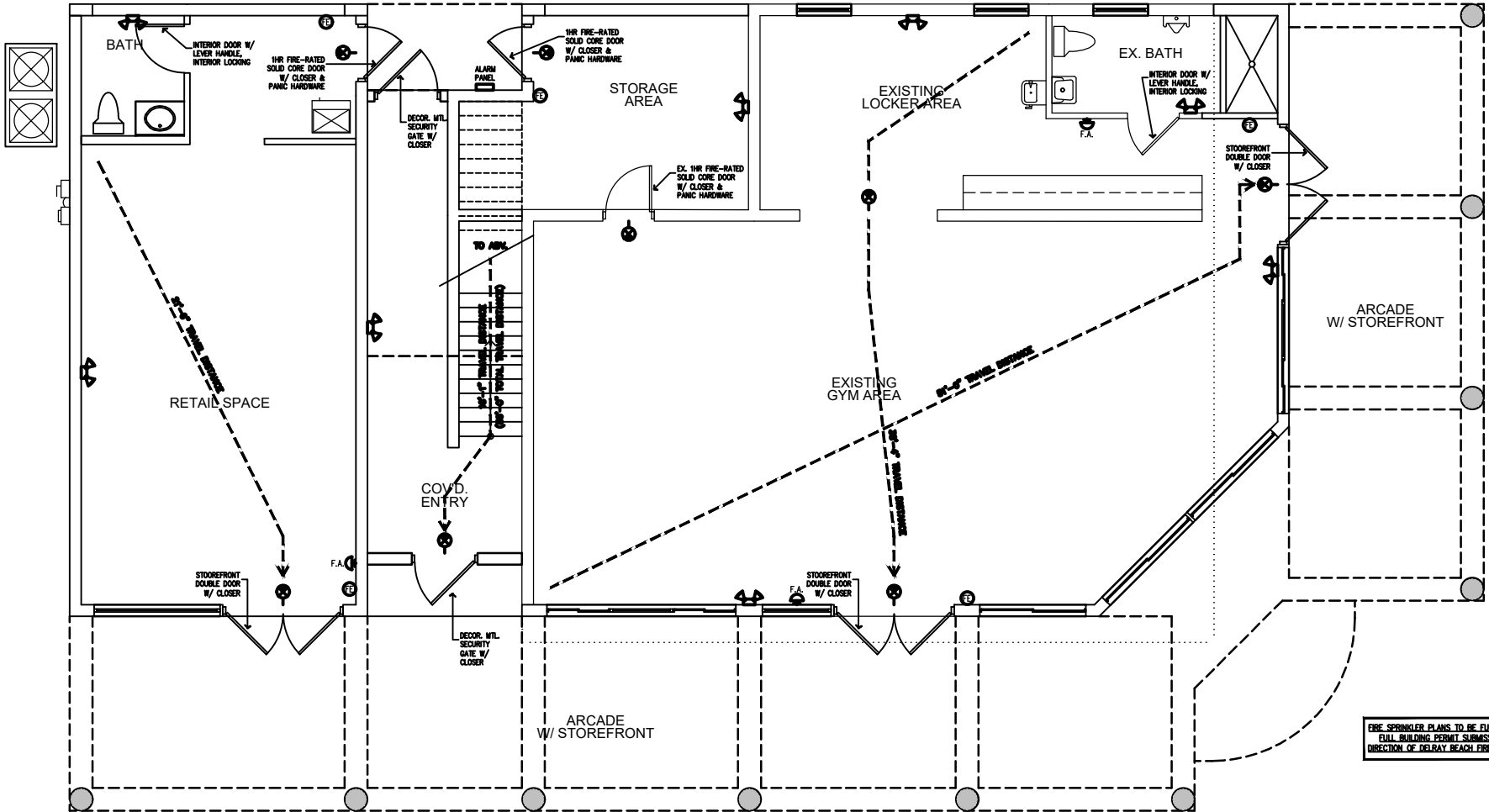
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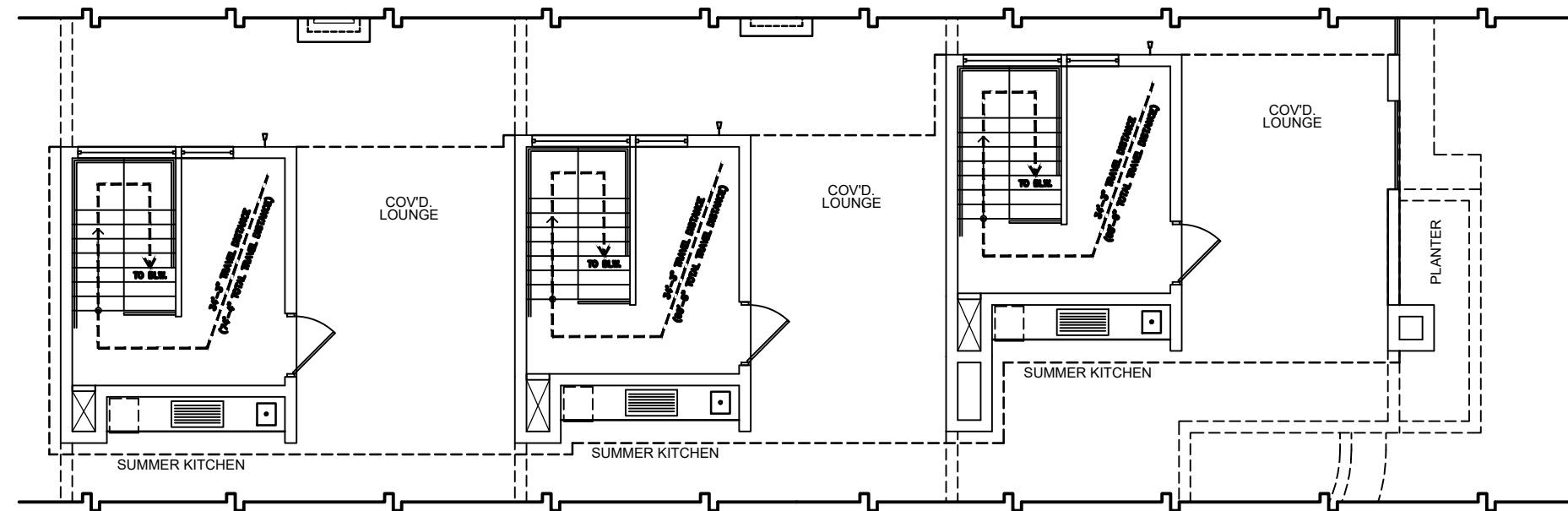
1. CLASS A INTERIOR FINISH, FLAMESPREAD 0-25, SMOKE DEVELOPED 0-450. ANY ELEMENT THEREOF WHEN SO TESTED SHALL NOT CONTINUE TO PROPAGATE FIRE.

2. CLASS B INTERIOR FINISH, FLAMESPREAD 26-75, SMOKE DEVELOPED 0-450.

3. CLASS C INTERIOR FINISH, FLAMESPREAD 76-200, SMOKE DEVELOPED 0-450.

OCCUPANCY CALCULATIONS			
GYMNASIUM AREA	937 SQ. FT./50 GROSS	19	
LOCKER ROOM AREA	254 SQ. FT./50 GROSS	6	
RESTROOM (GTM)	75 SQ. FT./200 GROSS	1	
STORAGE AREA	190 SQ. FT./200 GROSS	1	
RETAIL AREA	502 SQ. FT./60 GROSS	3	
RESTROOM (RETAIL)	42 SQ. FT./200 GROSS	9	
RESIDENTIAL (3 UNITS)	3,553 SQ. FT./200 GROSS	18	
ROOFTOP AREA (3 UNITS) (BY BUILDING OPTIONAL)	-	-	
TOTAL:		57	



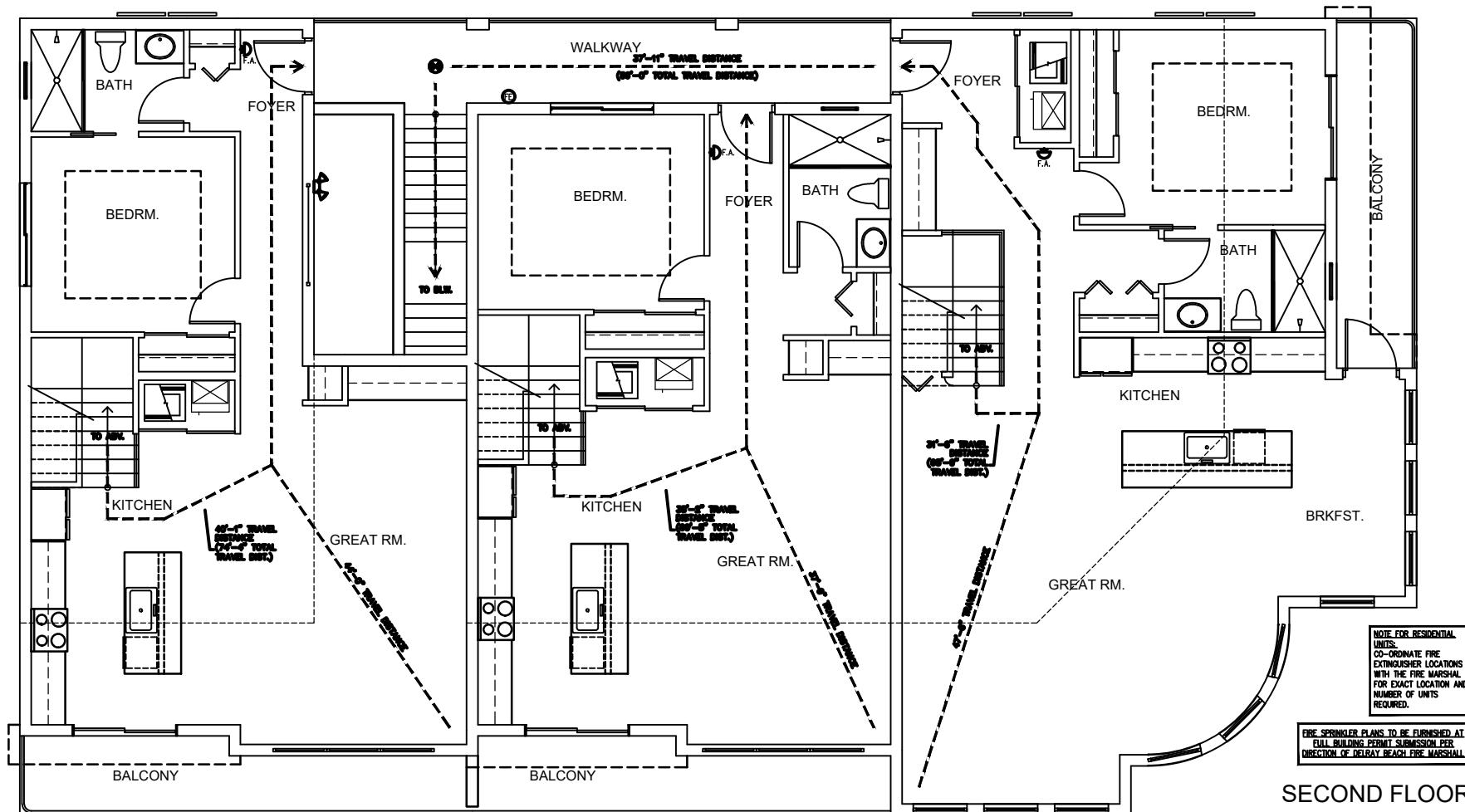


PARTIAL 3RD FLOOR/ ROOFTOP TERRACE

UNIT A

UNIT B

UNIT C



SECOND FLOOR

- SEE SHEET LS-1 FOR LIFE SAFETY NOTES & LEGENDS

revisions	no.	date
-TAC COMMENTS (JUNE 24)	12/19/2024	
-TAC COMMENTS (JUN 25)	03/04/2025	
-TAC COMMENTS (MAR 25)	04/01/2025	

designed GTO/SMS  
drawn GTO  
checked SMS  
date 05/15/2024  
scale 1/4" = 1'-0"  
job no. 24-XXXXLARC

Shawn M. Stambaugh, PE  
FL LIC. #1850 - CA. 20210

COMMERCIAL PROJECT  
2 STORY ADDITION  
103 NW 5TH AVENUE  
CITY OF DELRAY BEACH  
FLORIDA  
project

**QEA**  
QUANTUM ENGINEERING ASSOCIATES INC.

Structural Engineering  
Cost Segregation

6415 LAKE WORTH ROAD SUITE 105  
GREENACRES, FL 33463  
866.202.6904  
WWW.QEASSOCIATES.COM

drawing  
**SECOND  
FLOOR LIFE  
SAFETY PLAN**

sheet  
LS-2

of



## M Series + DRD2



Project:	Type:
Product Code:	Date:

V100203

### 4" Round Downlight

**Modular System Flexibility** during and after installation with interchangeable modules, optics and trims

**Quick Install** Integrated driver and plug-and-play connection require no wiring

**High Performance** Precise lighting control without sacrificing stellar efficiency

**Enhanced Dimming** Smooth, Flicker-free dimming options down to 0.1%

#### INSTALLATION

##### Ceiling Thickness

New Construction: 1/2" up to 1 1/4"

Remodel: 1/4" up to 1 1/2"

##### Ceiling Material

Drywall, Millwork

#### TRIMS

##### Aperture

4"

##### Shape

Round

##### Style

Beveled, Hypocritical, Pishole, Flangeless, Wall Wash, Decorative

##### Finish

White, Black, Bronze, Clear Diffused, Warm Diffused, Custom

##### Warranty

5 year limited warranty; 60,000 hours

#### LIGHT OUTPUT & DISTRIBUTION

##### Module

Fixed

##### Lumens (Power)

750 lm (8.5W), 1000 lm (12.5W), 1500 lm (14.5W), 1500 lm (18.5W)

##### Color Quality

90+ CRI, 3-step SDCM

##### Color Temperature

2700K, 3000K, 3500K

4000K, Warm Dim (3000K-1800K)

Tunable White (4000K-1800K)

Tunable White (3000K-2700K)

##### Beam Spread

Narrow Spot (15°)

Spot (25°)

Flood (40°)

Soft Focus

Wide Flood (60°)

General (80°)

Linear Spread

#### POWER & CONTROLS

##### Input Voltage

120/277V

##### Dimming

0-10V (VNL, TRIAC/ELV (1%), EcoSystem (1%) DALI-2 (0.1%)

#### RATINGS & CERTIFICATIONS

##### Housing

IC (Insulation Contact) Rated

ASTM E88 Certified Air Tight

Code compliant for use in fire-rated assemblies up to a maximum of 2-hours

STC/SC Sound Rated

Chicago Plenum

RoHS Compliant

UL Listed for Wet Location (Plugged Trim Only)

Wet Location (Plugged Trim Only)

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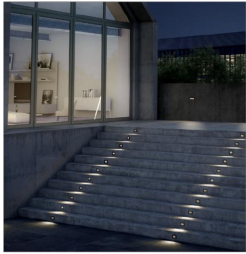
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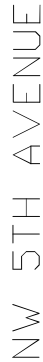
Wet Location (Plugged Trim Only)

## INSERT+ ZERO






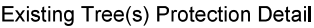
Recessed wall spotlight series features corner of:  
 ~ Multi-step powder-coat painting process, optimized against UV rays and corrosion  
 ~ Copper-free precision die-cast aluminum housing and high-temperature  
 ~ Heat-treated, flat, tempered silkscreened side-line glass diffuser  
 ~ Custom moldless, anti-aging galvalume  
 ~ Stainless steel central hardware  
 ~ Custom MOCB utilized to maximize heat dissipation and promote a long LED life

~ EDA Type II light distribution  
 ~ Input voltage: 120-277V (0.5/0.6/0.8/1.0/1.2/1.5/2.0/3.0/4.0/5.0/6.0/8.0/10.0/12.5/15.0/18.5/20.0/25.0/30.0/35.0/40.0/45.0/50.0/60.0/75.0/90.0/100.0/125.0/150.0/175.0/200.0/225.0/250.0/275.0/300.0/325.0/350.0/375.0/400.0/425.0/450.0/475.0/500.0/525.0/550.0/575.0/600.0/625.0/650.0/675.0/700.0/725.0/750.0/775.0/800.0/825.0/850.0/875.0/900.0/925.0/950.0/975.0/1000.0/1025.0/1050.0/1075.0/1100.0/1125.0/1150.0/1175.0/1200.0/1225.0/1250.0/1275.0/1300.0/1325.0/1350.0/1375.0/1400.0/1425.0/1450.0/1475.0/1500.0/1525.0/1550.0/1575.0/1600.0/1625.0/1650.0/1675.0/1700.0/1725.0/1750.0/1775.0/1800.0/1825.0/1850.0/1875.0/1900.0/1925.0/1950.0/1975.0/2000.0/2025.0/2050.0/2075.0/2100.0/2125.0/2150.0/2175.0/2200.0/2225.0/2250.0/2275.0/2300.0/2325.0/2350.0/2375.0/2400.0/2425.0/2450.0/2475.0/2500.0/2525.0/2550.0/2575.0/2600.0/2625.0/2650.0/2675.0/2700.0/2725.0/2750.0/2775.0/2800.0/2825.0/2850.0/2875.0/2900.0/2925.0/2950.0/2975.0/3000.0/3025.0/3050.0/3075.0/3100.0/3125.0/3150.0/3175.0/3200.0/3225.0/3250.0/3275.0/3300.0/3325.0/3350.0/3375.0/3400.0/3425.0/3450.0/3475.0/3500.0/3525.0/3550.0/3575.0/3600.0/3625.0/3650.0/3675.0/3700.0/3725.0/3750.0/3775.0/3800.0/3825.0/3850.0/3875.0/3900.0/3925.0/3950.0/3975.0/4000.0/4025.0/4050.0/4075.0/4100.0/4125.0/4150.0/4175.0/4200.0/4225.0/4250.0/4275.0/4300.0/4325.0/4350.0/4375.0/4400.0/4425.0/4450.0/4475.0/4500.0/4525.0/4550.0/4575.0/4600.0/4625.0/4650.0/4675.0/4700.0/4725.0/4750.0/4775.0/4800.0/4825.0/4850.0/4875.0/4900.0/4925.0/4950.0/4975.0/5000.0/5025.0/5050.0/5075.0/5100.0/5125.0/5150.0/5175.0/5200.0/5225.0/5250.0/5275.0/5300.0/5325.0/5350.0/5375.0/5400.0/5425.0/5450.0/5475.0/5500.0/5525.0/5550.0/5575.0/5600.0/5625.0/5650.0/5675.0/5700.0/5725.0/5750.0/5775.0/5800.0/5825.0/5850.0/5875.0/5900.0/5925.0/5950.0/5975.0/6000.0/6025.0/6050.0/6075.0/6100.0/6125.0/6150.0/6175.0/6200.0/6225.0/6250.0/6275.0/6300.0/6325.0/6350.0/6375.0/6400.0/6425.0/6450.0/6475.0/6500.0/6525.0/6550.0/6575.0/6600.0/6625.0/6650.0/6675.0/6700.0/6725.0/6750.0/6775.0/6800.0/6825.0/6850.0/6875.0/6900.0/6925.0/6950.0/6975.0/7000.0/7025.0/7050.0/7075.0/7100.0/7125.0/7150.0/7175.0/7200.0/7225.0/7250.0/7275.0/7300.0/7325.0/7350.0/7375.0/7400.0/7425.0/7450.0/7475.0/7500.0/7525.0/7550.0/7575.0/7600.0/7625.0/7650.0/7675.0/7700.0/7725.0/7750.0/7775.0/7800.0/7825.0/7850.0/7875.0/7900.0/7925.0/7950.0/7975.0/8000.0/8025.0/8050.0/8075.0/8100.0/8125.0/8150.0/8175.0/8200.0/8225.0/8250.0/8275.0/8300.0/8325.0/8350.0/8375.0/8400.0/8425.0/8450.0/8475.0/8500.0/8525.0/8550.0/8575.0/8600.0/8625.0/8650.0/8675.0/8700.0/8725.0/8750.0/8775.0/8800.0/8825.0/8850.0/8875.0/8900.0/8925.0/8950.0/8975.0/9000.0/9025.0/9050.0/9075.0/9100.0/9125.0/9150.0/9175.0/9200.0/9225.0/9250.0/9275.0/9300.0/9325.0/9350.0/9375.0/9400.0/9425.0/9450.0/9475.0/9500.0/9525.0/9550.0/9575.0/9600.0/9625.0/9650.0/9675.0/9700.0/9725.0/9750.0/9775.0/9800.0/9825.0/9850.0/9875.0/9900.0/9925.0/9950.0/9975.0/10000.0/10025.0/10050.0/10075.0/10100.0/10125.0/10150.0/10175.0/10200.0/10225.0/10250.0/10275.0/10300.0/10325.0/10350.0/10375.0/10400.0/10425.0/10450.0/10475.0/10500.0/10525.0/10550.0/10575.0/10600.0/10625.0/10650.0/10675.0/10700.0/10725.0/10750.0/10775.0/10800.0/10825.0/10850.0/10875.0/10900.0/10925.0/10950.0/10975.0/11000.0/11025.0/11050.0/11075.0/11100.0/11125.0/11150.0/11175.0/11200.0/11225.0/11250.0/11275.0/11300.0/11325.0/11350.0/11375.0/11400.0/11425.0/11450.0/11475.0/11500.0/11525.0/11550.0/11575.0/11600.0/11625.0/11650.0/11675.0/11700.0/11725.0/11750.0/11775.0/11800.0/11825.0/11850.0/11875.0/11900.0/11925.0/11950.0/11975.0/12000.0/12025.0/12050.0/12075.0/12100.0/12125.0/12150.0/12175.0/12200.0/12225.0/12250.0/12275.0/12300.0/12325.0/12350.0/12375.0/12400.0/12425.0/12450.0/12475.0/12500.0/12525.0/12550.0/12575.0/12600.0/12625.0/12650.0/12675.0/12700.0/12725.0/12750.0/12775.0/12800.0/12825.0/12850.0/12875.0/12900.0/12925.0/12950.0/12975.0/13000.0/13025.0/13050.0/13075.0/13100.0/13125.0/13150.0/13175.0/13200.0/13225.0/13250.0/13275.0/13300.0/13325.0/13350.0/13375.0/13400.0/13425.0/13450.0/13475.0/13500.0/13525.0/13550.0/13575.0/13600.0/13625.0/13650.0/13675.0/13700.0/13725.0/13750.0/13775.0/13800.0/13825.0/13850.0/13875.0/13900.0/13925.0/13950.0/13975.0/14000.0/14025.0/14050.0/14075.0/14100.0/14125.0/14150.0/14175.0/14200.0/14225.0/14250.0/14275.0/14300.0/14325.0/14350.0/14375.0/14400.0/14425.0/14450.0/14475.0/14500.0/14525.0/14550.0/14575.0/14600.0/14625.0/14650.0/14675.0/14700.0/14725.0/14750.0/14775.0/14800.0/14825.0/14850.0/14875.0/14900.0/14925.0/14950.0/14975.0/15000.0/15025.0/15050.0/15075.0/15100.0/15125.0/15150.0/15175.0/15200.0/15225.0/15250.0/15275.0/15300.0/15325.0/15350.0/15375.0/15400.0/15425.0/15450.0/15475.0/15500.0/15525.0/15550.0/15575.0/15600.0/15625.0/15650.0/15675.0/15700.0/15725.0/15750.0/15775.0/15800.0/15825.0/15850.0/15875.0/15900.0/

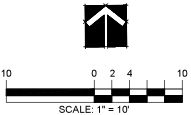


<b>MITIGATION</b>		
1 PALM WITH A CONDITION EQUAL OR GREATER THAN 50% ARE BEING REMOVED THE BREAKDOWN OF REPLACEMENT PER THE PROPOSED		
<b>PALMS WITH 50% OR BETTER CONDITION</b>		
1	VARIETIES OF PALMS SOLITAIRE PALMS	25' OA. SINGLES
SEE LANDSCAPE PLAN FOR PROPOSED PALMS		

LEGEND	
	EXISTING TREE /PALM TO REMAIN
	EXISTING TREE/ PALM TO BE REMOVED
	EXISTING TREE / PALM TO BE RELOCATED



N.T.S



James B. Euell

LOCATION: **COMMERCIAL PROJECT**  
**TWO STORY ADDITION**  
103 NW 5TH AVENUE  
DELRAY BEACH FLORIDA

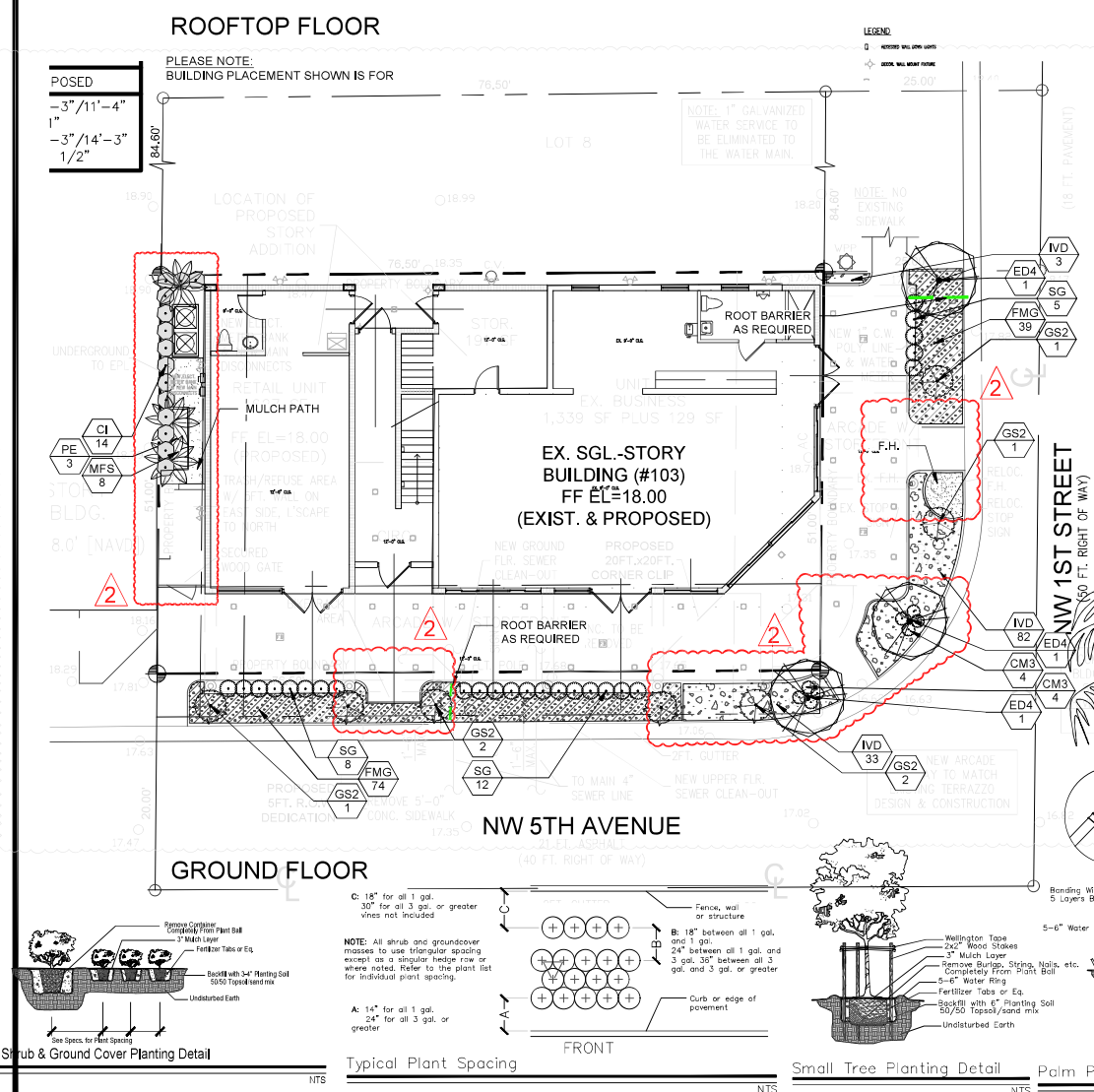
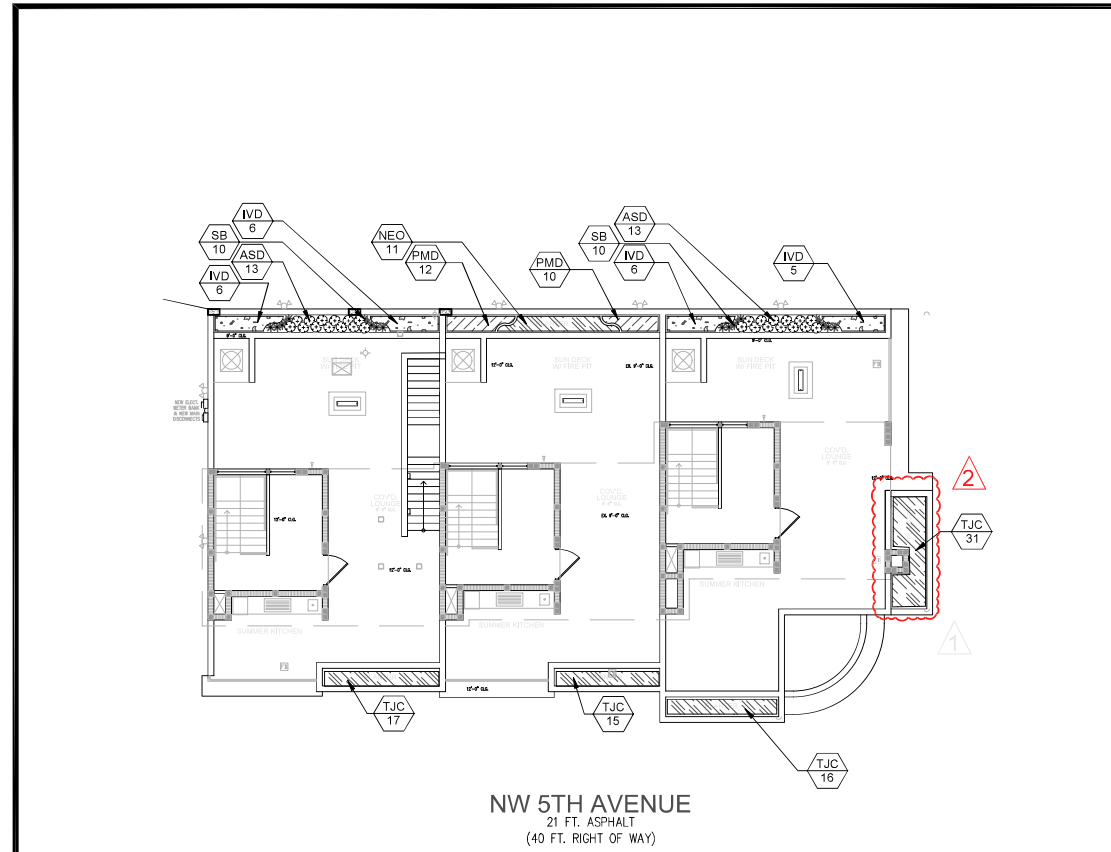
DISTRIBUTION:	DATE:

DRAWING NAME:  
**TREE  
DISPOSITION  
PLAN**

DRAWING NUMBER:

# L-200

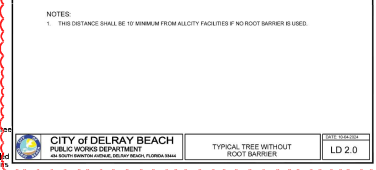
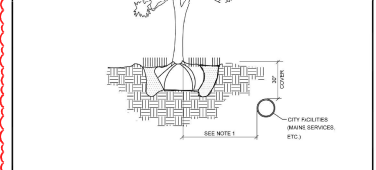
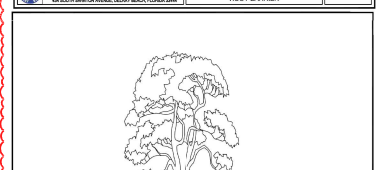
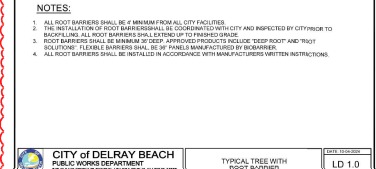
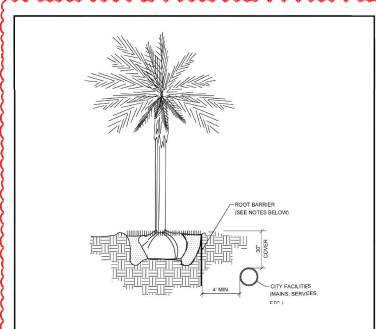




PLANT SCHEDULE LANDSCAPE										
CODE	QTY	BOTANICAL / COMMON NAME		CONTAINER	DBH	SIZE	NATIVE	DROUGHT TOLERANCE	REMARKS	
TREES										
ED4	3	Elaeocarpus decipiens / Japanese Blueberry Tree		FG/B&B	4" CAL.	14' HT, X 7' SPR, X 6' CT.	No	High		
PALM TREES										
PE	3	Ptychosperma elegans / Solitaire Palm		FG/B&B		25" O.A. SINGLE	No	High		
CODE	QTY	BOTANICAL / COMMON NAME		SIZE	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE	REMARKS	
SHRUBS										
ASD	26	Asparagus densiflorus 'Myers' / Myers Asparagus		-		18"x18"	No	High		
CI	14	Chrysobalanus icaco / Coco Plum		-		30" HT, X 24" SPD	Yes	HIGH		
CM3	8	Codiaeum variegatum 'Mammy' / Mammy Croton		-		18" H, X 18" SPR.	No	High		
GS2	7	Garcinia spicata / Garcinia		-		6" O.A., FULL TO BASE, CONE	No	High		
SB	20	Sansevieria trifasciata 'Black Gold' / Black Gold Sansevieria		-		12"x12" O.A.	No	Medium		
SG	25	Schefflera arboricola 'Gold Capella' / Gold Capella Schefflera		-		24" HT, X 20" SPR.	NO	HIGH		
CODE	QTY	BOTANICAL / COMMON NAME		SIZE	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE	SPACING	REMARKS
SHRUB AREAS										
FMG	112	Ficus microcarpa 'Green Island' / Green Island Ficus		-		14" HT x 16" SPR	No	High	20" o.c.	
IVD	110	Ilex vomitoria 'Stokes dwarf' / Dwarf Yaupon Holly		-		14" HT x 16" SPR	Yes	High	18" o.c.	
NEO	11	Neomarica gracilis / Walking Iris		---		14" HT x 16" SPR	No	Medium	16" o.c.	
PMD	22	Podocarpus macrophyllus 'Dwarf Pringles' / Dwarf Podocarpus		-		16" HT x 16" SPR	No	High	12" o.c.	
TJC	79	Trachelospermum jasminoides 'Confederate' / Confederate Jasmine		-		14" HT, X 14" SPR.	No	High	14" o.c.	
CODE	QTY	BOTANICAL / COMMON NAME		SIZE	CONTAINER	SIZE	NATIVE	DROUGHT TOLERANCE	SPACING	REMARKS
GROUND COVERS										
AGR	48	Arachis glabrata / Perennial Peanut		-		6" HT x 12" SPR @	No	High	8" o.c.	
MFS	8	Microsorium scolopendrium / Wart Fern		-		4" HT x 12" SPR @	No	Medium	18" o.c.	

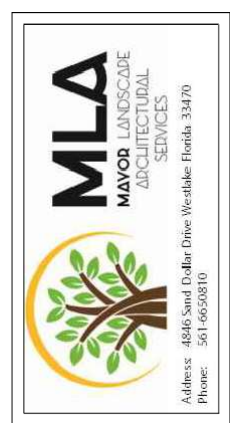
LANDSCAPE CALCULATIONS		
ZONING: CENTRAL BUSINESS DISTRICT		
LAND USE: SINGLE FAMILY		
TOTAL SITE AREA	3,902 S.F.	0.09 ACRES
SECTION 4.4.13-		
3 ROOFTOP ON BUILDING	REQUIRED	PROVIDED
LANDSCAPE OVER MIN. TEN PERCENT OF ROOF TERRACE AREA		
PLANTERS WITH SHRUBS AND GROUND COVERS	YES	YES
6. STREET TREES		
1 TREE PER EACH 40 LINEAR FEET	N/A	0
NW 5TH AVENUE	ARCADE	5 TREES
NW 1ST STREET	ARCADE	5 TREES
50% OF REQUIRED TREES TO BE NATIVE		
25% OF SHRUBS AND GROUNDCOVERS TO BE NATIVE	490x25%=123	124 SHRUBS
(PALMS COUNTED 3:1, (EXCEPT ROYAL PALMS AND DATE PALMS)		
35% OF REQUIRED TREES MAY BE PALMS		

Note:  
1.any trees or shrubs placed within water, sewer or drainage easements shall conform to the City of Delray Beach Standard Details; LD 1.0 & LD 2.0.



### GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance. All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications. All plant material (except SOD) as included herein shall be warranted by the landscape contractor for a minimum period of 12 months. All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications. Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants. All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used. All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade. All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract. All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. The plan takes precedence over the plant list.



Digitally signed by James B. Euell Date: 2025.08.05 08:05:20 -05'00'

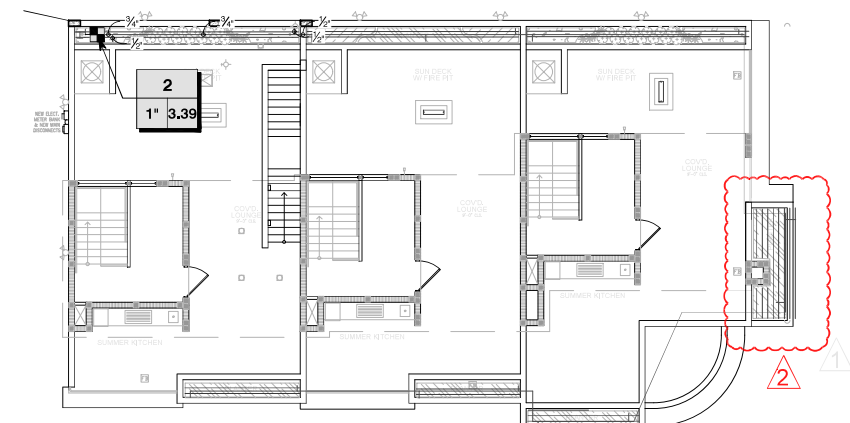
COMMERCIAL PROJECT  
TWO STORY ADDITION  
103 NW 5TH AVENUE  
DELRAY BEACH FLORIDA

DISTRIBUTION:	DATE:
TAC COMMENTS	12-04-24
TAC COMMENTS	03-01-25

DRAWING NAME:  
LANDSCAPE  
PLAN AND  
DETAILS

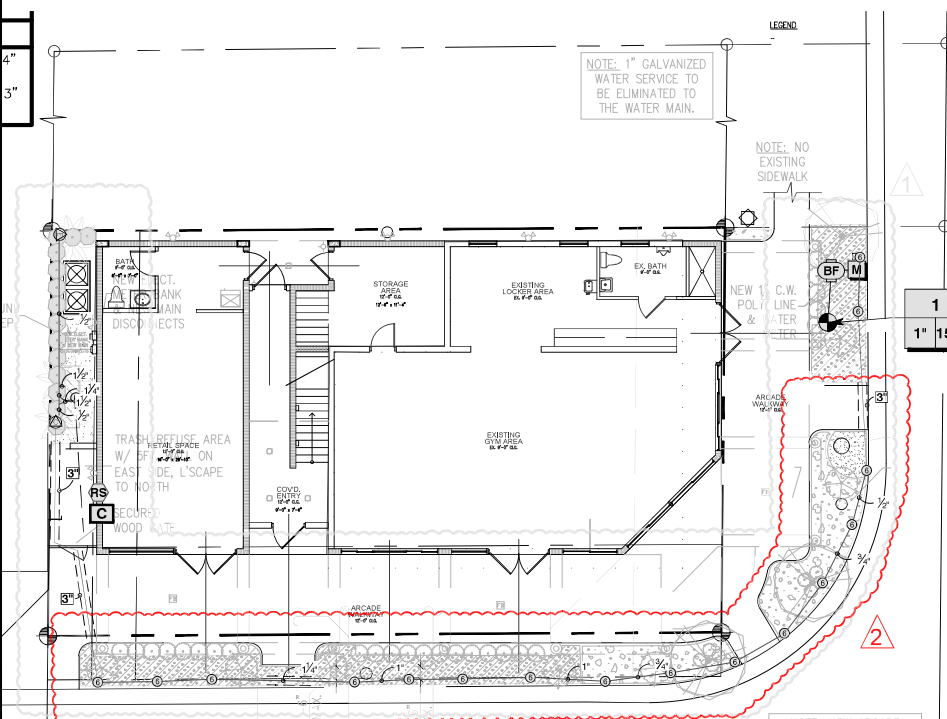
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L-210





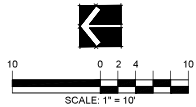
ROOF TOP FLOOR

NW 5TH AVENUE  
21 FT. ASPHALT  
(40 FT. RIGHT OF WAY)

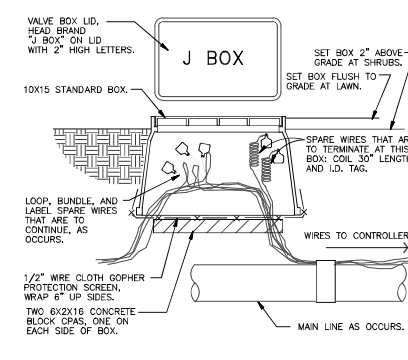
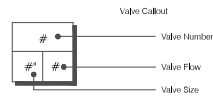


GROUND FLOOR

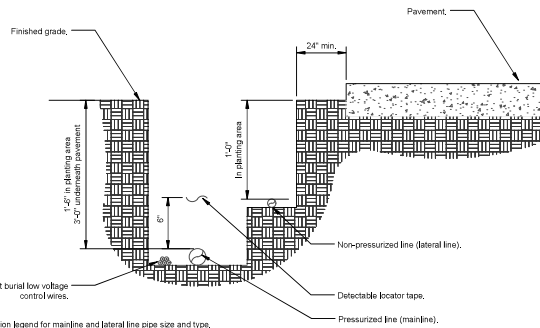
NW 5TH AVENUE  
21 FT. ASPHALT  
(40 FT. RIGHT OF WAY)



IRRIGATION SCHEDULE IRRIGATION				
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
	Rain Bird 1800-PA-8S-PRS 15 Strip Series	2	30	
	Shrub Spray on fixed riser with the PA-8S-PRS Pressure Regulating Shrub Adapter. Use with 1/2" MPT threaded risers.			
	Shrub Spray on fixed riser with the PA-8S-PRS Pressure Regulating Shrub Adapter. Use with 1/2" MPT threaded risers.	17	30	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
	Rain Bird XACZ-100-PRF 1" Medium Flow Drip Control Kit, 1in. Anti-Siphon Valve Filter, 1in. RBY Filter, and 40psi pressure regulator, for above grade installation. 3 GPM-15 GPM.	1		
	Area to Receive Dripline Rain Bird XFS-CV-PS-9-12 XFS-CV 0.9 GPH Landscape Dripline w/ Purple Strips.	246.5 lf		2
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
	Rain Bird PEB-PRS-D 1" 1in., 1-1/2in., 2in., 3in. Plastic Industrial Remote Control Valve, Low Flow Operating Capability, Globe Configuration, With Pressure Regulator Module.	1		
	Febco 825Y 1" Reduced Pressure Backflow Preventer	1		
	Rain Bird RZX6 6 Station Controller, Outdoor.	1		
	Rain Bird RSD-BEx (2) Rain Sensor, with metal latching bracket, extension wire.	1		
	Water Meter 1" 1" METER	1		
	Point of Connection 1" POINT OF CONNECTION	1		
	Irrigation Lateral Line: PVC Schedule 40	32.1 lf		
	Irrigation Lateral Line: PVC Schedule 40 1/2"	228.8 lf		
	Irrigation Lateral Line: PVC Schedule 40 3/4"	58.9 lf		
	Irrigation Lateral Line: PVC Schedule 40 1"	28.6 lf		
	Irrigation Lateral Line: PVC Schedule 40 1 1/4"	31.7 lf		
	Irrigation Lateral Line: PVC Schedule 40 1 1/2"	89.7 lf		
	Irrigation Mainline: PVC Schedule 40-NP	10.8 lf		
	Irrigation Mainline: PVC Schedule 40-NP 1"	15.5 lf		
	Pipe Sleeve: PVC Schedule 40	4.9 lf		
	Pipe Sleeve: PVC Schedule 40 3"	28.2 lf		



10 WIRE BUNDLE JUNCTION BOX  
1 1/2" = 1'-0"



11 IRRIGATION TRENCHING  
1 1/2" = 1'-0"

## CRITICAL ANALYSIS

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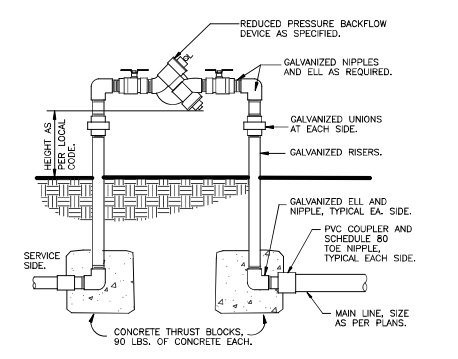
P.O.C. NUMBER: 01  
Water Source Information: 1" METER

FLOW AVAILABLE  
Water Meter Size: 1"  
Flow Available: 19.62 GPM

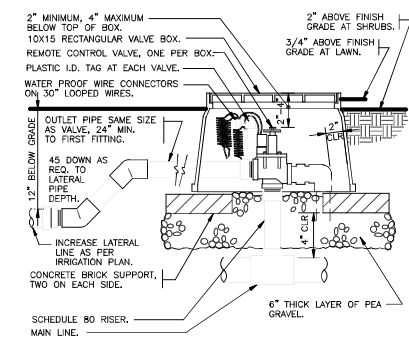
PRESSURE AVAILABLE  
Static Pressure at POC: 60 PSI  
Elevation Change: 5.00 ft  
Service Line Size: 1"  
Length of Service Line: 20 ft  
Pressure Available: 56 PSI

DESIGN ANALYSIS  
Maximum Station Flow: 8.96 GPM  
Flow Available at POC: 19.62 GPM  
Residual Flow Available: 10.65 GPM

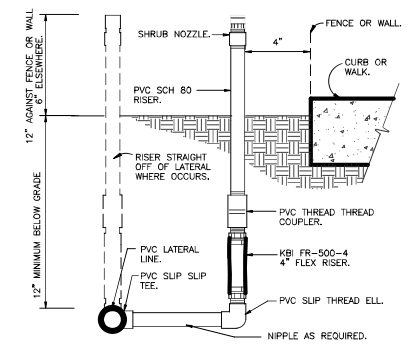
Critical Station: 1  
Design Pressure: 30 PSI  
Friction Loss: 2.39 PSI  
Fittings Loss: 0.24 PSI  
Elevation Loss: 0 PSI  
Loss through Valve: 2.38 PSI  
Pressure Req. at Critical Station: 34.1 PSI  
Loss for Fittings: 0 PSI  
Loss for Main Line: 0.63 PSI  
Loss for POC to Valve Elevation: 0 PSI  
Loss for Backflow: 3.52 PSI  
Loss for Water Meter: 0.6 PSI  
Critical Station Pressure at POC: 38.9 PSI  
Pressure Available: 56 PSI  
Residual Pressure Available: 17.1 PSI



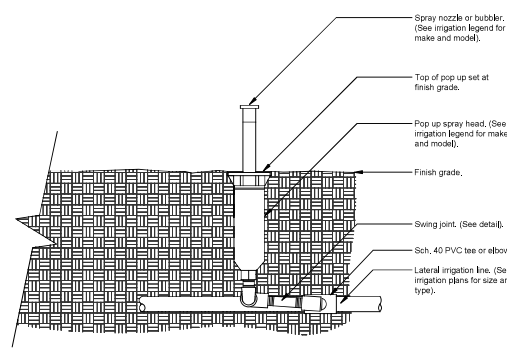
8 REDUCED PRESSURE BACKFLOW DEVICE  
1" = 1'-0"



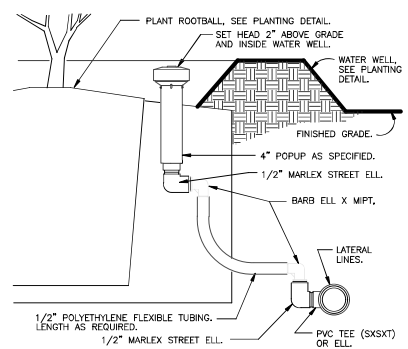
6 ELECTRIC REMOTE CONTROL VALVE  
1 1/2" = 1'-0"



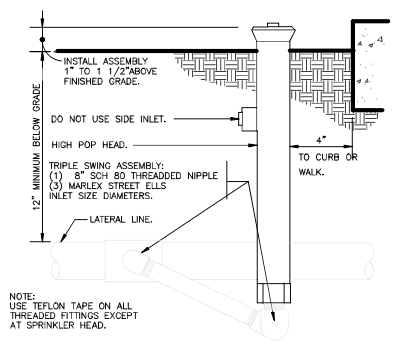
3 SHRUB SPRAY KBI FIXED RISER  
3" = 1'-0"



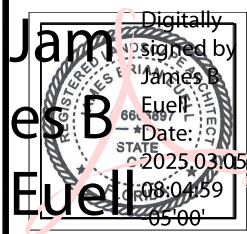
1 POP UP-SPRAY HEAD  
1 1/2" = 1'-0"



4 POPUP BUBBLER AT PLANT PIT  
3" = 1'-0"



2 SHRUB SPRAY HIGHPOP MARLEX ASSEMBLY  
3" = 1'-0"



COMMERCIAL PROJECT  
TWO STORY ADDITION  
103 NW 5TH AVENUE  
DELRAY BEACH FLORIDA

DISTRIBUTION:	DATE:
TAC COMMENTS	12-04-24
TAC COMMENTS	03-01-25

DRAWING NAME:  
IRRIGATION  
PLAND AND  
DETAILS

DRAWING NUMBER:  
L-300



WIRING

Irrigation control wire shall be thermoplastic solid copper, single conductor, low voltage irrigation controller wire, suitable for direct burial and continuous operation at rated voltages,

Tape and bundle control wire every 10' and run alongside the mainline. At all turns in direction, make a 2' coil of wire. At all valve boxes coil wire around a ½" piece of PVC pipe to make a coil using 30 linear inches of wire. Make electrical connections with 3MDBY/R connectors.

Number all wires, using an electrical book of numbers, according to the plans, Number wires in all valve boxes, junction boxes and at the controller.

Wire sized, numbered and colored as follows:

- #14 white for common
- #14 spare black common
- #14 individual color coded hot wire
- #14 spare yellow hot wire

Spare wires

Leaving each controller, run four spare wires in both directions (eight spare wires total). Install as 1 common spare (2 total) and 3 hot wires (6 total). Loop these wires into each RCV along their path and terminate in the last valve box controlled by the wires respective controller. The loop into each valve box shall extend up into the valve box a minimum of 8" and be readily accessible by opening the valve box lid. These wires must all be color coded and numbered as required in the plans,

Controller and pump station Control Panel grounding - Contractor to utilize 4"x8"x½" copper grounding plates, ½"x10" copper clad grounding rods, 'One Strike' CAD wells at all connection points, #6 insulated copper wire, and earth contact material. Install these and other required components as outlined in the detail. Contractor to verify that the earth to ground resistance does not exceed 10 ohms. Contractor shall provide a written certification, on a licensed electrical contractors letter head, showing the date of the test, controller/pump location, and test results. Each controller/pump shall be so grounded an tested. Each component must have its own separate ground grid, unless they are sitting side by side, in which case up to two controllers can share a common grounding grid,

LAYOUT

Lay out irrigation system mainlines and lateral lines. Make the necessary adjustments as required to take into account all site obstructions and limitations prior to excavating trenches,

Stake all sprinkler head locations. Adjust location and make the necessary modifications to nozzle types, etc. required to ensure 100% head to head coverage, Refer to the Edge of Pavement Detail on the Irrigation Detail sheet,

Spray heads shall be installed 4" from sidewalks or curbed roadways and 12" from uncurbed roadways and building foundations. Rotors shall be installed 4" from sidewalks or curbed roadways, 12" from building foundations, and 36" from uncurbed roadways,

Shrub heads shall be installed on ¾" Sch 40 PVC risers. The risers shall be set at a minimum of 18" off sidewalks, roadway curbing, building foundations, and/or any other hardscaped areas. Shrub heads shall be installed to a standard height of 2' above maintained height of plants and shall be installed a minimum of 6" within planted masses to be less visible and offer protection. Paint all shrub risers with flat black or forest green paint, unless irrigation system will utilize reuse water; in this case the risers shall be purple PVC and shall not be painted.

Locate valves prior to excavation. Ensure that their location provides for easy access and that there is no interference with physical structures, plants, trees, poles, etc. Valve boxes must be placed a minimum of 12" and a maximum of 15" from the edge of pavement, curbs, etc. and the top of the box must be 2" above finish grade. No valve boxes shall be installed in turf areas without approval by the irrigation designer - only in shrub beds. Never install in sport field areas.

VALVES

Sequence all valves so that the farthest valve from the POC operates first and the closest to the POC operates last. The closest valve to the POC should be the last valve in the programmed sequence,

Adjust the flow control on each RCV to ensure shut off in 10 seconds after deactivation by the irrigation controller.

Using an electric branding iron, brand the valve ID letter/number on the lid of each valve box. This brand must be 2"-3" tall and easily legible.

EQUIPMENT

All pop-up heads and shrub risers shall be pressure compensating. All pop-up heads shall be mounted on flex-type swing joints. All rotors shall be installed with PVC triple joints unless otherwise detailed.

All sprinkler equipment, not otherwise detailed or specified on these plans, shall be installed as per manufacturer's recommendations and specifications, and according to local and state laws.

TRENCHING

Excavate straight and vertical trenches with smooth, flat or sloping bottoms. Trench width and depth should be sufficient to allow for the proper vertical and horizontal separation between piping as shown in the pipe installation detail on the detail sheet,

Protect existing landscaped areas. Remove and replant any damaged plant material upon job completion. The replacement material shall be of the same genus and species, and of the same size as the material it is replacing. The final determination as to what needs to be replaced and the acceptability of the replacement material shall be solely up to the owner or owner's representative.

INSTALLATION

Solvent Weld Pipe: Cut all pipe square and deburr. Clean pipe an fittings of foreign material, then apply a small amount of primer while ensuring that any excess is wiped off immediately. Primer should not puddle or drip from pipe or fittings. Next apply a thin coat of PVC cement; first apply a thin layer to the pipe, next a thin layer inside the fitting, and finally another very thin on the pipe. Insert the pipe into the fitting. Insure that the pipe is inserted to the bottom of the fitting, then urn the pipe a ¼ turn and hold for 10 seconds, make sure that the pipe doesn't recede from the fitting. If the pipe isn't at the bottom of the fitting upon completion, the glue joint is unacceptable and must be discarded. Pipes must curve a minimum of 30 minutes prior to handling and placing into trenches. A longer curing time may be required; refer to the manufacturer's specifications. The pipe must cure a minimum of 24 hous prior to filling with water,

BACK FILL

The back fill 6" below, 6" above, and around all piping shall be clean sand and anything beyond that in the trench can be of native material but nothing larger than 2" in diameter. All piping and excavations shall be backfilled and compacted to a density of 95% modified Proctor, or greater.

Main line pipe depth measure to the top of pipe shall be:

- 24" minimum for ¾" - 2½" PVC with a 30" minimum at vehicular crossings;
- 30" minimum for 3" & 4" PVC with a 36" minimum at vehicular crossings,

Lateral line depths measure to top of pipe shall be:

- 18" minimum for ¾" - 3" PVC with a 30" minimum at vehicular crossings;
- 24" minimum for 4" PVC and above with a 30" minimum at vehicular crossings.

Contractor shall backfill all piping, both mainline and laterals, prior to performing any pressure tests. The pipe shall be backfilled with the exception of 2" on each side of every joint (bell fittings, 90's, tees, 45's, etc). These joints shall not be backfilled until all piping has satisfactorily passed its appropriate pressure test as outlined below,

FLUSHING

Prior to the placement of valves, flush all mainlines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Prior to the placement of heads, flush all lateral lines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Use screens in heads and adjust heads for proper coverage avoiding excess water on walks, walls and paving.

TESTING

Schedule testing with Owner's Representative a minimum of three (3) days in advance of testing.

Mainline: Remove all remote control valves and cap using a threaded cap on SCH 80 nipple. Hose bibs and gate valves shall not be tested against

during a pressure test unless authorized by written permission from the owner, fill mainline with water and pressurize the system to 125 PSI. Monitor the system pressure at two gauge locations, the gauge locations must be at opposite ends of the mainline. With the same respective pressures, monitor the gauges for two hours. There can be no loss in pressure at either gauge for solvent-welded pipe.

If these parameters are exceeded, locate the problem; repair it; wait 24 hours and retry the test. This procedure must be followed until the mainline passes the test,

Lateral lines: The lateral lines must be fully filled to operational pressure and visually checked for leaks. Any leaks detected must be repaired.

Operational Testing - Once the mainline and lateral lines have passed their respective tests, and the system is completely operational, a coverage test and demonstration of the system is required. The irrigation contractor must demonstrate to the owner, or his/her representative, that proper coverage is obtained and the system works automatically from the controller. This demonstration requires each zone to be turned on, in the proper sequence as shown on the plans, from the controller. Each zone will be inspected for proper coverage and function. The determination of proper coverage and function is at the sole discretion of the owner or owner's representative.

Upon completion of the operational test, run each zone until water begins to puddle or run off. This will allow you to determine the number of irrigation start times necessary to meet the weekly evapotranspiration requirements of the planting material in each zone. In fine sandy soils, it is possible no puddling will occur. If this is experienced, then theoretical calculations for run times will be required for controller programming.

SUBMITTALS

Pre-Construction: Deliver five (5) copies of submittals to Owner's Representative within ten (10) working days from date of Notice to Proceed. Furnish information in 3-ring binder with table of contents and index sheet. Index sections for different components and label with specification section number and name of component. Furnish submittals for components on material list. Indicated which items are being supplied on catalog cut sheets when multiple items are shown on one sheet. Incomplete submittals will be returned without review, in lieu of hardcopies, an electronic package in PDF format can be submitted,

After project completion

As a condition of final acceptance, the irrigation contractor shall provide the owner with:

1. Irrigation As-builts - shall be provided accurately locating all mainlines, sleeves, remote control valves, gate valves, independent wire runs, wire splice boxes, controllers, high voltage supply sources/conduit path, control mechanisms, sensors, wells and water source connections. All mainline and independent runs of wire shall be located every 30' for straight runs and at every change of direction. Sleeves will be located at end points and every 20' of length. All underground items shall include depth in inch format.

2. Controller charts - Upon completion of 'as-built' prepare controller charts: one per controller. Indicate on each chart the area controlled by a remote control valve (using a different color for each zone). This chart shall be reduced to a size that will fit inside the controller door. The reduction shall be hermetically sealed inside two 2ml pieces of clear plastic.

3. Grounding Certification - Provide ground certification results for each controller and pump panel grounding grid installed. This must be on a licensed electrician letter head indication location tested (using IR plan symbols), date, time, test method and testing results.

INSPECTIONS AND COORDINATION MEETINGS REQUIRED - Contractor is required to schedule, perform, and attend the following, and demonstrate to the owner and/or owners representative to their satisfaction, as follows:

- 1.Pre-construction meeting - Designer and contractor to review entire install process and schedule with owner/general contractor.
2. Mainline installation inspection(s) - All mainline must be inspected for proper pipe, fittings, depth of coverage, backfill and installation method,
3. Mainline pressure test - All mainline shall be pressure tested according to this design's requirements.
4. Flow meter calibration - All flow meters must be calibrated. Provide certified calibration report for all flow meters.
5. Coverage and operational test
6. Final inspection
7. Punch list inspection

FINAL ACCEPTANCE

Final acceptance of the irrigation system will be given after the following documents and conditions have been completed and approved. Final payment will not be released until these conditions are satisfied,

- 1.All above inspections are completed, documented, approved by owner.
- 2.Completion and acceptance of 'as-built' drawings.
3. Acceptance of required controller charts and placement inside controllers.
4. All other submittals have been made to the satisfaction of the owner.

GUARANTEE: The irrigation system shall be guaranteed for a minimum of one calendar year from the time of final acceptance.

MINIMUM RECOMMENDED IRRIGATION MAINTENANCE PROCEDURES

1. Every irrigation zone should be checked monthly and written reports generated describing the date(s) each zone was inspected, problems identified, date problems repaired, and a list of materials used in the repair. At minimum, these inspections should include the following tasks:

- A. Turn on each zone from the controller to verify automatic operation.
- B. Check schedules to ensure they are appropriate for the season, plant and soil type, and irrigation method. Consult an I.A. certified auditor for methods used in determining proper irrigation scheduling requirements.
- C. Check remote control valve to ensure proper setting, if present.
- D. Check setting on pressure regulator it verify proper setting, if present.
- E.Check flow control and adjust as needed; ensure valve closure within 10-15 seconds after deactivation by controller.
- F. Check for leaks - mainline, lateral lines, valves, heads, etc.
- G. Check all heads as follows:
  1. Proper set height (top of sprinkler is 1" below mow height)
  2. Verify head pop-up height - 6" in turf. 12" in groundcover, and riser in shrub beds
  3. Check wiper seal for leaks - if leaking, clean head and re-inpect.
  4. If still leaking, replace head with the appropriate head with pressure regulator and built-in check valve.
  5. All nozzles checked for proper pattern, clogging, leaks, correct make & model, etc. - replace as needed
  6. Check for proper alignment - perfectly vertical, coverage area is correct;p minimize over spray onto hardscapes
  7. Riser height raised/lowered to accommodate plant growth patterns and ensure proper coverage.
  8. Verify pop-ups retract after operation. If not, repair/replace as needed.
- H. Check controller/C.C.U. grounds for resistance (10 ohms or less) once per year. Submit written reports.
- I. check rain shut-off device monthly and clean/repair/replace as needed.
- J. Inspect all valve boxes to ensure they are in good condition, lids are in place and locked.
- K. Inspect backflow devices by utilizing a properly licensed backflow inspector. This should be done annually, at minimum.
- L. Inspect all filters monthly and clean/repair/replace as needed.
- M. Check pump stations for proper operation, pressures, filtration, settings, etc. - refer to pump station operations manual.
- N. Check and clean intake screens on all suction lines quarterly, at minimum. Clean and/or repair, as needed.
  - O. Winterize, if applicable, as weather in your area dictates, follow manufacturer recommendations and blow out all lines and equipment using compressed air. Perform seasonal startup of system as per manufacturer recommendations.
  - P. Conduct additional inspections, maintenance tasks, etc, that are particular for your site.

SOIL MOISTURE SENSOR (When applicable)

1. Place all soil moisture sensor wiring in 1" SCH 40 PVC conduit
2. Soil moisture sensor should be placed in the middle of a spray or drip area as per manufacturer's recommendations.
3. Controller shall be set to the Florida Automated Weather Network's urban scheduler settings using the SMS as a moisture cut off device (like a rain switch) per manufacturer directions.

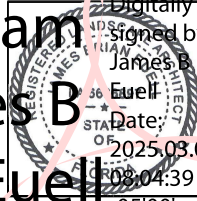
MLA

MAJOR LANDSCAPE  
ARCHITECTURAL  
SERVICES



Address: 4846 Sand Dollar Drive-Verd lake Florida 33470  
Phone: 561-6550810

James B. Euell



Digitally signed by James B. Euell  
Date: 2025.03.05 19:08:04-39'05'00'

PROJECT NAME & LOCATION:

COMMERCIAL PROJECT  
TWO STORY ADDITION  
103 NW 15TH AVENUE  
DELRAY BEACH FLORIDA

DISTRIBUTION:	DATE:

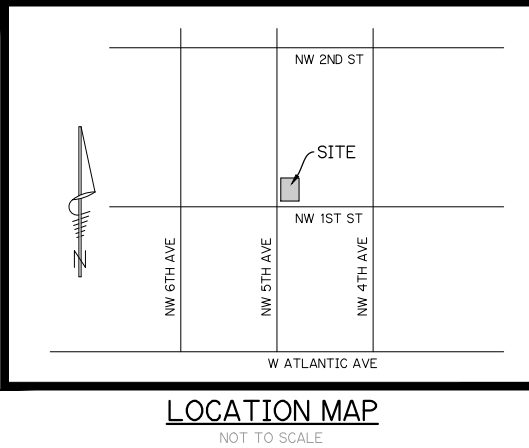
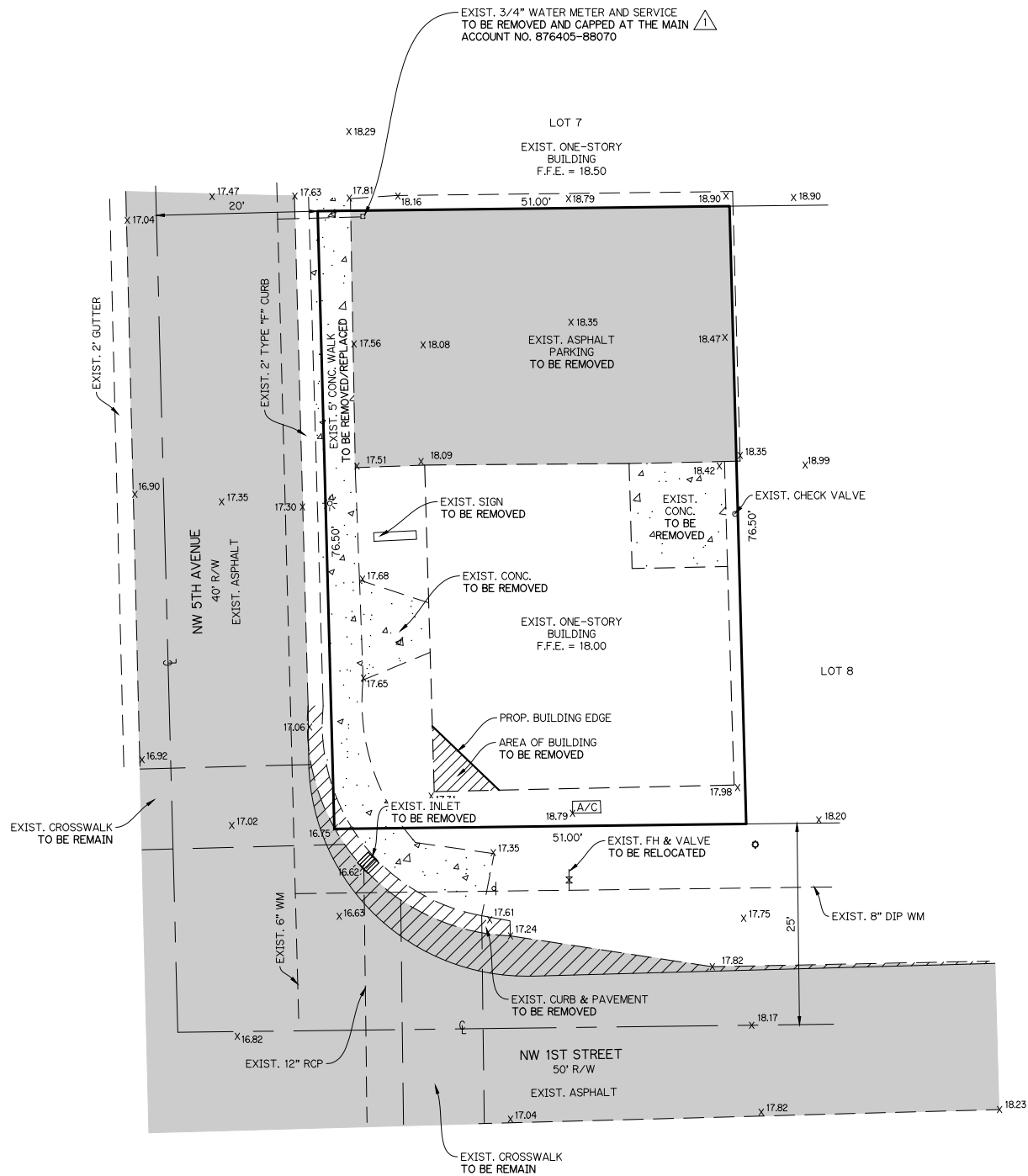
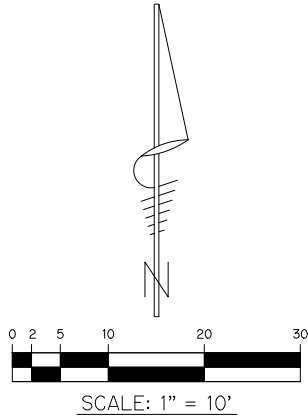
DRAWING NAME:

IRRIGATION  
NOTES

DRAWING NUMBER:

L-301





LEGEND:

DIRECTION OF FLOW	
EXISTING ELEVATION	x 0.00
EXISTING LIGHT POLE	
EXISTING POWER POLE	
FINISH FLOOR ELEVATION	F.F.E.
HIGH POINT	H.P.
PROPOSED CONTOUR LINE	13.5
PROPOSED ELEVATION	0.00

- NOTES:
- BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY UNIVERSAL SURVEYING SYSTEMS, INC., PROJECT NUMBER 21-08-008 TLL8827, DATED 08-11-21.
  - ALL ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM.
  - WATER, SEWER, AND DRAINAGE INFORMATION OBTAINED FROM THE CITY OF DELRAY BEACH, CONTRACTOR TO VERIFY SIZE, MATERIAL, AND LOCATIONS.

DEMOLITION PLAN  
FOR  
103 NW 5TH AVENUE  
DELRAY BEACH, FL

REV. PER TAC COMMENTS	DATE	BY	CK
	2/28/25	SAS	RWL

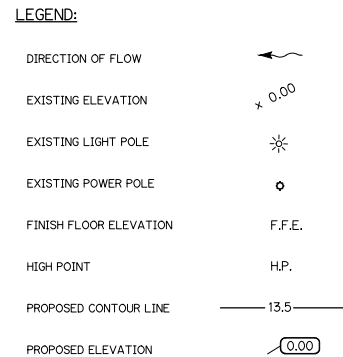
EB 9889

**Ldi**  
**Last Devenport, Inc.**  
1860 Old Okeechobee Road, Suite 504  
West Palm Beach, FL 33409  
phone (561)615-6567 fax (561)615-3986

SCALE: 1"=10'  
DATE: JAN 2024  
DESIGNED BY: SAS  
CHECKED BY:RWL  
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23-109 SI

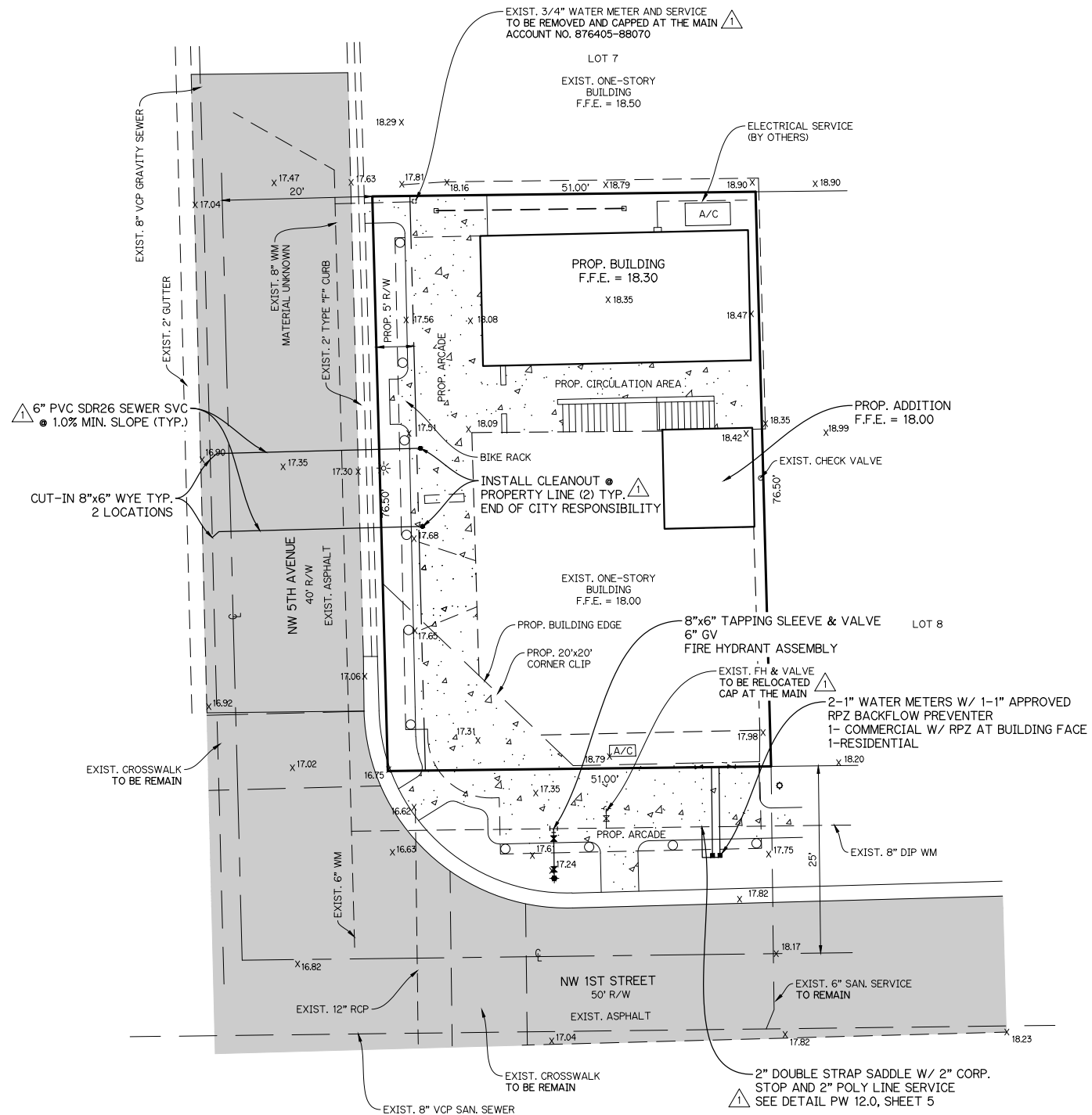
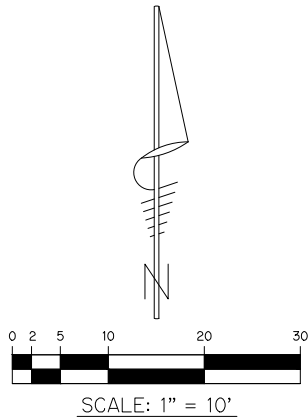
3/4/2025  
RONALD W. LAST, P.E.  
FLORIDA P.E. #38707

23-109 SI



1. BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY UNIVERSAL SURVEYING SYSTEMS, INC., PROJECT NUMBER 21-08-008 TLL8827, DATED 08-11-21.
2. ALL ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM.
3. WATER, SEWER, AND DRAINAGE INFORMATION OBTAINED FROM THE CITY OF DELRAY BEACH. CONTRACTOR TO VERIFY SIZE, MATERIAL, AND LOCATIONS.
4. ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD1.0 AND LD2.0. SEE LANDSCAPE PLANS FOR DETAILS.
5. NEW SIDEWALK TO MATCH EXISTING TERRAZZO DESIGN AND CONSTRUCTION.

SHEET 2 OF 6



LEGEND:

DIRECTION OF FLOW	
EXISTING ELEVATION	+ 0.00
EXISTING LIGHT POLE	
EXISTING POWER POLE	
FINISH FLOOR ELEVATION	F.F.E.
HIGH POINT	H.P.
PROPOSED CONTOUR LINE	13.5
PROPOSED ELEVATION	0.00

- NOTES:
- BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY UNIVERSAL SURVEYING SYSTEMS, INC., PROJECT NUMBER 21-08-008 TLL8827, DATED 08-11-21.
  - ALL ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM.
  - WATER, SEWER, AND DRAINAGE INFORMATION OBTAINED FROM THE CITY OF DELRAY BEACH, CONTRACTOR TO VERIFY SIZE, MATERIAL, AND LOCATIONS.
  - ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD1.0 AND LD2.0. SEE LANDSCAPE PLANS FOR DETAILS.
  - NEW SIDEWALK TO MATCH EXISTING TERRAZZO DESIGN AND CONSTRUCTION.
  - IRRIGATION CONNECTION TO BE FROM COMMERCIAL WATER METER AFTER THE RPZ BACKFLOW PREVENTER.

WATER & SEWER PLAN  
FOR  
103 NW 5TH AVENUE  
DELRAY BEACH, FL

REVISONS	DATE	BY	CK
REV. PER TAC COMMENTS	2/28/25	SAS	RWL

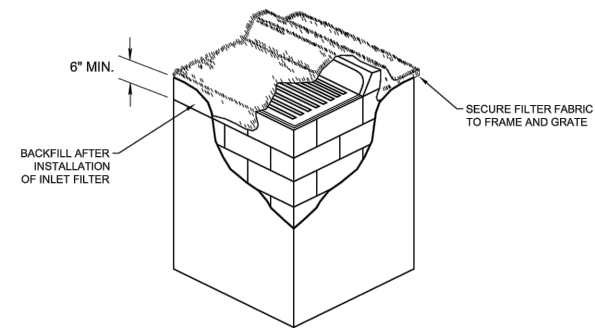
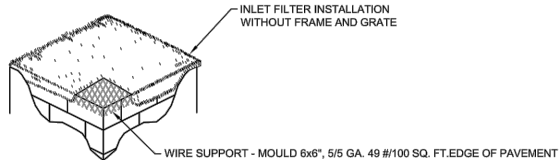
EB 9889

**LDI**  
**Last Devenport, Inc.**  
1860 Old Okeechobee Road, Suite 504  
West Palm Beach, FL 33409  
phone (561)615-6567 fax (561)615-3986

SCALE: 1"=10'  
DATE: JAN 2024  
DESIGNED BY: SAS  
CHECKED BY:RWL  
DRAWING FILE:  
23-109 SI

3/4/2025  
RONALD W. LAST, P.E.  
FLORIDA P.E. #38707

23-109 SI



NOTES:

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL

N.T.S.

DATE: 10-04-2024

D 10.0

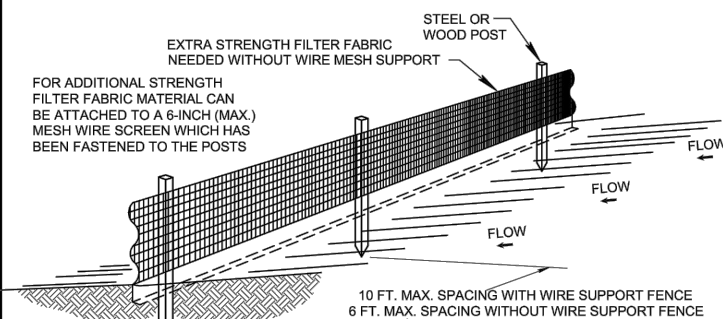
1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

EROSION CONTROL NOTES

N.T.S.

DATE: 10-04-2024

D 11.0



NOTES:

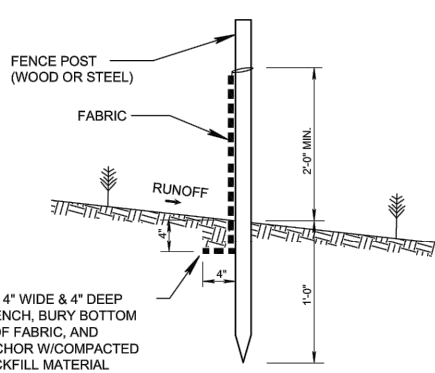
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES.
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION  
DETAIL 1 OF 2

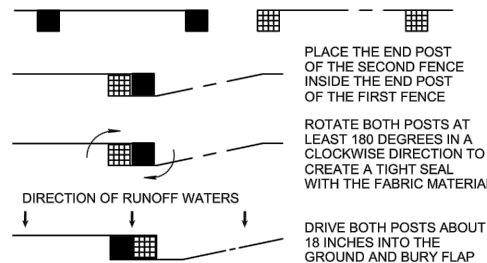
N.T.S.

DATE: 10-04-2024

D 12.0



SILT FENCE SECTION  
NOT TO SCALE



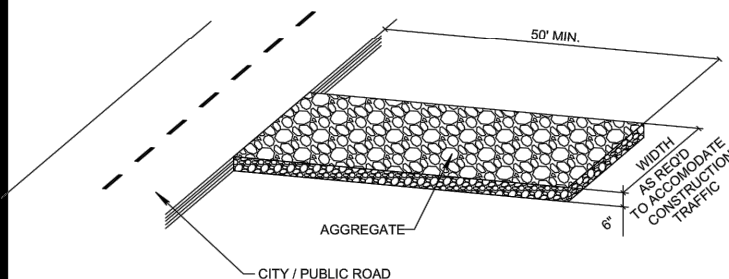
ATTACHING TWO SILT FENCES  
NOT TO SCALE

SILT FENCE INSTALLATION  
DETAIL 2 OF 2

N.T.S.

DATE: 10-04-2024

D 12.1



NOTE:

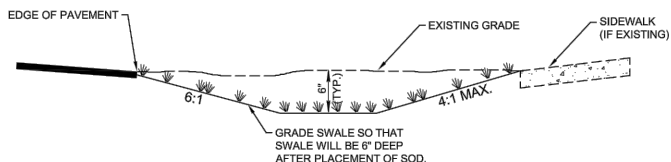
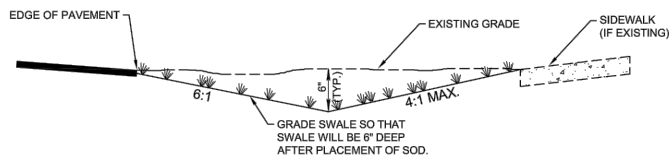
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION  
ENTRANCE DETAIL

N.T.S.

DATE: 10-04-2024

D 13.0



NOTE:

1. CONTRACTOR TO REPLACE ALL IRRIGATION, TREES & SHRUBBERY IN SWALES DAMAGED DURING CONSTRUCTION.

SWALE REPLACEMENT DETAIL

N.T.S.

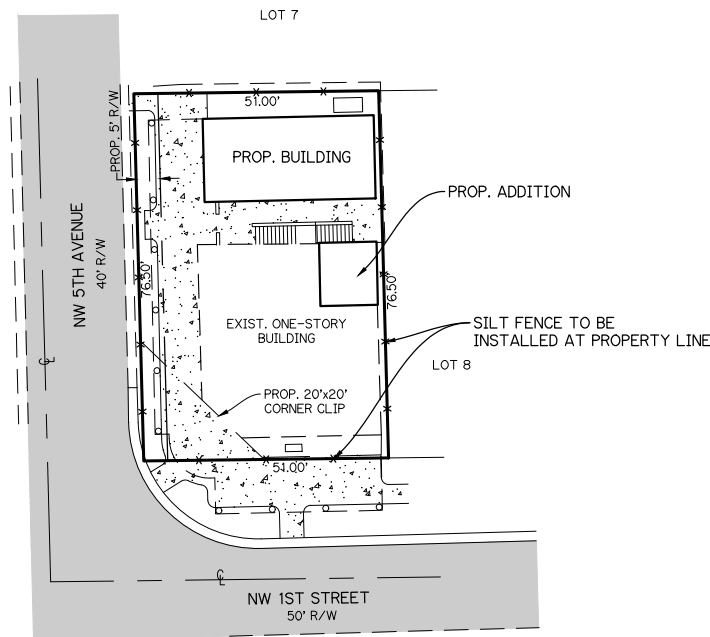
DATE: 10-04-2024

D 14.0

NOTES:

1. CONTRACTOR TO MAINTAIN ALL POLLUTION PREVENTION MEASURES AT ALL TIMES UNTIL LANDSCAPING IS COMPLETE.

SITE PLAN  
SCALE: 1"=20'



POLLUTION PLAN AND DETAILS  
FOR  
103 NW 5TH AVENUE  
DELRAY BEACH, FL

REV.	REV. PER TAC COMMENTS	DATE	BY	CK
2/28/25	SAS			

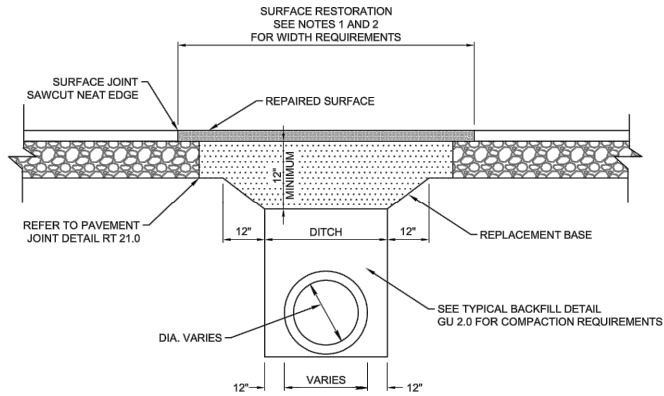
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**LDi**  
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1860 Old Okeechobee Road, Suite 504  
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phone (561)615-6567 fax (561)615-3986

SCALE: N/A  
DATE: FEB 2025  
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DRAWING FILE:  
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RONALD W. LAST, P.E.  
FLORIDA P.E. #38707

23-109 SI

SHEET 4 OF 6



NOTES:

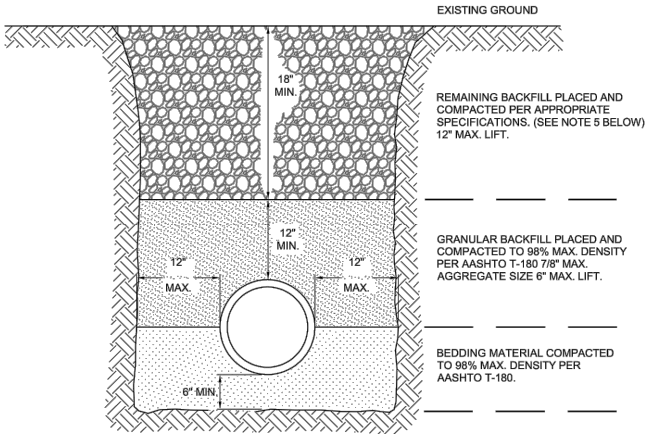
- FOR COMMERCIAL PROJECTS THAT DAMAGE THE ROADWAY SURFACE THE ROADWAY SHALL BE MILLED AND RESURFACED 50' IN EACH DIRECTION FROM THE DAMAGED AREA. MILLING AND RESURFACING SHALL BE FOR THE FULL LANE WIDTH OF ANY DAMAGED LANE.
- FOR RESIDENTIAL PROJECTS THAT DAMAGE THE ROADWAY SURFACE THE ROADWAY SHALL BE MILLED AND RESURFACED FOR THE WIDTH OF THE RESIDENTIAL PROPERTY (MIN. 50' REPAIR LENGTH). MILLING AND RESURFACING SHALL BE FOR THE FULL LANE WIDTH OF ANY DAMAGED LANE.
- MILLING DEPTH SHALL BE 1" AND RESURFACING SHALL BE 1" TYPE S-II ASPHALTIC CONCRETE.
- BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180. MAX LIFT THICKNESS SHALL BE 6".
- 24" EXCAVATEABLE FLOWABLE FILL MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
- ASPHALTIC CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAIED.
- ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
- SURFACE MATERIAL SHALL BE S-II ASPHALTIC CONCRETE (FOR TRENCH REPAIR, THICKNESS SHOULD BE TWICE THE THICKNESS OF THE ADJACENT EXISTING ASPHALT).
- ANY PAVEMENT CUTS SHALL BE COLD PATCHED AT THE END OF EACH WORKING DAY TO FACILITATE UNHINDERED TRAFFIC FLOW.

PAVEMENT REPAIR DETAIL

N.T.S.

DATE: 10-04-2024

GU 1.0



NOTES:

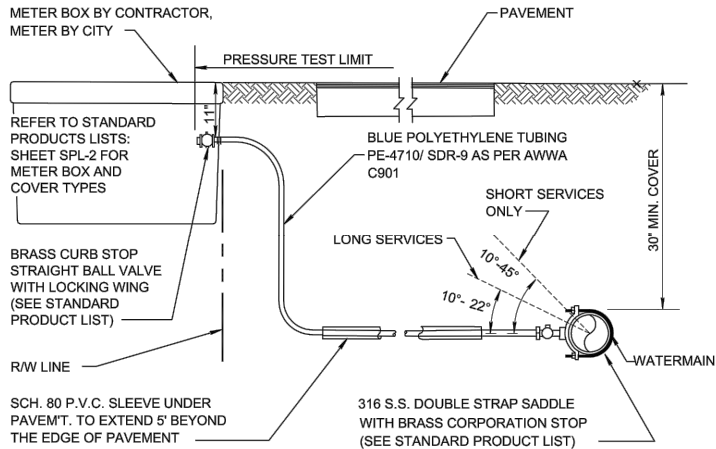
- UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED OFF SITE AND DISPOSED IN A PROPER LANDFILL; BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING.
- THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
- THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
- BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
- COMPACT BACKFILL TO 98% DENSITY UNDER PAVEMENT AND TO 95% DENSITY ELSEWHERE PER (AASHTO T-180)
- COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS, CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

TYPICAL BACKFILL DETAIL

N.T.S.

DATE: 10-04-2024

GU 2.0



NOTES:

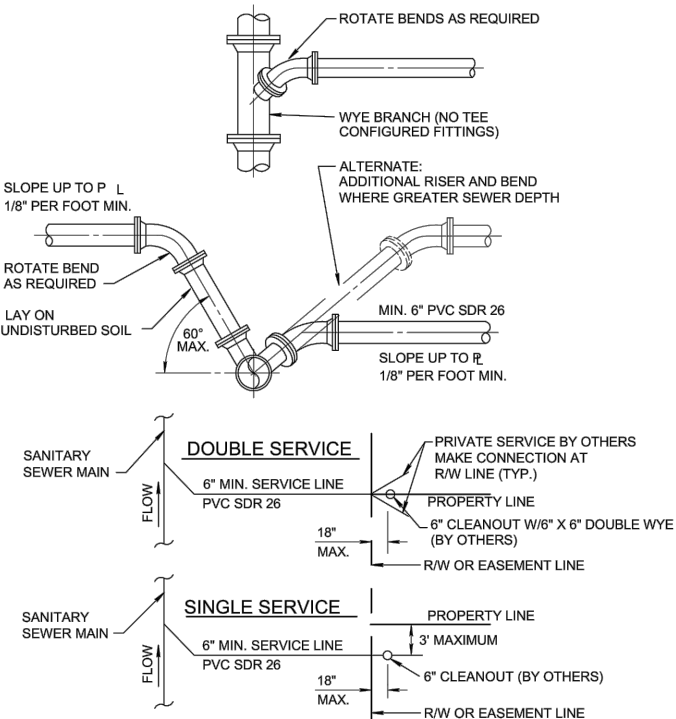
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" ON CENTER.
- SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
- ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1"MIN.).
- NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
- MAXIMUM SERVICE LENGTH IS 100' TO METER.
- CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
- MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
- METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
- ALL VALVES TO BE BALL VALVES.
- METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
- ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
- ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/ DEVELOPER; IF EXISTING SERVICE IS GALVANIZED, BUILDER/CONTRACTOR/ DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE METER.
- ALL WATER SERVICE SHALL BE A MINIMUM OF 2".
- WATER METERS SHALL BE LOCATED OUTSIDE ANY DRIVEWAYS BY 2'

TYPICAL URBAN/REDEVELOPMENT AREA  
SERVICE CONNECTION

N.T.S.

DATE: 10-04-2024

PW 12.0



NOTE:

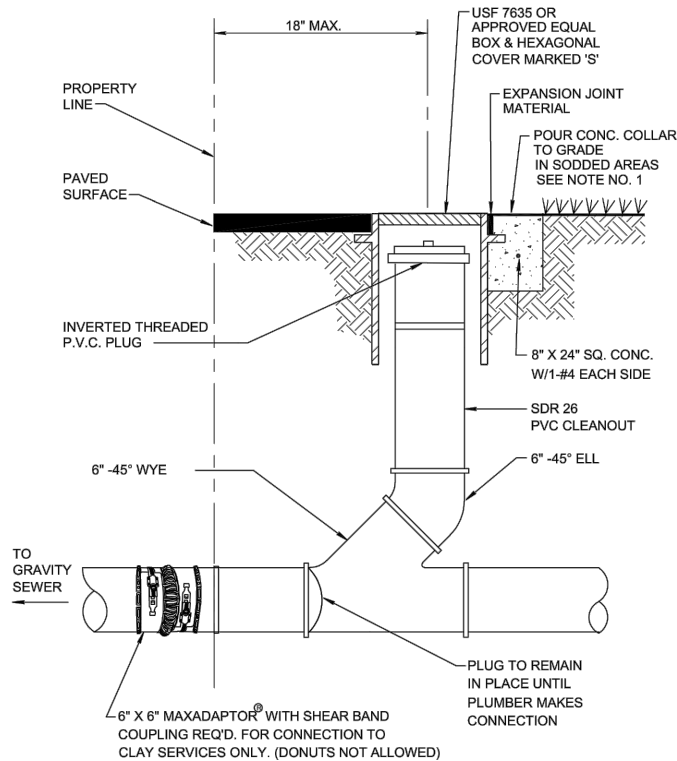
- SERVICE LATERALS SHALL TERMINATE INSIDE PROPERTY LINE A DEPTH OF 3 FEET AND MARKED WITH A 2"X 4" TREATED STAKE.
- CLEANOUT INSTALLATION SHALL BE PROPERTY OWNERS RESPONSIBILITY AND SHALL BE INSTALLED BY LICENSED PLUMBER.
- SEE DETAIL PW 2.0 FOR SEPARATION REQUIREMENTS.

SEWER SERVICE CONNECTION

N.T.S.

DATE: 10-04-2024

WW 8.0



NOTE:

- ALL SANITARY SEWER LATERALS AND CLEANOUT TO BE MINIMUM 6" DIAMETER IN SIZE UNLESS OTHERWISE PREVIOUSLY APPROVED BY THE DEPARTMENT.
- MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.

TYPICAL CLEANOUT

N.T.S.

DATE: 10-04-2024

WW 10.0

CONSTRUCTION NOTES

- ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE BUILDING PAD, ROAD AND PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM 18" LIFTS THOROUGHLY AND UNIFORMLY COMPACTED TO ACHIEVE 95 PERCENT OF THE ASTM D1557 MAXIMUM DRY DENSITY.
- ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1 FOOT. ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
- FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, or A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. FILL MATERIAL SHOULD HAVE NOT MORE THAN 10% BY WEIGHT PASSING THE NO. 200 SIEVE AND SHALL HAVE NO PARTICLE SIZE LARGER THAN 12". CARE SHOULD BE EXERCISED WHEN PLACING MATERIALS WHICH EXCEED 3" TO ASSURE THAT NESTING DOES NOT OCCUR AND TO FURTHER ASSURE THAT THE +3" PARTICLES ARE FULLY SURROUNDED BY FINER GRAINED MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
- ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF THE CITY OF DELRAY BEACH ENGINEERING DIVISION.
- ALL HANDICAP SPACES, RAMPS, AND ACCESS AREAS SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN DISABILITY ACT" (ADA) (28 CFR PART 36), AND "ACCESSIBILITY BY HANDICAPPED PERSONS", CHAPTER 553, PART V, FLORIDA STATUTES. ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
- UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770. FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.

UNIVERSAL COLOR CODE FOR MARKING  
UNDERGROUND UTILITY LINES

RED	ELECTRIC
YELLOW	GAS-OIL
ORANGE	COMMUNICATION, CATV
BLUE	WATER
GREEN	SEWER
PINK	SURVEY MARKINGS
WHITE	PROPOSED EXCAVATION

- THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES IF APPLICABLE.  
  
FLORIDA POWER AND LIGHT COMPANY  
A T & T  
DELRAY BEACH WATER UTILITIES DEPARTMENT  
LOCAL CABLE TELEVISION COMPANY(S)  
FLORIDA DEPARTMENT OF TRANSPORTATION  
LOCAL GAS COMPANY
- ALL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS AND SHALL RESTORE THEM PROMPTLY.
- FLOOD INFORMATION IS AS FOLLOWS:  
  
COMMUNITY NUMBER: 12099C  
PANEL NUMBER: 0979  
SUFFIX: F  
DATE OF FIRM INDEX: OCTOBER 5, 2017  
ZONE: X  
BASE FLOOD ELEV: N/A
- CONTRACTOR SHALL VERIFY EXISTING WATER SERVICE MATERIAL. IF THE WATER SERVICE IS GALVANIZED THEN IT SHALL BE REPLACED TO THE WATER MAIN PER PW 9.1a AT THE OWNERS EXPENSE.

CONSTRUCTION NOTES & DETAILS  
FOR  
103 NW 5TH AVENUE  
DELRAY BEACH, FL

REVISIONS	DATE	BY	CHK

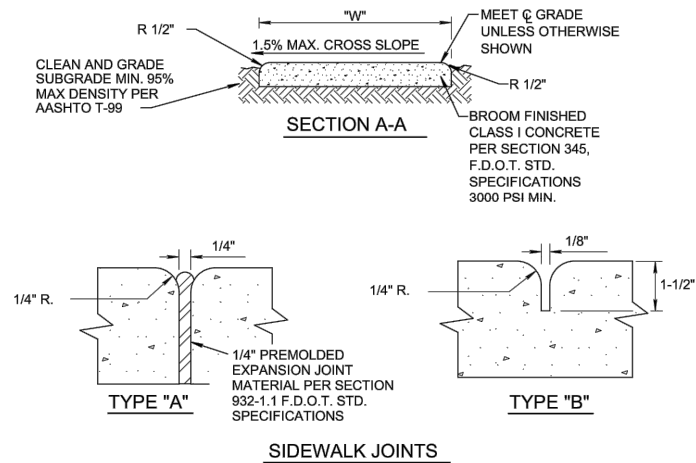
EB 9889  
**Last Devenport, Inc.**  
A T & T  
1860 Old Okeechobee Road, Suite 504  
West Palm Beach, FL 33409  
phone (561)615-6567 fax (561)615-3986

SCALE: N/A  
DATE: FEB 2025  
DESIGNED BY: SAS  
CHECKED BY:RWL  
DRAWING FILE:  
23-109 DET

3/4/2025  
RONALD W. LAST, P.E.  
FLORIDA P.E. #38707

23-109 SI  
SHEET 5 OF 6

SIDEWALK CONSTRUCTION DETAIL  
N.T.S.

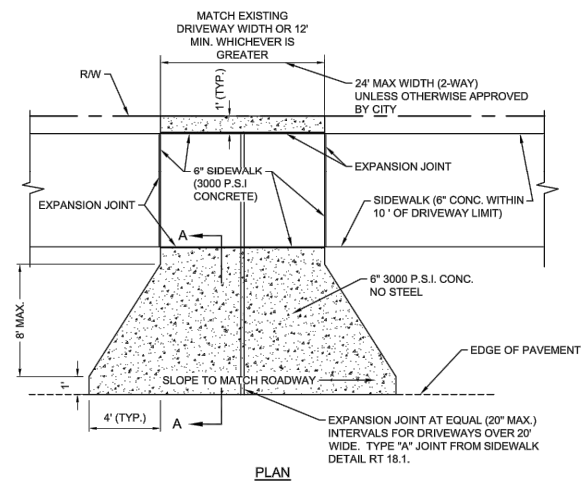


- NOTE:**
1. ALL SIDEWALKS SHALL BE CONSTRUCTED THRU DRIVEWAYS.
  2. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT RAMPS @ INTERSECTIONS.
  3. ALL SIDEWALKS SHALL INCLUDE CROSS SLOPE AND RUNNING SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
  4. CURB RAMP DETECTABLE WARNING SURFACE SHALL EXTEND THE FULL WIDTH OF THE RAMP AND 24" DEEP.
  5. SIDEWALK SHALL BE 6" THICK FOR 2' AT THE CONNECTION TO ROADWAYS WITH A 6" TRANSITION TO 6" FOR THE REMAINDER OF THE REQUIRED 10'.

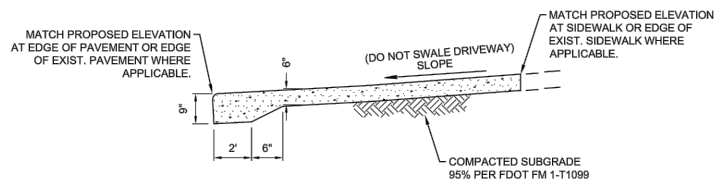
TABLE OF SIDEWALK THICKNESS - "T"	
GENERAL AREAS	4"
WITHIN 10' OF CROSS-STREETS, AT DRIVEWAYS & OTHER AREAS	6"
TABLE OF SIDEWALK WIDTHS - "W"	
SINGLE-FAMILY AREAS	5'
MULTI-FAMILY AREAS	5'
OTHER AREAS AS SPECIFIED BY THE CITY.	

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING & NEW SIDEWALKS & EVERY 30'
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS SCORED DURING PLACEMENT OR SAWCUT WITHIN 24 HOURS OF PLACEMENT.
"A"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.

SIDEWALK CONSTRUCTION  
N.T.S.



NOTE: SIDEWALK SHALL BE CONSTRUCTED THROUGH DRIVEWAY PER DETAILS 18.0 AND 18.1.

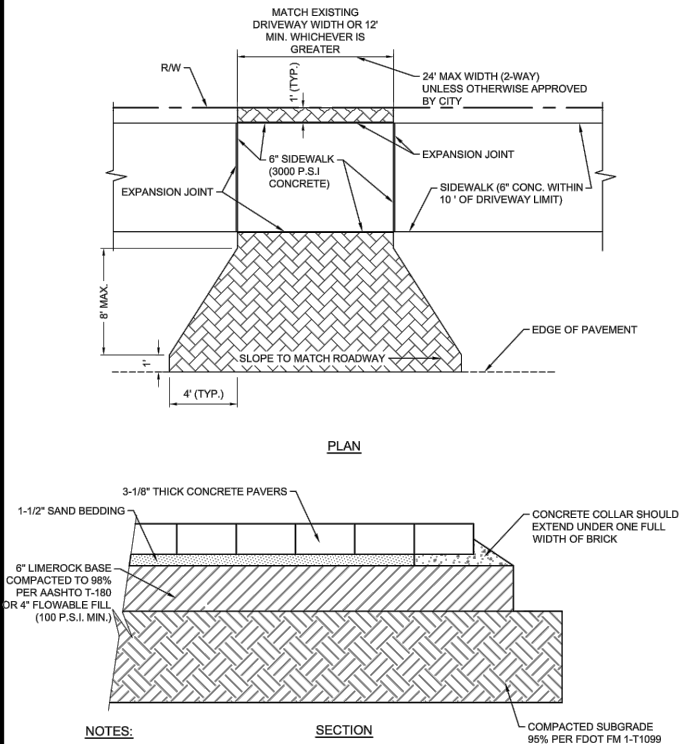


- NOTES:

SECTION A-A

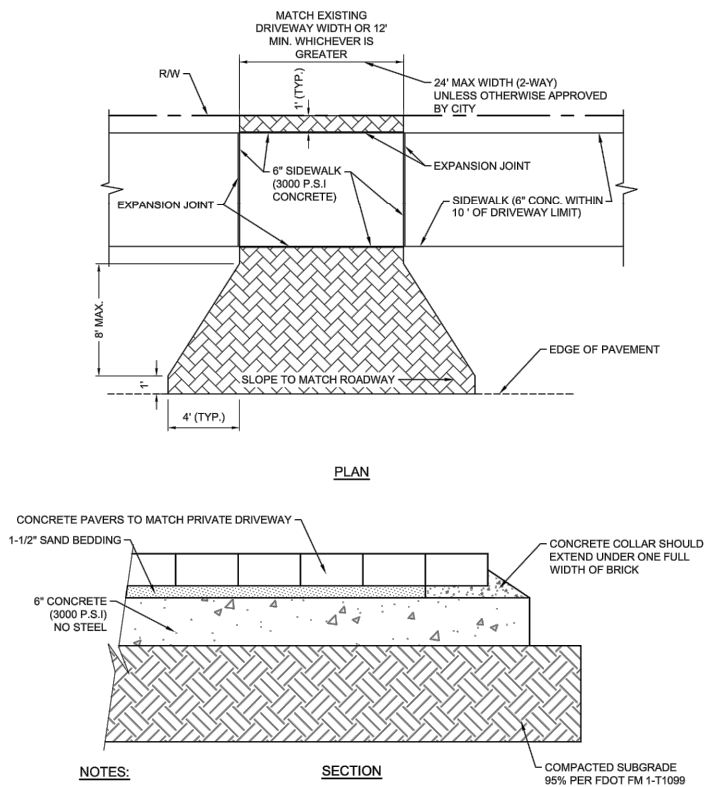
  1. THIS DETAIL IS SHOWN WITH PROPOSED SIDEWALK.
  2. IF THERE IS AN EXISTING SIDEWALK, THE SIDEWALK SHALL BE EVALUATED FOR THICKNESS AND IF FOUND NOT TO BE 6" THICK IT MUST BE REPLACED WITHIN THE LIMITS OF THE DRIVEWAY AND 10' ON EITHER SIDE.
  3. IF THERE IS NO SIDEWALK, EXISTING OR PROPOSED, THE DRIVEWAY APRON SHALL BE CONSTRUCTED WITH THE GEOMETRY SHOWN HEREON UP TO THE PROPERTY LINE.

CONCRETE DRIVEWAY APRON  
N.T.S.



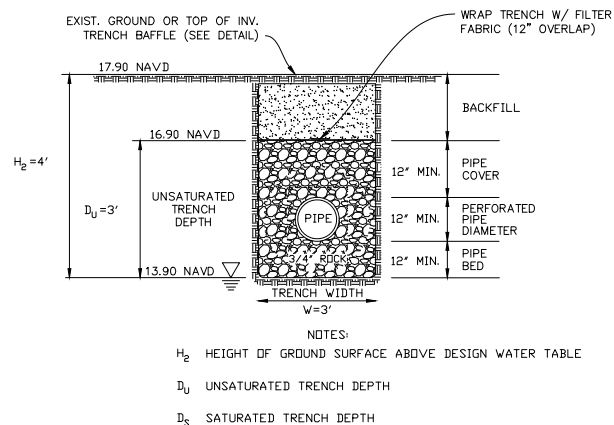
- | <u>NOTES:</u>  | <u>SECTION</u> | COMPACTED SUBGRADE<br>95% PER FDOT FM 1-T1099 |
|--|----------------|---|
| 1. THIS DETAIL IS SHOWN WITH PROPOSED SIDEWALK.<br>2. IF THERE IS AN EXISTING SIDEWALK, THE SIDEWALK SHALL BE EVALUATED FOR THICKNESS AND IF FOUND NOT TO BE 6" THICK IT MUST BE REPLACED WITHIN THE LIMITS OF THE DRIVEWAY AND 10' ON EITHER SIDE.<br>3. IF THERE IS NO SIDEWALK, EXISTING OR PROPOSED, THE DRIVEWAY APRON SHALL BE CONSTRUCTED WITH THE GEOMETRY SHOWN HEREON UP TO THE PROPERTY LINE. |                |   |

PAVER BRICK DRIVEWAY APRON  
N.T.S.



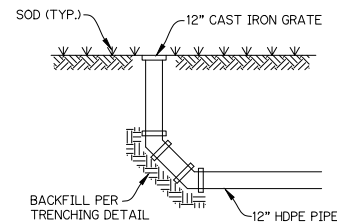
- | <u>NOTES:</u>  | <u>SECTION</u>                              |
|--|---|
| <ol style="list-style-type: none"> <li>1. THIS DETAIL IS SHOWN WITH PROPOSED SIDEWALK.</li> <li>2. IF THERE IS AN EXISTING SIDEWALK, THE SIDEWALK SHALL BE EVALUATED FOR THICKNESS AND IF FOUND NOT TO BE 6" THICK IT MUST BE REPLACED WITHIN THE LIMITS OF THE DRIVEWAY AND 10' ON EITHER SIDE.</li> <li>3. IF THERE IS NO SIDEWALK, EXISTING OR PROPOSED, THE DRIVEWAY APRON SHALL BE CONSTRUCTED WITH THE GEOMETRY SHOWN HEREON UP TO THE PROPERTY LINE.</li> </ol> | COMPACTED SUBGRADE<br>95% PER FDOT FM 1-110 |

ALTERNATE PAVER BRICK  
DRIVEWAY APRON  
N.T.S.



- NOTES:
- H<sub>2</sub> HEIGHT OF GROUND SURFACE ABOVE DESIGN WATER TABLE
- D<sub>U</sub> UNSATURATED TRENCH DEPTH
- D<sub>S</sub> SATURATED TRENCH DEPTH

EXFILTRATION TRENCH DETAIL  
N.T.S.



YARD DRAIN DETAIL  
N.T.S.

## CONSTRUCTION DETAILS

FOR  
103 NW 5TH AVENUE  
DELRAY BEACH, FL

REVIEWS	DATE	BY	CK

98089

**LDi**  
**Last Devenport, Inc.**

1860 Old Okeechobee Road, Suite 504  
West Palm Beach, FL 33409  
phone (561)615-6567 fax (561)615-3986

SCALE: N/A

DATE: FEB 2025

DESIGNED BY: SAS

CHECKED BY:RWL

DRAWING FILE:  
23-109 DET

3/4/2025  
RONALD W. LAST,  
FLORIDA P.E. #38

23-109	SI
--------	----

SHEET 6 OF 6



NOTES:

1. UNDERGROUND UTILITIES WERE NOT LOCATED EXCEPT AS SHOWN.
2. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY SURVEYOR FOR EASEMENTS, RIGHTS-OF-WAYS, RESERVATIONS AND OTHER SIMILAR MATTERS OF RECORD.
3. ELEVATIONS ARE NORTH AMERICAN VERTICAL DATUM OF 1988.
4. BEARINGS ARE BASED ON NORTH LINE OF NW 1 ST ST. ASSUMED TO BEAR N/A. (BASED ON PLAT)
5. SET 5/8" IRON ROD AND CAP #LB5984 UNLESS NOTED.
6. X.XX DENOTES EXISTING LOT GRADES.
7. LEGAL DESCRIPTION WAS FURNISHED BY CLIENT.
8. LOT AREA = 3,901 SQ. FT. MORE OR LESS.
9. ANY USE OF THIS SURVEY NOT APPROVED IN WRITING BY THE SIGNING SURVEYOR, IS THE RESPONSIBILITY OF THE USER.
10. ACCURACY STATEMENT: A FIELD SURVEY WAS PERFORMED IN ACCORDANCE WITH CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATE FOR BOUNDARY SURVEYS. THE ACCURACY OF THE CONTROL DATA WAS VERIFIED BY REDUNDANT MEASUREMENTS OF TRAVERSE CLOSURES AND EXCEEDS COMMERCIAL: 1' IN 10,000'.

DRAINAGE NOTES

FLOOD ZONE: X

COMMUNITY-PANEL NO. 120 990 0979 F

EFFECTIVE DATE: OCTOBER 5, 2017

LEGEND:

N&TT = NAIL AND TIN TAB  
M.E. = MAINTENANCE EASEMENT  
FP&L = FLORIDA POWER & LIGHT  
P.C.P. = PERMANENT CONTROL POINT  
C/L = CENTERLINE  
SDE = SWALE DRAINAGE EASEMENT  
U.E. = UTILITY EASEMENT  
FND = FOUND  
CONC = CONCRETE  
N&D = NAIL & DISC  
IR&C = IRON ROD & CAP  
R/W = RIGHT OF WAY  
F.F. = FINISH FLOOR  
R = RADIUS  
A = DELTA  
L = LENGTH

SHEET 1 OF 2

I HEREBY CERTIFY: THAT THIS BOUNDARY SURVEY WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID 'BOUNDARY SURVEY MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA', PURSUANT TO RULE 5J-17.05, OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 OF THE FLORIDA STATUTES, NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER.

JOHN F. TRACH  
STATE OF FLORIDA  
PLS NO. 487



BOUNDARY SURVEY  
MAP OF THE TOWN OF LINTON, FLORIDA  
WEST 51 FEET OF LOT 8, BLOCK 27  
PLAT BOOK 1, PAGE 3  
PALM BEACH COUNTY, FLORIDA

08-11-21  
SURVEY DATE:

1" = 20'  
SCALE:

F.B. GPS COL

UNIVERSAL SURVEYING SYSTEMS, INC.  
CERTIFICATE OF AUTHORIZATION NUMBER LB 5984  
2623 LAKE DRIVE NORTH  
BOYNTON BEACH, FLORIDA 33435  
OFFICE: 561-736-0432 JTRACHPLS@GMAIL.COM

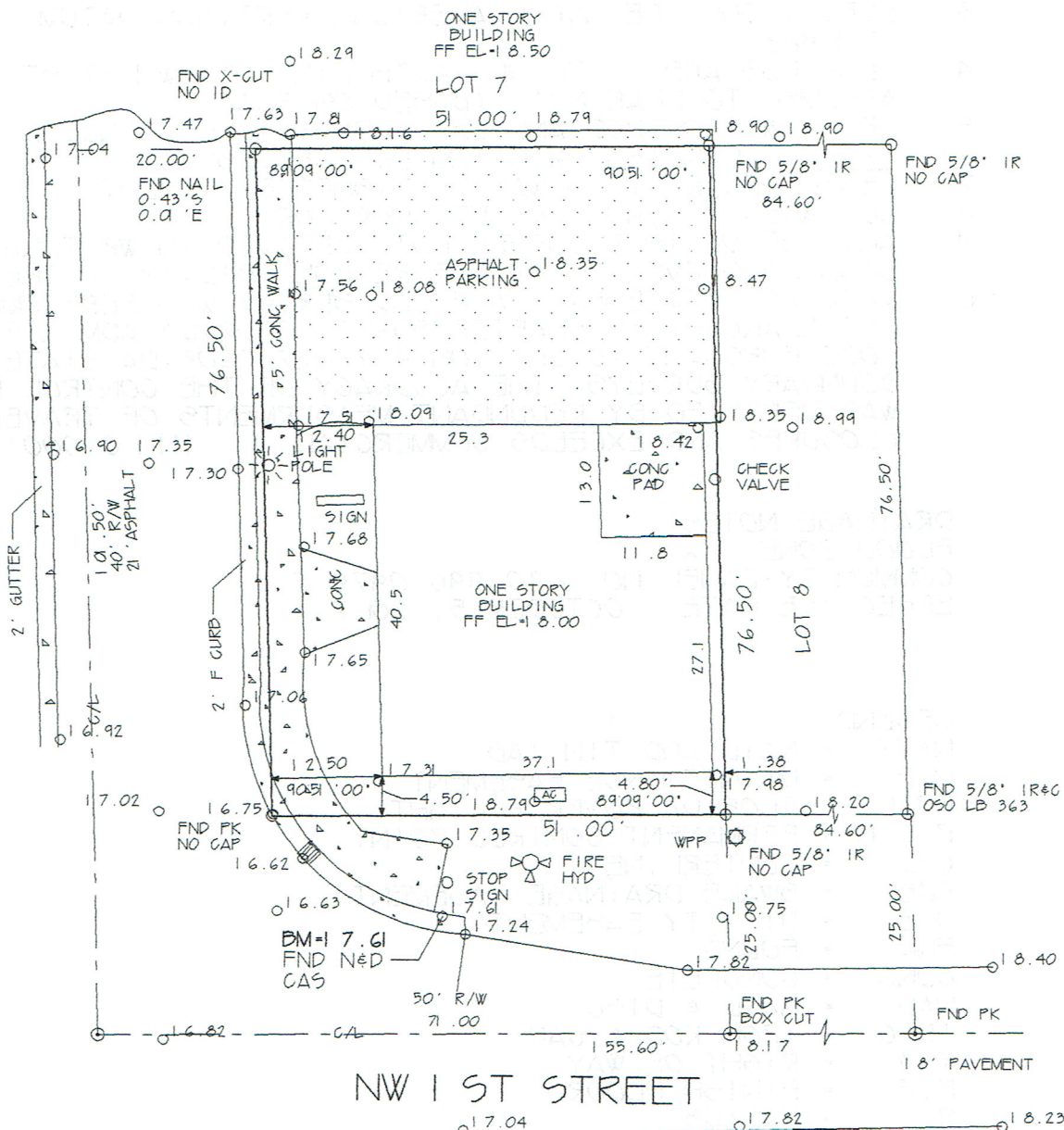
21-08-008  
TLL8B27

DRAWING NO.



NW 5TH AVENUE

17.08 17.58 17.74



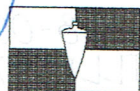
ADDRESS:  
103 NW 5TH AVE.  
DELRAY BEACH, FL

UPDATED SURVEY 12-16-24  
UPDATED SURVEY 05-20-24  
UPDATED SURVEY 10-06-23  
UPDATE & TOPOGRAPHIC SURVEY 4-10-23

SHEET 2 OF 2

I HEREBY CERTIFY: THAT THIS BOUNDARY SURVEY WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID BOUNDARY SURVEY MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, PURSUANT TO RULE 5J-17.03, OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 OF THE FLORIDA STATUTES. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER.

JOHN F. TRACH  
STATE OF FLORIDA  
PLS NO. 4871



BOUNDARY SURVEY  
MAP OF THE TOWN OF LINTON, FLORIDA  
WEST 51 FEET OF LOT 8, BLOCK 27  
PLAT BOOK 1, PAGE 3  
PALM BEACH COUNTY, FLORIDA

08-11-21  
SURVEY DATE:

1" = 20'  
SCALE:

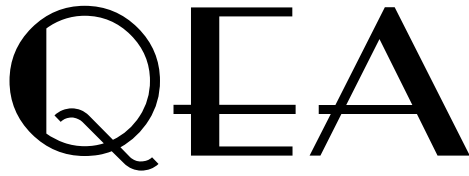
GPS COL  
F.B. P.

UNIVERSAL SURVEYING SYSTEMS, INC.  
CERTIFICATE OF AUTHORIZATION NUMBER LB 5984  
2623 LAKE DRIVE NORTH  
BOYNTON BEACH, FLORIDA 33435  
OFFICE: 561-736-0432 UTRACHPLS@GMAIL.COM

21-08-008  
TLL8B27

DRAWING NO.





QUANTUM ENGINEERING ASSOCIATES INC.

*Structural Engineering & Cost Segregation*

## **PROJECT NARRATIVE**

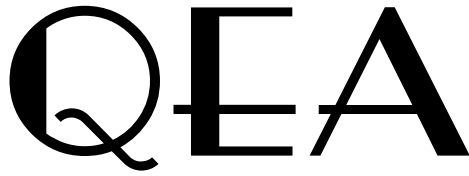
OUR PROJECT IS TO TRANSFORM THE EXISTING NON-CONTRIBUTING SINGLE STORY COMMERCIAL BUILDING LOCATED ON THE CORNER OF NW 1<sup>st</sup> STREET & SW 5<sup>th</sup> AVENUE. THE EXISTING STRUCTURE IS LOCATED IN THE CENTRAL BUSINESS DISTRICT/WEST ATLANTIC NEIGHBORHOOD SUB-DISTRICT. CURRENTLY BEING USED AS A BOXING GYM FOR PRIVATE CLIENTS/MEMBERS, THE BUILDING OCCUPIES APPROXIMATELY  $\frac{3}{4}$  OF THE LOT, WITH THE REST EITHER LANDSCAPE OR ASPHALT AREAS USED FOR PARKING.

THE PROPOSED PROJECT WILL ENLARGE THE BUILDING FOOTPRINT ON THE GROUND LEVEL WITH AN ADDITIONAL STANDALONE RETAIL SPACE, INCREASE IN EXISTING BUILDING, WRAP AROUND ARCADE ON BOTH CROSS STREETS AND A VERTICAL PRIVATE CIRCULATION (STAIRWELL) TO THE THREE PROPOSED NEW RESIDENTIAL LIVING SPACES ABOVE. THE MIXED-USE CONCEPT WILL BRING A VIBRANT/ATTRACTIVE RETAIL ARCADE ON THE LOWER LEVEL FOR LOCAL FOOT TRAFFIC WHILE PROVIDING NEW MODERN LIVING TO FUTURE RESIDENTS OF THE DELRAY BEACH CENTRAL BUSINESS DISTRICT.

THE RESIDENTIAL UNITS ARE ALL SINGLE BEDROOM/SINGLE BATH WITH EXTERNAL BALCONIES AND HAVE SEPARATE ACCESS TO A PRIVATE OPEN ROOF TERRACE. THE ROOF TERRACE IS ACCESSIBLE BY A STAIRWELL WITHIN EACH UNIT, AND THE SEPARATE LANDING AREAS HOUSE A  $\frac{1}{2}$  BATH FOR ROOF TOP USAGE/CONVENIENCE. THE ROOF TERRACES ALL HAVE COVERED AREAS (SHADE AREAS), ATTRACTIVE BUILT-IN ART DECO SUMMER KITCHENS FOR ENTERTAINING, AND OPEN AREAS WITH LARGE PLANTERS BUFFERING THE ROOF TOPS PARAPET WALLS.

THE ARCHITECTURE STYLE AND SCALE REPRESENTS A RETURN TO THE ART MODERNE/STREAMLINE MODERNE PERIOD OF THE HISTORICAL NEIGHBORHOOD WITH A MORE PRESENT-DAY FEEL. WE BELIEVE THAT SUCH A NEW PROJECT IN THIS AREA WILL ENCOURAGE THE SURROUNDING NEIGHBORS/OWNERS TO FOLLOW SUIT, ENERGIZING THE AREA TO BE A PLEASANT EXTENSION OF DOWNTOWN.

**NOTE:** A 5FT. RELIEF REQUEST (NORTH SIDE) & ARCADE REGULATIONS (SOUTH & WEST SIDES) ARE WITHIN THIS SUBMITTAL, AND THE REASONING IS EXPLAINED IN THE PROJECT RELIEF APPLICATION/STATEMENT.



QUANTUM ENGINEERING ASSOCIATES INC.

•  
*Structural Engineering & Cost Segregation*

**VARIANCE NARRATIVE (NORTH SIDE)**

THE FIVE-FOOT VARIANCE ALLOWS THE RESIDENTIAL UNITS TO HAVE A MAIN ENTRANCE THAT IS PRIVATE AND NESTLED BETWEEN THE TWO LOWER FLOOR RETAIL/COMMERCIAL STRUCTURES. THIS ALSO ALLOWS FOR A FIVE-FOOT FIRE EXIT ROUTE FOR THE LOWER FLOOR BUILDINGS AT THIS SECURE MAIN ENTRANCE. BY ALLOWING THE NEW BUILDING TO WRAP BETTER THE WHOLE CORNER OF THE LOT, A BETTER PEDESTRIAN EXPERIENCE IS CREATED. THIS SMALLER SEPARATION BETWEEN THE BUILDINGS IS VERY COMMON IN DOWNTOWN AREAS SUCH AS DELRAY BEACH. THE STRUCTURE ADJACENT TO THE NORTH IS A SINGLE-STORY COMMERCIAL BUILDING, AND THIS SOUTH-FACING FAÇADE IS USED MAINLY FOR WALL-MOUNTED A/C UNITS, MOUNTED AT APPROXIMATELY 8FT ABOVE THE FINISHED FLOOR. THIS NEIGHBORING WALL IS MINOR ABOUT THE BUILDINGS USAGE AND HAS NO MEANS OF REQUIRED EGRESS ON THAT SIDE. IN ADDITION, THE LACK OF OPENINGS ON THE SIDE MEANS THE NEW PROPOSED STRUCTURE WILL NOT BE BLOCKING ANY MAJOR SIGHT LINES FOR THE NEIGHBORING OWNER.

IMPORTANTLY, THE LESS UNUSED AREA OF THE PROPERTY IS A BENEFIT TO THE NEIGHBORHOOD, REDUCING THE OPPORTUNITY FOR UNWANTED VAGRANTS TO FREQUENT AND REDUCE RANDOM DUMPING OF UNWANTED POSSESSIONS BY OTHERS. THIS REDUCED 5FT AREA WILL BE SECURELY ENCLOSED, FENCED IN, AND USED BY THE BUILDINGS OCCUPANTS, PRIMARILY FOR CITY TRASH COLLECTION AND UTILITY SERVICES SUCH AS LOWER FLOOR A/C COMPRESSORS, MAIN ELECTRICAL SERVICE, ETC.