



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Khalil & Adam's Residence
Project Location: 797 Andrews Avenue
Request: Class III Site Plan Modification

Board: Site Plan Review and Appearance Board
Meeting Date: August 10, 2016

Board Action:

Class III Site Plan Modification
Approved 5-0

Project Description:

The property contains a two story townhouse development constructed in 1982, and is located at the southeast corner of George Bush Blvd. and Andrews Avenue in the Medium Density Residential (RM) zoning district. The four residential units are fee simple and consist of a total of 9,672 square feet.

The proposed site plan, landscape plan and architectural elevation changes are associated with a first and second floor expansion and a garage addition to an existing residential unit part of the four unit residential development.

Board Comments:

The Board approved the proposal with conditions:

- That two additional trees will need to be added to the property to mitigate for the removal of the two trees. Mitigation plan to be reviewed and approved by the City Landscape Planner prior to certification.
- That the Applicant is required to submit 3 revised copies of signed and sealed plans prior to certification per LDR Section 2.4.3(B)(24).

Public Comments:

No public input

Associated Actions:

No actions

Next Action:

The SPRAB action is final unless appealed by the City Commission.

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE:

August 10, 2016

ITEM:

797 Andrews Avenue – Class III Site Plan Modification, Landscape Plan and Architectural Elevations associated with a first and second floor expansion and a garage addition to an existing residence part of a four unit (4) residential complex. The subject property is located on the southeast corner of George Bush Blvd. and Andrews Avenue.

RECOMMENDATION:

Approval of the Class III Site Plan Modification for 797 Andrews Avenue.

GENERAL DATA:

Applicant/Owner.....

James Khalil & Jane Adams

Location.....

Southeast corner of George Bush Blvd. and Andrews Avenue

Property Size.....

0.17 acres

Future Land Use Map.....

RM (Medium Density Residential)

Current Zoning.....

RM (Medium Density Residential)

Adjacent Zoning.....

North: SAD (Special Activities District)

South: RM (Medium Density Residential)

East: R-1AAA (Single Family Residential)

West: RM (Medium Density Residential)

Existing Land Use.....

Multiple Family

Proposed Land Use.....

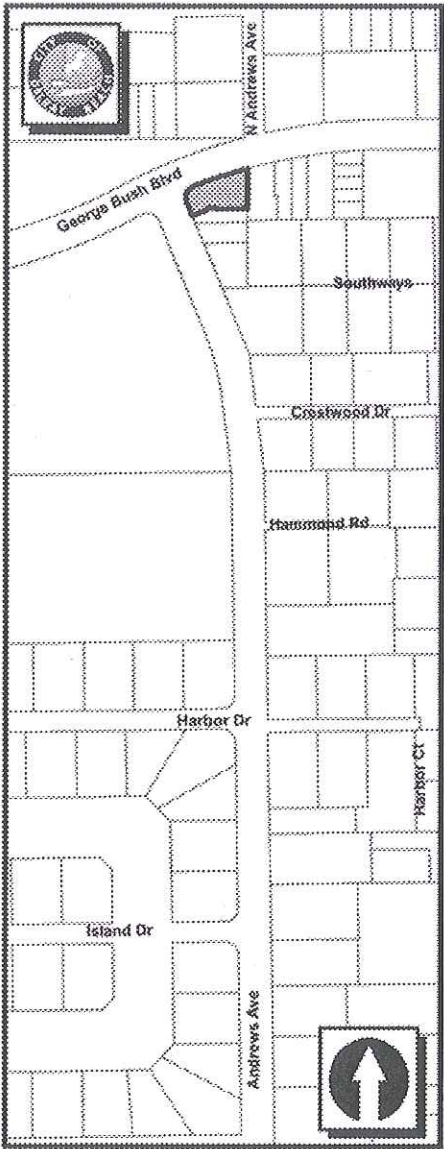
Multiple Family

Water Service.....

Available on site.

Sewer Service.....

Available on site.



ITEM BEFORE THE BOARD

The item before the Board is approval of a Class III Site Plan Modification for **797 Andrews Avenue**, pursuant to LDR Section 2.4.5(G)(1)(b).

- ☐ Site Plan;
- ☐ Architectural Elevations;
- ☐ Landscape Plan.

The subject property is located at the southeast corner of George Bush Boulevard and Andrews Avenue.

BACKGROUND

The item before the Board is approval of architectural elevation changes associated with a Class III Site Plan Modification for **797 Andrews Avenue**, pursuant to Land Development Regulations (LDR) Section 2.4.5(I). The subject property is located at the southeast corner of George Bush Blvd. and Andrews Avenue.

The property is a two story townhouse development constructed in 1982, and is located at the southeast corner of George Bush Blvd. and Andrews Avenue in the Medium Density Residential (RM) zoning district. The four townhomes are fee simple and consist of a total of 9,672 square feet. The subject property is legally described as S/D of 9-46-43 N 40 feet of S 159.45 feet of, LT 30 LYG ELY of & adjacent to Andrews Ave right of way.

At its meeting of May 14, 2014, the Site Plan Review and Appearance Board (SPRAB) reviewed a Class III Site Plan Modification application for an addition above the garage submitted by a unit owner (793 Andrews). The Board tabled the item expressing concerns that the adjacent unit owners were opposed to the addition and failed to come to an agreement. With the absence of a governing Board (HOA) the SPRAB directed the applicant and dissenting unit owners, who were present at the meeting, to come to a reasonable/mutual solution relating to this and future proposals.

Upon review of the proposal, the City Attorney's office made a determination that the SPRAB cannot deny an application for failure to obtain aforementioned approval from adjacent unit owners. However, the SPRAB must consider the impact of the current and future proposals on neighboring units before approving a project. Specifically, LDR Section 2.4.5(F)(5) requires the SPRAB to make findings that the property pursuant to the site plan be "*harmonious with adjacent and nearby properties and the City as a whole*". At its meeting of November 12, 2014, the SPRAB approved the Class III Site Plan Modification for an addition above the garage submitted for the unit located at 793 Andrews Avenue.

A Class III Site Plan Modification has been submitted associated with changes to the Site Plan, Landscape Plan and Architectural Elevations for the construction of a detached garage and the expansion of the first and second floors to the existing residential unit located at 797 Andrews Avenue.

PROJECT DESCRIPTION

The development proposal involves the following:

- Construction of a 460 sq. ft. detached garage.
- Construction of a 24 sq. ft. storage room on the first floor
- Addition of a 394 sq. ft. floor area to the second floor by enclosing a portion of the existing balcony.
- Modifications to the elevations.
- Removal and installation of associated landscaping.

SITE PLAN MODIFICATION ANALYSIS

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

Development Standards Matrix:

Pursuant to LDR Section 4.4.6(F), within the Medium Density Residential (RM) zoning district, the Development Standards depicted in LDR Section 4.3.4(K) shall apply. The following table indicates that the two car detached garage, consisting of 460 sq. ft., on the northwest side of the property facing the front and side street setback complies with these above referenced requirements:

		<u>Required:</u>	<u>Provided:</u>
<i>Building Setbacks (min.):</i>	Front	25'	25'
	Side Street	25'	25'

A 24 sq. ft. of storage space will be added to the first floor and 394 sq. ft. will be added to the second floor by enclosing a portion of the second floor balcony on the west side of the property. The total floor area addition of 418 sq. ft. to the principal structure will not have an impact to the site plan or lot coverage as it does not present significant modifications to the footprint of the main structure.

Open Space:

Per LDR Section 4.3.4(K), a minimum of 25% non-vehicular open space is required. The proposed development complies with this requirement since a total of 49.94% open space will be provided for the 4 unit townhouse development.

Lot Coverage:

The total lot area for the 4 unit residential development is 20,162 sq. ft. (0.17 acres) and the existing principal structure footprint is approximately 5,424 sq. ft. With the addition of a 460 sq. ft. garage, the lot coverage for this development will increase to 5,884 sq. ft. totaling 29.18% lot coverage, which does not exceed the maximum requirement of 40%.

ARCHITECTURAL ELEVATIONS ANALYSIS

LDR Section 4.6.18(E) - Criteria for Board Action: The following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed architectural elevation changes involve modifications to the existing two story residential unit which includes replacement of windows and doors, renovations to the façade and the introduction and replacement of architectural features. The existing windows and doors will be replaced and enlarged to accommodate new openings. Window and door frames will be white color. Exterior upgrades to repair deteriorating and damaging structures will be required to accommodate the proposed renovations and the addition of floor area to the second floor; however, all the proposed changes are to match the existing conditions of the 4 unit townhouse development. All the exterior elevations will be painted belvedere tan color.

In addition, the applicant is proposing a 460 sq. ft. 2 car detached garage along the northwest side of the development facing Andrews Avenue and George Bush Blvd. A portion of the front yard, facing Andrews Avenue, will be paved for access. The proposed garage and paved area will be buffered by existing vegetation and will not affect the surrounding area or obstruct the view; however, existing trees and landscaping will be removed to accommodate the proposed addition.

Moreover, the proposed architectural elevation changes involve the introduction of columns on the north and west elevations together with the replacement and addition of traditional style awnings to be located above the windows. The proposed beige fabric awning will blend with the proposed changes and will not generate a conflict with the surrounding properties. The introduction of the architectural changes will not adversely affect the surrounding area and will not materially depreciate the neighboring areas. Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E).

LANDSCAPE ANALYSIS

The proposed Class III Site Plan Modification contains the removal of two trees including a strangler fig (ficus aurea), located on the northwest side of the property and rated at 50% condition, and a sabal palm (sabal palmetto) growing in the strangler fig and assessed in good condition. The removal of these two trees is required as they are located within the footprint of

the proposed garage. The landscape plan has been reviewed by the Senior Landscape Planner and has been found to be in compliance with applicable requirements of LDR Section 4.6.16, provided that the condition of approval is addressed as follows:

1. Two additional trees will need to be added to the property to mitigate for the removal of the two trees, if approval is granted. Mitigation plan must include two shade trees at a minimum of twelve (12) feet in overall height at the time of planting, with a minimum of four (4) feet of single straight trunk with six (6) feet of clear trunk, and a six (6) foot spread of canopy. All trees must be installed prior to the final landscape inspection.

REQUIRED FINDINGS

Pursuant to LDR Section 2.4.5(G) (1) (c) Class III Site Plan Modification, a modification to a site plan which represents either a change in intensity of use, or which affects the spatial relationship among improvements on the land, requires partial review of Performance Standards found in LDR Sections 3.1.1, and 3.2.3, as well as required findings of LDR Section 2.4.5(G) (5).

LDR Section 2.4.5(G) (5):

Pursuant to LDR Section 2.4.5(G) (5), a finding that the proposed changes do not significantly affect the originally approved plan must be made concurrent with approval of a Class III modification.

The development proposal involves interior modifications that include the addition of approximately 24 sq. ft. storage space to the first floor and the addition of 394 sq. ft. to the second floor by enclosing part of the second floor balcony to enlarge the master bedroom. An additional bedroom will also be added. The exterior modifications include the construction of a new two car detached garage that consists of 460 sq. ft. along with new paving. Pursuant to LDR Section 2.4.5(G)(5), this minor modification does not significantly impact the previous findings. However, the applicable Future Land Use Map and Concurrency items as they relate to this development proposal are discussed below.

Pursuant to LDR Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

LDR Section 3.1.1(A) - Future Land Use Map:

The subject property has a Future Land Use Map (FLUM) designation of Medium Density (MD), and Zoning District Map designation of Multiple Family Residential (Medium Density) (RM). Pursuant to LDR Section 4.4.6(B), within the RM zoning district, multi-family dwelling units 6-12 dwelling units per acre are allowed as a principal use. Based on the above, it is appropriate to make a positive finding with respect to consistency with the Future Land Use Map designation.

LDR Section 3.1.1(B) - Concurrency:

As described in Appendix "A", a positive finding of concurrency can be made as it relates to water and sewer, streets and traffic, drainage, and solid waste.

Section 3.1.1 (C) - Consistency (Standards for Site Plan Actions):

As described in Appendix B, a positive finding of consistency can be made as it relates to Standards for Site Plan Actions.

LDR Section 3.1.1(D) - Compliance with the Land Development Regulations:

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDRs can be made.

Section 2.4.5 (F)(5) - Compatibility (Site Plan Findings): The approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The subject property is bordered on the north by a Special Activities District (SAD), east by Multiple Family Residential (RM), and Single Family Residential (R-1-AAA), with the south and west bordered by Multiple Family Residential (RM) zoned property. The existing land use is a multiple family structure. Compatibility between the proposed modifications and the surrounding properties is not a concern. The proposed garage addition and building renovations will be an enhancement to the existing four unit complex and be harmonious with the adjacent and nearby properties.

Comprehensive Plan Policies:

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following objective is noted.

Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The property is fully developed and contains a 9,672 square foot four unit townhouse complex. The proposal involves the addition of a 418 sq. ft. to the principal structure and a 460 sq. ft. garage. There are no special physical or environmental characteristics of the land that would be negatively impacted by the second floor addition. Therefore, the development will remain complimentary with the surrounding residential and adjacent developments.

Housing Policy A-12.3: In evaluating proposals for new development or redevelopment, the City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

The proposed addition will not increase noise, odor, or dust. Parking facilities and existing traffic volumes and circulation patterns around the proposed addition are not expected to change, and thus, will not negatively impact the safety, habitability and stability of the existing residential development. Therefore, there will be no net increase in the intensity of the development, and thus, no increase in traffic impact.

REVIEW BY OTHERS

Courtesy Notices:

Courtesy notices have been provided to the following associations that have requested notice of developments in their areas:

- Delray Citizens Coalition
- The Landings
- The four current unit owners:

Jeffrey Tobias- 791 Andrews Ave.
Steven Burdeau- 793 Andrews Ave.
Steven Briscuso- 795 Andrews Ave.
James Khalil- 797 Andrews Ave.

Letters of objection or support, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

ALTERNATIVE ACTIONS

- A. Postpone with direction.
- B. Move approval of the Class III site plan modification, landscape plan, architectural elevations for **797 Andrews Avenue**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with Section 3.1.1(Performance Standards), Section 2.4.7(B)(5), and Section 2.4.5(G)(5) (Findings) of the Land Development Regulations subject to conditions.
- C. Move denial of the Class III site plan modification, landscape plan, architectural elevations for **797 Andrews Avenue**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with Section 3.1.1(Performance Standards), 2.4.7(B)(5) and Section 2.4.5(G)(5) (Findings) of the Land Development Regulations.

STAFF RECOMMENDATION

By Separate Motions:

Class III Site Plan:

Move to approve the Class III site plan modification for **797 Andrews Avenue**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent

with Section 3.1.1(Performance Standards) and Section 2.4.5(G)(5) (Findings) of the Land Development Regulations, subject to the following condition:

1. Pursuant LDR Section 2.4.3(B)(24), applicant is required to submit 3 revised copies of signed and sealed plans prior to certification.

Landscape Plan:

Move approval of the request for landscape plan approval for **797 Andrews Avenue**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 4.6.16 of the Land Development Regulations, subject to the following condition:

1. Two additional trees will need to be added to the property to mitigate for the removal of the two trees. Mitigation plan must include two shade trees at a minimum of twelve (12) feet in overall height at the time of planting, with a minimum of four (4) feet of single straight trunk with six (6) feet of clear trunk, and a six (6) foot spread of canopy. All trees must be installed prior to the final landscape inspection. Mitigation plan to be reviewed and approved by the City Landscape Planner prior to certification.

Architectural Elevations:

Move to approve the building elevations for **797 Andrews Avenue**, by adopting the findings of fact and law contained in the staff report, and finding that the modification is consistent with Section 3.1.1(Performance Standards), Section 4.6.18, and Section 2.4.5(G)(5) (Findings) of the Land Development Regulations.

Attachments:

- Site Plan, Floor Plan, Landscape Plan, and Building Elevations
- Photos; Arborist Report

Report Prepared By: Debora Slaski, Assistant Planner

**APPENDIX A
CONCURRENCY FINDINGS**

Pursuant to Section 3.1.1(B) Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

Water and sewer services currently exist at the site. Pursuant to the City's Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out.

Streets and Traffic:

The second story addition and the addition of a garage will not affect the existing traffic conditions.

Parks and Recreation Facilities:

The proposed addition will not have a significant impact with respect to level of service standards for parks and recreation facilities.

Solid Waste:

The proposed 418 square foot addition to the existing building will generate approximately 0.14 tons of solid waste per year [(418 sq. ft. x 0.8 lbs. = 334.4 lbs./2,000 = 0.17 tons). The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals till the year 2047.

Drainage:

Drainage concurrency was established with the original development of the units. There should be no significant impact on drainage as it relates to this standard. Based upon the above positive findings can be made with respect to this level of service standard.

APPENDIX B
STANDARDS FOR SITE PLAN ACTIONS

A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

F. Vacant property shall be developed in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical

considerations; complementary to adjacent land uses; and fulfills remaining land use needs.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.

Not applicable	_____
Meets intent of standard	<u> X </u>
Does not meet intent	

H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

Not applicable X
Meets intent of standard _____
Does not meet intent _____



Arborculture Consulting

Name: June Adams
797 Andrews Ave.
Delray, FL

Date: Dec. 18, 2015
Phone: (561)702-5355
Email: jadams@ice-inc.net

I performed an onsite inspection of the trees located on the referenced property. Following are my findings;

All trees and palms are numbered with an aluminum tag attached to the tree.

There is #1 a strangler fig (*ficus aurea*) on the north west side of the house it has 4 trunks DBH of all trunks added together is 96" it has been hat-racked in the past, a large area of decay is in one of the lower trunks, condition is 50%, canopy is 54' X 54'. This ficus is to be removed. #2 is a sabal palm (*sabal palmetto*) 25" CW grows in the ficus and is in good condition and is to be removed. Located in the backyard (east side) are #3 and 4 are 2 Chinese fan palms (*livistona chinensis*) one has CW of 9' and the other 8' and are in good condition and will remain in place.

Please feel free to contact me should you have any questions.

In Support,
For: Sutton Consulting Arborist, Inc.

John Sutton

ISA Certified Arborist #SO-0326
Certified Landscape Inspector (LIAF)

Sutton Consulting Arborist is staffed by professional Arborists, Horticulturists, and Landscape Inspectors. We utilize associates with expertise in their fields to provide the most accurate, efficient and useful information available to clients. We stand behind our work and can additionally answer any questions or fulfill needs for additional information or services.

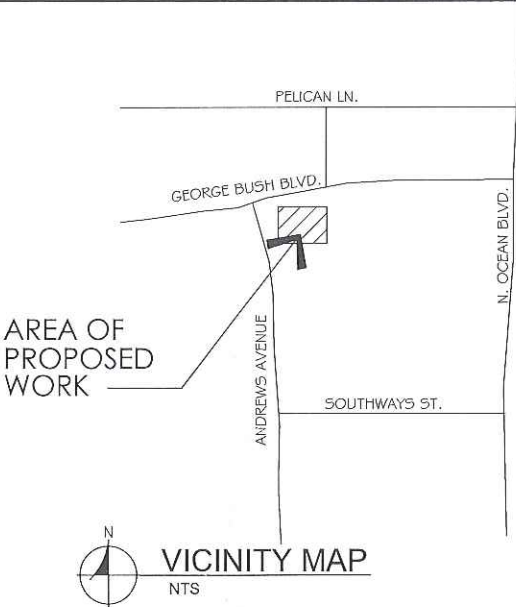
Adams and Khalil's Residence

Exterior and Interior Improvements

797 Andrews Avenue
Delray Beach, Florida 33483

Index of Drawings

COVER	THIS SHEET
ST 100	STREETSCAPE - PROJECT PHOTOS
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FP 01	FLOOR PLANS - DEMO
FP 02	FLOOR PLANS - MODIFIED
FP 03	FOUNDATION and ROOF PLANS
A 100	COMPOSITE ELEVATION - PROPOSED OVER EXISTING
A 101	EXISTING ELEVATIONS
A 102	PROPOSED ELEVATIONS



CODE INFORMATION:

PROJECT LOCATION:	CITY OF DELRAY
PERMITTING AGENCY:	CITY OF DELRAY
APPLICABLE CODES:	FLORIDA BUILDING CODE, 2010 - RESIDENTIAL
WIND DESIGN CRITERIA (ASCE 7 - 10):	
ULTIMATE DESIGN WIND SPEED:	160 MPH
RISK CATEGORY:	II
EXPOSURE CATEGORY:	B
EXPOSURE CLASS:	ENCLOSED
INT. PRESSURE COEFFICIENT (GCp):	+0.18 OR -0.18

DESIGN LOADS:	
ROOF:	55 PSF.
FLOOR:	35 75F

NOTE:
CONTRACTOR SHALL SUBMIT TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL, COPIES OF THE FLORIDA PRODUCT APPROVAL FOR THE FOLLOWING:
- ROOFING
- WINDOW / DOOR SYSTEMS
- GARAGE DOOR

GENERAL NOTES:

CONCRETE:

1. CONCRETE SHALL CONFORM WITH ACI 301 SPECIFICATIONS AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS OF 3000 PSI.
2. CONCRETE DESIGN AND PLACEMENT SHALL BE IN STRICT ACCORDANCE WITH ACI 318-02, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
3. WEIDED WIRE FABRIC REINFORCING SHALL CONFORM WITH ASTM A-185. PROVIDE MINIMUM 6" LAP, TYPICAL. PROVIDE ADEQUATE SUPPORTS AND BOLSTERING PRESERVE THE SPECIFIED POSITION THE MESH DURING CONCRETE PLACEMENT AND FINISHING.
4. PROVIDE CONTINUOUS REINFORCEMENT WITH ACI CLASS "B" LAP SPLICE, OR AS NOTED OTHERWISE.
5. PROVIDE THE FOLLOWING MINIMUM CONCRETE COVERAGE OVER REINFORCING UNLESS NOTED OTHERWISE:

FOOTINGS, BOTTOM, SIDES AND ENDS	3"
FOOTINGS, TOP	2"
SLABS ON GRADE, BOTTOM	3"
SLABS ON GRADE, TOP	1"
6. WHERE WALLS AND FOOTINGS CHANGE DIRECTION, PROVIDE CORNER BARS OF SAME SIZE AND QUANTITY AS THE SPECIFIED LONGITUDINAL STEEL.

FOUNDATION

1. FOUNDATIONS SHALL BEAR ON CLEAN SAND/ FILL, COMPACTED TO ACHIEVE A BEARING VALUE OF 2,500 PSF.
2. SOILS SHALL BE TREATED FOR TERMITES PRIOR TO PLACEMENT OF CONCRETE. MATERIALS AND INSTALLATION SHALL COMPLY WITH ALL GOVERNING CODES AND REGULATIONS.

GENERAL NOTES CONTINUED:

WOOD TRUSSES

1. WOOD TRUSSES SHALL BE DESIGNED BY TRUSS MANUFACTURER TO SUPPORT ALL SUPERIMPOSED DEAD AND LIVE LOADS TO MEET GOVERNING BUILDING CODE REQUIREMENTS. SUBMIT DESIGN CALCULATIONS AND ERECTION DRAWINGS COMPLETE WITH MEMBER PLACEMENT AND CONNECTORS FOR TRUSS TO SUPPORTING STRUCTURE AND TRUSS TO TRUSS CONNECTIONS. DESIGN DRAWINGS AND CALCULATIONS TO BEAR THE SEAL OF A PROFESSIONAL REGISTERED ENGINEER LICENSED TO PRACTICE IN THE STATE OF FLORIDA.
2. DESIGN TRUSSES TO RESIST WIND UPLIFT PRESSURES IN ACCORDANCE WITH APPLICABLE STANDARD. INDICATE NET UPLIFT TRUSS REACTIONS ON SUBMITTAL CALCULATIONS.

PLYWOOD ROOF/ WALL SHEATHING:

1. PLYWOOD SHALL CONFORM TO CONCEALED APA PERFORMANCE RATED PANELS FOR WALLS AND ROOF SHEATHING.
2. ROOF AND WALL SHEATHING SHALL BE 5/8" THICK STRUCTURAL I, EXPOSURE I SPAN RATED PANELS.
3. ROOF DIAPHRAGM SHEATHING SHALL BE FASTENED WITH 8d COMMON NAILS @ 4" O.C. AROUND PERIMETER AND AT ALL OPENINGS AND 8d COMMON NAILS @ 6" O.C. FIELD.
4. WALL DIAPHRAGM SHEATHING SHALL BE FASTENED WITH 8d COMMON NAILS @ 6" O.C. AROUND PERIMETER, AT OPENINGS AND FIELD.
5. PROVIDE CONTINUOUS DIAPHRAGM AROUND PERIMETER OF BUILDING AND ROOF LINES.
6. PROVIDE CONTINUOUS BLOCKING AT RIDGES, VALLEYS, CORNERS AND EDGES.

GENERAL NOTES CONTINUED:

WOOD FRAMING

1. EXTERIOR WOOD WALLS SHALL BE 2x6 WD. STUDS AT 16" O.C. W/ 5/8" THICK PLYWOOD SHEATHING AT THE EXTERIOR SIDE.
2. FRAMING LUMBER FOR WALLS, HEADERS, BEAMS, COLUMNS, TRUSS BRACING, ETC. SHALL HAVE MIN. Fb= 1000 PSI, Fv= 75 PSI AND E= 1,400 K UNLESS NOTED OTHERWISE (No. 2 OR BETTER).
3. PROVIDE (2) 2x6 HEADER ABOVE OPENINGS UNLESS OTHERWISE SHOWN. PROVIDE (2) 2x STUDS UNDER HEADERS, GIRDERS, TRUSSES, ETC. UNLESS OTHERWISE SHOWN. MULTIPLE HEADERS AND STUDS SHALL BE SECURELY SPIKED TOGETHER.
4. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE CURRENT APPLICABLE CODE.
5. PRESSURE TREAT ITEMS IN CONTACT WITH ROOFING, FLASHING, WATERPROOFING, MASONRY, CONCRETE AND GROUND. USE WATERBORNE PRESERVATIVES, TO COMPLY WITH AMERICAN WOOD PRESERVATIVES ASSOCIATION FOR ABOVE GROUND AND GROUND CONTACT APPLICATIONS. COMPLY WITH AWPA STANDARD FOR TREATED LUMBER, CUT AND OR DRILLED AFTER PRESSURE TREATMENT.

CONNECTOR:

1. NOT ALL CONNECTORS ARE SPECIFICALLY CALLED OUT ON DRAWINGS. CONTRACTOR SHALL PROVIDE SIMPSON STRONG TIE WOOD CONNECTORS, OR APPROVED EQUAL, FOR EVERY CONDITION THAT REQUIRES CONNECTION WHETHER INDICATED IN THE DRAWINGS OR NOT. CONNECTOR TYPE SHALL BE OF A TYPE MOST APPROPRIATE FOR THE CONDITION ENCOUNTERED AND AS RECOMMENDED BY THE CONNECTOR MANUFACTURER.

FINISHES:

1. ALL FINISHES AND COLORS SHALL BE AS SELECTED BY THE OWNER. CONTRACTOR SHALL ALLOW FOR UP TO FOUR COLORS.

ADAMS AND KHALIL'S RESIDENCE
797 ANDREWS AVENUE, DELRAY BEACH, FL 33483
EXTERIOR AND INTERIOR IMPROVEMENTS
COVER SHEET

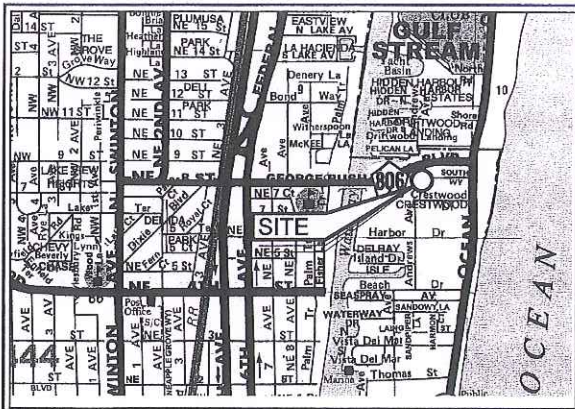
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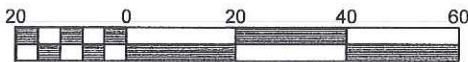
DSGN A. SLOCOMBE
DRWN A. VANHOOSER
APVD A. SLOCOMBE

PROJ SPRAB
DATE JULY 18 2016

DWG COVER



LOCATION MAP N.T.S.



Scale 1" = 20'

LINE	BEARING	LENGTH
L1	N88°32'18"E	32.56'
L2	N00°00'00"E	3.34'
L3	N90°00'00"E	17.70'
L4	S00°00'00"E	2.47'

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING
C1	1085.96'	07°05'30"	134.42'	S72°18'58"W 134.33'

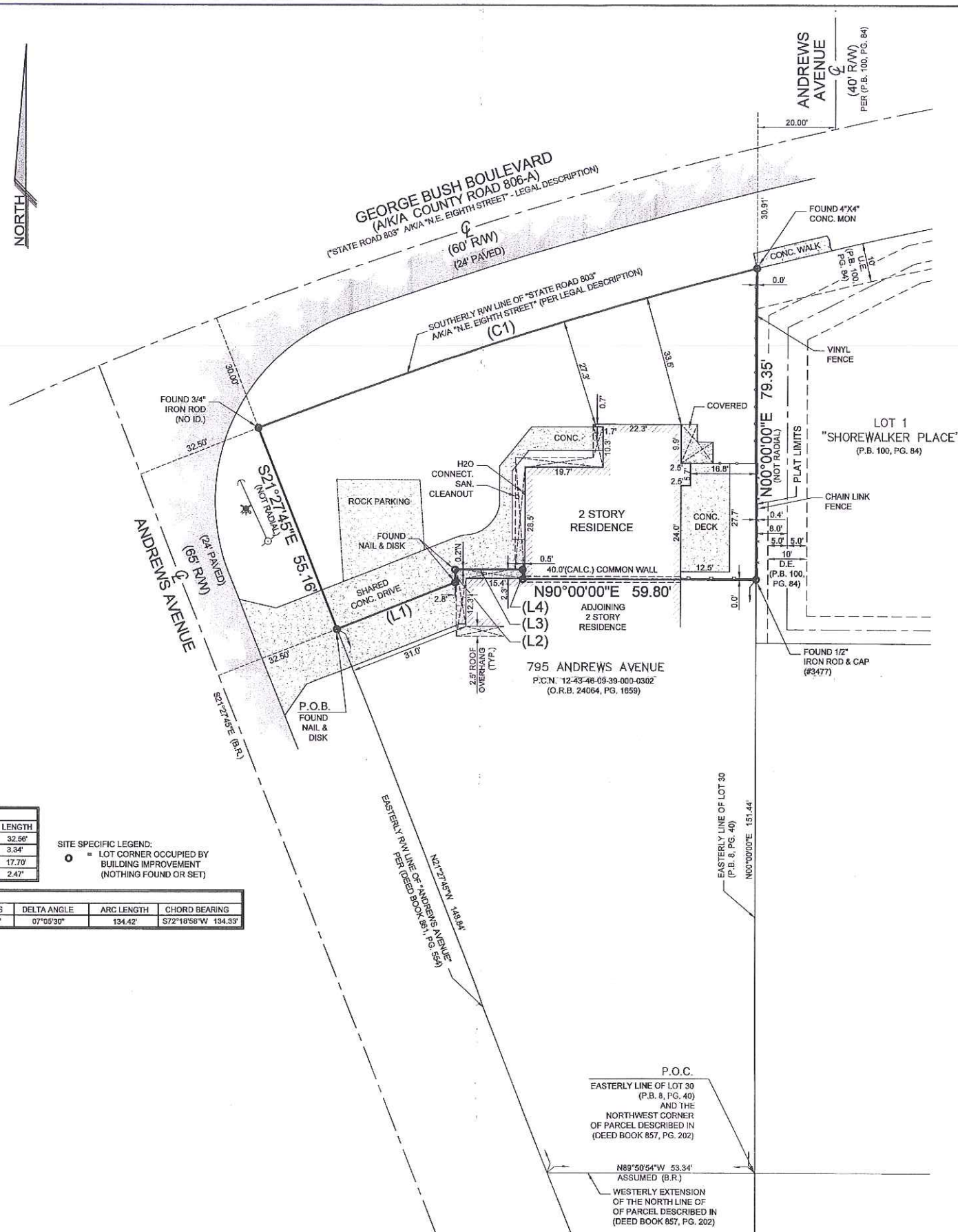
SITE SPECIFIC LEGEND:
○ = LOT CORNER OCCUPIED BY BUILDING IMPROVEMENT (NOTHING FOUND OR SET)

LEGEND:

CALC. = CALCULATED	(P) = PLAT	P.I. = POINT OF INTERSECTION	ASPHALT PAVEMENT
C.B.S. = CONCRETE BLOCK STRUCTURE	R = RADIUS	P.O.C. = POINT OF COMMENCEMENT	CONCRETE FLATWORK
CONC. MON. = CONCRETE MONUMENT	A = CENTRAL "DELTA" ANGLE	P.O.B. = POINT OF BEGINNING	PAVER BRICK FLATWORK
CONC. = CONCRETE	L = ARC LENGTH	R.W. = RIGHT OF WAY	WOOD POWER POLE
D.E. = DRAINAGE EASEMENT	CH.B. = CHORD BEARING	CHAIN LINK FENCE	WATER METER
U.E. = UTILITY EASEMENT	N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM	WOOD FENCE	FIRE HYDRANT
P.E. = POOL EASEMENT	O.S.B. = OFFICIAL RECORD BOOK	METAL FENCE	CATCH BASIN
F.F.E.L. = FINISHED FLOOR ELEVATION	P.B. = PLAT BOOK	CENTERLINE	COVERED
EL = ELEVATION	P.C. = POINT OF CURVATURE	SEWAGE	OVERHEAD LINES
(B.R.) = BEARING REFERENCE	P.T. = POINT OF TANGENCY	LOT TIE	
(D) = DEED	P.R.C. = POINT OF REVERSE CURVATURE		
(M) = MEASURED	P.C.C. = POINT OF COMPOUND CURVATURE		

SURVEY NOTES

- 1) Lands shown hereon were not abstracted by this office for easements, right of ways, or other instruments of record.
- 2) No underground improvements located.
- 3) All bearings and distances shown hereon are plat and measured unless otherwise noted.
- 4) This firm's "Certificate of Authorization" number is "L.B.#6838."



CERTIFIED TO: James M. Khalil & June M. Adams
PROPERTY ADDRESS: 797 Andrews Ave., Delray Beach, FL.
FLOOD ZONE: "X"(FIRM 125102-0002 D 1-5-89)
DESCRIPTION:
A parcel of land in Section 9, Township 46 South, Range 43 East, more particularly described as follows:

Commence at a point in the easterly line of Lot 30 of Model Land Company's Subdivision of said Section 9, according to the Plat thereof, recorded in Plat Book B, Page 45, Public Records of Dade County, Florida, a copy of which plat is recorded in Plat Book 8, Page 40, Public Records of Palm Beach County, Florida; (said point also being the Northwest corner of a parcel of land described in Deed Book 857, Page 202, Public Records of Palm Beach County, Florida); thence N 89°50'54" W (on an assumed bearing), along the westerly extension of the North line of said parcel of land as described in said Deed Book 857, page 202, a distance of 53.34 feet to the easterly right of way line of Andrews Avenue, as described in a deed recorded in Deed Book 861, Page 554, Public Records of Palm Beach County, Florida; thence N 21°27'45" W, along the said easterly right of way line of Andrews Avenue, a distance of 148.84 feet to the Point of Beginning; thence N 68°32'15" E, a distance of 32.56 feet; thence North a distance of 3.34 feet; thence East a distance of 17.70 feet; thence South a distance of 2.47 feet; thence East a distance of 59.80 feet to the East line of said Lot 30 of Model Land Company's Subdivision of said Section 9, thence North, along the East line of Lot 30, a distance of 79.35 feet to the Southerly right of way line of State Road No. 803 (also known as N.E. Eighth Street, Delray Beach, Florida) as now laid out and in use; thence West, along said south right of way line, being a curve concave Southerly with a radius of 1085.96 feet, a central angle of 7°05'30" and a chord bearing of S 72°18'58" W, thence West, along the arc of said curve, a distance of 134.42 feet to the said Easterly right of way line of Andrews Avenue; thence S 21°27'45" E, along said East right of way line; a distance of 55.16 feet to the said Point of Beginning.

Subject Lot Area = 7,634 Sq. Ft. (0.175 Acres)

REVISIONS:

BOUNDARY SURVEY

This survey is not valid without embossed surveyor's seal and/or an authenticated electronic signature and authenticated electronic seal.

Registered Land Surveyor, Florida Certificate No. MICHAEL J. MILLER #4034

SCALE: 1" = 20'
DRAWN BY: PICARD
FIELD WK: M.M. / B.M.
DATE: 02/04/2016

MILLER LAND SURVEYING
1121 LAKE AVENUE
LAKE WORTH, FLORIDA 33460
PHONE: (561) 586-2669 - FAX: (561) 582-0151
www.millersurveying.com
e-mail: orders@millersurveying.com

REF: 2-46-43/14
PREV. 88-001-12
JOB NO'S. SEE 6-25,995
JOB NO. Y160089
M - 4070



1 EXISTING ELEVATION 797, 795, 793, 791
SCALE: NOT TO SCALE



2 EXISTING ELEVATION 797
SCALE: NOT TO SCALE



3 EXISTING AREA FOR GARAGE ADDITION
SCALE: NOT TO SCALE

NO.	DATE	REVISION	BY	APVD

ADAMS AND KHALIL'S RESIDENCE
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EXTERIOR AND INTERIOR IMPROVEMENTS
STREETSCAPE

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DATE JULY 18 2016
DWG

ST-100

GENERAL SITE NOTES:

1. ALL EXISTING UTILITIES SHALL BE LOCATED AND IDENTIFIED PRIOR TO COMMENCEMENT OF WORK.
2. REMOVE EXISTING LANDSCAPING AND PREPARE GRADE AS NECESSARY TO ACCOMMODATE NEW WORK - NEW GARAGE, CONCRETE DRIVE/ WALKWAY. PROVIDE CLEAN FILL MATERIAL AS REQUIRED.

LEGEND:

- EXISTING CONSTRUCTION TO REMAIN.
- NEW CONSTRUCTION.
- AREAS GENERALLY OUTSIDE THE LIMITS OF CONSTRUCTION, COORDINATE W/ GENERAL CONSTRUCTION / DEMOLITION NOTES ON DRAWING A-001.
- KEYED CONSTRUCTION NOTE. SEE NOTES ON THIS DRAWING.
- 100'-0" FINISHED FLOOR ELEVATION

KEYED NOTES: #

1. INSTALL NEW 6'-0" HIGH CHAIN LINK FENCE W/ PRIVACY SLATS.
2. INSTALL GRASS STRIPS AT CUT-OUTS (6" W) BETWEEN EXISTING CONCRETE SLAB (TYP).
3. NEW 6'-0" HIGH DECORATIVE ALUMINUM FENCING W/ A 3'-6" WIDE DECORATIVE ALUMINUM GATE.
4. NEW PAVERS.
5. NEW 8"x8"x6'-0" HIGH CONCRETE PILLARS W/ CAP AND 3'-6" W x 6'-0" H DECORATIVE ALUMINUM GATE. PILLARS SHALL RECEIVE STUCCO, AND PAINT.
6. NEW PAVERS TO MATCH EXISTING PATIO. MATCH EXISTING FLOOR ELEVATION OF EXISTING PAVERS.
7. NEW 6'-0" H. PVC FENCING TO MATCH EXISTING ADJACENT.
8. NEW CONCRETE FLOOR SLAB AT STORAGE ENCLOSURE. FLOOR ELEVATION SHALL BE 4" ABOVE EXISTING ADJACENT SLAB.

BUILDING AREAS (797 ANDREWS):

NOTE: ALL INDICATED AREAS ARE MEASURED AS GROSS FLOOR AREAS.

FIRST FLOOR:

EXIST. FLOOR AREA: 1364 SF.
NEW (ADDED) AREA: 24 SF. (STORAGE)
TOTAL: 1388 SF.

SECOND FLOOR:

EXIST. ENCLOSED FLOOR AREA: 971 SF.
EXIST. BALCONY: 480 SF.
EXIST. BALCONY: 37 SF.
TOTAL: 1488 SF.

RECONFIGURED SECOND FLOOR:

ENCLOSED AREA: 1365 SF.
UPDATED BALCONY: 86 SF.
EXIST. BALCONY: 37 SF.
TOTAL: 1488 SF.

AREA UNDER A/C:

EXIST. 1 ST. FLOOR: 1282 SF.
EXIST. 2ND. FLOOR: 894 SF.
TOTAL: 2176 SF.

NEW 1 ST. FLOOR: 1282 SF.
NEW 2ND. FLOOR: 1266 SF.
TOTAL: 2548 SF.

SITE DATA:

PROJECT LOCATION: CITY OF DELRAY BEACH
PERMITTING AGENCY: CITY OF DELRAY BEACH

APPLICABLE CODES:
LAND DEVELOPMENT REGULATIONS

FLORIDA BUILDING CODE, 2010 - RESIDENTIAL

TOTAL LOT SIZE:
20,162 SF. (0.46 AC.)

EXISTING ZONING:
RM (MEDIUM DENSITY RESIDENTIAL DISTRICT)

SETBACK:

FRONT: 25' (EXISTING)
REAR: 15' (EXISTING)
SIDE: 25' (SIDE STREET- EXISTING)

LOT COVERAGE

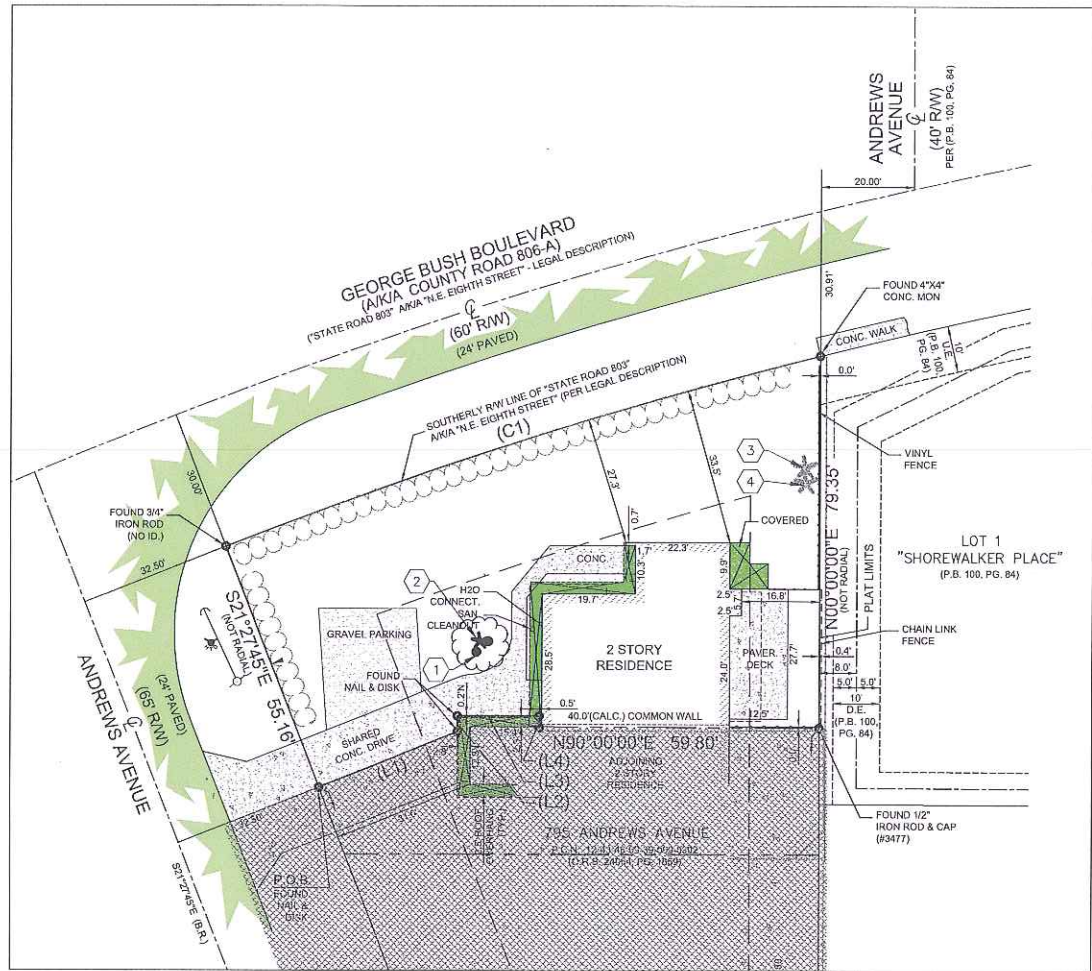
Property	797 Andrews	795 Andrews	793 Andrews	791 Andrews	TOTAL	Notes
AREA of Ground FLR (Based on PBC Tax Appraisal Office)	1,320.00	1,212.00	1,560.00	1,332.00	[A] 5,424.00	
Added Garage	460.00	NAP	NAP	NAP	[B] 460.00	
Total Area	1,780.00	1,212.00	1,560.00	1,332.00	[C] 5,884.00	[A] + [B]
Lot Size	7,543.25	2,702.00	3,795.40	6,123.00	[D] 20,163.65	
Calculated Lot Coverage					29.18%	[C] / [D]
Regulation					Max Allowed Lot Coverage	40%

IMPERVIOUS SURFACE

Property	797 Andrews	795 Andrews	793 Andrews	791 Andrews	TOTAL	Notes
Driveways Area	373.84	373.84	353.89	353.89	[A] 1,455.46	One Common Driveway TTL area split BTW 797 & 795, & One Common Driveway TTL Area split BTW 793 & 791
New Driveway (Added Garage)	Gravel	NAP	NAP	NAP	[B] 0.00	
Existing Patio	330.26	270.82	443.07	593.45	[C] 1,637.60	
New Patio	NAP	NAP	NAP	NAP	[D] 0.00	
Existing Walkways	Replaced with New Pavers	103.31	22.00	218.48	[E] 343.79	
New Walkways	772.13	NAP	NAP	NAP	[F] 772.13	
Impervious Surface	1,476.23	747.97	818.96	1,165.82	[G] 4,208.98	[A] + [B] + [C] + [E] + [F]
Lot Size	7,543.25	2,702.00	3,795.40	6,123.00	[H] 20,163.65	
Ratio					20.87%	[G] / [H]

OPEN SPACE

Property	797 Andrews	795 Andrews	793 Andrews	791 Andrews	TOTAL	Notes
Lot Coverage	1,780.00	1,212.00	1,560.00	1,332.00	[A] 5,884.00	
Driveways Area	1,476.23	747.97	818.96	1,165.82	[B] 4,208.98	
total	3,256.23	1,959.97	2,378.96	2,497.82	[C] 10,092.98	[A] + [B]
Lot Size					[D] 20,163.65	
OPEN AREA					[E] 10,070.67	[D] - [C]
Ratio					49.94%	[E] / [D]
Regulation					Min Allowed Open Space	25%



1
LS-1

LANDSCAPE PLAN — EXISTING

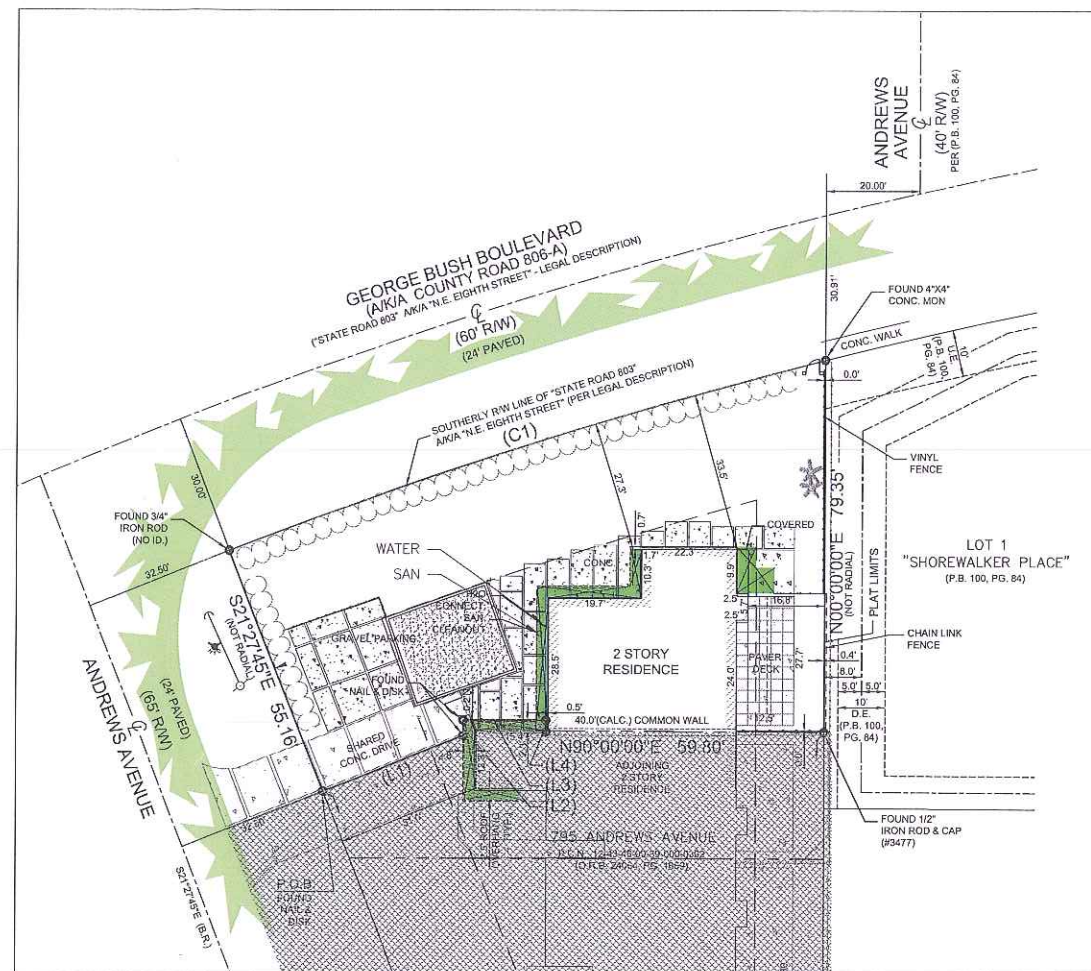
SCALE: 1" = 20'-0"

SHEET NOTES:

1. REFER TO ARBORCULTURE CONSULTING LETTER FROM SUTTON CONSULTING ARBORIST, INC FOR ADDITIONAL INFORMATION.

KEYED NOTES:

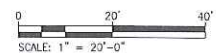
- EXISTING STRANGLER FIG (FICUS AUREA) TO BE REMOVED.
- EXISTING SABAL PALM (SABAL PALMETTO) TO BE REMOVED.
- EXISTING CHINESE FAN PALMS (LIVISTONA CHINENSIS) TO REMAIN.
- EXISTING CHINESE FAN PALMS (LIVISTONA CHINENSIS) TO REMAIN.



2
LS-1

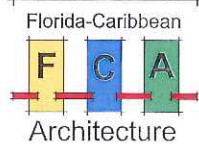
LANDSCAPE PLAN — MODIFIED

SCALE: 1" = 20'-0"



SCALE: 1" = 20'-0"

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EXTERIOR AND INTERIOR IMPROVEMENTS
SITE PLAN - LANDSCAPE

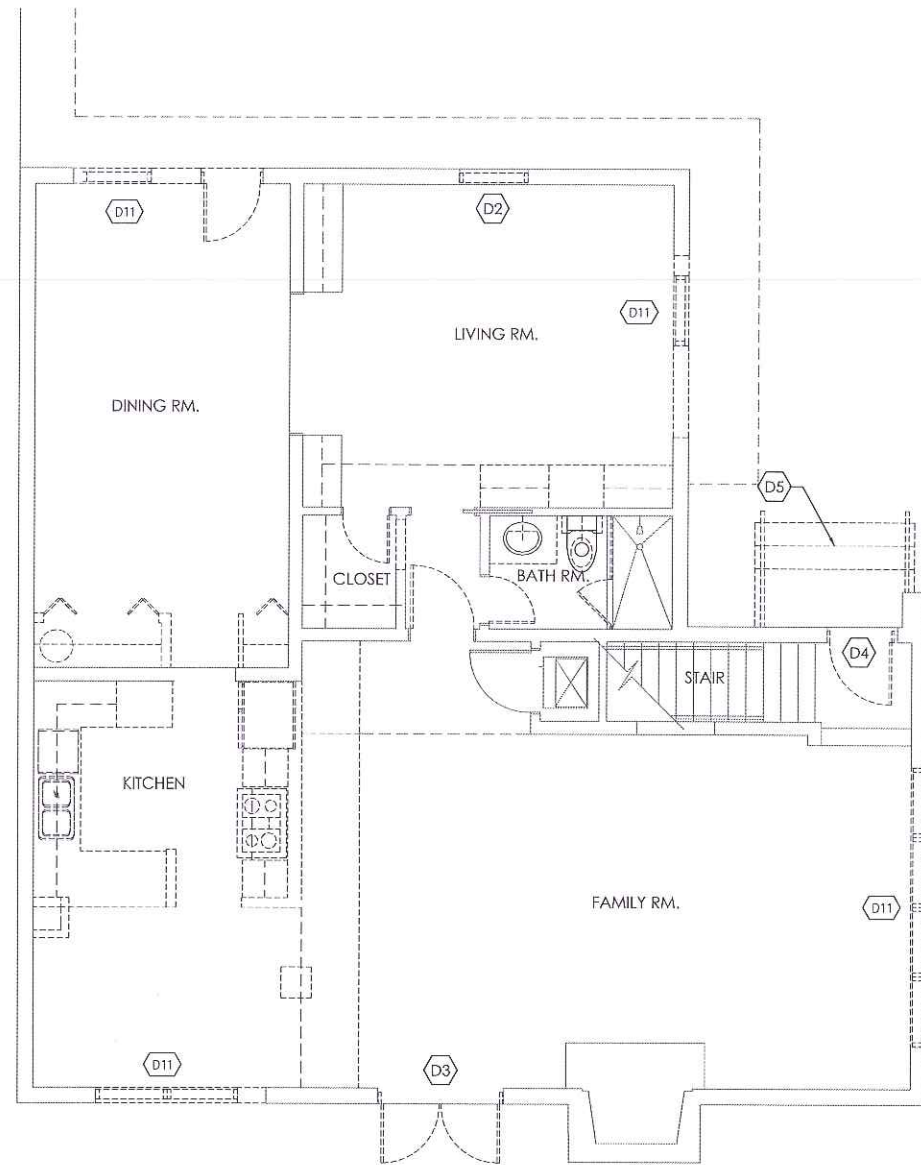


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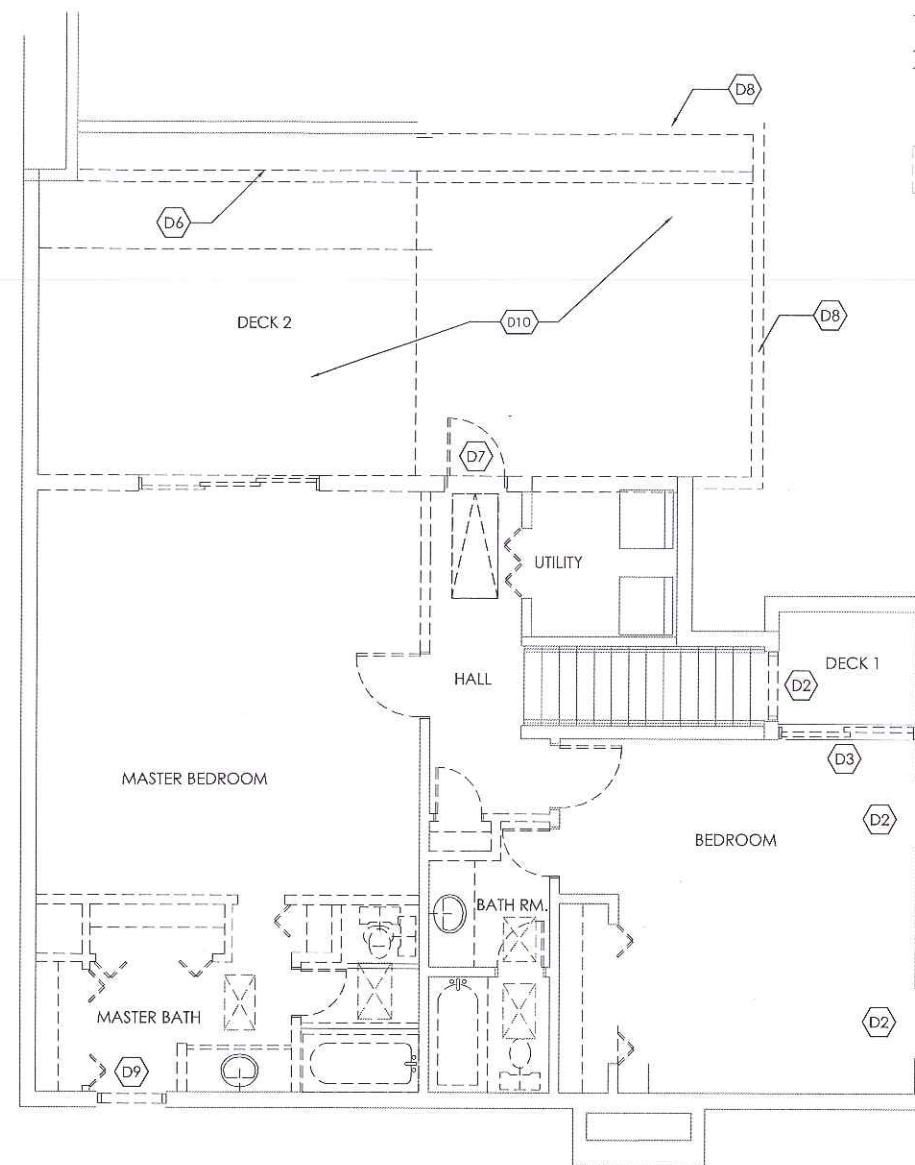
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APVD A. SLOCOMBE

PROJ SPRAB
DATE JULY 18 2016
DWG

LS1



FIRST FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



SECOND FLOOR DEMOLITION PLAN
 1/4" = 1'-0"

GENERAL DEMOLITION NOTES:

1. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCING WITH WORK.

LEGEND:

- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING CONSTRUCTION TO BE DEMOLISHED.
- KEYED DEMOLITION NOTE.
- EXISTING SKYLIGHTS TO REMAIN

KEYED DEMOLITION NOTES: #

- D1. REMOVE EXISTING WINDOW AND DOOR ADJUST OPENINGS AS NECESSARY TO TO RECIEVE NEW DOOR ASSEMBLY AS INDICATED.
- D2. REMOVE EXISTING WINDOW/ FRAME AND REPLACE WITH NEW WINDOW AS INDICATED.
- D3. REMOVE EXISTING DOOR AND FRAME. ADJUST OPENING AS NECESSARY TO RECIEVE NEW DOOR AND FRAME.
- D4. REMOVE EXISTING DOOR AND FRAME. PREPARE /ADJUST OPENING TO ACCOMMODATE NEW WINDOW
- D5. REMOVE EXISTING CONCRETE STEPS AND ASSOCIATED RAILING.
- D6. SAW-CUT AND REMOVE EXISTING PLANTER TO THE EXTENT NECESSARY TO ACCOMMODATE NEW WORK.
- D7. REMOVE EXISTING DOOR AND FRAME. PATCH OPENING WITH NEW CONSTRUCTION TO MATCH ADJACENT.
- D8. SAW-CUT AND REMOVE EXISTING CONSTRUCTION AS NECESSARY TO ACCOMMODATE NEW WORK.
- D9. REMOVE EXISTING WINDOW AND FRAME. PATCH OPENING WITH NEW CONSTRUCTION TO MATCH ADJACENT.
- D10. SAW-CUT AND REMOVE EXISTING DECKING TO THE EXTENT NECESSARY TO ACCOMMODATE NEW WORK.
- D11. REMOVE EXISTING WINDOW/FRAME. ADJUST OPENING AS NECESSARY TO RECIEVE NEW DOOR AND FRAME AS INDICATED

ADAMS AND KHALIL'S RESIDENCE
 797 ANDREWS AVENUE, DELRAY BEACH, FL 33483
 EXTERIOR AND INTERIOR IMPROVEMENTS
FLOOR PLAN - DEMOLITION

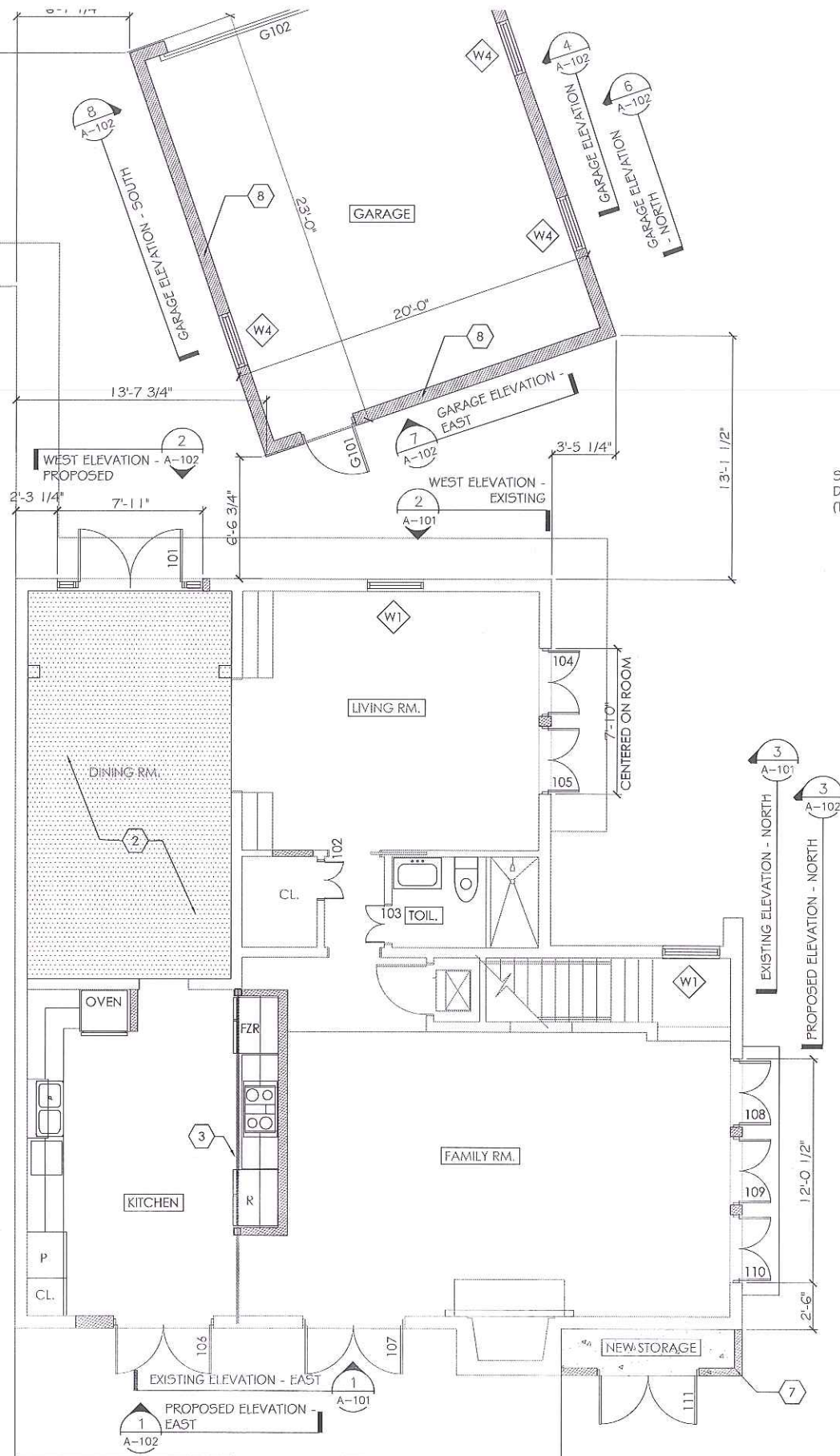


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DATE	JULY 18 2016
DWG	

FP 1

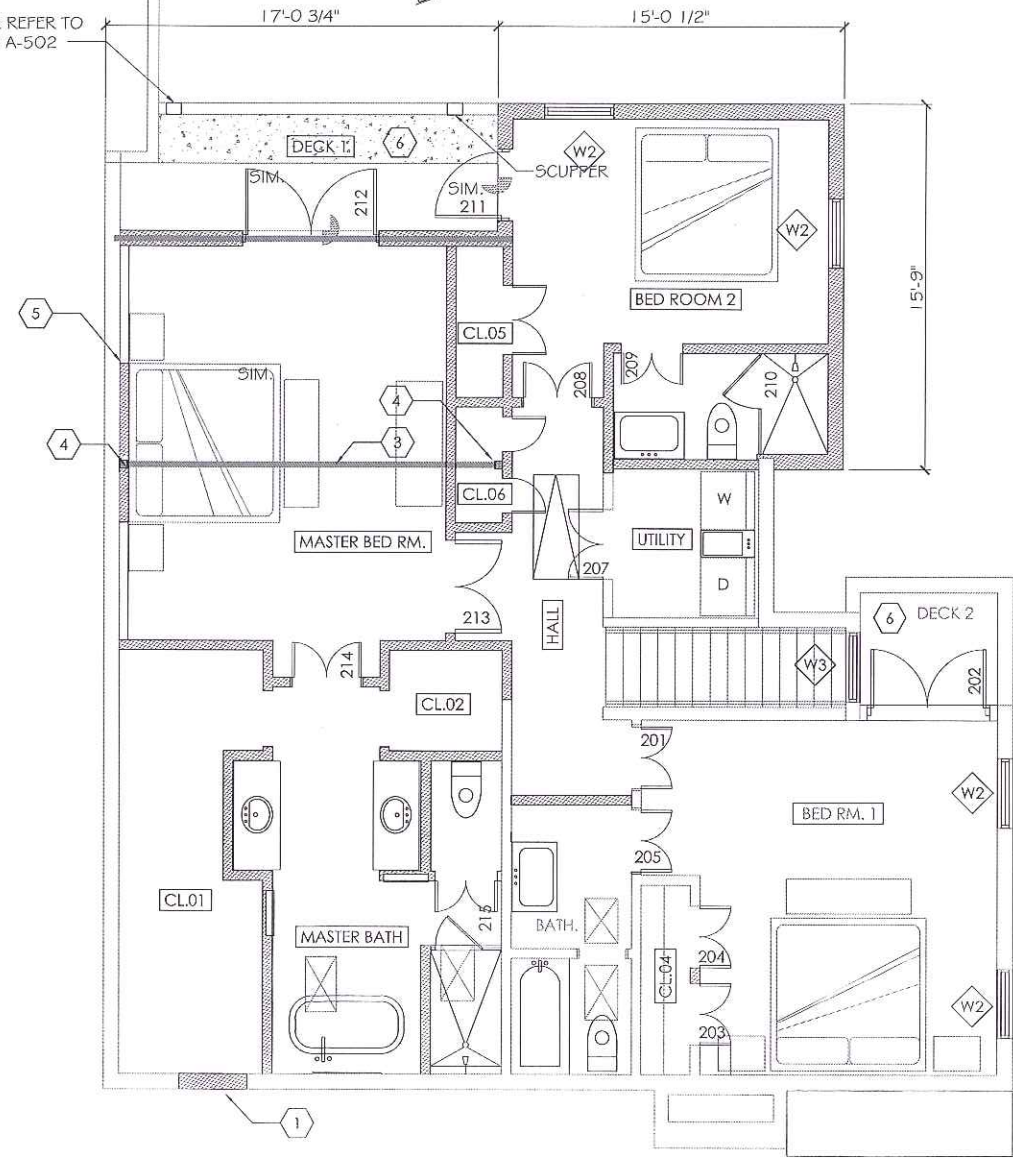
795 Andrews



FIRST FLOOR PLAN

1/4" = 1'-0"

SCUPPER REFER TO
DETAIL 8/ A-502
(TYP.)



SECOND FLOOR PLAN

1/4" = 1'-0"

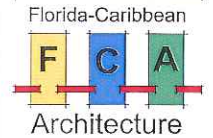
LEGEND:

- EXISTING CONSTRUCTION TO REMAIN.
- NEW CONSTRUCTION. KEYED CONSTRUCTION NOTE. SEE NOTES ON THIS DRAWING.
- WALL TYPE TAG. SEE DETAILS ON DRAWING.
- 100'-0" FINISHED FLOOR ELEVATION
- EXISTING SKYLIGHTS TO REMAIN

KEYED CONSTRUCTION NOTES: #

- PATCH OPENING WITH NEW CONSTRUCTION TO MATCH ADJACENT.
- NEW RAISED CONCRETE FLOOR. ALIGN WITH EXISTING KITCHEN AND LIVING ROOM FLOOR AND PREPARE SURFACE TO RECEIVE NEW TILE FINISH.
- 2- 3"x10" WOOD BEAMS
- HSS 5"x5"x3/8" COLUMN W/ 1/2"x1 2"x5" BASE PLATE, ATTACHED TO EXISTING JOIST GIRDER W/ 2- 1/2" DIA. THRU BOLTS.
- NEW 12" JOIST GIRDER
- NEW DECKING TO MATCH EXISTING. PROVIDE NEW WATERPROOFING MEMBRANE.
- NEW WOOD PANELING OVER 30# FELT, OVER 5/8" PLYWOOD SHEATHING, ON 2x4 WALL FRAMING W/ GYP. BD. INTERIOR FINISH.
- NEW WOOD PANELING OVER 30# FELT, OVER 5/8" PLYWOOD SHEATHING, ON 2x6 WALL FRAMING W/ GYP. BD. INTERIOR FINISH.

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EXTERIOR AND INTERIOR IMPROVEMENTS
FLOOR PLANS - NEW



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DRAWN A. VANHOOSER
APPROVED A. SLOCOMBE
PROJECT SPRAB
DATE JULY 18 2016
DWG

FP2



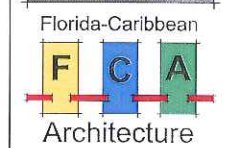
KEYED CONSTRUCTION NOTES:

1. NEW SCUPPER, CONDUCTOR HEAD AND DOWNSPOUT TO REPLACE EXISTING
2. NEW SCUPPER, CONDUCTOR HEAD, DOWNSPOUT AND ALL OTHER COMPONENTS NECESSARY FOR A COMPLETE WATERPROOF INSTALLATION.
3. NEW OVER FLOW SCUPPER.
4. NEW WATERPROOFING MEMBRANE OVER EXISTING AND NEW WATERPROOFED DECKING. PROVIDE ALL MATERIALS FOR A COMPLETE WATERPROOFED INSTALLATION.

NO.	DATE	REVISION	BY	APVD

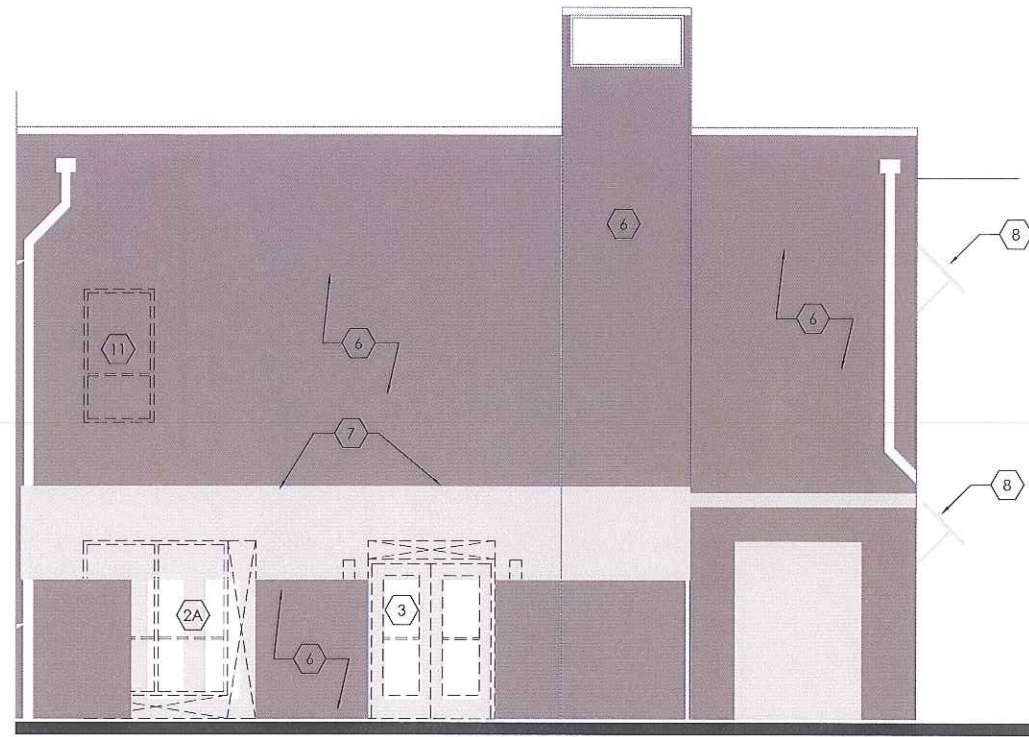
SEAL

ADAMS AND KHALIL'S RESIDENCE
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EXTERIOR AND INTERIOR IMPROVEMENTS
FOUNDATION and ROOF PLANS

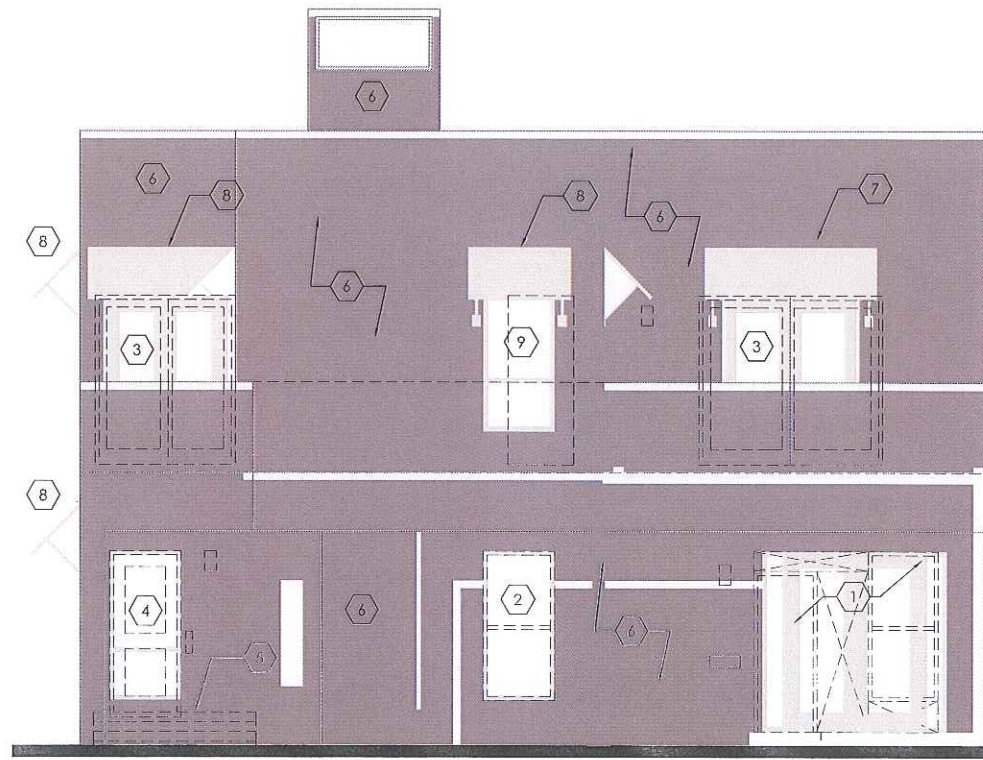


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PROJ	SPRAB
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DWG	FP3



1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

KEYED DEMOLITION NOTES:

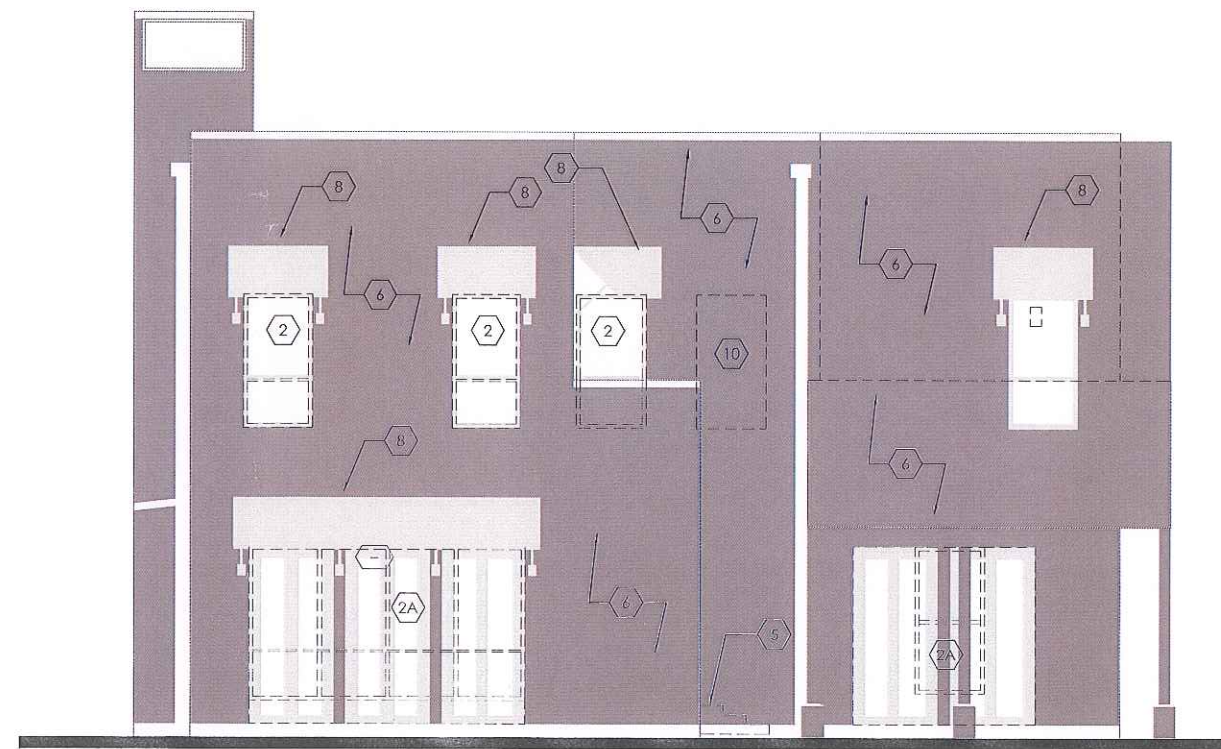
1. REMOVE EXISTING WINDOW AND DOOR IN THEIR ENTIRETY. SAW-CUT AND REMOVE EXISTING CONSTRUCTION AS NECESSARY TO ACCOMMODATE NEW DOOR. (W=D=D)
2. REMOVE EXISTING WINDOW/ FRAME AND PREPARE OPENING TO RECIEVE NEW WINDOW.(W=W)
- 2A. REMOVE EXISTING WINDOW/ FRAME. SAW-CUT AND REMOVE EXISTING CONSTRUCTION AS NECESSARY TO RECIEVE NEW DOOR.(W=D)
3. REMOVE EXISTING DOOR AND FRAME. SAW-CUT AND REMOVE EXISTING CONSTRUCTION AS NECESSARY TO RECIEVE A NEW DOOR AND FRAME.(D=D)
4. REMOVE EXISTING DOOR AND FRAME. PREPARE /ADJUST OPENING TO ACCOMMODATE NEW WINDOW. (D=W)
5. REMOVE EXISTING CONCRETE STEPS AND ASSOCIATED RAILING.
6. REMOVE/REPLACE EXISTING EXTERIOR WOOD SIDING SYSTEM, INCLUDING WOOD PANELS, SHEATHING, INSULATION , ETC. TO EXPOSE THE EXISTING STRUCTURE. REPAIR/ REPLACE DAMAGED OR DETERIORATED STRUCTURAL ELEMENTS.
7. REPLACE EXISTING AWNING WITH NEW.
8. ADD NEW AWNING.
9. REMOVE EXISTING DOOR/ FRAME AND CLOSE OPENING.
10. SAW-CUT AND REMOVE EXISTING CONSTRUCTION TO ACCOMMODATE NEW WINDOW OPENING.
11. REMOVE EXISTING WINDOW/ FRAME AND CLOSE OPENING.

LEGEND:

- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING CONSTRUCTION TO BE DEMOLISHED.
- KEYED CONSTRUCTION NOTE. SEE NOTES ON THIS DRAWING.

NOTES:

1. ALL WINDOWS AND DOORS FRAME SHALL BE WHITE ALUMINUM
2. NEW EXTERIOR COLOR TO MATCH OTHER UNITS.



3 NORTH ELEVATION
1/4" = 1'-0"

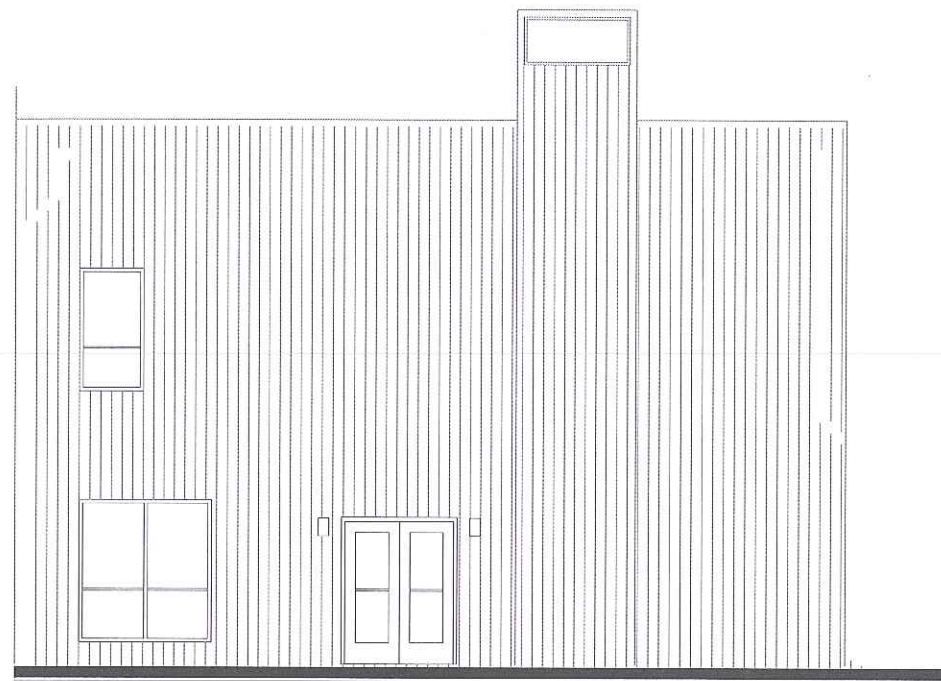
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EXTERIOR AND INTERIOR IMPROVEMENTS
DEMOLITION EXTERIOR ELEVATIONS

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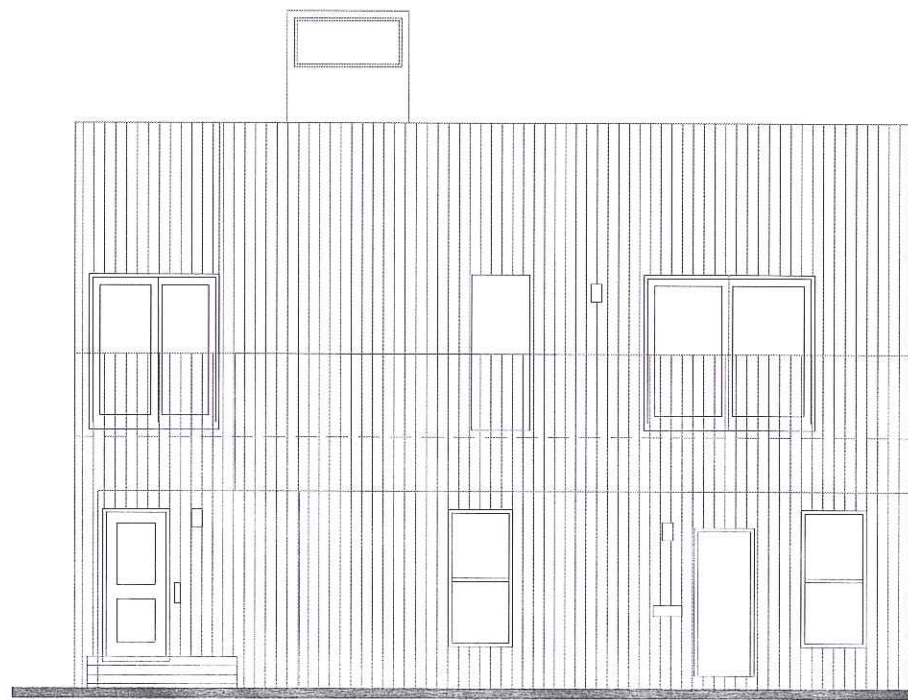
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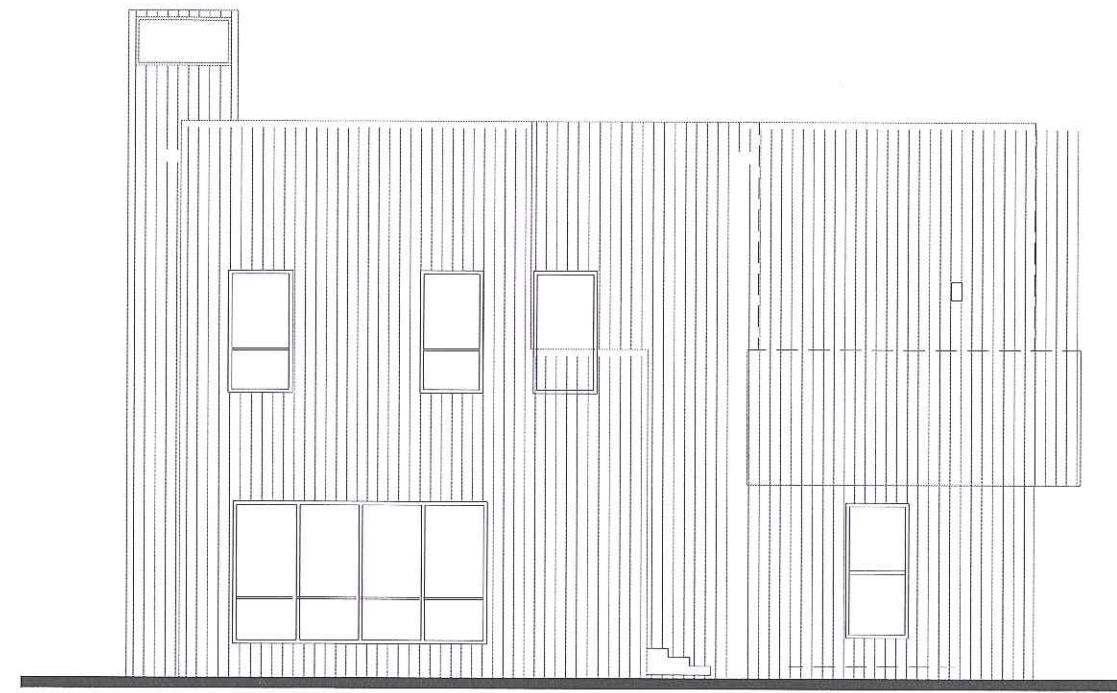
A-100



1 EXISTING EAST ELEVATION
1/4" = 1'-0"



2 EXISTING WEST ELEVATION
1/4" = 1'-0"



3 EXISTING NORTH ELEVATION
1/4" = 1'-0"

EXISTING ELEVATIONS

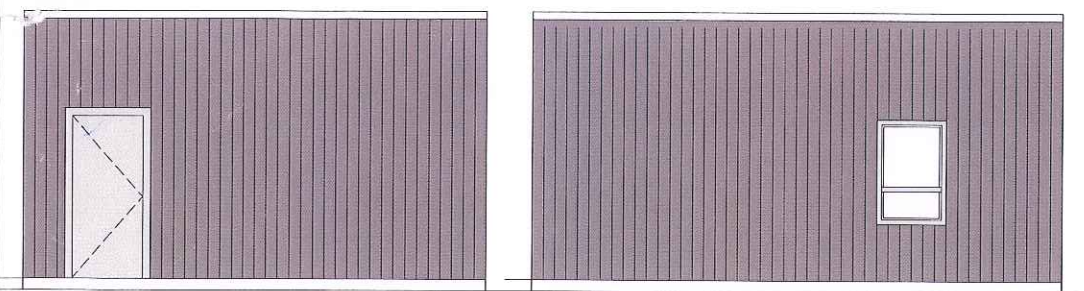
ADAMS AND KHALIL'S RESIDENCE
797 ANDREWS AVENUE, DELRAY BEACH, FL 33483
EXTERIOR AND INTERIOR IMPROVEMENTS
DEMOLITION EXTERIOR ELEVATIONS

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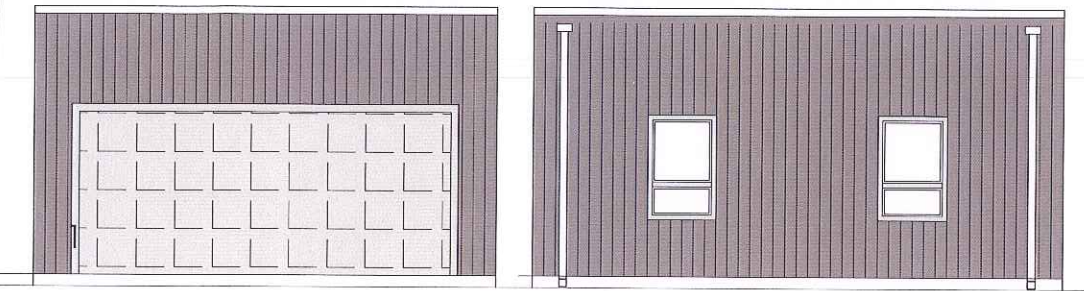
DWG: A. SLOCUMBE
DRWN: A. VANHOOSER
APVD: A. SLOCUMBE
PROJ: 13-103
DATE: JUNE 12, 2015
DWG: **A-101**

NO.	DATE	OWNER REQUESTED REVISIONS	BY	APVD
1	05/28/15			
SEAL				
ANDERSON W. SLOCUMBE FLORIDA ARCHITECT				



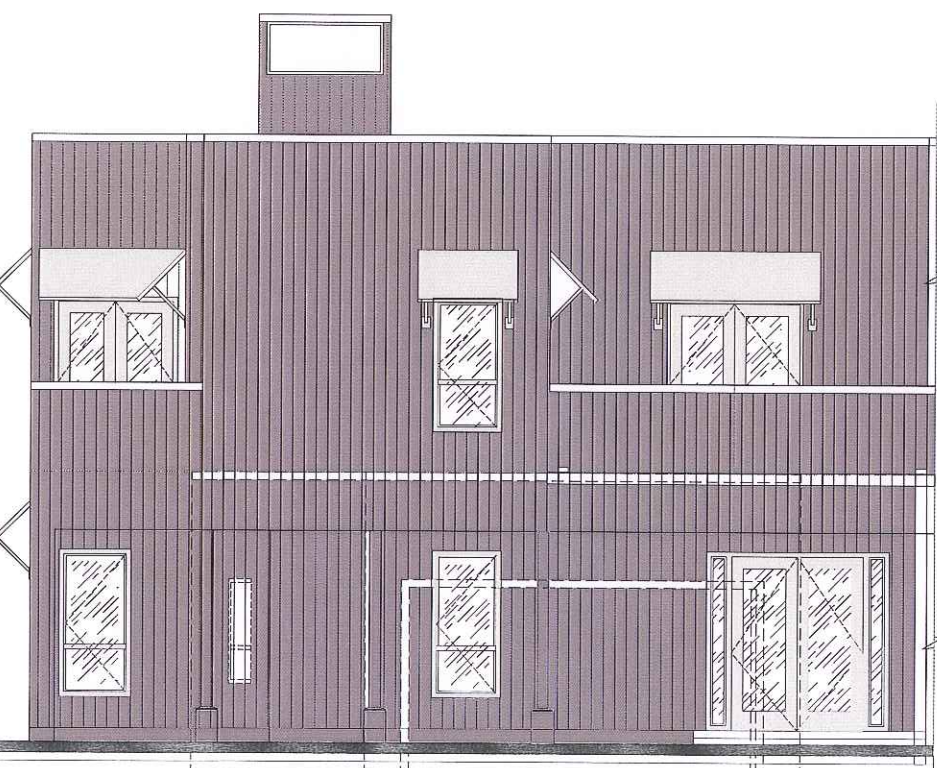
7 EAST ELEVATION - GARAGE
1/4" = 1'-0"

8 SOUTH ELEVATION - GARAGE
1/4" = 1'-0"

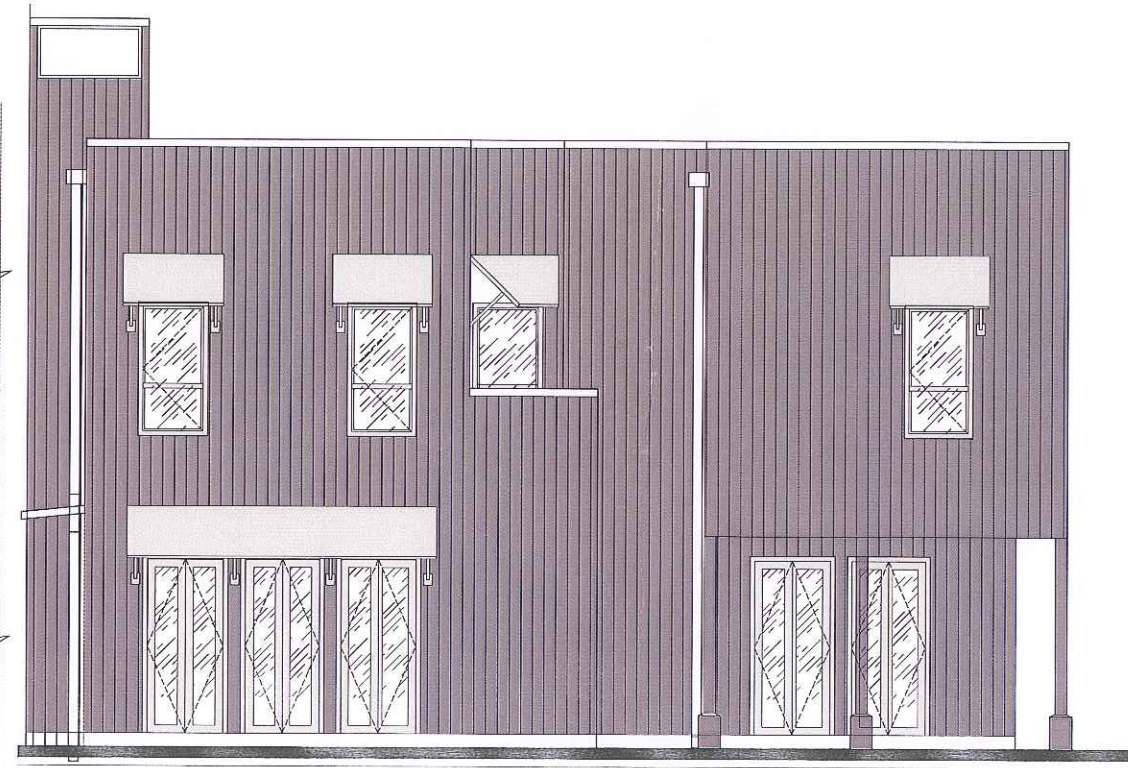


5 WEST ELEVATION - GARAGE
1/4" = 1'-0"

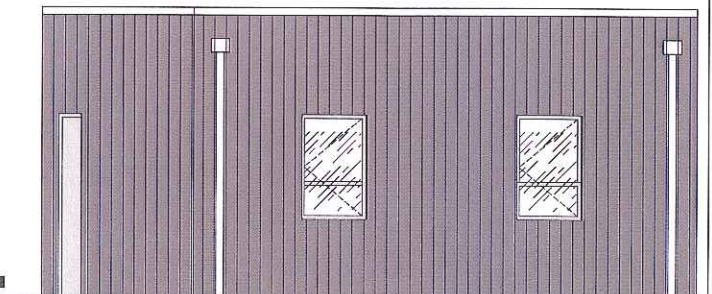
6 NORTH ELEVATION - GARAGE
1/4" = 1'-0"



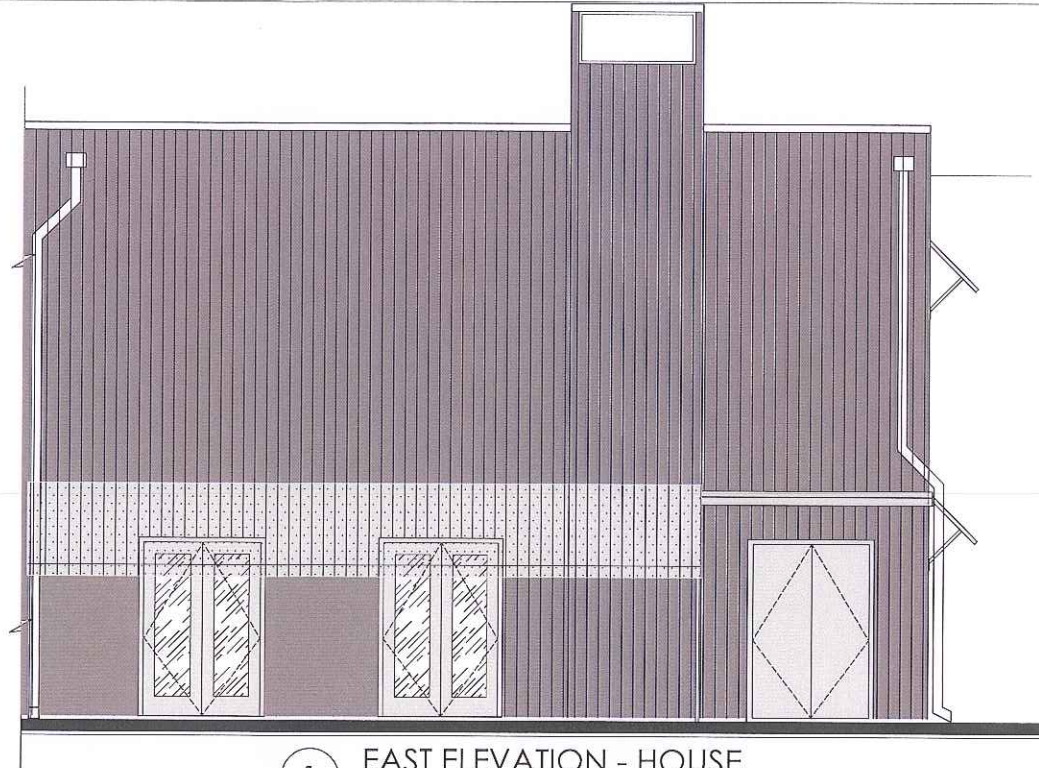
2 WEST ELEVATION - HOUSE
1/4" = 1'-0"



3 NORTH ELEVATION - HOUSE
1/4" = 1'-0"



4 GARAGE ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION - HOUSE
1/4" = 1'-0"

Proposed

NO.	1	DATE	09/28/15	OWNER REQUESTED REVISIONS	BY	AS	APVD	SEAL	ANDERSON W. SLOCOMBE FLORIDA AR 0016418
REVISION									

ADAMS AND KHALIL'S RESIDENCE
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EXTERIOR AND INTERIOR IMPROVEMENTS
ELEVATIONS



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DSGN	A. SLOCOMBE
DRWN	A. VANHOOSER
APVD	A. SLOCOMBE
PROJ	13-103
DATE	JUNE 12, 2015
DWG	A-102