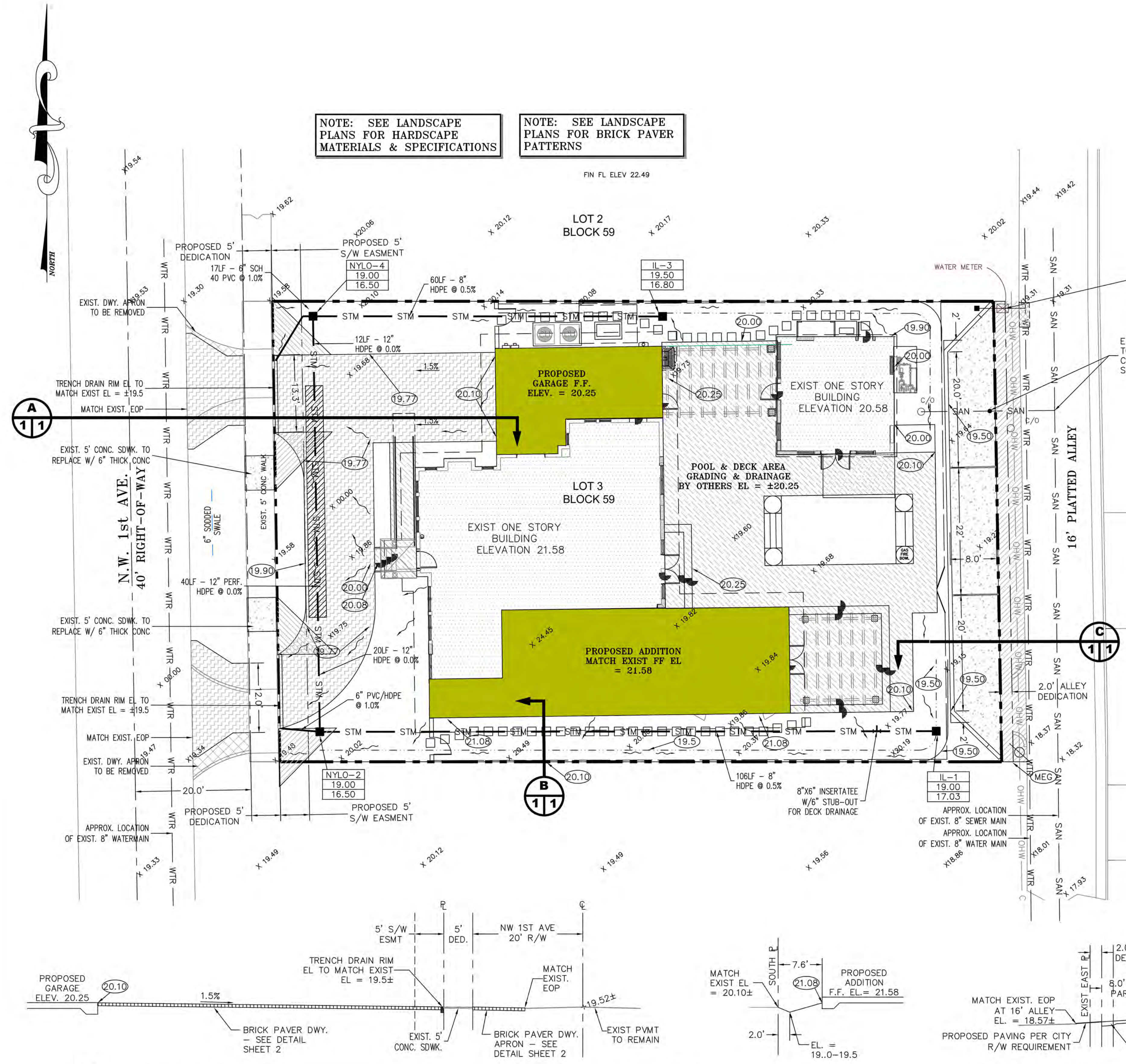


LOCATION MAP
N.T.S.



LEGEND:

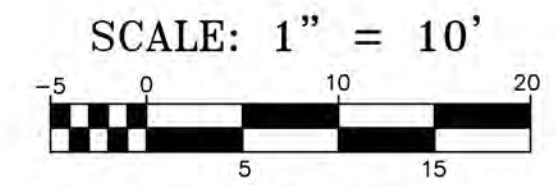
- PROPERTY LINE
- (A/11) SECTION IDENTIFIER
PLAN PAGE DETAIL PAGE
- (16.5) PROPOSED ELEVATION
- ~ DIRECTION OF FLOW
- +4.7 EXISTING ELEVATION
- [Hatched Box] DENOTES AREA OF PROPOSED ASPHALT PAVING
- [Hatched Box] DENOTES AREA OF PROPOSED BRICK PAVERS SEE DETAIL SHEET 2 - SEE LANDSCAPE PLANS FOR PATTERN
- [Hatched Box] DENOTES AREA OF PROPOSED POOL DECK BY OTHERS - SEE LANDSCAPE PLANS FOR SPECIFICATIONS
- [Hatched Box] DENOTES AREA OF EXISTING PAVEMENT AND BASE TO BE REMOVED & REPLACED WITH CLEAN FILL
- [Hatched Box] DENOTES AREA OF EXISTING PAVEMENT TRENCH REPAIR FOR UTILITY INSTALLATION - SEE DETAIL SHEET 2
- PROPOSED CATCH BASIN
- [Hatched Box] DENOTES 12" PERF HDPE PIPE IN X' WIDE X' X' DEEP ROCK TRENCH (BOTTOM EL= X.00)
- NYLO-1
6.00
3.50 STRUCTURE TYPE-NUMBER
RIM ELEVATION
INVERT ELEVATION
- NYLO NYLOPLAST YARD DRAIN OR APPROVED EQUAL
- IL INLINE YARD DRAIN
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- ⊕ PROPOSED WATER METER
- ⊕ PROPOSED WATER METER WITH BACKFLOW PREVENTER
- ⊗ EXISTING GATE VALVE
- EXISTING MANHOLE
- C.O. SANITARY SEWER CLEANOUT
- SINGLE SANITARY SERVICE WITH CLEANOUT
- EXIST MH
8.57
2.60 E
2.50 W EXISTING MANHOLE RIM ELEVATION INV EL & DIRECTION INV EL & DIRECTION



NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND ELEVATION OF ALL IMPROVEMENTS AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.



CALL 48 HOURS BEFORE YOU DIG.
IT'S THE LAW
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



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CIVIL SITE IMPROVEMENTS PLAN FOR:
MARION RESIDENCE
131 NW 1ST AVE.
DELRAY BEACH, FLORIDA

ENVIRODESIGN ASSOCIATES, INC.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

JOSEPH A. PIKE, P.E.
FL REG # 42596

DATE: 07/09/19
REVISIONS:
BY: KFD
REVISE PER NEW SITE PLAN & LANDSCAPE PLAN

DRAWN: K.F.D.
CHECKED: J.A.P.
DATE: 03/20/19
JOB NO. 19002-ENG
SHEET NO. 1 OF 6

PLANT LIST

KEY	QTY	PLANT AND SPECIFICATION
TREES AND PALMS		
N BS	2	Bursera simaruba (Gumbo Limbo) 6" straight single trunk, 8" c.t., 16' ht., 7' spr., 4" cal.
N CES	2	Conocarpus erectus 'sericeus' (Silver Buttonwood) 6" straight single trunk, 8" c.t., 12' ht., 7' spr., 2" cal.
N CE	4	Conocarpus erectus (Green Buttonwood) 6" straight single trunk, 8" c.t., 12' ht., 7' spr., 2" cal.
PE2	1	Ptychosperma elegans (Double Alexander Palm) 16" o.a. ht., double, full
PE3	1	Ptychosperma elegans (Triple Alexander Palm) 14" o.a. ht., triple, full

KEY	QTY	PLANT AND SPECIFICATION
SHRUBS, GROUNDCOVERS AND ACCENTS		
ALP	2	Alpinia zerumbet 'Variegata' (Variegated Shell Ginger) 4'-5' ht., 30" spr., full to ground
ALO	3	Alcaeosia gageana 'California' (Dwarf Elephant Ears) 3'-4' ht., 30" spr., full, matched
BAM	8	Bambusa textilis gracilis (Graceful Bamboo) 5'-6' ht., 3' spr., full, matched
BEG	3	Begonia 'Angel Wing' (Angel Wing Begonia) 30" ht., 24" spr., 24" o.c.
CON	18	Trachelospermum jasminoides (Confederate Jasmine) 12"-24" ht., 12" spr., 24" o.c.
CRO	3	Croton 'Dreadlocks' (Dreadlock Croton) 3' o.a. ht., 24" spr., standard, full
CYC	3	Cycas revoluta (Sago Palm) 3'-4' ht., 3' spr., full, matched
DIE	28	Dietes iridioides (African Iris) 18" ht., 12" spr., 18" o.c.
FGI	35	Ficus macrophyllus 'Green Island' (Ficus Green Island) 14" ht., 14" spr., 18" o.c.
N IVS	44	Ilex vomitoria 'Schillings Dwarf' (Schillings Dwarf Holly) 14" ht., 14" spr., 18" o.c.
IXO	33	Ixora 'Nora Grant' (Ixora) 18" ht., 18" spr., 24" o.c.
IXT	9	Ixora 'Petite' (Taiwanese Ixora) 24" ht., 18" spr., 18" o.c.
LIR	50	Liriope muscari (Liriope) 12" ht., 12" spr., 18" o.c.
N ERN	35	Ernodea littoralis (Golden Beach Creeper) 18" ht., 18" spr., 24" o.c.
POD	45	Podocarpus macrophyllus (Podocarpus Hedge) 4'-5' ht., 24" spr., 24" o.c.
PRC	3	Philodendron 'Rajo Congo' (Rajo Congo) 3' ht., 24" spr., 24" o.c.
SPA	21	Spathoglottis plicata (Groud Orchids) 18" ht., 12" spr., 18" o.c.
TRA	220	Trachelospermum asiaticum (Asiatic Jasmine) 4" ht., 8" spr., 12" o.c.
TRV	80	Trachelospermum asiaticum 'variegatum' (Variegated Asiatic Jasmine) 4" ht., 8" spr., 12" o.c.

'N' DENOTES NATIVE SPECIES

MULCH Dark Brown Mulch, non cypress - Contractor to determine quantity, 3" depth
ARTIFICIAL TURF Contractor to determine quantity.

STEPPING STONES: (54) 18" x 18"

NOTES

All plant material to be Florida #1 or better.
Sod to be St. Augustine 'Floratum', contractor to determine quantity.
All soil and landscape to receive 100% coverage from automatic irrigation system using approved water source.
Contractor responsible for all conditions and landscape specifications attached to this plant list. Plan and specifications shall be considered Contract Documents.
Mulch, topsoil, and fertilizer to be applied according to specifications.

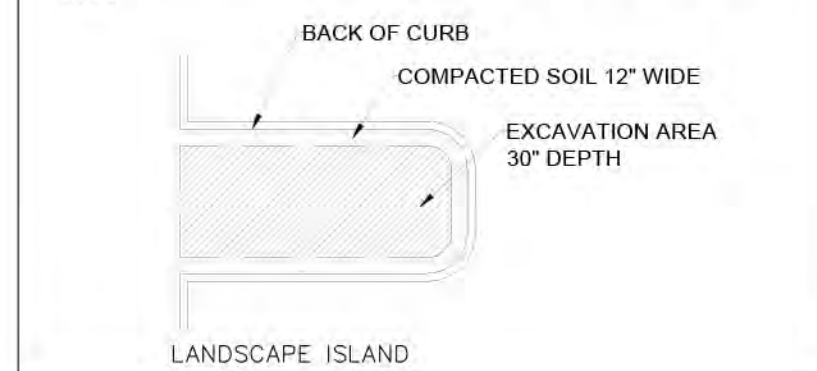
SPECIFICATIONS

NOMENCLATURE: All plant material used shall be true to name and size in conformity with the Florida Nurserymen's Grades and Standards, and shall be Florida Grade #1 or better. Plants which do not meet specifications will not be accepted.
PLANT LISTS: Quantities, sizes, and location of plants will be determined by plan and plant lists. Size of plant shall take precedent over container size. Spacing of ground covers will be determined by plant lists. Quantities shown on plant lists are to be used as a guideline only. Contractor will be responsible for verification of actual quantities called for on plans. Discrepancies should be brought to the attention of the Landscape Architect.
SUBSTITUTIONS: No substitutions shall be accepted without consent of Landscape Architect. Any intended substitutions shall be detailed on the bid.
PLANTING SOIL: Topsoil shall be clean, sterile, and free of debris or other foreign material. Trees and palms shall be planted with a min. of 8" topsoil (50% muck, 50% sand) on sides and bottom of root ball. Rooted cuttings shall be planted in beds with a min. of 4" of topsoil worked into the top 6" of existing soil.
FERTILIZER: Palm and Tropical fertilizer (12-4-12) or approved equal shall be applied after planting and prior to mulching per manufacturers recommended application rates.
MULCH: All trees shall be mulched with 3" of approved shredded mulch in a 3 foot dia. circle. All shrubs and groundcover beds shall be mulched with 3" of approved shredded mulch in beds shown on plan or in beds 3' wide for hedges. Mulch shall be Grade 'A' unless otherwise approved.
PLANTING PROCEDURE: All plants shall be planted at soil levels at which they were previously grown. Shrub and hedge material shall be planted a min. 2' away from walls or other obstructions. Material with a mature size greater than all overhangs shall be planted away from overhangs so as not to impede the natural growth habit. Sabal Palms are to be planted directly in sand. If necessary, excavate through any compacted building subgrade to undisturbed soil and backfill with planting soil.
WATERING: All plant material shall be watered in thoroughly after installation so as to remove all air pockets. B&B material shall be watered every day for a minimum one week period and thereafter so as to keep continually moist until final acceptance of the landscape installation. Contractor shall notify owner of other watering requirements after installation.
QUINING: All trees 8' or taller shall be guyed or staked to provide ample support such that the material will stay straight and true through the guarantee period. Methods used will be such that no injury is caused to plants. Guying shall be done at the option of the Contractor unless specifically requested by the Landscape Architect, however, Contractor shall still be responsible for all trees and palms remaining straight and true throughout the guarantee period.
SOD: Sod shall be dense, green, and well rooted, and free of debris, weeds, objectionable grasses, disease, or injurious insects. A complete 6-6-6 fertilizer shall be spread at a rate of 5 lbs. per 1000 sq. ft. Sod shall be watered to a depth of 4" after laying. All areas to be sodded shall be raked smooth and all debris removed prior to installation.
GUARANTEE: All plant materials shall be guaranteed for 1 year after completion of project. Palms are to be guaranteed for 1 year. Guarantee applies to health, position, and size. Replacement cost will be carried by Contractor.

CITY OF DELRAY BEACH STANDARD REQUIREMENTS

All plant material shall be grade #1 or better.
Mulch shall be applied to a minimum depth of three (3) inches in all planting beds.
All prohibited plant species shall be eradicated from site.
All landscape areas shall be provided with an irrigation system, automatically operated, to provide complete coverage to all plant materials and grass to be maintained. System shall be equipped with proper pressure release valves / backflow system and a rain sensor / automatic cutoff.
Sod and irrigation shall be provided within the unpaved portion of the right-of-way adjacent to the Property Line.
Reinforced concrete curbing at least six (6) inches in height shall be provided around all landscape islands and as a separator between all landscape areas that are adjacent to vehicular use areas unless such curbing will interfere with drainage.
No trees or shrubs shall be planted in Water, Sewer or Drainage Easements.

Existing native soil within all landscape islands, interior landscape strips and perimeter strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the inside of the curb or pavement (see diagram below). A suitable planting soil mixture of 50/50 (sand/topsoil) shall either be backfilled in place of the native soil or efficiently mixed with the native soil to create an optimum environment for successful root development. If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than 1/2" dia. prior to mixing. All properties under this section shall be required to have an open landscape bed inspection prior to backfilling to insure the thirty (30) inch depth has been met.



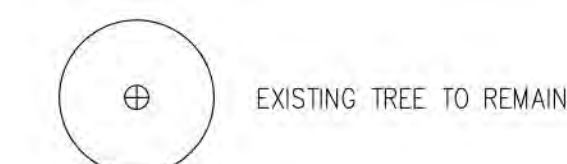
LANDSCAPE CALCS-DELRAY BEACH

A. TOTAL LOT AREA	9,905	SQ. FT.
B. STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.	7,142	SQ. FT.
C. TOTAL PERVIOUS LOT AREA	$C=(A-B)$	2,763
D. AREA OF SHRUBS AND GROUND COVER REQUIRED	$D=(C \times .30)$	828
E. AREA OF SHRUBS AND GROUNDCOVERS PROVIDED		1,436
F. NATIVE VEGETATION REQUIRED	$F=(D \times .25)$	207
G. NATIVE VEGETATION PROVIDED		240
H. TOTAL PAVED VEHICULAR USE AREA		616
I. TOTAL INTERIOR LANDSCAPE AREA REQUIRED	$I=(H \times .10)$	62
J. TOTAL INTERIOR LANDSCAPE AREA PROVIDED		285
K. TOTAL INTERIOR SHADE TREES REQUIRED	$K=(I / 125 \text{ S.F.})$	1
L. TOTAL INTERIOR SHADE TREES PROVIDED		1
M. TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREA		241
N. TOTAL NUMBER OF PERIMETER TREES REQUIRED	$N=(M / 30)$	8
O. TOTAL NUMBER OF PERIMETER TREES PROVIDED		12
P. TOTAL NUMBER OF TREES TO BE SAVED OF SITE		4
Q. TOTAL NUMBER OF NATIVE TREES REQUIRED	$Q=(K + N) \times .50$	5
R. TOTAL NUMBER OF NATIVE TREES PROVIDED		12
S. TOTAL NUMBER OF TREES ON PLAN PROVIDED		13

EXISTING TREES ON SITE

NAME	TO REMAIN QTY.
LIVE OAK	1
GUMBO LIMBO	2
PAUROTIS PALM	1

TREE KEY

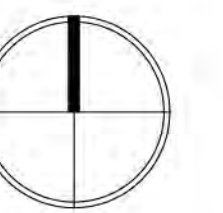
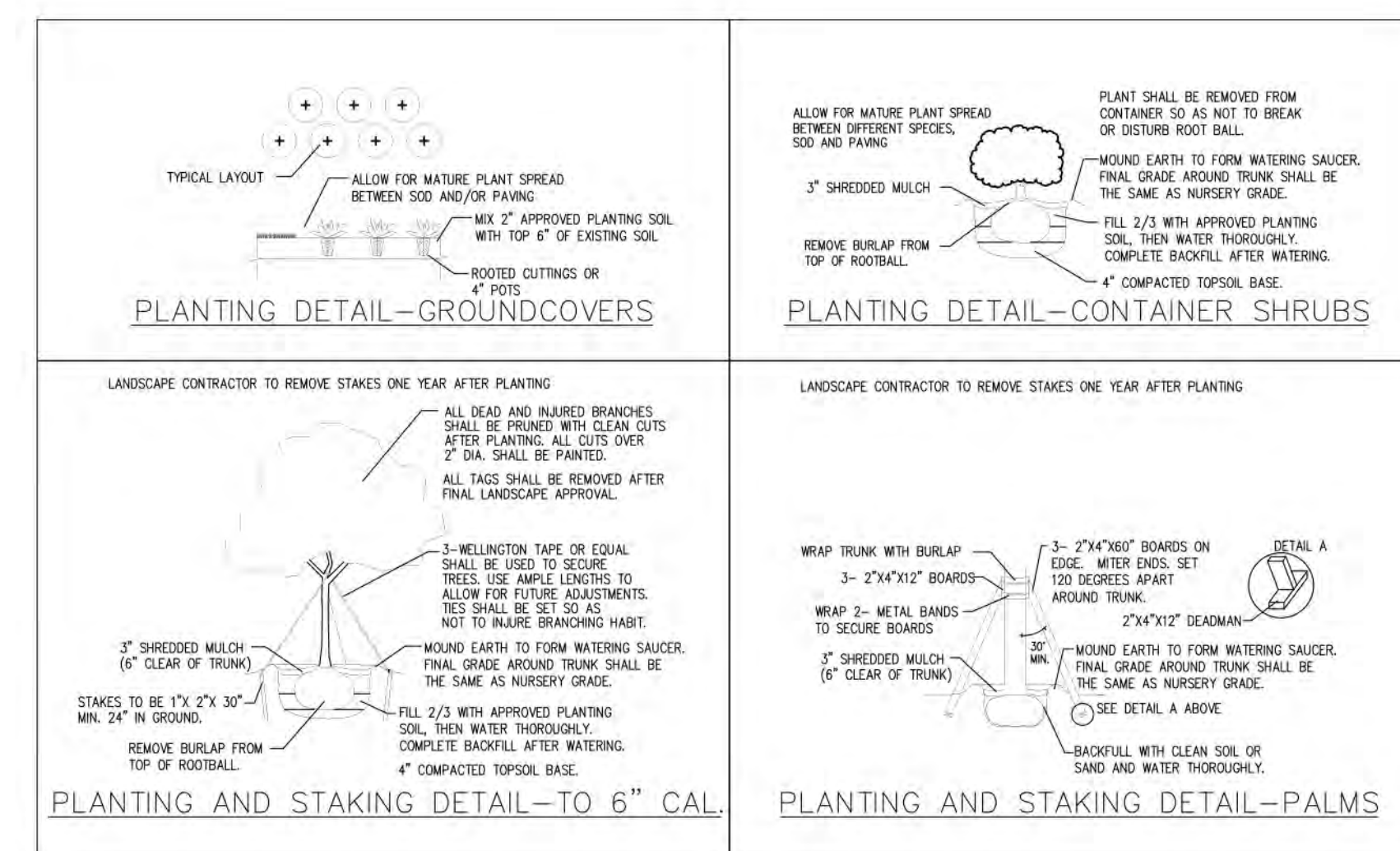


MITIGATION CALCS

MITIGATION REQUIRED	TOTAL CAL. INCHES
MITIGATION PROPOSED	
UPSIZED (2) GUMBO LIMBO	4"
ADDED (4) GREEN BUTTWOODS	8"
TOTAL INCHES	12"

IRRIGATION NOTES

Contractor to modify existing irrigation system to provide 100% coverage to all plants using approved water source. Rain sensor required as per City code.



SCALE: 1"=10'-0"

PROJECT

MARION RESIDENCE
131 N.W. 1ST AVENUE

DELRAY BEACH, FL

TITLE

LANDSCAPE PLAN

PROJ. NO.

LP-1

FILE NAME

BB

DRAWN

3/29/19

DATE

6/28/19

REV.

8/20/19

SHEET

LP-1

PARKING INFORMATION				
	REQUIRED	UNIT	CALCULATION	ROUNDED TO NEAREST SPACE
SINGLE FAMILY DETACHED RESIDENCE	2/DWELLING UNIT	1 D.U.	2 SPACES	2 SPACES (in garage on car lift)
BUSINESS AND PROFESSIONAL OFFICE	1400 S.F. NET AREA	1,030 S.F.	2.57 SPACES	3 SPACES
MULTIPLE USE CALCULATION PER Sec. 4.6.9 (C)(1)(f) & (C)(8) - (FOR 1 DWELLING UNIT)				
	WEEKDAY		WEEKEND	
USE	12am - 6am	9am - 4pm	6pm - 12am	9am - 4pm 6pm - 12am
RESIDENTIAL (2 REQ'D)	(100%) - 2.0	(60%) - 1.2	(90%) - 1.8	(80%) - 1.6 (90%) - 1.8
OFFICE (3 REQ'D)	(5%) - 0.15	(100%) - 3.0	(10%) - 0.3	(10%) - 0.3 (5%) - 0.15
TOTAL	2.15	4.2	2.1	1.9 1.95
TOTAL SPACES REQUIRED	4	TOTAL SPACES PROVIDED		6 (NOT TANDEM) 7 (TOTAL)

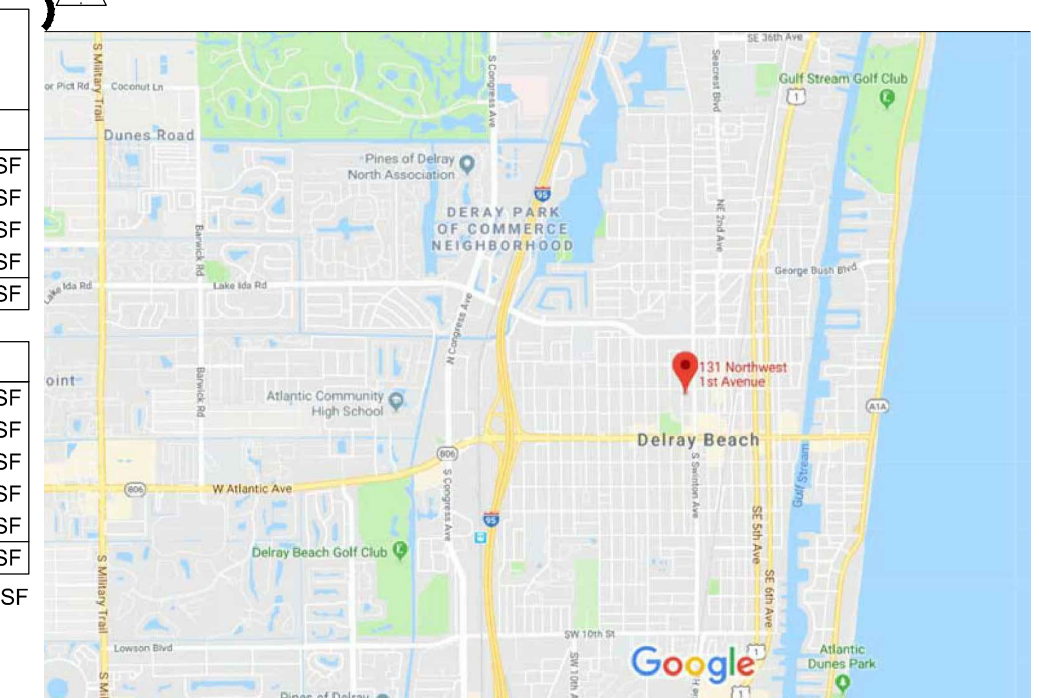
ZONING (OLD SCHOOL SQUARE HISTORIC ARTS DISTRICT)			
	REQUIRED	EXISTING	PROPOSED
LOT SIZE	N/A	10,462 S.F.	9,905.7 S.F.
BUILDING SQUARE FOOTAGE (A/C)	N/A	1,787 S.F.	2,865 S.F.
BUILDING SQUARE FOOTAGE (TOTAL)	N/A	1,974 S.F.	3,749 S.F.
OPEN SPACE (non-vehicular)	25% = 2,615.5 SF OF EXISTING 25% = 2,476.3 SF OF PROPOSED	45% = 5,677 S.F.	27.9% = 2,763 SF.
FRONT SETBACK	25 FEET MIN.	25'-3"	26'-0" ADDITION (25'-0" existing house)
SIDE SETBACK	7 FEET 6 INCH MIN.	VARIES (6'-1" MIN)	7'-6" ADDITION
REAR SETBACK	10 FEET MIN.	VARIES (19'-3" MIN)	36'-4" ADDITION
STRUCTURE HEIGHT (HOUSE)	35 FEET MAX.	19'-0" GRADE TO MID-POINT	19'-0" GRADE TO MID-POINT
STRUCTURE HEIGHT (GUEST HOUSE)	35 FEET MAX.	11'-4"	11'-4"
COMMERCIAL (OFFICE)	N/A	N/A	1,385 S.F.
RESIDENTIAL	N/A	N/A	1,337 S.F.
			TOTAL AREA: 2,722 S.F.

EXISTING A/C S.F. CALCULATION	
AREA CALCULATION	
EXISTING-MAIN HOUSE	1375 SF
EXISTING-GUEST COTTAGE	412 SF
TOTAL AREA	1787 SF
AREA CALCULATION	
COV. ENTRY EXISTING	27 SF
EXISTING-STORAGE	91 SF
OPEN PORCH EXISTING	69 SF
TOTAL AREA	187 SF
EXISTING OPEN SPACE CALCULATIONS	
EXST. LOT AREA	10462 SF
EXST. IMPERVIOUS	4785 SF
EXST. OPEN SPACE	5677 SF

NEW + EXISTING A/C S.F. CALCULATION	
AREA CALCULATION	
EXISTING-MAIN HOUSE	1375 SF
EXISTING-GUEST COTTAGE	412 SF
A/C-ADDITION-MASTER	887 SF
A/C-ADDITION-UTILITY	91 SF
TOTAL AREA AC	2865 SF
AREA CALCULATION	
COMMERCIAL - GARAGE	355 SF
COV. ENTRY EXISTING	27 SF
OPEN PORCH EXISTING	69 SF
TRELLIS @ MASTER	195 SF
TRELLIS @ OUTDOOR BAR	238 SF
TOTAL AREA NON AC	884 SF
TOTAL AREA W/ ADDITION	3749 SF

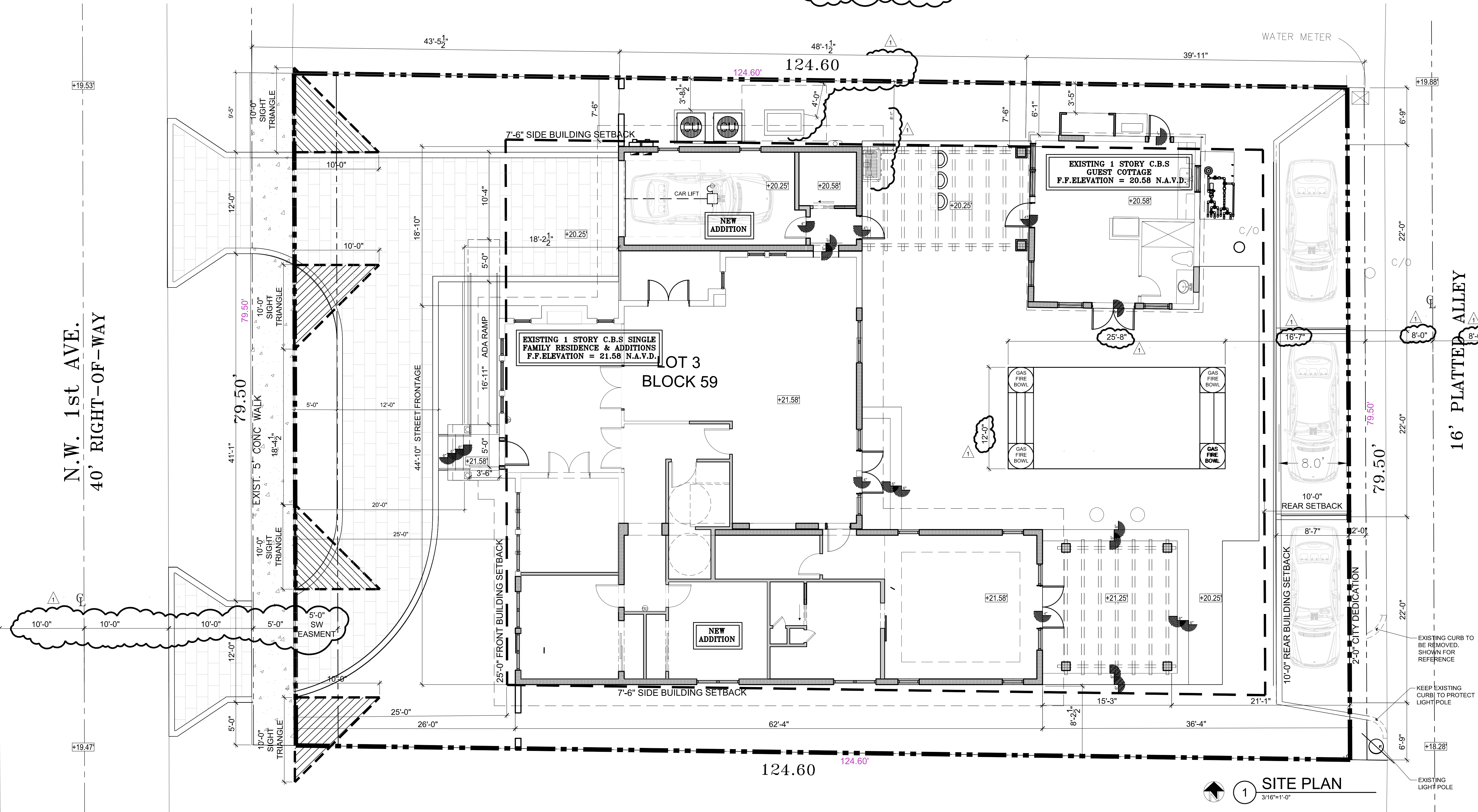
NEW OPEN SPACE CALCULATIONS	
LOT AREA	9905 SF
IMPERVIOUS	7142 SF
OPEN SPACE	2763 SF

COMMERCIAL / RESIDENTIAL AREA CALCULATION	
COMMERCIAL	1030 SF
COMMERCIAL - GARAGE	355 SF
RESIDENTIAL	1337 SF
TOTAL AREA	2722 SF



1 VICINITY MAP
N.T.S.

Florida Fire Prevention code 6th Edition - Florida Specific NFPA 1 Fire code, 2015 Edition and Florida Specific NFPA 101 Life Safety Code, 2015 Edition.



1 SITE PLAN
3/16"=1'-0"

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
TAC COMMENTS	FMP	08.20.19
HRB MEETING	FMP	11.06.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

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A101

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42 N SWINTON AVENUE, DELRAY BEACH, FL 33447 (561) 262-1677 • WWW.STOFFT.COM

MARION RESIDENCE RENDERING COMPARISON

EXISTING



6'-6" JOG AT THE REAR
(SET BACK 18'-2")

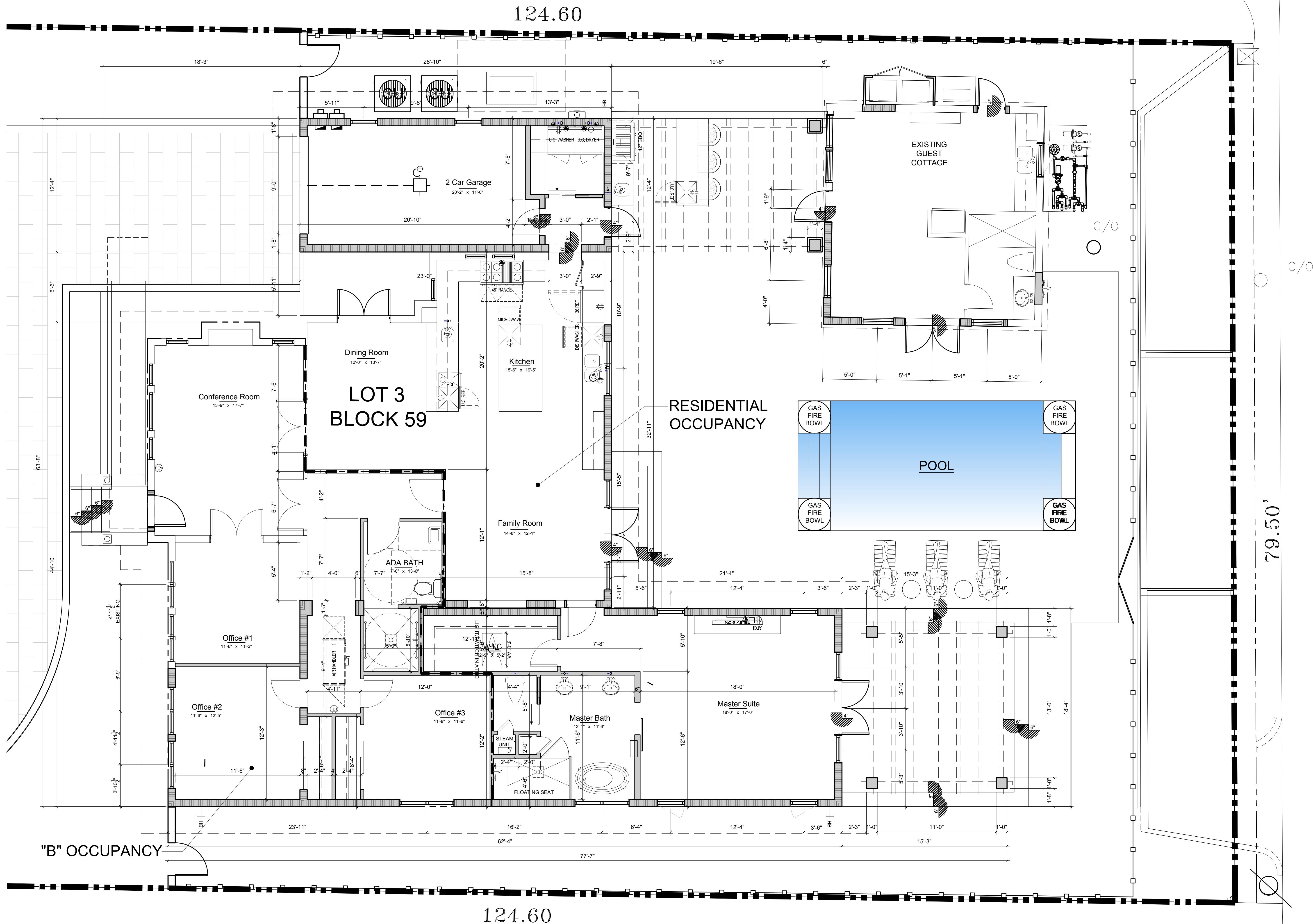
EXISTING FRONTAGE 38'-0"

PROPOSED
(LANDSCAPE NOT SHOWN FOR CLARITY)



12'-4" GARAGE ADDITION TO
ALIGN WITH JOG AT THE REAR
(SET BACK 18'-2')

PROPOSED FRONTAGE 44'-10"



(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
TAC COMMENTS	FMP	08.20.19
HPB MEETING	FMP	11.06.19

MARION RESIDENCE
 131 NW 1ST AVENUE
 DELRAY BEACH, FLORIDA

RANDALL STOFFT ARCHITECTS
 distinctive, inspirational architecture.

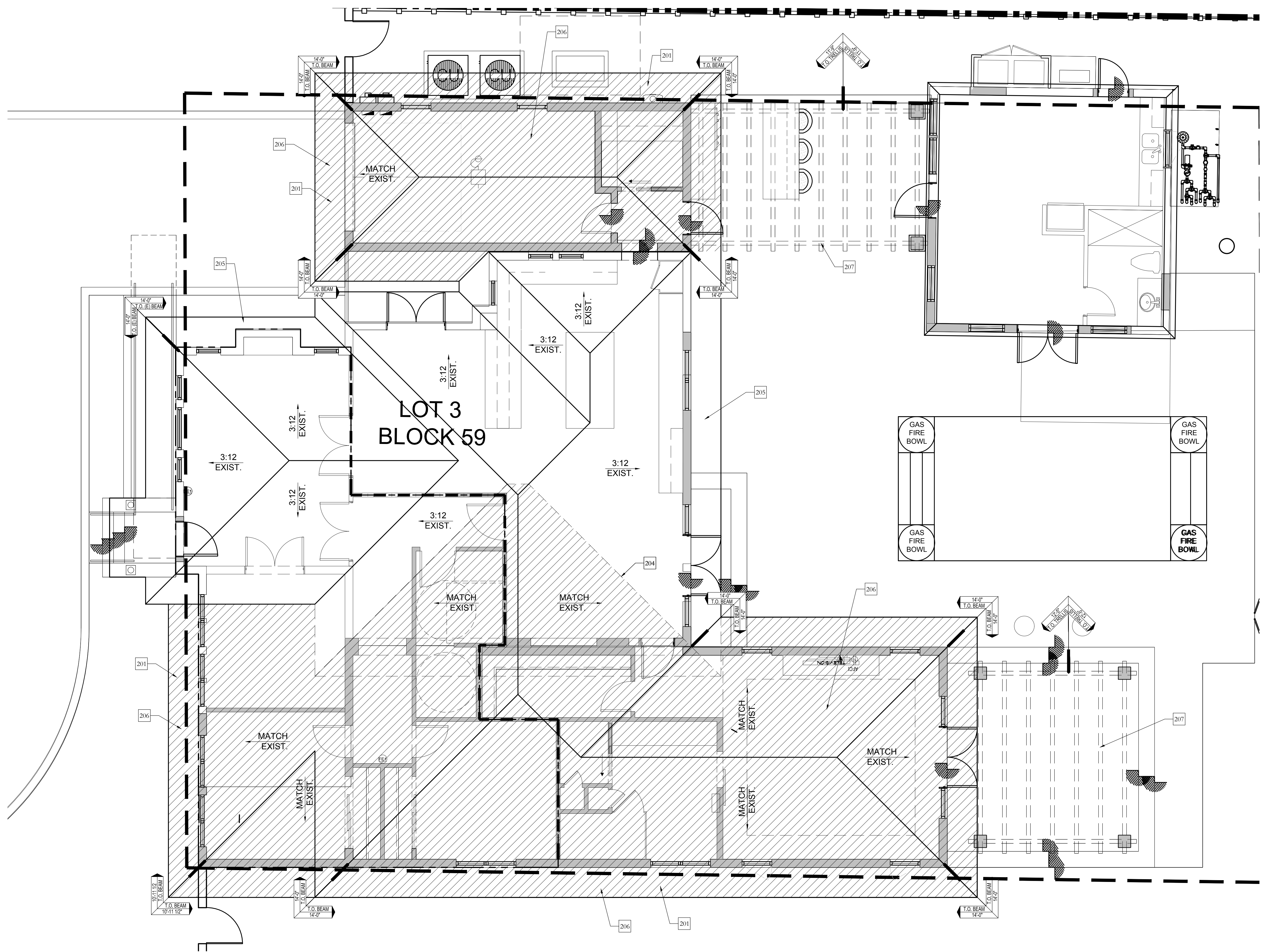
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A201a

1 1st FLOOR DIM PLAN
 1/4"=1'-0"

Y:\Delray\Projects\RESIDENTIAL\1805063_Marion\CAD\MARION_A201a.2019-Dim-Node Plans.dwg, 11/6/2019 11:41:11 AM
 42 N SWINTON AVENUE DELRAY BEACH, FL 33447 CSO 245-0959 • NAPLES, FL 32902-7677 • WWW.STOFFT.COM



ROOF PLAN KEY NOTE LEGEND		
201	BARREL ROOF TILE TO MATCH EXISTING OVER PRE-ENGINEERED WOOD TRUSSES. REFER TO STRUCTURAL & TRUSS DRAWINGS	
202	22"x54" ATTIC ACCESS HATCH W/PULL DOWN STAIRS. COORDINATE FINAL LOCATION W/ TRUSS PLACEMENT	
203	22"x36" ATTIC ACCESS HATCH. COORDINATE FINAL LOCATION W/ TRUSS PLACEMENT	
204	LINE OF EXISTING ROOF	
205	EXISTING BARREL ROOF TO BE RENOVATED/REPLACED AS REQUIRED PER NEW CONSTRUCTION. G.C. TO ENSURE THAT BARREL TILE TO BE REPLACED TO MATCH EXISTING.	
206	LINE OF NEW ROOF. ROOF TO MATCH EXISTING BEAM AND FACIA HEIGHT.	
207	NEW TRELLIS STRUCTURE	

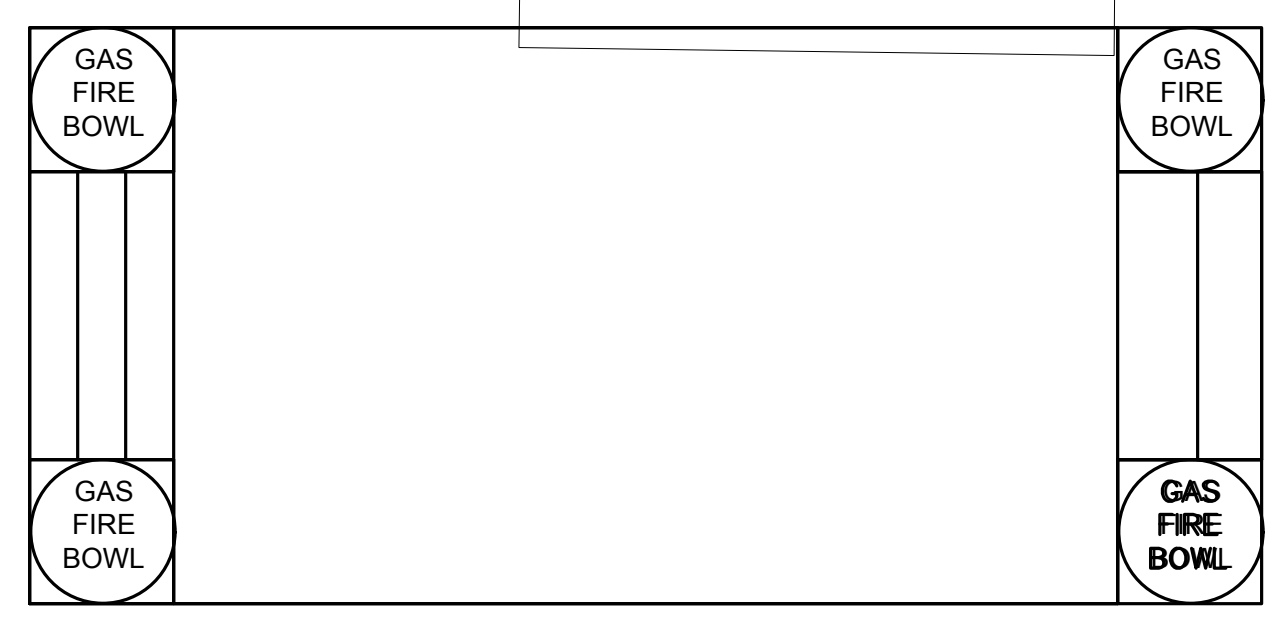
- TYPICAL ROOF NOTES**
- THIS ROOF PLAN IS FOR GRAPHIC INFORMATION ONLY (I.E. RIDGE LINES, THE BEAM HEIGHTS, OVERALL DIMENSIONS, ETC.)
 - G.C. SHALL CONFIRM ALL STRUCTURAL COLUMNS AND BEAM SIZE, LOCATION AND REINFORCEMENT WITH STRUCTURAL ENGINEER'S DRAWINGS PRIOR TO CONSTRUCTION.
 - G.C. TO VERIFY POSITIVE SLOPE AT FINISHED FLOOR TO ENSURE PROPER DRAINAGE AT ALL LANAIS, COVERED ENTRY, OUTDOOR LIVING SPACES, BALCONYS AND GARAGE.
 - G.C. TO PROVIDE SUCH SEAL (OR EQUAL) INSULATION AT THE UNDERSIDE OF ALL ROOF SLABS INCLUDING GARAGES, LANAIS AND BALCONIES IF APPLICABLE. G.C. TO ALSO PROVIDE MAKE UP AIR EQUAL TO ULTRA AIR ADEQUATE FOR THIS SYSTEM. G.C. TO PROVIDE EXHAUSTS INSTALLED INSIDE THE GARAGE OPEN TO THE ATTIC SPACE.
 - REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF COLUMNS AND ADDITIONAL INFORMATION.
 - REFER TO THE REFLECTED CEILING PLAN FOR ALL HEIGHTS, DIMENSIONS AND CEILING DETAILS.
 - G.C. TO COORDINATE ARCHITECTURAL DRAWINGS WITH INTERIOR DESIGN DRAWINGS FOR EXACT DIMENSION AND CEILING DESIGN.
 - SEE TYPICAL WALL SECTIONS FOR TYPICAL ROOF CONSTRUCTION

ROOF SPECIFICATIONS

FLAT ROOF DECK:
ALL FLAT ROOF DECKS ARE TO HAVE BITUMEN ROOFING MEMBRANE (45 MIL. MIN.) THE INSULATION SHALL PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS WITH A MIN. 1/8" PER FOOT SLOPE. ROOFING MEMBRANE INSTALLED PER MANUFACTURER'S SPECIFICATIONS WITH A 20 YEAR WARRANTY.

REFER TO STRUCTURAL FOR ALL BEAM SIZES

REFER TO MEP SHEETS FOR EXACT ROOF DRAIN & DOWNSPOUT LOCATION



(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
TAC COMMENTS	FMP	08.20.19
HPB MEETING	FMP	11.06.19

MARION RESIDENCE
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 DELRAY BEACH, FLORIDA

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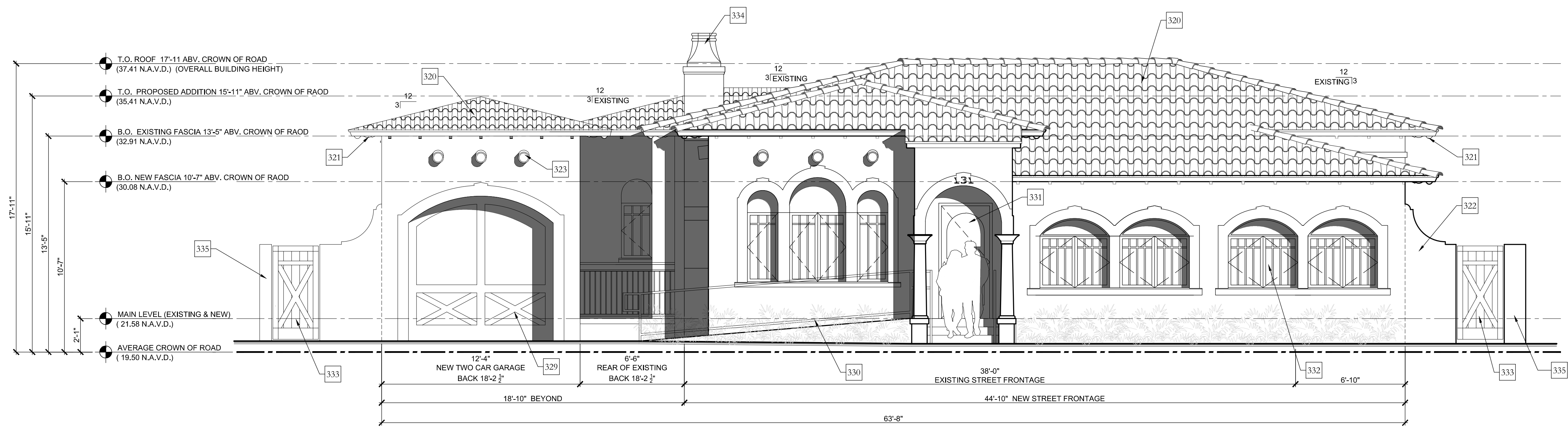
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1 ROOF PLAN
 1/4"=1'-0"

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A211

EXTERIOR ELEVATION KEY NOTE LEGEND			
REVISIONS	BY	DATE	
320	TAC COMMENTS	FMP	08.20.19
321	HPB MEETING	FMP	11.06.19
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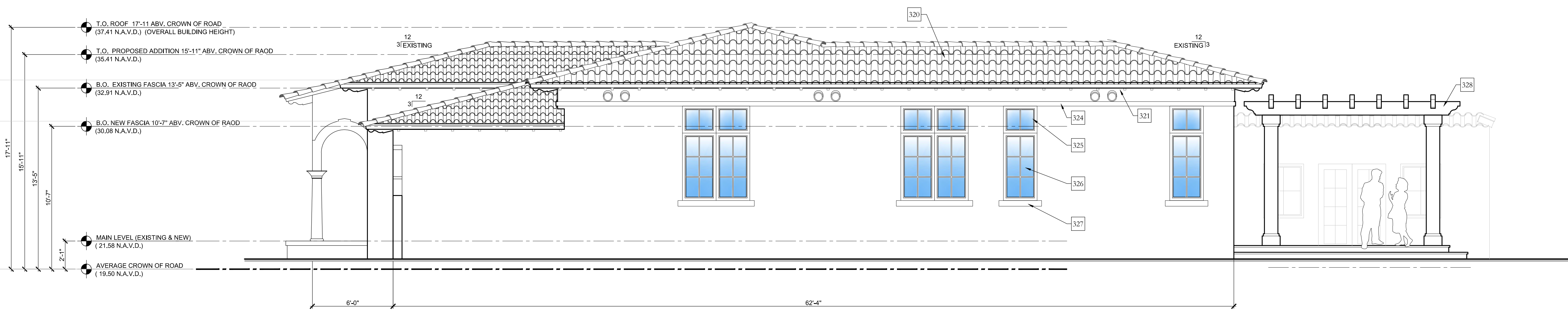
1 FRONT ELEVATION (WEST)
1/4"=1'-0"



BARREL TILE TO MATCH EXISTING



EXISTING RESIDENCE



2 SIDE ELEVATION (SOUTH)
1/4"=1'-0"

(TAC REVIEW) 06-24-19

MARION RESIDENCE
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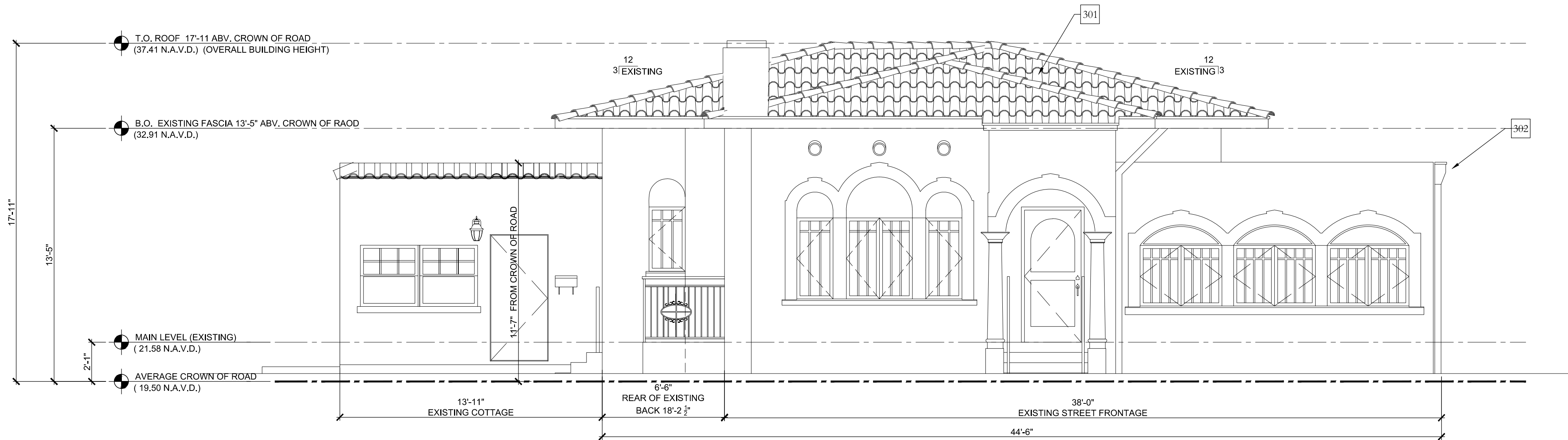
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A301

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EXISTING EXTERIOR ELEVATION KEYNOTE LEGEND		
301	EXISTING BARREL TILE ROOF TO BE REMOVED AND REPLACED AS NECESSARY PER NEW CONSTRUCTION. NEW TILE TO MATCH EXISTING	
302	EXISTING DOWNSPROUT TO BE REMOVED	
303	EXISTING CLAY BARREL SUPPLIES TO BE REMOVED/RELOCATED	
304	EXISTING STUCCO FINISH SYSTEM TO REMAIN	
305	EXISTING NON-IMPACT SINGLE HUNG	
306	EXISTING RAMP & RAILING SYSTEM TO BE REMOVED	
307	EXISTING RAILING TO BE REMOVED	
308	EXISTING WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION	
309	EXISTING IMPACT WINDOW TO BE REMOVED & RELOCATED	
310	EXISTING SURFACE MOUNTED A/C LINES TO BE REMOVED	
311	EXISTING GLASS BLOCK TO BE REMOVED	
312	EXISTING A/C CONDENSING UNIT TO BE RELOCATED	
313	EXISTING ELECTRICAL METERS & PANELS TO BE RELOCATED/REPLACED	
314	EXISTING TANKLESS HOT WATER HEATER TO BE RELOCATED	
315	EXISTING STORAGE AREA TO BE REMOVED	
316	EXISTING DOOR TO BE REPLACED	

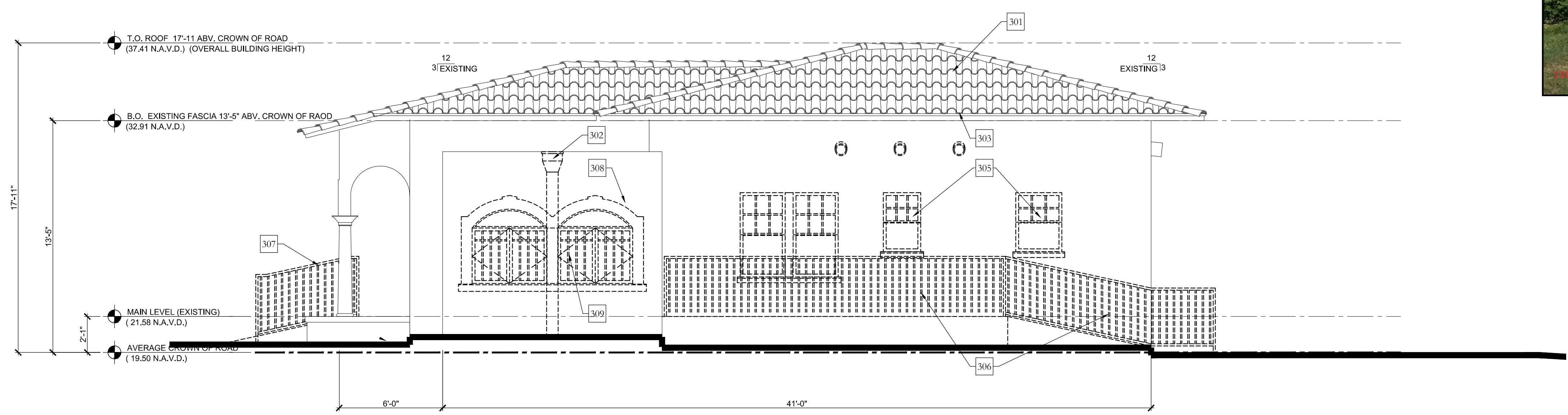
① EXISTING FRONT ELEVATION (WEST)
1/4"=1'-0"



BARREL TILE TO MATCH EXISTING



EXISTING RESIDENCE



② EXISTING SIDE ELEVATION (SOUTH)
1/4"=1'-0"

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
TAC COMMENTS	FMP	08.20.19
HRB MEETING	FMP	11.06.19

MARION RESIDENCE
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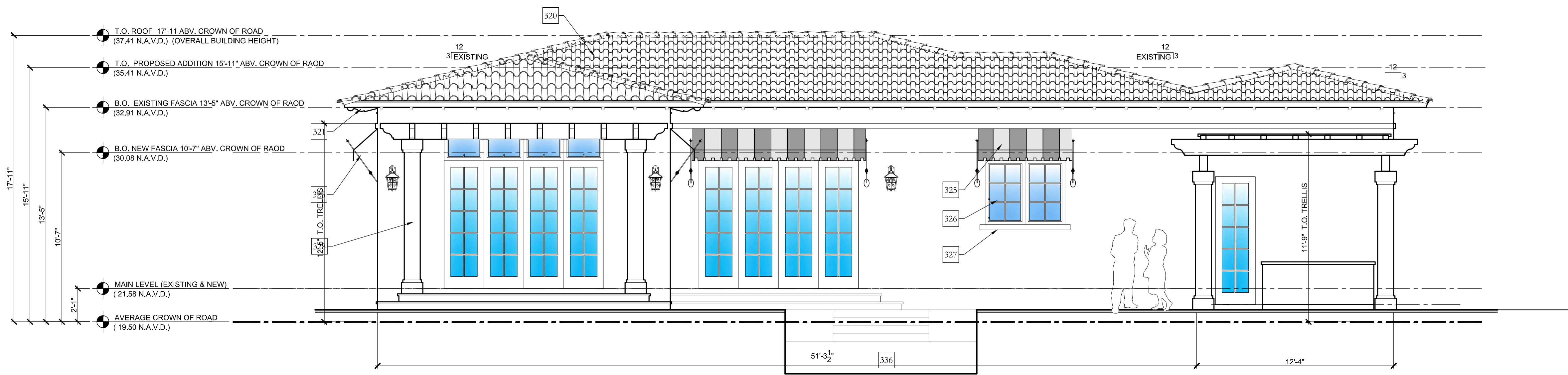
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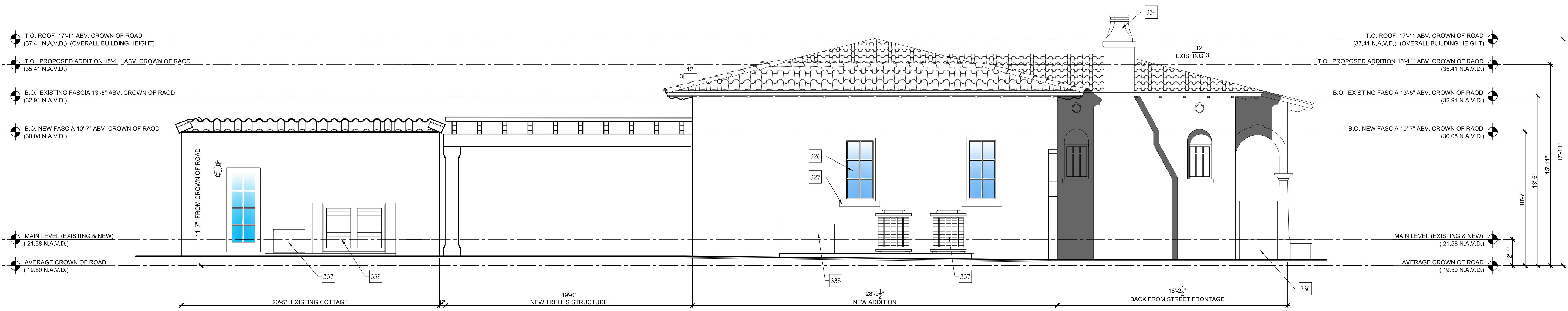
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3 REAR ELEVATION (EAST)
1/4"=1'-0"

EXTERIOR ELEVATION KEY NOTE LEGEND		
REVISIONS	BY	DATE
320	FMP	08.20.19
321	FMP	11.06.19
322		
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338		
339		



4 SIDE ELEVATION (NORTH)
1/4"=1'-0"

REVISIONS	BY	DATE
TAC COMMENTS	FMP	08.20.19
HPB MEETING	FMP	11.06.19

(TAC REVIEW) 06-24-19

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DELRAY BEACH, FLORIDA

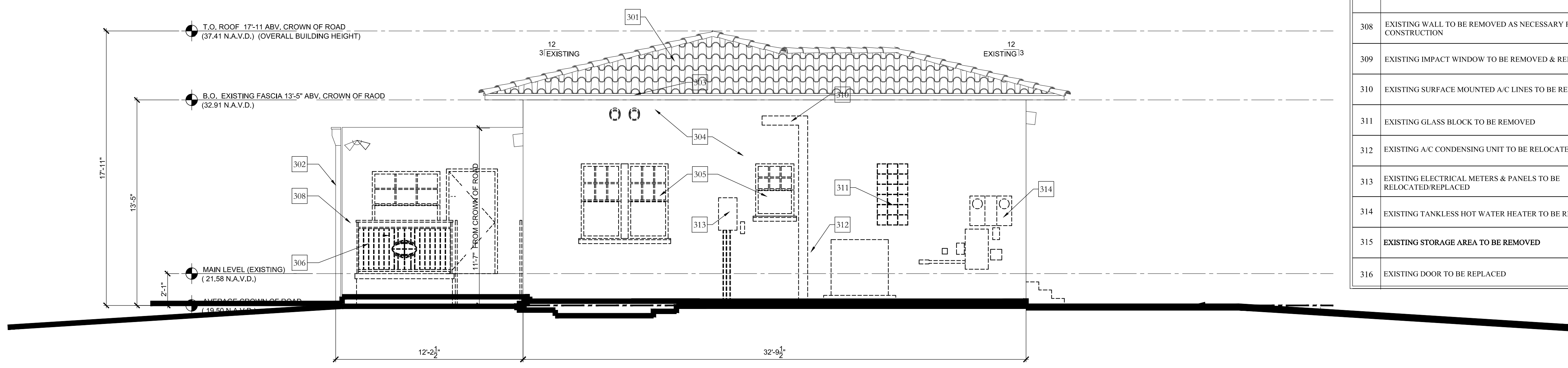
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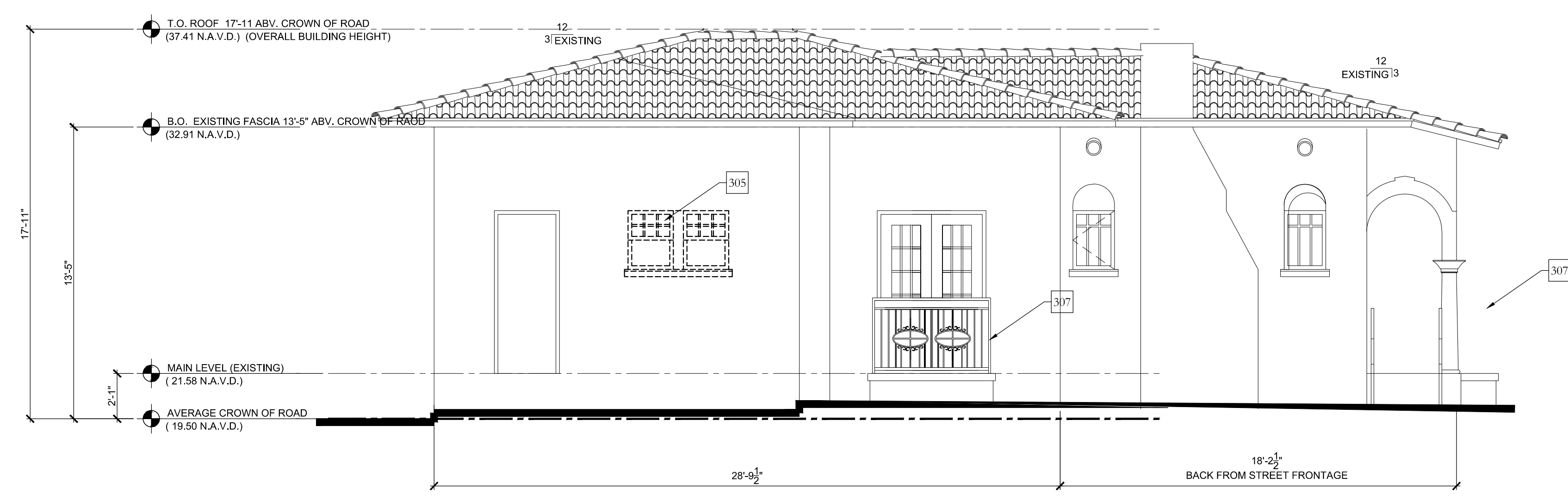
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3 EXISTING REAR ELEVATION (EAST)
1/4"=1'-0"



4 EXISTING SIDE ELEVATION (NORTH)
1/4"=1'-0"

EXISTING EXTERIOR ELEVATION KEYNOTE LEGEND		
301	EXISTING BARREL TILE ROOF TO BE REMOVED AND REPLACED AS NECESSARY PER NEW CONSTRUCTION. NEW TILE TO MATCH EXISTING	
302	EXISTING DOWNSPROUT TO BE REMOVED	
303	EXISTING CLAY BARREL SUPPLIES TO BE REMOVED/RELOCATED	
304	EXISTING STUCCO FINISH SYSTEM TO REMAIN	
305	EXISTING NON-IMPACT SINGLE HUNG	
306	EXISTING RAMP & RAILING SYSTEM TO BE REMOVED	
307	EXISTING RAILING TO BE REMOVED	
308	EXISTING WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION	
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312	EXISTING A/C CONDENSING UNIT TO BE RELOCATED	
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314	EXISTING TANKLESS HOT WATER HEATER TO BE RELOCATED	
315	EXISTING STORAGE AREA TO BE REMOVED	
316	EXISTING DOOR TO BE REPLACED	

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
TAC COMMENTS	FMP	08.20.19
HPB MEETING	FMP	11.06.19

MARION RESIDENCE
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DELRAY BEACH, FLORIDA

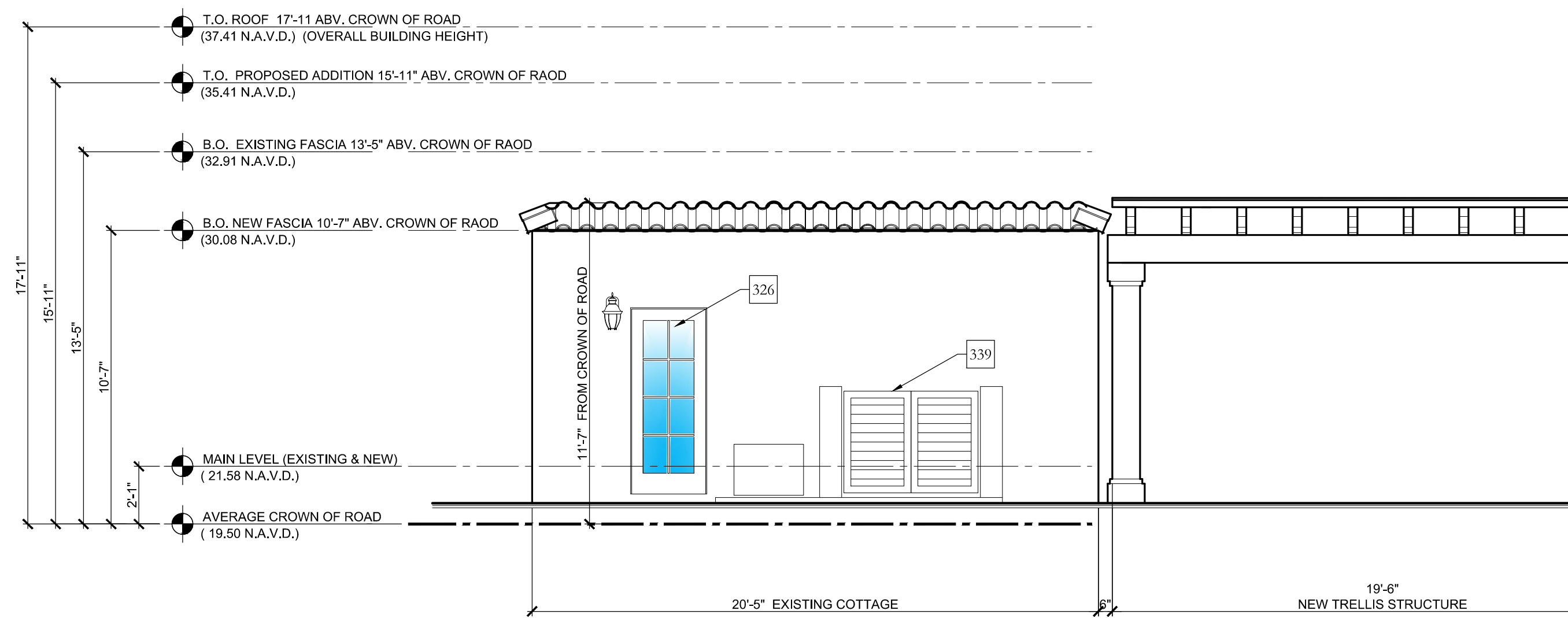
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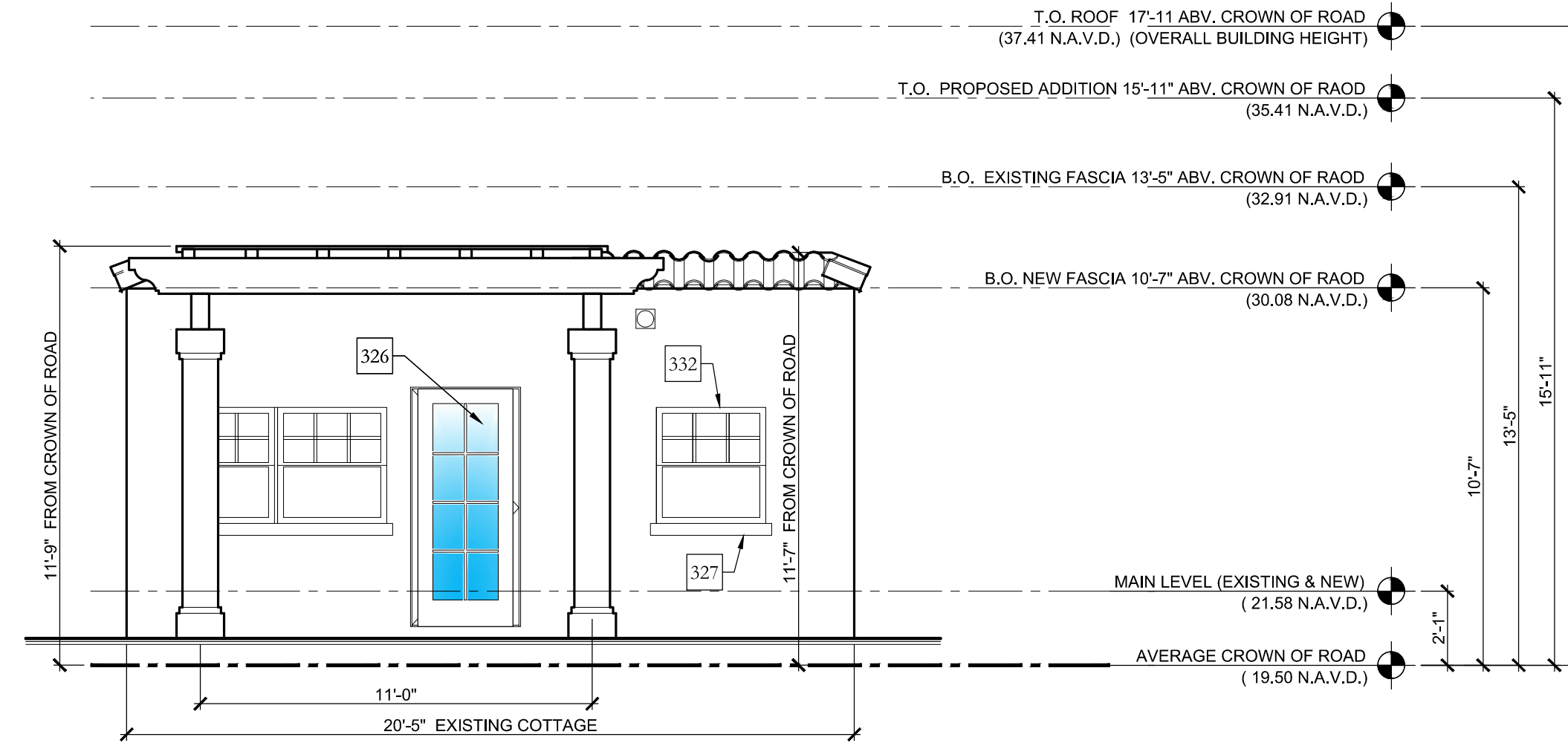
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A302e

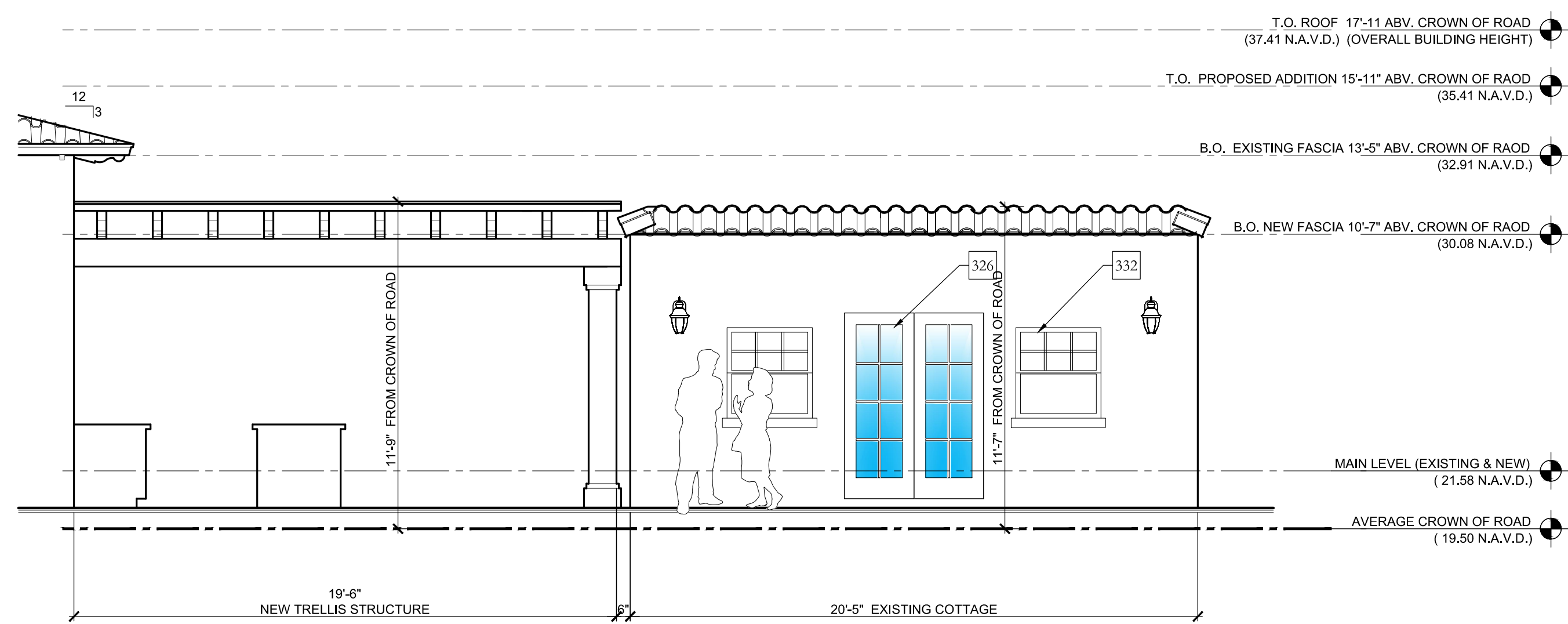
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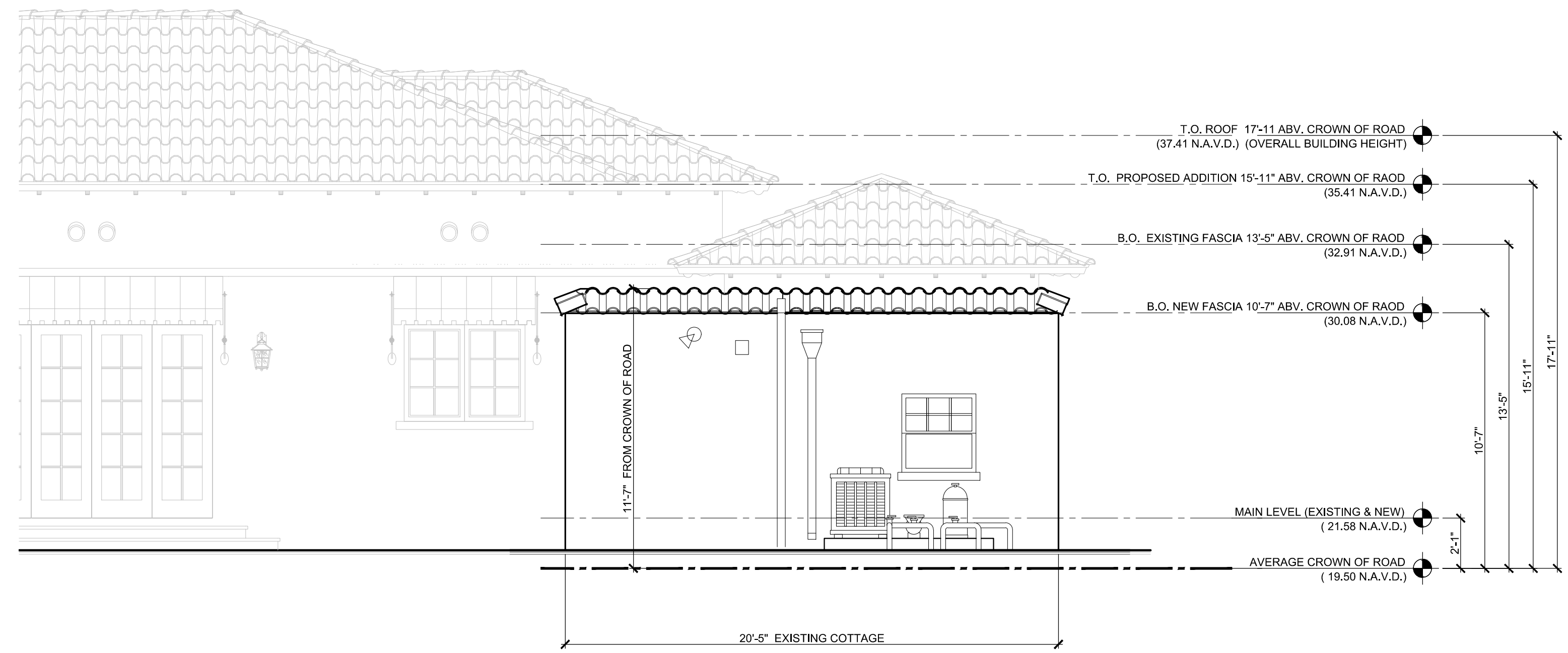
5 GUEST HOUSE - NORTH ELEVATION
1/4"=1'-0"



6 GUEST HOUSE - WEST ELEVATION
1/4"=1'-0"



7 GUEST HOUSE - SOUTH ELEVATION
1/4"=1'-0"



8 GUEST HOUSE - EAST ELEVATION
1/4"=1'-0"

EXTERIOR ELEVATION KEY NOTE LEGEND		
NO.	DESCRIPTION	KEY NOTE
320	NEW BARREL TILE OVER PRE-ENGINEERED WOOD TRUSSES TO MATCH EXISTING	320
321	WOOD RAFTER TAILS TO MATCH EXISTING	321
322	STUCCO FINISH SYSTEM TO MATCH EXISTING	322
323	DECORATIVE BARRIER TILE SCUPPERS TO MATCH EXISTING	323
324	RAISED STUCCO BAND	324
325	CANVAS AWNING	325
326	NEW IMPACT WINDOWS/DOOR - SEE WINDOW/DOOR SCHEDULE -GLASS TO BE CLEAR.	326
327	RAISED STUCCO SILL	327
328	NEW WOOD TRELLIS (SEE STRUCTURAL DRAWINGS)	328
329	IMPACT RATED GARAGE DOOR (SEE DOOR SCHEDULE)	329
330	NEW ADA RAMP & RAILING - REFER TO HANDICAP ACCESSIBLE DETAILS ON SHEET A801	330
331	NEW IN-SWING ENTRY DOOR	331
332	RELOCATED IMPACT WINDOW	332
333	NEW WOOD GATE	333
334	NEW CHIMNEY CAP	334
335	NEW 6" HIGH PRIVACY WALL	335
336	NEW POOL - BY OTHERS	336
337	A/C CONDENSER ON MIN. 6" THICK CONCRETE PAD	337
338	GENERATOR ON MIN. 6" THICK CONCRETE PAD	338
339	TRASH BINS BEHIND 4' HIGH WOOD/COMPOSITE FENCE/GATE	339

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
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HPB MEETING	FMP	11.06.19

MARION RESIDENCE
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DELRAY BEACH, FLORIDA

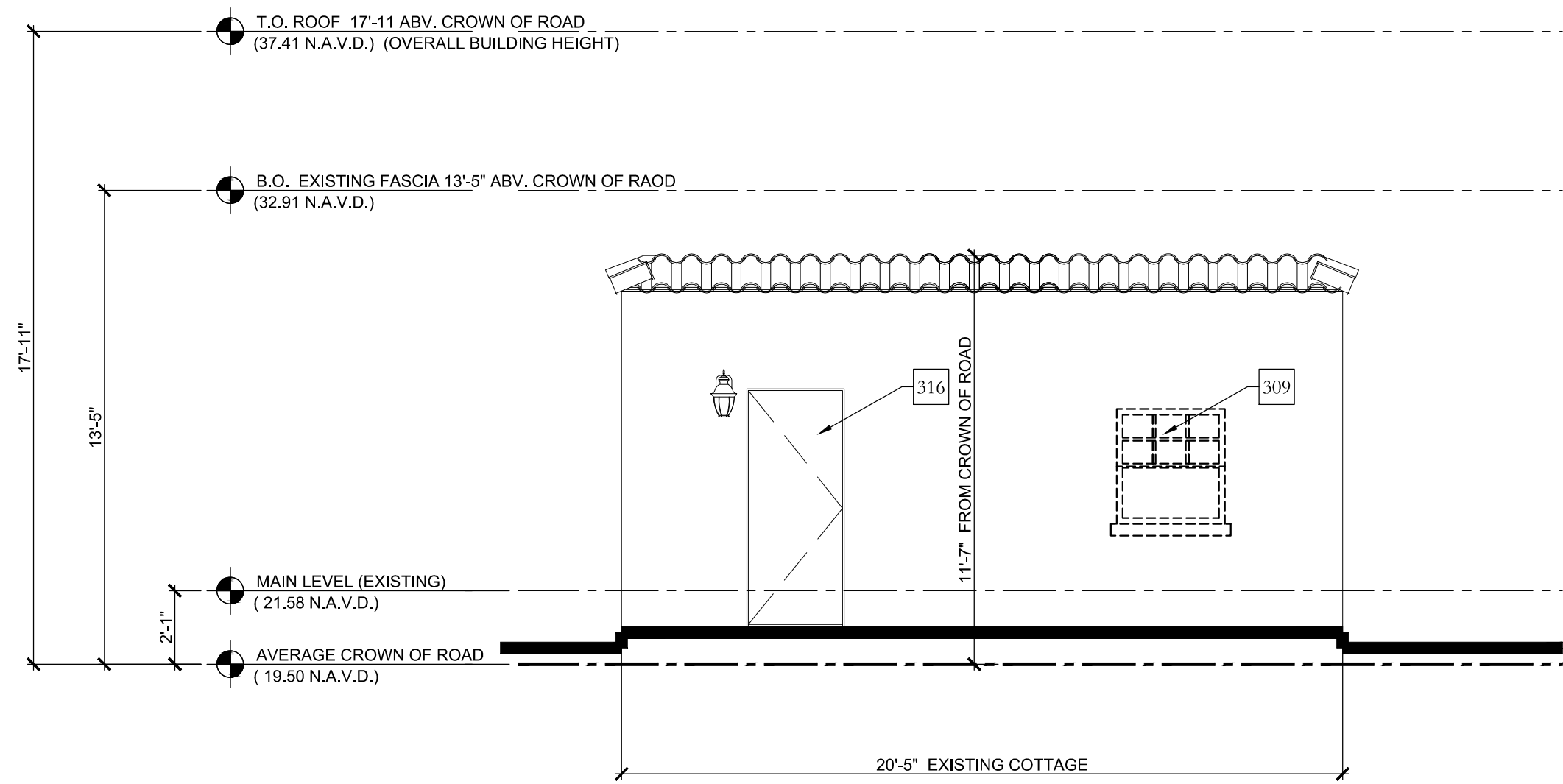
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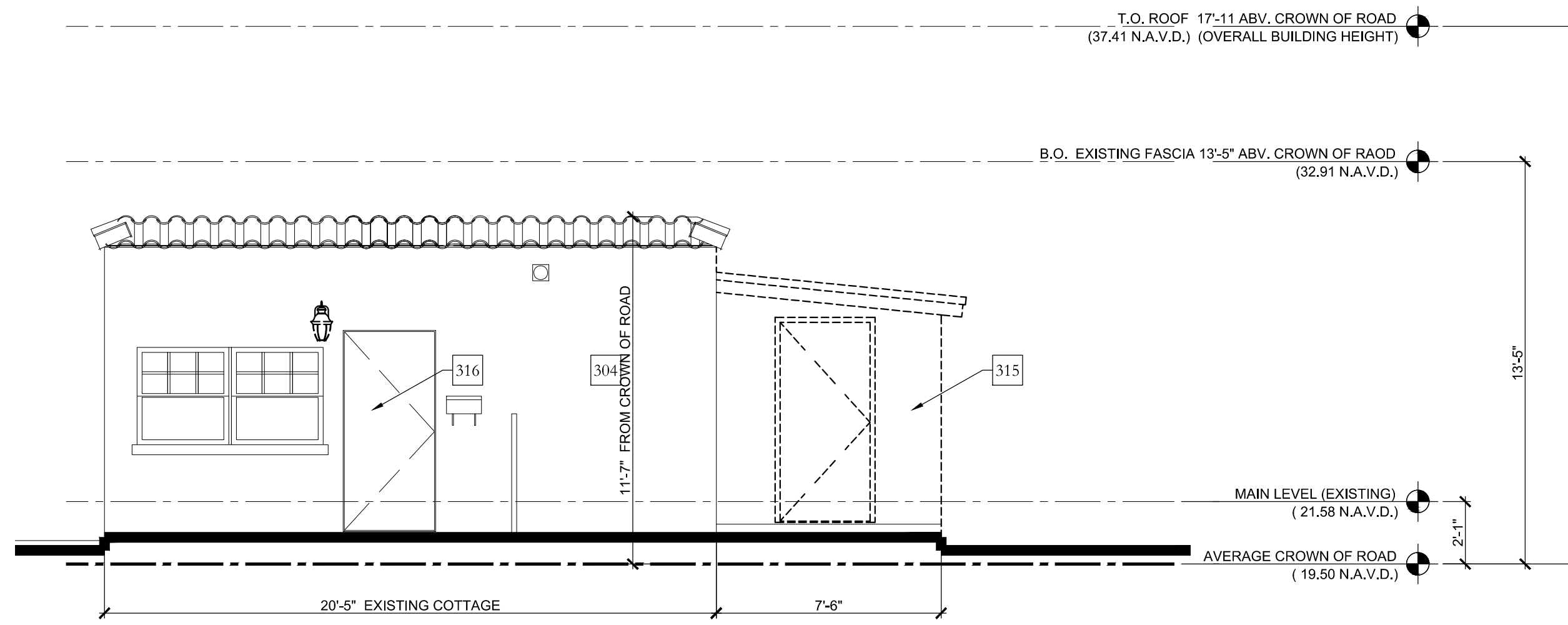
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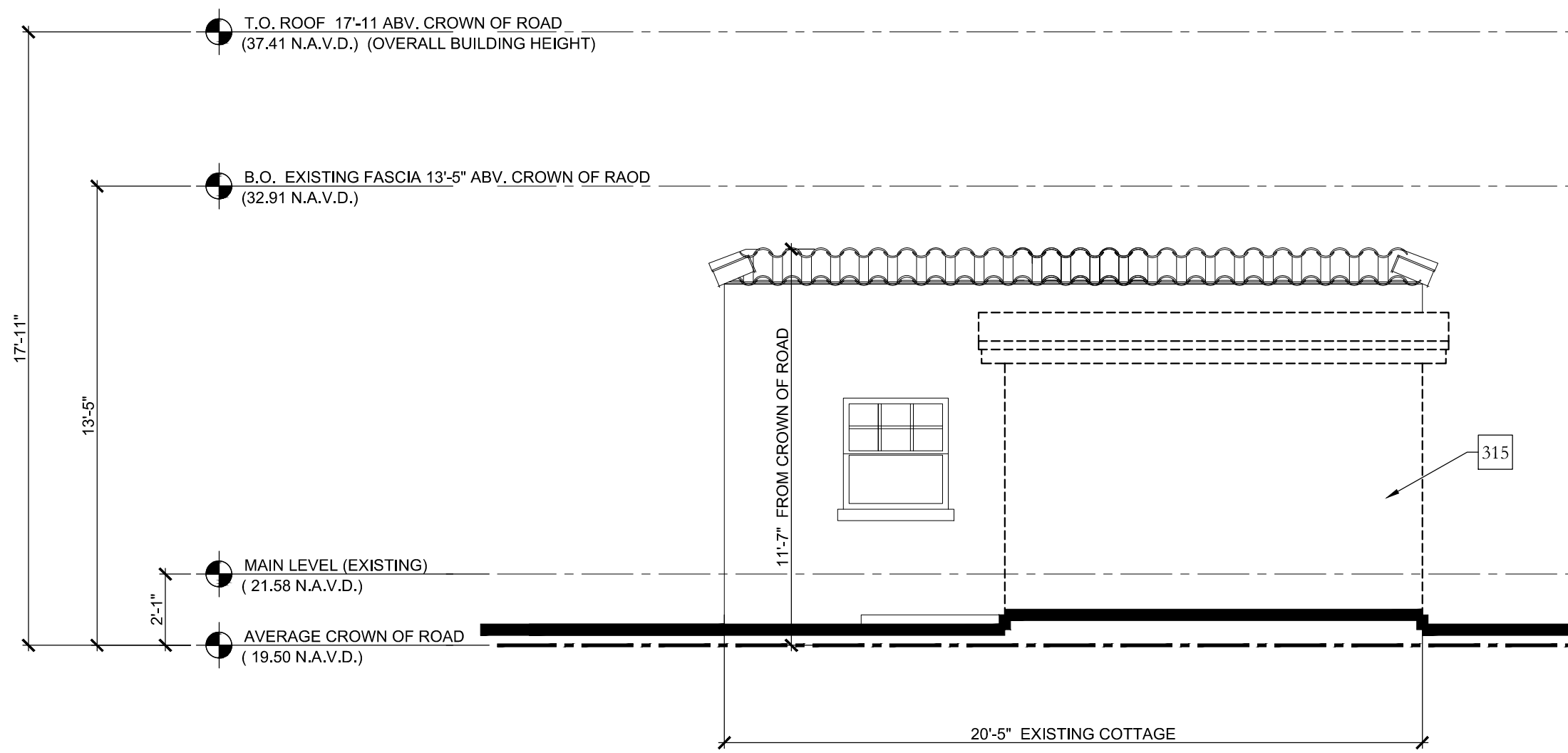
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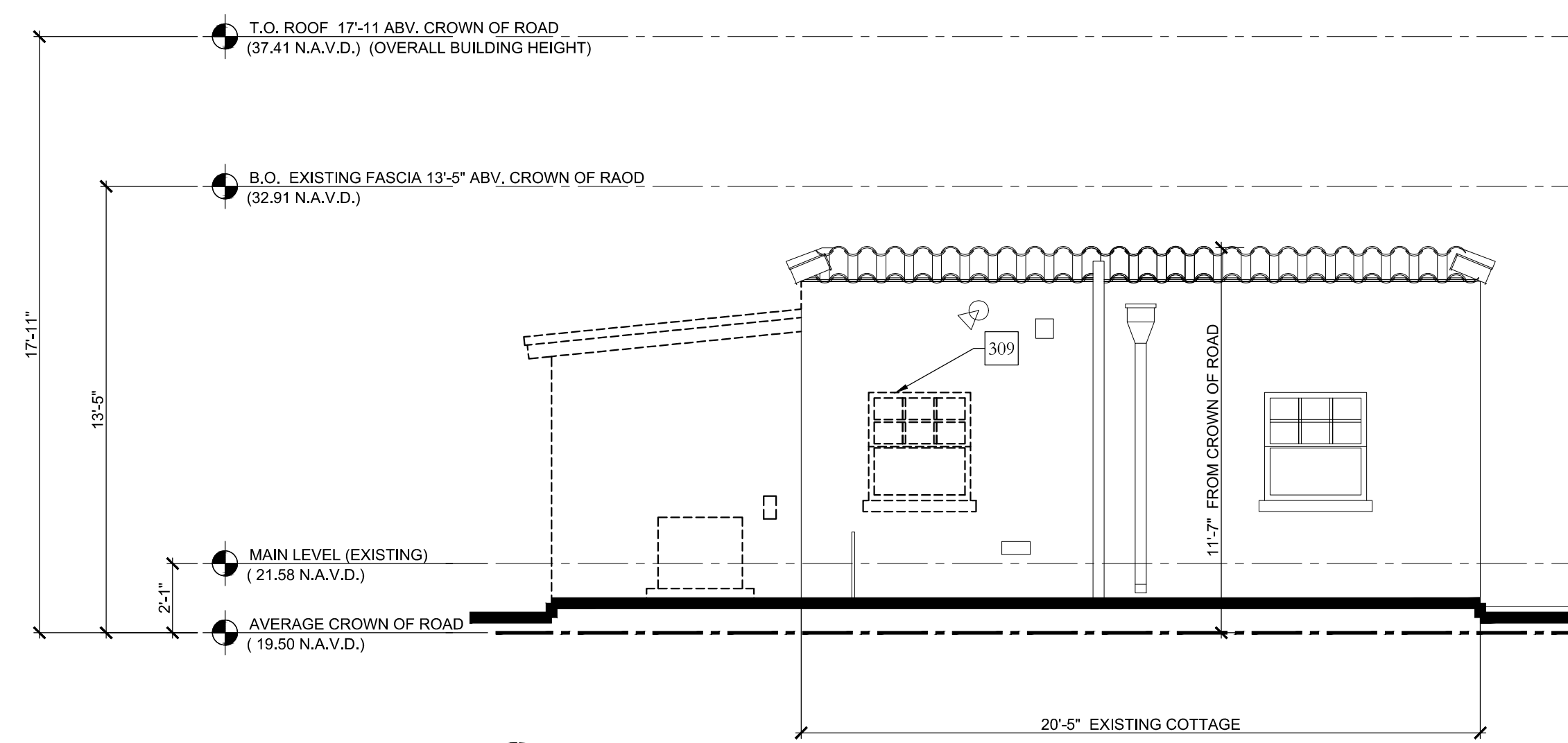
5 GUEST HOUSE - NORTH ELEVATION (EXISTING)
1/4"=1'-0"



6 GUEST HOUSE - WEST ELEVATION (EXISTING)
1/4"=1'-0"



7 GUEST HOUSE - SOUTH ELEVATION (EXISTING)
1/4"=1'-0"



8 GUEST HOUSE - EAST ELEVATION (EXISTING)
1/4"=1'-0"

EXISTING EXTERIOR ELEVATION KEYNOTE LEGEND		
REVISIONS	BY	DATE
TAC COMMENTS	FMP	08.20.19
HPB MEETING	FMP	11.06.19
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(TAC REVIEW) 06-24-19

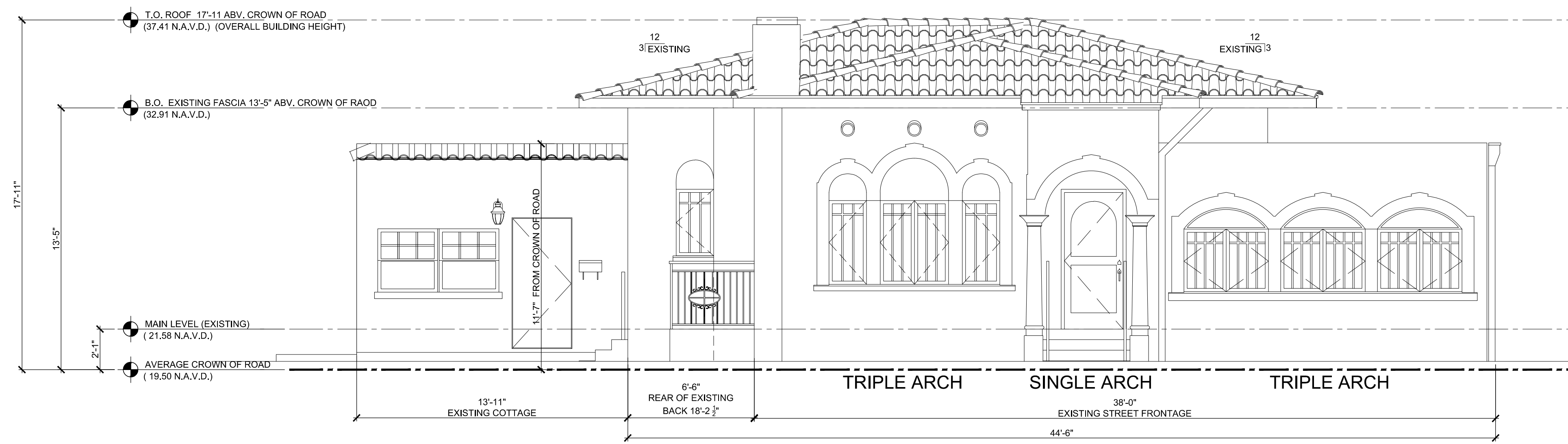
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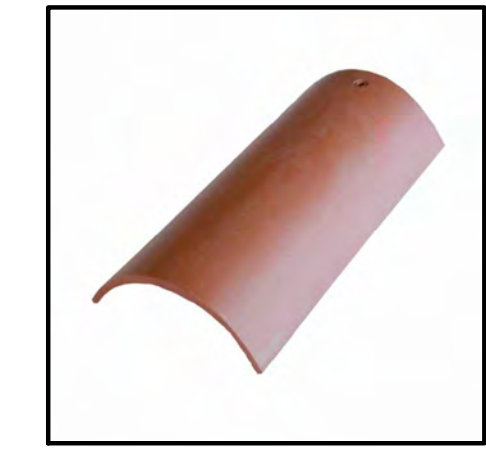
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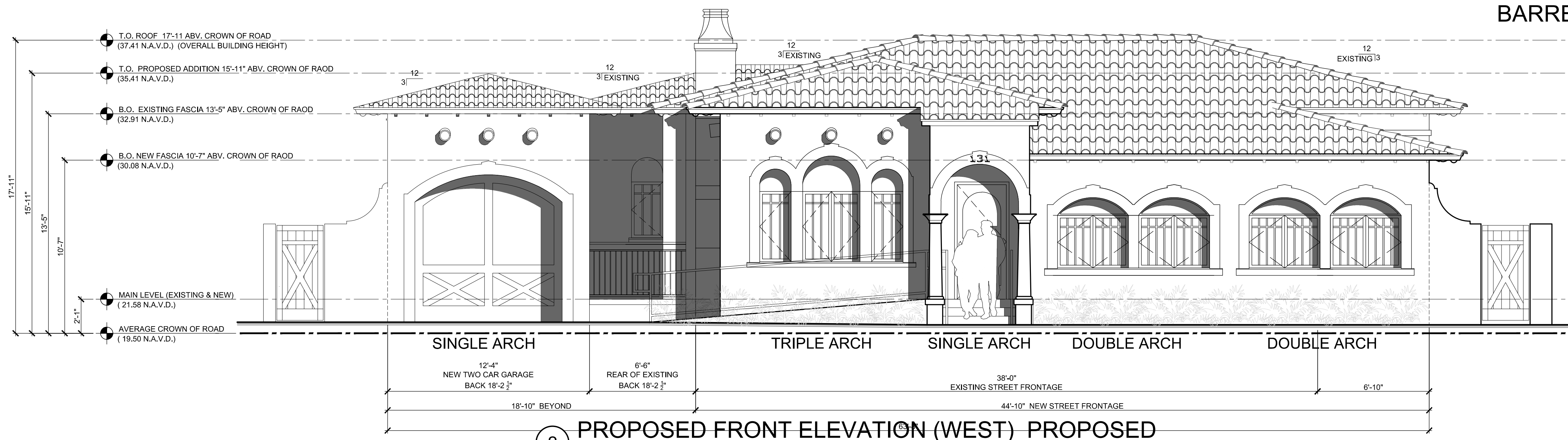


1 EXISTING FRONT ELEVATION (WEST)
1/4"=1'-0"

NOTE:
ALL GLAZING TO BE OF CLEAR GLASS
TO MATCH ORIGINAL



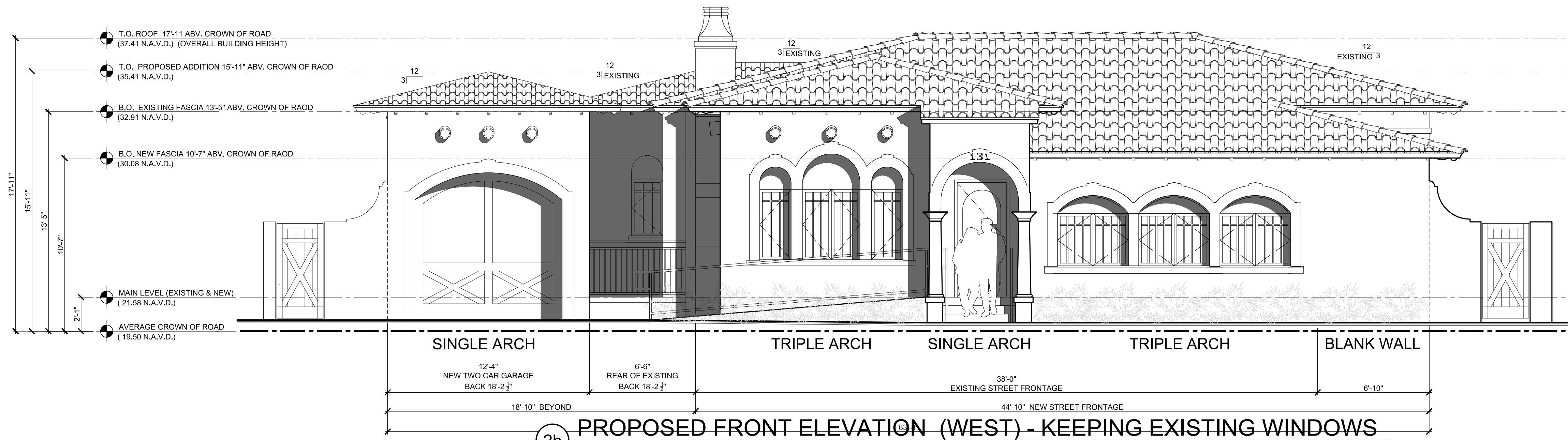
BARREL TILE TO MATCH EXISTING



2 PROPOSED FRONT ELEVATION (WEST) PROPOSED
1/4"=1'-0"



EXISTING STUCCO PATTERN



2b PROPOSED FRONT ELEVATION (WEST) - KEEPING EXISTING WINDOWS
1/4"=1'-0"

(TAC REVIEW) 06-24-19

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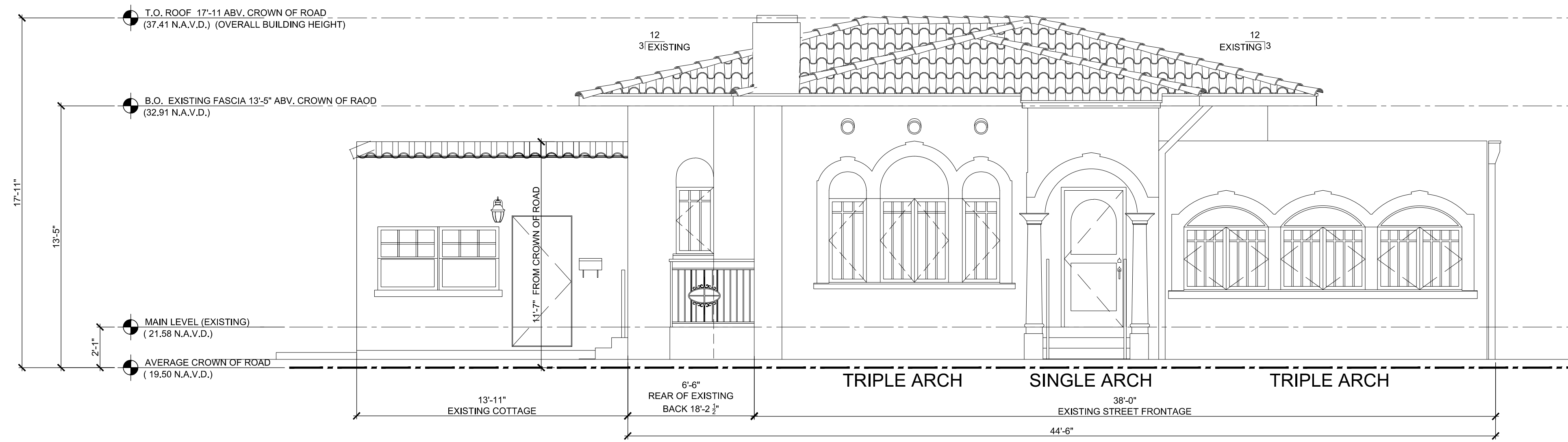
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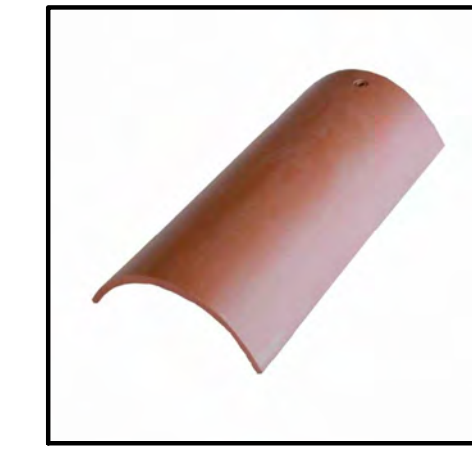
COMPARE
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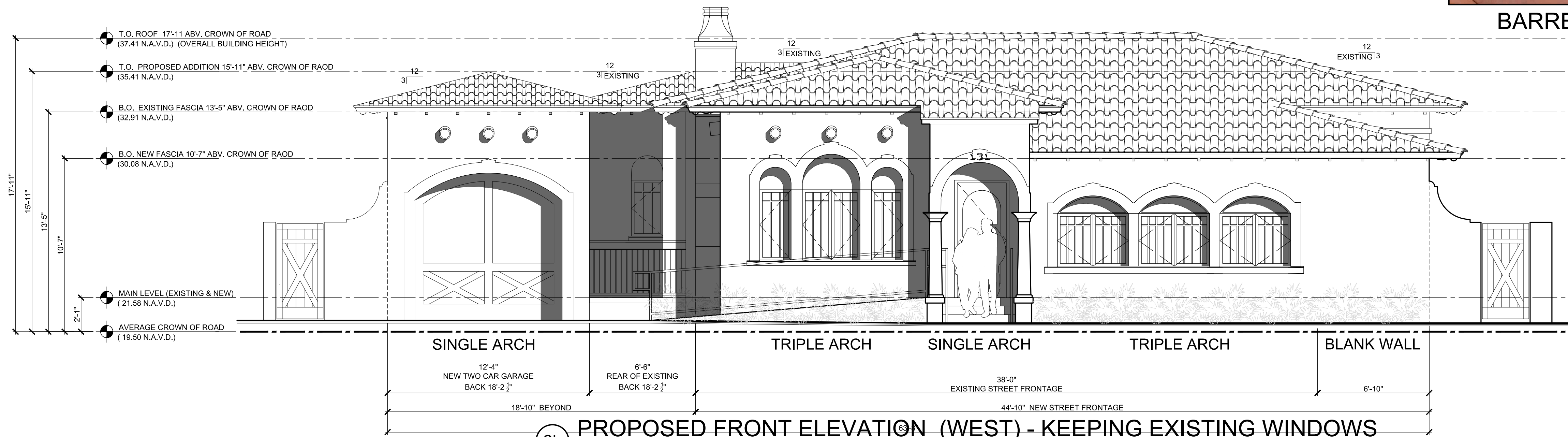


1 EXISTING FRONT ELEVATION (WEST)
1/4"=1'-0"

NOTE:
ALL GLAZING TO BE OF CLEAR GLASS
TO MATCH ORIGINAL



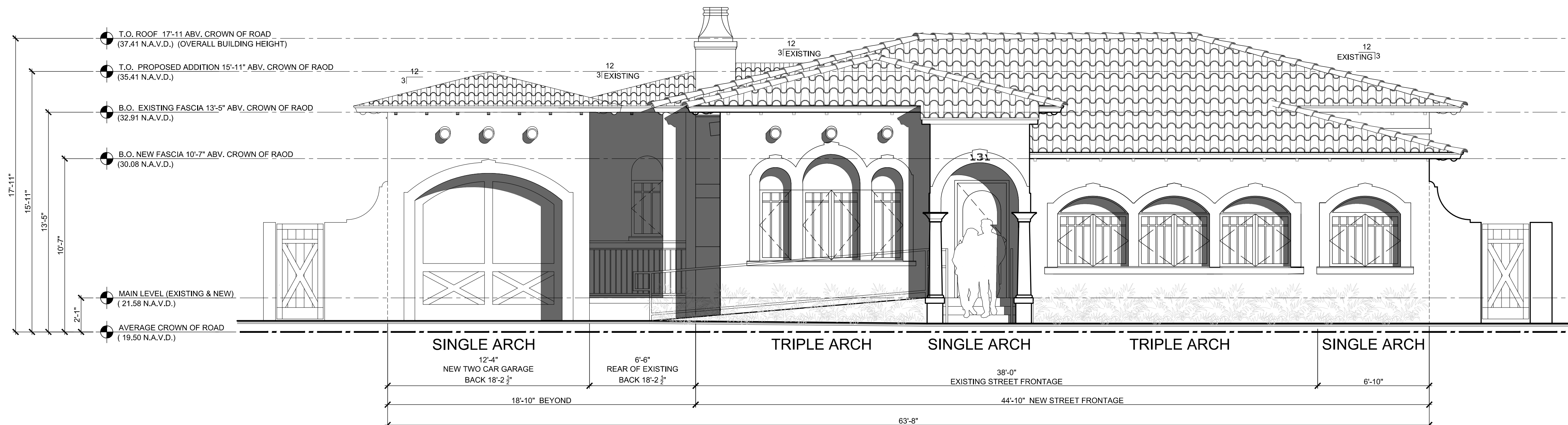
BARREL TILE TO MATCH EXISTING



2b PROPOSED FRONT ELEVATION (WEST) - KEEPING EXISTING WINDOWS
1/4"=1'-0"



EXISTING STUCCO PATTERN



2c PROPOSED FRONT ELEVATION (WEST) - KEEPING EXISTING WINDOWS
1/4"=1'-0"

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
TAC COMMENTS	FMP	08.20.19
HRB MEETING	FMP	11.06.19

MARION RESIDENCE
 131 NW 1ST AVENUE
 DELRAY BEACH, FLORIDA

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COMPARE
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