



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Mayfair Federal Plaza (2019-145)

Project Location: 885 SE 6th Avenue

Request: Class I Site Plan Modification

Board: Site Plan Review and Appearance Board

Meeting Date: April 24, 2019

Board Action:

Approved (5-0) the architectural elevation changes.

Project Description:

The subject property, known as the Mayfair Federal Plaza, is located on the east side of SE 6th Avenue between SE 8th Street and SE 8th Street. The property is located in the General Commercial (GC) District and has a GC Future Land Use Map (FLUM) designation. The property is described as Mayfair All of Plat, according to the plat recorded the Plat Book 46 Page 22 of the Palm Beach County. The one-story, 8,216 sf commercial building was constructed in 1984. The existing uses include retail and personal services uses. The proposed architectural elevation changes are associated with façade improvements to the existing building frontage. The modifications include the construction of a parapet, replacement of existing roof, introduction of metal awnings and fabric replacement, and introduction of architectural appurtenances.

Board Comments:

The Board comments were supportive.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions:

No associated actions.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: April 24, 2019

File No.:2019-145

Application Type: Class I Site Plan Modification

General Data:

Applicant: Mummaw and Associates, Inc.

Owner: Mayfair Federal Plaza LLC

Address: 885 SE 6th Avenue

Location: East Side of SE 6th Ave. between SE 8th St. and Se 9th St.

PCN: 12-43-46-21-44-001-0000

Property Size: 0.61 Acres

FLUM: General Commercial (GC)

Zoning: GC

Adjacent Zoning:

- North: GC
- East: Single Family Residential (R-1-AA)
- South: GC
- West: GC

Existing Land Use: Commercial Building/ Retail and Personal Services

Proposed Land Use: No change



Item before the Board:

Consideration of a Class I Site Plan Modification associated with architectural elevation changes to improve the commercial building frontage.

Recommendation:

Move approval of the Class I Site Plan Modification for architectural elevations changes for the **Mayfair Federal Plaza (File 2019-145)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(1)(a) and 4.6.18(E) of the Land Development Regulations.

Background:

The subject property, known as the Mayfair Federal Plaza, is located on the east side of SE 6th Avenue between SE 8th Street and SE 8th Street. The property is located in the General Commercial (GC) District and has a GC Future Land Use Map (FLUM) designation. The property is described as Mayfair All of Plat, according to the plat recorded the Plat Book 46 Page 22 of the Palm Beach County. The one-story, 8,216 sf commercial building was constructed in 1984. The existing uses include retail and personal services uses.

Project Description:

The proposed Class I Site Plan Modification for architectural elevation changes is associated with façade improvements to the building frontage. The following changes are proposed:

- Construction of a parapet;
- Replacement of existing roof;
- Introduction of metal awnings and fabric replacement; and
- Introduction of architectural appurtenances.

Project Planner:

Debora Slaski, Planner

SlaskiD@mydelraybeach.com

561-243-7348

Review Dates:

SPRAB Board: April 24, 2019

Attachments:

Survey
Architectural Elevations
Renderings



Architectural Elevation Analysis:

LDR Section 4.6.18(E) – Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed architectural elevation changes are associated with façade improvements to the existing building frontage. Five fabric awnings (blue patterns design) and four metal awnings will be installed above each storefront. A three feet six inches high parapet will be introduced on the west and south façade. A decorative medallion and a wall accent bump out (boarder) will be introduced. The proposed building color is beige with dark red and beige accents. The existing decorative roof will be replaced by a blue decorative shed roof. All storefront doors and windows will be repaired to remain as is. The proposed architectural elevation change is in conformity and harmony with the surrounding area and is an enhancement to the existing property. Based upon the above, positive findings can be made about the criteria listed in LDR Section 4.6.18(E).

Alternative Actions:

- A. Continue with direction.
- B. Move approval of the request for a Class I Site Plan Modification for architectural elevation changes the **Mayfair Federal Plaza (File 2019-145)**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.
- C. Move denial of the request for a Class I Site Plan Modification for architectural elevation changes for the **Mayfair Federal Plaza (File 2019-145)**, by adopting the findings of fact and law contained in the staff report and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

NOTE: PLAT, DEED & MEASURED DIMENSIONS ARE THE SAME UNLESS OTHERWISE NOTED

LEGEND

- A/C. = Air Conditioner
- B.M. = Bench Mark
- C.B.S. = Concrete Block Structure
- ? = Center Line
- CONC. = Concrete
- C.G. = Concrete Gutter
- D.E. = Drainage Easement
- Δ = Delta (Central Angle)
- EL = Elevation
- F.F. = Finish Floor
- F.N. = Found Nail
- F.P.K.N. = Found Parker Kalon Nail
- F.N&D. = Found Nail & Disc
- F.I.P. = Found Iron Pipe
- F.I.R. = Found Iron Rod
- L = Arc Distance
- L.B. = License Business
- NO I.D. = No Identification
- N/A = Not Applicable
- N.G.V.D. = National Geodetic Vertical Datum
- O/L = On Line
- P.B.C. = Palm Beach County
- P.B. = Plat Book
- P.C. = Point of Curvature
- P.R.C. = Point of Reverse Curvature
- PG. = Page
- P.S.M. = Professional Surveyor and Mapper
- R = Radius
- R/W = Right of Way
- U.E. = Utility Easement
- V.G. = Valley Gutter
- ISAOA = Its Successors and/or Assigns
- ATIMA = As Their Interest May Appear

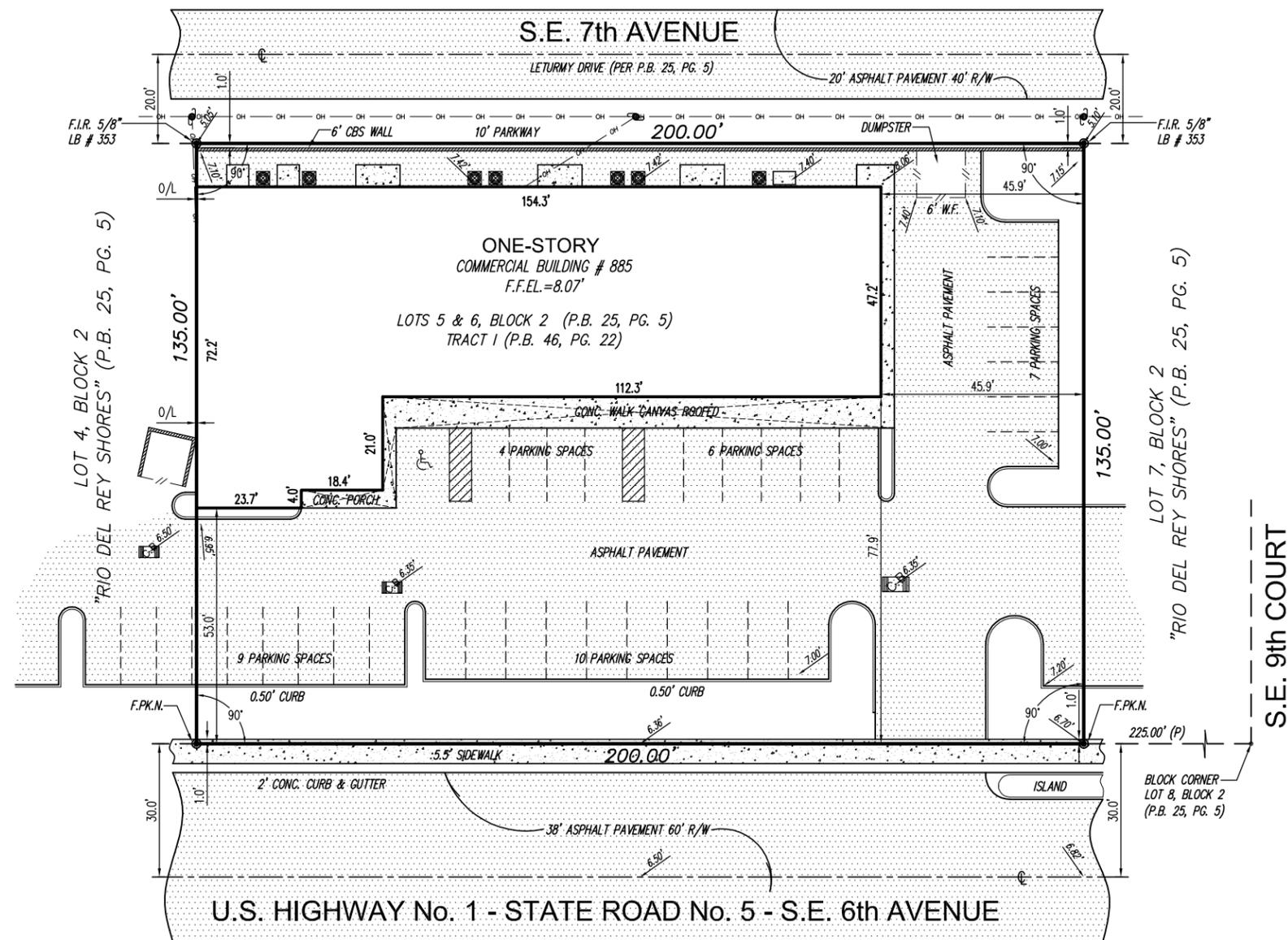
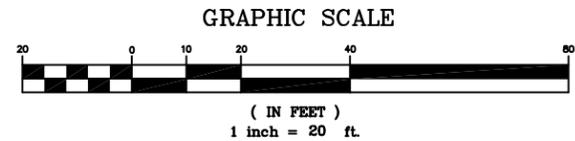
SYMBOLS

- AIR CONDITIONER
- CATCH BASIN
- WATER METER
- POOL PUMP
- WATER HEATER
- FIRE HYDRANT
- WATER VALVE
- CABLE BOX
- FPL TRANSFORMER
- ELECTRIC BOX
- TELEPHONE BOX
- MANHOLE
- UTILITY POLE
- LIGHT POLE
- CONCRETE POLE
- WOOD POLE
- EXISTING ELEVATION
- COVERED AREA
- CBS WALL
- OVERHEAD LINE (OH)
- CHAIN LINK FENCE (C.L.F)
- WOOD FENCE (W.F)
- METAL FENCE (M.F)
- PLASTIC FENCE (P.F)
- WIRE FENCE (W.F)

CERTIFIED TO:
1. INVESTMENTS LIMITED

LEGAL DESCRIPTION:

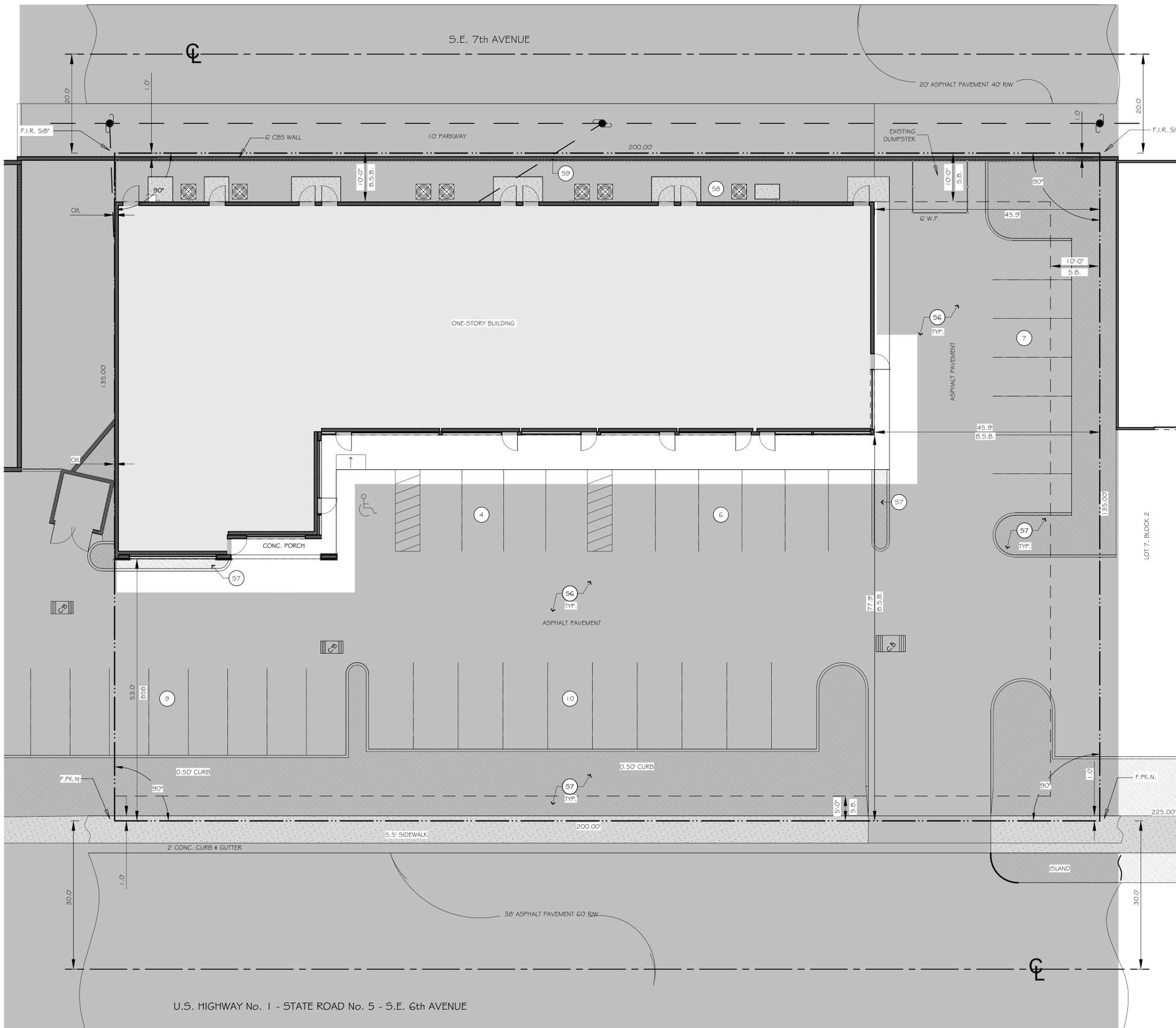
ALL OF MAYFAIR, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 46, AT PAGE 22, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; SAID PLAT ALSO BEING A REPLAT OF LOTS 5 AND 6, BLOCK 2, RIO DEL REY SHORES, RECORDED IN PLAT BOOK 25, AT PAGE 5, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA



NOTE: THIS SURVEY WAS PREPARED FOR CONVEYANCE, TITLE AND MORTGAGE FINANCING PURPOSES. IT IS NOT INTENDED FOR CONSTRUCTION AND PERMITTING. ADDITIONAL INFORMATION MAY BE OBTAINED FROM THIS OFFICE, IF REQUIRED. SUBSURFACE FEATURES NOT LOCATED. THIS SURVEY EXCEEDS THE REQUIRED ACCURACY FOR SUBURBAN MEASUREMENTS OF 1 FOOT IN 7,500 FEET.

GENERAL NOTES:
ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1928. UNLESS OTHERWISE NOTED. LOCATIONS ARE LIMITED TO VISIBLE IMPROVEMENTS ONLY AS SHOWN HEREON THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY BASELINE ENGINEERING & LAND SURVEYING INC. FOR EASEMENTS, RIGHT-OF-WAYS OF RECORD, OTHER RESTRICTIONS OR RESERVATIONS. DESCRIPTIONS PROVIDED BY CLIENT, OR THEIR REPRESENTATIVE. PLAT, DEED & MEASURED DIMENSIONS ARE THE SAME UNLESS OTHERWISE NOTED.

TITLE: MAP OF BOUNDARY SURVEY			SCALE: 1" = 20'	NOTES/REVISIONS		CERTIFICATION:	
COMMUNITY PANEL # 125102-0004-D	FLOOD ZONE: AE	BASIS OF BEARING: ANGLES MEASURED	DRAWN BY: ELF			THIS SURVEY MEETS MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.	
DATE OF FIRM: 01/05/1989	BASE FLOOD EL.: 7.00'	BENCHMARK REFERENCES: N/A	CHECKED BY: E.W.D.	FIELD BOOK: FOLDER PAGE: N/A		Date	
PROPERTY ADDRESS: 885 S.E. 6th AVENUE, DELRAY BEACH, FLORIDA 33445			PARTY CHIEF: PABLO		ERNEST W. DUNCAN, P.S.M. State of Florida Professional Surveyor & Mapper No. 5182		FOUNDED IN 1993 BASELINE ENGINEERING AND LAND SURVEYING, INC. 1400 N.W. 1st COURT BOCA RATON, FLORIDA 33432 (561) 417-0700 LB-6439 JOB NO.: 14-05-016 SHEET NO. 1
			SURVEY DATE: 05/14/14		NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.		



SITE PLAN NOTES:

- S1 THE DRAINAGE, WATER & SEWER FACILITIES FOR THE SUBJECT PROPERTY ARE EXISTING AND ANY MODIFICATIONS TO THESE FACILITIES NECESSARY TO SERVE THE PROPOSED IMPROVEMENTS INDICATED ON THIS SITE PLAN WILL BE IN ACCORDANCE WITH THE STANDARDS & SPECIFICATIONS OF THE CITY OF DELRAY BEACH & ALL OTHER APPLICABLE GOVERNMENTAL AGENCIES.
- S2 REFER TO SHEET G2.0 & G2.1 FOR SPECIFICATIONS.
- S3 CONTRACTOR TO BRING TO ARCHITECT ATTENTION ANY DISCREPANCIES BETWEEN DRAWINGS, SPECS, AND FIELD CONDITIONS, PRIOR TO COMMENCEMENT OF WORK.
- S4 "E" INDICATES EXISTING TO REMAIN, "N" INDICATES NEW, AND "RE" INDICATES TO BE RELOCATED.
- S5 NO WORK TO BE DONE. PROTECT ALL EXISTING CONDITIONS THAT REMAIN.
- S6 EXISTING PARKING LOT TO REMAIN, PROTECT AS NECESSARY, NO WORK TO BE DONE.
- S7 GC TO CULTIVATE AND CLEAN EXISTING LANDSCAPE ONLY. EXISTING PLANTINGS TO REMAIN.
- S8 GC TO WALK AND PROVIDE CLEAN-UP RECOMMENDATION TO REAR OF BUILDING. CLEAN UP ALL DEBRIS AND HIDEFIX ALL EXPOSED OR DAMAGED WIRING.
- S9 GC TO CHECK CONDITION OF EXISTING 6' CBS WALL. PATCH AND REPAIR AS NECESSARY AND PAINT TO MATCH EXISTING COLOR. PRESSURE WASH AS NEEDED.

BUILDING SETBACKS	REQUIRED	PROPOSED
FRONT / WEST	: 0'-0"	EXISTING - 77'-9"
REAR / EAST	: 0'-0"	EXISTING - 9'-1 0"
SIDE / SOUTH	: 0'-0"	EXISTING - 45'-9"
SIDE / NORTH	: 0'-0"	NA
BUILDING HEIGHT	: 45'-0"	30'-11"

SITE PLAN LEGEND

- AIR CONDITIONER
- CATCH BASIN
- HANDICAP
- WOOD POLE
- WOOD FENCE (W.F.)
- SETBACK
- CENTER LINE
- EXTERIOR WALL

SITE ABBREVIATIONS

- B.S.B.: BUILDING SETBACK
- S.B.: REQUIRED SETBACK

ARCHITECTURAL SEAL

885 SE 6TH AVENUE
 FACADE RENOVATION
 DELRAY BEACH, FL 33483

SHEET TITLE
 SITE PLAN

PROJECT NUMBER
 1020

PARTIAL RELEASE

FULL RELEASE

DRAWN

STAFF

SCALE

AS SHOWN

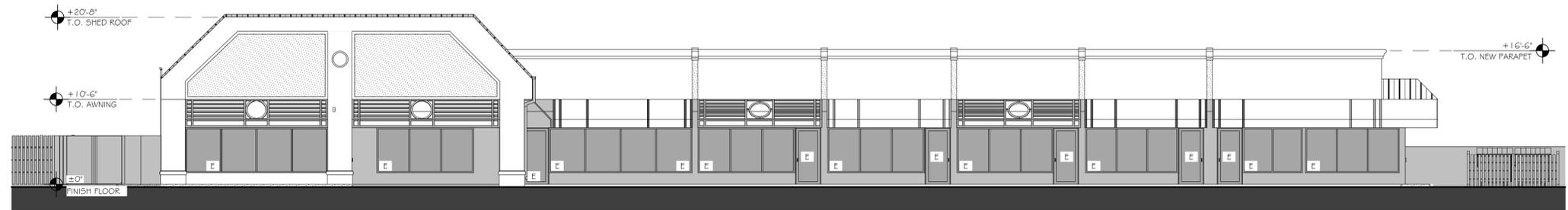
REVISIONS

AI.0

SITE PLAN

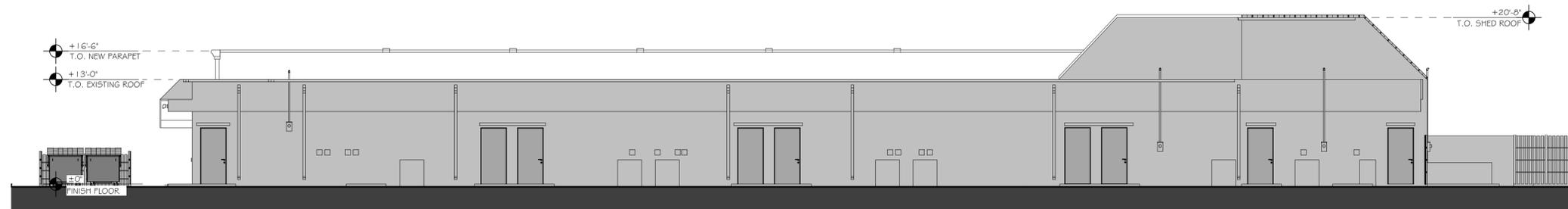
SITE PLAN





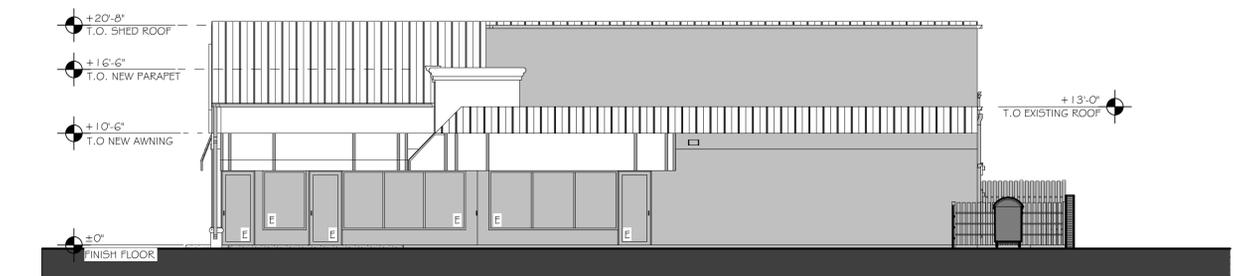
WEST ELEVATION

1/8" = 1'-0"



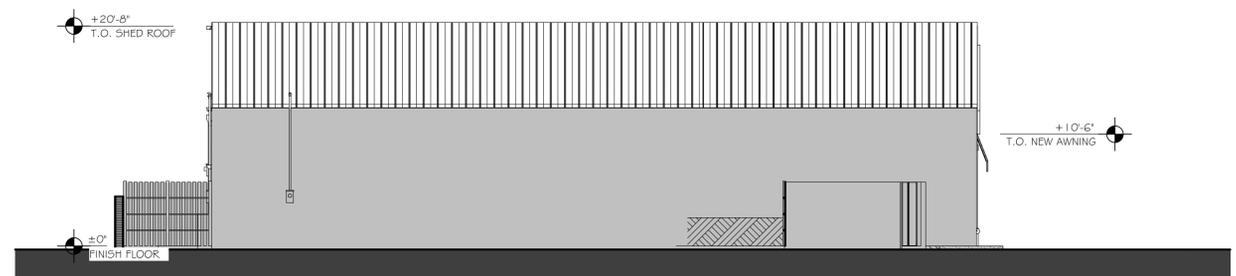
EAST ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"

ELEVATION NOTES:

- A1 "E" INDICATES EXISTING TO REMAIN, "N" INDICATES NEW, AND "RE" INDICATES TO BE RELOCATED.
- A2 [Hatched Box] NO WORK TO BE DONE. PROJECT ALL EXISTING CONDITIONS THAT REMAINS AS NECESSARY. TYPICAL ALL ADJACENT CONSTRUCTION AFFECTED BY CONSTRUCTION MUST BE FULLY RESTORED (TYP.)

FINISH LEGEND	
[Dotted Box]	MEDIUM STUCCO
[Smooth Box]	SMOOTH STUCCO
[Vertical Lines Box]	SEAMLESS METAL ROOF

ARCHITECTURAL ELEVATIONS