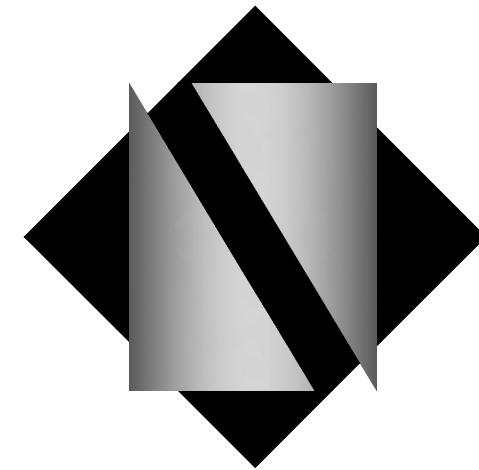


# THE EDGE AT PINEAPPLE GROVE

03/27/24 P&Z SUBMISSION

605 NE 2ND ST.  
DELRAY BEACH, FL 33483

FOR: ADVANCED DEVELOPMENT GROUP  
1084 ROUTE 22 WEST  
MOUNTAINSIDE, NJ 07092  
PHONE: 973-379-0006  
FAX: 973-379-1061



**NETTA**ARCHITECTS

ARCHITECTURE - PLANNING - INTERIOR DESIGN

ONE PARK PLACE, 621 NW 53RD STREET, SUITE 350  
BOCA RATON, FL 33487

TEL: 561.295.4500 FAX: 973-379-1061

CERTIFICATE OF AUTHORIZATION AA26003659



PROJECT LOCATION

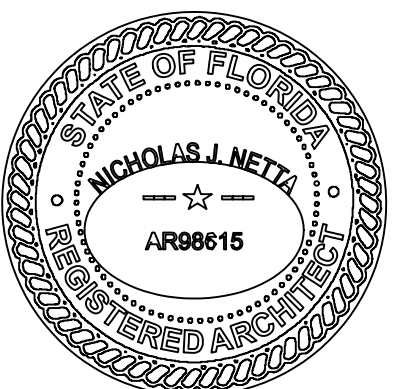


## PROJECT DIRECTORY

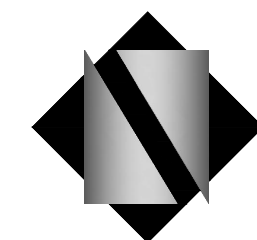
<b>NETTA ARCHITECTS</b>	Tel: 561.295.4500
ONE PARK PLACE, 621 NW 53RD STREET, SUITE 350 BOCA RATON, FL 33487	Fax: 973.379.1061

## CONSULTANTS

<b>Civil Engineer:</b>	
Dynamic Engineering Consultants, PC	Tel: 561.921.8570
100 NE 5th Avenue, Suite 82	
Delray Beach, FL 33483	
<b>Landscape Design:</b>	
Dynamic Engineering Consultants, PC	Tel: 561.921.8570
100 NE 5th Avenue, Suite 82	
Delray Beach, FL 33483	







**NETTA ARCHITECTS**  
ARCHITECTURE - PLANNING - INTERIOR DESIGN  
ONE PARK PLACE, 621 NW 58RD STREET, SUITE 359  
BOCA RATON, FL 33487  
TEL: 561.265.4500 FAX: 561.373-1061  
CERTIFICATE OF AUTHORIZATION AA26003659



**ZONING ANALYSIS**

LOT: 15,864 SF = 0.364 AC  
 ZONING DISTRICT: CBD (CENTRAL BUSINESS DISTRICT)  
 GOVERNING CODE  
 FLORIDA BUILDING CODE 2020 (SEVENTH EDITION) / 2020 FPPC  
 NFPA 1 UFC FLORIDA 2015 EDITION  
 NFPA 101 LSC FLORIDA 2015 EDITION  
 ARCHITECTURAL STYLE: MASONRY MODERN  
 FRONTAGE TYPE ON NE 6TH AVE: STOOP  
 FRONTAGE TYPE ON NE 2ND STREET: STOOP  
 TOTAL BUILDING FOOTPRINT: 7,758 SF (48.90% OF SITE)

ITEM	REQUIREMENT	PROPOSED	VARIANCE	WAVAR
<b>LOTS</b>				
GROSS AREA		15,864 SF (PRE-DEDICATION)		
		15,417 SF (POST-DEDICATION)		
NET AREA	NA	15,417 (EXIST)		
DIMENSIONS	NA	130'X122.4' (EXIST)		
FLOOD ZONE	NA	ZONE X (EXIST)		
WATER BODIES	NA	NA		

ITEM	REQUIREMENT	PROPOSED	VARIANCE	WAVAR
<b>TOTAL IMPERVIOUS SPACE</b>				
TOTAL IMPERVIOUS SPACE	NA	11,892 SF (77.05%)		
TOTAL PERVIOUS SPACE	NA	3,525 SF (22.95%)		
OPEN SPACE	NA	3,525 SF (22.95%)		
MAX DENSITY	30 DU/ACRE	30 X 0.364 ACRE = 10.925 UNITS PROPOSED = 8 (22 DU/ACRE)		
REQUIRED CIVIC SPACE	NA	NA		

ITEM	REQUIREMENT	PROPOSED	VARIANCE	WAVAR
<b>SETBACKS</b>				
FRONT (FEDERAL HIGHWAY)	10' MIN, 15' MAX	10'		
FRONT (NE 2ND ST)	10' MIN, 15' MAX	10'		
REAR	10'	10'		
SIDE INTERIOR (ALLEY)	10'	10'		
FRONT SETBACK ABOVE 3RD STORY (FROM PRIMARY FACADE)	20'	20'		
FRONT SETBACK ABOVE 3RD STORY (FROM ALLEY PROPERTY LINE)	30'	30'		
<b>PARKING</b>				
3-BED UNIT	14 SPACES (1.75 PER UNIT)	16 SPACES		
GUEST	4 SPACES (0.5 PER UNIT)	2 SPACES		
BICYCLE	1 SPACE (10 PER UNIT)	2 SPACES		
EV PARKING	30% (6)	8 SPACES		
<b>TERRACE PLANTER</b>				
TERRACE PLANTER	10% OF TERRACE AREA	18%(TYP. UNIT), 15%(END UNIT)		

ITEM	REQUIREMENT	PROPOSED	VARIANCE	WAVAR
<b>ADDITIONAL BULK STANDARDS</b>				
MAX HEIGHT	54' / 4 STORIES	54' / 4 STORIES		
MIN. DWELLING UNIT SIZE	1,250 SF	4,142 SF		
MIN. BUILDING FRONTAGE	75% (FEDERAL HIGHWAY)	78% (97'-0")		
MIN. BUILDING FRONTAGE	75% (NE 2ND AVE)	78% (90'-0")		

**SITE UTILITIES**

PURSUANT TO LDR SECTION 6.1.8 UTILITY FACILITIES SERVING THE DEVELOPMENT SHALL BE LOCATED UNDERGROUND THROUGHOUT THE DEVELOPMENT.

**ALTERNATIVE FUEL PARKING SPACE**

EACH UNIT TO HAVE ELECTRIC CAR CHARGING STATION = 8

FLOOR	WEST BLOCK	EAST BLOCK	AREA
GROUND	3,879 SF	3,879 SF	7,758 SF
SECOND	4,174 SF	4,174 SF	8,348 SF
THIRD	4,174 SF	4,174 SF	8,348 SF
FOURTH	2,187 SF	2,187 SF	4,374 SF
BALCONY	2,064 SF	2,064 SF	4,128 SF
<b>TOTAL</b>	<b>16,478 SF</b>	<b>16,478 SF</b>	<b>32,956 SF</b>

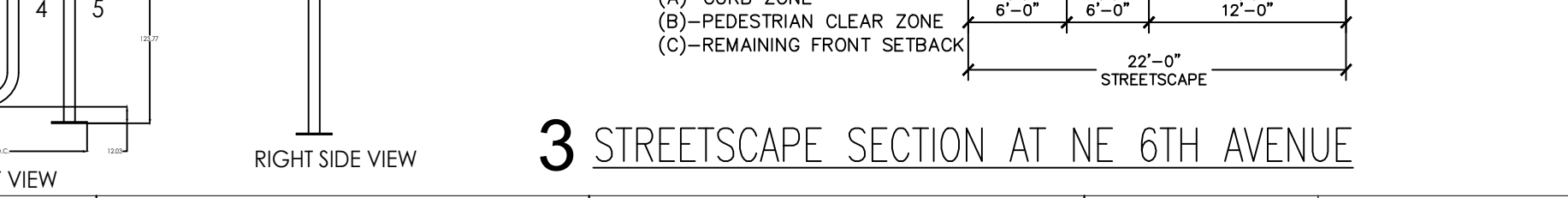
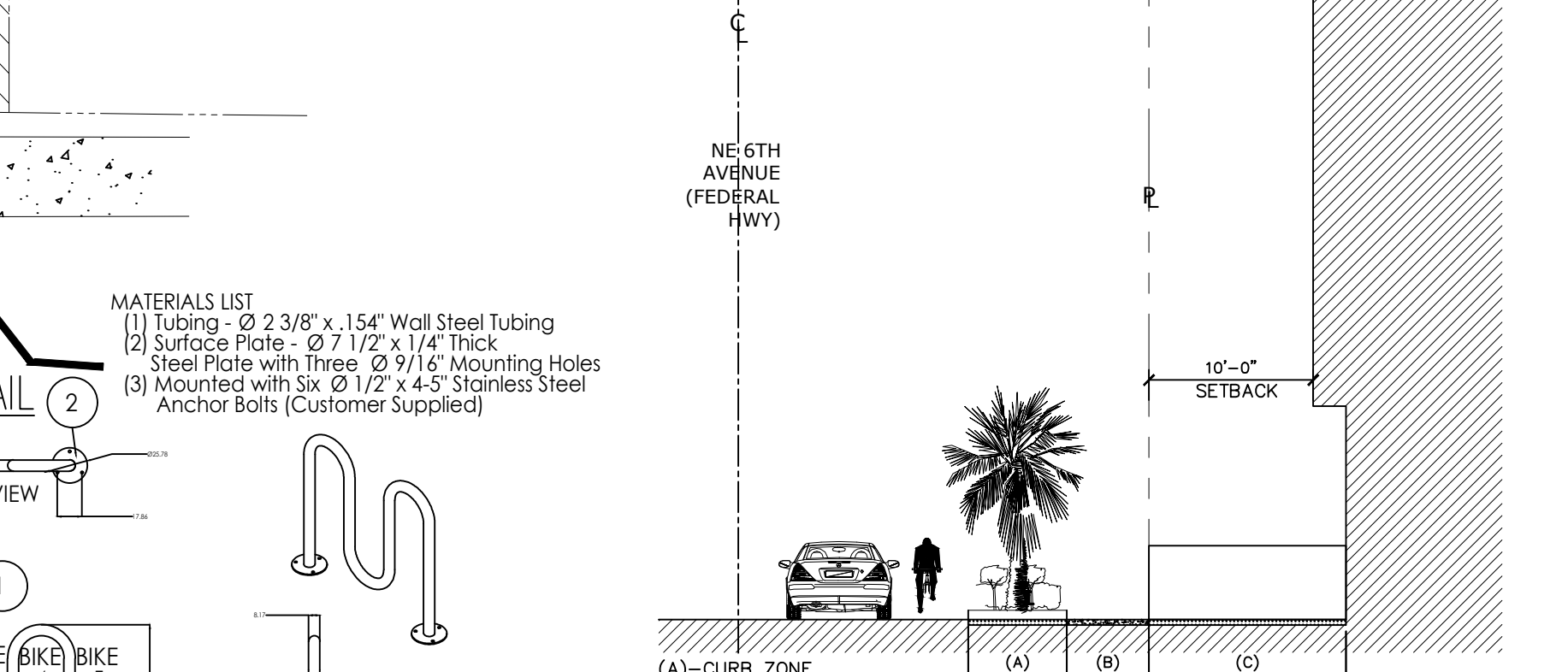
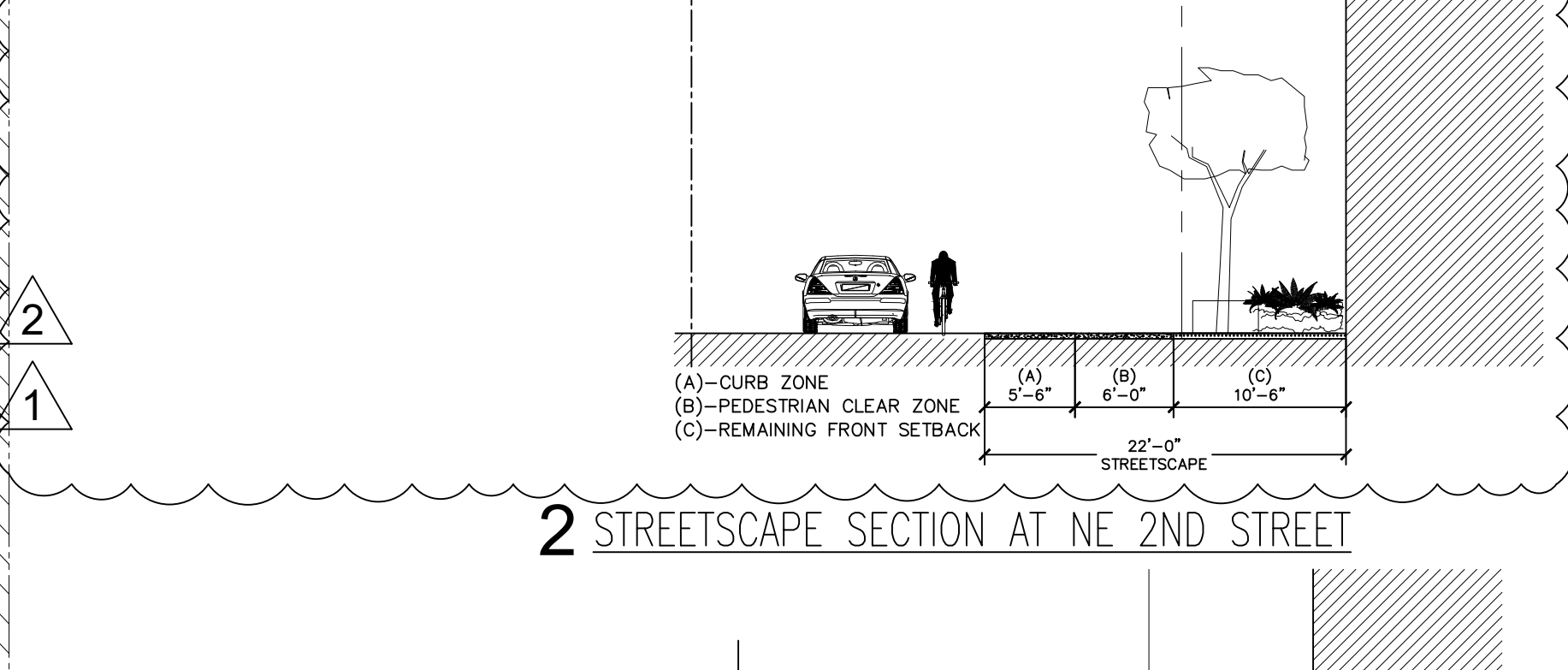
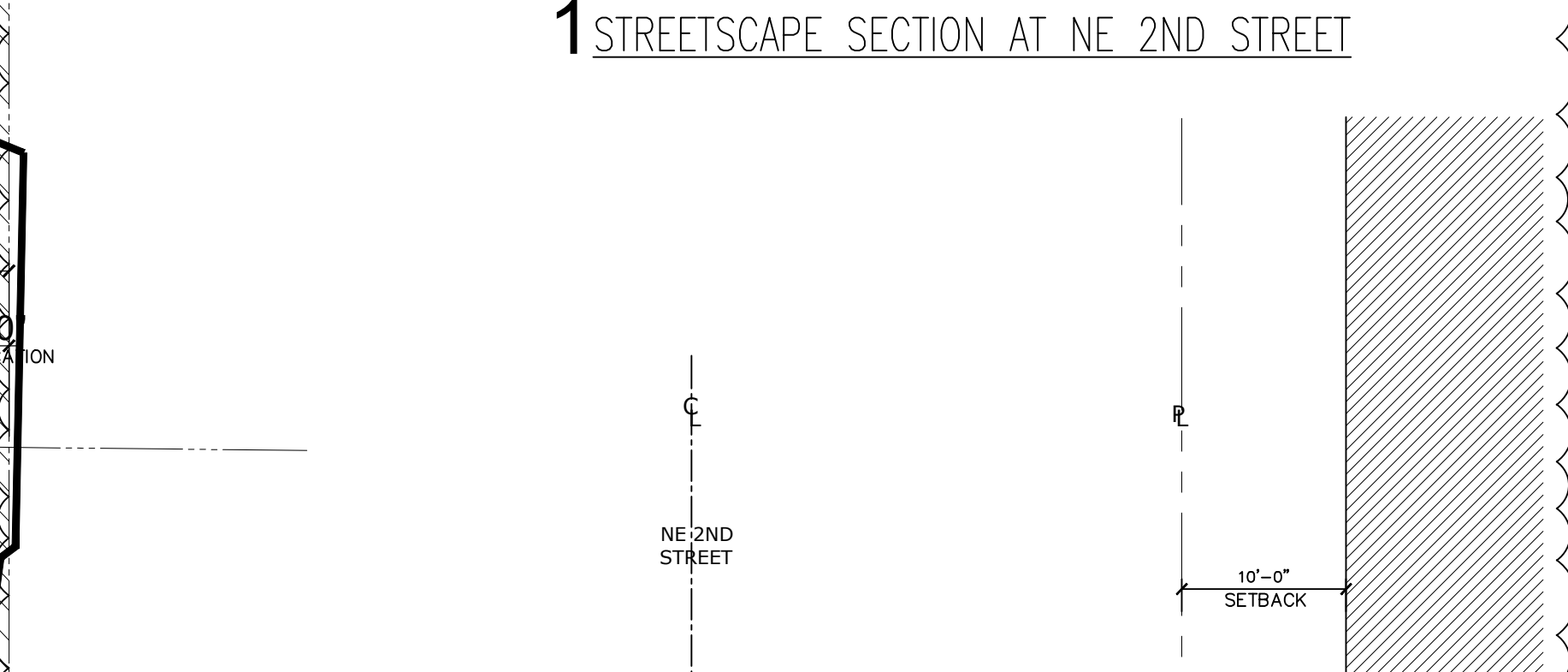
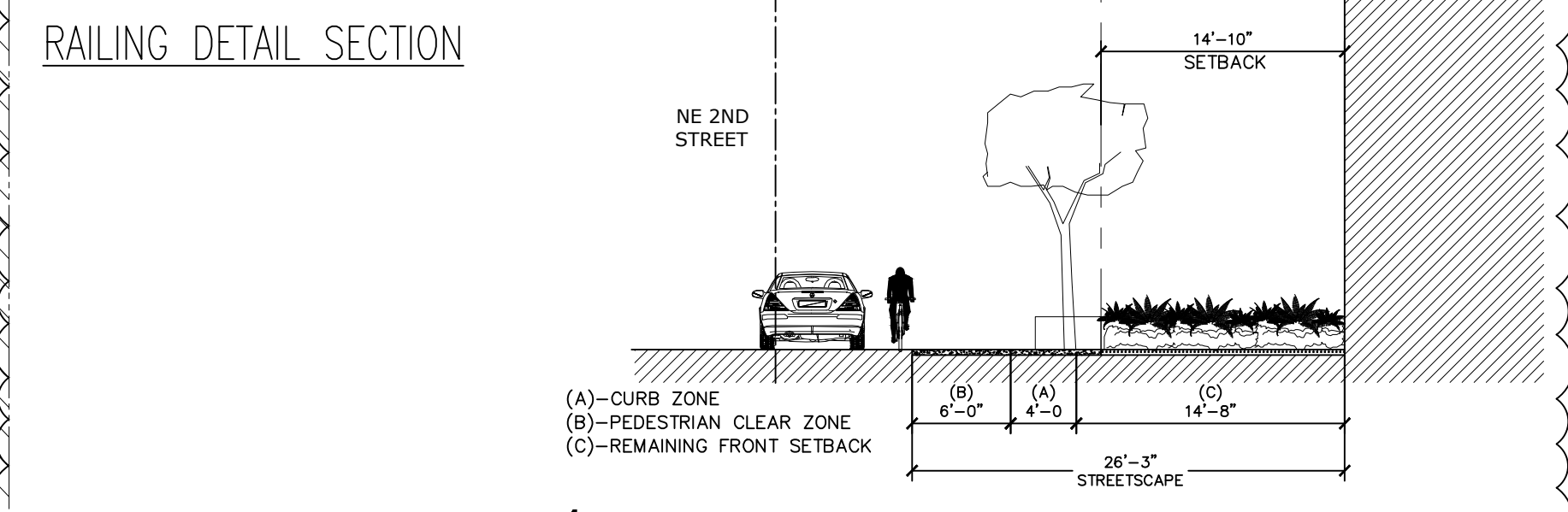
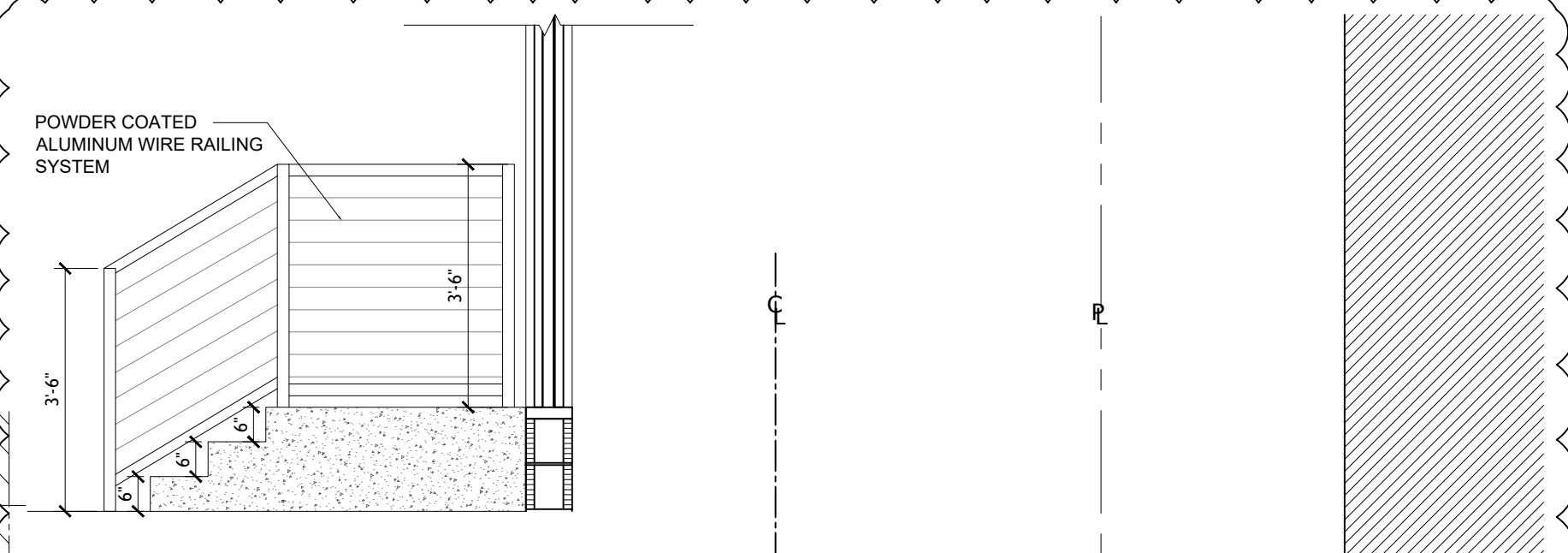
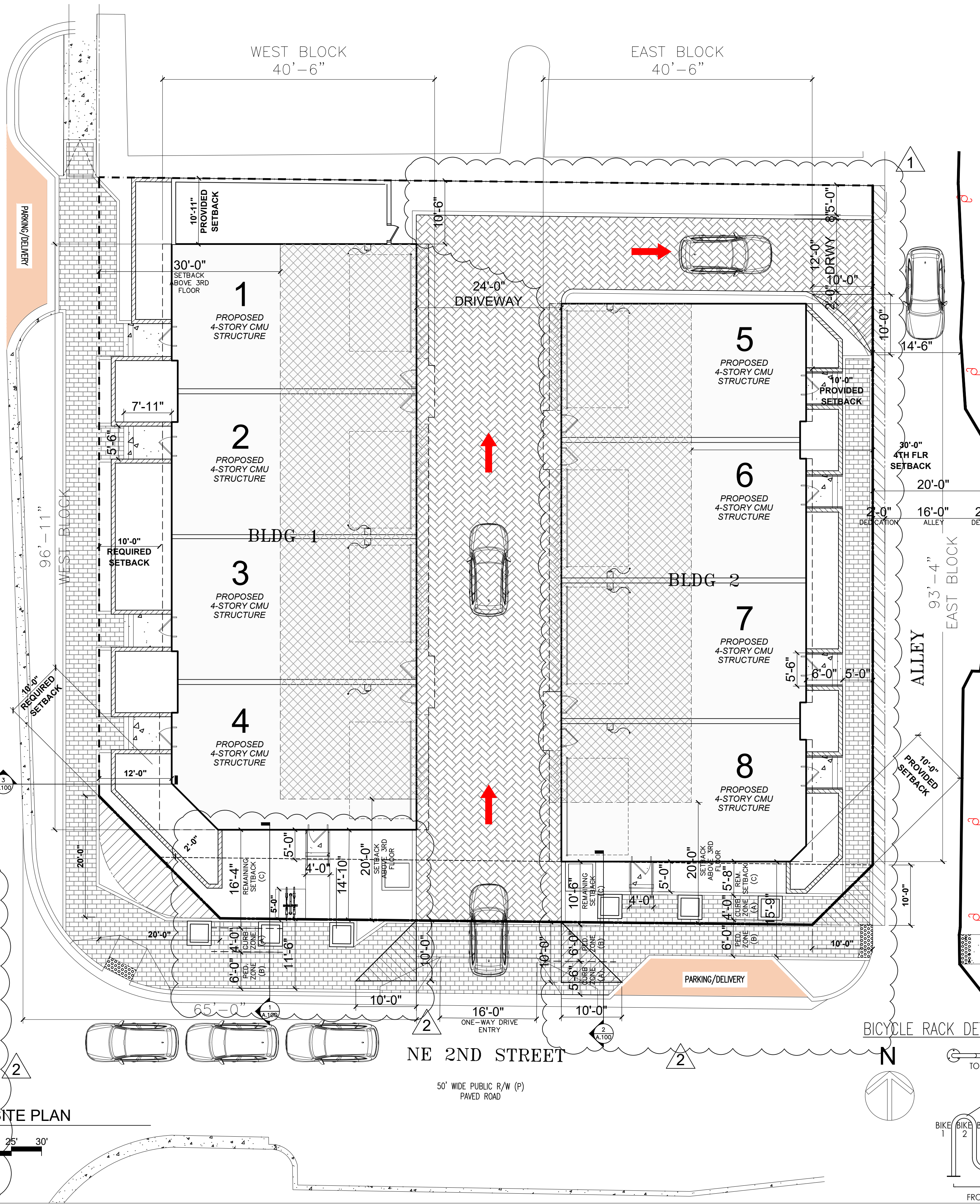
TABLE 4.4.12(F) DIMENSIONAL REQ. FOR STOOPS ALONG NE 6TH AVE			TABLE 4.4.12(F) DIMENSIONAL REQ. FOR STOOPS ALONG NE 2ND STREET - BLDG 2		
MINIMUM	MAXIMUM	PROVIDED	MINIMUM	MAXIMUM	PROVIDED
BUILDING SETBACK	10 FT	15 FT	12 FT 6 INCHES	10 FT	15 FT
DEPTH	5 FT	8 FT	7 FT 11 INCHES	5 FT	8 FT
WIDTH	4 FT	-	5 FT 6 INCHES	4 FT	-
FLOOR ELEVATION	1 FT	5 FT	1 FT 6 INCHES	1 FT	5 FT

TABLE 4.4.12(F) DIMENSIONAL REQ. FOR STOOPS ALONG NE 2ND STREET - BLDG 1		
MINIMUM	MAXIMUM	PROVIDED
BUILDING SETBACK	10 FT	15 FT
DEPTH	5 FT	8 FT
WIDTH	4 FT	-
FLOOR ELEVATION	1 FT	5 FT

TABLE 4.4.12(F) DIMENSIONAL REQ. FOR STOOPS ALONG ALLEY		
MINIMUM	MAXIMUM	PROVIDED
BUILDING SETBACK	10 FT	15 FT
DEPTH	5 FT	8 FT
WIDTH	4 FT	-
FLOOR ELEVATION	1 FT	5 FT

**1 PROPOSED ARCHITECTURAL SITE PLAN**

SCALE: 1"=10'  
 GRAPHIC SCALE: 0 5' 10' 15' 20' 25' 30'

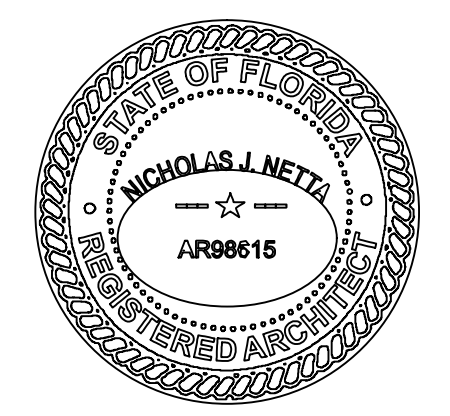


SUBMISSIONS:		REVISIONS:		DATE:	
		02.12.24	P&Z COMMENTS	CB	06.28.2022
		03.26.24	P&Z COMMENTS	CB	AS SHOWN
				CHECKED BY:	NJN
				JOB NO.:	2211647
				DRAWING NO.:	

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NICHOLAS J. NETTA, AIA, NCARB  
 FL REGISTRATION # AR98615



DATE OF SIGNATURE:  
 02/14/2024

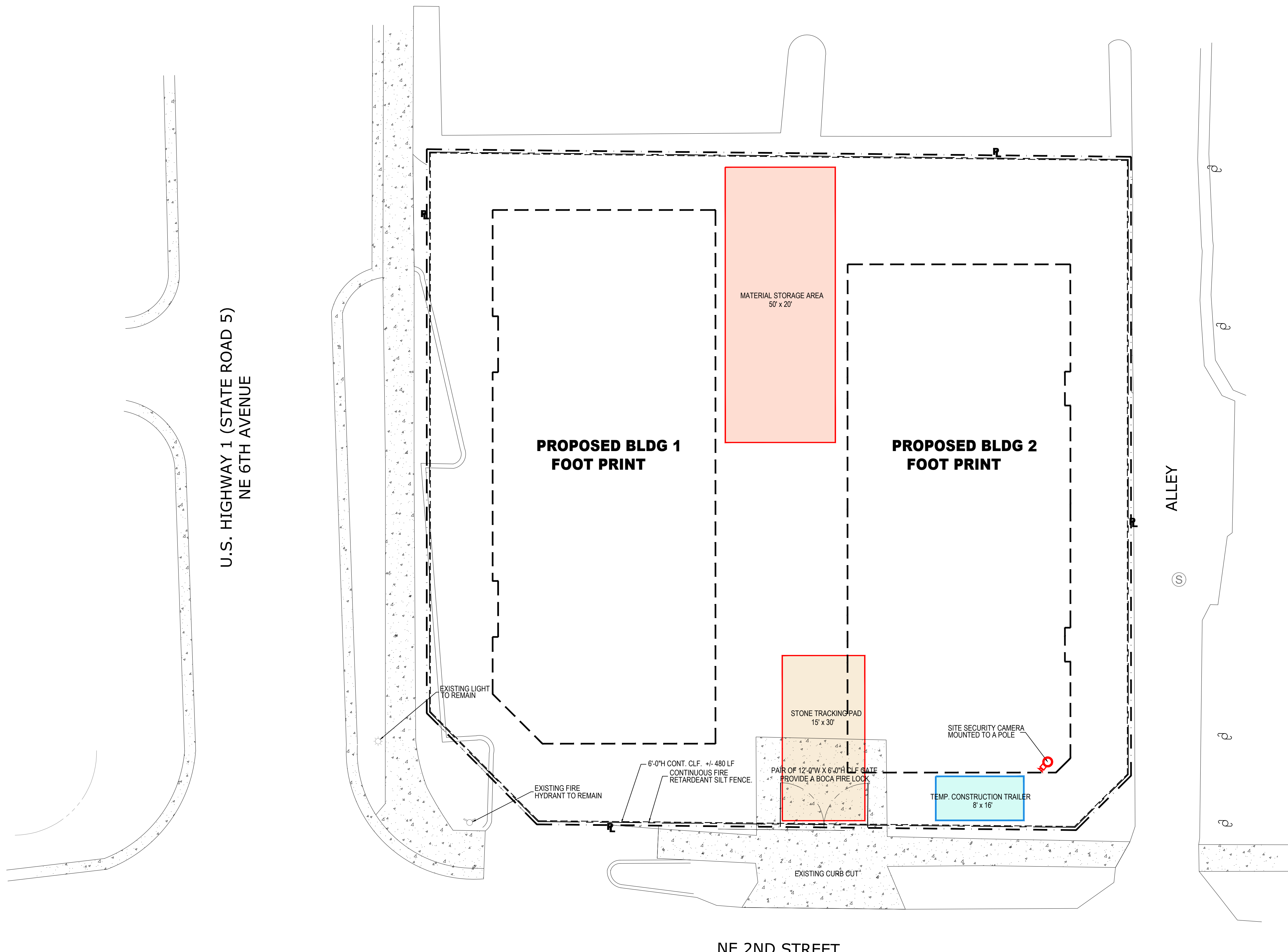


PROJECT: ADVANCED DEVELOPMENT  
**DELRAY BEACH**  
**RESIDENTIAL DEVELOPMENT**  
 605 NE 2ND ST  
 DELRAY BEACH, FL

SHEET CONTENTS:  
**PROPOSED ARCHITECTURAL SITE PLAN**

**A.100**

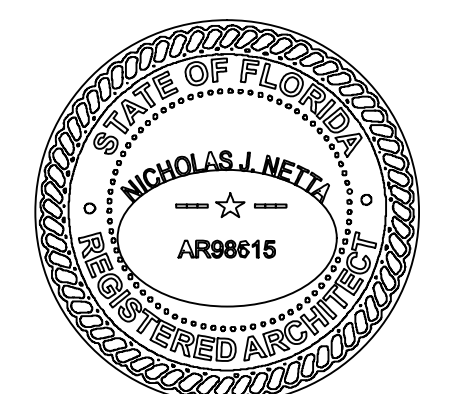




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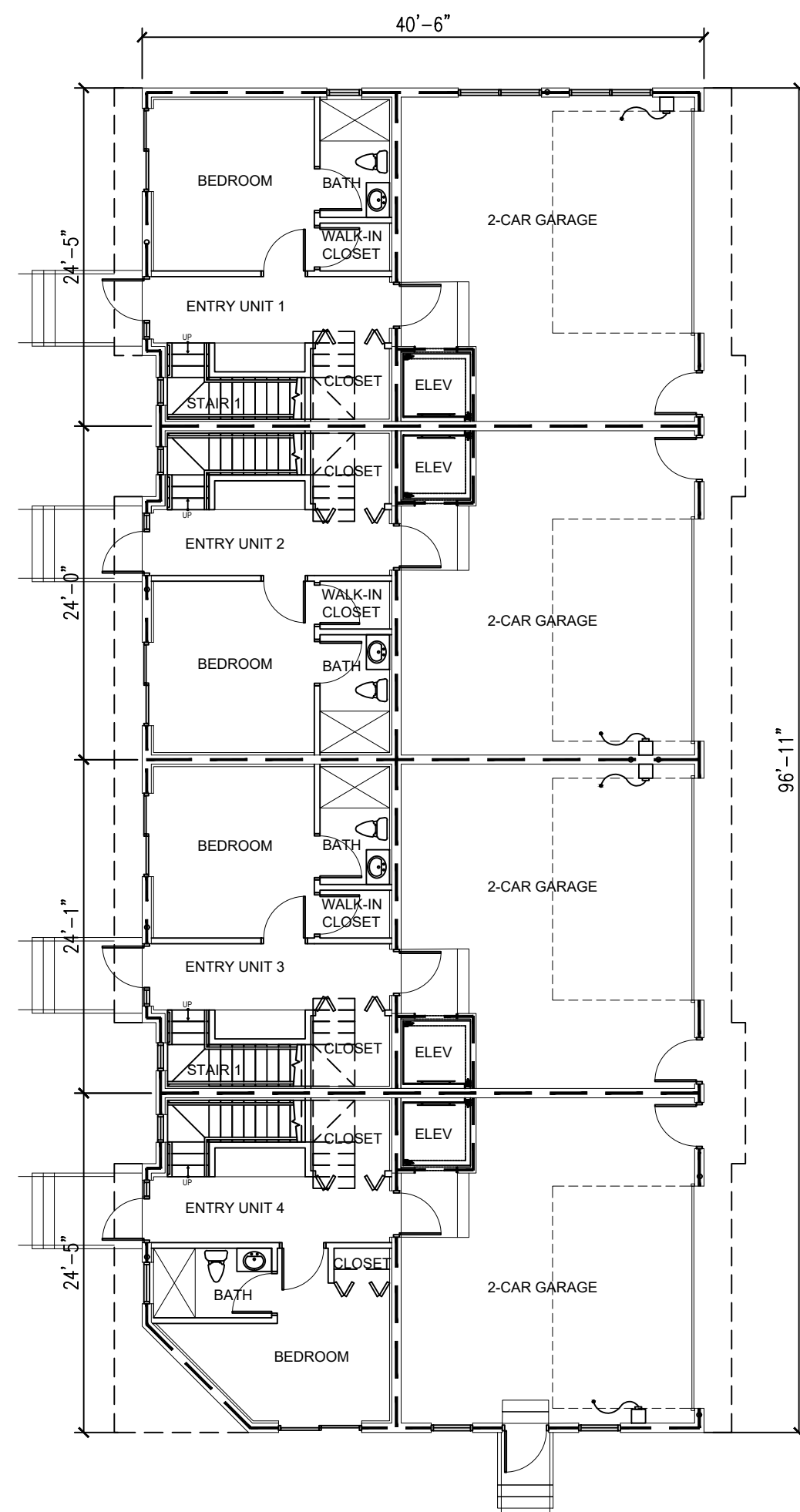
PROJECT: **ADVANCED DEVELOPMENT  
DELRAY BEACH  
RESIDENTIAL DEVELOPMENT**  
605 NE 2ND ST  
DELRAY BEACH, FL

SHEET CONTENTS:  
**PROPOSED PHASING AND  
STAGING PLAN**

SUBMISSIONS:	REVISIONS:	DATE:
	02.12.24	06.28.2022
	03.26.24	AS SHOWN
		TD
		NJN
		2211647
		DRAWING NO.:

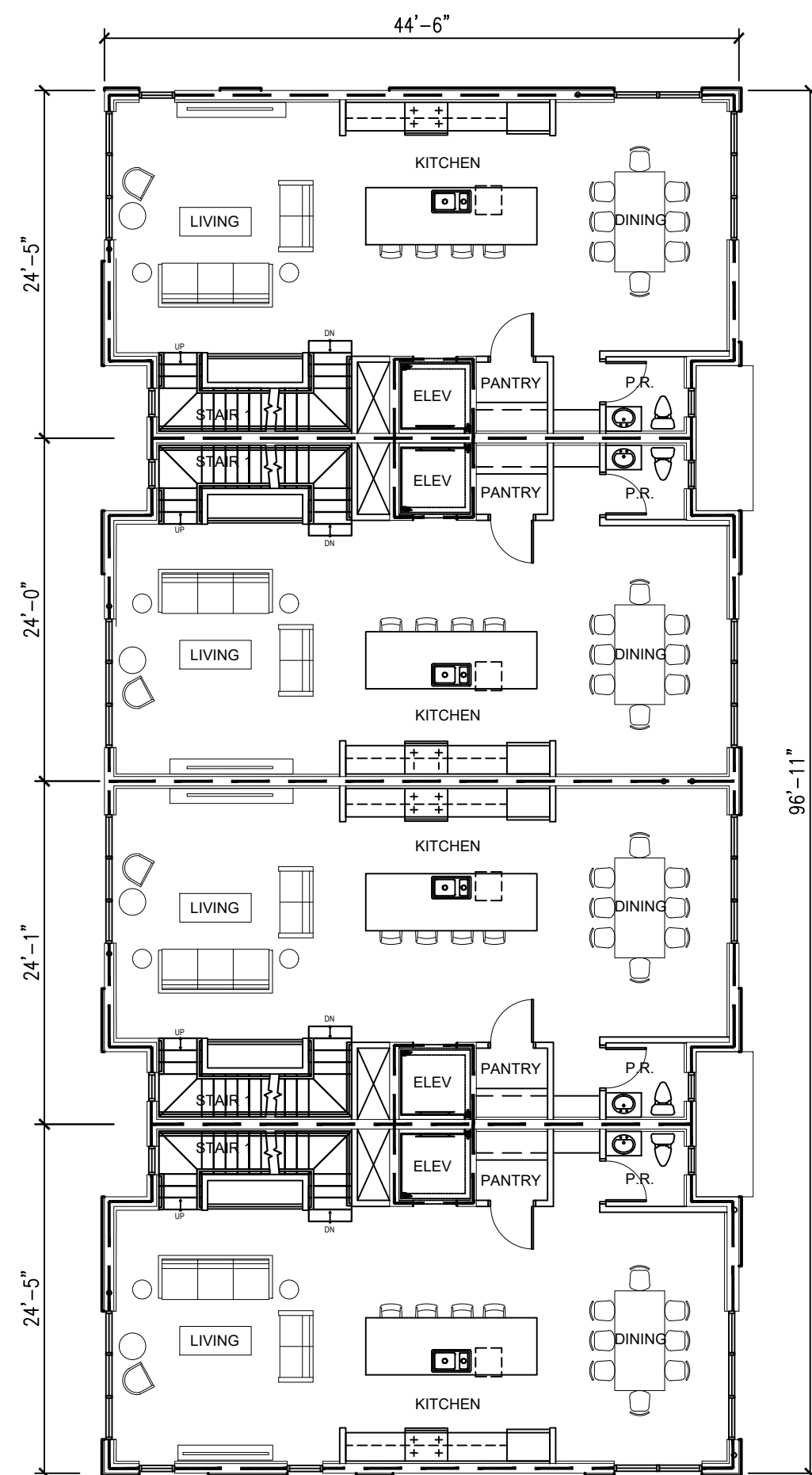
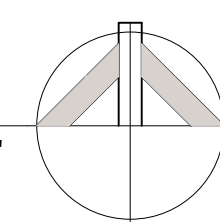
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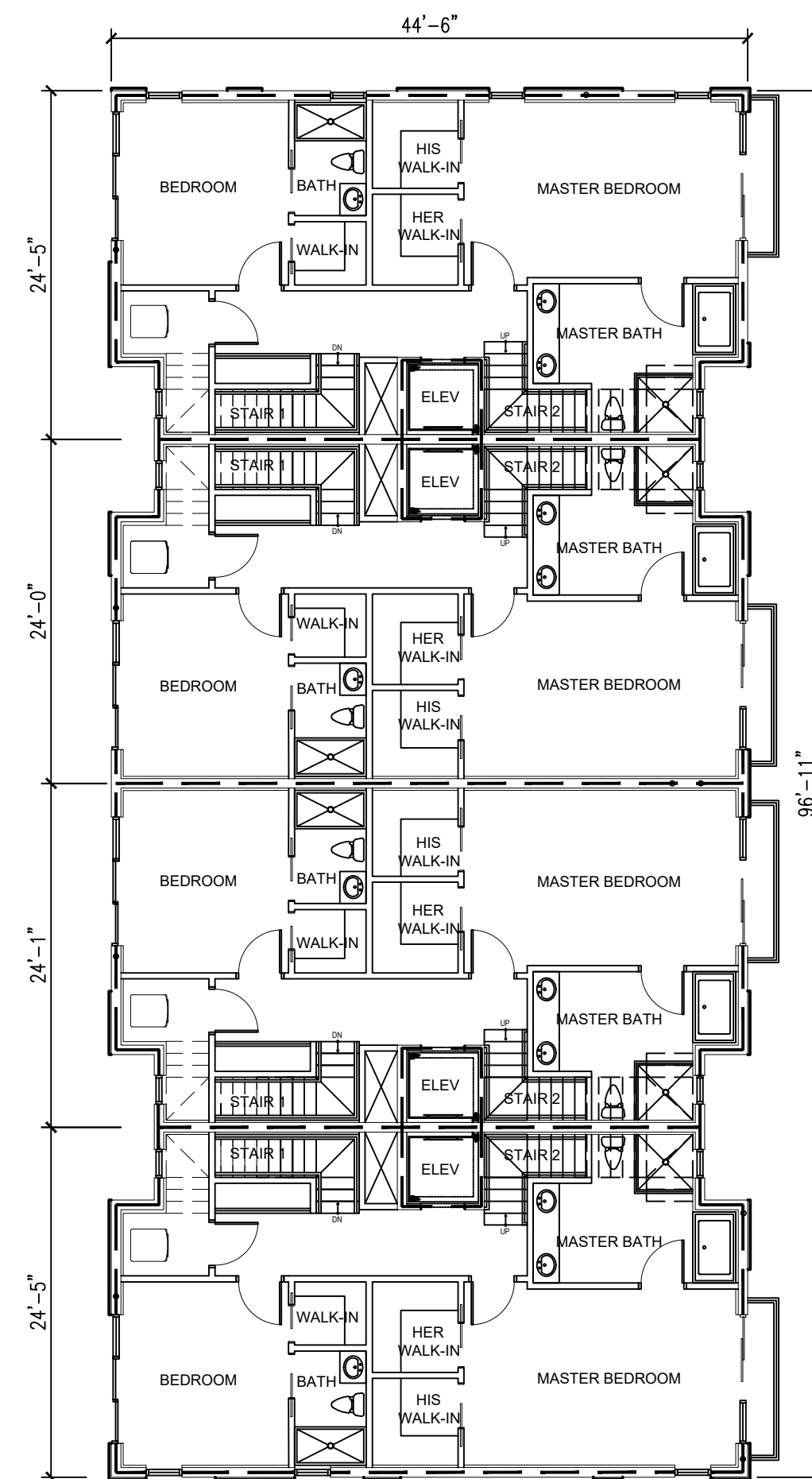
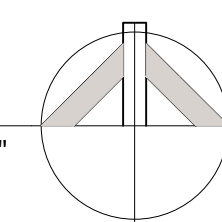
**FIRST FLOOR PLAN**

BUILDING 1 SCALE: 3/32" = 1'-0"



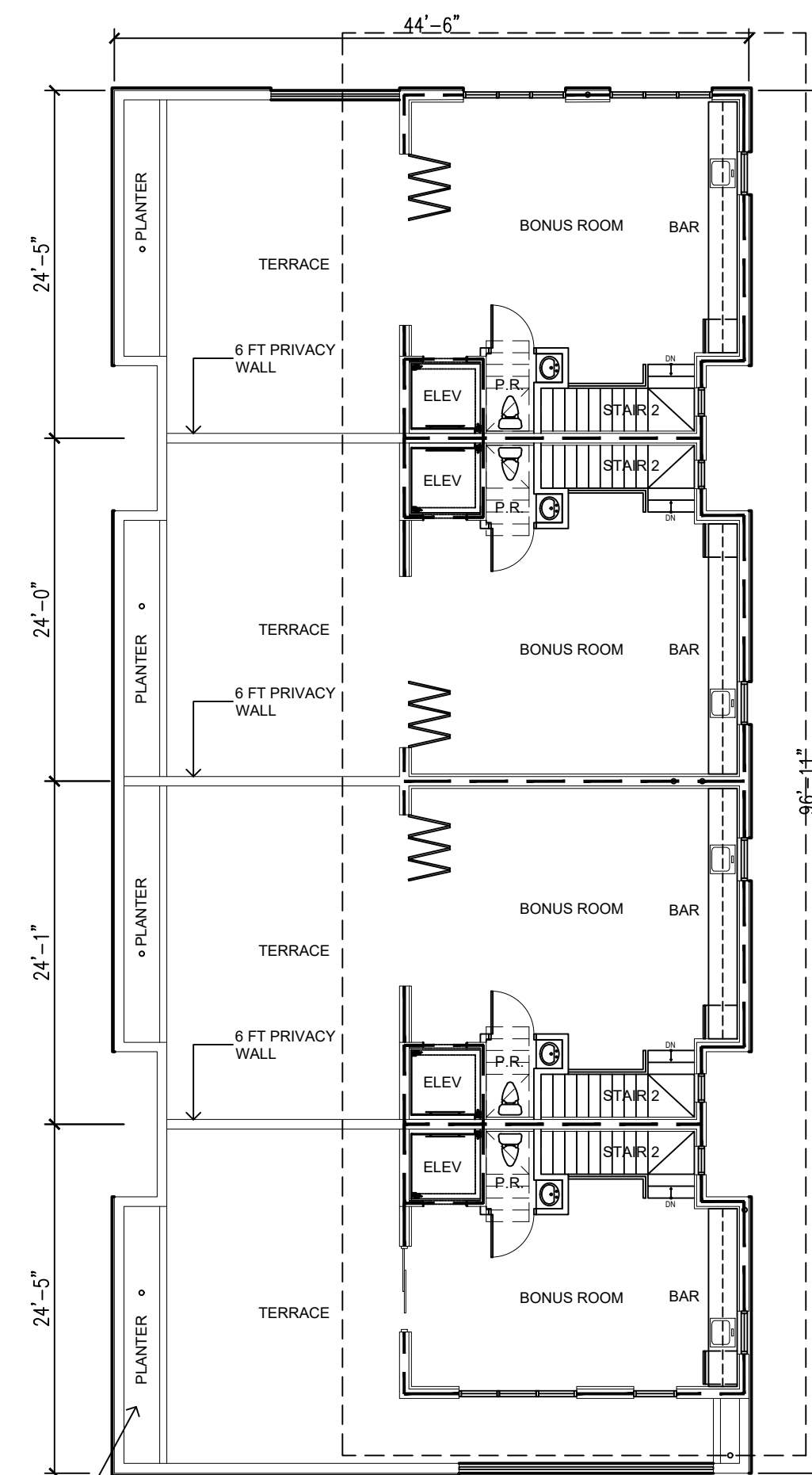
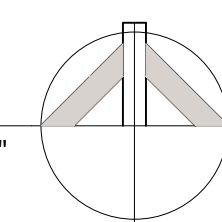
**SECOND FLOOR PLAN**

BUILDING 1 SCALE: 3/32" = 1'-0"



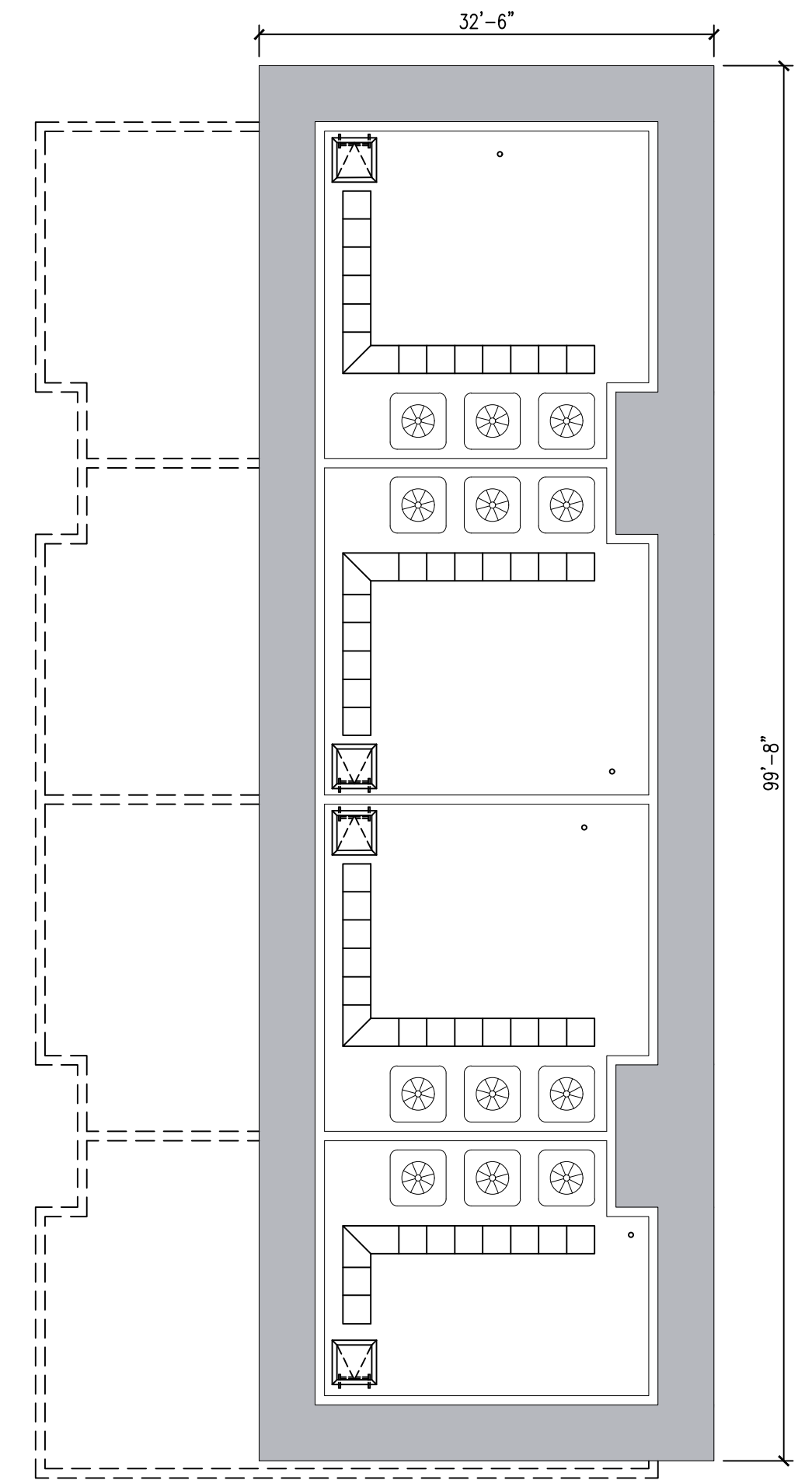
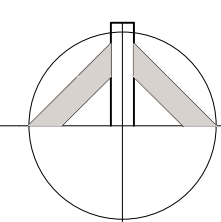
**THIRD FLOOR PLAN**

BUILDING 1 SCALE: 3/32" = 1'-0"



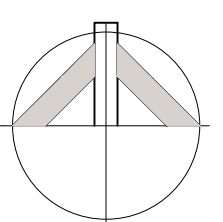
**FOURTH FLOOR PLAN**

BUILDING 1 SCALE: 3/32" = 1'-0"



**ROOF PLAN**

BUILDING 1 SCALE: 3/32" = 1'-0"



ALL UNITS HAVE 4FT PLANTERS WITH 2FT OF VEGETATION ALONG TERRACES, TOTALING FOR 6FT SCREENING (ALONG PUBLIC ALLEY). WHERE PLANTERS ARE NOT INSTALLED, A 6FT PRIVACY WALL ACTS AS REQUIRED SCREENING.

**ROOF SPECIFICATION**

NOTE: THE PROJECT WILL USE ENERGY STAR ROOF COMPLIANT, HIGH REFLECTIVE AND HIGH EMISSIVITY ROOFING INITIAL REFLECTANCE OF AT LEAST 0.85 AND THREE YEAR AVERAGE REFLECTANCE OF AT LEAST 0.8 WHEN TESTED IN ACCORDANCE WITH ASTM E933 AND EMISSIVITY OF AT LEAST 0.8 WHEN TESTED IN ACCORDANCE WITH ASTM 4089 FOR A MINIMUM OF 75% OF THE ROOF SURFACE.

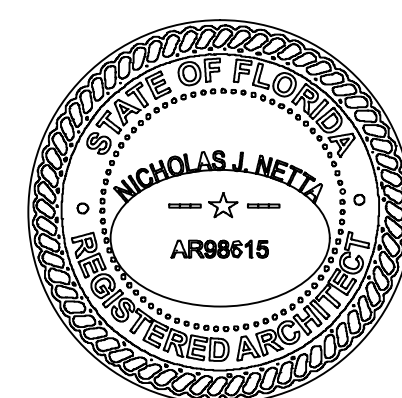
HATCHED AREAS REPRESENT HIGH REFLECTIVE/EMISSIVITY ROOFING = 1,900 SF  
 TOTAL ROOF AREA = 2,244 SF  
 AREA OF HIGH REFLECTIVE/EMISSIVITY ROOFING = 88% OF ROOF AREA

ROOFTOP LANDSCAPE PERCENTAGE UNITS 1-3,5-7	ROOFTOP LANDSCAPE PERCENTAGE UNIT 4	ROOFTOP LANDSCAPE PERCENTAGE UNIT 8
TOTAL ROOF TOP SQUARE FOOTAGE 442 S.F.	TOTAL ROOF TOP SQUARE FOOTAGE 653 S.F.	TOTAL ROOF TOP SQUARE FOOTAGE 621 S.F.
TOTAL REQUIRED LANDSCAPE AT ROOF TOP 44.2 S.F. (10% MIN.)	TOTAL REQUIRED LANDSCAPE AT ROOF TOP 65.3 S.F. (10% MIN.)	TOTAL REQUIRED LANDSCAPE AT ROOF TOP 62.1 S.F. (10% MIN.)
TOTAL PROPOSED LANDSCAPE AT ROOF TOP 60 S.F. (14%)	TOTAL PROPOSED LANDSCAPE AT ROOF TOP 75 S.F. (11%)	TOTAL PROPOSED LANDSCAPE AT ROOF TOP 63 S.F. (10%)

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 FL REGISTRATION # AR98615



DATE OF SIGNATURE:  
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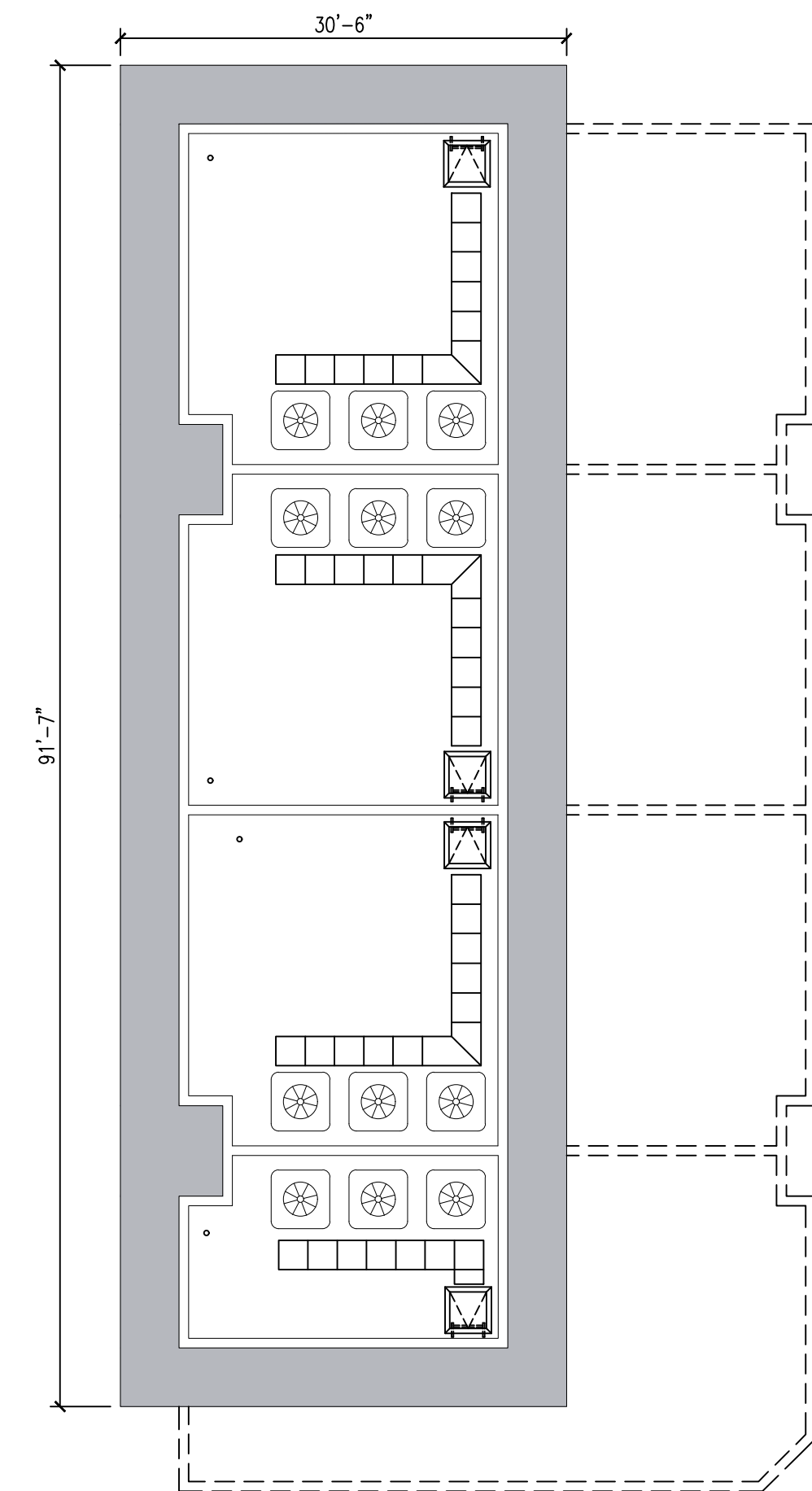
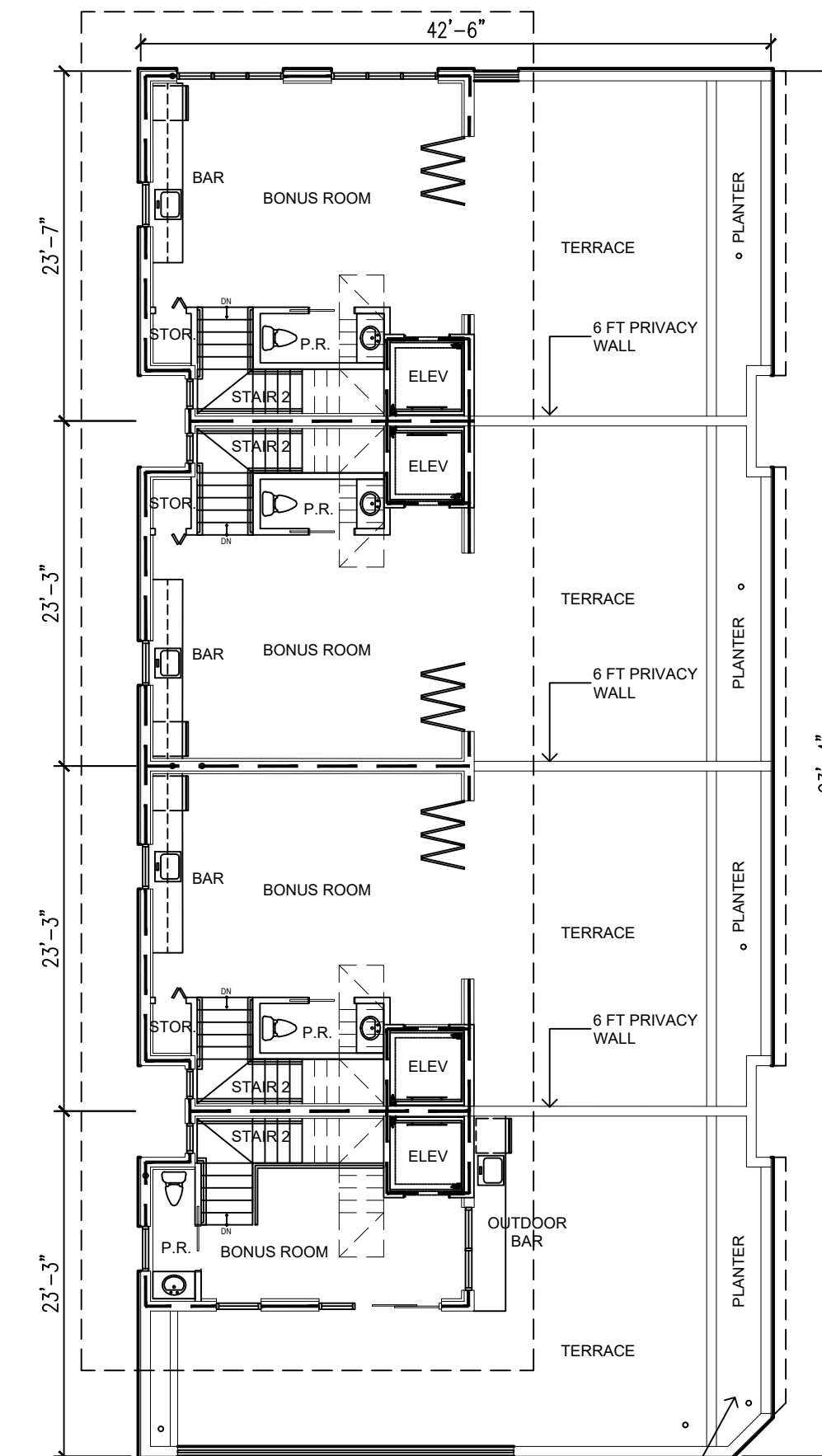
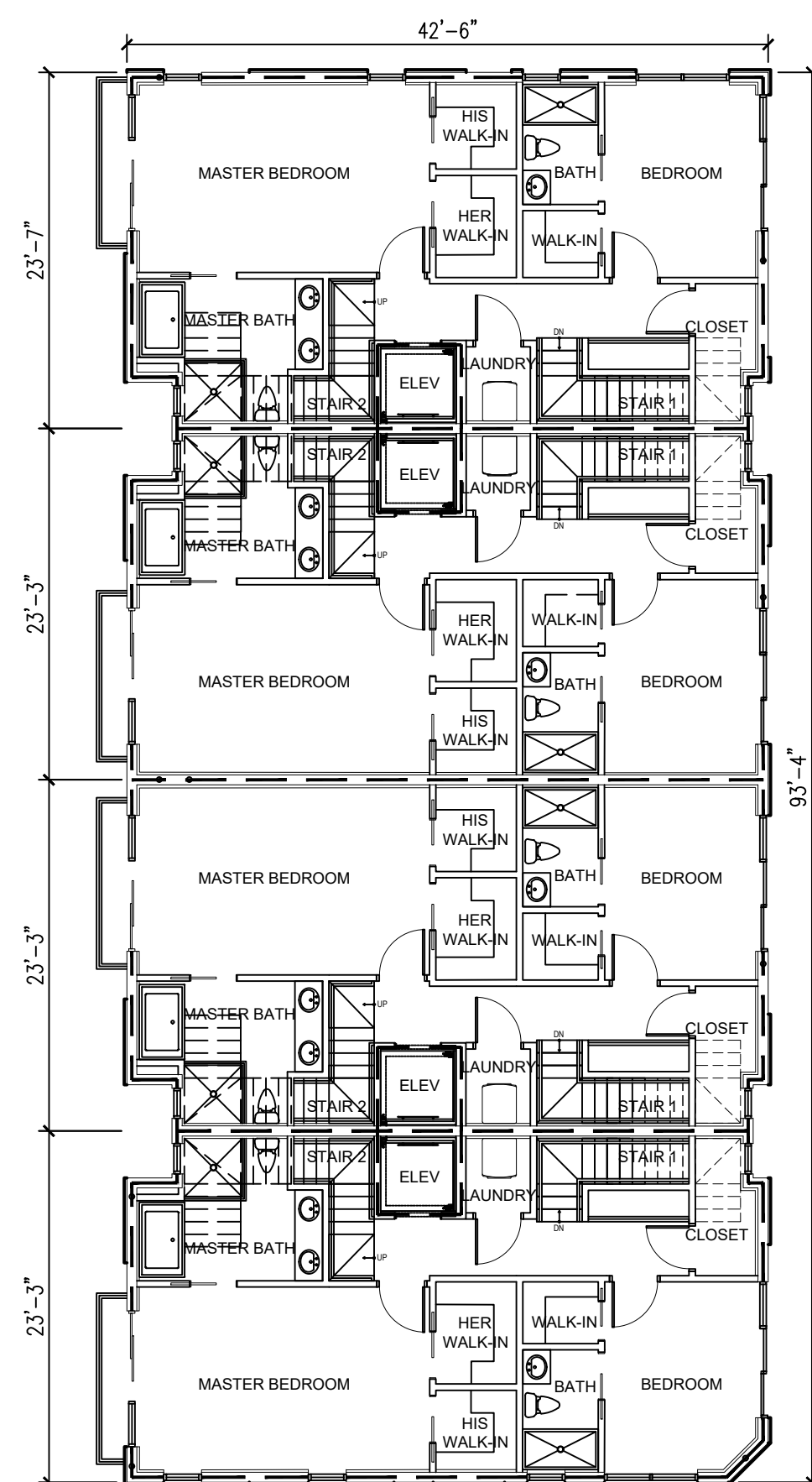
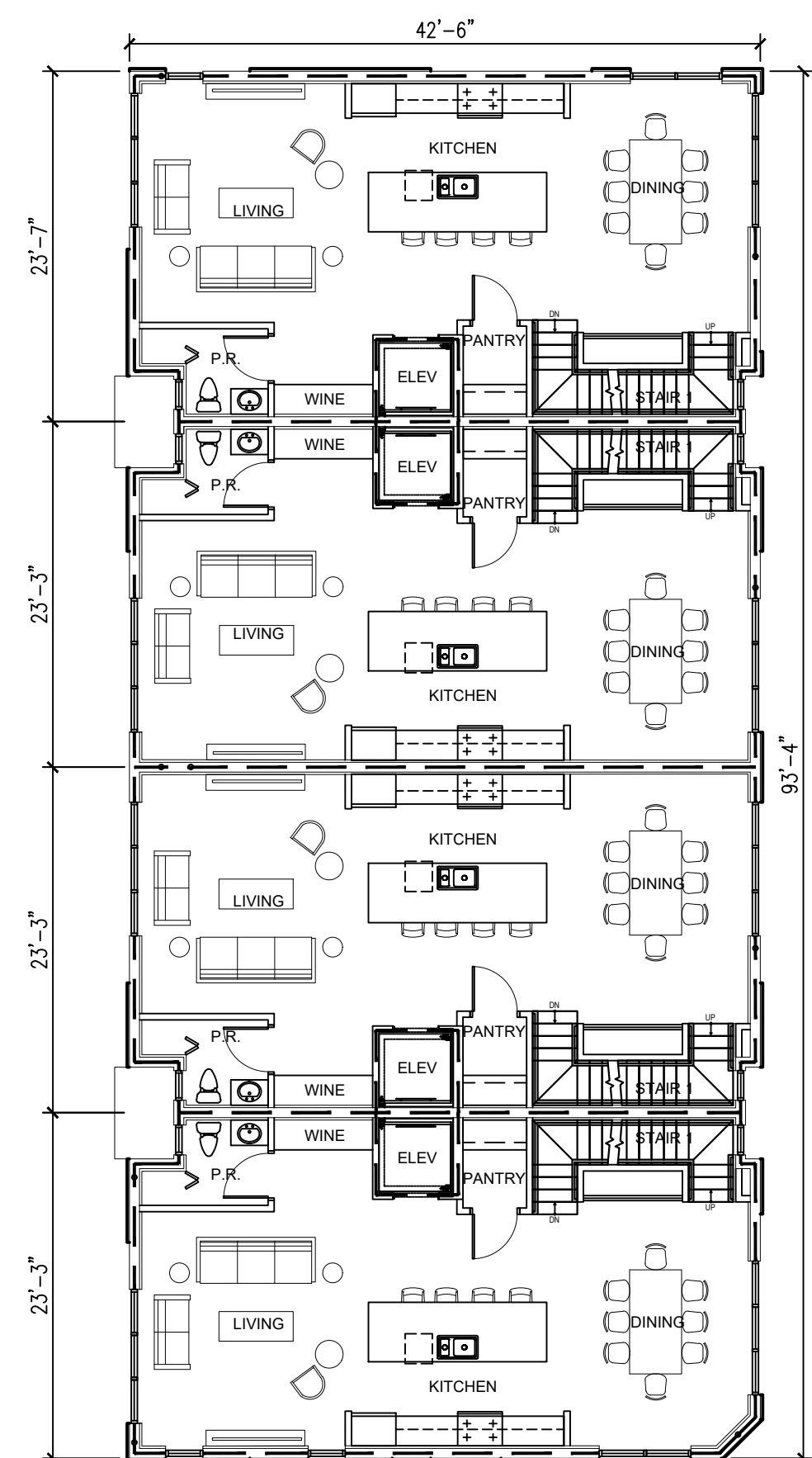
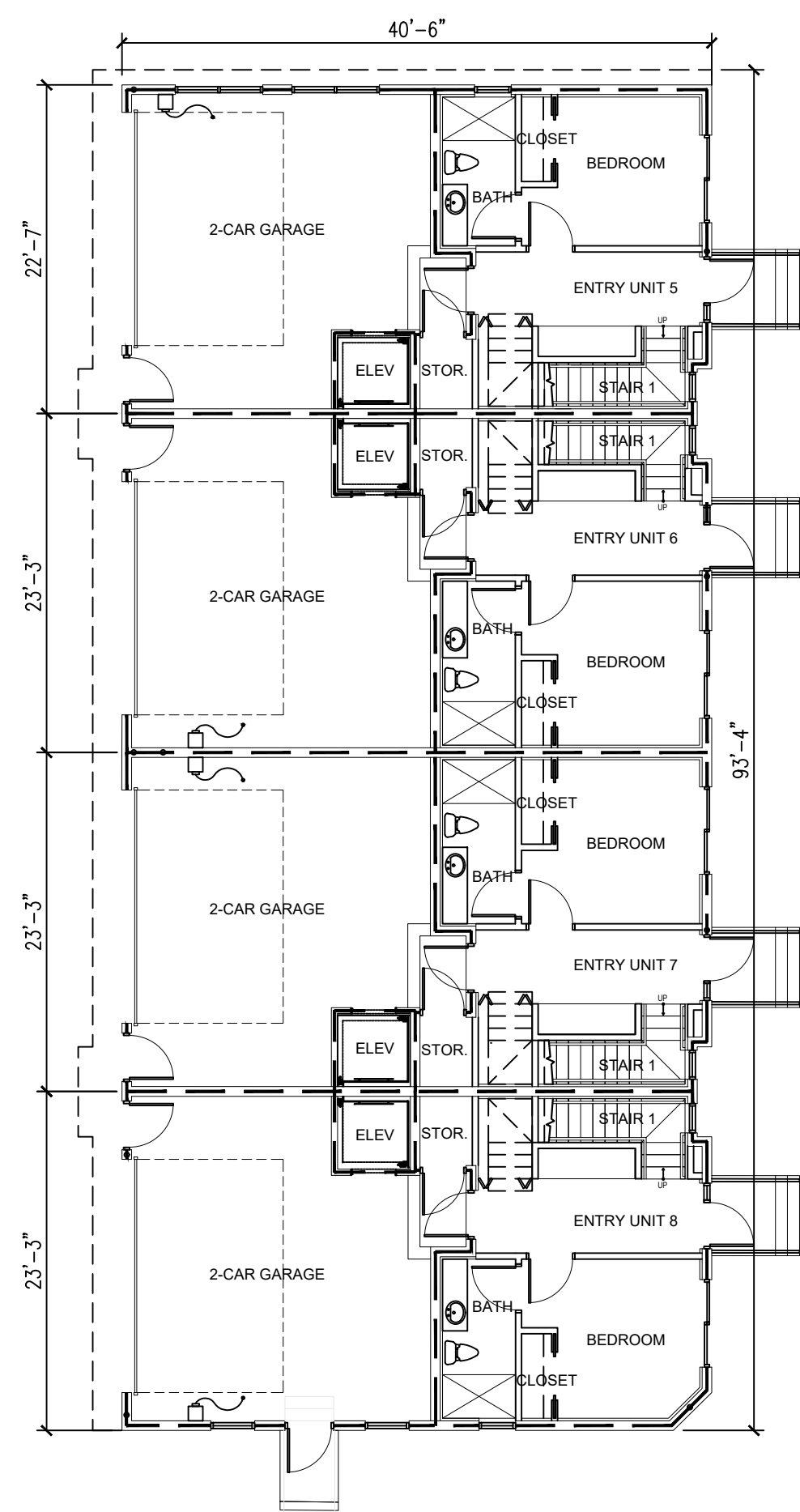
PROJECT: **ADVANCED DEVELOPMENT DELRAY BEACH RESIDENTIAL DEVELOPMENT**  
 605 NE 2ND ST  
 DELRAY BEACH, FL

SHEET CONTENTS:  
**OVERALL FLOOR PLANS BUILDING 1**

SUBMISSIONS:	REVISIONS:	DATE:	SCALE:
	02.12.24	P&Z COMMENTS	AS SHOWN
	03.26.24	P&Z COMMENTS	
		CHECKED BY: NJN	
		JOB NO.: 2211647	
		DRAWING NO.:	

**A.101**

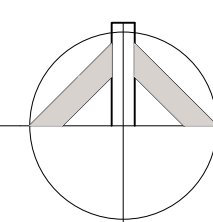




ALL UNITS HAVE 4FT PLANTERS WITH 2FT OF VEGETATION ALONG TERRACES, TOTALING FOR 8FT SCREENING (ALONG PUBLIC ALLEY). WHERE PLANTERS ARE NOT INSTALLED, A 6FT PRIVACY WALL ACTS AS REQUIRED SCREENING.

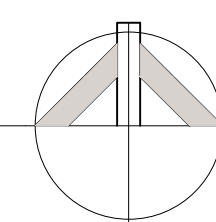
**FIRST FLOOR PLAN**

BUILDING 2 SCALE: 3/32" = 1'-0"



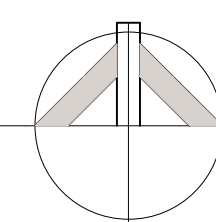
**SECOND FLOOR PLAN**

BUILDING 2 SCALE: 3/32" = 1'-0"



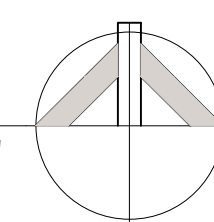
**THIRD FLOOR PLAN**

BUILDING 2 SCALE: 3/32" = 1'-0"



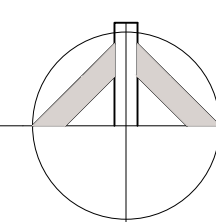
**FOURTH FLOOR PLAN**

BUILDING 2 SCALE: 3/32" = 1'-0"



**ROOF PLAN**

BUILDING 2 SCALE: 3/32" = 1'-0"



**ROOF SPECIFICATION**

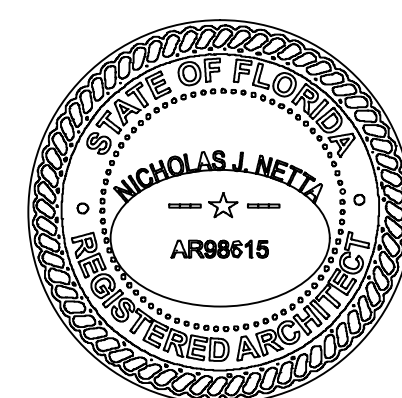
NOTE: THE PROJECT WILL USE ENERGY STAR ROOF COMPLIANT, HIGH REFLECTIVE AND HIGH EMISSIVITY ROOFING INITIAL REFLECTANCE OF AT LEAST 0.85 AND THREE YEAR-AGED REFLECTANCE OF AT LEAST 0.5 WHEN TESTED IN ACCORDANCE WITH ASTM E903 AND EMISSIVITY OF AT LEAST 0.8 WHEN TESTED IN ACCORDANCE WITH ASTM 4388 FOR A MINIMUM OF 75% OF THE ROOF SURFACE.  
 HATCHED AREAS REPRESENT HIGH REFLECTIVE/EMISSIVITY ROOFING = 1,990 SF  
 TOTAL ROOF AREA = 2,244 SF  
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TOTAL REQUIRED LANDSCAPE AT ROOF TOP 44.2 S.F. (10% MIN.)	TOTAL REQUIRED LANDSCAPE AT ROOF TOP 65.3 S.F. (10% MIN.)	TOTAL REQUIRED LANDSCAPE AT ROOF TOP 62.1 S.F. (10% MIN.)
TOTAL PROPOSED LANDSCAPE AT ROOF TOP 60 S.F. (14%)	TOTAL PROPOSED LANDSCAPE AT ROOF TOP 75 S.F. (11%)	TOTAL PROPOSED LANDSCAPE AT ROOF TOP 63 S.F. (10%)

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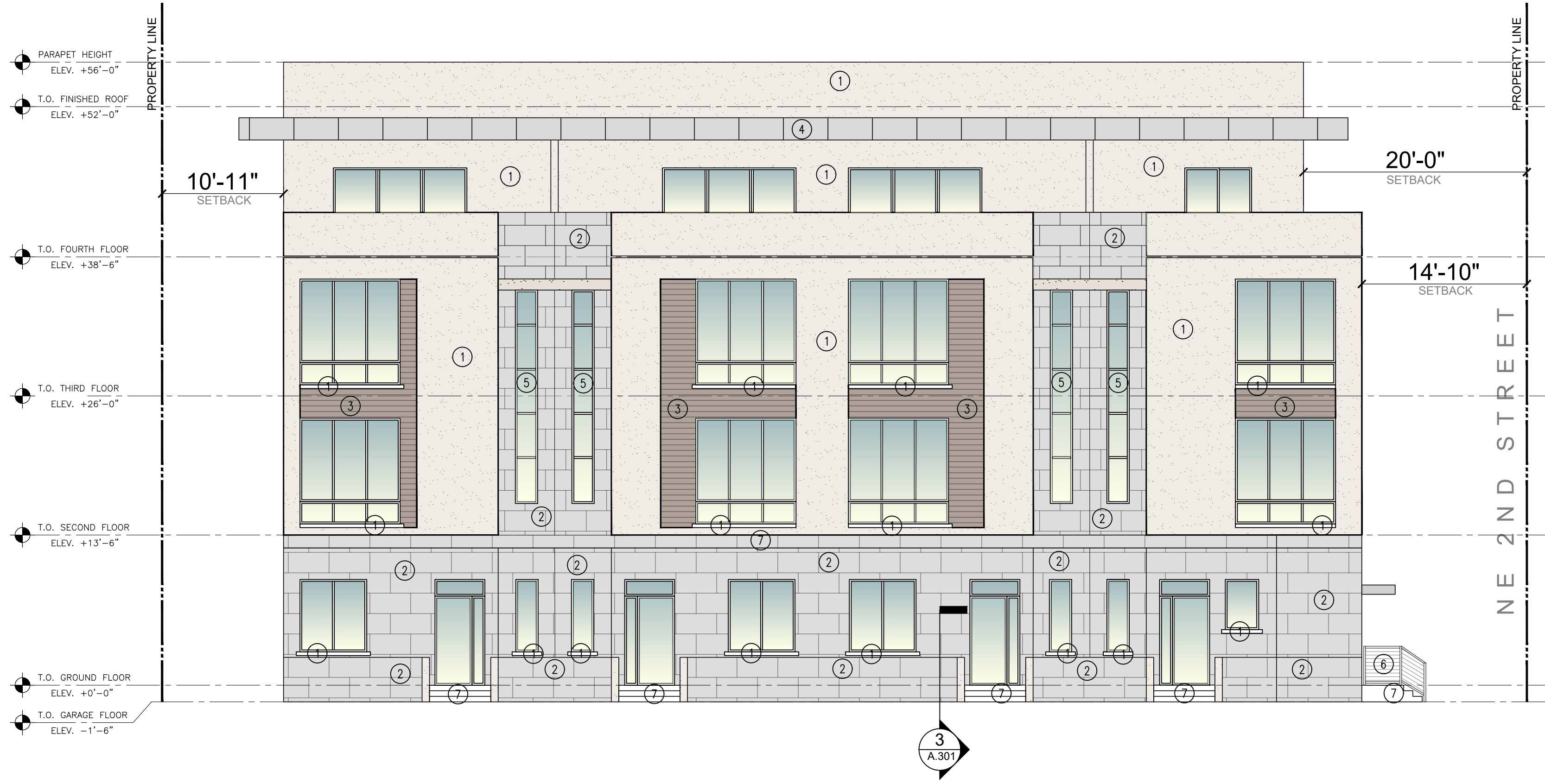
PROJECT: **ADVANCED DEVELOPMENT  
 DELRAY BEACH  
 RESIDENTIAL DEVELOPMENT**  
 605 NE 2ND ST  
 DELRAY BEACH, FL

SHEET CONTENTS:  
**OVERALL FLOOR PLANS  
 BUILDING 1**

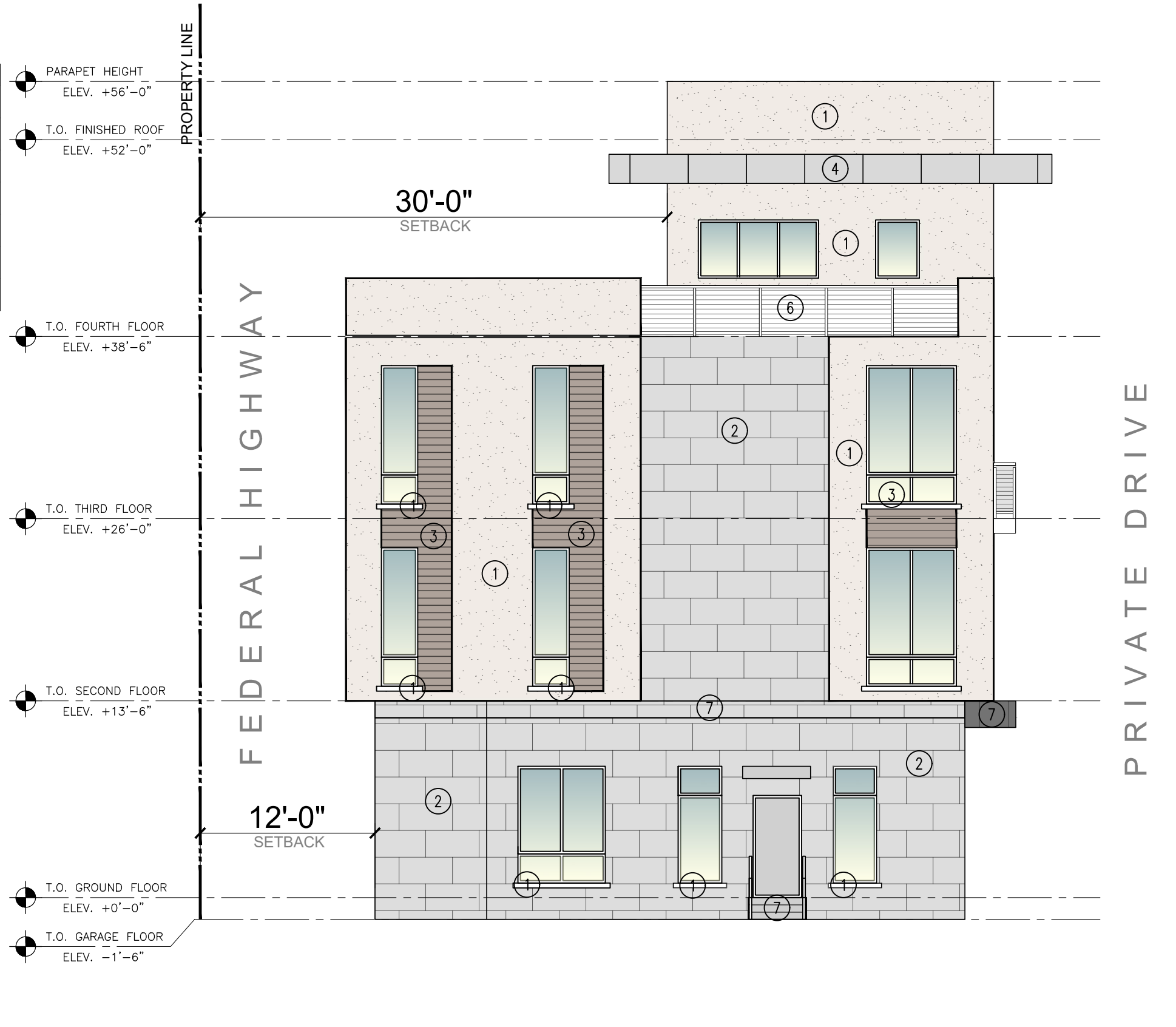
SUBMISSIONS:	REVISIONS:	DATE:
	02.12.24	06.28.2022
	03.26.24	AS SHOWN
		DRAWN BY: TD
		CHECKED BY: NJN
		JOB NO.: 2211647
		DRAWING NO.:

**A.101a**





MATERIALS	
1	SW 6253 OLYMPUS WHITE
2	LIGHT GRAY PORCELAIN TILE VENEER
3	WOOD LIKE TILE VENEER
4	SW 6252 ICE CUBE
5	SPANDREL GLASS
6	POWDER COATED ALUMINUM WIRE RAILING SYSTEM
7	SW 7660 EARL GREY



1  
A.201  
BUILDING 1  
WEST ELEVATION  
SCALE: 1/8" = 1'-0"

3  
A.201  
BUILDING 1  
SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



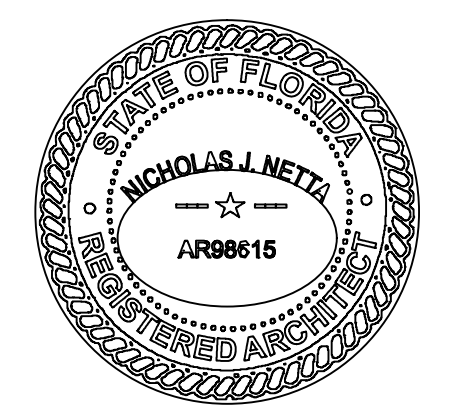
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A.201  
BUILDING 1  
EAST ELEVATION  
SCALE: 1/8" = 1'-0"



4  
A.201  
BUILDING 1  
NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

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PROJECT:  
**ADVANCED DEVELOPMENT  
DELRAY BEACH  
RESIDENTIAL DEVELOPMENT**  
605 NE 2ND ST  
DELRAY BEACH, FL

SHEET CONTENTS:  
**PROPOSED  
BUILDING ELEVATIONS**

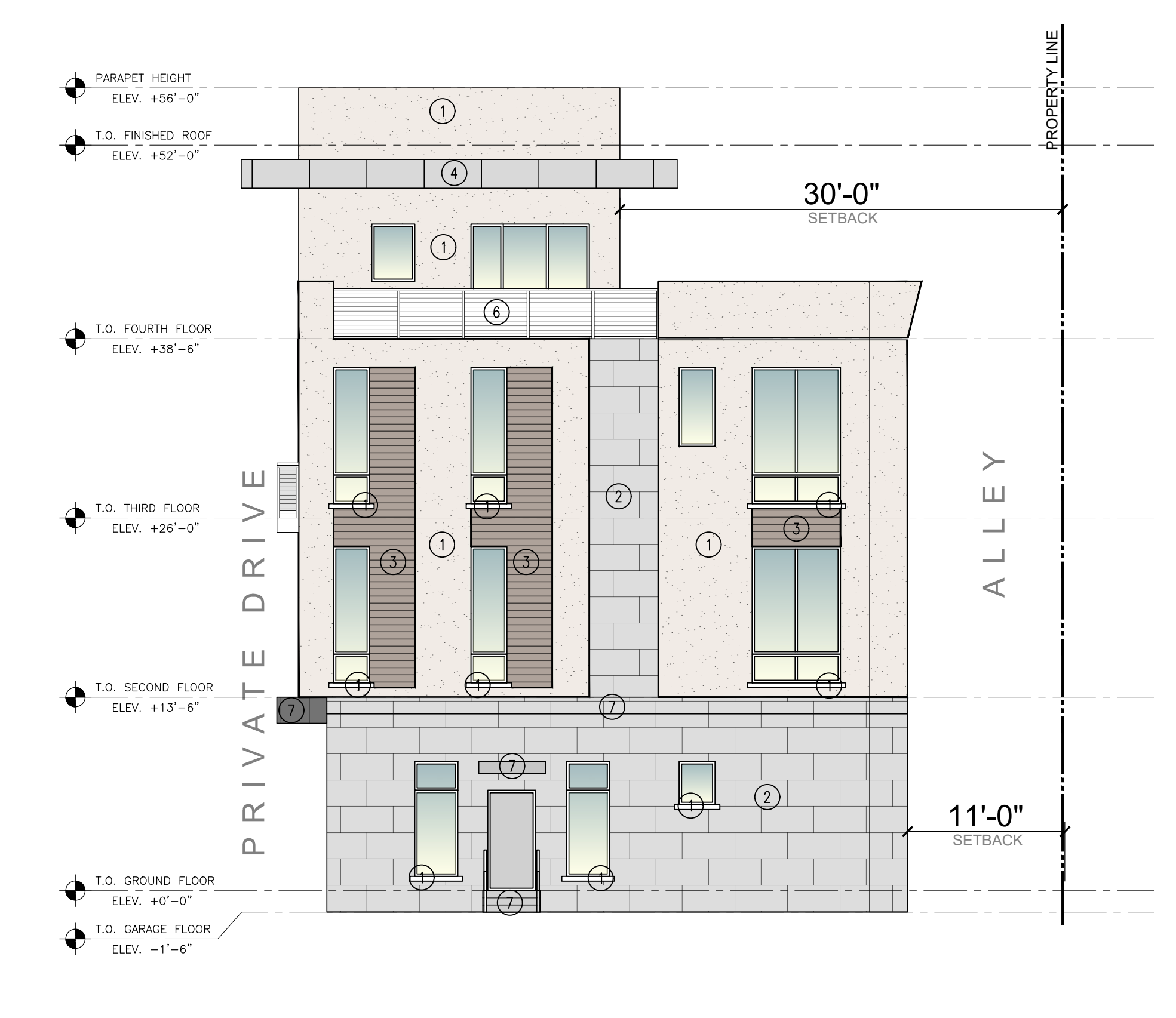
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	02.12.24	P&Z COMMENTS	CB
	03.26.24	P&Z COMMENTS	CB
		06.28.2022	AS SHOWN
			TD
			NJN
			2211647
			DRAWING NO.:

**A.201**





MATERIALS	
①	SW 6253 OLYMPUS WHITE
②	LIGHT GRAY PORCELAIN TILE VENEER
③	WOOD LIKE TILE VENEER
④	SW 6252 ICE CUBE
⑤	SPANDREL GLASS
⑥	POWDER COATED ALUMINUM WIRE RAILING SYSTEM
⑦	SW 7660 EARL GREY



1 EAST ELEVATION  
A.202 BUILDING 2

SCALE: 1/8" = 1'-0"

3 SOUTH ELEVATION  
A.202 BUILDING 2

SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
A.202 BUILDING 2

SCALE: 1/8" = 1'-0"

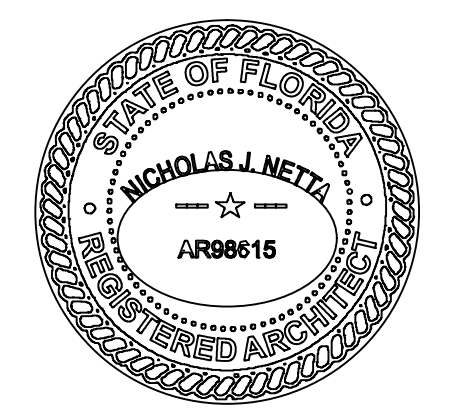


4 NORTH ELEVATION  
A.202 BUILDING 2

SCALE: 1/8" = 1'-0"

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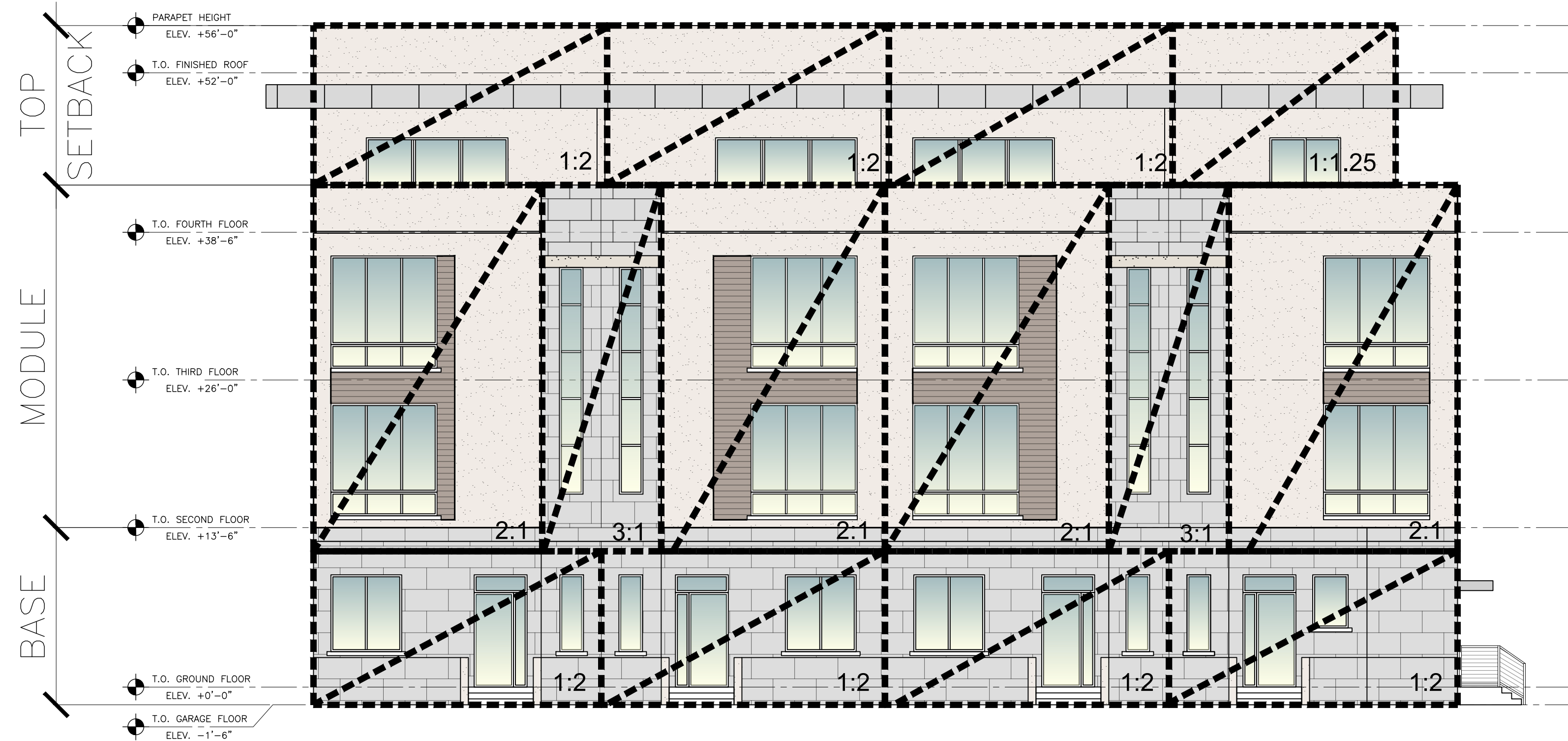
PROJECT: ADVANCED DEVELOPMENT  
**DELRAY BEACH RESIDENTIAL DEVELOPMENT**  
605 NE 2ND ST  
DELRAY BEACH, FL

SHEET CONTENTS:  
**PROPOSED BUILDING ELEVATIONS**

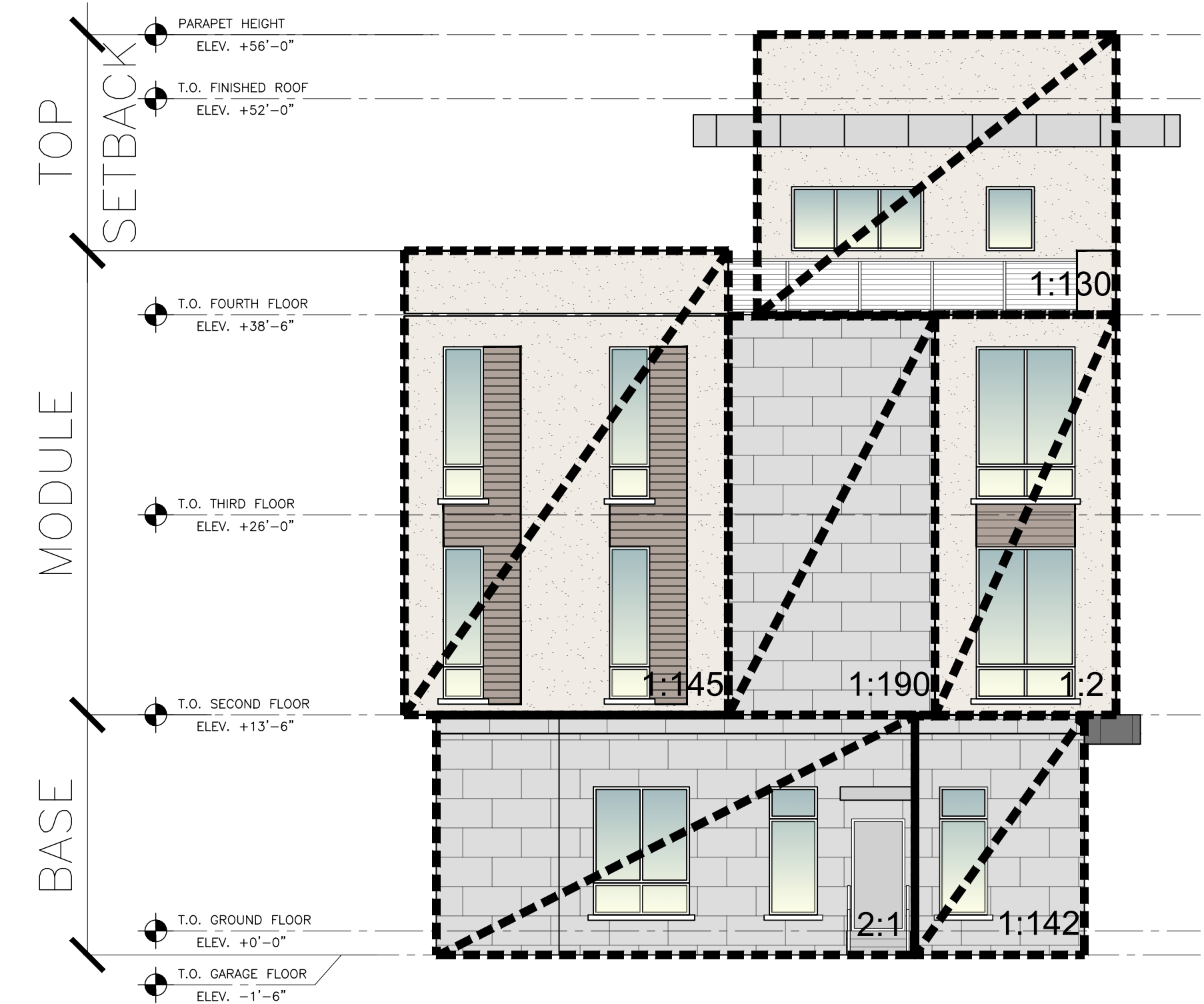
SUBMISSIONS:	REVISIONS:	DATE:	
	02.12.24	P&Z COMMENTS	CB SCALE: AS SHOWN
	03.26.24	P&Z COMMENTS	CB DRAWN BY: TD
			CHECKED BY: NJN
			JOB NO.: 2211647
			DRAWING NO.:

**A.202**





**1** FEDERAL HIGHWAY FACADE COMPOSITION  
 A.203 SCALE: 1/8" = 1'-0"

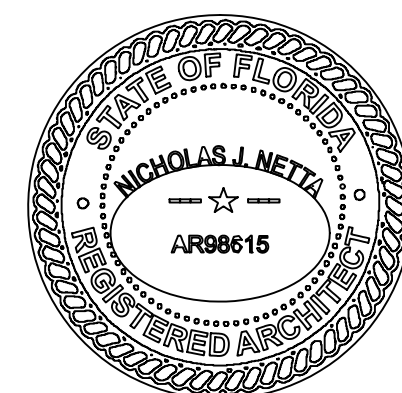


**2** NE 2ND AVE FACADE COMPOSITION  
 A.203 SCALE: 1/8" = 1'-0"

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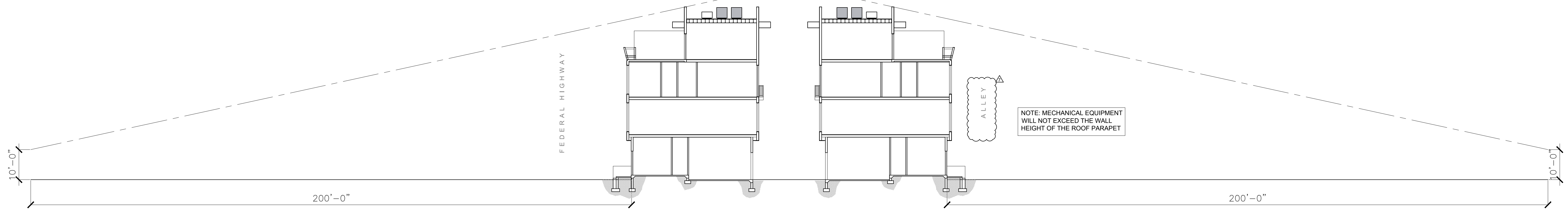


PROJECT: ADVANCED DEVELOPMENT  
**DELRAY BEACH**  
**RESIDENTIAL DEVELOPMENT**  
 605 NE 2ND ST  
 DELRAY BEACH, FL

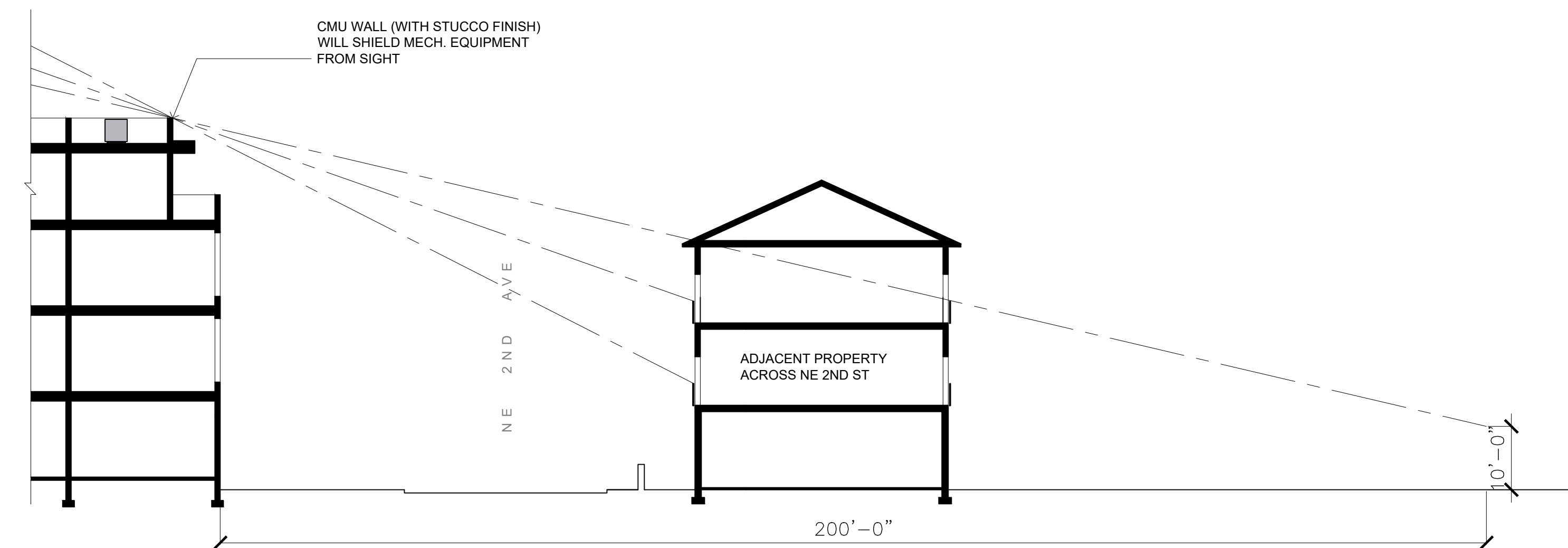
SHEET CONTENTS:  
**FACADE COMPOSITION DETAILS**

SUBMISSIONS:	REVISIONS:	DATE:
	02.12.24	06.28.2022
	03.26.24	AS SHOWN
		DRAWN BY: TD
		CHECKED BY: NJN
		JOB NO.: 2211647
		DRAWING NO.: A.203



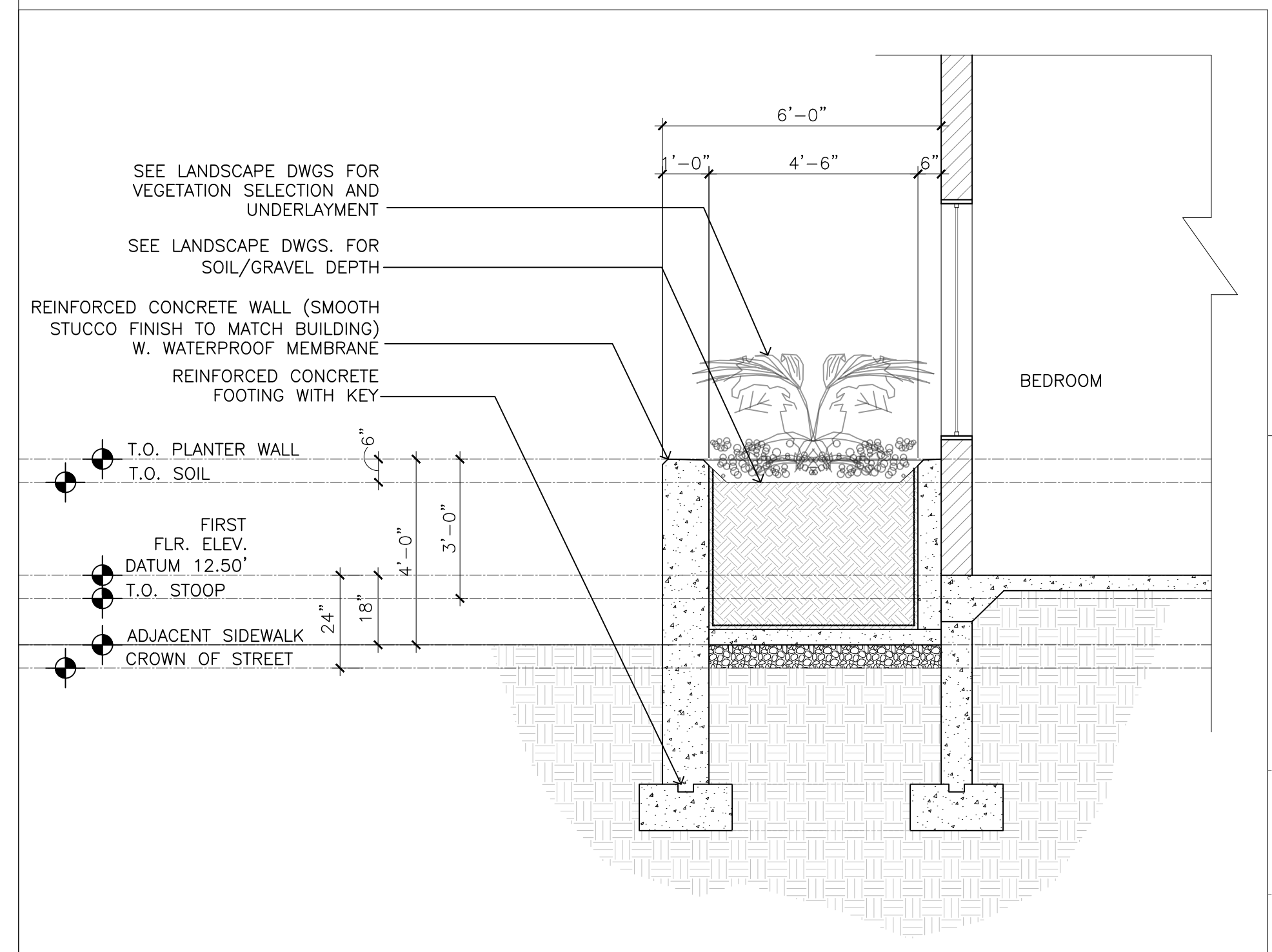


**1** LINE OF SIGHT STUDY - SECTION A  
 A.301 SCALE: 1/16" = 1'-0"

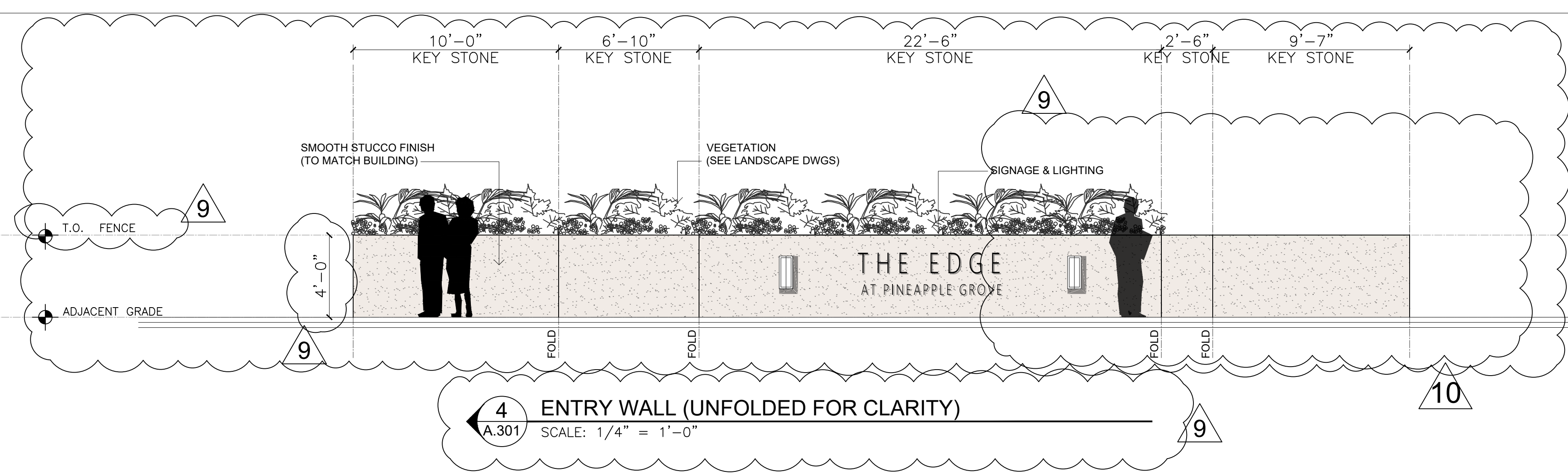


**2** LINE OF SIGHT STUDY - SECTION B  
 A.301 SCALE: 1/16" = 1'-0"

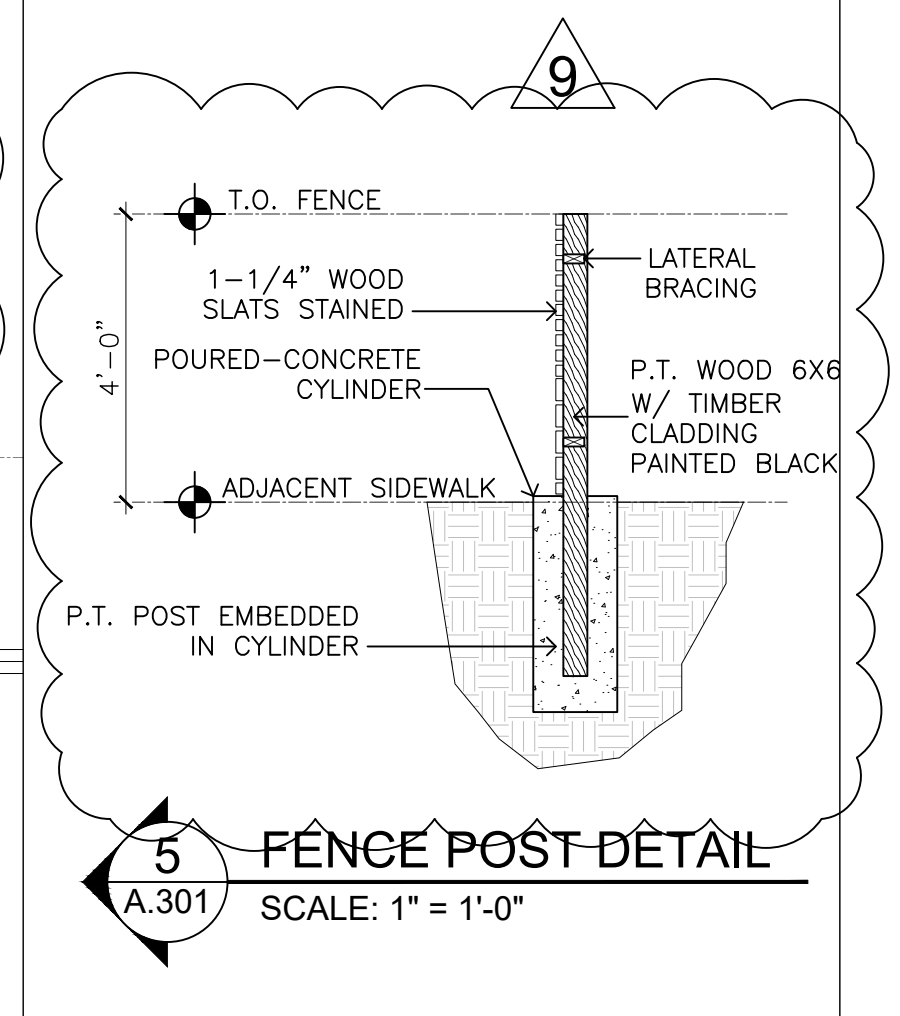
FOR PLANTER LANDSCAPING TYPE REFER TO LANDSCAPE DWGS



**3** PLANTER SECTION DETAIL  
 A.301 SCALE: 1" = 1'-0"



**4** ENTRY WALL (UNFOLDED FOR CLARITY)  
 A.301 SCALE: 1/4" = 1'-0"

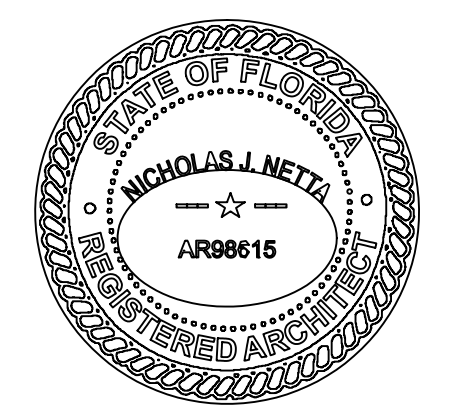


**5** FENCE POST DETAIL  
 A.301 SCALE: 1" = 1'-0"

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 FL REGISTRATION # AR98615



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 02/14/2024



PROJECT: ADVANCED DEVELOPMENT  
**DELRAY BEACH RESIDENTIAL DEVELOPMENT**  
 605 NE 2ND ST  
 DELRAY BEACH, FL

SHEET CONTENTS:  
**SIGHT LINE DIAGRAMS & ELEVATION DETAILS**

SUBMISSIONS:		REVISIONS:		DATE:	
		02.12.24	△ P&Z COMMENTS	CB	06.28.2022
		03.26.24	△ P&Z COMMENTS	CB	AS SHOWN
					CHECKED BY: TD
					CHECKED BY: NJN
					JOB NO.: 2211647
					DRAWING NO.:

**A.301**



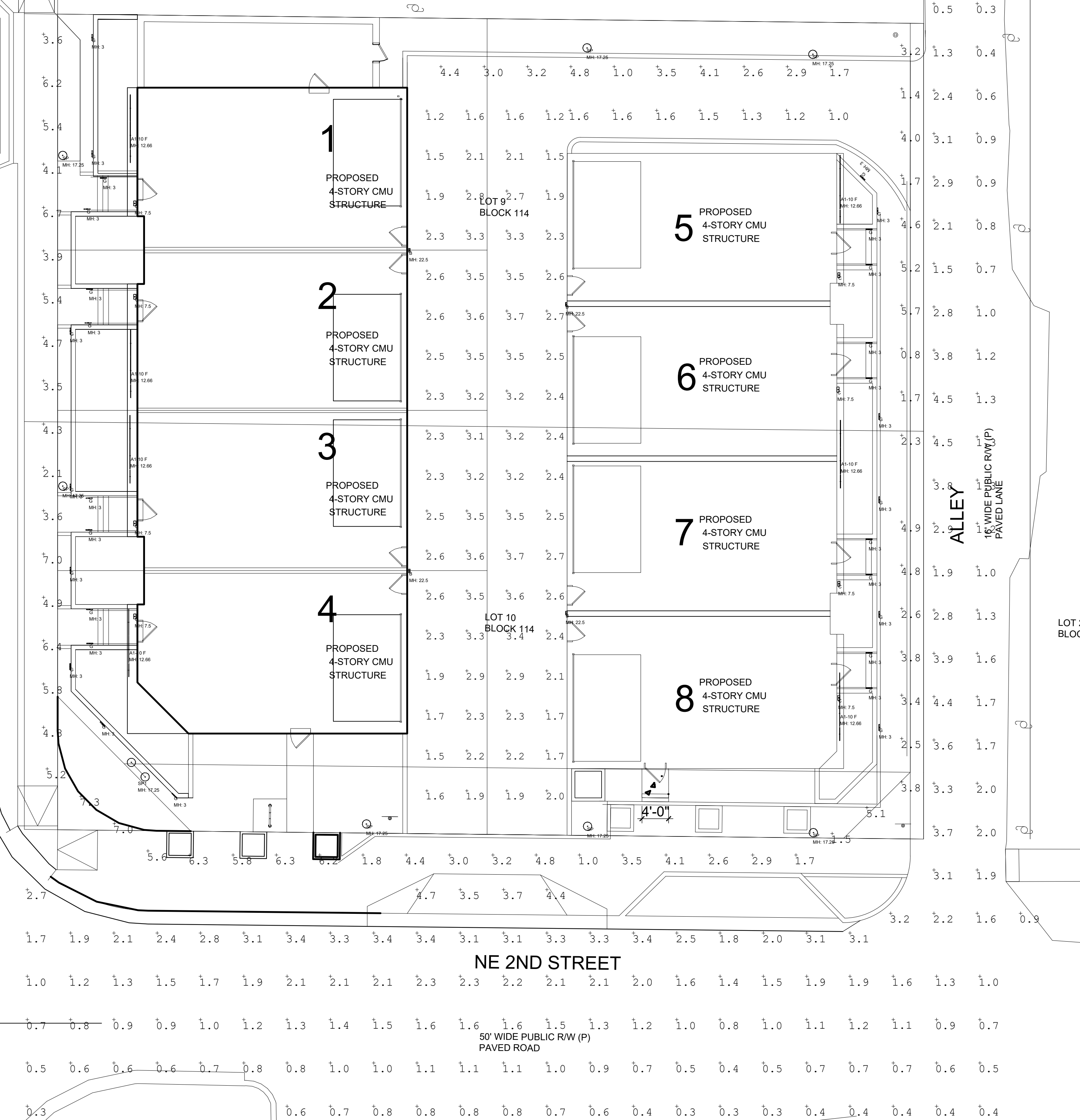
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 0.3 0.3 0.3 0.4 0.4

**LOT 8 BLOCK 114**

Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LF	Lum. Watts	Arr. Watts
A	1	A1-10V	GROUP	N/A	3000	N/A	N/A	65
B	4	B	GROUP	N/A	2500	N/A	N/A	41
C	8	C	GROUP	N/A	1870	N/A	N/A	30.573
D	36	D	Single	780	2800	15.1	11.1	85.2
E	5	SP	Single	780	0.600	79.78	10.78	70.78
F	1	SP1	Back-Pack	780	10.040	0.600	79.78	141.66

Calculation Summary	CalcType	Units	Avg	Max	Min	AugMin	MaxMin
ALLEY	Footcandle	Fc	2.06	4.5	0.3	0.93	15.00
DRIVE/PARKING	Footcandle	Fc	2.26	3.7	1.2	2.73	3.08
FEDERAL HIGHWAY	Footcandle	Fc	1.00	4.9	0.2	5.15	24.30
NE 2ND STREET	Footcandle	Fc	1.20	4.7	0.3	5.00	15.07
SIDEWALK	Footcandle	Fc	4.15	7.3	0.8	5.19	9.13



**1**  
**A.100** PHOTOMETRICS - SITE PLAN  
 SCALE: 1"=10'

**THE EDGE - PINEAPPLE GROVE**

**LIGHTING FIXTURE SCHEDULE**

TYPE	DESCRIPTION	MANF	CATALOG NUMBER	VOLT	LAMP COLOR	LUMENS	LAMP TYPE	DM TYPE	WATTS	MOUNTING	NOTES
A	WET RATED LINEAR SLOT (MEDIUM OUTPUT)	LUMINII	KRXLW-LENGTH-HE48MO-30K-F-MOUNTING-FINISH-B-P1	24V	3000K	366LMFT	LED	PHASE	3.9W/FT	RECESSED	
A1	WET RATED LINEAR SLOT (HIGH OUTPUT)	LUMINII	KRXLW-LENGTH-HE48HO-30K-F-MOUNTING-FINISH-B-P1	24V	3000K	587LMFT	LED	PHASE	6.9W/FT	RECESSED	
B	ARCHITECTURAL WALL PACK	LIGMAN	ULIE-30041-2X14W-T2-HYBRID-W30-FINISH-120277V	120V	3000K	2x1660	LED	N/A	28W	SURFACE	
C	SCONCE WITH UNIT #	ALVA	AJ-C10W-3000-9-RE4V10H-M11-PNS-FINISH-DPP (#)-WET LOCATION	120V	3000	1000	LED	PHASE	10W	SURFACE	
E	LOW LEVEL PATHLIGHT	LIGMAN	UAB-30031-7W-W30-FINISH-120277V-PHASE DIM	120V	3000	323	LED	PHASE	7W	SURFACE	
F	LINEAR GRAZER	ACCLAIM	LNED-COLG-OPTG	UNV	3000	788 LMFT	LED	0-10V	12W/FT	SURFACE	
G	LOW LEVEL PATHLIGHT	LIGMAN	UAB-30002-14W-W30-FINISH-120277V	UNV	3000	783	LED	0-10V	14W	SURFACE	
SP	LED SITE ILLUMINAIRE	QUATTRO	LRT102-GAF-L3-70LEDA4-0-U-SCTX-P44-F1	UNV	3000	8046	LED	0-10V	70w	POLE	1
SP1	2 HEAD LED SITE ILLUMINAIRE	QUATTRO	LRT102-GAF-L3-70LEDA4-0-U-SCTX-P44-F1	UNV	3000	8046 (2)	LED	0-10V	70w(2)	POLE	1

**FIXTURE SCHEDULE NOTES**

NOTE 1: FIXTURES MOUNTED ON # KDNF20-DB-G-T-E58-CW 140(4040) SF-BA-GR (5FT EMBEDDED) - ARM # FCL-BAS24-RAL8016

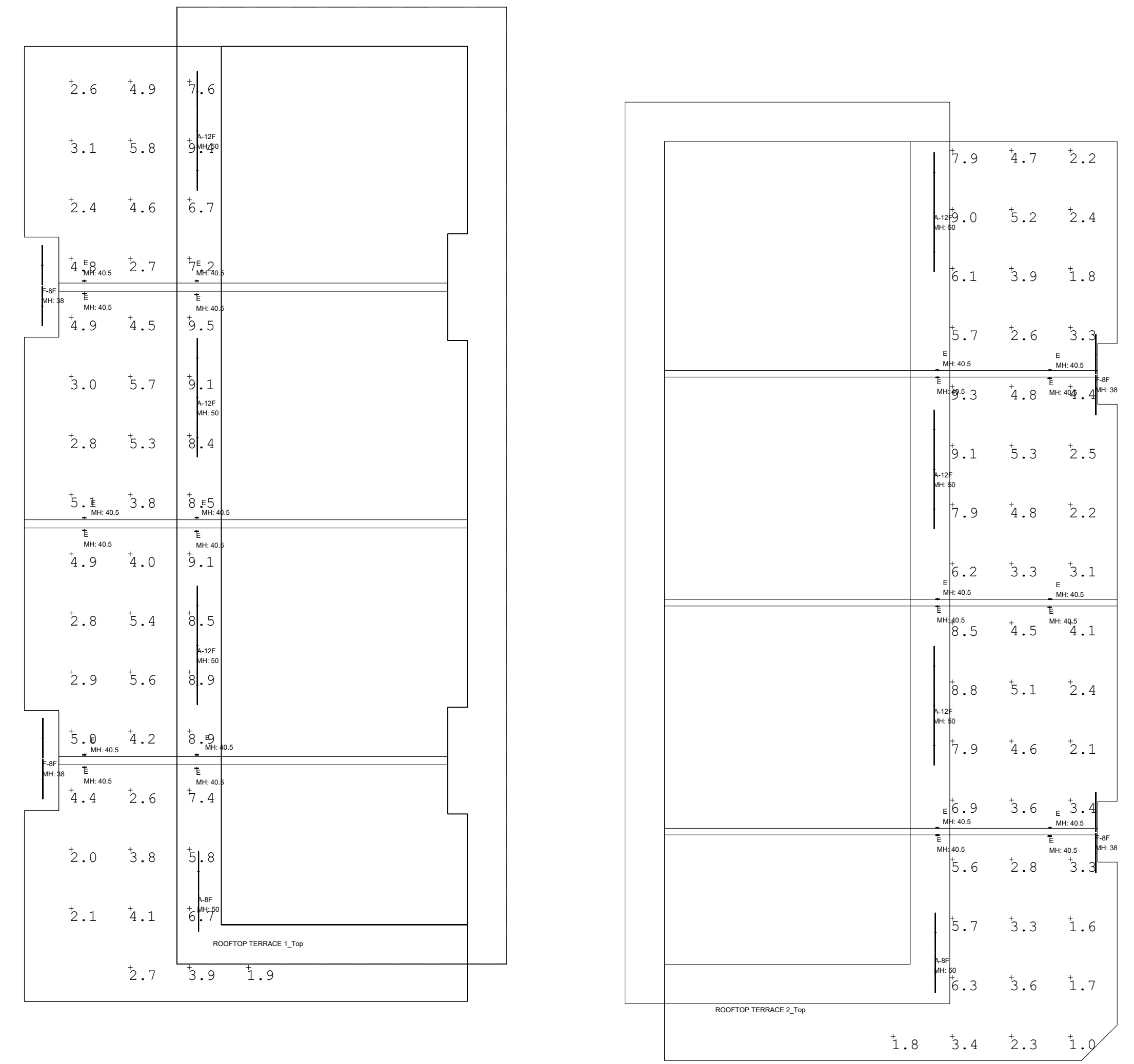
FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT RYAN HUFF @ LIGHTING DYNAMICS- 772-285-7169

Photometrics Calculation Software Generated Luminaire Schedule

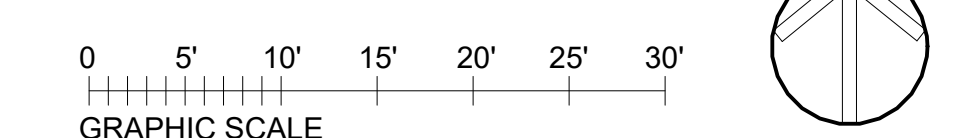
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LF	Lum. Watts	Arr. Watts
1	1	A-28F	GROUP	N/A	3600	1.180	N/A	41
2	2	A-8F	GROUP	N/A	2600	1.180	N/A	28
3	2	E	Single	780	2800	7.4	7.4	58.2
4	4	F-8F	GROUP	N/A	1150	1.340	N/A	56

Calculation Summary	CalcType	Units	Avg	Max	Min	AugMin	MaxMin
ROOFTOP TERRACE 1 Top	Footcandle	Fc	1.57	9.5	1.9	2.24	5.00
ROOFTOP TERRACE 2 Top	Footcandle	Fc	4.03	9.3	1.0	4.53	9.30



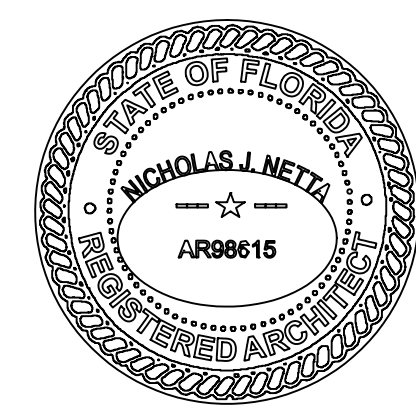
**1**  
**A.100** PHOTOMETRICS - ROOF PLAN  
 SCALE: 1"=10'



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NICHOLAS J. NETTA, AIA, NCARB  
 FL REGISTRATION # AR98615



DATE OF SIGNATURE:  
 02/14/2024



PROJECT: **ADVANCED DEVELOPMENT DELRAY BEACH RESIDENTIAL DEVELOPMENT**  
 605 NE 2ND ST DELRAY BEACH, FL

SHEET CONTENTS:  
**PHOTOMETRIC SITE PLAN & ROOF PLAN**

SUBMISSIONS:	REVISIONS:	DATE:	BY:
	02.12.24	06.28.2022	AS SHOWN
	03.26.24		TD
			NUN
			2211647

DRAWING NO.: **PH.101**