

# Asbuilt For New Tenant:

# 14400 S MILITARY TRL

## Delray Beach, FL 33484



**THE CONSTRUCTION AND ARCHITECTURE GROUP, INC.**  
SANDRA PUERTA F.Lic. # AA2602780 - AR 95385  
6476 Kirsten Way, Lake Worth, FL 33467  
Phone | 561.243.6498 Fax | 561.828.2645

### TERMS OF USE & LICENSE AGREEMENT

**Building Codes And Zoning Requirements**  
At the time of creation, these plans were designed to meet the requirements of a nationally recognized model building code in effect where these plans were produced. Because of the great differences in geography and climate throughout the United States each state, county and municipality has its own building codes, zone requirements, ordinances and building regulations. These plans may need to be modified and additional drawings and details may need to be added to comply with your local conditions, requirements, and a wide range of other matters. All of our plans can be adapted to the local building codes and requirements. It is the responsibility of the purchaser and/or builder of each plan to see that the structure is built in strict compliance with the governing municipal codes (city, county, state and federal). In addition to the building plans that you order, you will also need a site plan that shows where the house is going to be located on the lot. There are some areas of the country that have very strict engineering codes. If you are building in this type of area, it is possible that you will need to hire a local engineer to analyze the house and provide additional drawings and calculations that may be required by your building department.

**Notice Duty of Cooperation**  
Our firm assumes no liability for any home constructed from these plans. Only qualified Designers, Architects, Contractors or Structural Engineers should attempt to modify any portion of these plans. It is the sole responsibility of the purchaser to obtain any and all structural analysis, engineering and specifications that are required where the structure is to be built. Written dimensions on these drawings should have precedence over scaled dimensions; the contractor shall verify and be responsible for all dimensions and conditions on the job.

**Architectural And Engineering Seals**  
Some cities and states are now requiring that a licensed architect or engineer review and "seal" these plans, or officially approve them prior to construction. In addition, you may need to obtain permits or inspections from your local governments before and in the course of construction. Prior to using these plans, we strongly advise that you consult a licensed architect or engineer, as well as consult with your local building official before applying for any permit or before starting any construction related to these plans. We authorize the use of these plans on the express condition that you strictly comply with all local building codes, zoning requirements and other applicable laws, regulations, ordinances and requirements.

**License Agreement**  
By the purchase of our plans, customers are granted a limited license to use the plans for the construction of only one home. It is strictly prohibited to reproduce, sell, modify, trace, redraw or reuse the plans or designs without the written permission from the copyright owner. This limited license also applies to all other reproducible media. All orders, once placed, are final. No refunds or exchanges will be granted.

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It is not permitted to copy any part of our original designs or reproduce them in any way or by any means, unless you have purchased reproducible plans, which clearly indicate your right to copy or duplicate these plans. We do not authorize them to be sold to another person or third party. We only authorize the use of your chosen design as an aid in the construction of one single-family home. You may not use this design or these plans to build a second or multiple dwellings without purchasing another set of plans or paying additional design fees.

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The Architect shall have the right to include representations of the Design of Project, including, but not limited to, photographs, plans, drawings, artistic renderings, digital images, and/or video images, and/or such other similar demonstrative images of the exterior and interior of the subject project, among the Architect's promotional, marketing, advertising, and/or professional materials (collectively, "marketing materials"). The Architect's marketing materials shall not include any image and/or description of the Client's confidential or proprietary information and/or property.

The Architect shall be permitted to post an appropriate job site sign, which sign may include the Architect's name, business address, business telephone number, and/or such other similar business related information, within the boundary of the subject property, beginning with the issuance of the permit through the commencement date of issuance of a certificate of occupancy.

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Our architects have taken substantial care and effort to create these plans. However, because the architects cannot provide on-site consultation, supervision and control over actual construction, and because of the great variances in local building requirements, building practices and soil, seismic, weather and other conditions, we cannot assume any responsibility or liability or make any warranty, express or implied, with respect to the content or use of these plans.

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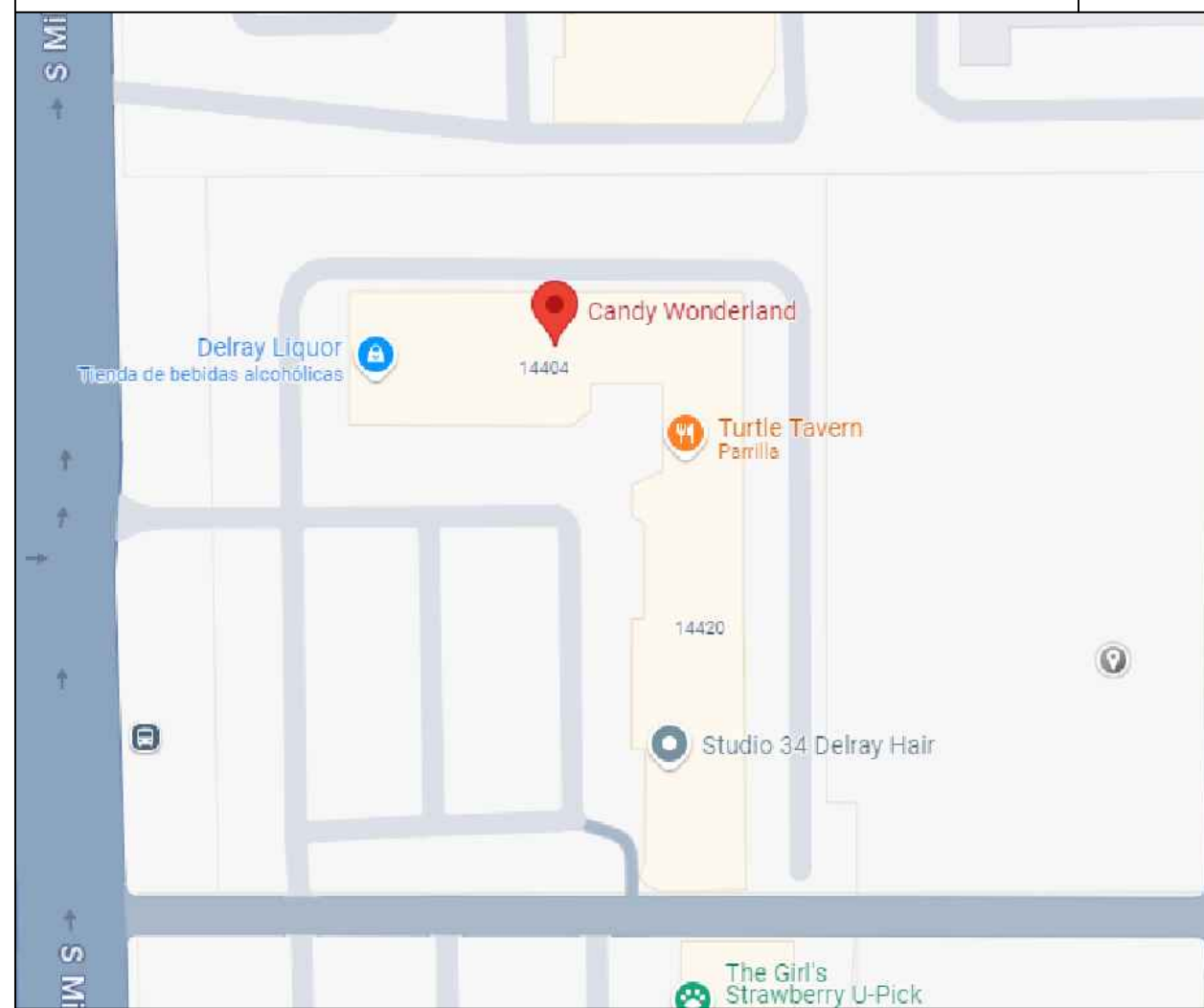
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**Applicable Law**  
This site is created and controlled by Sandra Puerta Architecture, P.A., in the State of Florida. As such, the laws of the State of Florida will govern these disclaimers, terms and conditions, without giving effect to any principles of conflicts of laws. Sandra Puerta Architecture, P.A. reserves the right to make changes to its site and these disclaimers, terms and conditions at any time. You hereby irrevocably and unconditionally consent to submit to the exclusive jurisdiction of the courts of the State of Florida, and of the United States of America located in Broward County, Florida for any disputes arising out of or relating to use of or purchase made through Sandra Puerta Architecture, P.A., and agree not to commence any litigation relating thereto except in such courts, waiving any objection to the laying of venue of any such litigation in the in Broward County, Florida courts and agree to plead or claim in any court that such litigation brought therein has been brought in an inconvenient forum.

**Dispute Resolution**  
In the unlikely event that any controversy or claim arising out of or relating to this User Agreement or our services shall be settled by binding arbitration in accordance with the commercial arbitration rules of the American Arbitration Association. Any such controversy or claim shall be arbitrated on an individual basis and shall not be consolidated in any arbitration with any claim or controversy of any other party. The arbitration shall be conducted in Broward County, Florida, and judgment on the arbitration award may be entered into any court having jurisdiction thereof. Either you or we may seek any interim or preliminary relief from a court of competent jurisdiction in Broward County, Florida, necessary to protect the rights or property of you or us pending the completion of arbitration.

**Miscellaneous**  
In the event that any provision of the User Agreement conflicts with the law under which the User Agreement is to be construed or if any provision is held invalid by a court with jurisdiction over the parties to the User Agreement, such provision will be restated to reflect as nearly as possible the original intentions of the parties in accordance with applicable law, and the remainder of this User Agreement will remain in full force and effect. If either party fails to insist upon or enforce strict performance by the other party of any provision of the User Agreement, or to exercise any right under the User Agreement, such a failure will not be construed as a waiver or relinquishment to any extent of such party's right to assert or rely upon any such provision or right in that or any other instance. That is, all provisions and rights will remain in full force and effect.

### VICINITY MAP



### SATELLITE AERIAL



### OCCUPANCY LOADS

<b>TOTAL AREA</b>	<b>2,423.02 S.F.</b>
<b>OCCUPANCY LOAD CALCULATIONS</b>	
TABLE 1004.1.2 - MAX FLOOR AREA ALLOWANCES PER OCCUPANT	
<b>OCCUPANCY BASED ON USE</b>	<b>OCCUPANTS</b>
<b>WORKOUT AREA (@ 50 GROSS)</b> 2,423 SQ.FT./50 SQ FT	<b>49 PEOPLE</b>
<b>ACCESSORY STORAGE AREA, UTILITY ROOM</b> @ 300 GROSS 100 SQ. FT./300	<b>1 PERSON</b>
<b>TOTAL</b>	<b>50 PEOPLE</b>

### SCOPE OF WORK

1. ASBUILT FOR NEW TENANT  
CANDY WONDERLAND  
(CHILDREN GYM)

### CODE RESEARCH

**OCCUPANCY**  
GYMNASIUMS (WITHOUT SPECTATOR SEATING)

**TYPE OF CONSTRUCTION**

TYPE IIIB - (UNSPRINKLERED)

**FIRE WALLS**

EXISTING TWO HOUR TENANT SEPARATION WALLS

**LIFE SAFETY**

MAXIMUM TRAVEL DISTANCE: 63'-2"

**EGRESS WIDTH**

1 EXITS REQUIRED, 2 EXITS PROVIDED PER TABLE 1005.1  
23 OCCUPANTS x 0.2' = 4.6" REQUIRED  
36" PROVIDED

### PLUMBING FIXTURE CALCULATIONS:

REQUIRED BY FLORIDA BUILDING CODE  
BASED ON BUSSINESS OCCUPANCY (TABLE 403.1 SEC. 2)

**EGRESS**

BUSINESS  
WATER CLOSET: 1 PER 50  
1 REQUIRED/1 PROVIDED

AVATORIES: 1 PER 80  
REQUIRED/ 1 PROVIDED

NON-DRINKING FOUNTAIN REQUIRED. TAKE OUT RESTAURANT

SEPARATE FACILITIES SHALL NOT BE  
REQUIRED IN BUSINESS AND  
MERCANTILE OCCUPANCIES WITH  
A TOTAL FLOOR AREA OF 3000 SF  
OR LESS.

FLOOR AREA : 2,423.02 SF

### AREA CALCULATIONS

EXISTING SQ. FT.	2,423.02 S.F.
OTHER	265.78 S.F.
BUSINESS AREA	2,157.24 S.F.
<b>TOTAL AREA</b>	<b>2,423.02 S.F.</b>
<b>NOTE:</b>	<b>SQUARE FOOTAGE OF SPACE IS NOT BEING AFFECTED.</b>

### PROPERTY INFORMATION

ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE F.B.C. 2023,8TH EDITION WITH ALL AMENDMENTS, THE 2020 N.E.C., THE ZONING ORDINANCES IN THE CITY OF JURISDICTION AND ALL APPLICABLE CODES AND STANDARDS.

#### LEGAL DESCRIPTION

13-46-42, N 1/2 OF SW 1/4 OF SW 1/4 OF NW 1/4 (LESS RD & ADDL RD R/WS & E 305 FT) & W 15 FT OF S 44 FT OF E 305 FT OF N 1/2 OF SW 1/4 OF SW 1/4 OF NW 1/4

#### MUNICIPALITY

DELRAY BEACH

#### PARCEL CONTROL NUMBER

12-42-46-13-00-000-3020

#### SUBDIVISION

#### LAND USE CODE

1100—STORES

#### ZONING CODE

GC—GC - GENERAL COMMERCIAL  
(12-DELRAY BEACH)

#### LOCATION ADDRESS

14400 S MILITARY TRL

#### CLASSIFICATION OF WORK

ASBUILT

### PROJECT TEAM

#### OWNER

SHOPPES OF DELRAY AP LLC  
3300 N FEDERAL HWY STE 250  
FORT LAUDERDALE FL 33306 1045

#### BUILDING DEPARTMENT

**DELRAY BUILDING DEPARTMENT**  
100 NW 1ST AVE,  
DELRAY BEACH, FL 33444  
VOICE | (561) 243-7200

#### ARCHITECT

SANDRA PUERTA, AR 95385  
6476 Kirsten Way  
Lake Worth, FL 33467  
Voice | 561.712.8898  
Fax | 561.712.8895  
Email | sandra@thearchitectgroup.com  
SP-1 EXISTING SITE PLAN & NOTES

#### ZONING DEPARTMENT

**DELRAY BUILDING DEPARTMENT**  
100 NW 1ST AVE,  
DELRAY BEACH, FL 33444  
VOICE | (561) 243-7200

### SHEET INDEX

CVR	COVER SHEET
A-0	GENERAL NOTES AND SPECS.
SP-1	EXIST. / PROP. SITE PLAN & NOTES
A-1	CONSTRUCTION FLOOR PLAN + NOTES
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A-2	LIFE SAFETY / EGRESS PLAN + NOTES
A-3	ADA NOTES + DETAILS
M-1	MECHANICAL PLAN + NOTES
E-1	ELECTRICAL PLAN + NOTES
P-1	PLUMBING PLAN(SEWER) + NOTES

CONTRACTOR TO VERIFY ANY CONDITION AND NOTIFY ALL RESPONSIBLE PARTIES IF THERE ARE ANY DISCREPANCIES. THE ARCHITECT ASSUMES NO RESPONSIBILITY.

ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE F.B.C. 2023 EDITION WITH ALL AMENDMENTS, THE 2020 N.E.C., THE ZONING ORDINANCES IN THE CITY OF JURISDICTION AND ALL APPLICABLE CODES AND STANDARDS.

DATE:  
Nov. 19, 24

BLDG. DEPT.  
PLAN REVISIONS:

- Dec. 27, 24
- Feb. 3, 25

Asbuilt For New Tenant:  
**14400 S MILITARY TRL**  
Delray Beach, FL 33484  
Parcel ID: 12-42-46-13-00-000-3020

Cover and Project Information

MANAGED BY: SP  
DRAWN BY: JB  
REVIEWED BY: SP

SHEET:  
CVR





**SITE PLAN NOTES**

1. CONTRACTORS AND SUBCONTRACTORS SHALL PERFORM ALL CONSTRUCTION IN ACCORDANCE WITH ALL CODES, REGULATIONS HAVING JURISDICTION AND RESTRICTIONS AND SHALL BE RESPONSIBLE FOR THE SAME.
2. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR AND/OR SUB-CONTRACTOR. CONTRACTOR AND/OR SUBCONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
3. SURVEYORS SHALL VERIFY ALL SITE DIMENSIONS PRIOR TO THE CONSTRUCTION AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY TO THE CONSTRUCTION DOCUMENTS
4. CONTRACTOR TO VERIFY ALL SETBACKS, EASEMENTS, R.O.W. SIZE AND LOCATIONS AND BE RESPONSIBLE FOR THE SAME
5. THE DRAINAGE SWALE WILL BE A MINIMUM OF 2 INCHES LOWER THAN THE EDGE OF THE STREET IN THE DRIVEWAY AND A MINIMUM OF 6 INCHES LOWER IN THE GRASS.
6. OWNER SHALL SUBMIT A FINAL SURVEY TO CITY ENGINEER OFFICE PRIOR TO THE FINAL INSPECTION. SURVEY MUST INCLUDE SUFFICIENT TOPOGRAPHY TO VERIFY CONFORMANCE TO THE DESIGN, APPROXIMATE LOCATIONS OF THE SEPTIC TANK, DRAINFIELD, WELLS AND SERVICE LINES TO THE BUILDING.
7. PLEASE SEE CIVIL PLANS FOR GRADES AND DIMENSIONS
8. FINISH FLOOR ELEVATION SHALL NOT BE LESS THAN 18" ABOVE THE CROWN OF THE ROAD
9. MAXIMUM SLOPE SHALL NOT EXCEED 4(H): 1 (V)

Bay	Tenant	Use	Approx. SF (+/-)	Parking Required (4/1000 SF)	Operating Hours
14400	Delray Liquor	General Commercial	2,640	11	Mon-Thur: 9am-9pm Fri-Sat: 9am-10pm Sun: 10am-8pm
14402	China Gardens	Restaurant	2,530	11	Mon: Closed Tues-Sat: 11am-10p Sun: 12n-10p
14406	Candy Wonderland	Recreation	2,500	10	Mon-Th: 9am-7pm Fri-Sun: 9am-9pm
14408	Yankee Clipper	Personal Services	702	3	Mon-Fri: 830am-5p Sat: 9am-4pm Sun: Closed
14410	Better at Home, Home Health	Medical Office	1,040	5	Mon-Fri: 9am-5pm Sat-Sun: Closed
14412	Turtle Tavern	Restaurant	3,418	14	Mon: 3pm-11pm Tues-Sat: 11am-11p Sun: 12n-11p
14416	Harold H Weisman PA	Business and Prof. Office	1,688	7	Mon-Fri: 9am-5pm Sat-Sun: Closed
14418-A	Kravitz	General Commercial	850	4	Mon-Tues: Closed Wed-Fri: 10am-7pm Sat: 10am-5pm Sun: 11am-5pm
14418-B	King Sewing & Vacuum	General Commercial	850	4	Mon-Fri: 9am-5pm Sat-Sun: Closed
14420	Ruff to Fluff	Personal Services (Pet)	850	4	Mon-Thur: 8:30a-5p Fri: 8:30am-4p Sat: 9am-2pm Sun: Closed
14422	Studio 34 Hair & Beauty Salon	Personal Services	1,275	6	Mon: 9am-2pm Tues-Sat: 9am-6pm Sun: Closed
14424	Five Star Spa	Personal Services	1,275	6	Mon-Sun: 8:30a-10pm
14426/ 14428-A	Brenda's Birds	General Commercial	2,295	10	Mon-Fri: 10a-6pm Sat: 10a-5pm Sun: 11am-4pm
14428-B	Celine R. Soltani, DPM, PA	Medical Office	1,163	5	Mon-Wed: 9a-4pm Thur: Closed Fri: 9am-4pm Sat-Sun: Closed

**Total Parking Required: 100 spaces**  
**Total Parking Provided: 118 spaces**

**EXISTING/PROPOSED SITE PLAN**  
 SCALE: 1"=20'

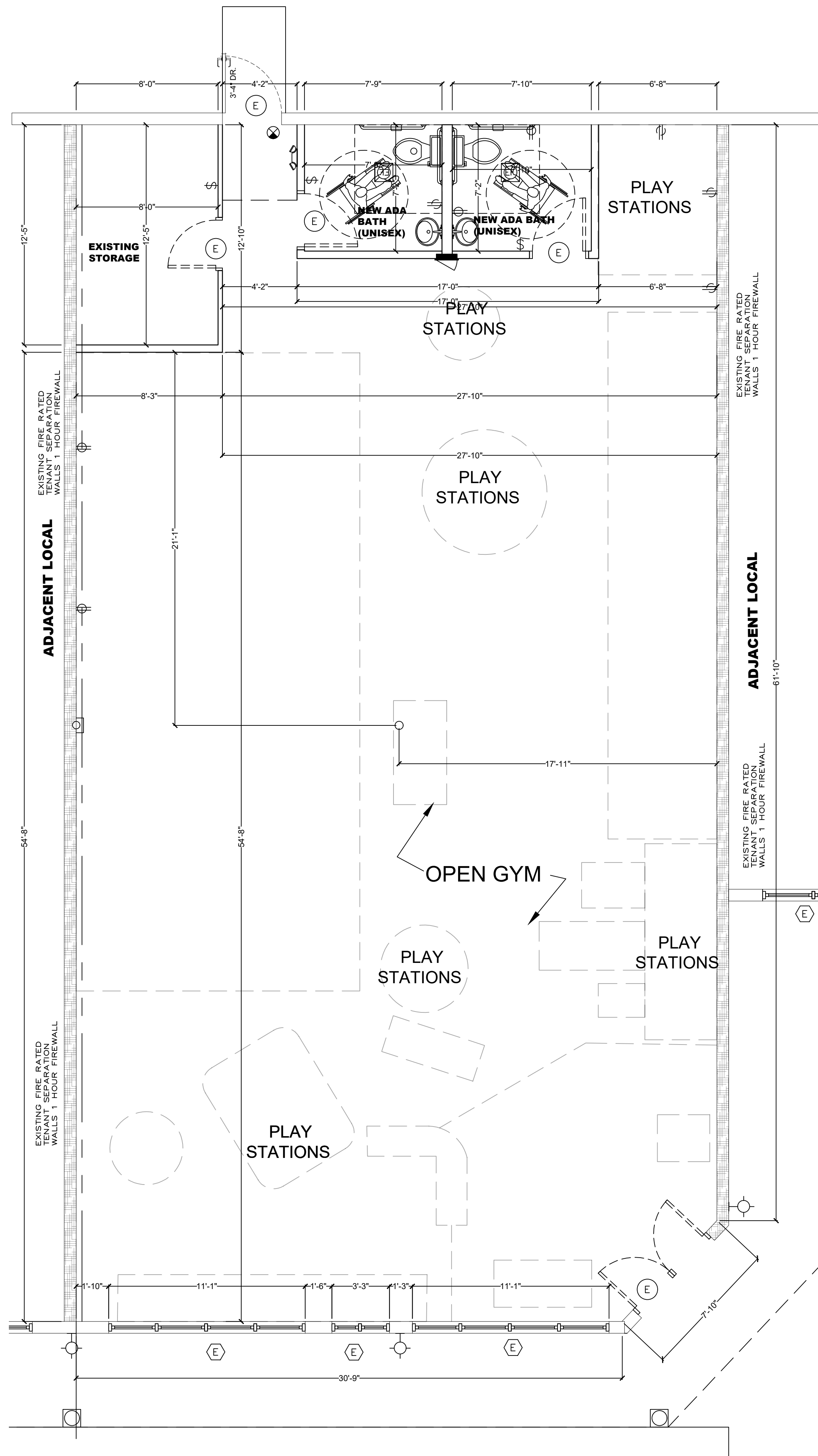
DATE: Nov. 19, 24

**BLDG. DEPT. PLAN REVISIONS:**  
 ▲ Dec. 27, 24  
 ▲ Feb. 3, 25  
 ▲

Asbuilt For New Tenant:  
**14400 S MILITARY TRL**  
 Delray Beach, FL 33484  
 Parcel ID: 12-42-46-13-00-000-3020

Site Plan  
 Exist. /Proposed  
 MANAGED BY: SP  
 DRAWN BY: JB  
 REVIEWED BY: SP

SHEET:  
 SP-1



**PROPOSED FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**NOTE:**  
TACTILE EXIT SIGNS ADJACENT TO EACH FLOOR REQUIRING A LIGHTED EXIT SIGN PER NFPA 1-11.10.

**NOTE:**  
CONTRACTOR TO VERIFY EXISTING CONDITIONS OF SPACE TO MEET FIRE-RESISTANCE RATING REQUIREMENTS AS PER FBC TABLE 706.3.7.

CONTRACTOR TO VERIFY ANY CONDITION AND NOTIFY ALL RESPONSIBLE PARTIES IF THERE ARE ANY DISCREPANCIES. THE ARCHITECT ASSUMES NO RESPONSIBILITY.

**NOTE:**  
BUILDING IS REQUIRED TO BE PROVIDED WITH ADDRESS NUMBERS OR LETTERS PLAINLY VISIBLE FROM THE STREET PER 2023 FBC SECTION 501.2.

**NOTE:**  
CONTRACTOR TO VERIFY EXISTING CONDITIONS OF SPACE TO MEET FIRE-RESISTANCE RATING REQUIREMENTS AS PER FBC 2023 TABLE 706.3.7.

**NOTE:**  
CONTRACTOR TO VERIFY IN FIELD IF PANIC HARDWARE HAS BEEN PROVIDED ON ALL EGRESS DOORS AS PER 2023 FBC SECTION 1008.1.10.

**NOTE:**  
ALL FINISHES TO BE SPECIFIED BY OWNER. INSTALL ALL FINISHES ACCORDING TO FBC 2023.

**NOTE:**  
ALL SINK AND DOOR HARDWARE TO BE LEVER TYPE.

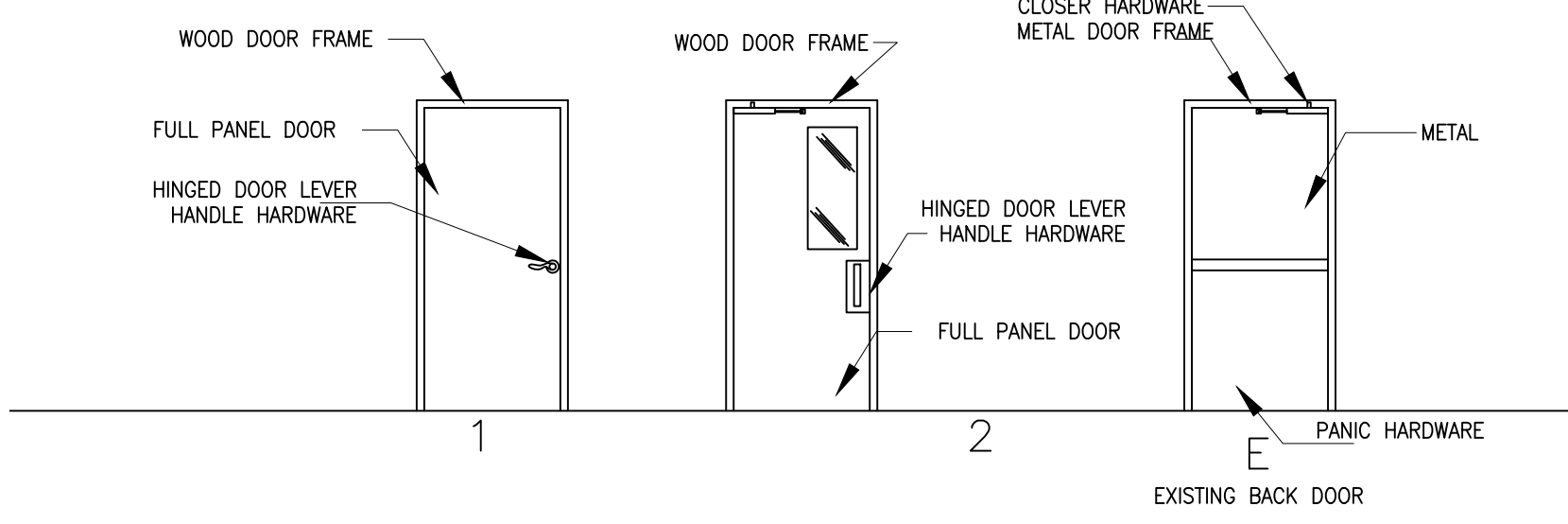
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**NOTE:**  
IN ALL NEW AND EXISTING BUILDINGS, MINIMUM RADIO-SIGNAL STRENGTH FOR FIRE DEPT. COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ IN ACCORDANCE WITH NFPA 1-11.10.1

**NOTE:**  
ALL REQUIRED FIRE SPRINKLER AND FIRE ALARM MODIFICATIONS WILL REQUIRE A DEFERRED SUBMITTAL. NFPA 1-1.12.6.1

**DOOR SCHEDULE**

MARK	DESCRIPTION	SIZE	FINISH	TYPE
(E)	EXISTING DOOR TO REMAIN			
①	INTERIOR WOOD PANEL DOOR	3'0"x6'8"	BY OWNER	
②	INTERIOR WOOD PANEL DOOR	3'0"x6'8"	BY OWNER	



**NOTE:**  
ALL FINISHES TO BE SPECIFIED BY OWNER. INSTALL ALL FINISHES ACCORDING TO FBC 2023.

**ALL WINDOWS AND STOREFRONT ARE EXISTING AND TO REMAIN**

**GENERAL CONSTRUCTION NOTES**

- ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE, LOCAL, & GOVERNMENTAL CODES, ORDINANCES, STANDARDS AND RESTRICTIONS.
- ALL TRADES TO COORDINATE THEIR WORK WITH ALL OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY ARCHITECT OF ALL DISCREPANCIES. DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- ALL DIMENSIONS ARE NOMINAL TO THE FACE OF STUDS, CONC. BLK. OR EDGE OF MONOLITHIC SLAB FOOTING UNLESS NOTED OTHERWISE. DOOR AND WINDOW SIZE OPENINGS TO BE VERIFIED WITH THE MANUFACTURER.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION, THE CONTRACTOR IS EXPECTED TO FURNISH & INSTALL ALL ITEMS FOR COMPLETE FULLY OPERATIVE SYSTEMS IN FIRST CLASS WORKMANLIKE MANNER.
- INSULATE EXTERIOR MASONRY WALL WITH MIN. R-5.0 INSUL., EXTERIOR WD. FRAMED WALLS WITH R-19 INSUL. AND ATTIC SPACES WITH MIN. R-30 INSUL.
- COMPACT ALL FILL TO A MIN. OF 95% DENSITY AND POISON SOIL FOR TERMITES; MIN. SOIL BRG.: 2500 P.S.F.
- MIN. CONC. STRENGTH: 3000 P.S.I. @ 28 DAYS. MIN. CONCRETE COVERAGE FOR REINF. BARS, SLAB: 3/4"; BEAMS & COLS: 1 1/2"; TIE COLS: 3/4"; FORMED CONC. BELOW GRADE: 2" & UNFORMED CONC.: 3".
- REINFORCING STEEL TO BE GRADE 60.
- DETAILS OF CONCRETE REINF. SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STD. PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION". TRAP.
- TIE COLUMNS TO HAVE DOWELS INTO CONCRETE FTG. WITH THE SAME SIZE AND NUMBER OF DOWELS AS VERTICAL REINF. BARS.; REINF. STL. TO BE LAPPED 30 BAR DIAM. MIN. @ SPLICES.
- PROVIDE CLEANOUT OPENINGS AT THE BOTTOM OF GROUTED CELLS OF CONCRETE BLK. TIE COLUMNS.
- ALL WOOD IN CONTACT WITH CONC., MASONRY OR STL. SHALL BE PRESS. TRTD. WD. STRUCTURAL LUMBER TO BE A STRESS GRADE OF MIN. F = 1200 PSI (BENDING).
- MIN. ELECTRICAL WIRE SIZE SHALL BE #14 A.W.G. (EXCLUDING THE CONTROL WIRING). ALL CONDUCTORS SHALL BE "COPPER" WITH "THHN" INSULATION.
- ALL RACEWAYS UNDERGROUND OR LARGER THAN 2" IN DIAM. SHALL BE GALVANIZED RIGID STL. CONDUIT OR SCHED. 40 PVC.; OTHER RACEWAYS AS PER CODE REQRMTS.
- PROVIDE "GFI" RECEPTACLES IN BATHROOMS, AT KITCHEN COUNTERS, IN GARAGE AND OUTSIDE LOCATIONS.
- SANITARY PLBG. PIPING TO HAVE MIN. 1/8" PER FT. PITCH AT ALL HORIZ. RUNS. PROVIDE CLEANOUTS AT THE BASE OF WASTE STACKS.
- ALL UNDERGRD. WATER PIPING SHALL BE COPPER TYPE "K"; ALL OTHER WATER PIPING SHALL BE COPPER TYPE "L".
- PROVIDE AIR CHAMBERS AND SHUT OFF VALVES FOR ALL WATER SUPPLY PIPING AT FIXTURES; PROVIDE VACUUM BREAKER AND SHUTOFF VALVE ON ALL HOSE BIBBS.
- A/C AIR HANDLING UNITS TO HAVE CONDENSATE SAFE WASTE WITH TRAP.

BAY	TENANT	USE	APPROX. SF (+/-)	PARKING RATE	PARKING REQUIRED	OPERATING HOURS
14406	CANDY WONDERLAND	GENERAL COMMERCIAL	2,423.02 S.F. (+/-)	4/1000 SF	10 SPACES	Mon-Th 9am-7pm Fri-Sun 9am-9pm

**SANDRA PUERTA ARCHITECT**

**THE CONSTRUCTION AND ARCHITECTURE GROUP, INC.**  
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6474 Kristen Way, Lake Worth, FL 33467  
Phone | 561.246.5498 Fax | 561.561.6262.2645

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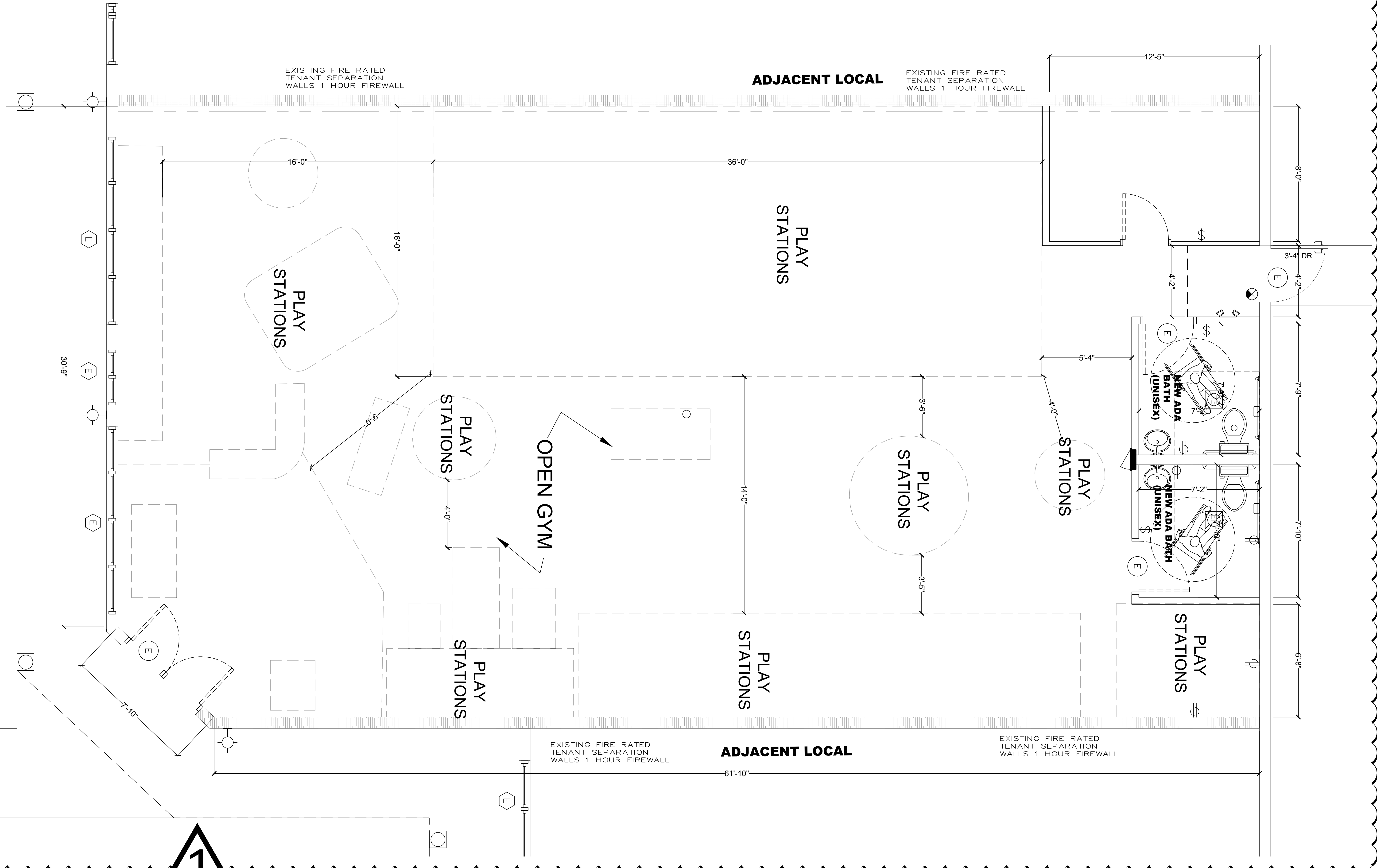
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Delray Beach, FL 33484  
Parcel ID: 12-42-46-13-00-000-3020

Construction Plan and Notes  
MANAGED BY: SP  
DRAWN BY: JB  
REVIEWED BY: SP

SHEET: A-1

ASBUILT

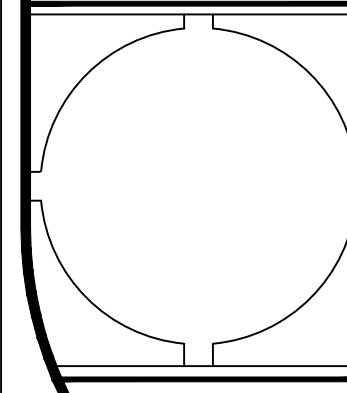


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**PROPOSED FLOOR PLAN - PLAYGROUND**  
SCALE: 3/8"=1'-0"



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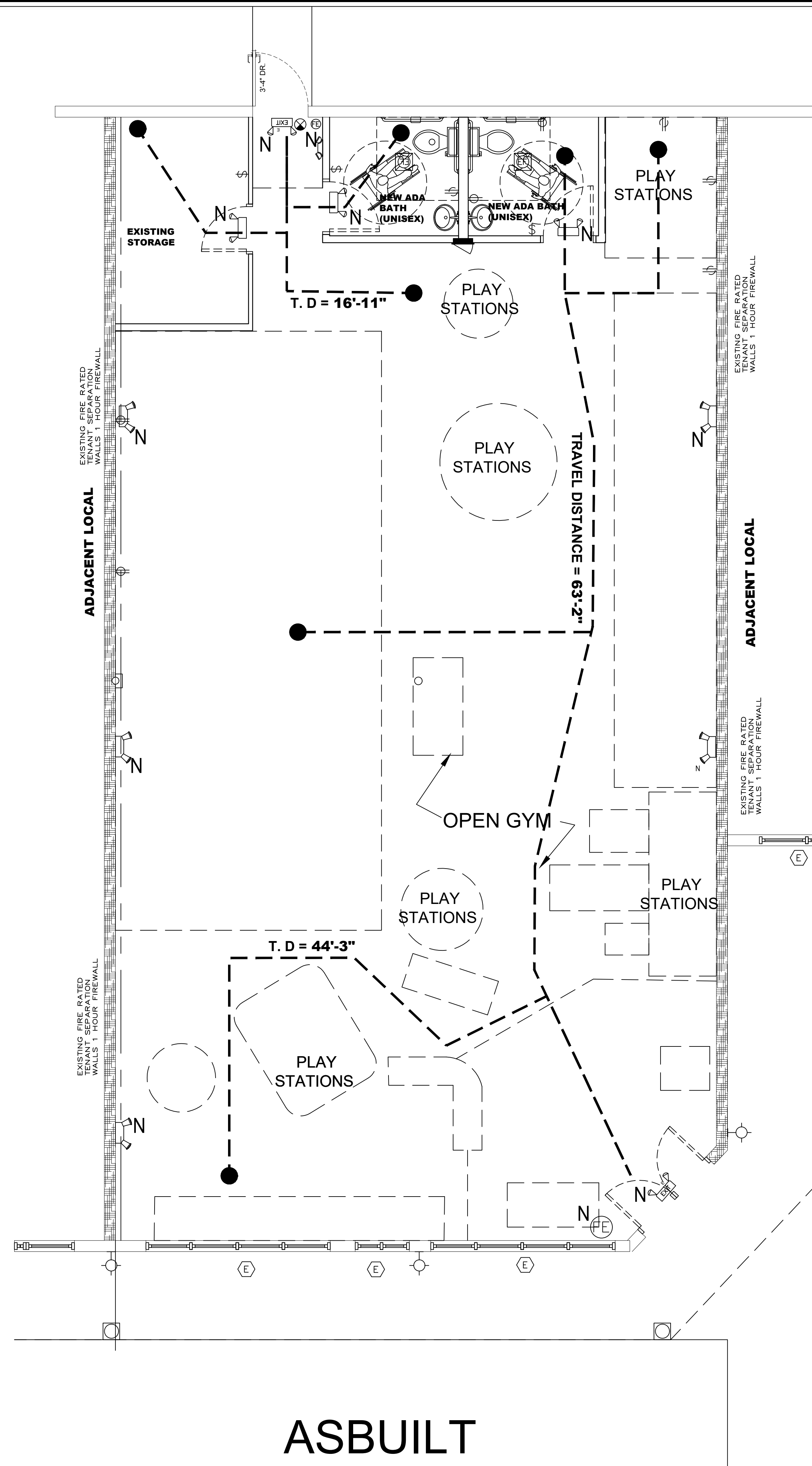
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Parcel ID: 12-42-46-13-00-000-3020

playground

MANAGED BY:	SP
DRAWN BY:	JB
REVIEWED BY:	SP

SHEET:  
A-1.1



**EGRESS FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**EGRESS | LIFE SAFETY GENERAL NOTES**

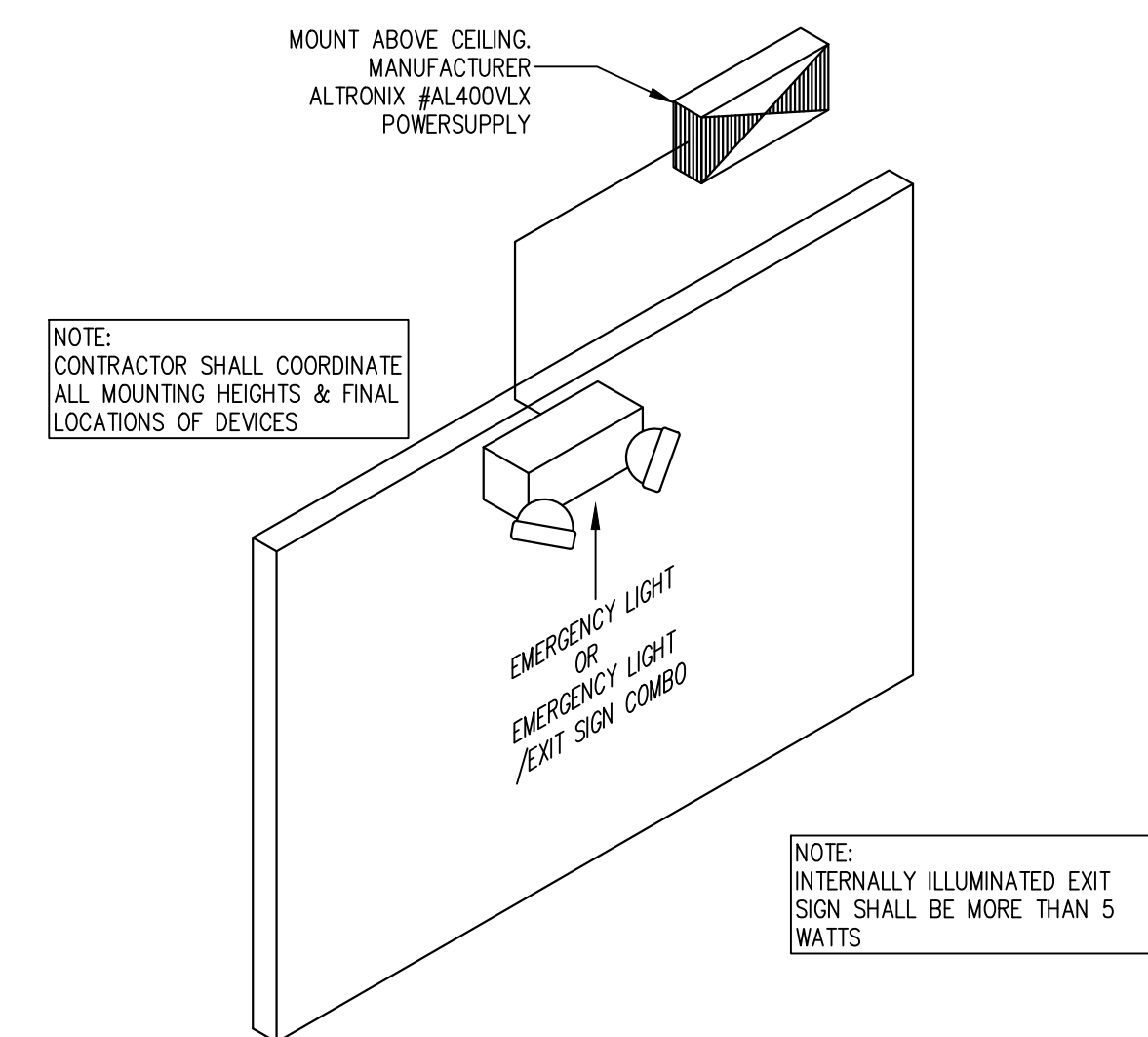
1. THE CONTRACTOR SHALL PROVIDE AND INSTALL (1) 10 LBS. ABC TYPE U.L. LISTED FIRE EXTINGUISHER PER 2500 S.F. LOCATION SHALL BE APPROVED BY FIRE MARSHALL PRIOR TO INSTALLATION.
  2. EQUIPMENT AND CONNECTIONS TO THE BUILDING FIRE ALARM CONTROL PANEL SHALL BE PROVIDED. THE CONTRACTOR SHALL VERIFY THE BUILDING SYSTEM PRIOR TO BIDDING AND INCLUDE ALL REQUIRED ELEMENTS IN THE BID.
  3. SHOP DRAWINGS TO BE SUBMITTED FOR A SEPARATE PERMIT FOR FIRE ALARM ALTERATIONS.
- BUSINESS OCCUPANCIES**  
EGRESS REQUIREMENTS SHALL COMPLY WITH NFPA 101 - CHAPTER 7 SECTION 7.2, MEANS OF EGRESS COMPONENTS AND SECTION 12.2, MEANS OF EGRESS REQUIREMENTS FOR BUSINESS OCCUPANCIES. ALL HARDWARE SHALL COMPLY WITH SECTION 7.2.1.5. LOCKS, LATCHES, AND ALARM DEVICES FOR LOCKING REQUIREMENTS
- EXIT REQUIREMENTS**  
MORE THAN 49 PERSONS: TWO EXITS REQUIRED AND DOOR MUST SWING WITH PATH OF EGRESS.  
EXIT ACCESS TRAVEL DISTANCE PER TABLE 1006.2.1 FOR NONSPRINKLERED BUSINESS OCCUPANCY:  
A) GREATER THAN 30 PERSONS: 75'-0"  
B) NOT MORE THAN 30 PERSONS: 100'-0"

**FLAME SPREAD GROUP:**

- 1. Class A Interior Finish. Flamespread 0-25, Smoke Developed 0-450. Any element thereof when do tested shall not continue to propagate fire.
- 2. Class B Interior Finish. Flamespread 26-75, Smoke Developed 0-450.
- 3. Class C Interior Finish. Flamespread 76-200, Smoke Developed 0-450.

**MINIMUM INTERIOR FINISH CLASSIFICATION:**

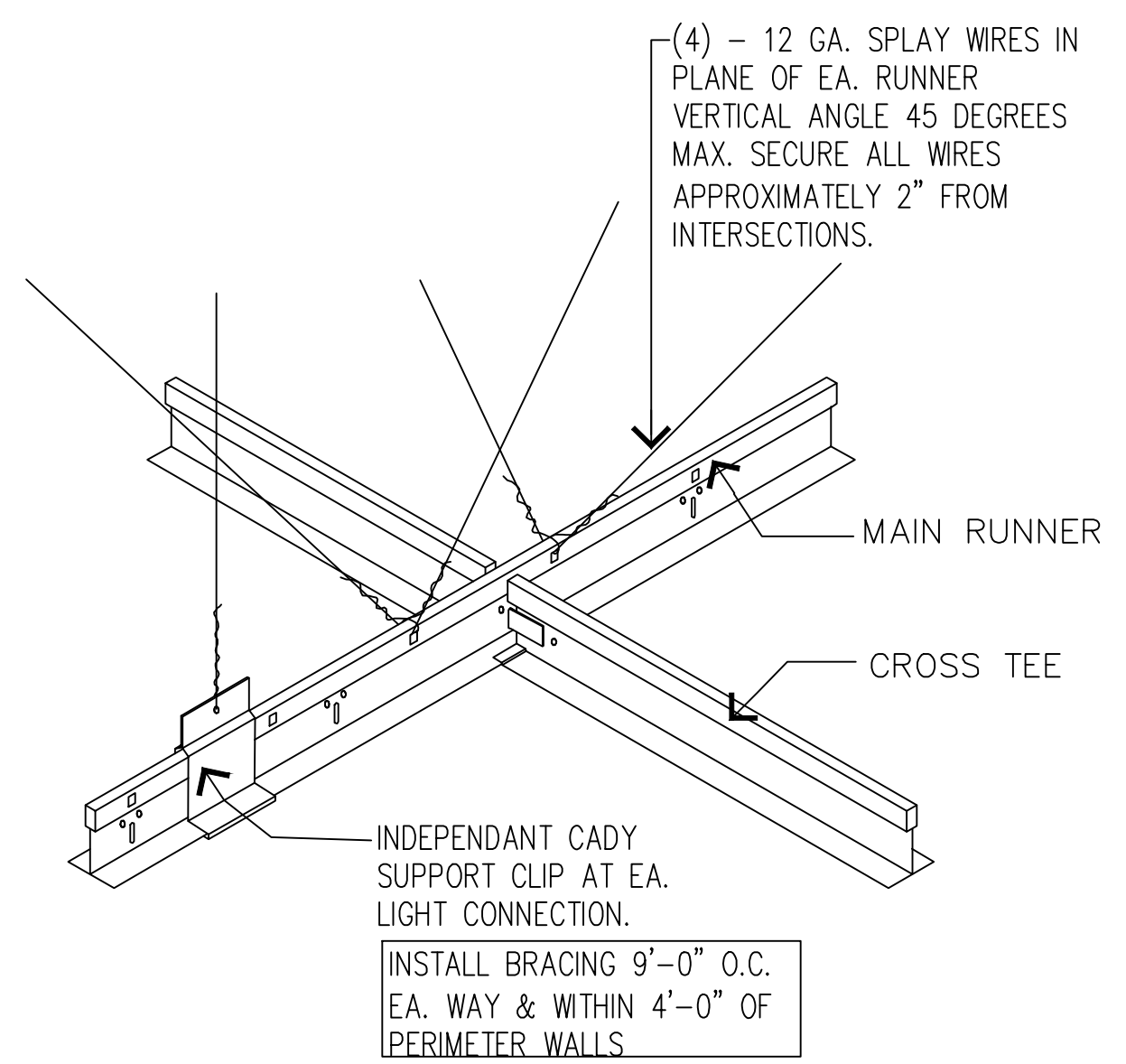
OCCUPANCY	UNSPRINKLERED			SPRINKLERED		
	Exit <sup>1</sup>	Access	Other Spaces	Exit <sup>1</sup>	Access	Other Spaces
A	A	A	B	B	C	C
B	B	B	C	C	C	C
E	A	B	B	B	C	C
F	C	C	C	B	C	C
H	Sprinkler required			B	C	C
I Restrained	A	A	C	A	A	C
I Unrestrained	Sprinkler required			B	B	B <sup>3</sup>
M	B	B	C	C	C	C
R <sup>2,4</sup>	B	B	C	C	C	C
S	C	C	C	C	C	C



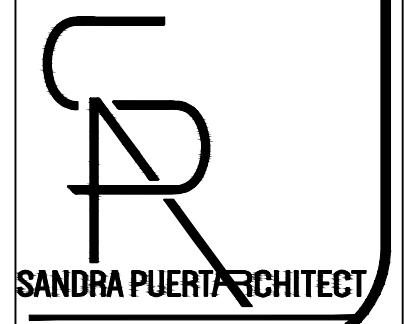
**1**  
A-2 **EMERGENCY LIGHT MOUNTING DET**  
SCALE: N.T.S.

**EGRESS | LIFE SAFETY LEGEND**

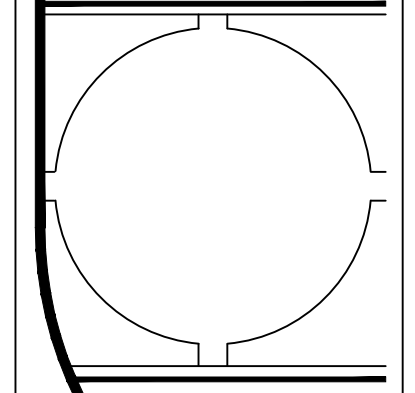
SYMBOL	DESCRIPTION
-----	EGRESS PATH DENOTES PATH OF EGRESS AND TRAVEL DISTANCE.
FE ○	FIRE EXTINGUISHER FIRE EXTINGUISHER 2A10BC 10 LBS
"K" FE ○	FIRE EXTINGUISHER FIRE EXTINGUISHER NEW "K" TYPE
#	KEY NOTE SEE EGRESS   LIFE SAFETY NOTES
□	EMERGENCY LIGHTS / EXIT SIGN SEE EGRESS   LIFE SAFETY NOTES



**2**  
A-2 **ACCOUSTICAL CEILING DETAIL**  
SCALE: N.T.S.



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DATE:  
Nov. 19, 24

**BLDG. DEPT. PLAN REVISIONS:**

- ▲ Dec. 27, 24
- ▲ Feb. 3, 25
- ▲
- ▲

Asbuilt For New Tenant:  
**14400 S MILITARY TRL**  
Delray Beach, FL 33484  
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Life safety Plan and Notes

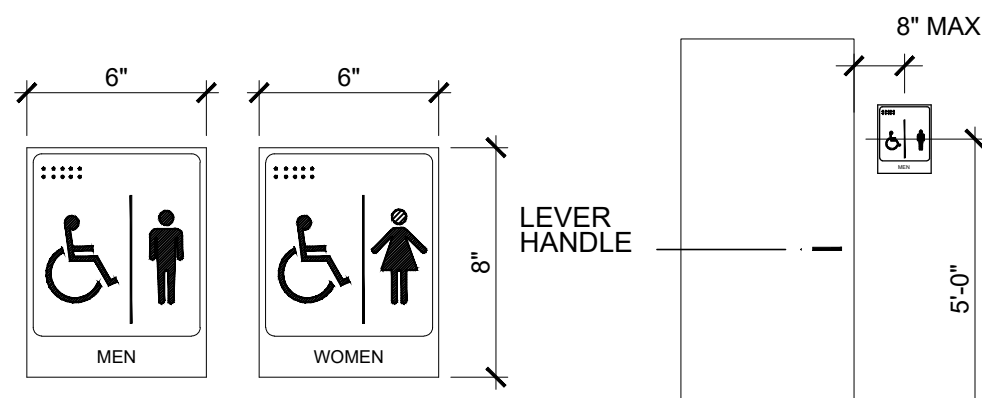
MANAGED BY: SP  
DRAWN BY: JB  
REVIEWED BY: SP

SHEET:  
**A-2**

NOTE: ACCESSIBLE KNEE SPACE PER FABC 11-4.24.6 HOT WATER AND DRAIN PIPES EXPOSED UNDER THE SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED AS TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS.

GC TO COORDINATE THAT ADA RESTROOMS ARE EQUIPPED WITH THE FOLLOWING AND INSTALLED PER CODE (SEE MANUFACTURER FOR RECOMMENDED ADA MOUNTING HEIGHTS).

- A CONTURA SERIES SURFACE-MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER @ 21" AFF. BOBRICK B-4288 OR APPROVED EQUAL.
- B 1-1/2" H.C. 36" L STAINLESS STEEL GRAB BARS WITH CONCEALED MOUNTINGS: BOBRICK B-6806 X 36 OR EQUAL. PROVIDE BLOCKING.
- C 1-1/2" H.C. 42" L STAINLESS STEEL GRAB BARS WITH CONCEALED MOUNTINGS: BOBRICK B-6806-42 OR EQUAL. PROVIDE BLOCKING. SEE SHEET A000.
- D CONTURA SERIES SURFACE-MOUNTED SOAP DISPENSER: BOBRICK B-4112 OR EQUAL.
- E BOBRICK OR EQUAL CHANNEL FRAMED STAINLESS STEEL MIRROR, SATIN 24" W x 48" HIGH.
- F CONTURA SERIES SURFACE-MOUNTED PAPER TOWEL DISPENSER/WASTE RECEPTACLE: BOBRICK B-43699 OR EQUAL.
- G H.C. WATER CLOSET. FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC AND SHALL COMPLY WITH SECTION 11-4.27.4. CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS NO MORE THAN 44 INCHES (1120 MM) ABOVE THE FLOOR. CONNECT TO EXISTING SANITARY AND WATER SUPPLY.
- H MURRO WALL-MOUNT SINK (SEE MANUFACTURER FOR RECOMMENDED MOUNTING HEIGHTS); AMERICAN STANDARD 0954.00 OR EQUAL WITH OPTIONAL VITREOUS CHINA SHROUD/ KNEE CONTACT GUARD 0059.020C.
- I 4" CENTER-SET LEVER LAVATORY FAUCET: MONTERREY 0.5 GPM TWO-HANDLE CENTERSET LAVATORY FAUCET WITH CONVENTIONAL SPOUT. CONNECT TO EXISTING SANITARY AND WATER SUPPLY.
- J SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL @ 21" AFF AT WOMEN'S RESTROOM ONLY: BOBRICK B-254.



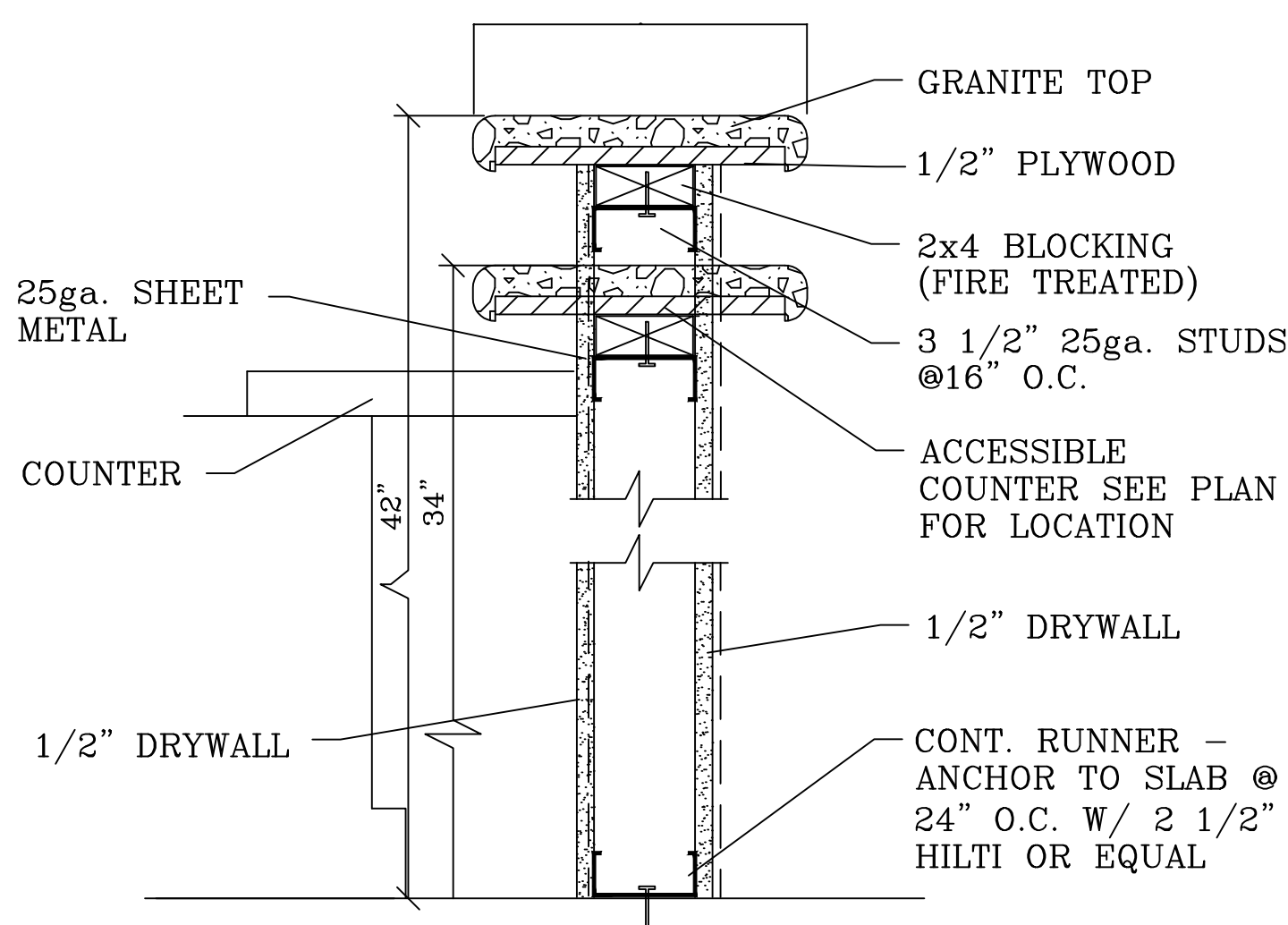
**SIGNAGE**  
 CHARACTER PROPORTION. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE-WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.

RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL SIGNS. (PICTOGRAMS). LETTERS AND NUMERALS SHALL BE RAISED 1/32 IN., UPPER CASE, SANS SERIF OR SIMPLE SERIF TYPE AND SHALL BE ACCOMPANIED WITH GRADE BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8 IN. (16 MM) HIGH, BUT NO HIGHER THAN 2 IN. (50 MM). PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6 IN. (152 MM) MINIMUM OF HEIGHT.

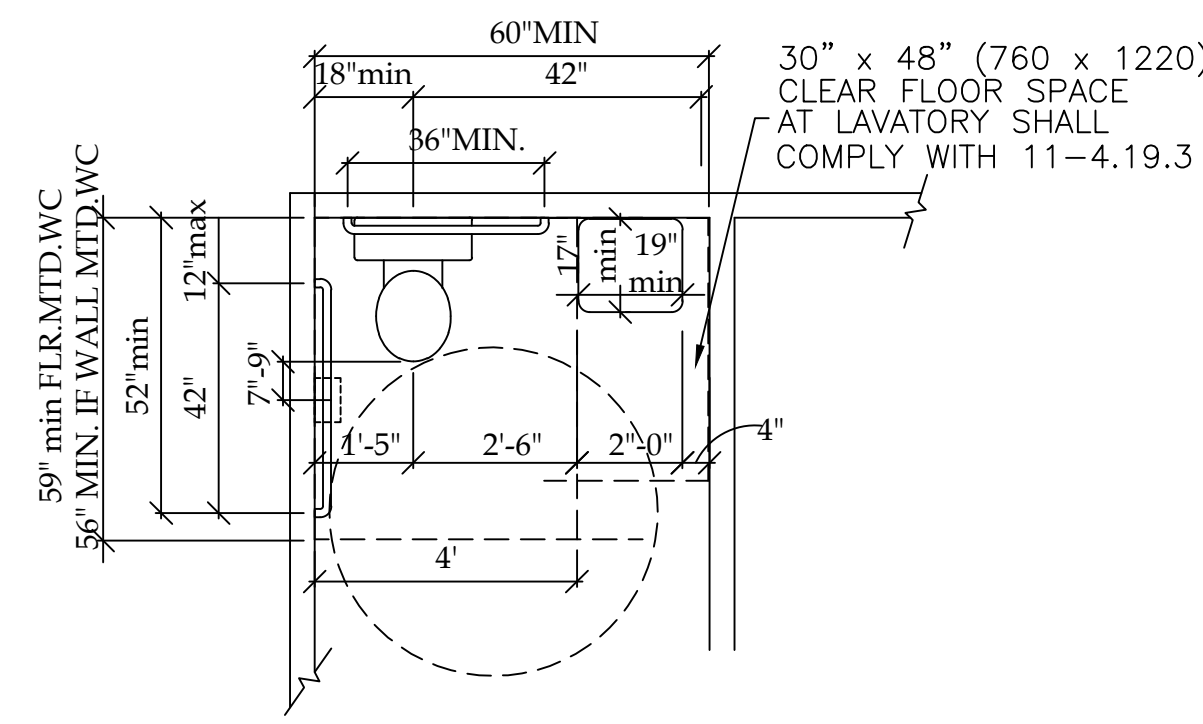
FINISH AND CONTRAST. THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

MOUNTING LOCATION AND HEIGHT. WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO ALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60 IN. (1525 MM) ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3 IN. (76 MM) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE WING DOOR. SYMBOLS OF ACCESSIBILITY, FACILITIES AND ELEMENTS REQUIRED TO BE IDENTIFIED AS ACCESSIBLE BY SECTION 4.11 OF THE ADAAG, SHALL USE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.

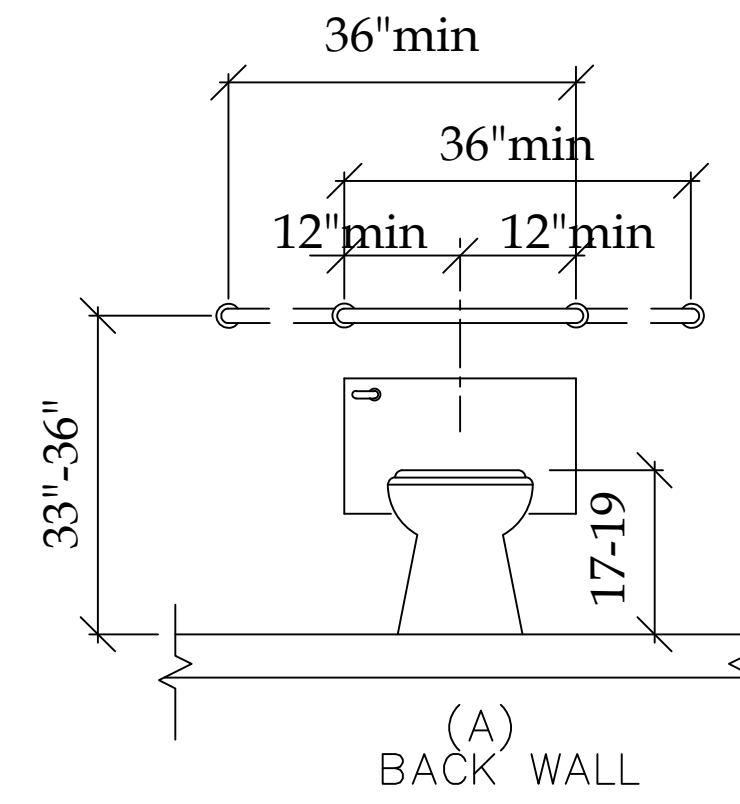
**TYPICAL HANDICAP SIGNAGE**



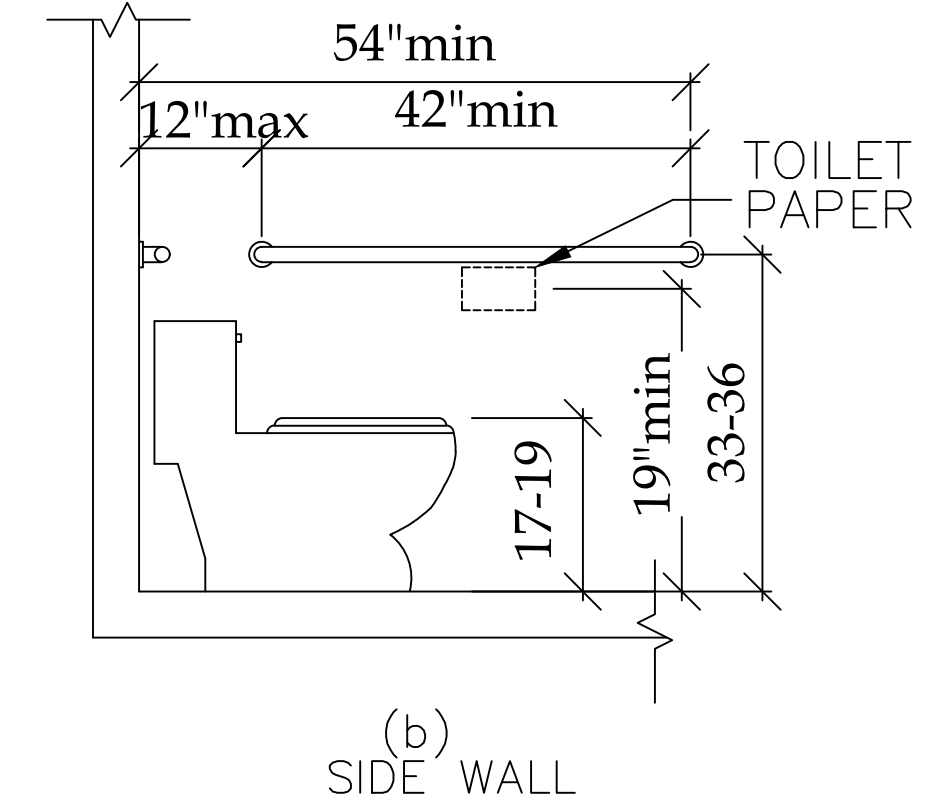
**5 TYP. COUNTER SECTION DETAIL**  
 SCALE: NOT TO SCALE



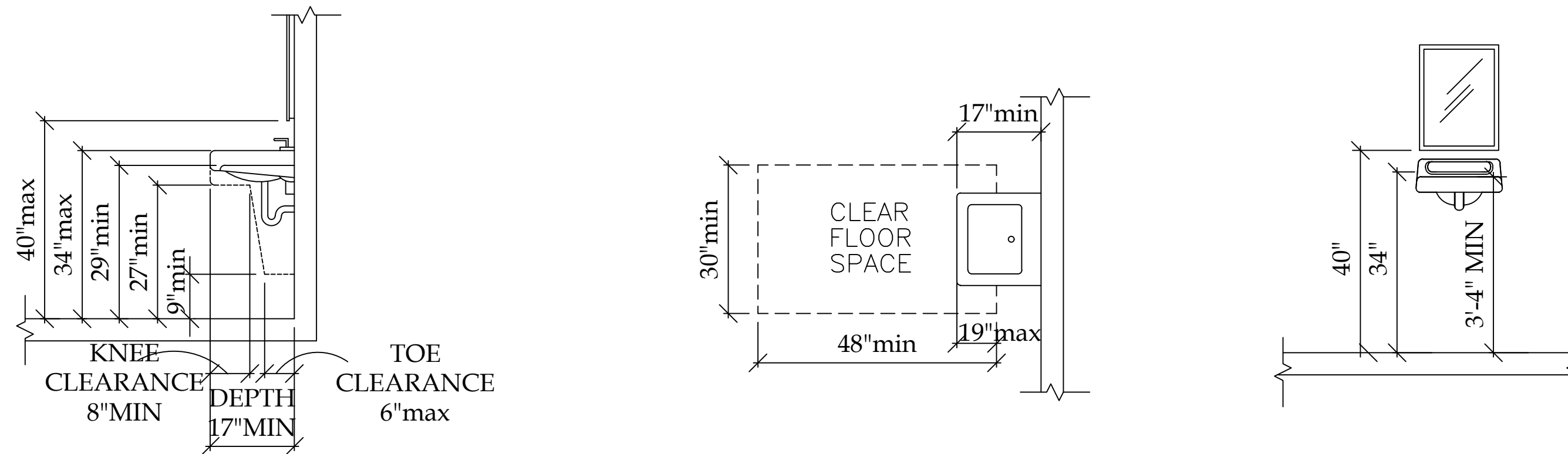
**1 TYP. A.D.A TOILET ROOM**  
 SCALE: NOT TO SCALE



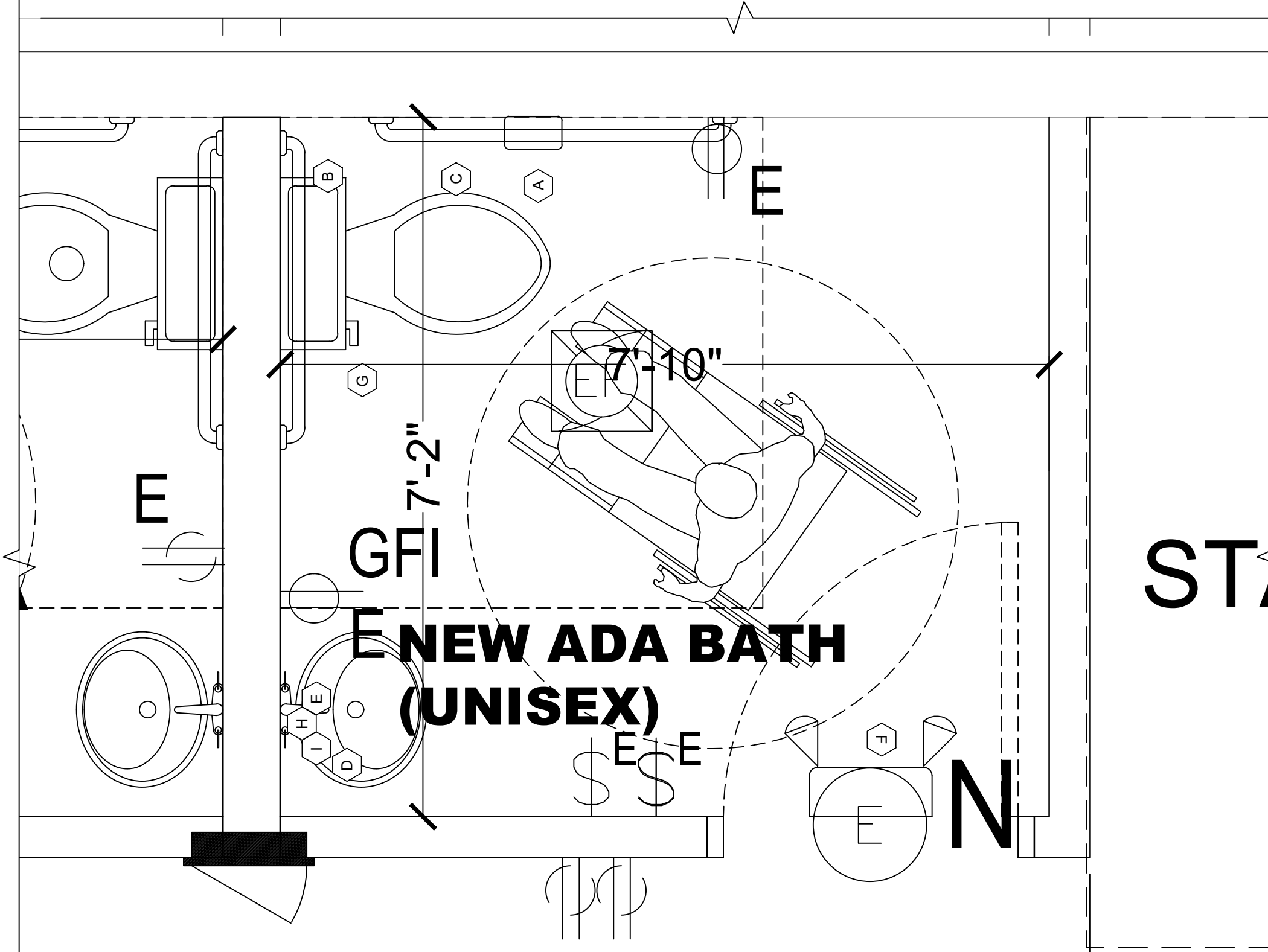
**2 TYP. A.D.A GRAB BARS**  
 SCALE: NOT TO SCALE



**3 TYP. A.D.A GRAB BARS**  
 SCALE: NOT TO SCALE



**4 TYP. A.D.A LAVATORY CLEARANCES AND FLOOR SPACE**



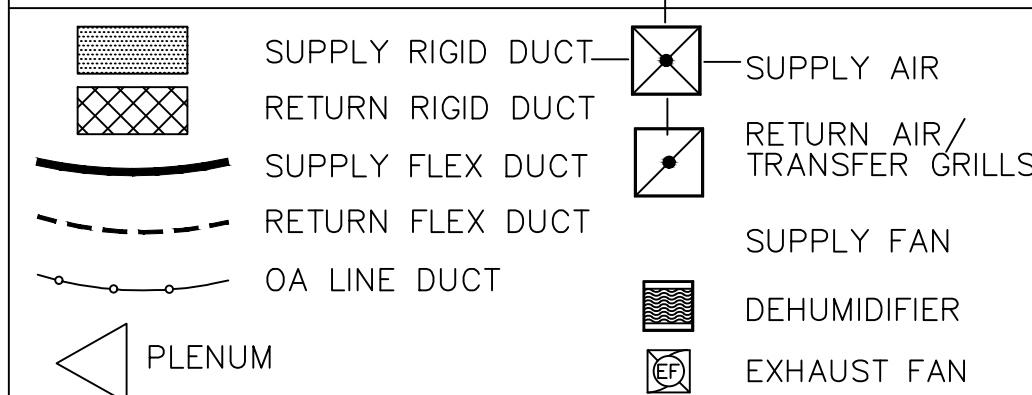
**6 ADA BATHROOM DETAIL**  
 SCALE: NOT TO SCALE

### FAN SCHEDULE

MARK	UNIT TYPE	CFM	" ESP.	HORSEPOWER	VOLT/Ø	MANUFACTURER	MODEL#	NOTES
EF1	FAN	80	.125	-	115v./1Ø	BROAN	S80U	

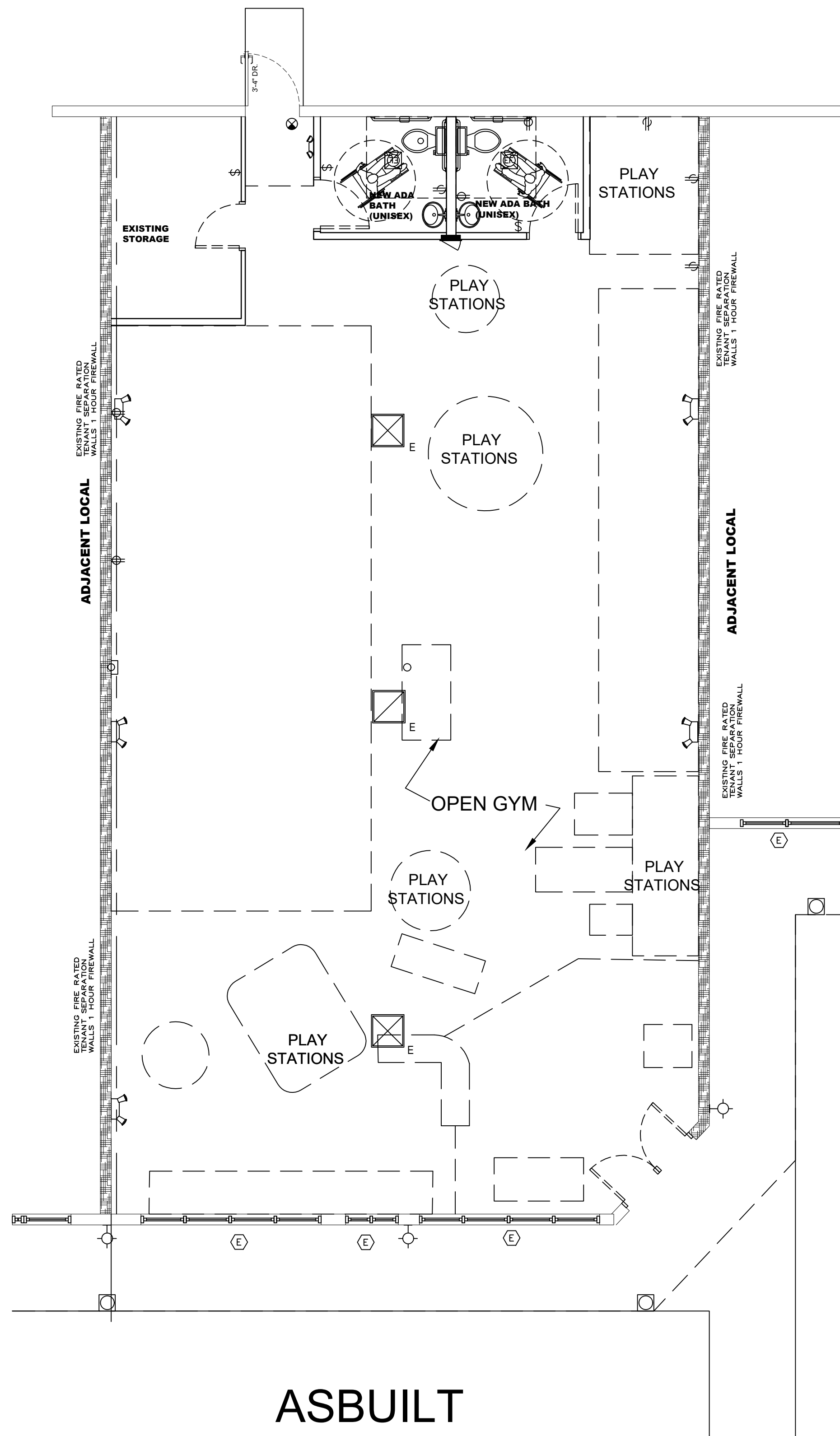
NOTE: SEE HOOD DRAWINGS FOR SPECIFICATIONS

#### MECHANICAL PLAN LEGEND



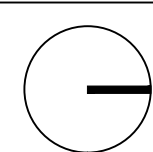
#### SCOPE:

- EXISTING HVAC AS PER PLANS
- EXISTING SUPPLY RIGID DUCT MAIN, DUCT FLEXES & DIFFUSERS PER PLAN LAYOUT.
- EXISTING RETURN RIGID DUCT MAIN, DUCT FLEXES & DIFFUSERS PER PLAN LAYOUT.



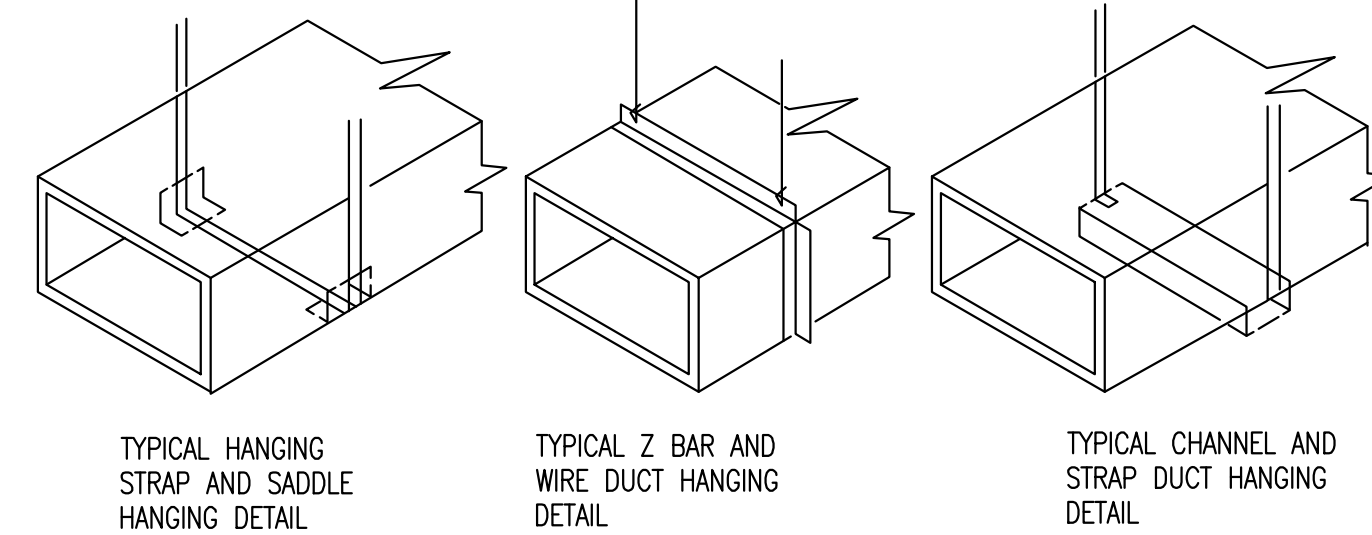
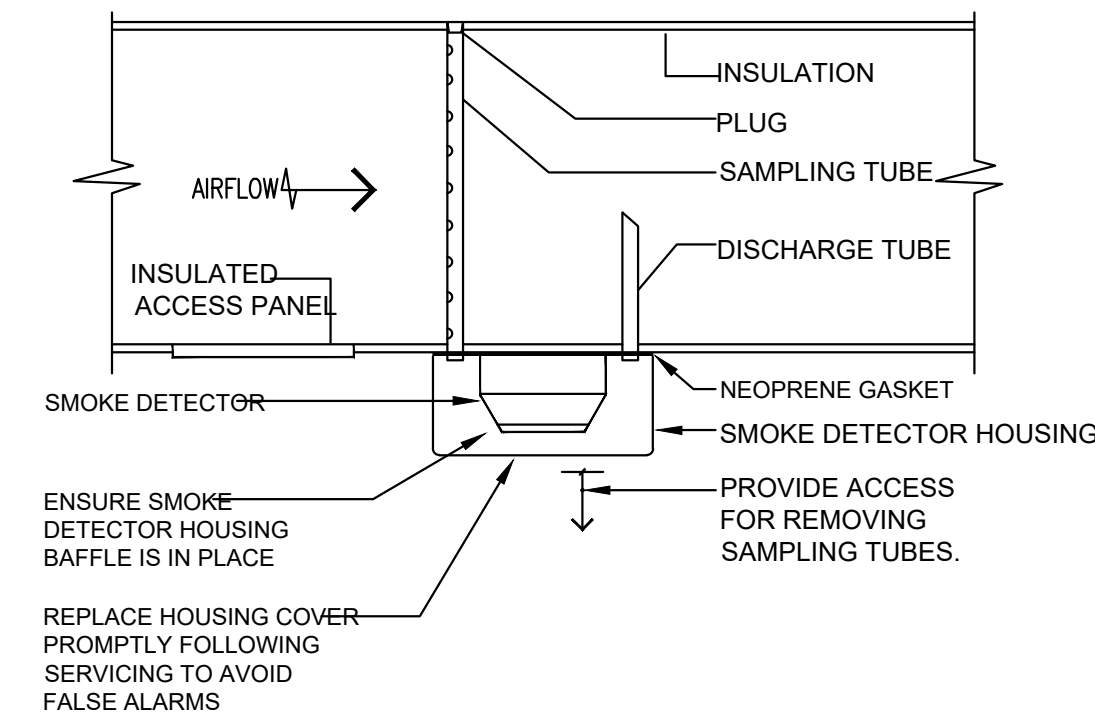
### MECHANICAL FLOOR PLAN

SCALE: 3/16" = 1'-0"



### 1 DUCK SMOKE DET. DETAIL

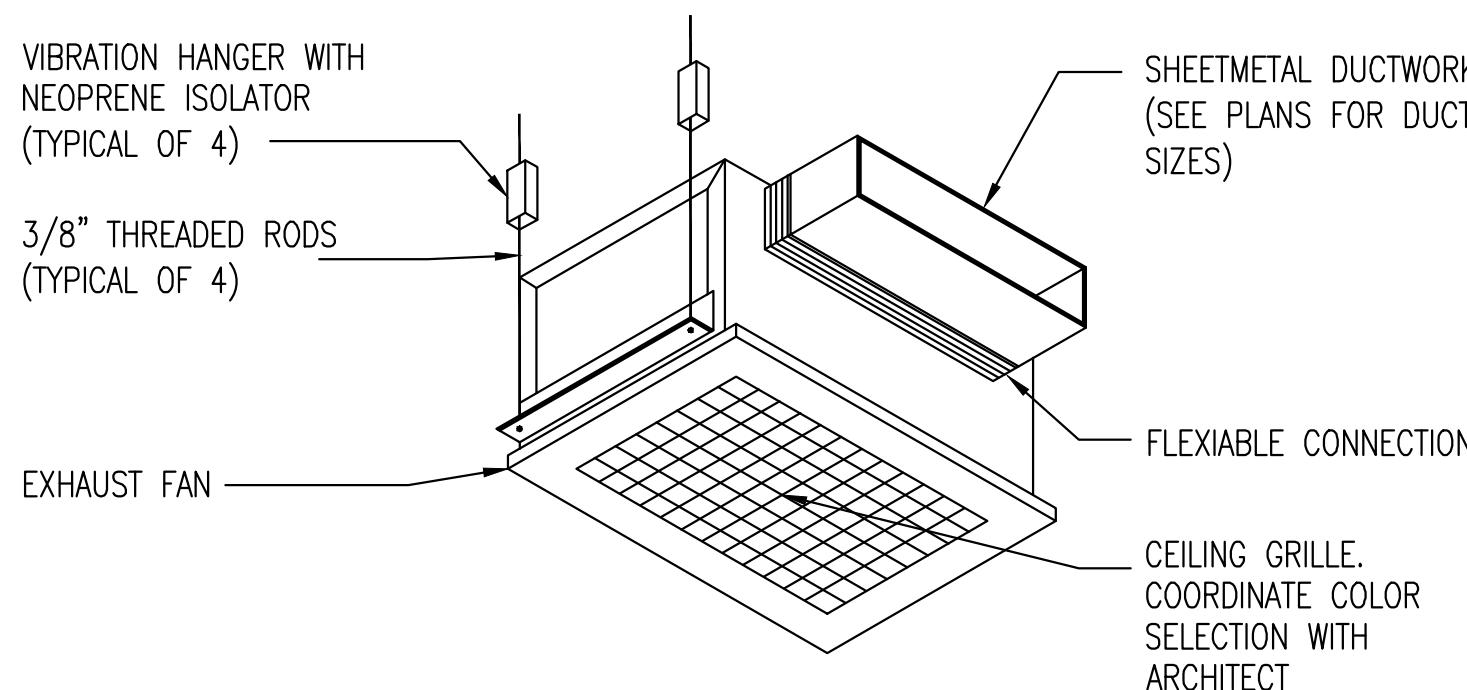
M-1 SCALE: NOT TO SCALE



- NOTES:
- HANG DUCTS ACCORDING TO SMACNA STANDARDS
  - ALL STRAP SHALL BE A MINIMUM OF 1 1/2", 26 GA GALVANIZED STEEL, WITH A 6 FT MAXIMUM SPACING.

### 2 TYP. HANGING METHODS

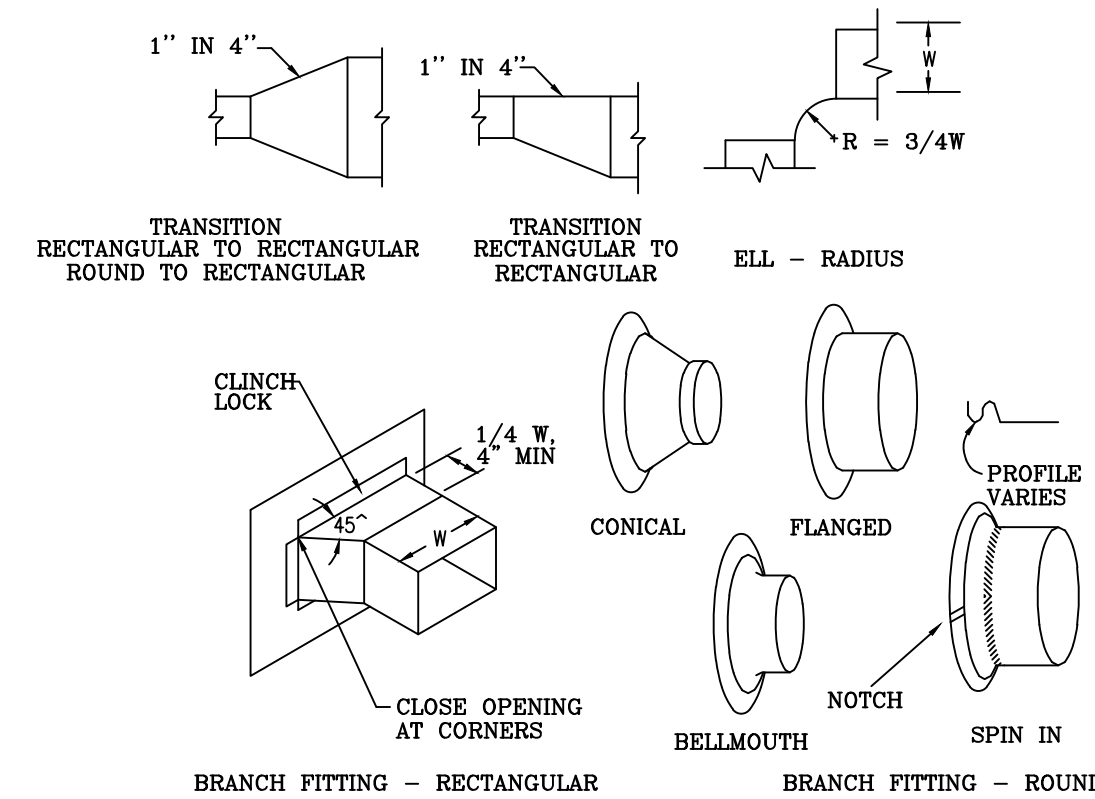
M-1 SCALE: NOT TO SCALE



- NOTES:
- PROVIDE BACKDRAFT DAMPER WITH INSECT SCREEN
  - FLASH AND SEAL WALL
  - PROVIDE INTERNAL ISOLATOR AND SOUND INSULATIONS
  - SUPPORT FAN FROM STRUCTURE

### 3 TYP. E/F CEILING DET

M-1 SCALE: NOT TO SCALE



### 4 TYP. DUCTWORK FITTINGS DETAIL

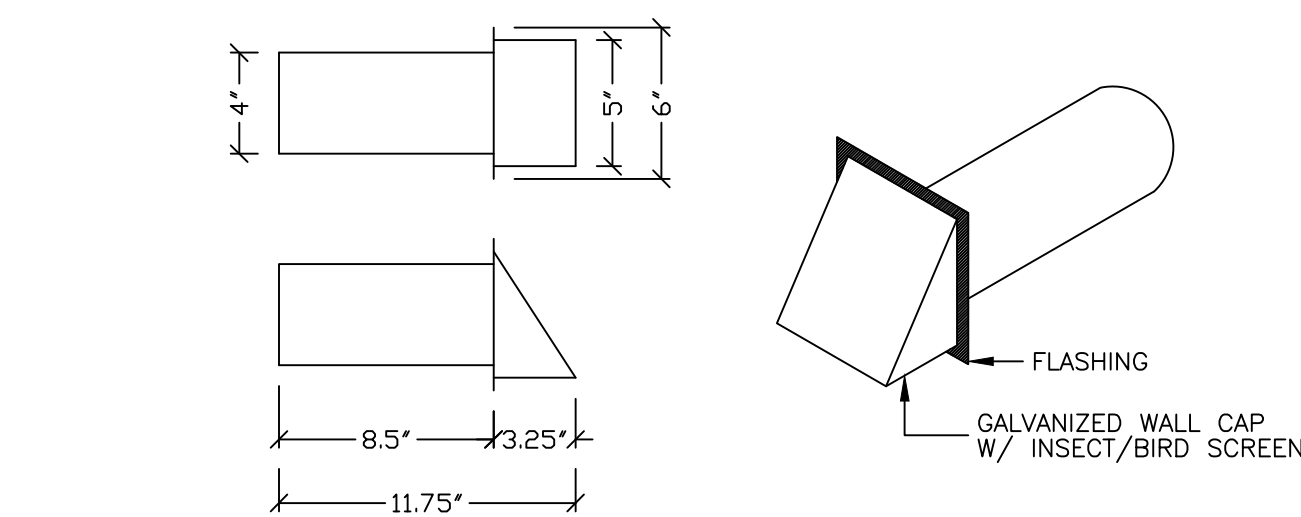
M-1 SCALE: NOT TO SCALE

### AIR CONDITIONING NOTES

- HVAC SUBCONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT TO INSTALL A COMPLETE AND OPERATING A/C SYSTEM. HVAC SUBCONTRACTOR TO PROVIDE ALL REQUIRED HVAC PERMITS.
- HVAC SUBCONTRACTOR SHALL PROVIDE EQUIPMENT AS SCHEDULED ON PLANS.
- INSTALLATION SHALL BE IN ACCORDANCE WITH 2023 FLORIDA BUILDING CODE.
- DUCTBOARD DUCTWORK SHALL BE FABRICATED FROM 1.5" JOHNS-MANVILLE J-M MICROAIRE SD/MF FIBERGLASS
- DUCTBOARD AND INSTALLED PER MANUFACTURER'S AND SMACNA RECOMMENDATIONS. FLEXIBLE DUCT SHALL BE THERMAFLEX M-KE OR EQUAL DUCT SHALL BE U.L. LISTED. ALL AIR DEVICES SHALL BE OF ALUMINUM CONSTRUCTION. TITUS, METALAIR OR AS APPROVED BY ARCHITECT.
- ALL VENTILATION DUCTWORK SHALL BE GALVANIZED SHEET METAL.
- HVAC SUBCONTRACTOR SHALL TEST AND BALANCE THE AIR QUANTITIES TO THOSE INDICATED ON PLANS.
- PROVIDE A T&B REPORT IN ACCORDANCE WITH AIR BALANCE COUNCIL STANDARDS.
- HVAC SUBCONTRACTOR SHALL PROVIDE ALL CONTRACTORS, RELAYS AND THERMOSTATS. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SWITCHES. THERMOSTATS SHALL BE APPROVED BY EQUIPMENT MANUFACTURER WITH HEAT/COOL/OFF & FAN AUTO/O/N SETTING. CONTROL TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- THE HVAC SUBCONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE THAT SHALL WARRANT ALL WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- ANY WORK PERFORMED DURING THE FIRST YEAR SHALL BE PERFORMED AT NO COST TO OWNER. COMPRESSORS SHALL HAVE 5 YEAR WARRANTY (LABOR & MATERIALS). ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID DELAYS WHICH MAY DELAY PROGRESS OF CONSTRUCTION.
- HVAC SUBCONTRACTOR SHALL PROVIDE ALL NECESSARY OFFSETS BENDS AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE AND OPERATING A/C SYSTEM AT NO ADDITIONAL COST TO OWNER.
- PIPE A/C CONDENSATE DRAINS TO GRADE AT EXTERIOR OF BUILDING. PROVIDE FLOAT SWITCH IN SAFE PAN.
- RETURN GRILLES SHALL BE TITUS' 3502RL SERIES, UNLESS NOTED OTHERWISE.
- SIDEWALL GRILLES SHALL BE TITUS' 271 SERIES, UNLESS NOTED OTHERWISE.
- CEILING DIFFUSERS SHALL BE TITUS' TDC & 250-AA SERIES, UNLESS NOTED OTHERWISE.
- LINEAR DIFFUSERS SHALL BE TITUS' FL SERIES W/ CONTINUOUS SLOT PLENUMS. COORDINATE APPLICATION AND BORDER TYPE WITH MANUFACTURER.
- EXHAUST FANS TO BE BROAN OR EQUIVALENT. SPECIFICATIONS ARE LISTED IN FAN SCHEDULE.
- ALL DRAIN PANS SHALL HAVE A CONDENSATE OVERFLOW SHUT-OFF SWITCH. 21. ("AFSE-T-SWICH" MODEL S22 OR APPROVED EQUAL)

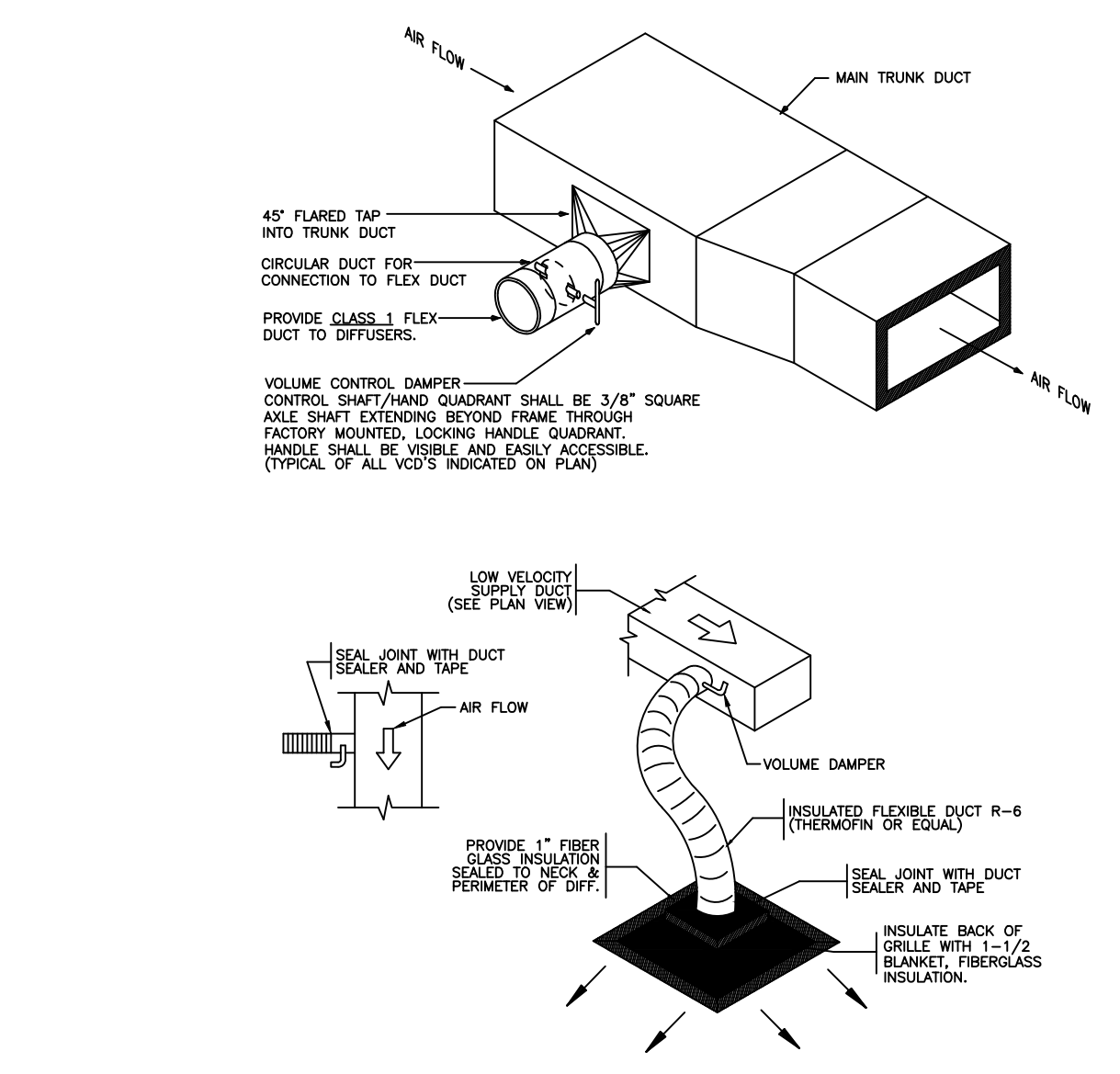
### 5 TYP. DRYER-E/F VENT DETAIL

M-1 SCALE: NOT TO SCALE



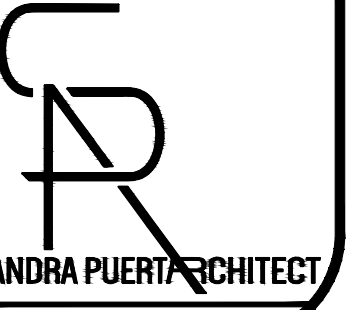
### 6 TYP. TRANSFER AIR DUCT DETAIL

M-1 SCALE: NOT TO SCALE



### 7 TYP. FLEX DUCT CONNECTION DET

M-1 SCALE: NOT TO SCALE



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DATE: Nov. 19, 24

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- 1 Dec. 27, 24
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- 3
- 4

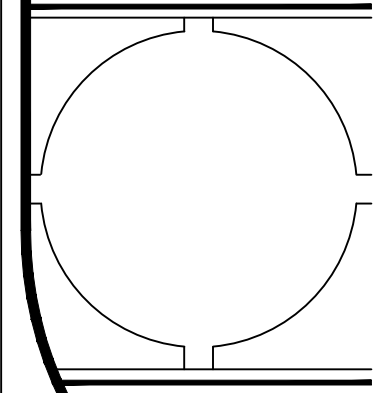
Asbuilt For New Tenant:  
**14400 S MILITARY TRL**  
Delray Beach, FL 33484  
Parcel ID: 12-42-46-13-00-000-3020

Mechanical Plans and Notes

MANAGED BY: SP  
DRAWN BY: JB  
REVIEWED BY: SP

SHEET: M-1





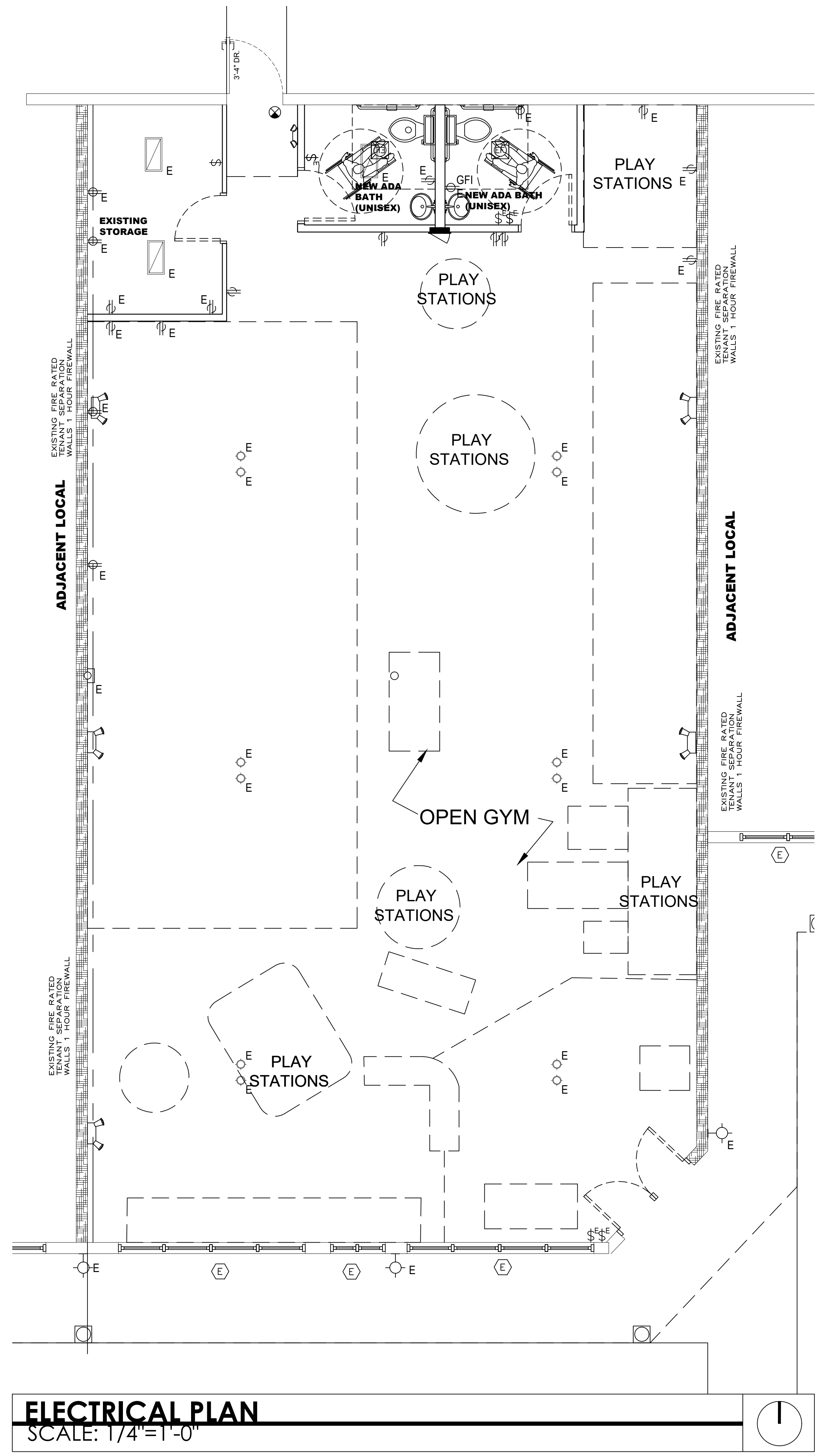
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 Parcel ID: 12-42-46-13-00-000-3020

Electrical Plans & Notes  
 MANAGED BY: SP  
 DRAWN BY: JB  
 REVIEWED BY: SP

SHEET:  
**E-1**



**ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"

**ELECTRICAL NOTES**

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2023 FLORIDA BUILDING CODE, THE NATIONAL ELECTRICAL CODE 2020 AND ALL LOCAL CODES.
2. THE ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FULL COORDINATION OF THIS WORK WITH THAT OF THE GENERAL CONTRACTOR AND THE OTHER SUB-CONTRACTORS.
3. PROVIDE A GUARANTEE AGAINST DEFECTIVE WORKMANSHIP, MATERIALS AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY OWNER.
4. ALL POWER AND CONTROL WIRING SHALL BE BY THE ELECTRICAL SUB-CONTRACTOR.
5. ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE FEES TAXES AND PERMITS. WIRING DEVICES SHALL BE U.L. LISTED COMMERCIAL GRADE.
6. ALL CONDUIT SHALL BE RIGID GALVANIZED EXCEPT AS FOLLOWS:  
 A: EMT MAY BE USED INDOORS, WHERE NOT SUBJECT TO ABUSE.  
 B: PVC MAY BE USED UNDERGROUND WHERE ALLOWED BY CODE.
8. ALL WIRE SHALL BE COPPER. #10 AND SMALLER SHALL BE SOLID THHN. #8 AND LARGER SHALL BE STRANDED THHN. CONTROL WIRING SHALL BE # 14 THHN.
9. THESE PLANS ARE BASED ON AVAILABLE INFORMATION. NOTIFY ARCHITECT/ OWNER OF ANY CONDITIONS WHICH AFFECT PROGRESS OF CONSTRUCTION.
10. VERIFY ELECTRICAL REQUIREMENTS OF EACH PIECE OF EQUIPMENT PRIOR TO ACTUAL CONNECTION THERE-TO.
11. ESTABLISH FIELD LIAISON WITH PROJECT MANAGER PRIOR TO STARTING WORK. VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES.
12. ELECTRICAL SUBCONTRACTOR SHALL VERIFY LOCATIONS AND CONNECTIONS TO ALL ELECTRICAL EQUIPMENT FURNISHED BY OTHERS. PRIOR TO INSTALLING OUTLETS, CONDUIT STUBS , DROPS , ETC. VERIFY LOCATIONS OF ALL CONTROLS FURNISHED BY OTHERS. INSTALL CONTROLS AND MAKE CONNECTIONS THERETO.
13. ALL SLEEPING ROOM BRANCH CIRCUITS SHALL BE ARC FAULT RECEPTACLE. ALL BATH OUTLETS , KITCHEN AND WITHIN 2' OF ANY SOURCE OF WATER TO BE GFI.
14. TAMPER RESISTANT RECEPTACLE REQUIRED AS PER NEC 406.11 FOR ALL NEW OUTLETS
15. COMBINATION TYPE BREAKERS ARE REQUIRED FOR ALL SMOKE DETECTORS. PER NEC 210.12B 16.
16. ALL PHONE / INTERNET LOCATIONS TO HAVE (2)CAT6 CABLES. ALL T.V. LOCATIONS TO HAVE (2) CAT6 AND (2)RG6 COAXIAL CABLES.
17. ALL T.V. LOCATIONS TO HAVE (2) CAT6 AND (2)RG6 COAXIAL CABLES.

**SMOKE DETECTOR/ CARBON MONOXIDE NOTE:**

HARD WIRED CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP IS REQUIRED WITHIN 10' OF EACH SLEEPING ROOM TO BE PART OF THE ALARMS SYSTEM

**FOR NEW ELECTRIC ONLY NOTES :**

ARC-FAULT CIRCUIT INTERRUPTER ON ALL SINGLE PHASE 15 AND 20 AMP BRANCH CIRCUITS EVERYWHERE EXCEPT BATHROOMS, KITCHENS, GARAGES & OUTSIDE RECEPTS.

ALL RECEPTS. TO BE "TAMPER-PROOF" AS PER NEC 2020 SEC. 406.11.

ELECTRICAL CONTRACTOR TO CONFORM TO 2020 NEC BUILDING CODES.

ALL KITCHEN OUTLETS MUST BE GFI TYPE. ALL OUTLETS BOXES FOR RECEPTACLES IN RATED WALLS MUST BE METAL OR UL RATED FOR USE IN ONE HOUR CONSTRUCTION.

COORDINATE ALL CONDUIT RUNS AND EQUIPMENT INSTALLATION WITH OTHERS TRADES TO AVOID CONFLICTS ELECTRICAL CONTRACTOR TO VERIFY PANEL SPACE IN EXISTING ELECTRICAL PANEL.

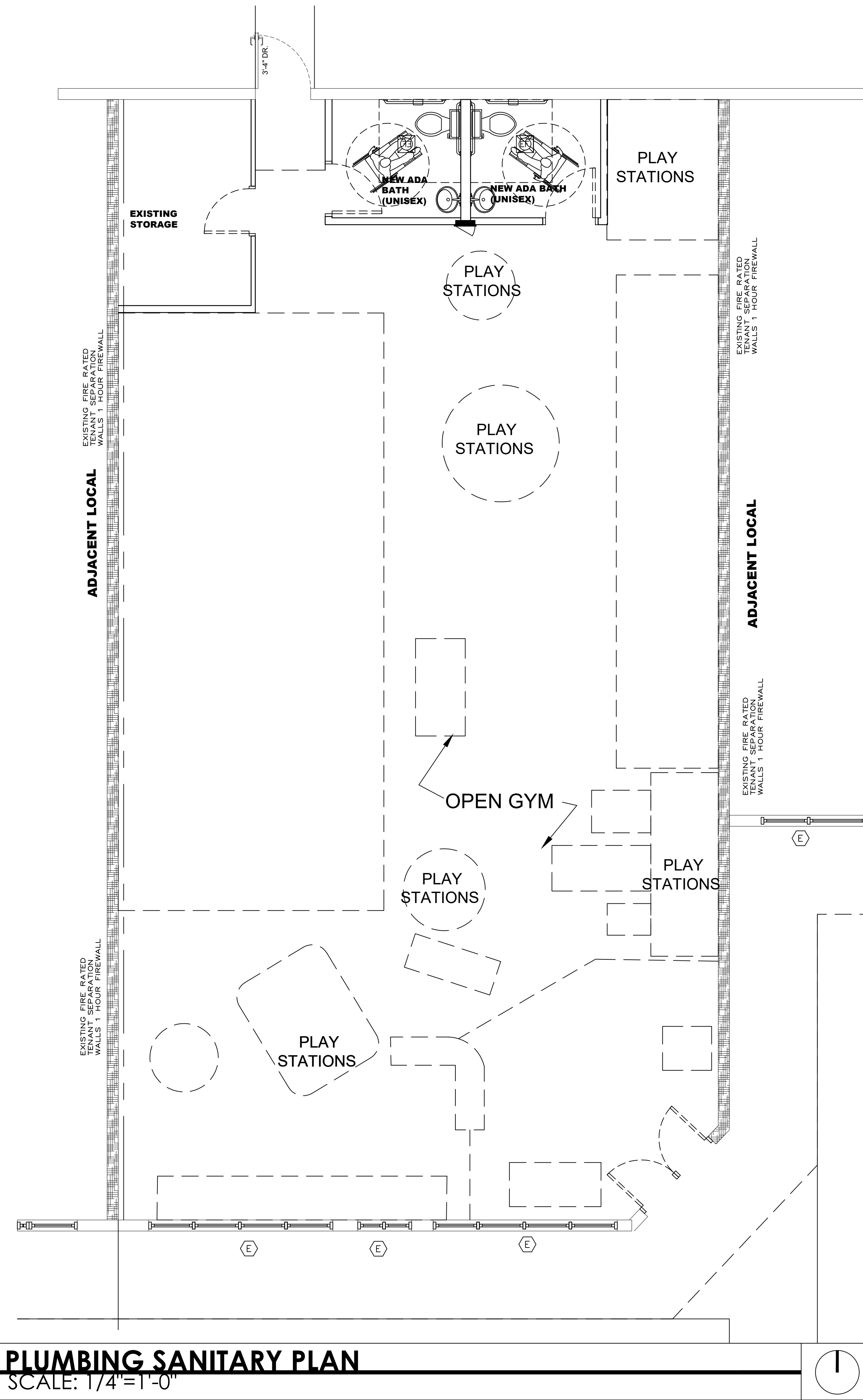
**ELECTRICAL FIXTURES LEGEND**

FIXTURE NOTE	DESCRIPTION
E	EXISTING - NO CHANGE
N	INSTALL NEW
R	RELOCATE

**ELECTRICAL SYMBOLS LEGEND**

	SINGLE RECEPTACLE		SINGLE FLOOD - WALL MOUNTED
	DUPLEX RECEPTACLE		DOUBLE FLOOD - WALL MOUNTED
	220V RECEPTACLE		SINGLE FLOOD - SOFFIT MOUNTED
	SWITCHED RECEPTACLE		DOUBLE FLOOD - SOFFIT MOUNTED
	QUADRAPLEX RECEPTACLE		INCANDESCENT FIXTURE - CEILING MOUNTED
	SINGLE FLOOR RECEPTACLE		INCANDESCENT FIXTURE - WALL MOUNTED
	DUPLEX FLOOR RECEPTACLE		RECESSED HIGH HAT
	SWITCHED FLOOR RECEPTACLE		RECESS INCAND. (EYEBALL) FIXTURE
	QUADRAPLEX FLOOR RECEPTACLE		24 2FT UNDER CABINET FLOOR FIXTURE
	GFI GROUND FAULT INTERRUPTER		36 3FT UNDER CABINET FLOOR FIXTURE
	WP WEATHERPROOF GROUND FAULT INTERRUPTER		48 4FT UNDER CABINET FLOOR FIXTURE
	EP ELECTRIC PANEL		STRIP LIGHT
	VP VAPOR PROOF		SINGLE POLE SWITCH
	26x8 FLOOR FIXTURE		3 WAY SWITCH
	12x8 FLOOR FIXTURE		4 WAY SWITCH
	EXHAUST FAN w/LIGHT		DIMMER SWITCH
	EXHAUST FAN		PUSHBUTTON
	CEILING FAN		DISCONNECT SWITCH
	CEILING FAN w/LIGHT		JUNCTION BOX
	E.M. ELECTRIC CO. METER		TV JACK
	G.M. GAS CO. METER		PHONE JACK - PREWIRE ONLY
	OCCUPANCY SENSOR		COMPUTER OUTLET (W) GENERAL USE DUPLEX RECEPTACLE
	SMOKE DETECTOR		PHOTOCELL - SOFFIT MOUNT
			PHOTOCELL - WALL MOUNT
			ELECTRICAL PANEL
			SPEAKER

**ELECTRICAL SYMBOLS LEGEND**  
 SCALE: NOT TO SCALE

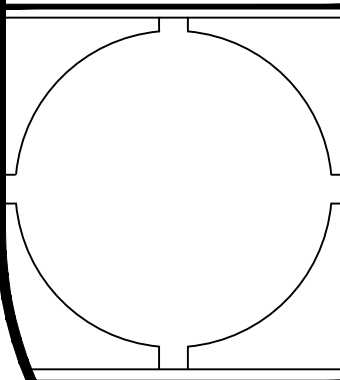


**PLUMBING SANITARY PLAN**  
SCALE: 1/4"=1'-0"

**PLUMBING NOTES**

1. INSTALLATION SHALL BE IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE 8TH EDITION AND ALL LOCAL CODES & BOYNTON BEACH AMENDMENTS
2. ALL MATERIALS SHALL BE NEW AND CODE APPROVED.
3. ALL NEW DOMESTIC WATER PIPING SHALL BE COPPER. ALL NEW SANITARY PIPING SHALL HUBLESS C.I. OR PVC. AS REQUIRED TO INTEGRATE WITH EXISTING PIPING.
4. THE PLUMBING SUB-CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE THAT PLUMBING WORK IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. REPAIR OR REPLACE ALL WORKWHICH BECOMES DEFECTIVE AT NO COST TO OWNER.
5. PLUMBING SUB-CONTRACTOR SHALL PROVIDE REQUIRED PERMITS.
6. INSTALL PLUMBING FIXTURES AS INDICATED ON THESE PLANS. COMPLETE SYSTEM, FIXTURES AND DEVICES SHALL BE GIVEN AN IN-SERVICE TEST AFTER COMPLETION OF INSTALLATION.
7. ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION, SHALL BE PART OF THIS CONTRACT.
8. DRAINAGE SYSTEM IS BASED ON 1/8"/ FT. MIN. FALL. FOR ALL PIPING 2" AND SMALLER SHALL SLOPE @ 1/4"/FT. ALL DEVIATIONS SHALL BE APPROVED BY ARCHITECT/ENGINEER AND PLUMBING INSPECTOR
9. DO NOT SCALE FOR THE EXACT FIXTURES, PIPING , EQUIPMENT ETC.
10. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF CONSTRUCTION.
11. WATER PIPING SHALL BE TYPE "L" COPPER WITH WROUGHT SOLDER FITTINGS. UNDERGROUND PIPING MAY BE TYPE "M" WITH PROPER SLEEVING AND NO JOINTS BELOW SLAB.
12. FURNISH AND INSTALL APPROVED WATER HAMMER ARRESTORS AND SHUTOFF VALVES WITH ACCESS PANELS AT EACH FIXTURE GROUP. INSTALL PER PDI IN EFFECTIVE RANGE.

**NOTE:**  
CAP ALL EXISTING LINES NOT TO BE USED



DATE:  
Nov. 19, 24

BLDG. DEPT. PLAN REVISIONS:

- 1. Dec. 27, 24
- 2. Feb. 3, 25
- 3.
- 4.

Asbuilt For New Tenant:  
**14400 S MILITARY TRL**  
Delray Beach, FL 33484  
Parcel ID: 12-42-46-13-00-000-3020

Plumbing Plans & Notes  
MANAGED BY: SP  
DRAWN BY: JB  
REVIEWED BY: SP

SHEET:  
**P-1**