Asbuilt For New Tenant: 14400 S MILITARY TRL Delray Beach, FL 33484

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Building Codes And Zoning Requirements

At the time of creation, these plans were designed to meet the requirements of a nationally recognized model building code in effect where these plans were produced. Because of the great differences in geography and climate throughout the United States each state, county and municipality has its own building codes, zone requirements, ordinances and building regulations. These plans may need to be modified and additional drawings and details may need to be added to comply with your local conditions, requirements, and a wide range of other matters.All of our plans can be adapted to the local building codes and requirements. It is the responsibility of the purchaser and/or builder of each plan to see that the structure is built in strict compliance with the governing municipal codes (city, county, state and federal). In addition to the building plans that you order, you will also need a site plan that shows where the house is going to be located on the lot. There are some areas of the country that have very strict engineering codes. If you are building in this type of area, it is possible that you will need to hire a local engineer to analyze the house and provide additional drawings and calculations that may be required by your building department.

Notice Duty Of Cooperation

Our firm assumes no liability for any home constructed from these plans. Only qualified Designers, Architects, Contractors or Structural Engineers should attempt to modify any portion of these plans. It is the sole responsibility of the purchaser to obtain any and all structural analysis, engineering and specifications that are required where the structure is to be built. Written dimensions on these drawings should have precedence over scaled dimensions; the contractor shall verify and be responsible for all dimensions and conditions on the job. Architectural And Engineering Seals

Some cities and states are now requiring that a licensed architect or engineer review and "seal" these plans, or officially approve them prior to construction. In addition, you may need to obtain permits or inspections from your local governments before and in the course of construction. Prior to using these plans, we strongly advise that you consult a licensed architect or engineer, as well as consult with your local building official before applying for any permit or before starting any construction related to these plans. We authorize the use of these plans on the express condition that you strictly comply with all local building codes, zoning requirements and other applicable laws, regulations, ordinances and requirements.

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Applicable Law

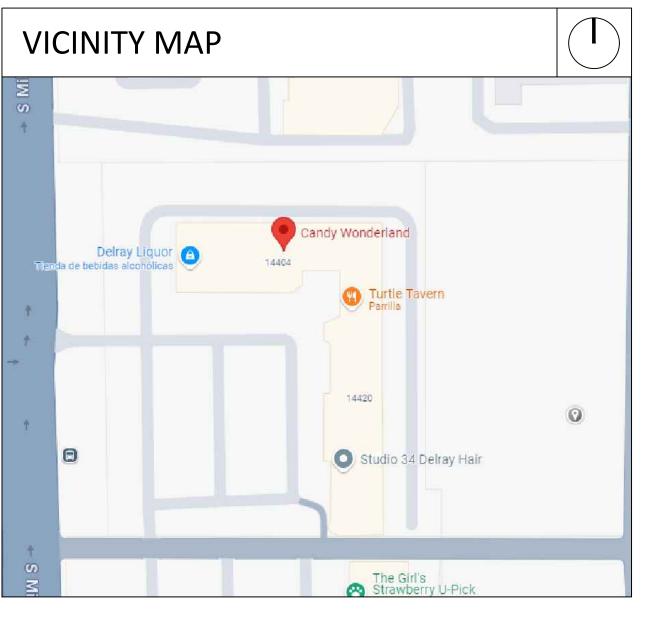
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In the unlikely event that any controversy or claim arising out of or relating to this User Agreement or our ser shall be settled by binding arbitration in accordance with the commercial arbitration rules of the American Arbitration Association. Any such controversy or claim shall be arbitrated on an individual basis and shall not be consolidated in any arbitration with any claim or controversy of any other party. The arbitration shall be conducted in Broward County, Florida, and judgment on the arbitration award may be entered into any court having jurisdiction thereof. Either you or we may seek any interim or preliminary relief from a court of competent jurisdiction in Broward County, Florida, necessary to protect the rights or property of you or us pending the completion of arbitration.

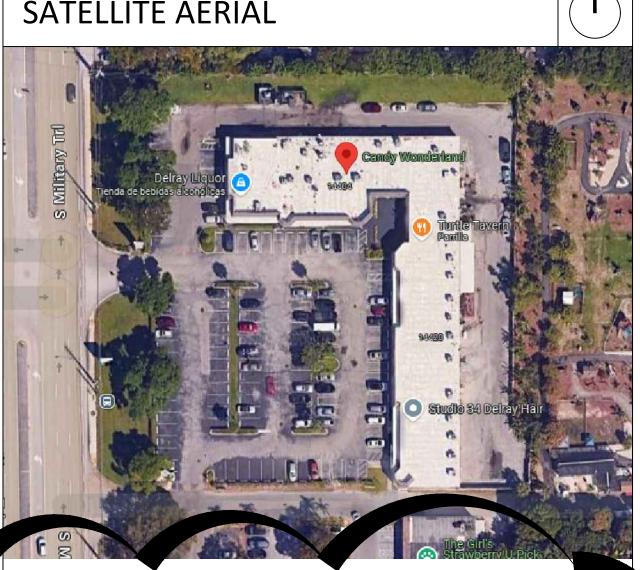
Miscellaneous

In the event that any provision of the User Agreement conflicts with the law under which the User Agreement is to be construed or if any provision is held invalid by a court with jurisdiction over the parties to the User Agreement, such provision will be restated to reflect as nearly as possible the original intentions of the parties in accordance with applicable law, and the remainder of this User Agreement will remain in full force and effect. If either party fails to insist upon or enforce strict performance by the other party of any provision of the User Agreement, or to exercise any right under the User Agreement, such a failure will not be construed as a waiver or relinquishment to any extent of such party's right to assert or rely upon any such provision or right in that or any other instance. That is, all provisions and rights will remain in full force and effect.

VICINITY MAP



SATELLITE AERIAL



OCCUPANCY LOADS

TOTAL AREA

OCCUPANCY LOAD CALCULATIONS

TABLE 1004.1.2 - MAX FLOOR AREA ALLOWANCES PER OCCUPANT

OCCUPANCY BASED ON USE

WORKOUT AREA (@ 50 GROSS) 2,423 SQ.FT./50 SQ FT

ACCESSORY STORAGE AREA, UTILITY ROOM @ 300 GROSS 100 SQ. FT./300

TOTAL



2,423.02 S.F.

OCCUPANTS

49 PEOPLE

1 PERSON

50 PEOPLE



SCOPE OF WORK

1. ASBUILT FOR NEW TENANT CANDY WONDERLAND (CHILDREN GYM)

CODE RESEARCH

OCCUPANCY GYMNASIUMS (WITHOUT SPECTATOR SEATING)

TYPE OF CONSTRUCTION TYPE IIIB - (UNSPRINKLERED)

FIRE WALLS **EXISTING TWO HOUR TENANT SEPARATION WALLS** LIFE SAFETY MAXIMUM TRAVEL DISTANCE: 63'-2"

EGRESS WIDTH

1 EXITS REQUIRED, 2 EXITS PROVIDED PER TABLE 1005.1 23 OCCUPANTS x 0.2'' = 4.6'' REQUIRED 36" PROVIDED

PLUMBING FIXTURE CALCULATIONS:

REQUIRED BY FLORIDA BUILDING CODE

ASED ON BUSSINESS OCCUPANCY (TABLE 403.1 SEC. 2)

WA ER CLOSET: 1 PER 50 QUIRED/1 PROVIDED

VATORIES: 1 PER 80

EQUIRED/ 1 PROVIDED

FLOOR AREA : 2,423.02 SF

DRINKING FOUNTAIN REQUIRED. TAKE OUT RESTAURANT

AREA CALCULATIONS

EXISTING SQ. FT. 2,423.02 S.F. 265.78 S.F. OTHER **BUSINESS AREA** 2,157.24 S.F. TOTAL AREA 2,423.02 S.F. NOTE: SQUARE FOOTAGE OF SPACE IS NOT BEING AFFECTED.

PROPERTY INFORMA

ALL WORK TO BE PERFORMED IN N.E.C., THE ZONING ORDINANCES

LEGAL DESCRIPTION 13-46-42, N 1/2 OF SW 1/4 NW 1/4 (LESS RD & ADDL R FT) & W 15 FT OF S 44 FT O 1/2 OF SW 1/4 OF SW 1/4

MUNICIPALITY DELRAY BEACH

PARCEL CONTROL NU 12-42-46-13-00-000-3020

SUBDIVISION

PROJECT TEAM

OWNER

SHOPPES OF DELRAY AP 3300 N FEDERAL HWY STE FORT LAUDERDALE FL 333

ARCHITECT

SANDRA PUERTA, AR 9538 6476 Kirsten Way Lake Worth, FL 33467 Voice | 561.712.8898 Fax | 561.712.8895 Email | sandra@thearchite **EXISTING SITE** SP-1

SHEET INDEX

CVR	COVER SHEET
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SP-1	EXIST. / PROP.
A-1	CONSTRUCTION
A-1.1	NOTES PROPOSED FLO PLAYGROUND
A-2	LIFE SAFETY / E
A-3	ADA NOTES + D
M-1	MECHANICAL P
E-1	ELECTRICAL PLA
P-1	PLUMBING PLA

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	B.C. 2023,8TH EDITION WITH ALL AMENDMENTS, THE 2020. ON AND ALL APPLICABLE CODES AND STANDARDS.	EFL 33
4 OF SW 1/4 OF RD R/WS & E 305 DF E 305 FT OF N OF NW 1/4	LAND USE CODE 1100—STORES ZONING CODE GC—GC - GENERAL COMMERCIAL (12-DELRAY BEACH)	THE CONSTRUCTI ARCHITECTURE GR SANDRA PUERTA FL Lic. #: AA 6476 Kirsten Way, Lake Worth, Phone 561.248.5498 Fax 561.
JMBER	LOCATION ADDRESS 14400 S MILITARY TRL	
	CLASSIFICATION OF WORK ASBUILT	DATE:
		Nov. 19, 24
LLC E 250 306 1045	BUILDING DEPARTMENT DELRAY BUILDING DEPARTMENT 100 NW 1ST AVE, DELRAY BEACH, FL 33444 VOICE (561) 243-7200	BLDG. DEPT. PLAN REVISIONS: Dec. 27, 24 Feb. 3, 25
35 ectgroup.com PLAN & NOTES	ZONING DEPARTMENT DELRAY BUILDING DEPARTMENT 100 NW 1ST AVE, DELRAY BEACH, FL 33444 VOICE (561) 243-7200	Tenant: TARY TRL 1, FL 33484 16-13-00-000-3020
		Asbuilt For New Asbuilt For New Delray Beach, arcel ID: 12-42-4.
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TES AND SPECS.		Asbuil Asbuil Delr Parcel I
DN FLOOR PLAN +		4
OOR PLAN - GRESS PLAN + NOTE DETAILS	S CONTRACTOR TO VERIFY ANY CONDITION AND NOTIFY ALL RESPONSIBLE PARTIES IF THERE ARE ANY DISCREPANCIES. THE ARCHITECT ASSUMES NO RESPONSIBILITY.	Cover and Project Information
PLAN + NOTES LAN + NOTES .AN(SEWER) + NOTES	ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE F.B.C. 2023 EDITION WITH ALL AMENDMENTS, THE 2020 N.E.C., THE ZONING ORDINANCES IN THE CITY OF JURISDICTION AND ALL APPLICABLE CODES AND STANDARDS.	MANAGED BY: SP DRAWN BY: JB REVIEWED BY: SP SHEET: CVR

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES, RULES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION ON THIS PROJECT. IN THE EVENT OF A CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS. THE MORE STRINGENT PROVISIONS SHALL GOVERN. WORK SHALL INCLUDE ALL ITEMS (BUILDING AND SITE) INDICATED ON THESE DRAWINGS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED OF ANY DEVIATION FROM THE PLANS PRIOR TO CONSTRUCTION. DRAWINGS SHALL NOT BE SCALED; WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR GENERAL REVIEW AND DESIGN COMPLIANCE. CONTRACTOR SHALL MAINTAIN TEMPORARY ELECTRICAL, WATER AND SANITARY FACILITIES FOR THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE JOB SITE AND LEAVE THE BUILDING BROOM CLEAN. THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SITE PRIOR TO CONSTRUCTION AND SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO ACTUAL CONSTRUCTION. ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS DISCOVERED AT THIS TIME SHALL BE REPORTED BY THE CONTRACTOR IMMEDIATELY TO THE ARCHITECT. ALL WORKMANSHIP SHALL BE NEAT, CLEAN, TRUE AND CORRECT. OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS OR THE MISDESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PREFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF WORK, BUT THEY SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN A FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIALS INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COST TO THE OWNER. SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETE AND THE SPACE CAN BE USED FOR WHAT IS INTENDED, EXCLUDING PUNCH LIST ITEMS.

BUILDING IDENTIFICATION

APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND

COLUMNS

ALL WOOD AND/OR STEEL COLUMNS SHALL BE 1 HOUR FIRE RATED TOP OF ISOLATED EXTERIOR AND PERIMETER COLUMN FOOTING PADS SHALL MATCH THE BOTTOM OF MONOLITHIC WALL FOOTING ELEVATIONS (MINIMUM 1'-4" BELOW TOP OF SLAB ELEVATION, OR AS DETAILED ON THE PLANS.

DOORS & WINDOWS

ALL BEDROOMS REQUIRE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20 INCHES WIDTH, 24 INCHES IN HEIGHT AND 5.7 SQ.FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR. SINGLE HUNG WINDOW OPERATING MECHANISMS SHALL BE AT OR NEAR THE SILL. WINDOWS MARKED 'EGRESS' MUST BE MANUFACTURED TO CONFORM TO THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS PER N.F.P.A. 101 CHAPTER 22-2. A DOOR MARKED IN PLAN CALLED 'EMERGENCY EGRESS' SHALL BE DESIGNATED AS AN EXTERIOR DOOR NOT TO BE SHUTTERED FOR EMERGENCY EXIT DURING HURRICANE EMERGENCY CONDITIONS. DOOR TO HAVE A MIN. CLEAR OPENING OF 29", AND TO HAVE PASSED REQUIRED IMPACT AND MISSLE TESTS.

WINDOW SAFEGUARD NOTE

WHERE THERE IS A DROP OF MORE THAN 4 FEET ON THE FAR SIDE OF SUCH WINDOWS AND THE SILL IS LESS THAN 36 INCH ABOVE THE NEAR SIDE WALKING SURFACE, SAFEGUARDS SHALL BE PROVIDED TO PREVENT THE FALL OF PERSONS WHEN SUCH WINDOWS ARE OPEN.

SECURITY NOTES

all locks on exterior doors shall resist a force of 300 # applied in any movabi DIRECTION. ALL EXTERIOR LOCKS SHALL BE SINGLE CYLINDER WITH 1" THROW FOR 1 3/4" SOLID CORE DOOR. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A KEY OPERATED LOCK, OPERABLE FROM EXTERIOR WITH A MINIMUM 6000 POSSIBLE KEY CHANGES. KEY ON KNOB LOCKS SHALL HAVE AN AUXILIARY DEAD BOLT WITH HARDENED BOLT OR WITH INSERT. EXTERIOR SWING DOORS SHALL BE SOLID CORE NOT LESS THAN 1 3/4" THICK. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH VISION SCOPE OR VISION PANEL. HINGES ON OUT SWINGING EXTERIOR DOORS SHALL HAVE NON-EXPOSED SCREWS AND NON-REMOVABLE PINS. SINGLE SWING EXTERIOR DOORS CONNECTING LIVING AREAS WITH GARAGE AREAS SHALL BE SOLID CORE 1 3/4" THICK AND SHALL BE SECURED WITH A LATCH AND SINGLE BOLT WITH ONE INCH MIN. THROW OR A COMBINATION OF DEAD BOLT AND DEAD LATCH SETS AND AN AUTOMATIC DOOR CLOSER. ALL GLASS IN EXTERIOR DOORS SHALL COMPLY WITH ANSI 279.1 ALL WINDOWS (OPERABLE) SHALL WITHSTAND A FORCE OF 150# IN ANY OPERABLE DIRECTION. SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM TRACKS POSITION AND SHALL COMPLY WITH THE A.A.MA.A STANDARDS FOR FORCED ENTRY RESISTANCE A.A.M.A. 1303-3. SLIDING GLASS DOORS SHALL HAVE DEAD BOLT OR PIN SYSTEM NOT REMOVABLE FROM THE OUTSIDE AT THE JAMB AND SILL. INTERIOR DOORS TO HAVE CYLINDRICAL TYPE LOCK SETS WITH PRIVACY LOCK BY INSIDE PUSH BUTTON WHICH AUTOMATICALLY OPENS BY TURN OR CLOSING ACCORDING TO FED. SPEC. #160 AND 1511. OVERHEAD DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE LOCKED AT MORE THAN ONE POINT WITH HARDENED BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS A MIN. OF 5/8".

POST PERMANENT SIGN WITH 1/2" LETTERS ON THE INSIDE FACE OF ANY ONE DOOR TO OUTSIDE: "DO NOT OPERATE ENGINES WITH DOORS CLOSED, CARBON MONOXIDE EMISSION.'

NON-BEARING INTERIOR PARTITIONS

ALL INTERIOR NON BEARING PARTITIONS SHALL BE 3 5/8" METAL STUDS 26 GA AT 24" C/C MAXIMUM SPACING WITH 1/2" MINIMUM GYPSUM DRYWALL EACH SIDE.

BATHROOMS

BATHROOM FLOORS AND BASE SHALL BE IMPERVIOUS MATERIALS TILE FINISH, SELECTED BY OWNER

MIRRORS / GLAZING

MIRRORS SHALL BE ANCHORED TO STUDS WHEN IN EXCESS OF 9 S.F. TEMP GLAZING SHALL BE PROVIDED IN TUB & SHOWER WINDOWS & MIRRORS WHERE LESS THAN 60" A.F.F. ALL GLASS WITHIN 24" OF ANY DOOR, FIXED GLASS, SLIDING GLASS DOORS OR LOCATED WITHIN 60" OF FLOOR AND ALL GLAZING AT TUB AND SHOWER ENCLOSURES, WHIRLPOOLS, SPAS, SAUNAS AND STEAM ROOMS SHALL BE TEMPERED SAFETY GLASS.

FIREPLACE NOTES:

A. FIREBOX, SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES, RULES & REGULATIONS HAVING JURISDICTION B. CLEAR FIREPLACE OPENING SHALL BE 40x29x16" DEEP.

- C. PROVIDE 12"x12" FLUE LINING D. PROVIDE FIREBRICK INNER HEARTH & LINING
- E. MASONRY CHIMNEY (SEE ELEVATIONS) TOP OF FLUE TO BE 24" ABOVE. THE HIGHEST POINT 10'-0" F. PROVIDE 24" DEEP TILED OUTER HEARTH, 12" ABOVE FINISHED FLOOR & MIN. 16" WIDER THAN
- FIREPLACE OPENING G. PROVIDE CAST IRON DAMPER.

H. FIREPLACE AND MATERIALS TO BE U.L. RATED AND APPROVED. I. ALL WOOD BEAMS, JOISTS, AND STUDS SHALL BE TRIMMED AWAY FROM FIREPLACES. HEADERS

SUPPORTING TRIMMER ARCHES AT FIREPLACES SHALL BE NOT LESS THAN TWENTY INCHES FROM THE FACE OF THE CHIMNEY BREAST. TRIMMERS SHALL BE NOT LESS THE SIX INCHES FROM THE INSIDE FACE OF THE NEAREST FLUE LINING

J. WOODWORK SHALL NOT BE PLACED WITHIN SIX INCHES OF A FIREPLACE OPENING. WOODWORK ABV AND PROJECTING MORE THAN ONE AND ONE-HALF INCH FROM A FIREPLACE OPENING SHALL NOT BE PLACED LESS THAN TWELVE INCHES FROM THE TOP OF A FIREPLACE OPENING. K. PROVIDE A U.L. RATED AND APPROVED CHIMNEY CAP W/ INTEGRAL BUILT-IN SPARK ARRESTER AND RAIN CAP AND BASE FLASHING.

STRUCTURAL NOTES CONCRETE SLABS ON GRADE: CONCRETE THIS BUILDING DESIGNED PER : 2705.2(a) - ACI-530-2/ ASCE 5-92/ TMS 402-92 2705.2(b) -ALL INTERIOR AND EXTERIOR SLABS AND WALKWAYS AS SHOWN ON THE STRUCTURAL OR ACI-530.1-92/ ASCE 6-92/ TMS 602-92 / ASCE-7 ARCHITECTURAL PLANS, SHALL BE FOUR INCHES THICK MINIMUM REINFORCED WITH 6 X 6 - W1.4 X W1.4 THE FOUNDATION SHOWN HAS BEEN DESIGNED BY RATIONAL ANALYSIS BY THE ENGINEER OF RECORD WELDED WIRE FABRIC (UNLESS OTHERWISE NOTED) SOIL BEARING CAPACITY: 2500 PSF, IF INFERIOR SOIL IS ENCOUNTERED OR IF 2500 PSF CANNOT BE ALL SLABS ON GRADE TO BE CONSTRUCTED IN ACCORDANCE WITH LATEST A.C.I - "GUIDE FOR OBTAINED BY PROPER FILLING AND COMPACTION, CONTACT ARCHITECT, VERIFICATION OF THE TEST CONCRETE FLOOR AND SLAB CONSTRUCTION" (A.C.I. - 302.1R). FOR MODIFIED PROCTOR ASTM D 1557 SHALL BE FILED WITH THE GOVERNING BUILDING DEPARTMENT. JOINTS SHALL BE PROVIDED IN ALL INTERIOR SLABS ON GRADE AT COLUMN CENTER-LINES DIVIDING THE BACKFILL SHALL CONSIST OF NON-EXPANSIVE, FREE DRAINING, PREDOMINANTLY GRANULAR MATERIAL SLAB INTO SQUARE PANELS NOT TO EXCEED 20 X 20 FT. IN SIZE. CAST SLAB IN LONG ALTERNATE STRIPS. FREE OF DEBRIS AND ORGANIC MATERIAL. SLABS 2500 PSI FOUNDATIONS 2500 PSI COLUMNS & PROVIDE A CONTRACTION JOINT BETWEEN EACH STRIP. SEE PLAN FOR SAW-CUT, CONTRACTION AND BEAMS 3000 PSI CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 5" ISOLATION JOINT DETAILS. MINIMUM CONCRETE COVER FOR POURED IN PLACE CONCRETE SHALL BE AS FOLLOWS: PROVIDE SAW-CUT JOINTS AT ALL SIDEWALKS AT A MAXIMUM SPACING OF FIVE FEET ON CENTERS AND SLAB ON GRADE 1 ISOLATION JOINTS AT 20 FEET O.C. (U.O.N.). FOUNDATIONS / FOOTINGS FILL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 12" AND COMPACTED TO 95 % MODIFIED

BOTTOM 3"

SIDES 2

SUSPENDED SLABS: 1 COLUMNS & BEAMS 1 1/2" TO THE TIES

MAXIMUM AGGREGATE SIZE SHALL BE 3/4". ALL AGGREGATE SHALL CONFORM TO ASTM C-33. HOLLOW CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-90-667 SPECIFICATIONS. MORTAR USED TO BOND C.M.U. SHALL CONFORM TO ASTM C-476, TYPE "m" WITH A 28 DAY STRENGTH OF 2500 PSI. LAY ALL MASONRY WITH FULL FACE HEAD JOINTS AND WITH FACE SHELL MORTAR BEDDING. VERTICAL CELLS FOR MASONRY TO BE GROUTED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR, UNOBSTRUCTED CONTINUOUS CELL. ALL REINFORCING STEEL SHALL BE GRADE 60, MEETING ASTM SPECS A-615. REINFORCING STEEL SHALL BE FREE FROM OIL, LOOSE SCALE, AND RUST. ALL DOWELS, SLEEVES, CONDUITS, INSERTS, BLOCKOUTS, ANCHOR BOLTS AND DRAINS SHALL BE IN PLACE BEFORE CONCRETING. FOR OPENINGS AND SPECIAL FEATURES OMITTED ON THESE PLANS, SEE ARCHITECTURAL AND/OR MECHANICAL DRAWINGS. MINIMUM CONCRETE PROTECTION FOR REINFORCING BARS:

LAP REINFORCING STEEL 30 BAR DIAMETERS MINIMUM, WHEN SPLICED AND SHALL BE SEPARATED BY ONE BAR DIAMETER OR WIRED TOGETHER. SLAB SHALL BE A MINIMUM 4" THICK AND SHALL BE REINFORCED WITH 6" X 6" X 1.4/1.4 WELDED WIRE MESH, CENTERED IN CONCRETE DOUBLED 30" AT THE PERIMETER. SCRAPE SLAB AREA CLEAR OF ALL ORGANIC MATERIAL AND FILL WITH CLEAN SAND TO THE ELEVATION OF THE BOTTOM OF THE SLAB. SURFACE MATERIAL CAN BE USED AS SITE FILL

THE ENTIRE AREA PLUS AN ADDITIONAL THREE FOOT AT PERIMETER, SHALL BE THOROUGHLY COMPACTED BY AT LEAST TEN OVERLAPPING PASSES IN PERPENDICULAR DIRECTIONS OF A VIBRATORY COMPACTOR TO ACHIEVE A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED IN ACCORDANCE WITH AASHTO-180C OR ASTM-D1557. IF FOOTINGS ARE EXCAVATED AFTER THE BUILDING AREA COMPACTION, THEN ALL FOOTING BEARING LEVELS SHALL ALSO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY USING A HAND OPERATED VIBRATORY COMPACTOR. EXISTING STRUCTURE SHALL BE CONTINUOUSLY MONITORED DURING SOIL COMPACTION. ANY ADDITIONAL FILL PLACED ON THE BUILDING PAD AREA SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF THE T-180 MODIFIED PROCTOR, IN LIFTS NOT TO EXCEED 10" FACH. THE AREA OF THE BOTTOM OF THE FOOTINGS SHALL BE COMPACTED, PRIOR TO PLACEMENT OF STEEL, WITH A VIBRATORY COMPACTOR TO INSURE UNIFORM DENSITY BENEATH THE FOOTING. DENSITY TESTS SHALL BE TAKEN IN

SOIL SHALL BE TREATED FOR TERMITES FOR A MIN. DISTANCE OF FOUR (4) FEET BEYOND THE PERIMETER OF ALL FOOTINGS AND/OR SLAB EDGES. ALL PLATES, ANGLES AND MISCELLANEOUS METAL ITEMS TO BE EMBEDDED IN CONCRETE SHALL BE SECURELY AND ACCURATELY FASTENED TO THE CONCRETE FORM WORK BY A MINIMUM OF TWO (2) FASTENERS PRIOR TO CONCRETE PLACEMENT. BUNDLE ALL STRUCTURAL BEAM TOP BARS IN PAIRS OVER SUPPORT WITH TOP BARS FROM ADJACENT BEAM. ALL TIE BEAM REINFORCING SHALL EXTEND INTO SPAN OF ANY ADJACENT STRUCTURAL BEAM.

STRUCTURAL-STEEL

THE FOOTING AREAS.

DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS. ALL STEEL SHALL CONFORM TO ASTM 136, SHOP CONNECTIONS SHALL BE WELDED. FIFLD CONNECTIONS SHALL BE 325 HIGH STRENGTH BOLTS AT COLUMNS, TRUSS CONNECTIONS AND ALL OTHER CONNECTIONS. HIGH STRENGTH BOLTS SHALL BE INSTALLED USING CALIBRATED TORQUE WRENCHES. TURN OF NUT METHOD WILL NOT BE ACCEPTED. BEAM TO BEAM CONNECTIONS SHALL BE BOLTED WITH STANDARD WASHERS UNDER NUTS. ALL BOLTS SHALL BE 3/4" DIAMETER U.O.N. PROVIDE 9/16" DIA. HOLES, 4'-0" O.C. MAX. FOR ALL WOOD BLOCKING ATTACHED TO STEEL. CUTS, HOLES, COPES, ETC... REQUIRED IN STEEL MEMBERS BY OTHER TRADES SHALL BE SHOWN ON STEEL SHOP DRAWINGS AND MADE IN THE SHOP. BURNING OF HOLES OR CUTS IN STEEL MEMBERS WILL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER. ALL LEVELING AND BEARING RATES, ANCHOR BOLTS (EXCEPT FOR WOOD), AND LOOSE LINTELS SHALL BE FURNISHED BY STEEL CONTRACTOR. ALL BEAMS SHALL BE FABRICATED WITH NATURAL CAMBER UP. STEEL CONTRACTOR SHALL CHECK ANCHOR BOLT LOCATION PRIOR TO ERECTION AND NOTIFY GENERAL CONTRACTOR OF ANY DISCREPENCIES SO THAT RELOCATION CAN BE MADE WITHOUT IMPEDING THE PROGRESS OF THE WORK. STRUCTURAL WELD SIZE SHALL BE 1/4" MIN. STRUCTURAL STEEL SHALL RECIEVE SHOP COATING OF ZINC CHROMATE. PROVIDE 1 COAT (TWO MILS THICK) WHERE EXPOSED. PROVIDE 2 COATS (4 MILS THICK) WHERE IMBEDDED IN MASONRY.

CONCRETE

FOLLOW THE STANDARDS OF ACI-316, ACI-301 AND ACI-347. CONCRETE IS TO BE A MIX DESIGNED IN ACCORDANCE WITH ASTM C-94-72 TO ACHIEVE A STRENGTH IN 28 DAYS AS STATED BELOW, WITH A PLASTIC AND WORKABLE MIX. A CERTIFICATE OF MANUFACTURER'S MIX AND STRENGTH IS TO BE PROVIDED. NO WATER IS TO BE ADDED AFTER THE TRUCK LEAVES THE PLANT, WITHOUT APPROVAL OF THE ENGINEER OR PLANT ENGINEER. PLANT CONTROL SHALL BE REQUIRED. MAXIMUM MIX TIME AT POINT OF DEPOSIT IS 90 MINUTES. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED (UON). SLAB ON COMPACTED FILL = 3000 PSI

- STRUCTURAL SLABS = 4000 PSI FOUNDATIONS = 3000 PSI
- COLUMNS AND BEAMS = 4000 PSI (U.O.N.)
- BEAMS = 4000 PSI (U.O.N.) CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 6"

MAXIMUM AGGREGATE SIZE SHALL BE ³/". ALL AGGREGATE SHALL CONFORM TO ASTM-33. MAXIMUM WATER CONTENT SHALL BE 33 GALLONS PER CUBIC YARD OF CONCRETE. MINIMUM CONCRETE PROTECTION FOR REINFORCING BARS:

FOOTINGS = 3" BEAMS = 1 1/2" SUSPENDED SLABS = 1" SLAB SHALL BE A MIN IMUM OF 4" THICK AND SHALL BE REINFORCED WITH 6"x6" x1.4/1.4 W.W.M. CENTERED IN CONCRETE AND DOUBLED AT PERIMETER. REINFORCEMENT SHALL COMPLY WITH ASTM A615 AND ASTM A185 FOR WELDED WIRE FABRIC. ANY ADDITIONAL FILL PLACED ON THE BUILDING PAD SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF THE T-180 MODIFIED PROCTOR TEST. THE AREA OF THE BOTTOM OF THE FOOTINGS SHALL BE COMPACTED PRIOR TO THE PLACEMENT OF STELL WITH A VIBRATORY COMPACTOR TO INSURE

UNIFORM DENSITY BENEATH THE FOOTING. DENSITY TESTS SHALL BE TAKEN IN FOOTING AREAS. SLAB SHALL BE PLACED OVER ONE LAYER OF 6 MIL. VISQUEEN VAPOR BARRIER. ALL TIE BEAM REINFORCING SHALL EXTEND INTO SPAN OF ANY ADJACENT STRUCTURAL BEAM. REINFORCEMENT CLEARANCE

CLEARANCE OF REINFC	DRCING STEEL FROM FACE OF CC	ONCRETE TO THE
FOLLOWS, WHEREVER P	RACTICAL, UNLESS OTHERWISE N	OTED ON STRUCT
FORMED CONCRETE IN	CONTACT WITH GROUND	2"
BEAMS AND COLUMNS	1 1/2"	
SLABS	1"	
FOOTINGS	2" FROM TOP, 3"BOTTOM/S	SIDES
TIE COLUMNS	1 1/2" TO TIES	

POLYETHYLENE SHEET

POLYETHYLENE SHEET SHALL BE PLACED CONTINUOUSLY UNDER CONCRETE SLABS ON GROUND AND SHALL BE A MINIMUM OF 6 MIL. THICK. ALL JOINTS SHALL BE LAPPED MINIMUM 12" AND CONTINUOUSLY GALVANIZED. TAPED WITH A MINIMUM OF 2" WIDE VINYL TAPE. POLYETHYLENE SHEET SHALL EXTEND AT LEAST ONE INCH ONTO STEM WALL. WHERE PIPES, CONDUITS, STAKES, REINFORCING BARS OR OTHER OBJECT PASS OF THE FRAMING (FROM THE ONE SHOWN ON THE STRUCTURAL PLANS), INDICATING ALL PERMANENT THGROUGH THE MEMBRANE, THE MEMBRANE SHALL BE FITTED WITHIN 2" AND SEALED WITH TAPE. SOIL SHALL BE TREATED FOR TERMITES FOR A DISTANCE OF FOUR FEET BEYOND THE PERIMETER OF ALL FOOTINGS AND/OR SLAB EDGES.

CALCULATIONS FOR VENTILATION: BASED ON A .015 STATIC PRESSURE, 60 SQUARE INCHES FOR EACH CAR IN A DWELLING WILL PROVIDE THE NECESSARY 100 Cfm PER CAR W/ A 7.5 Mph WIND. VELOCITY @ 7.5 mph = 7.5 x 5280 / 60 = 660 FPM. FREE CFM = 60/144 x 660 - 275 Cfm FREE FLOW.

TYPICAL GENERAL NOTES

SOME ITEMS DO NOT APPLY IF NOT PART OF THE SCOPE OF WORK

ALL ADDED LONGITUDINAL STEEL REINFORCING SHALL EXTEND 6" MINIMUM INTO SUPPORT U.O.N.

OUTERMOST BAR SHALL BE AS TURAL DRAWINGS.

PROCTOR (ASTM D-1557) WITHIN A DISTANCE OF 3 FEET BEYOND ALL FOOTING EDGES. TAKE AT LEAST ONE DENSITY TEST FOR EACH 1,600 SQ.FT. OF AREA AND 12" BELOW SURFACE. SEND RESULTS OF THE TEST TO OWNER, ARCHITECT AND ENGINEER. CONCRETE AND REINFORCING: ALL REINFORCING TO BE NEW BILLET STEEL CONFORMING TO THE LATEST A.S.T.M. A-615 GRADE 60, FABRICATED IN ACCORDANCE WITH C.R.S.I. MANUAL OF STANDARD PRACTICE AND PLACED IN

ACCORDANCE WITH A.C.I. 315 AND C.R.S.I. MANUAL OF STANDARD PRACTICE. COLUMN REINFORCEMENT: DOWELS TO BE SAME SIZE AND NUMBER AS VERTICAL REBARS ABOVE. LAP 36 BAR DIAMETER OR MINIMUM OF 18 INCHES, U.O.N. PROVIDE RIGID TEMPLETS FOR DOWEL LOCATION. PROVIDE STANDARD HOOKS AT TOP OF ALL VERTICAL REINFORCEMENT AT NONCONTINUOUS COLUMNS (U.O.N.).

ALL DOWELS FOR COLUMNS SHALL BE SECURED IN POSITION PRIOR TO CONCRETING. PUSHING THE DOWELS INTO POSITION IN WET CONCRETE IS NOT PERMITTED. BEAM REINFORCEMENT: LAPPED 36 BAR DIAMETER OR MINIMUM 18 INCHES (SEE BEAM DIAGRAM ON PLAN). BOTTOM BARS SPLICED ONLY AT SUPPORTS, TOP BARS SPLICED ONLY AT MID-SPAN. ALL TOP BARS HOOKED AT NONCONTINUOUS EDGES (U.O.N.). ALL HOOKS TO BE STANDARD 90 DEGREE HOOKS AS REQUIRED (U.O.N.)

ADDED REINFORCEMENT: PROVIDE ADDITIONAL CORNER BARS BENT 36 INCHES MINIMUM EACH WAY AT "L" AND "T" CORNERS IN OUTER FACES OF ALL BEAMS TO MATCH ALL HORIZONTAL BAR (TOP. BOTTOM AND INTERMEDIATE REBARS). 10. SEE STRUCTURAL PLANS FOR MIN. SIZE CONCRETE TIE BEAM REQUIREMENTS

MASONRY

ALL BLOCK WALLS SHALL BE TWO-CELL HOLLOW CONCRETE MASONRY REGULAR SIZE BLOCK MANUFACTURED IN CONFORMANCE WITH ASTM C-90 'STANDARD SPECIFICATIONS FOR HOLLOW LOAD BEARING CONCRETE MASONRY UNITS', GRADE N, I'm = 1500 PSI. BLOCK SHALL BE PLACED USING RUNNING BOND UNLESS OTHERWISE NOTED. LAY-UP MASONRY WALLS TO BOTTOM OF TIE BEAMS BEFORE PLACING CONCRETE FOR IN-WALL COLUMNS. GROUT USED TO FILL MASONRY CELLS IS TO COMPLY WITH ASTM C-476 AND SHALL PROVIDE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. THE GROUT MIX SHALL HAVE A MAXIMUM OF 3/8" COURSE AGGREGATE, AND SHALL BE PLACED WITH A SLUMP OF 8" TO 10". USE ONLY MECHANICAL VIBRATION TO CONSOLIDATE GROUT. TYPE 'S' MORTAR SHALL BE USED EXCLUSIVELY ON THIS PROJECT. MORTAR SHALL BE PROPORTIONED AND MIXED AS OUTLINED IN ASTM C-270.HORIZONTAL AND VERTICAL MORTAR JOINTS SHALL BE 3/8' THICK UNLESS OTHERWISE NOTED. REMOVE MORTAR PROTRUSIONS THAT EXTEND INTO CELLS TO BE FILLED AND ALLOW A MINIMUM OF 72 HOURS FOR MORTAR TO CURE PRIOR TO GROUTING CELLS. CLEAN OUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF THE GROUTED CELLS AT EACH LIFT. CLEAN OUTS SHALL BE SEALED AFTER CLEANING AND INSPECTION AND BEFORE GROUTING. GROUT LIFT SHALL NOT EXCEED 4'

ALL REINFORCING STEEL SHALL BE GRADE 60, MEETING ASTM SPECIFICATION A-615. REINFORCING STEEL SHALL BE FREE FROM OIL, LOOSE SCALE AND RUST. MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM WITH ALL REQUIREMENTS OF THE "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI-530, 1-99/ASCE 6-99/ACSE/TMS 602-99), AS PUBLISHED BY THE MASONRY STANDARDS JOINT COMMITTEE

MASAONRY CONSTRUCTION SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A "CERTIFIED STRUCTURAL MASONRY CONTRACTOR". THE SUPERVISOR OF THE MASONRY PORTION OF THIS PROJECT SHALL BE A "CERTIFIED STRUCTURAL MASONRY CONTRACTOR" OR A "CERTIFIED STRUCTURAL MASON" . THE SENIOR MASONRY SUPERVISOR WILL BE RESPONSIBLE TO ASSURE THAT THE WORK IS ACCOMPLISHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. WHENEVER ANCHOR BOLTS ARE TO BE SET IN MASONRY, FILL TWO ADJACENT WITH CONCRETE GROUT. ALL GROUT SHALL BE FLUID, SLUMP SHALL BE 9" +- 1"

LINTELS AND SILLS

ANY CMU WALL OPENINGS WHICH ARE NOT OTHERWISE FRAMED SHALL HAVE 8"x8" (NOMINAL) CONCRETE LINTELS & SILLS REINFORCED WITH 2 #5 BOTTOM, MINIMUM OF 8" BEARING BOTH ENDS, UNLESS OTHERWISE NOTED HORIZONTAL REINFORCEMENT EVERY OTHER COURSE 9 GAUGE GALVANIZED LADDER TYPE DUR-O-WALL (OR EQUAL)

WOOD TRUSS NOTES

LUMBER DESIGN LOADS ROOF LIVE LOAD = 30 PSF SUPERIMPOSED DEAD LOAD = 25 PSF FLOOR, LIVING AREAS (DL + LL) = 60 PSF, (BALCONY = 125 PSF) ALL LUMBER SHALL BE DOUGLAS FIR WITH A MINIMUM FIBER STRESS OF 1200 PSI, OR SOUTHERN PINE #2 STRUCTURAL GRADE, U.O.N. HATCHED WALLS INDICATE BEARING FRAME PARTITIONS AND SHALL HAVE 2 X STUDS AT 16" O/C WITH DOUBLE TOP PLATE. ALL EXTERIOR AND INTERIOR STUD WALLS AS NOTED SHALL BE BRACED WITH 16 GAUGE GALVANIZED METAL TIES ON A V FORM FROM BOTTOM TO TOP PLATE. ATTACH BRACES TO TOP AND BOTTOM PLATES WITH 2 - 16 PENNY NAILS. FOR INTERMEDIATE NAILING USE 10 PENNY NAILS. TRUSS MANUFACTURER SHALL SUBMIT FOUR (4) SETS OF TRUSS LAYOUT PLANS AND ENGINEERING SHOP DRAWINGS TO ARCHITECT FOR REVIEW AS TO COMPLIANCE WITH DESIGN CONCEPT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL FIELD DIMENSIONS. ALL WOOD TRUSSES SHALL BE ANCHORED AT BOTH ENDS WITH APPROVED GALVANIZED METAL TRUSS STRAPS. TYPICAL EACH TRUSS. WHEN BEARING ON CONCRETE BEAM, EACH TRUSS MUST HAVE METAL TRUSS SEATS CAST INTO CONCRETE. ALL WOOD TRUSSES TO BE ANCHORED TO BEARING FRAME PARTITION WITH APPROVED GALVANIZED METAL TRUSS STRAPS, TYPICAL EACH TRUSS. ALL WOOD TRUSSES BEARING ON CONCRETE TIE BEAMS, TO HAVE GALVANIZED METAL TRUSS SEATS CAST INTO CONCRETE AT EACH TRUSS TYPICAL. TRUSS MANUFACTURER SHALL COORDINATE TRUSS FABRICATION WITH AIR CONDITIONING DUCT LAYOUT. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR STEEL SHALL BE PRESSURE TREATED. HEADERS FOR FRAMED OPENINGS GREATER THAN 6'0" MUST BE ENGINEERED BY TRUSS MANUFACTURER. ALL HEADERS FOR FRAMED OPENINGS LESS THAN 6'0" HAVE BEEN DESIGNED BY RATIONAL ANALYSIS BY THE ENGINEER OF RECORD THE BRACING SHOWN IN PLAN ACTS AS A RIGID CEILING PROVIDE REQUIRED DRAFTSTOPS IN TRUSS SPACE.

PRE-FABRICATED WOOD TRUSSES

TRUSS MANUFACTURER IS RESPONSIBLE FOR THE DESIGN AND FABRICATION OF TRUSSES, GIRDERS, AND THEIR CONNECTIONS TO EACH OTHER. DESIGN FOR BRACING OF INDIVIDUAL TRUSS OR GIRDER MEMBERS TO RESIST LATERAL BUCKLING UNDER GRAVITY OR WIND LOADS IS THE RESPONSIBILITY OF THE TRUSS MANUFACTURER.

(DELEGATED ENGINEERING SHOP DRAWINGS REQUIRED)

THE BUILDING CODE REQUIRES THE ENGINEER-OF-RECORD TO INCLUDE WITH ALL RECORD PLANS COMPLETE TRUSS FRAMING PLANS, INCLUDING ALL CONNECTIONS AND LOADING DATA, TO THE BUILDING DEPARTMENT FOR PERMIT. THE TRUSS DESIGN DELEGATED ENGINEER MUST FOLLOW THE LAYOUT OF THE TRUSSES AND GIRDER- TRUSSES, AS SHOWN ON THE STRUCTURAL FRAMING PLANS. DESIGNED AND FABRICATED IN ACCORDANCE WITH "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENERS" BY NFPA (LATEST EDITION) TRUSSES SHALL BE DESIGNED, SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER, WHO MAY BE ASSIGNED AS A DELEGATED ENGINEER FOR THE CONTRACTOR. THE DELEGATED ENGINEER SHALL DESIGN AND INDICATE ON THE SHOP DRAWINGS ALL TRUSS

COMPONENTS, TEMPORARY BRACING, BRIDGING, HARDWARE, METAL HANGERS, ANCHORS AND METAL SHAPES AS REQUIRED BY DESIGN OR AS INDICATED ON THE PLANS. ALL METAL PARTS ARE TO BE SHOP DRAWINGS SHALL COMPLY WITH THE CURRENT BUILDING CODES, REGARDING MODIFICATION

BRACING (AS SHOWN ON THE STRUCTURAL PLANS) AND INDIVIDUAL MEMBER BRACING. THE STRUCTURAL PLANS INDICATE ALL THE REQUIRED LATERAL PERMANENT BRIDGING, AS RECOMMENDED BY THE "TRUSS PLATE INSTITUTE". TRUSS DESIGNER ENGINEER SHALL PROVIDE INFORMATION AND SHOW ON PLAN, ALL LATERAL BRACING OF ANY TRUSS INDIVIDUAL MEMBERS, AS REQUIRED BY TRUSS DESIGN

TRUSSES SHALL BE INSTALLED WITH OUT OF PLUMB AND OUT OF PLANE TOLERANCES, AS PER THE "TRUSS PLATE INSTITUTE" (SHOWN ON THE ROOF PLAN). ANY TRUSS EXCEEDING THE SPECIFIED TOLERANCE MUST BE REALIGNED OR REPLACED.

INSTALLATION OF TRUSSES LONGER THAN 35 FT. OR HIGHER THAN 6 FT. SHALL BE MADE UNDER THE DIRECT SUPERVISION OF A LICENSED BUILDING OR GENERAL CONTRACTOR OR A LICENSED STRUCTURAL ENGINEER OR ARCHITECT.

PLYWOOD ROOF DIAPHRAGM:

ROOF DIAPHRAGM SHALL COMPLY WITH THE DESIGN RECOMMENDATIONS OF "A.P.A. DESIGN/CONSTRUCTION GUIDE - DIAPHRAGMS". PLYWOOD ROOF DECKING SHALL BE 19/32" MINIMUM THICKNESS, "CDX" TYPE AND SHALL BE CONTINUOUS OVER TWO OR MORE SPANS, WITH FACE GRAIN PERPENDICULAR TO THE SUPPORTS. CONNECT PLYWOOD DIAPHRAGM TO STRUCTURE WITH 10d GALV. NAILS, SPACED AT 6" O.C. MAX. AT SUPPORTED EDGES AND AT 6" O.C. ALONG THE INTERMEDIATE SUPPORTS GABLE ENDS NAIL SPACING SHALL BE 4" ON CENTERS MAXIMUM, STRUCTURAL WOOD: TO CONFORM TO RULES OF THE MANUFACTURER'S ASSOCIATION UNDER WHOSE RULES THE LUMBER IS PRODUCED. (SEE SUPPLIER'S SPECIFICATIONS).

TO BE AIR DRIED, WELL SEASONED AND GRADE MARKED AT MILL. TO BE NO. 2 SOUTHERN PINE, UTILITY GRADE DOUGLAS FIR OR WEST COAST HEMLOCK. ALL STRUCTURAL WOOD TO BE SURFACED FOUR (4) SIDES (S-4-S) WITH A MINIMUM FIBER STRESS IN BENDING OF 1,200 P.S.I. AND A MAXIMUM MOISTURE CONTENT OF 19 PERCENT. ALL LUMBER AND PLYWOOD IN CONTACT WITH CONCRETE, STUCCO, MASONRY OR OTHER CEMENTITIOUS MATERIALS SHALL BE TREATED TO COMPLY WITH AWPA STANDARD LP-2. STORE ALL LUMBER ABOVE GRADE OR FLOOR. STACK TO ALLOW PROPER AIR CIRCULATION AND PROTECT FROM WETTING WITH SUITABLE COVER.

MECHANICAL

H.V.A.C. CONTRACTOR SHALL SUBMIT FULLY ENGINEERED H.V.A.C. SHOP DRAWINGS TO THIS ARCHITECT'S OFFICE AND TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR, IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERABLE AND ACCEPTANCE BY THE ENGINEER Shall be a condition of the sub-contract. Contractor shall visit the Job site and THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS, ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. ALL REQUIRED INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT SHOWN OR INDICATED FOR A COMPLETE H.V.A.C. SYSTEM IN STRICT ACCORDANCE WITH ALL CODES, AND THE AGENCIES HAVING JURISDICTION OVER THE PROJECT, AND ALSO THE LATEST EDITION WITH REVISIONS OF THE FOLLOWING PUBLICATIONS:

A.N.S.I. B9.1 MECHANICAL REFRIGERATION N.F.P.A. PAMPHLETS 90A, 90B AND 91 S.M.A.C.N.A. A.S.H.R.A.E. LOCAL, STATE AND NATIONAL CODE, rULES, REGULATIONS AND ORDINANCES

ALL MATERIALS SHALL BE NEW AND BEAR U.L. LABELS, WHERE APPLICABLE. ALL AIR CONDITIONING DUCTS SHALL BE 1" THICK, 3 1/2" P.C.F. R-6 FIBERGLASS WITH VAPOR BARRIER JACKET, UNLESS OTHERWISE NOTED. FABRICATE AND INSTALL ALL DUCTS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS. DUCT SIZES ARE NET INTERNAL. ALL FRESH AIR EXHAUST AIR DUCTS SHALL HAVE AN ADJUSTABLE DAMPER AT GRILLS AND OR FANS. DUCTS FOR EXHAUST AIR OR FRESH AIR SHALL BE GALVANIZED SHEET METAL WRAPPED WITH MINIMUM 1" R-6 FIBERGLASS BATT OR BLANKET INSULATION. MOUNT ALL THERMOSTATS AT +4'-0" ABOVE FLOOR. ALL INTERIOR AND EXTERIOR MOUNTED H.V.A.C. EQUIPMENT SHALL BE SECURELY FASTENED IN PLACE WHERE SHOWN ON THE DRAWINGS AS REQUIRED BY THE LOCAL BUILDING CODES. THE H.V.A.C. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL OF THE ABOVE FOR APPROVAL. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND ACCESSORIES IN SUCH A MANNER THAT THEY MAY BE READILY ACCESSIBLE FOR SERVICING AND OR REPLACEMENT. H.V.A.C. CONTRACTOR SHALL BE RESPONSIBLE FOR BALANCING THE H.V.A.C. SYSTEM AND FOR PRINTING INSTRUCTIONS FOR THE OWNER'S OPERATION OF THE SYSTEM. ELECTRIC STRIP HEATERS SHALL BE UNIT-MOUNTED, COMPLETE WITH FUSES, HI-TEMP CUTOUTS (AUTOMATIC AND MANUAL), RELAYS AND ETC, WITH SIZES ARE REQUIRED. PROVIDE FIRE DAMPERS IN ALL DUCTS PASSING THRU FIRE RATED ROOF, CEILINGS AND WALLS, UNLESS OTHERWISE NOTED AND OR SHOWN ON THE PLANS AND/OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.\ ALL HEATING, VENTILATING AND AIR CONDITIONING SYSTEMS AND ETC. SHALL CONFORM TO THE STATE OF FLORIDA MODEL ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION, LATEST EDITION WITH REVISIONS. A/C AIR HANDLING UNITS SHALL HAVE CONDENSATION SAFE WASTE W/TRAP.

ELECTRICAL NOTES

THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO ARCHITECT ATTENTION PRIOR TO COMMENCEMENT OF WORK. DO NOT SCALE ELECTRICAL DRAWINGS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL CODES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTIONS. DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY-DUTY, QUICK-MADE, QUICK-BREAK ENCLOSURES AS REQUIRED BY EXPOSURE. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET AND DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED LOCATIONS. ELECTRICAL SYSTEM SHALL BE GROUNDED. PROVIDE PROPER SIZE AND TYPE OF PROTECTION DEVICES TO MATCH EQUIPMENT BEING SERVED. LOAD DATA IS BASED ON INFORMATION GIVEN TO ARCHITECT/ENGINEER AT TIME OF DESIGN. VERIFY ALL EQUIPMENT AND PANEL SIZES PRIOR TO ORDERING. ALL MATERIALS SHALL BE NEW AND BEAR U.L. AND UNION LABELS, WHERE APPLICABLE. ALL WORK SHALL BE DONE BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTABLE TO THE ENGINEER/ARCHITECT. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE REQUIRED INSURANCE FOR THE PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK. CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZES. THE CONTRACTOR SHALL PROVIDE CIRCUITS AND REQUIRED ROUTING OF CONDUITS TO SUIT JOB CONDITIONS AND BALANCE LOADS. FURNISH AND INSTALL FIXTURES AS CALLED FOR ON PLANS OR AS SELECTED BY OWNER. THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF ALL H.V.A.C. EQUIPMENT AND THEIR GIVEN LOAD WITH THE MECHANICAL CONTRACTOR BEFORE ROUGHING-IN FOR PROPER POWER AND WIRING CONTROL LAYOUT AND INSTALLATION. ANY DISCREPANCIES BETWEEN THE GIVEN AND ACTUAL H.V.A.C. LOADS SHALL BE CORRECTED BEFORE ROUGHING IN. GROUND-FAULT CIRCUIT PROTECTION; ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE PHASE, 15- AND 20- AMPERE OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, , SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS AND SIMILAR ROOMS OR AREAS SHALL BE AFCI PROTECTED. THIS INCLUDES LIGHTING AND POWER OUTLETS AND RECEPTACLES. SOME AREAS REQUIRE BOTH AFCI AND GFCI PROTECTION. NEC 210.8, 210.12; FBC RE E3902; FBC EX 607.1.1 OR 801.1, 801.2 OR 901.2 AS APPLICABLE . ALL BREAKERS SHALL HAVE 10,000 A.I.C. MINIMUM, U.O.N. INSTALL FACILITIES FOR TEMPORARY POWER FOR CONSTRUCTION AS REQUIRED. ELECTRICAL CONTRACTOR SHALL NOTIFY ENGINEER/ARCHITECT IN WRITING OF ANY CONFLICT AND/OR DISCREPANCIES FOUND WITH WORK AS SHOWN, SPECIFIED OR IMPLIED ON THESE PLANS, PRIOR TO PROCEEDING WITH WORK IN QUESTION. CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF FIXTURES AND OUTLETS AT JOB SITE BEFORE ROUGHING. ALSO MAY SELECT DIFFERENT MANUFACTURER OR FIXTURES WITH EQUAL SPECIFICATIONS. SMOKE DETECTORS SHALL BE HARD WIRED (110 VOLT TYPE) TO NON- SWITCHABLE KITCHEN OR BATHROOM LIGHTING CIRCUIT AND SHALL NOT BE CONNECTED ONTO THE LOAD SIDE OF A GROUND FAULT CIRCUIT INTERRUPTER. SMOKE DETECTORS SHALL BE LOCATED ON OR NEAR THE CEILING IN THE IMMEDIATE VICINITY OUTSIDE OF EACH SLEEPING AREA AND ON EACH ADDITIONAL FLOOR LEVEL (STORY) AND BASEMENTS INCLUSIVE. BEDROOM ADDITIONS TO EXISTING DWELLINGS WILL BE SUBJECT TO THE SAME REQUIREMENTS. SMOKE DETECTORS SHALL BE 110 VOLT TYPE, PROVIDED WITH VISIBLE "POWER ON INDICATOR" AND A TEST BUTTON WITH BATTERY BACKUP SYSTEM. MULTIPLE DETECTORS MUST BE INTERCONNECTED. CONTRACTOR SHALL VERIFY WITH LOCAL ELECTRICAL UTILITY COMPANY THE

LOCATION OF SERVICE AND SHALL LOCATE METER AND PANEL AS REQUIRED. VERIFY ALL CONDUCTORS AND BREAKERS W/ EQUIPMENT MANUFACTURER'S SPECIFICATIONS. COORDINATE RACEWAY INSTALLATION WITH OTHER TRADES PRIOR TO CONSTRUCTION. ALL ELECTRICAL SWITCHES SHALL BE 48" A.F.F. UNLESS OTHERWISE NOTED. ALL RECEPTACLES SHALL BE 12" A.F.F. UNLESS OTHERWISE NOTED. THE ELECTRICAL CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED BY STATE AND LOCAL LAWS AND ORDINANCES. ALL PANELS SHALL HAVE CIRCUIT DIRECTORY CLEARLY LABELED AND MOUNTED INSIDE THE DOOR.

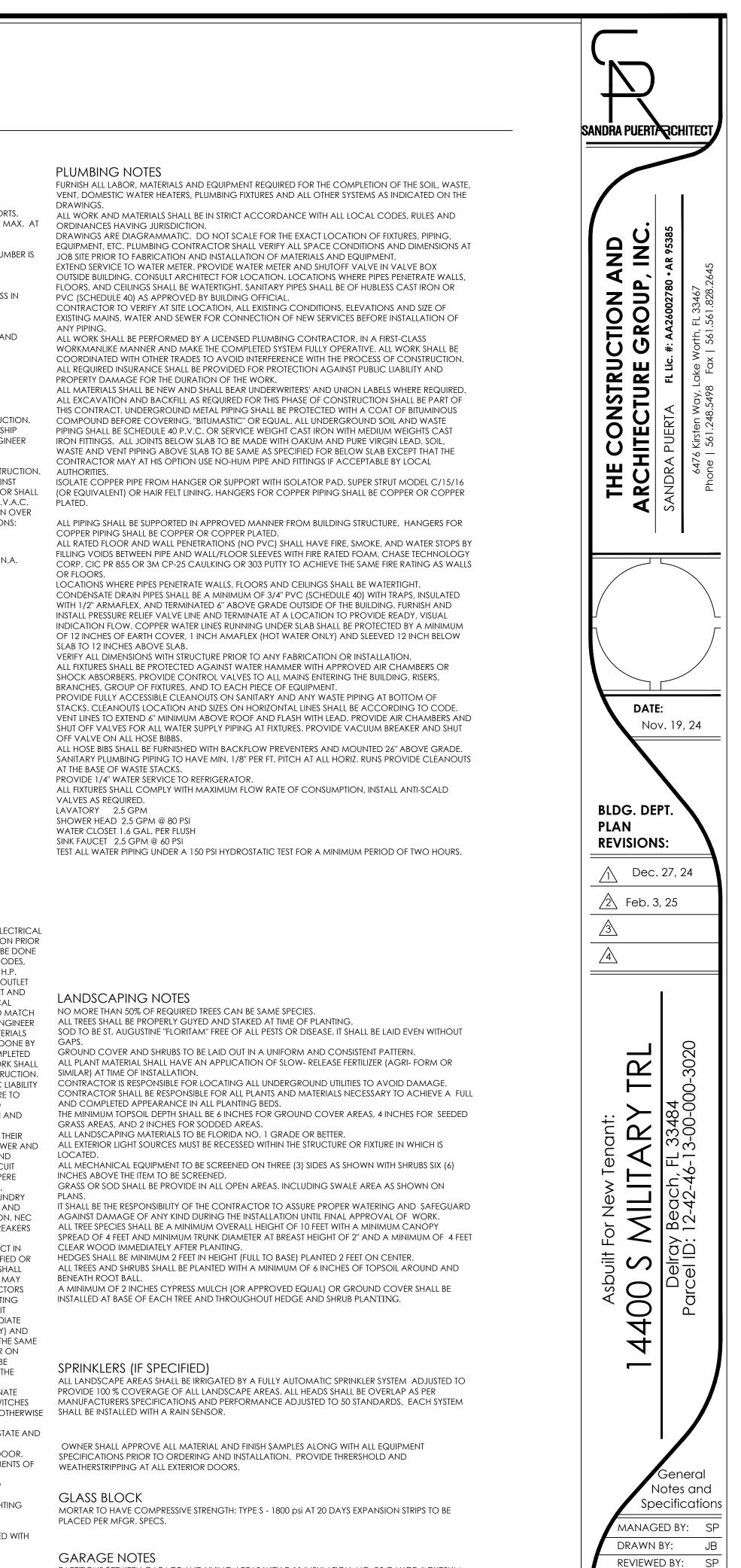
PROVIDE GROUNDING SYSTEM FOR ALL TELEPHONE OUTLETS AND EQUIPMENT PER REQUIREMENTS OF THE TELEPHONE COMPANY. COORDINATE THE INSTALLATION OF ALL TELEPHONE OUTLETS, RACEWAYS, ENCLOSURES AND BACKBOARDS WITH THE TELEPHONE COMPANY. TELEPHONE CONDUITS SHALL NOT BE INSTALLED IN THE SAME TRENCH WITH POWER AND LIGHTING

CONDUITS. COORDINATE ALL ELECTRICAL SITE WORK WITH THE GENERAL CONTRACTS PROVIDE A SEPARATE CIRCUIT FOR A PERSONAL COMPUTER. LOCATION TO BE COORDINATED WITH

ANCHORAGE

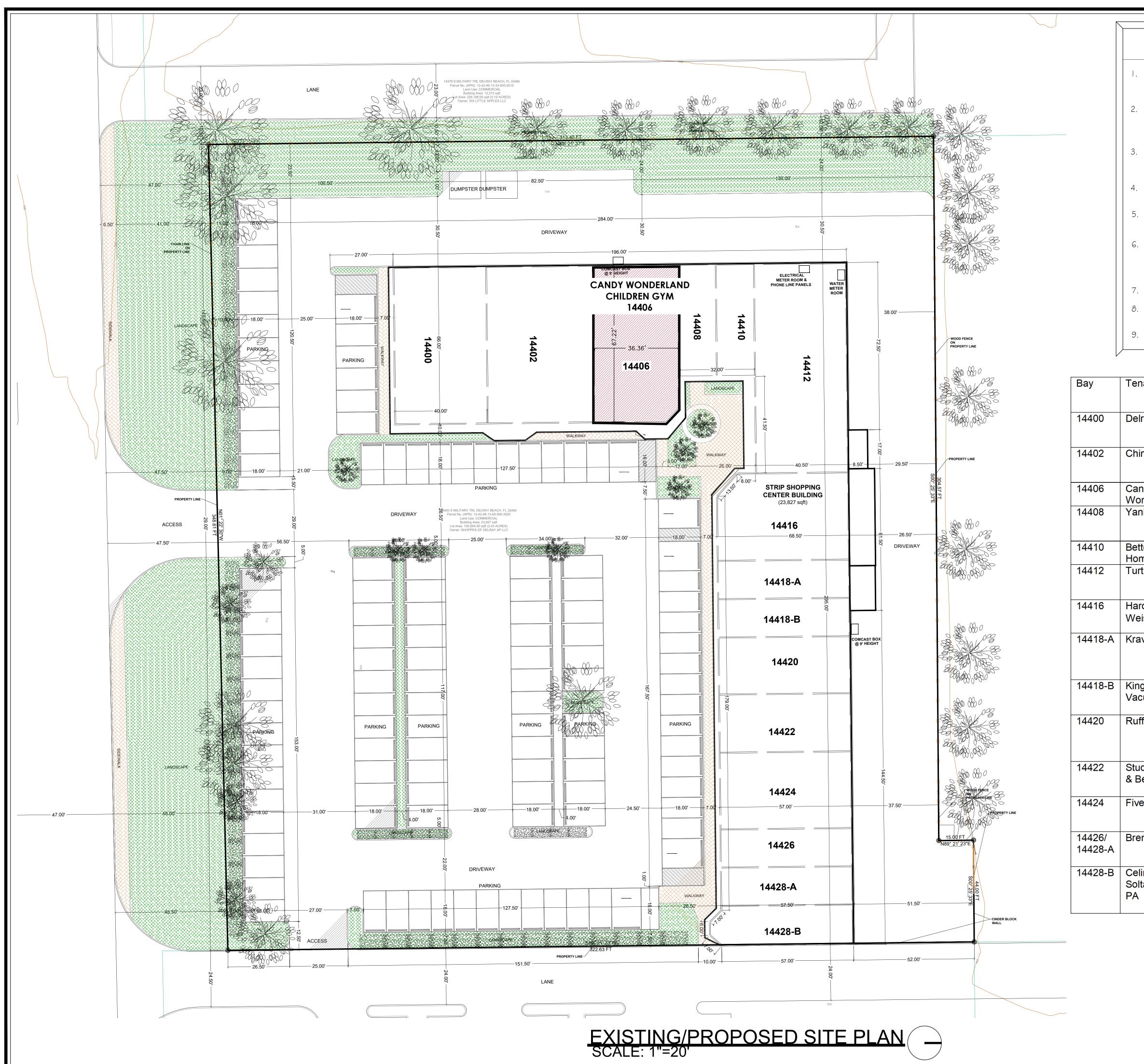
OWNER.

METAL AND WIRE LATH: "PNEU-FAST" 16 GA. STAPLE SPEC. #101-1, TYPE 1 OR BETTER (HOT DIPPED) SATIN FIN. GALVANIZED COATING, HAVING A TENSILE STRENGTH OF 130M PSI. STAPLES SHALL BE MIN. 1 1/2" LONG SPACED AT 4"C/C MAX.



PARTITIONS BETWEEN GARAGE AND LIVING AREAS WITH R-11 INSULATION. NO. 25 GAUGE "GYPSUM WALLBOARD APPLIED CHANNEL-SHAPED STUDS @ 16" O/C WITH ONE FULL LENGTH LAYER OF VERTICALLY, ATTACHED WITH 1" LONG NO. 6 DRYWALL SCREWS TO EACH SIDE. SCREWS ARE 8" O/C AROUND PERIMETER AND AT 12" O/C ON THE INTERMEDIATE STUD.

SHEET:





- CONTRACTORS AND SUBCONTRACTORS SHALL PERFORM ALL CONSTRUCTION IN ACCORDANCE WITH ALL CODES, REGULATIONS HAVING JURISDICTION AND RESTRICTIONS AND SHALL BE RESPONSIBLE FOR THE SAME.
- 2. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR AND/OR SUB-CONTRACTOR. CONTRACTOR AND/OR SUBCONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- 3. SURVEYORS SHALL VERIFY ALL SITE DIMENSIONS PRIOR TO THE CONSTRUCTION AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY TO THE CONSTRUCTION DOCUMENTS
- 4. CONTRACTOR TO VERIFY ALL SETBACKS, EASEMENTS, R.O.W. SIZE AND LOCATIONS AND BE RESPONSIBLE FOR THE SAME
- 5. THE DRAINAGE SWALE WILL BE A MINIMUM OF 2 INCHES LOWER THAN THE EDGE OF THE STREET IN THE DRIVEWAY AND A MINIMUM OF G INCHES LOWER IN THE GRASS.
- 6. OWNER SHALL SUBMIT A FINAL SURVEY TO CITY ENGINEER OFFICE PRIOR TO THE FINAL INSPECTION. SURVEY MUST INCLUDE SUFFICIENT TOPOGRAPHY TO VERIFY CONFORMANCE TO THE DESIGN, APPROXIMATE LOCATIONS OF THE SEPTIC TANK, DRAINFIELD, WELLS AND SERVICE LINES TO THE BUILDING.
- 7. PLEASE SEE CIVIL PLANS FOR GRADES AND DIMENSIONS
- 8. FINISH FLOOR ELEVATION SHALL NOT BE LESS THAN 18" ABOVE THE CROWN OF THE ROAD
- 9. MAXIMUM SLOPE SHALL NOT EXCEED 4(H): I (V)

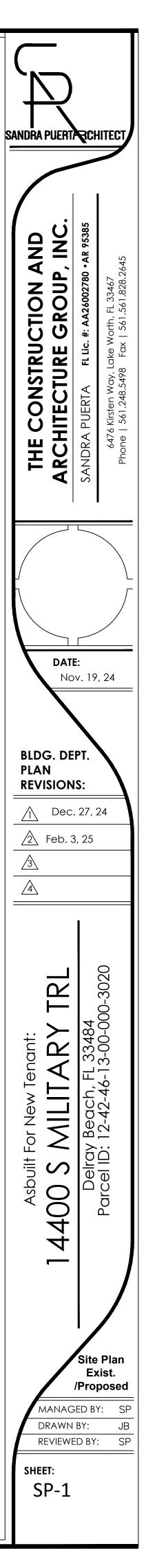
nant	Use	Approx. SF (+/-)	Parking Required (4/1000 SF)	Operating Hours
elray Liquor	General Commercial	2,640	11	Mon-Thur: 9am-9pm Fri-Sat: 9am-10pm Sun: 10am-8pm
iina Gardens	Restaurant	2,530	11	Mon: Closed Tues-Sat: 11am-10p Sun: 12n-10p
andy onderland	Recreation	2,500	10	Mon-Th: 9am-7pm Fri-Sun: 9am-9pm
nkee Clipper	Personal Services	702	3	Mon-Fri: 830am-5p Sat: 9am-4pm Sun: Closed
tter at Home, me Health	Medical Office	1,040	5	Mon-Fri: 9am-5pm Sat-Sun: Closed
rtle Tavern	Restaurant	3,418	14	Mon: 3pm-11pm Tues-Sat: 11am-11p Sun: 12n-11p
arold H eisman PA	Business and Prof. Office	1,688	7	Mon-Fri: 9am-5pm Sat-Sun: Closed
avitz	General Commercial	850	4	Mon-Tues: Closed Wed-Fri: 10am-7pm Sat :10am-5pm Sun: 11am-5pm
ng Sewing & Icuum	General Commercial	850	4	Mon-Fri: 9am-5pm Sat-Sun: Closed
iff to Fluff	Personal Services (Pet)	850	4	Mon-Thur: 8:30a-5p Fri: 8:30am-4p Sat: 9am-2pm Sun: Closed
udio 34 Hair Beauty Salon	Personal Services	1,275	6	Mon : 9am-2pm Tues-Sat: 9am-6pm Sun: Closed
/e Star Spa	Personal Services	1,275	6	Mon-Sun: 8:30a-10pm
enda's Birds	General Commercial	2,295	10	Mon-Fri:10a-6pm Sat:10a-5pm Sun: 11am-4pm
eline R. Itani, DPM, N	Medical Office	1,163	5	Mon-Wed: 9a-4pm Thur: Closed Fri: 9am-4pm Sat-Sun: Closed

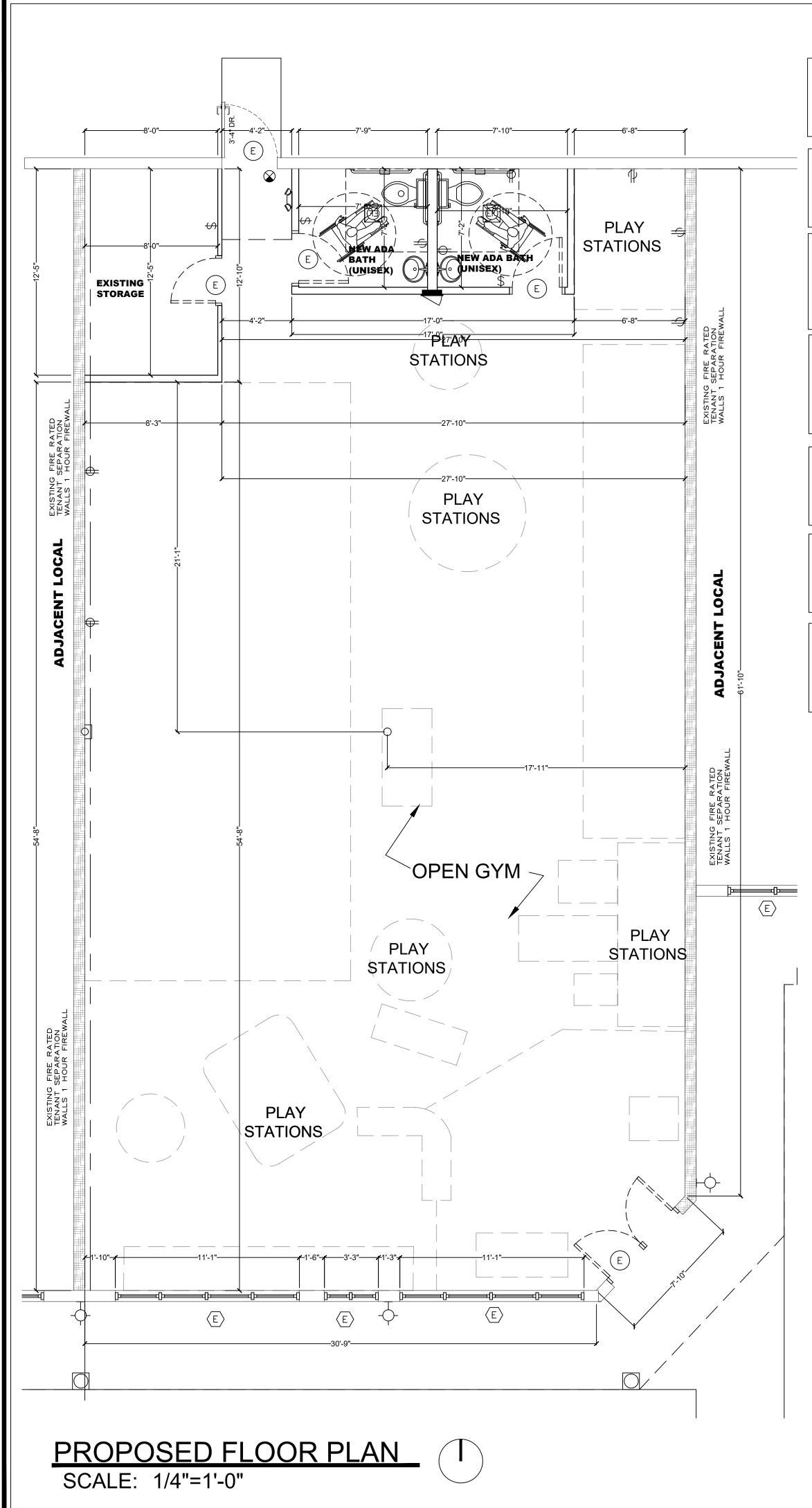
Total Parking Required: 100

Total Parking Provided: 118

spaces

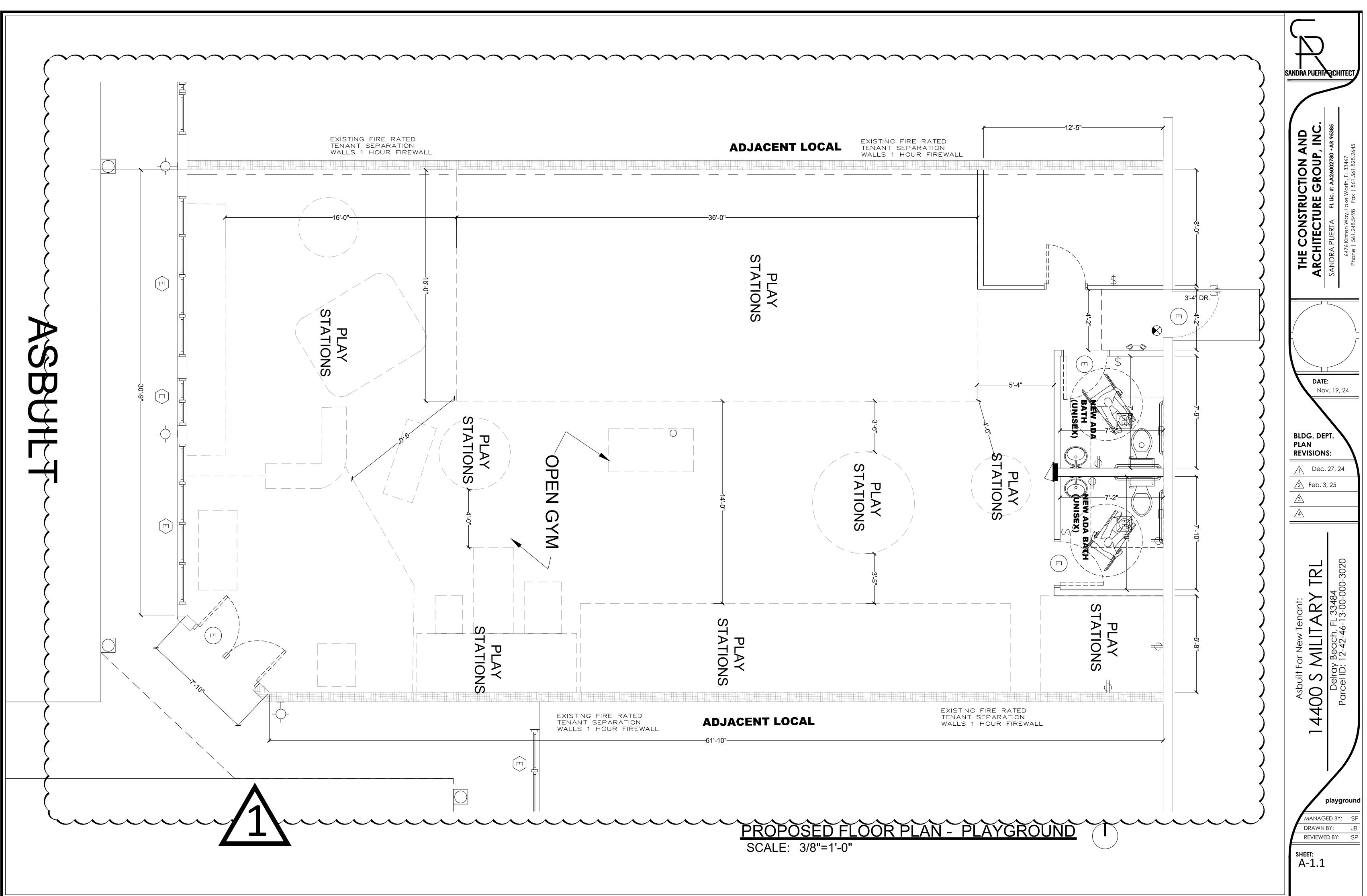
spaces

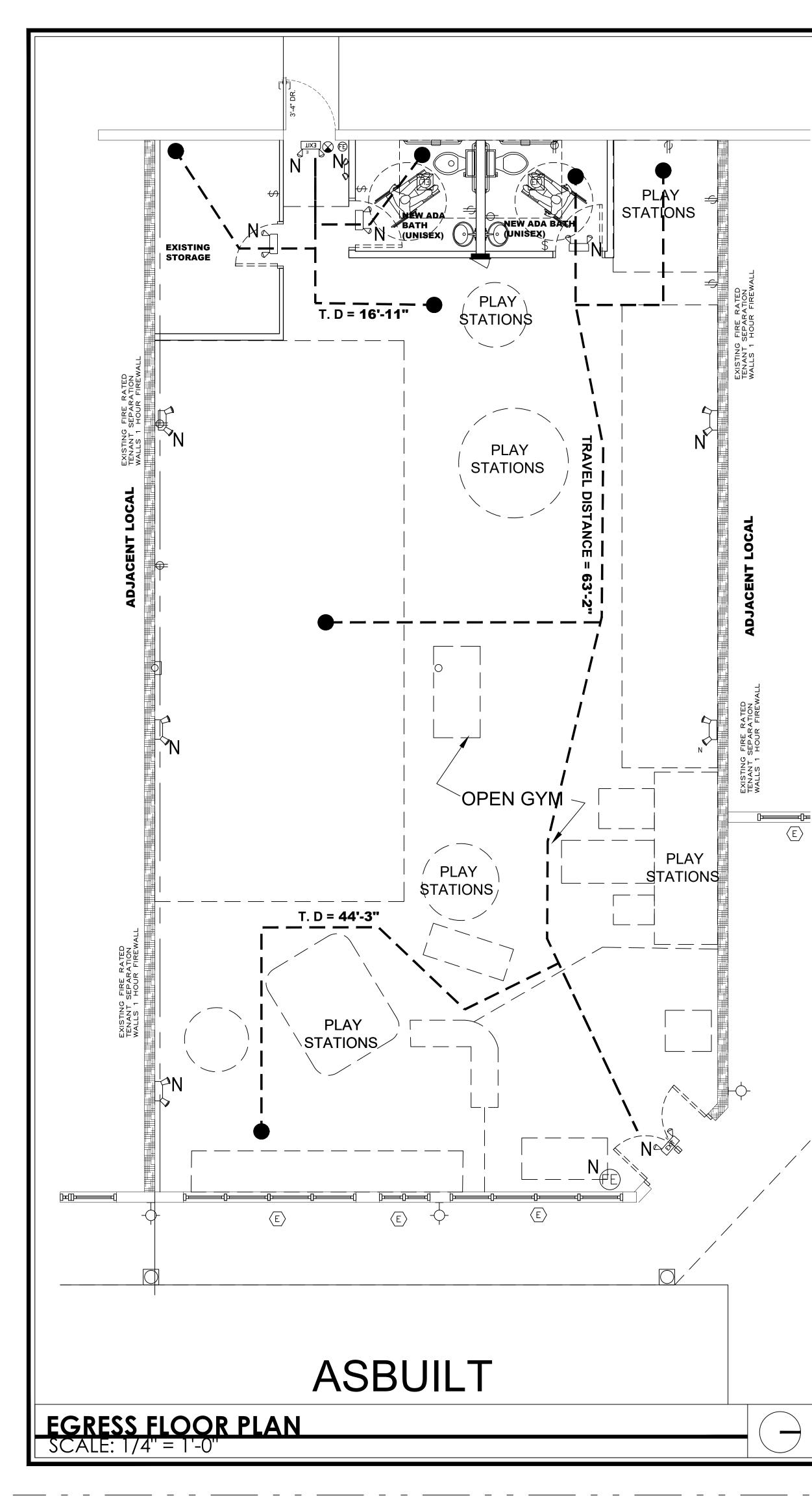




IOTE: ACTILE EXIT SIGNS ADJACENT TO EACH FLOOR REQUIRING A LIGHTED EXIT SIGN PER NFPA 1-11.10	ALL SINK AND DOC	NOTE: ALL SINK AND DOOR HARDWARE TO BE LEVER TYPE.		RK BY ALL TRADES TO BE COMPLETED IN	
OTE: ONTRACTOR TO VERIFY EXISTING CONDITIONS OPACE TO MEET FIRE-RESISTANCE RATING EQUIREMENTS AS PER FBC TABLE 706.3.7.	ALL WORK TO BE P THE F.B.C. 2023, 81 DF THE 2020 N.E.C., TH	ERFORMED IN ACCORDANC THEDITION WITH ALL AMENDA E ZONING ORDINANCES IN T AND ALL APPLICABLE CODES STANDARDS.	E WITH AENTS, HE CITY S AND APPLICAB AND RESTR 2. ALL TRA AVOID INT 3. CONTRA COMMENT	LE, LOCAL, & GOVERNMENTAL CODES	H ALL OTHER TRADES TO ONSTRUCTION.
ONTRACTOR TO VERIFY ANY CONDITION AND NC ALL RESPONSIBLE PARTIES IF THERE ARE ANY DISCREPANCIES. THE ARCHITECT ASSUMES NO RESPONSIBILITY.	IN ALL NEW AND EX RADIO-SIGNAL STR COMMUNICATION	XISTING BUILDINGS, MINIMUI ENGHT FOR FIRE DEPT. S SHALL BE MAINTAINED AT E AHJ IN ACCORDANCE WI	A LEVEL TH NFPA DRAWING 4. ALL DIM EDGE OF N WINDOW S 5. IT IS NOT		OF STUDS, CONC. BLK. OR DTED OTHERWISE. DOOR AND IE MANUFACTURER.
OTE: JILDING IS REQUIRED TO BE PROVIDED WITH ADDF UMBERS OR LETTERS PLAINLY VISIBLE FROM THE STF ER 2023 FBC SECTION 501.2.	REET ALL REQUIRED FIRE	SPRINKLER AND FIRE ALARM ILL REQUIRE A DEFERRED -1.12.6.1	WORKMAI 6. INSULAT FRAMED W 7. COMPA	COMPLETE FULLY OPERATIVE SYSTEMS NLIKE MANNER. E EXTERIOR MASONARY WALL WITH MII VALLS WITH R-19 INSUL. AND ATTIC SPAC ACT ALL FILL TO A MIN. OF 95% DENSITY MIN. SOIL BRG.: 2500 P.S.F.	N. R-5.0 INSUL., EXTERIOR WD. CES WITH MIN. R-30 INSUL.
IOTE: CONTRACTOR TO VERIFY EXISTING CONDITIONS C PACE TO MEET FIRE-RESISTANCE RATING REQUIREMENTS AS PER FBC 2023 TABLE 706.3.7. IOTE: CONTRACTOR TO VERIFY IN FIELD IF PANIC IARDWARE HAS BEEN PROVIDED ON ALL EGRESS DOORS AS PER 2023 FBC SECTION 1008.1.10.			8. MIN. CO FOR REINF CONC. BE 9. REINFOR 10. DETAILS	DNC. STRENGTH: 3000 P.S.I. @ 28 DAYS. . BARS. SLAB: 3/4"; BEAMS & COLS: 1 1/ LOW GRADE: 2" & UNFORMED CONC. RCING STEEL TO BE GRADE 60. S OF CONCRETE REINF. SHALL BE IN AC DF STD. PRACTICE FOR REINFORCED CO	2"; TIE COLS: 3/4"; FORMED : 3". CORDANCE WITH "THE
NOTE: ALL FINISHES TO BE SPECIFIED BY OWNER. INSTALL / FINISHES ACCORDING TO FBC 2023. DOOR SCHEDUI			SIZE AND N LAPPED 30 12. PROVIE	LUMNS TO HAVE DOWELS INTO CONCE NUMBER OF DOWELS AS VERTICAL REIN) BAR DIAM. MIN. @ SPLICES. DE CLEANOUT OPENINGS AT THE BOTTO E BLK. TIE COLUMNS.	IF. BARS.; REINF. STL. TO BE
MARK DESCRIPTION SIZE (E) EXISTING DOOR TO REMAIN 3'0"x6'8" (1) INTERIOR WOOD PANEL DOOR 3'0"x6'8" (2) INTERIOR WOOD PANEL DOOR 3'0"x6'8"	FINISH TYPE BY OWNER BY OWNER USER HARDWARE AL DOOR FRAME METAL		TRTD. WD. (BENDING) 14. MIN. EL CONTROL INSULATIO	ECTRICAL WIRE SIZE SHALL BE #14 A.W WIRING). ALL CONDUCTORS SHALL BE	GRADE OF MIN. F = 1200 PSI .G. (EXCLUDING THE "COPPER" WITH "THHN"
HINGED DOOR LEVER HANDLE HARDWARE 1 2	E PANIC HARDWARE		PER CODE 16. PROVIE GARAGE 17. SANITA	ED RIGID STL. CONDUIT OR SCHED. 40 REQRMTS. DE "GFI" RECEPTACLES IN BATHROOMS, AND OUTSIDE LOCATIONS. RY PLBG. PIPING TO HAVE MIN. 1/8" PE OVIDE CLEANOUTS AT THE BASE OF WAS	AT KITCHEN COUNTERS, IN
NOTE: All Finishes to be specified by owner. Instal Finishes according to FBC 2023.	STC ARE	NDOWS AND REFRONT EXISTING TO REMAIN	WATER PIP 19. PROVIE PIPING AT ALL HOSE	DERGRD. WATER PIPING SHALL BE COP PING SHALL BE COPPER TYPE "L". DE AIR CHAMBERS AND SHUT OFF VALV FIXTURES; PROVIDE VACUUM BREAKER BIBBS. R HANDLING UNITS TO HAVE CONDENS	/es for all water supply and shutoff valve on
BAY TENANT	USE	APPROX. SF (+/-)	PARKING RATE	PARKING REQUIRED	OPERATING HOURS
14406 CANDY	GENERAL	2,423.02 S.F. (+/-)	4/1000 SF	10 SPACES	Mon-Th 9am-7pm

OTE: ACTILE EXIT SIGNS ADJACENT TO EACH FLOOR			NERAL CONSTRUCTION NOTES	
UIRING A LIGHTED EXIT SIGN PER NFPA 1-11.10.	ALL SINK AND DOOR HARDWARE TO BE LEVER	APPLICABL	RK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL E, LOCAL, & GOVERNMENTAL CODES, ORDINANCES, STANDARDS PICTIONS.	
TE: NTRACTOR TO VERIFY EXISTING CONDITIONS OF	ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE F.B.C. 2023, 8THEDITION WITH ALL AMENDMENTS, THE 2020 N.E.C., THE ZONING ORDINANCES IN THE CITY		DES TO COORDINATE THEIR WORK WITH ALL OTHER TRADES TO ERFERENCE WITH THE PROGRESS OF CONSTRUCTION.	
QUIREMENTS AS PER FBC TABLE 706.3.7.	OF JURISDICTION AND ALL APPLICABLE COE STANDARDS.	ESAND 3. CONTRA	ACTOR TO VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO CING CONSTRUCTION AND NOTIFY ARCHITECT OF ALL NCIES. DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED	
ONTRACTOR TO VERIFY ANY CONDITION AND NOTIFY ALL RESPONSIBLE PARTIES IF THERE ARE ANY				
DISCREPANCIES. THE ARCHITECT ASSUMES NO RESPONSIBILITY.	IN ALL NEW AND EXISTING BUILDINGS, MINIM RADIO-SIGNAL STRENGHT FOR FIRE DEPT. COMMUNICATIONS SHALL BE MAINTAINED A		MONOLITHIC SLAB FOOTING UNLESS NOTED OTHERWISE. DOOR AND SIZE OPENINGS TO BE VERIFIED WITH THE MANUFACTURER.	
DTE:	DETERMINED BY THE AHJ IN ACCORDANCE V 1-11.10.1	CONSTRUC ITEMS FOR (THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CTION, THE CONTRACTOR IS EXPECTED TO FURNISH & INSTALL ALL COMPLETE FULLY OPERATIVE SYSTEMS IN FIRST CLASS	
ILDING IS REQUIRED TO BE PROVIDED WITH ADDRESS IMBERS OR LETTERS PLAINLY VISIBLE FROM THE STREET R 2023 FBC SECTION 501.2.	NOTE: ALL REQUIRED FIRE SPRINKLER AND FIRE ALAF MODIFICATIONS WILL REQUIRE A DEFERRED	2M 6. INSULATE	E EXTERIOR MASONARY WALL WITH MIN. R-5.0 INSUL., EXTERIOR WD. ALLS WITH R-19 INSUL. AND ATTIC SPACES WITH MIN. R-30 INSUL.	
TE:	SUBMITTAL. NFPA 1-1.12.6.1		CT ALL FILL TO A MIN. OF 95% DENSITY AND POISON SOIL FOR MIN. SOIL BRG.: 2500 P.S.F.	
ONTRACTOR TO VERIFY EXISTING CONDITIONS OF ACE TO MEET FIRE-RESISTANCE RATING QUIREMENTS AS PER FBC 2023 TABLE 706.3.7.		FOR REINF.	DNC. STRENGTH: 3000 P.S.I. @ 28 DAYS. MIN. CONCRETE COVERAGE BARS. SLAB: 3/4"; BEAMS & COLS: 1 1/2"; TIE COLS: 3/4"; FORMED LOW GRADE: 2" & UNFORMED CONC.: 3".	
DTE:			CING STEEL TO BE GRADE 60.	
DNTRACTOR TO VERIFY IN FIELD IF PANIC RDWARE HAS BEEN PROVIDED ON ALL EGRESS DORS AS PER 2023 FBC SECTION 1008.1.10.			10. DETAILS OF CONCRETE REINF. SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STD. PRACTICE FOR REINFORCED CONCRETE CONSTRUTION". TRAP.	
ALL FINISHES TO BE SPECIFIED BY OWNER. INSTALL ALL FINISHES ACCORDING TO FBC 2023. DOOR SCHEDULE			11. TIE COLUMNS TO HAVE DOWELS INTO CONCRETE FTG. WITH THE SAME SIZE AND NUMBER OF DOWELS AS VERTICAL REINF. BARS.; REINF. STL. TO BE LAPPED 30 BAR DIAM. MIN. @ SPLICES.	
			12. PROVIDE CLEANOUT OPENINGS AT THE BOTTOM OF GROUTED CELLS OF CONCRETE BLK. TIE COLUMNS.	
MARKDESCRIPTIONSIZEFINISH(E)EXISTING DOOR TO REMAIN			DOD IN CONTACT WITH CONC., MASONRY OR STL. SHALL BE PRESS. STRUCTURAL LUMBER TO BE A STRESS GRADE OF MIN. $F = 1200 PSI$	
INTERIOR WOOD PANEL DOOR 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	NNER	14. MIN. ELE CONTROL V	ECTRICAL WIRE SIZE SHALL BE #14 A.W.G. (EXCLUDING THE WIRING). ALL CONDUCTORS SHALL BE "COPPER" WITH "THHN"	
FULL PANEL DOOR	METAL		n. Ceways underground or larger than 2" in diam. Shall be Ed rigid stl. conduit or sched. 40 pvc.; other raceways as	
HINGED DOOR LEVER HANDLE HARDWARE HANDLE HARDWARE		PER CODE 16. PROVID	REQRMTS. DE "GFI" RECEPTACLES IN BATHROOMS, AT KITCHEN COUNTERS, IN	
1 FULL PANEL DOOR	PANIC HARDWARE	17. SANITAR	AND OUTSIDE LOCATIONS. RY PLBG. PIPING TO HAVE MIN. 1/8'' PER FT. PITCH AT ALL HORIZ. VIDE CLEANOUTS AT THE BASE OF WASTE STACKS.	
۲ کے ـــــــــــــــــــــــــــــــــــ	XISTING BACK DOOR	18. ALL UND	DERGRD. WATER PIPING SHALL BE COPPER TYPE "K; ALL OTHER NG SHALL BE COPPER TYPE "L".	
NOTE: ALL FINISHES TO BE SPECIFIED BY OWNER. INSTALL ALL	ALL WINDOWS AND	19. PROVID PIPING AT F	DE AIR CHAMBERS AND SHUT OFF VALVES FOR ALL WATER SUPPLY FIXTURES; PROVIDE VACUUM BREAKER AND SHUTOFF VALVE ON	
FINISHES ACCORDING TO FBC 2023.	STOREFRONT	ALL HOSE B 20. A/C AIR	BIBBS. R HANDLING UNITS TO HAVE CONDENSATE SAFE WASTE WITH TRAP.	
	ARE EXISTING AND TO REMAIN			
BAY TENANT	USE APPROX. SF (+/-)	PARKING RATE	PARKING REQUIRED OPERATING HOURS	
	GENERAL 2,423.02 S.F. (+/-)	4/1000 SF	10 SPACES Mon-Th 9am-7pm	





EGRESS | LIFE SAFETY GENERAL NOTES

1. THE CONTRACTOR SHALL PROVIDE AND INSTALL (1) 10 LBS. ABC TYPE U.L. LISTED FIRE EXTINGUISHER PER 2500 S.F. LOCATION SHALL BE APPROVED BY FIRE MARSHALL PRIOR TO INSTALLATION.

2. EQUIPMENT AND CONNECTIONS TO THE BUILDING FIRE ALARM CONTROL PANEL SHALL BE PROVIDED. THE CONTRACTOR SHALL VERIFY THE BUILDING SYSTEM PRIOR TO BIDDING AND INCLUDE ALL REQUIRED ELEMENTS IN THE BID.

3. SHOP DRAWINGS TO BE SUBMITTED FOR A SEPARATE PERMIT FOR FIRE ALARM ALTERATIONS.

BUSINESS OCCUPANCIES

EGRESS REQUIREMENTS SHALL COMPLY WITH NFPA 101. CHAPTER 7 SECTION 7.2, MEANS OF EGRESS COMPONENTS AND SECTION 12.2, MEANS OF EGRESS REQUIREMENTS FOR BUDINESS OCCUPANCIES, ALL HARDWARE SHALL COMPLY WITH SECTION 7.2.1.5.LOCKS, LATCHES, AND ALARM DEVICES FOR LOCKING REQUIREMENTS

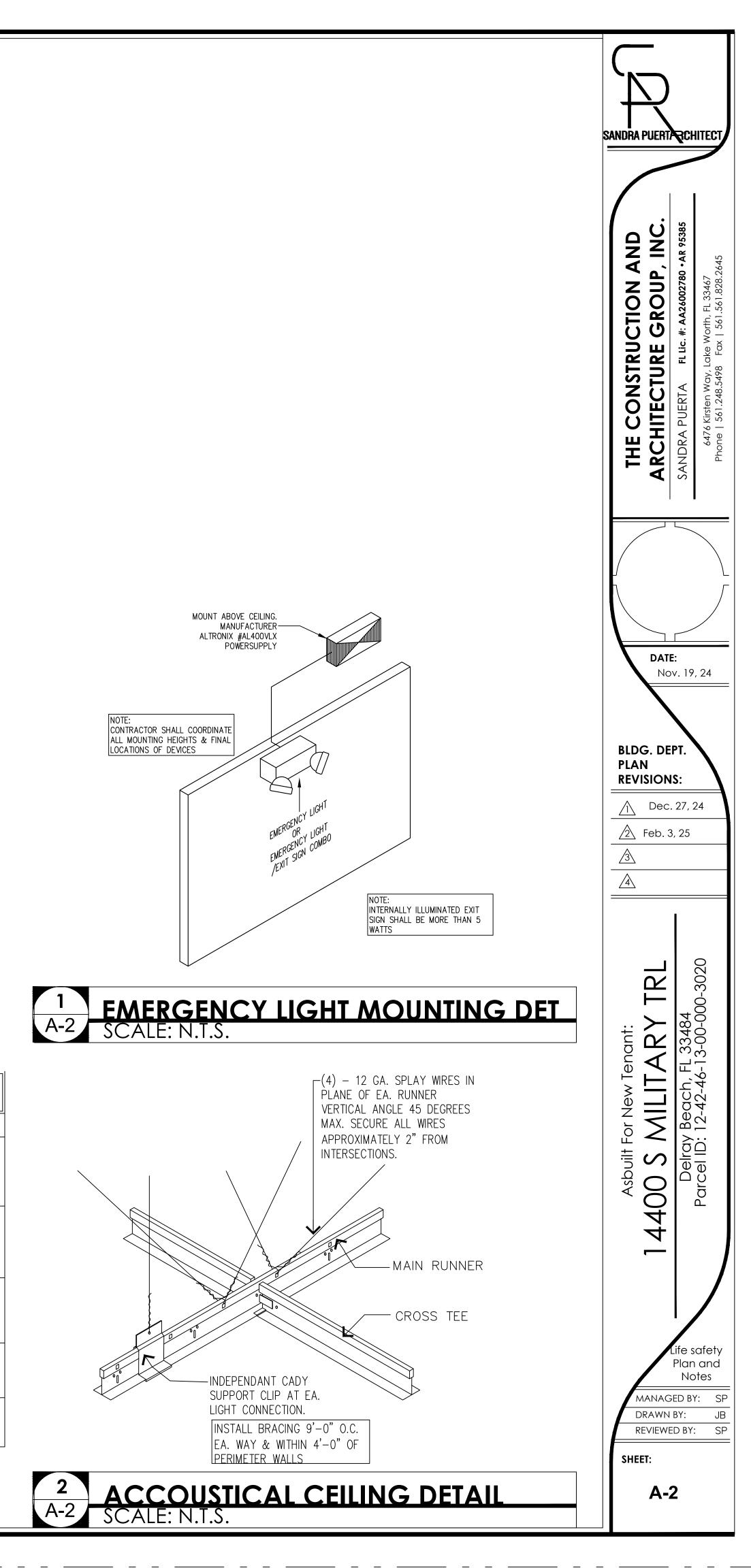
EXIT REQUIREMENTS

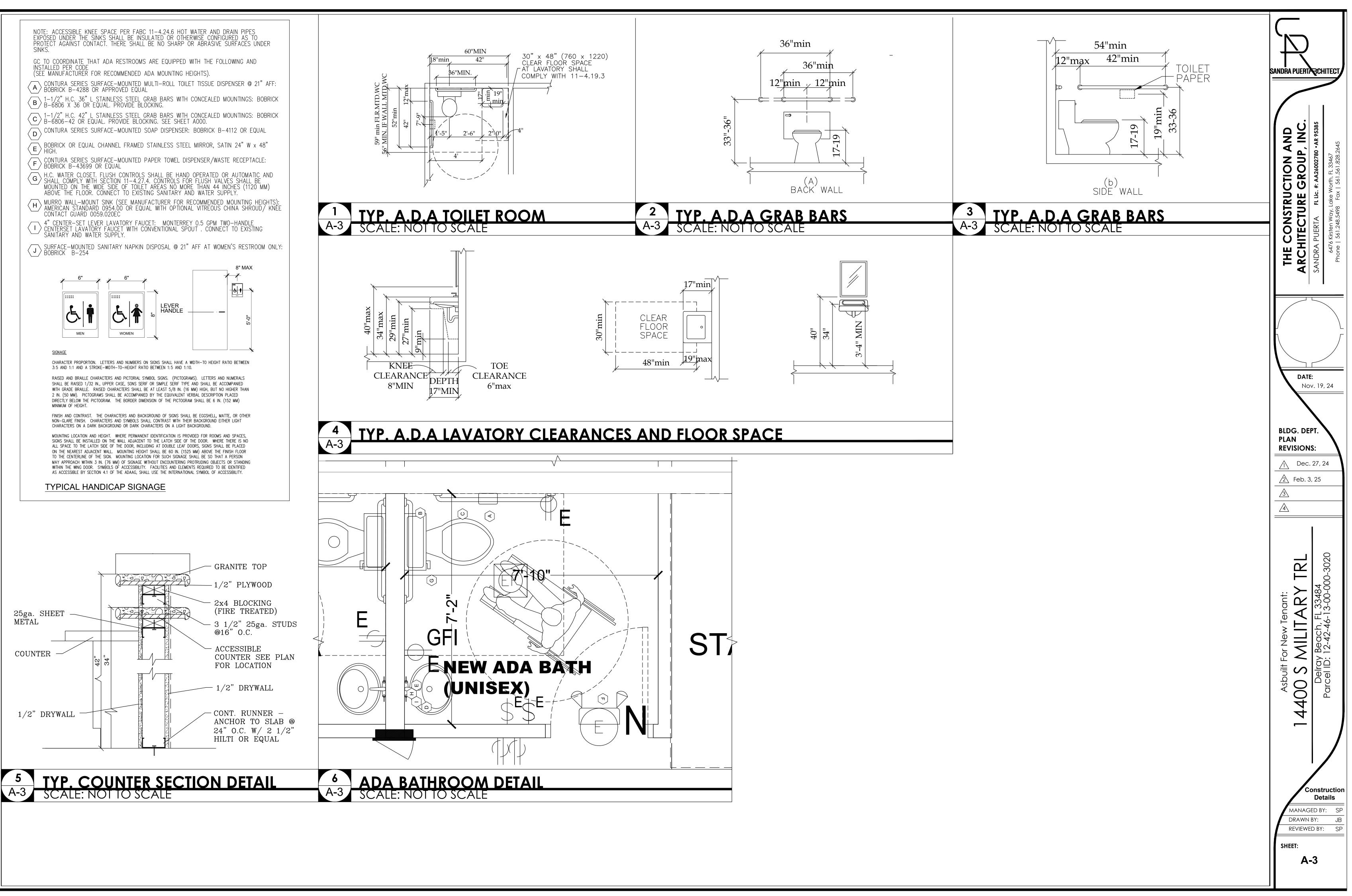
MORE THAN 49 PERSONS: TWO EXITS REQUIRED AND DOOR MUST SWING WITH PATH OF EGRESS.

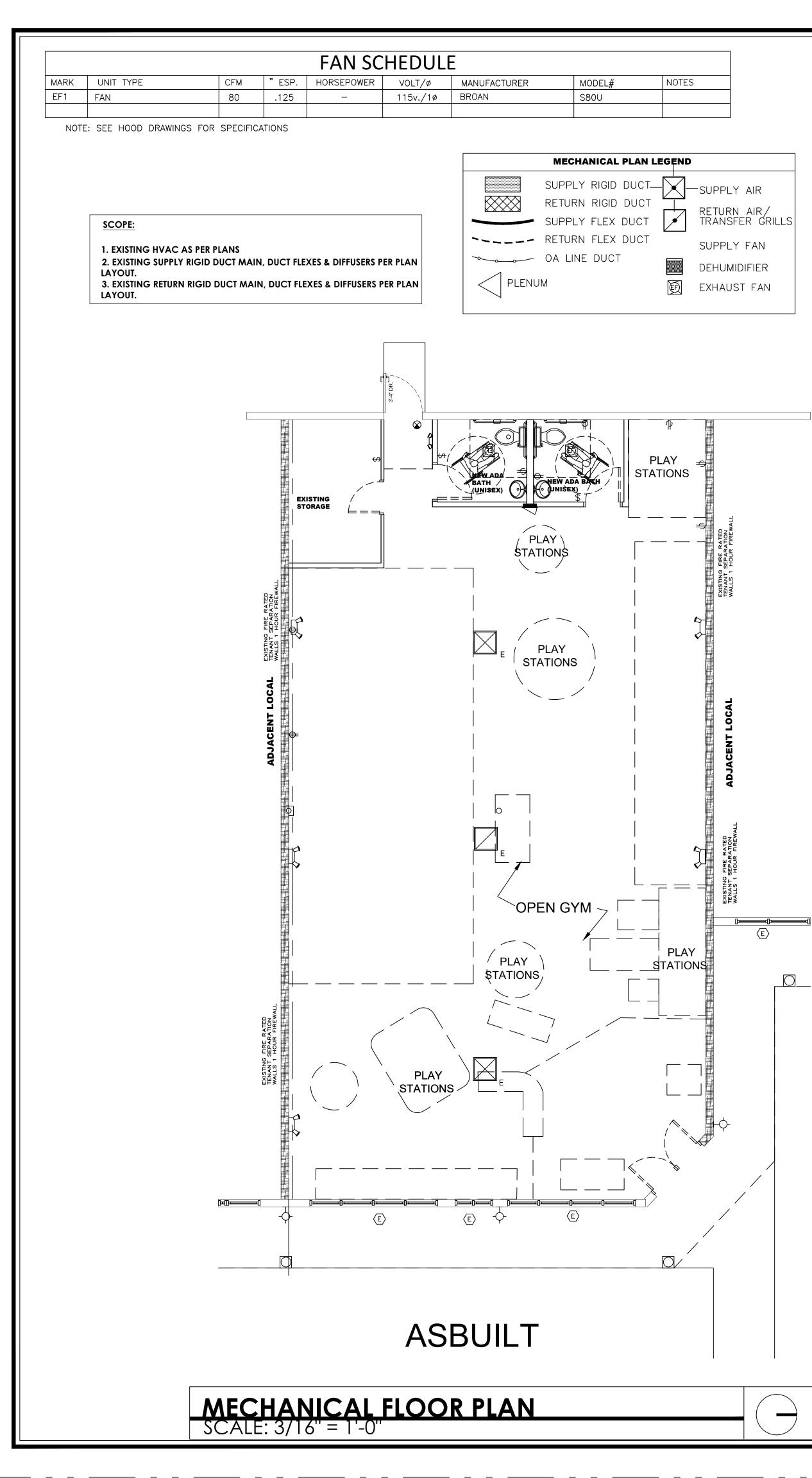
EXIT ACCESS TRAVEL DISTANCE PER TABLE 1006.2.1 FOR NONSPRINKLERED BUSINESS OCCUPANCY: A) GREATER THAN 30 PERSONS: 75'-0'' B) NOT MORE THAN 30 PERSONS:100'-0''.

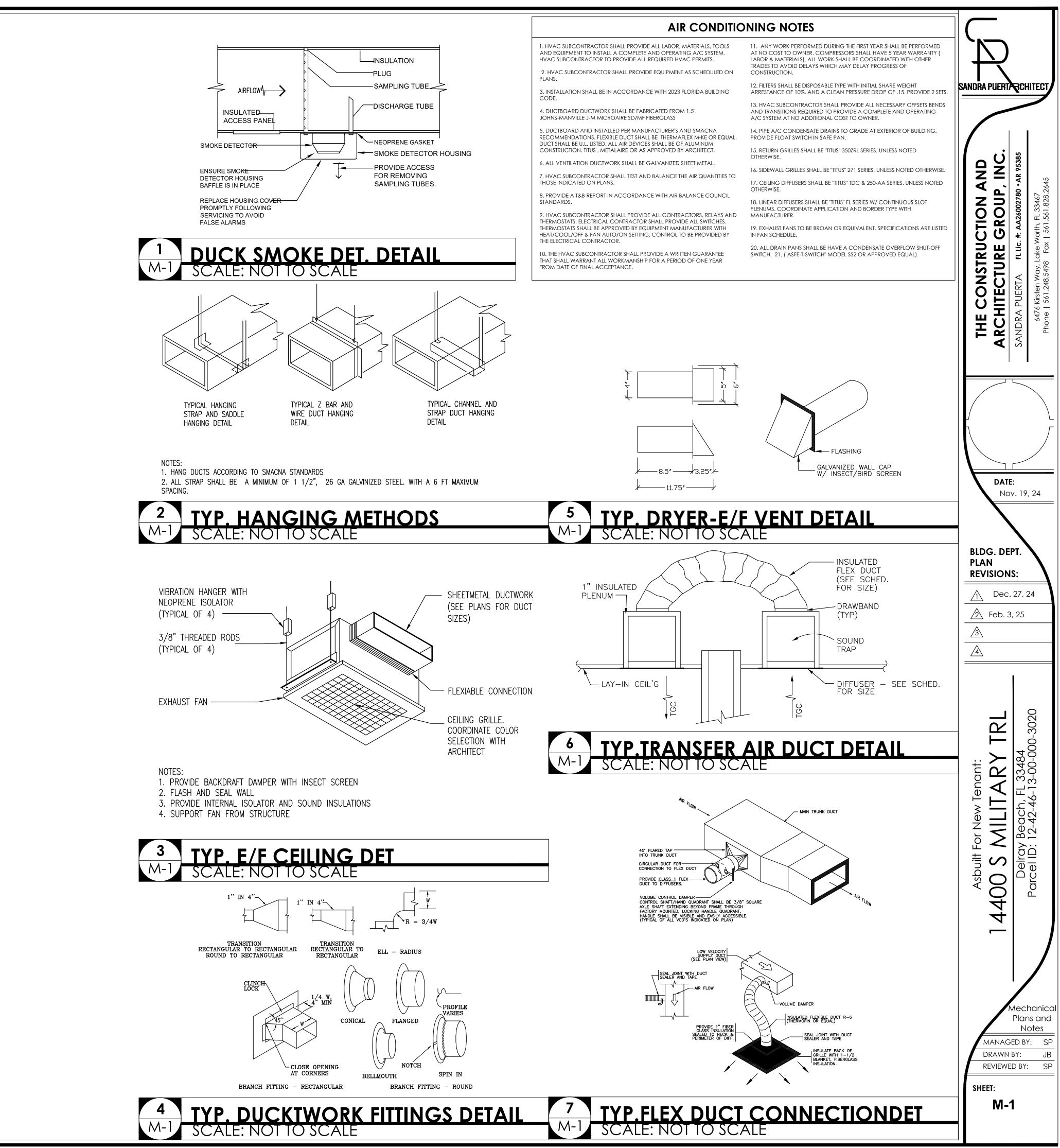
> FLAME SPrEAD GROUP: 1. Class A Interior Finish. Flamespread 0-25, Smoke Developed 0-450. Any element thereof when do tested shell not continue to propagate fire. \Box 2. Class B Interior Finish. Flamespread 26-75, Smoke Developed 0-450. 3. Class C Interior Finish. Flamespread 76–200, Smoke Developed 0–450. MINIMUM INTERIOR FINISH CLASSIFICATION: SPRINKLERED OCCUPANY UNSPRINKLERED Exit Exit Other Other Exit¹ Access Spaces Exit¹ Access Spaces A A в С В С С в в С A B B B C С Sprinkler lRestrined IUnrestrined Sprinkler _R2,4 С С С

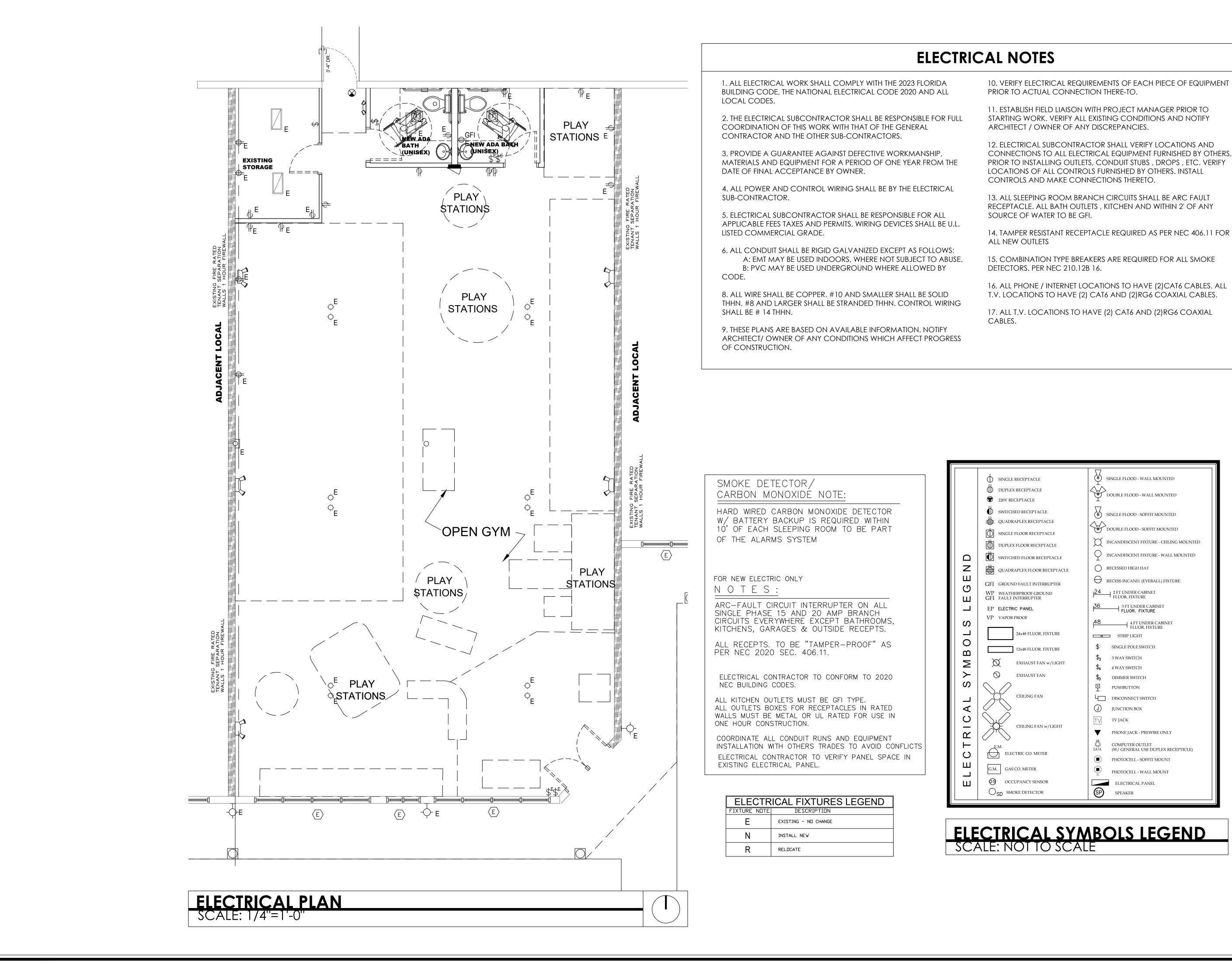
	EGRESS	LIFE SAFETY LEGEND
SYMBOL		DESCRIPTION
	EGRESS PATH	denotes path of egress and travel distance.
FE	FIRE EXTINGUISHER	FIRE EXTINGUISHER 2A10BC 10 LBS
"K" FE	FIRE EXTINGUISHER	FIRE EXTINGUISHER NEW "K" TYPE
#	KEY NOTE	SEE EGRESS LIFE SAFETY NOTES
	Emergency Lights / exit sign	SEE EGRESS LIFE SAFETY NOTES

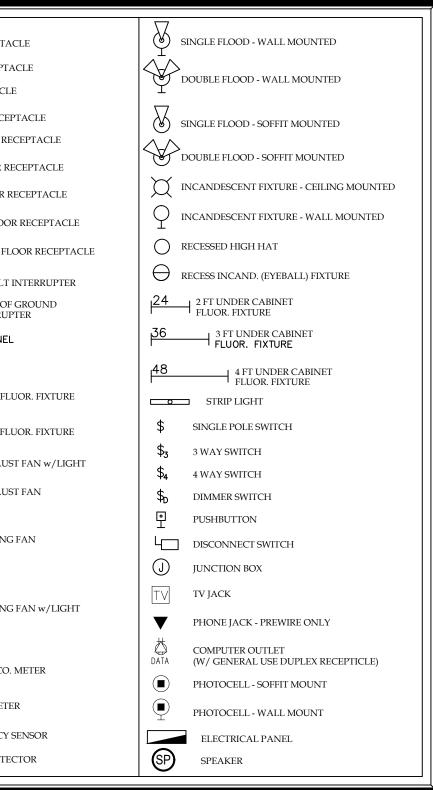


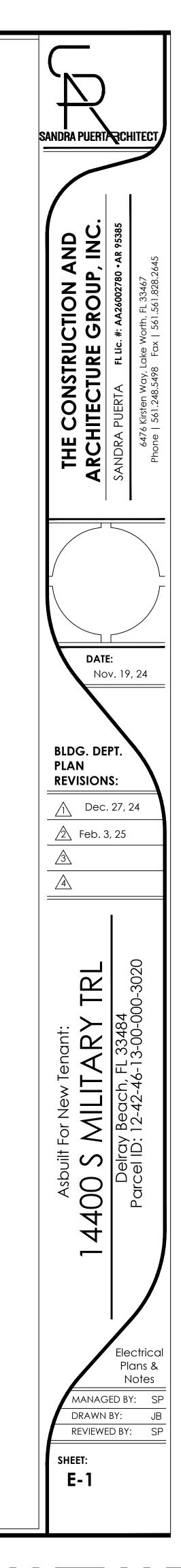


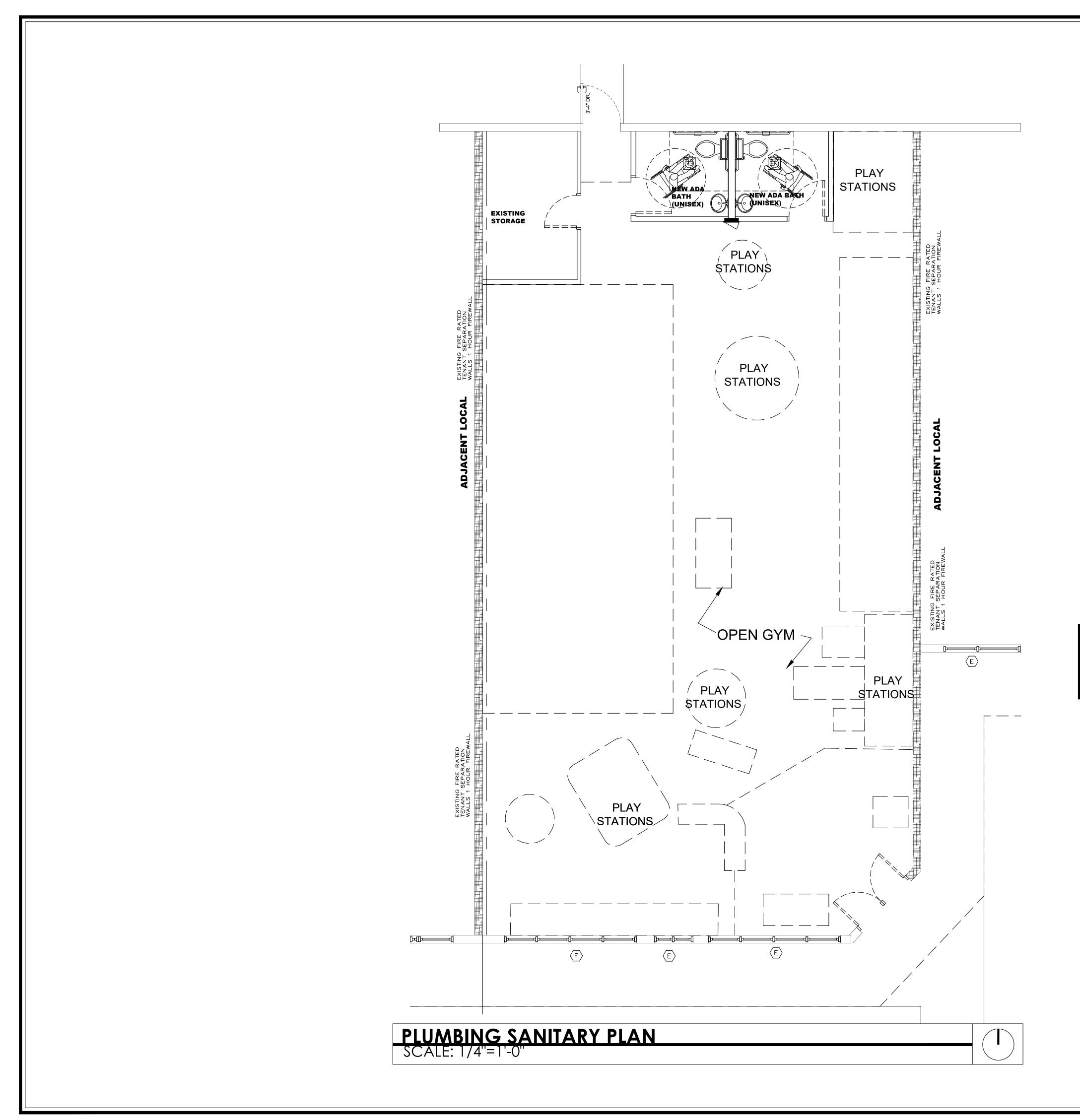












PLUMBING NOTES

AMENDMENTS

2. ALL MATERIALS SHALL BE NEW AND CODE APPROVED.

3. ALL NEW DOMESTIC WATER PIPING SHALL BE COPPER. ALL NEW SANITARY PIPING SHALL HUBLESS C.I. OR PVC. AS REQUIRED TO INTEGRATE WITH EXISTING PIPING.

4. THE PLUMBING SUB-CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE THAT PLUMBING WORK IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. REPAIR OR REPLACE ALL WORKWHICH BECOMES DEFECTIVE AT NO COST TO OWNER.

5. PLUMBING SUB-CONTRACTOR SHALL PROVIDE REQUIRED PERMITS.

6. INSTALL PLUMBING FIXTURES AS INDICATED ON THESE PLANS. COMPLETE SYSTEM, FIXTURES AND DEVICES SHALL BE GIVEN AN IN-SERVICE TEST AFTER COMPLETION OF INSTALLATION.

7. ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION, SHALL BE PART OF THIS CONTRACT.

8. DRAINAGE SYSTEM IS BASED ON 1/8"/ FT. MIN. FALL. FOR ALL PIPING 2" AND SMALLER SHALL SLOPE @ 1/4"/FT. ALL DEVIATIONS SHALL BE APPROVED BY ARCHITECT/ENGINEER AND PLUMBING INSPECTOR

9. DO NOT SCALE FOR THE EXACT FIXTURES, PIPING , EQUIPMENT ETC.

10. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF CONSTRUCTION.

11. WATER PIPING SHALL BE TYPE "L" COPPER WITH WROUGHT SOLDER FITTINGS. UNDERGROUND PIPING MAY BE TYPE "M" WITH PROPER SLEEVING AND NO JOINTS BELOW SLAB.

12. FURNISH AND INSTALL APPROVED WATER HAMMER ARRESTORS AND SHUTOFF VALVES WITH ACCESS PANELS AT EACH FIXTURE GROUP. INSTALL PER PDI IN EFFECTIVE RANGE.

NOTE: CAP ALL EXISTING LINES NOT TO BE USED

1. INSTALLATION SHALL BE IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE 8TH EDITION AND ALL LOCAL CODES & BOYNTON BEACH

