

HISTORIC PLANNING BOARD SUBMISSION:

THE PICUT RESIDENCE

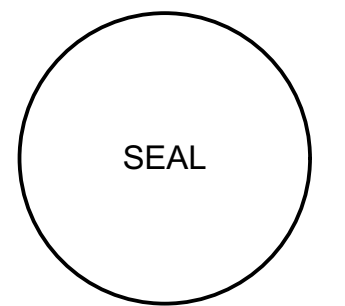
108 N. SWINTON AVENUE
DELRAY BEACH, FL 33444



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PROJECT DESCRIPTION:

THE PROPOSED PROJECT IS A REAR BEDROOM, BATHROOM AND GARAGE ADDITION, NEW POOL WITH PATIO, AND A TRELIS COVERED PARKING TO AN EXISTING CONTRIBUTING HOME IN BOYNTON BEACH, FL.



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CONSTRUCTION DRAWINGS

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PROJECT NO: 21-357
DATE: 04.22.22
DRAWN BY: D.C.
CHECKED BY: S.S.
REVISIONS:

COVER SHEET

CS.1

DESIGN TEAM:

OWNER:
TRACY PICUT
108 N. SWINTON AVENUE
DELRAY BEACH, FL 33444

ARCHITECT:
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ARCHITECTURAL RENDERING:



LIST OF DRAWINGS:

- CS.1 COVER SHEET
- SP.1 SITE PLAN & TABULAR DATA
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS

GENERAL NOTES:

1. ALL IDEAS, DRAWINGS, PLANS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER OF RECORD. THEY WERE CREATED FOR AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. THE IDEAS, DESIGNS, DRAWINGS, PLANS AND ARRANGEMENTS OF THE SPECIFIED PROJECT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSONS, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND ENGINEER(S) OF RECORD.
2. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR THE ARCHITECT/ENGINEER OF RECORD REVIEW ONLY AFTER THEY HAVE BEEN THOROUGHLY REVIEWED BY THE GENERAL CONTRACTOR FOR CONSTRUCTION METHODS, DIMENSIONS, FIELD CONDITIONS, "AS-CONSTRUCTED" DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH THE CONTRACTOR'S APPROVAL STAMP.
3. ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY OR CIVIL DWGS. THAT ARE INSERTED INTO THIS SET AND/OR LACK OF. THIS INCLUDES BUT NOT LIMITED TO PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC.

ABBREVIATIONS:

AT	H.C.	HOLLOE CORE
ACOUSTICAL TILE	H.M.	HOLLOW METAL
ADJUSTABLE	H.V.A.C.	HEATING, VENTILATION, & AIR CONDITIONING
ANCHOR BOLT	INSUL.	INSULATION
AIR CONDITIONING	INV.	INVERT
ABOVE FINISH FLOOR	LAM.	LAMINATED
ALUMINUM	MAT.	MATERIAL
ALTERNATE	M.C.	MECHANICAL CONTRACTOR
BOARD	M.H.	MAN HOLE
BUILDING	MLDG.	MOLDING
BENCH MARK	MTL. MET.	METAL
BRIDGING OR BEARING	MIN.	MINIMUM
CENTER TO CENTER	M.T.	METAL THRESHOLD
CENTER LINE	N.I.C.	NOT IN CONTRACT
CABINET	NO.	NUMBER
CATCH BASIN	NOM.	NOMINAL
CAST IRON	O.C.	ON CENTER
CERAMIC	OPG.	OPENING
CEILING	O.W.	OPEN WEB
CLEAN OUT	P.C.	PLUMBING CONTRACTOR
CONCRETE	PL	PLATE
COORDINATE	PT.	PRESSURE TREATED
COLUMN	P.S.I.	POUNDS PER SQUARE INCH
CONTINUOUS	R.A.	RETURN AIR
DETAIL	RM.	ROOM
DOWN	REQD	REQUIRED
DECK	REIN.	REINFORCING
DOWN SPOUT	S.B.	SPLASH BLOCK
DRY WALL	SCH.	SCHEDULE
DRAWING	SEC.	SECTION
ELECTRICAL CONTRACTOR	S.C.	SOLID CORE
ELEVATION	S.S.	STAINLESS STEEL
ELECTRICAL	S.V.B.	STRAIGHT VINYL BASE
EXISTING	SPEC.	SPECIFICATION
EXPOSED OR EXPANSION	T.O.	TOP OF
FIRE EXTINGUISHER	T.O.F.	TOP OF FOOTING
FINISHED FLOOR	T.O.P.	TOP OF PLATE
FINISH	T.O.S.	TOP OF STEEL
FLOOR	TYP.	TYPICAL
FULL SIZE	THK.	THICK OR THICKNESS
FOOT OR FEET	T&G	TOUNGUE AND GROOVE
FOOTING	V.C.T.	VINYL COMPOSITION TILE
GENERAL CONTRACTOR	V.C.B.	VINYL COVE BASE
GLASS OR GLAZING	VIF	VERIFY IN FIELD
GLAZED PAINT	W/	WITH
GYPNUM	W.I.	WROUGHT IRON
HOSE BIB	WD.	WOOD
HEIGHT	W.W.F.	WELDED WIRE FABRIC
HARDENER		

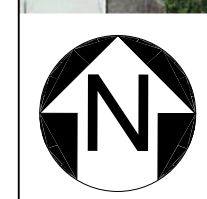
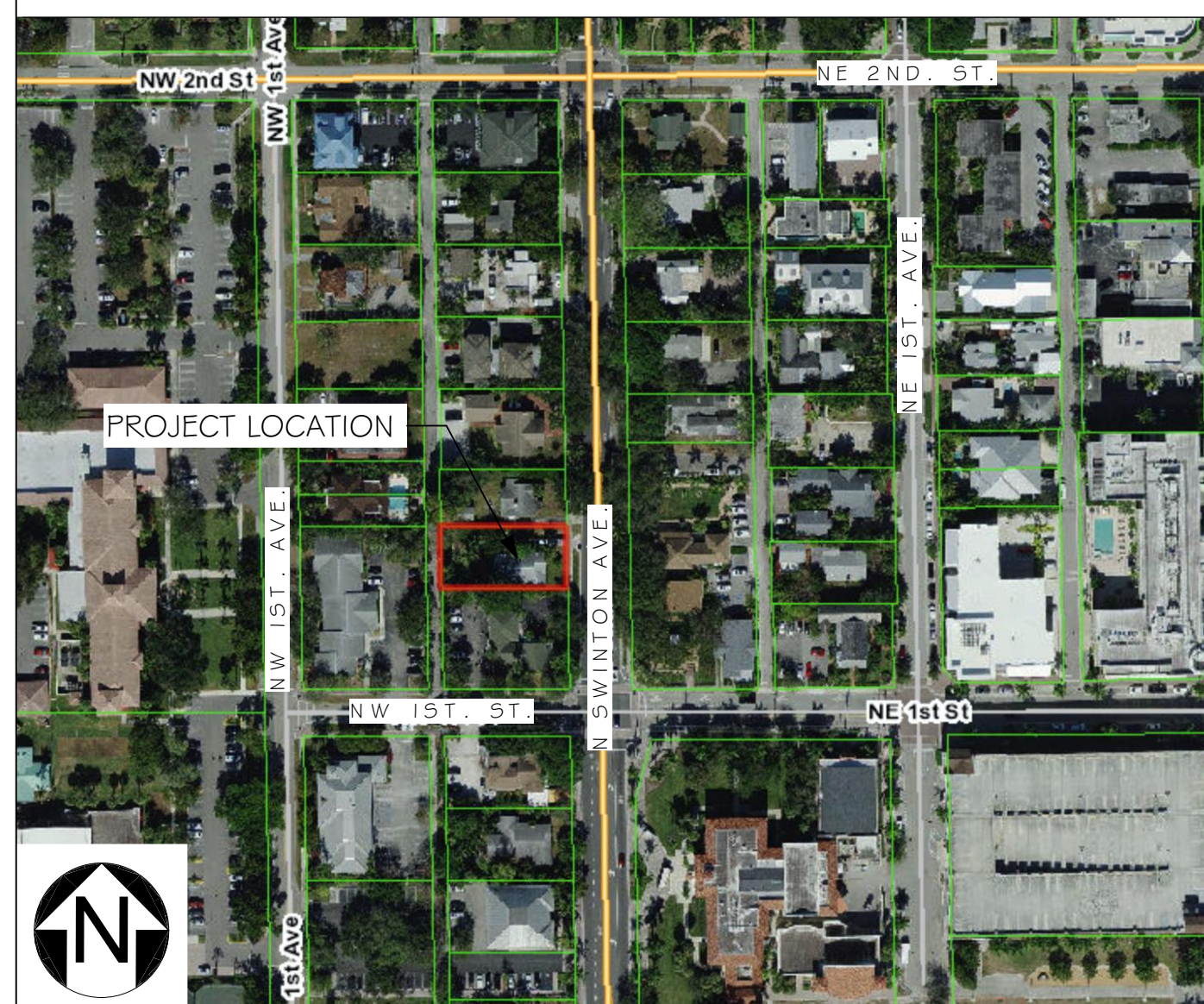
WALL LEGEND:

	EXISTING CMU WALL
	EXISTING INTERIOR WALL
	EXISTING FIRE RATED PARTITION WALL
	CMU WALL
	CMU WALL, W/ ONE SIDE 1x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 2x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 1-5/8" MTL. STUD & GYPSUM BOARD
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 1-5/8" MTL. STUD & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 2x PT FURRING & 5/8" GYPSUM BOARD ON EACH SIDE. NOTE: FIRE RATED PARTITION WALL
	INTERIOR WALL
	INTERIOR FIRE RATED PARTITION WALL

ARCHITECTURAL SYMBOLS:

	REVISION MARKER		SECTION LETTER
	ELEVATION MARK		WALL SECTION
	ROOM NUMBER		BUILDING SECTION
	DOOR TAG- REFER TO DOOR SCHEDULE		DETAIL
	WINDOW TAG- REFER TO WINDOW SCHEDULE		SHEET NUMBER
	WALL DETAIL, REFER TO PARTITION DETAILS		DETAIL
	FIXTURE TAG		SHEET NUMBER

LOCATION MAP:



NOTE:
SITE PLAN IS ILLUSTRATIVE & IS SHOWN FOR
BUILDING LOCATION ONLY.

PROJECT DATA:

PROJECT & OWNER INFORMATION:

OWNER: TRACY PICUT
 ADDRESS: 108 N. SWINTON AVENUE
 DELRAY BEACH, FL 33444
 P.C.N.: 12-43-46-16-01-059-0141
 LEGAL: TOWN OF DELRAY 5 15.7 FT OF LT 14 & N 48.8 FT OF LT 15 BLK 59 (OLD SCHOOL SQUARE HISTORIC DISTRICT)
 HISTORIC: OLD SCHOOL SQUARE HISTORIC DISTRICT, CONTRIBUTING

ZONING AND CODE INFORMATION:

ZONING: O55HAD HISTORIC
 CONSTRUCTION TYPE: III-B
 CURRENT USE: SINGLE FAMILY - 0100
 PROPOSED USE: SINGLE FAMILY - 0100
 FLOOD ZONE: ZONE-X, BASE FLOOD ELEV. N/A

FLORIDA BUILDING CODE:

FBC-2020 BUILDING CODE & FBC-2020 7TH EDITION RESIDENTIAL
 FBC EC=FLORIDA BUILDING CODE ENERGY CONSERVATION 2020
 FLORIDA FIRE PREVENTION CODE, 5TH EDITION
 NEC NFPA 70 2018 EDITION, NATIONAL ELECTRICAL CODE
 F5= FLORIDA STATUES

SITE/LAND DATA:

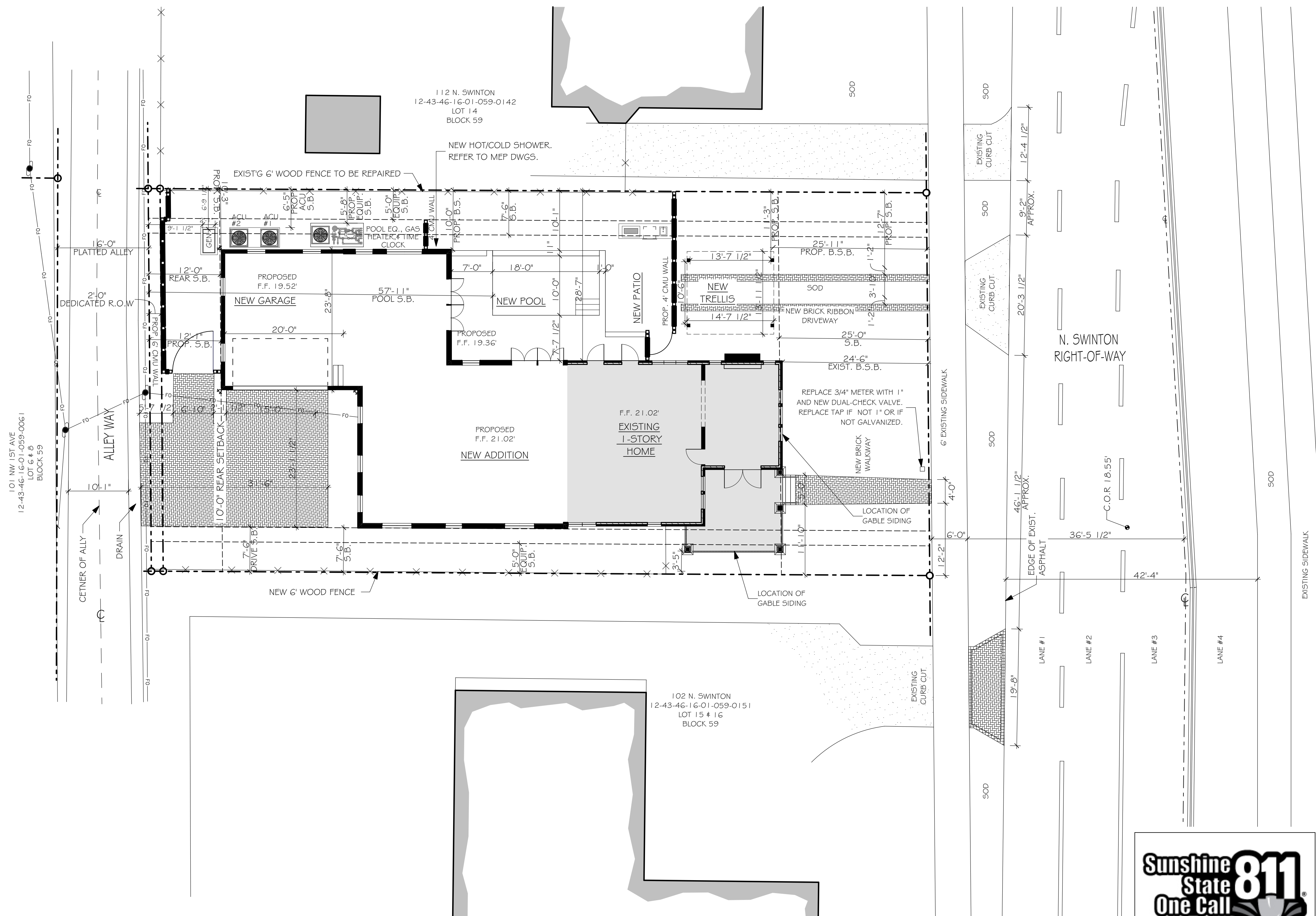
	REQUIRED	PROPOSED	EXISTING
TOTAL SITE AREA:		+/-8,514 SF (APPROX .1955 AC)	
MIN. LOT SIZE:	8,000 SF	EXISTING	+/-8,514 SF
MIN. LOT WIDTH:	80'	EXISTING	64.5'
MIN. LOT DEPTH:	100'	EXISTING	131.6'
LOT FRONTAGE:	80'	EXISTING	64.5'
MIN. FLOOR AREA:	-	2,953 SF (PROPOSED)	1,436 SF
MAX. LOT COVERAGE:	40%	34.7% (2,953 SF)	16.9% (1,436 SF)
MAX. IMPERVIOUS:	-	59.4% (5,055 SF)	16.9% (1,436 SF)
MIN. OPEN SPACE:	25%	40.6% (3,459 SF)	83.1% (7,078 SF)
MAX. HEIGHT:	35'	12'-5.5"	12'-5"

SETBACKS:

	REQUIRED	EXISTING HOUSE	PROPOSED HOUSE
FRONT(EAST):	25'	24.7'	26'-7"
REAR (WEST):	10'	66.7'	10'-0"
SIDE INTERIOR (NORTH):	7.5'	28.8'	7'-6"
SIDE INTERIOR (SOUTH):	7.5'	3.5'	3'-5" (EXIST.)
POOL (NORTH)	10'	-	10'-0"
POOL (WEST)	10'	-	56'-11.5"

BUILDING DATA:

EXISTING HOUSE (UA)=	1,128 SF
TOTAL EXISTING SF=	1,436 SF
SF TO BE DEMOLISHED=	342 SF (23.8%)
REMAINING HOME (UA)=	879 SF
PROPOSED ADDITION (UA)=	1,383 SF
PROPOSED GARAGE (UC)=	497 SF
PROPOSED COVERED PORCH (UC)=	194 SF (EXISTING TO BE PLACED BACK)
TOTAL PROPOSED SF=	2,953 SF



ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'



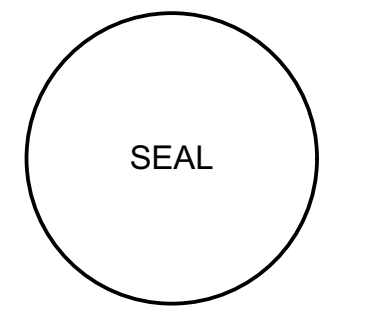
DRAWING ABBREVIATIONS

U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
L.A.E.	LIMITED ACCESS EASEMENT
L.M.E.	LAKE MAINTENANCE EASEMENT
S.B.	SETBACK
B.S.B.	BUILDING SETBACK
PROP. B.S.B.	PROPOSED BUILDING SET BACK
E.O.W.	EDGE OF WATER
L.B.E.	LANDSCAPE BUFFER EASEMENT
R.O.W.	RIGHT OF WAY
CB.	CATCH BASIN

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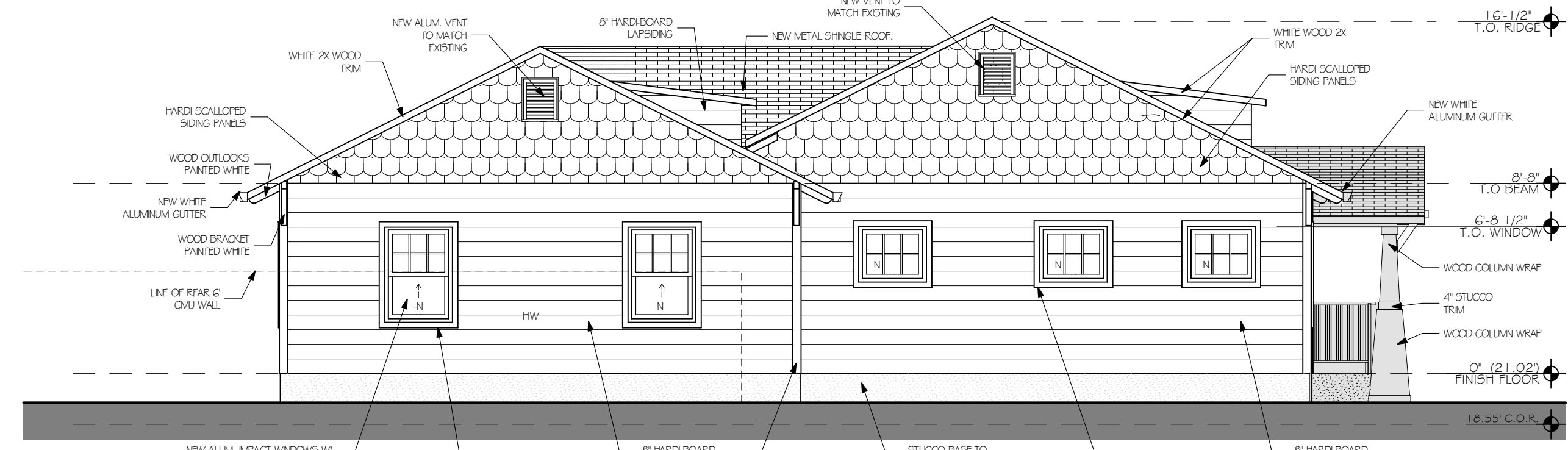
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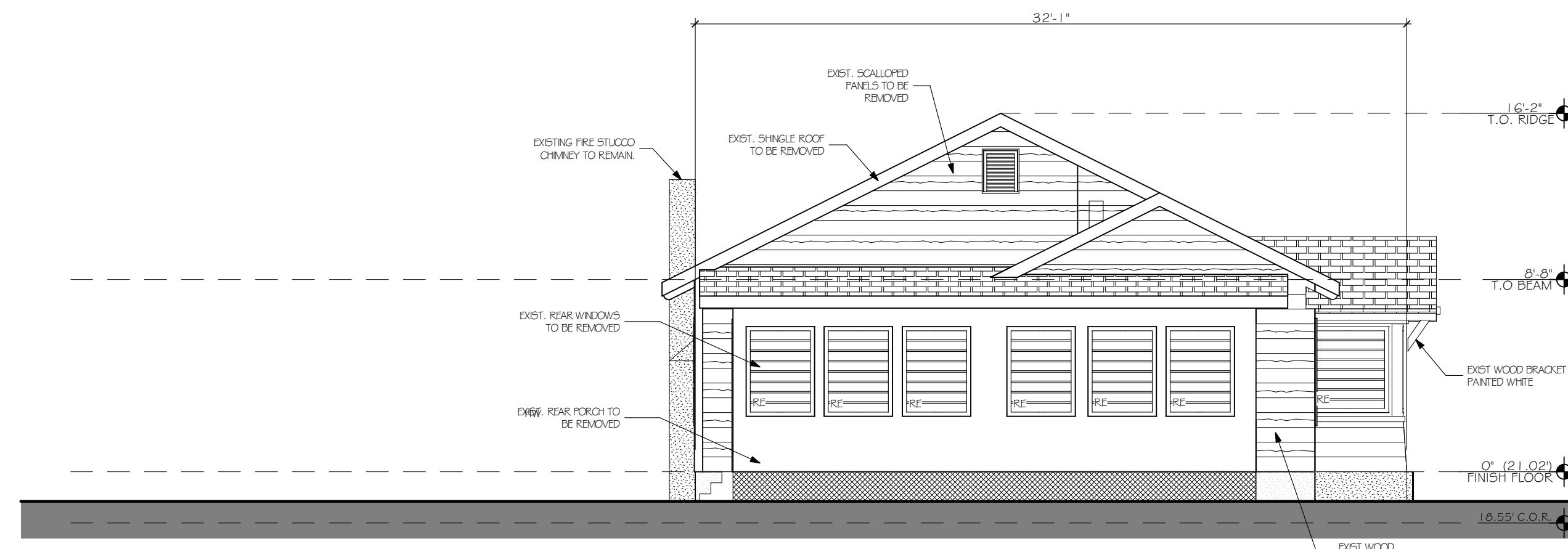
SITE PLAN

SP.1



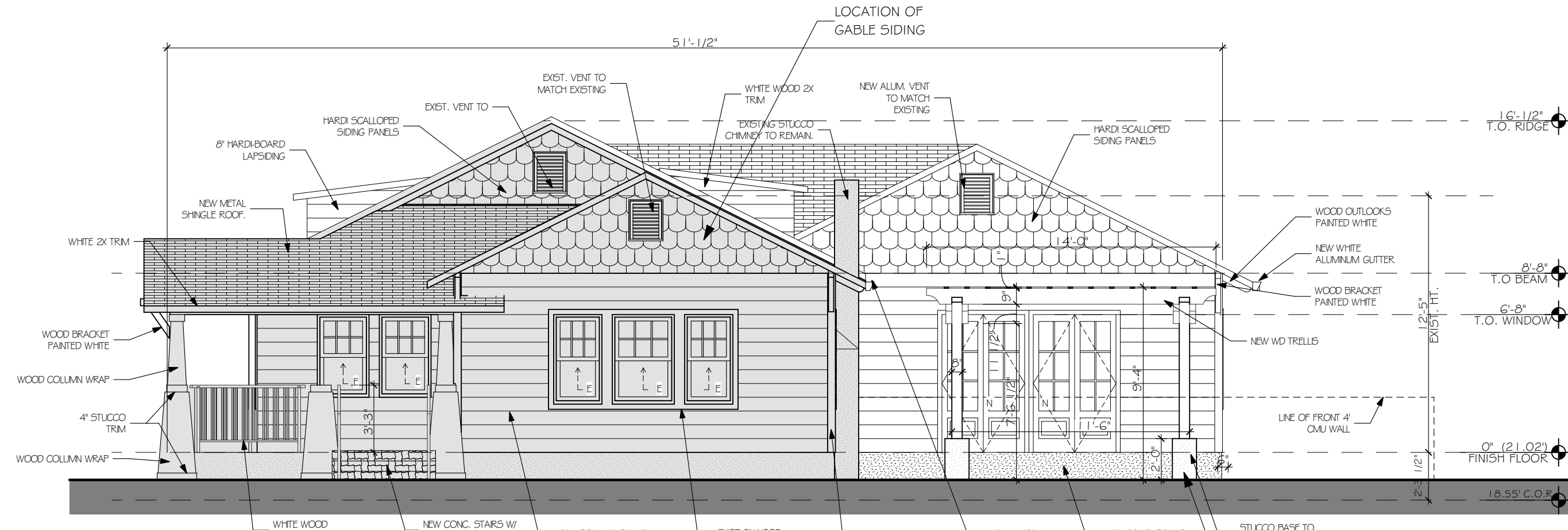
WEST ELEVATION

SCALE: 3/16" = 1'-0"



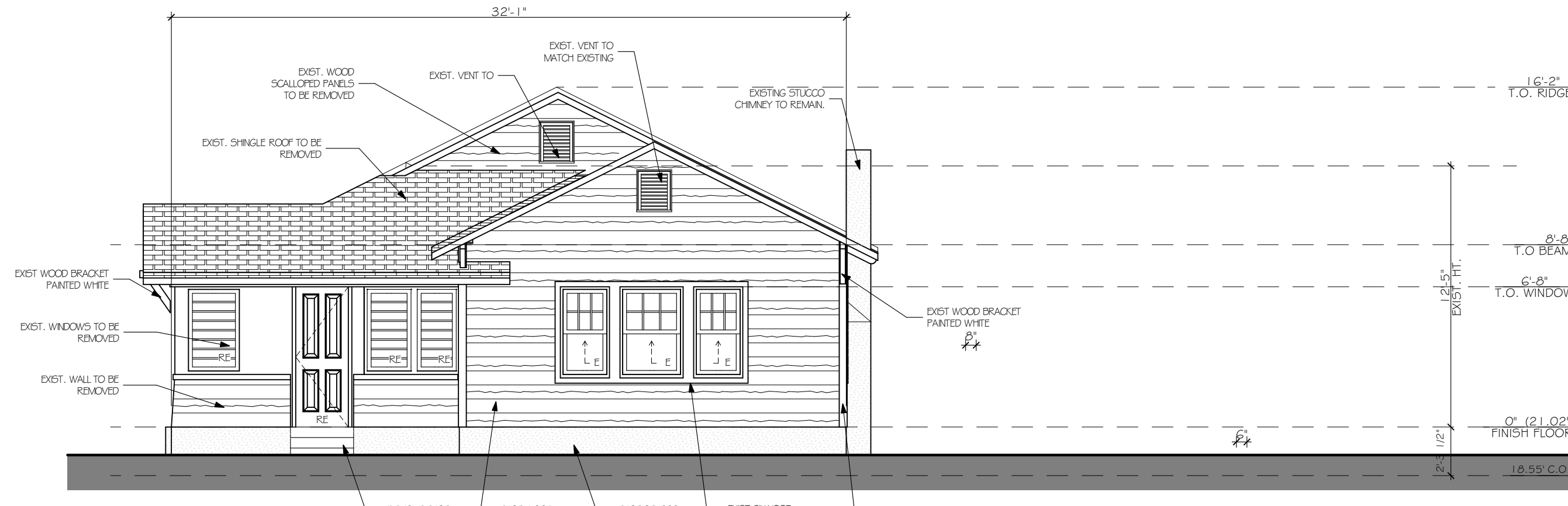
WEST ELEVATION (EXISTING)

SCALE: 3/16" = 1'-0"



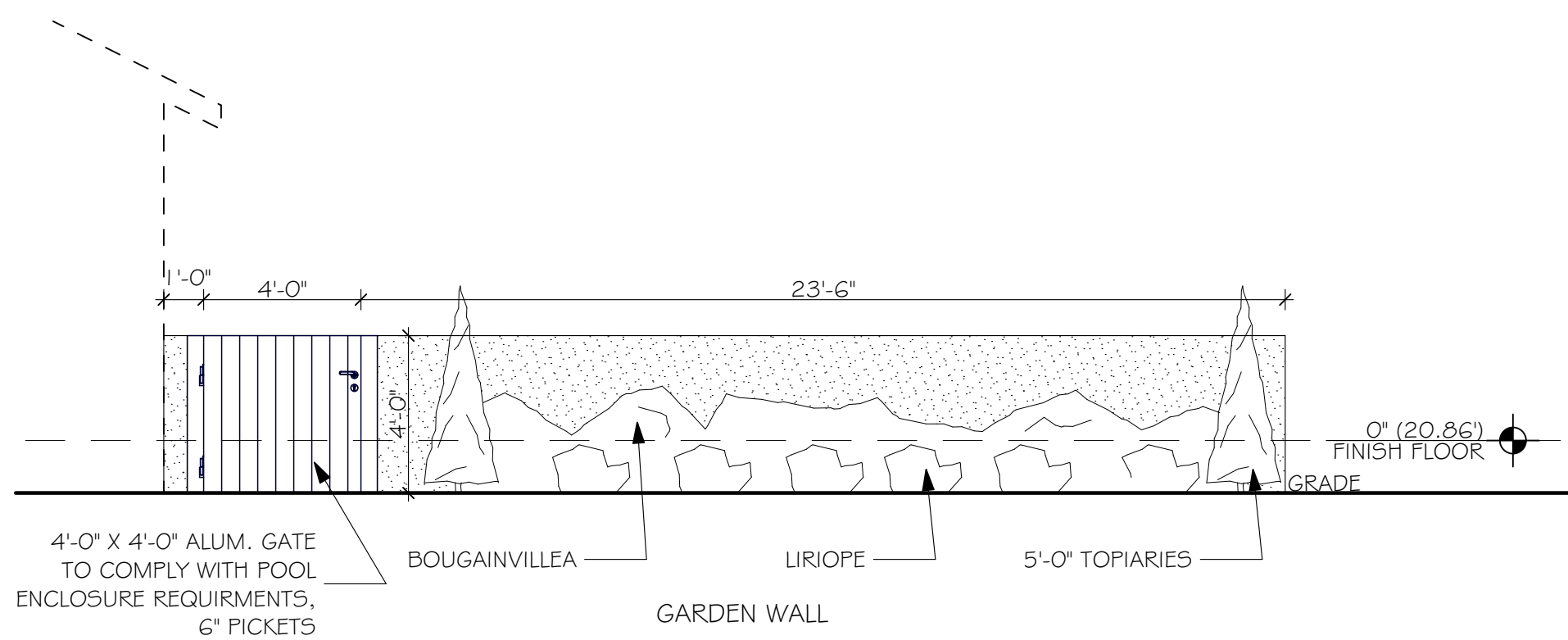
EAST ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION (EXISTING)

SCALE: 3/16" = 1'-0"



PROPOSED GATE

SCALE: 1/4" = 1'-0"



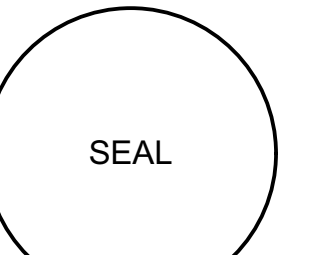
PERSPECTIVE



PERSPECTIVE W/O GARDEN WALL/
TRELLIS



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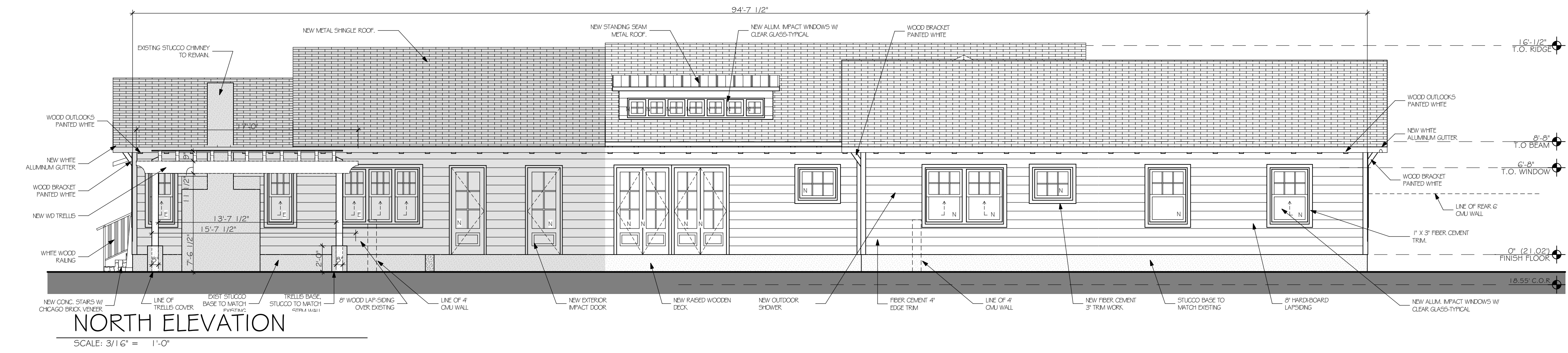
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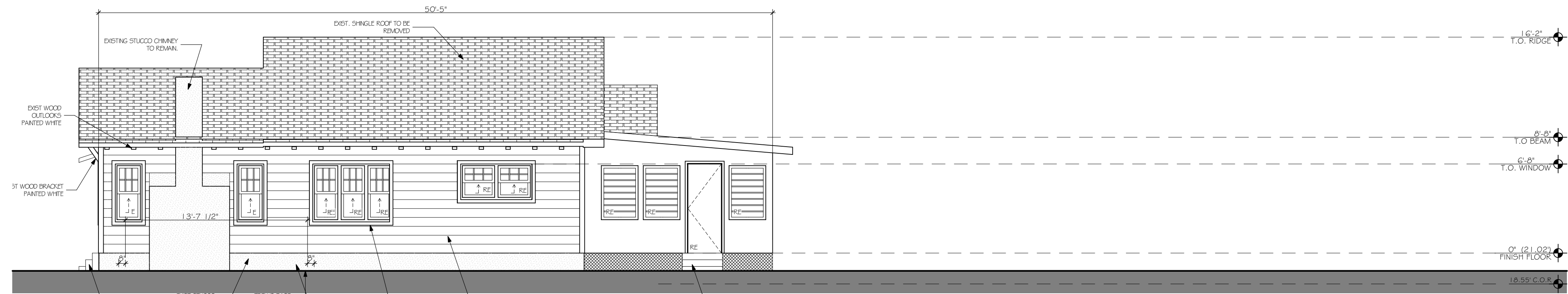
ELEVATIONS

A2.1



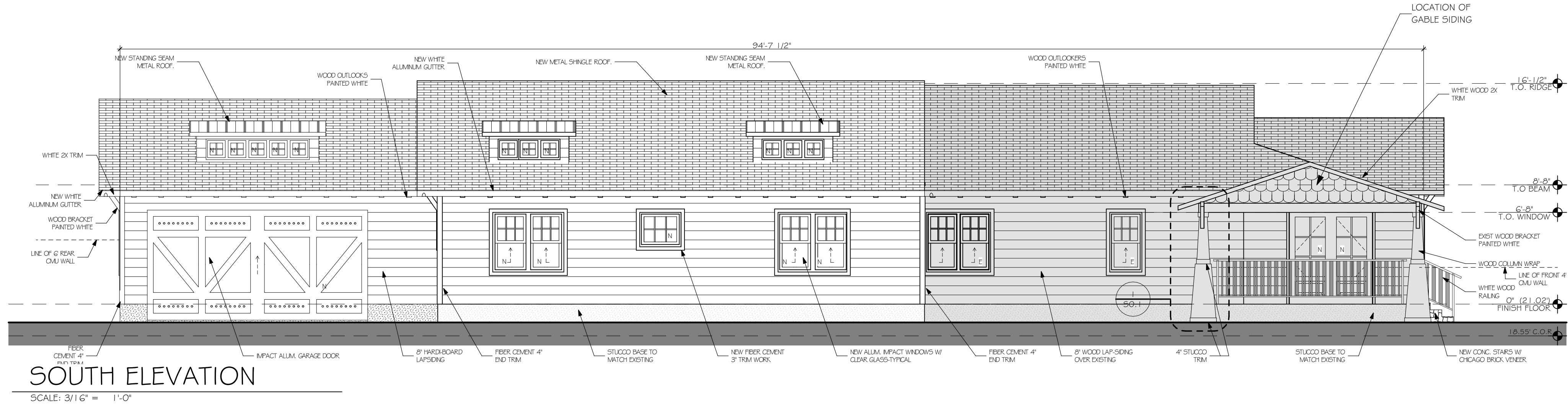
NORTH ELEVATION

SCALE: 3/16" = 1'-0"



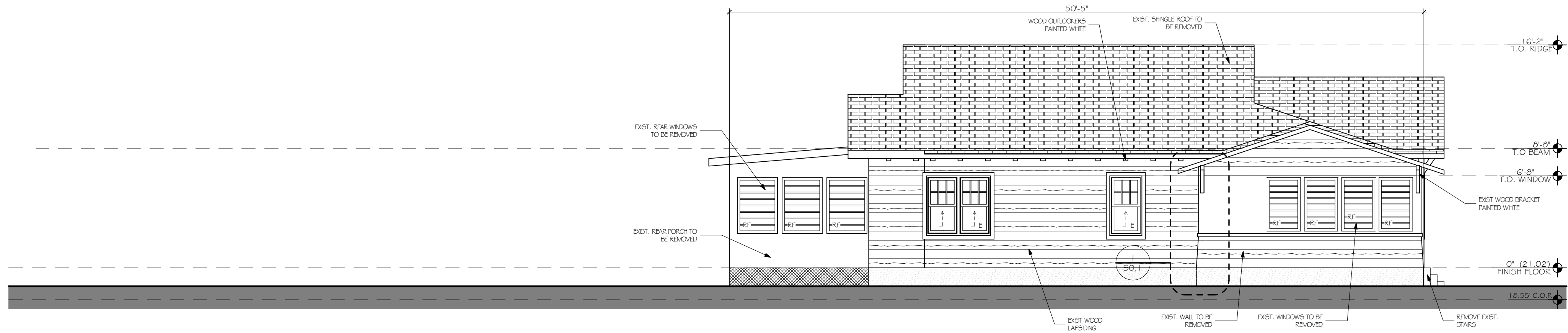
NORTH ELEVATION (EXISTING)

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

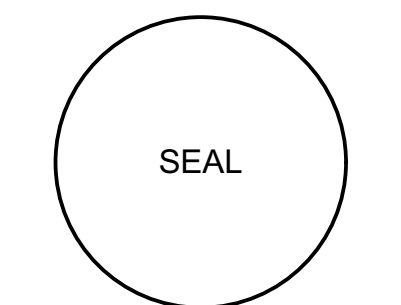


SOUTH ELEVATION (EXISTING)

SCALE: 3/16" = 1'-0"



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ELEVATIONS
A2.2