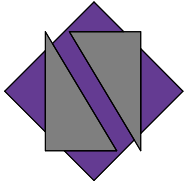


THE MAXWELL  
306 N.E. 2nd STREET  
DELRAY BEACH, FL 33483  
NEW 4-STORY MIXED USE BUILDING AND PARKING  
CLASS V, SITE PLAN APPLICATION



ARCHITECT

NETTA ARCHITECTS LLC.  
ONE PARK PLACE, 621 NW 53rd ST.  
SUITE 270  
BOCA RATON, FL, 33487  
TEL: (561) 295-4500



OWNER

VAN ARNEM PROPERTIES  
265 NE 9th AVENUE  
DELRAY BEACH, FL 33483  
TEL: (561) 272-2912

OWNER'S CIVIL ENGINEERING CONSULTANT

CIVIL ENGINEER



DYNAMIC  
100 NE 5th AVENUE  
SUITE B2  
DELRAY BEACH, FL, 33483  
TEL: (561) 921 8570

OWNER'S LANDSCAPE ARCHITECTURE CONSULTANT

LANDSCAPE ARCHITECT

cabezas - alvarez  
landscape architects, inc.

CABEZAS ALVAREZ LANDSCAPE  
ARCHITECTS, INC.  
80 NE 5th Ave.  
DELRAY BEACH, FL 33483  
TEL: (561) 515 1275 ext. 1  
(561) 596 6771

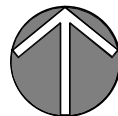
CODE SUMMARY INFORMATION

AUTHORITY HAVING JURISDICTION:  
CITY OF DELRAY BEACH - BUILDING DIVISION

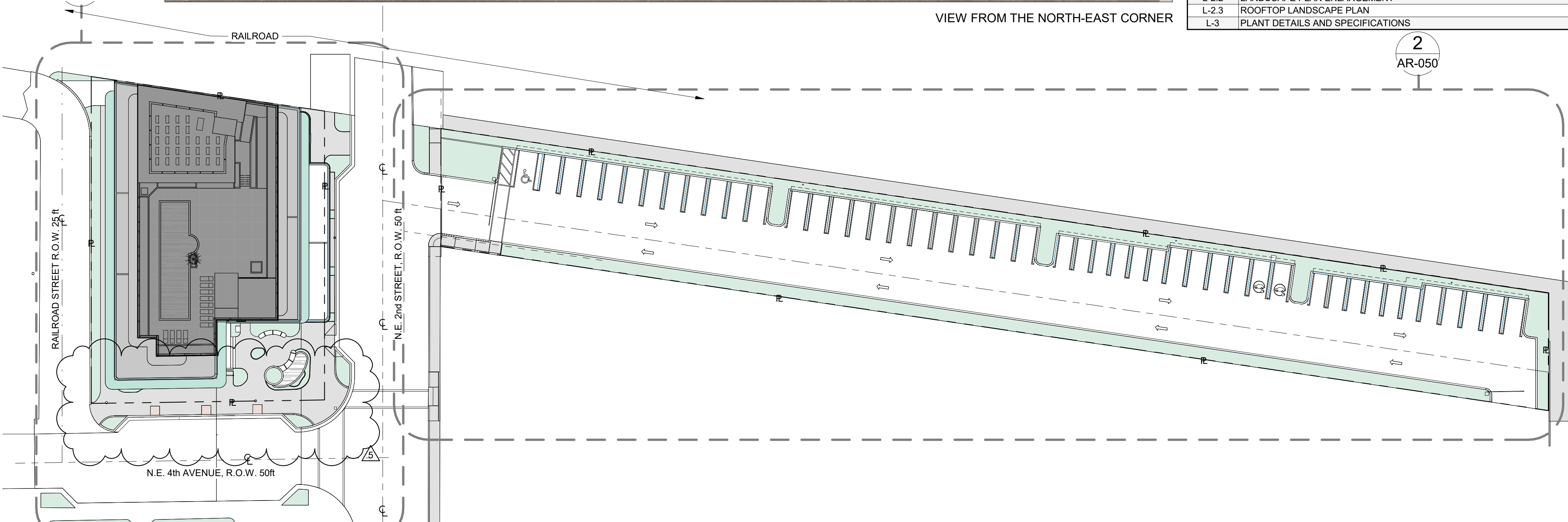
• FLORIDA BUILDING CODE (BUILDING)	2020 * 7TH ED.
• FLORIDA BUILDING CODE (PLUMBING)	2020 * 7TH ED.
• FLORIDA BUILDING CODE (MECHANICAL)	2020 * 7TH ED.
• FLORIDA ACCESSIBILITY CODE	2020 * 7TH ED.
• NATIONAL ELECTRIC CODE	2020 ED
• FLORIDA SPECIFIC (NFPA)101 LIFE SAFETY CODE	2021 ED
• FLORIDA SPECIFIC NFPA (NFPA)1 UNIFORM FIRE CODE	2021 ED
• PALM BEACH COUNTY CODE OF ORDINANCES	CURRENT
• CITY OF DELRAY BEACH CODE OF ORDINANCES	CURRENT



2 SITE LOCATION MAP  
AR-000 SCALE: 1" = 200'-0"



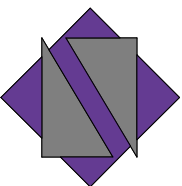
3 LOCATION PLAN  
AR-000 SCALE: 1" = 30'-0"



VIEW FROM THE NORTH-EAST CORNER

SPRS SHEET LIST

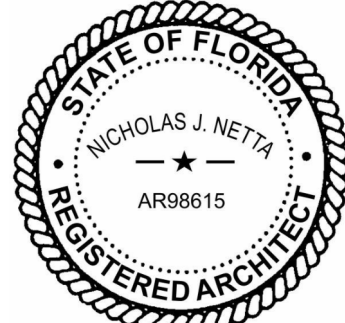
SHEET #	SHEET NAME
00	COVER SHEET
AR-000	COVER SHEET
01	ARCHITECTURE
AR-010	SURVEY PLAN
AR-020	DEMOLITION PLAN - BUILDING
AR-030	DEMOLITION PLAN - PARKING
AR-050	PROPOSED SITE PLAN
AR-051	DESIGN GUIDELINES - STREETScape PLAN
AR-052	DESIGN GUIDELINES - STREETScape SECTIONS
AR-053	DESIGN GUIDELINES - STREETScape SECTIONS
AR-100	GROUND STORY - FLOOR PLAN
AR-101	MEZZANINE - FLOOR PLAN
AR-102	SECOND STORY - FLOOR PLAN
AR-103	THIRD STORY - FLOOR PLAN
AR-104	FOURTH STORY - FLOOR PLAN
AR-105	ROOFTOP AMENITIES - FLOOR PLAN
AR-200	BUILDING ELEVATIONS
AR-201	BUILDING ELEVATIONS
AR-300	BUILDING SECTIONS
AR-400	CONTEXT SITE DIAGRAM
AR-401	CONTEXT SITE DIAGRAM
AR-510	DESIGN GUIDELINES - FACADE PROPORTIONS
AR-511	DESIGN GUIDELINES - FACADE PROPORTIONS
AR-520	DESIGN GUIDELINES - PHOTOMETRIC P. - GROUND STORY
AR-521	DESIGN GUIDELINES - PHOTOMETRIC P. - PARKING AREA
AR-522	DESIGN GUIDELINES - PHOTOMETRIC P. - ROOFTOP
AR-523	DESIGN GUIDELINES - PHOTOMETRIC P. - ROOFTOP EM. LIGHTING
AR-600	EXTERIOR WALL OPENINGS, CALCULATIONS
AR-700	UNIT TYPES
AR-701	UNIT TYPES
AR-702	UNIT TYPES
AR-703	UNIT TYPES
AR-704	UNIT TYPES
AR-705	UNIT TYPES
AR-800	DETAILS
AR-801	DETAILS
AR-900	RENDERS
02	CIVIL ENGINEERING
C1.00	HORIZONTAL CONTROL & SIGNING & STRIPING PLAN
C1.01	SITE DETAILS
C1.02	SITE DETAILS
C2.00	DEMOLITION PLAN
C3.00	PAVING, GRADING & DRAINAGE PLAN
C3.01	PAVING, GRADING & DRAINAGE DETAILS
C3.02	PAVING, GRADING & DRAINAGE DETAILS
C3.03	DRAINAGE CALCULATIONS
C4.00	PRELIMINARY UTILITY PLAN
C4.01	PRELIMINARY WATER AND SEWER PLAN
C4.02	UTILITY DETAILS
C4.03	UTILITY DETAILS
C5.00	COMPOSITE OVERLAY PLAN
03	LANDSCAPE ARCHITECTURE
IR-1	IRRIGATION PLAN
L-1	TREE DISPOSITION
L-2	LANDSCAPE PLAN
L-2.1	LANDSCAPE PLAN ENLARGEMENT
L-2.2	LANDSCAPE PLAN ENLARGEMENT
L-2.3	ROOFTOP LANDSCAPE PLAN
L-3	PLANT DETAILS AND SPECIFICATIONS



NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com

CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION
5	03-19-2025	TAC 5 REVISION

DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F. / F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title

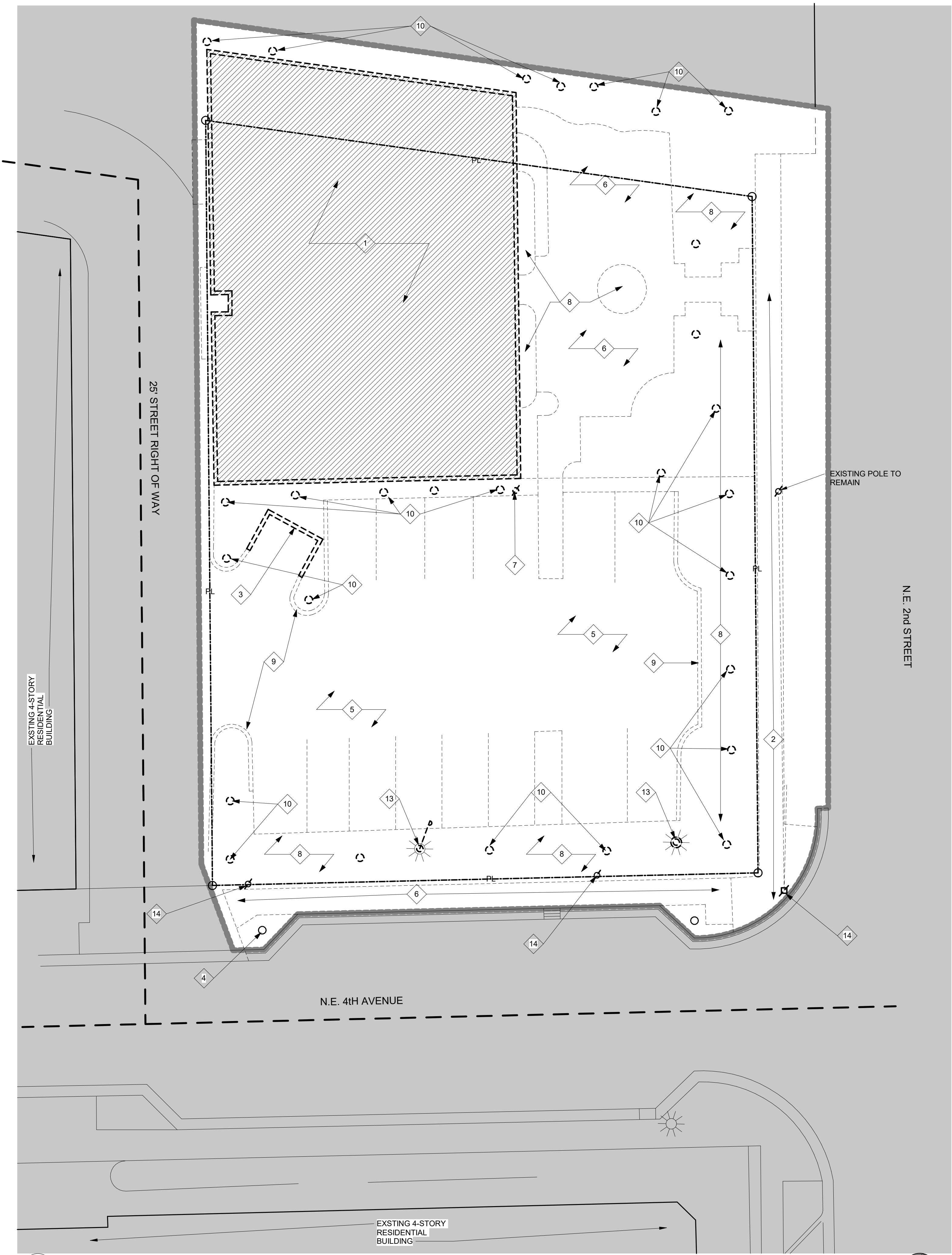
COVER SHEET

Drawing no.

AR-000

0' 15'-0" 30'-0" 60'-0" 120'-0"





1 DEMOLITION PLAN - BUILDING  
AR-020 SCALE: 3/32" = 1'-0"

DEMOLITION LEGEND

AREA OF WORK.

KEYNOTES

NOTES:

- REFER TO CIVIL ENGINEERING, SHEET C-4.0 "PRELIMINARY UTILITY PLAN" FOR EXISTING UTILITY LOCATIONS, UTILITIES TO REMAIN, AND DEMOLITION DETAILS.

- IN ORDER TO AVOID DAMAGES TO EXISTING ELECTRICAL SERVICE AND ASSOCIATED WIRING, DEMOLITION SHALL BE COORDINATED WITH FPL. GC IS TO COORDINATE FUTURE SERVICE TO SITE.

- GC IS TO HAVE SPECIAL CARE IN LOCATING EXISTING SERVICES AND AVOID DAMAGES DURING DEMOLITION

- REFER TO LANDSCAPE ARCHITECTURE DRAWINGS, SHEET L-01 FOR TREE DISPOSITION AND TREE RELOCATION DETAILS.

DEMOLITION KEYNOTES	
KEY	DESCRIPTION
1	EXISTING 1-STORY COMMERCIAL BUILDING TO BE REMOVED ENTIRELY
2	EXISTING CONCRETE SIDEWALK TO BE REMOVED
3	DUMPSTER PAD AND WALLS TO BE REMOVED ENTIRELY
4	EXISTING LANDSCAPE TO REMAIN, REFER TO LANDSCAPE DRAWINGS
5	ASPHALT PAVEMENT TO BE REMOVED ENTIRELY
6	PAVER FLOOR TO BE REMOVED
7	EXISTING POLE TO BE REMOVED
8	EXISTING LANDSCAPED AREA TO BE REMOVED
9	CONCRETE CURB TO BE REMOVED
10	EXISTING TREE TO BE REMOVED, REFER TO LANDSCAPE ARCHITECTURE DRAWINGS FOR DETAILS
13	LIGHT POLE TO BE REMOVED
14	EXISTING POLE TO REMAIN

- DEMOLITION GENERAL NOTES
- 1

THESE PLANS REPRESENT THE GENERAL DEMOLITION AND DOES NOT COVER ALL ASPECTS OF THE DEMOLITION REQUIRED TO COMPLETE THIS PROJECT. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE BETWEEN ALL TRADES.
- 2

THIS PROJECT IS TO BE CONSTRUCTED UNDER THE PROVISIONS OF THE FLORIDA BUILDING CODE 2020, 7th EDITION, NFPA 1 AND NFPA 101, ADA, FLORIDA STATE STATUTES AND ALL OTHER APPLICABLE CODES.
- 3

ALL DAMAGES TO EXISTING FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR SUCH DAMAGES AT HIS OWN EXPENSE.
- 4

BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL SET UP A SCHEDULE OF OPERATIONS WITH THE OWNER, COORDINATING PERFORMANCE OF ALL WORK WITHIN THE OPERATION SCHEDULE OF THE FACILITY.
- 5

THERE SHALL BE NO INTERRUPTION OF THE EXISTING PLUMBING, MECHANICAL, ELECTRICAL AND/OR FIRE-PROTECTION SERVICES WITHOUT PRIOR CONSENT OF THE OWNER. SUCH INTERRUPTION SHALL BE KEPT TO A MINIMUM AND SHALL BE CLOSELY SCHEDULED WITH THE OWNER.
- 6

ALL DEMOLITION OPERATIONS SHALL BE COORDINATED WITH APPLICABLE UTILITY COMPANY WHERE REQUIRED.
- 7

DASHED LINES INDICATE ITEMS TO BE REMOVED. THE LOCATIONS KEYED ON THE DRAWINGS FOR THESE NOTES ARE SCHEMATIC AND REPRESENT AREAS OF SIGNIFICANT WORK; HOWEVER, THEY DO NOT RELIEVE THE CONTRACTOR OF ANY ADDITIONAL WORK OF SIMILAR SCOPE AND NATURE IDENTIFIED THROUGH FIELD INVESTIGATIONS.
- 8

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEMOLITION PERMITS PRIOR TO BEGINNING OF ANY WORK.
- 9

THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION, REMOVAL OR RELOCATION OF EXISTING EQUIPMENT, MATERIALS, APPURTENANCES, ETC. AS INDICATED ON THE DRAWINGS OR AS HEREIN SPECIFIED OR REQUIRED. THESE CONDITIONS MAY OCCUR DURING THE PHASING OF THE EXISTING BUILDING RENOVATION.
- 10

THE CONTRACTOR SHALL KEEP THE SITE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK. UPON COMPLETION OF THE CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE THE SITE TO THE SAME CONDITION AS BEFORE COMMENCEMENT OF THE WORK.
- 11

THE CONTRACTOR SHALL CAREFULLY MAKE ALL INVESTIGATIONS IN THE FIELD PRIOR TO SUBMITTING HIS BID. HIS BID SHALL REFLECT ALL WORK NECESSARY FOR THE COMPLETE RENOVATION AND ADDITION TO THE EXISTING FACILITY.
- 12

ANY ITEMS NOT SPECIFICALLY IDENTIFIED BUT RE-QUIRED TO BE REMOVED OR REPAIRED TO PREPARE THE BUILDING FOR NEW WORK OR TO OTHERWISE PRODUCE THE FINISHED PRODUCT SHOWN IN THE CONTRACT DOCUMENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 13

DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING PARTITIONS AND ARE NOT INTENDED TO REPRESENT "AS BUILT" CONDITIONS. ALL INFORMA- TION MUST BE VERIFIED ON SITE.
- 14

PARTITIONS AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES IN THE WALLS SHALL ALSO BE REMOVED OR RELOCATED AS REQUIRED. EDGES OF CONCRETE/MASONRY WALLS TO REMAIN SHALL BE SAW-CUT NEATLY (EXCEPT FOR BRICKWORK, REFER TO INSTRUCTIONS) TO ACCEPT NEW CONSTRUCTION. REPAIR AND PATCH EXISTING WALLS TO REMAIN.
- 15

SALVAGED MATERIALS AS SPECIFIED BY OWNER SHALL BE CLEANED AND STORED IN APPROPRIATE AREAS AWAY FROM THE DEMOLITION UNTIL NEEDED.
- 16

PROVIDE WEATHER PROTECTION TO EXISTING BUILDING DURING ALL PHASES OF CONSTRUCTION.
- 17

ALL EXTERIOR SIGNAGE SHALL REMOVED AND RELOCATED AS REQUIRED BY OWNER.
- 18

THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY OBSERVED DISCREPANCIES PRIOR DEMOLITION.
- 19

EACH SUBCONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO OR DURING DEMOLITION TO COORDINATE THE REQUIRED DEMOLITION FOR THEIR TRADE. ANY ADDITIONAL DEMOLITION NOT COORDINATED WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTOR.
- 20

THE DEMOLITION CONTRACTOR SHALL REVIEW THE COMPLETE SET OF CONSTRUCTION DOCUMENTS IN ORDER TO DETERMINE ADDITIONAL WORK BY HIS OR HER CONTRACT. THIS WORK MAY INCLUDE BUT IS NOT LIMITED MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL SYSTEMS COMPONENTS.
- 21

THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTORS ARE RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES AND PROCEDURES REQUIRED FOR DEMOLITION INCLUDING BUT NOT LIMITED TO LOCATING EXISTING UTILITIES SHORING, STAGING, TEMPORARY BRACING AND THE CONSTRUCTION OF NEW SUPPORT SYSTEMS REQUIRED PRIOR TO DEMOLITION.
- 22

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH OF HIS SUBCONTRACTORS TO REVIEW ALL DRAWINGS, PROJECT MANUAL ADDENDA ETC. TO ASSURE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW ALL CONTRACT DOCUMENTS FOR APPLICABLE ITEMS OF WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING WORK SO REQUIRED.
- 23

WORK SHOWN ON ONE DRAWING IS AS GOOD AS IF SHOWN ON EVERY DRAWING. THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTORS ARE RESPONSIBLE FOR THE INSTALLATION OF ANY TEMPORARY BARRIERS, SHIELDS AND SIGNAGE REQUIRED DURING DEMOLITION.
- 24

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL THE MEDICAL FACILITY FUNCTIONS DURING DEMOLITION INCLUDING BUT NOT LIMITED TO PUBLIC SAFETY, FIRE EXIT PATHWAYS, PEDESTRIAN REROUTING, MECHANICAL, COMMUNICATIONS, ELECTRICAL AND PLUMBING SYSTEMS CONTINUITY.
- 25

THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL TAKE CARE NOT TO DISTURB ANY AREAS OF EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING (TO MATCH EXISTING) ANY AREAS DISTURBED BY DEMOLITION.
- 26

THE DEMOLITION PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, PROTECTION OF PERSONNEL, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS SPECIFIED TO BE SALVAGED, PROTECTION OF PROPERTY TO REMAIN UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES.
- 27

THE EXISTING PARKING GARAGE AND RESEARCH BUILDINGS SHALL BE PROTECTED FROM DAMAGE. WORK DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING WORK OR WORK INSTALLED UNDER THIS CONTRACT DEPENDING ON CONTRACT REQUIREMENTS.
- 28

CONTRACTOR SHALL NOT REMOVE ANY STRUCTURAL ITEM. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF UNFORESEEN STRUCTURAL ELEMENTS ARE ENCOUNTERED DURING THE DEMOLITION OF THE IMPROVEMENTS NOTED FOR DEMOLITION. TERMINATED ELECTRICAL CONDUCTORS SHALL BE INSULATED TO PROTECT WORKERS AND PUBLIC AGAINST SHOCK.
- 29

SAFETY: PROVIDE, ERECT AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE REGULATORY AGENCIES TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- 30

EXIT ACCESS: MAINTAIN FREE, SAFE, AND APPROVED MEANS OF EGRESS IN AND OUT OF PROJECT LOCATION IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE REGULATORY AGENCIES.
- 31

\* ALL DEMOLITION WORK SHALL CONFORM TO THE REQUIREMENTS OF NFPA 241. TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.

NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(9) 561-295-4500  
www.nettaarchitects.com

CERTIFICATE OF AUTHENTICATION M1800001650

02-18-2024

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR. ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No: DATE: DESCRIPTION:

DATE: 02-18-2024

DESIGNER: M.A.

MODELED: C.C.

CHECKED: M.F / J.F.J.M.

NETTA PROJECT #: 2211652\_FL

Drawing title

DEMOLITION PLAN - BUILDING

Drawing no.

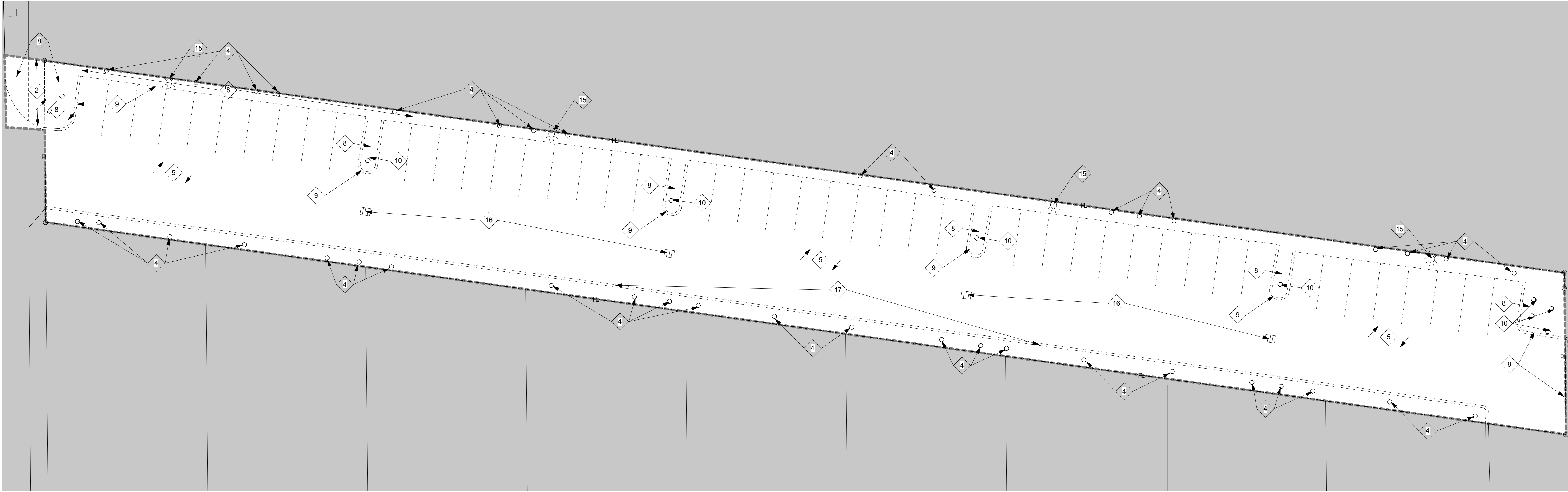
AR-020



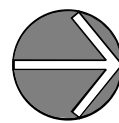
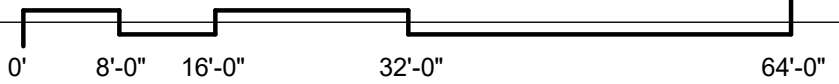
DEMOLITION LEGEND	
	AREA OF WORK.
	KEYNOTES
<b>NOTES:</b>  - REFER TO CIVIL ENGINEERING, SHEET C-4.0 "PRELIMINARY UTILITY PLAN" FOR EXISTING UTILITY LOCATIONS, UTILITIES TO REMAIN, AND DEMOLITION DETAILS.  - IN ORDER TO AVOID DAMAGES TO EXISTING ELECTRICAL SERVICE AND ASSOCIATED WIRING, DEMOLITION SHALL BE COORDINATED WITH FPL, GC IS TO COORDINATE FUTURE SERVICE TO SITE.  - GC IS TO HAVE SPECIAL CARE IN LOCATING EXISTING SERVICES AND AVOID DAMAGES DURING DEMOLITION  - REFER TO LANDSCAPE ARCHITECTURE DRAWINGS, SHEET L-01 FOR TREE DISPOSITION AND TREE RELOCATION DETAILS.	

DEMOLITION KEYNOTES	
KEY	DESCRIPTION
2	EXISTING CONCRETE SIDEWALK TO BE REMOVED
4	EXISTING LANDSCAPE TO REMAIN. REFER TO LANDSCAPE DRAWINGS
5	ASPHALT PAVEMENT TO BE REMOVED ENTIRELY
8	EXISTING LANDSCAPED AREA TO BE REMOVED
9	CONCRETE CURB TO BE REMOVED
10	EXISTING TREE TO BE REMOVED, REFER TO LANDSCAPE ARCHITECTURE DRAWINGS FOR DETAILS
15	EXISTING LIGHT POLE TO REMAIN
16	EXISTING CATCH BASIN TO REMAIN
17	EXISTING CURB TO REMAIN

DEMOLITION GENERAL NOTES	
1	THESE PLANS REPRESENT THE GENERAL DEMOLITION AND DOES NOT COVER ALL ASPECTS OF THE DEMOLITION REQUIRED TO COMPLETE THIS PROJECT. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE BETWEEN ALL TRADES.
2	THIS PROJECT IS TO BE CONSTRUCTED UNDER THE PROVISIONS OF THE FLORIDA BUILDING CODE 2020, 7th EDITION , NFPA 1 AND NFPA 101, ADA, FLORIDA STATE STATUTES AND ALL OTHER APPLICABLE CODES.
3	ALL DAMAGES TO EXISTING FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR SUCH DAMAGES AT HIS OWN EXPENSE.
4	BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL SET UP A SCHEDULE OF OPERATIONS WITH THE OWNER, COORDINATING PERFORMANCE OF ALL WORK WITHIN THE OPERATION SCHEDULE OF THE FACILITY.
5	THERE SHALL BE NO INTERRUPTION OF THE EXISTING PLUMBING, MECHANICAL, ELECTRICAL AND/OR FIRE-PROTECTION SERVICES WITHOUT PRIOR CONSENT OF THE OWNER. SUCH INTERRUPTION SHALL BE KEPT TO A MINIMUM AND SHALL BE CLOSELY SCHEDULED WITH THE OWNER.
6	ALL DEMOLITION OPERATIONS SHALL BE COORDINATED WITH APPLICABLE UTILITY COMPANY WHERE REQUIRED.
7	DASHED LINES INDICATE ITEMS TO BE REMOVED. THE LOCATIONS KEYED ON THE DRAWINGS FOR THESE NOTES ARE SCHEMATIC AND REPRESENT AREAS OF SIGNIFICANT WORK. HOWEVER, THEY DO NOT RELIEVE THE CONTRACTOR OF ANY ADDITIONAL WORK OF SIMILAR SCOPE AND NATURE IDENTIFIED THROUGH FIELD INVESTIGATIONS.
8	THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEMOLITION PERMITS PRIOR TO BEGINNING OF ANY WORK.
9	THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION, REMOVAL OR RELOCATION OF EXISTING EQUIPMENT, MATERIALS, APPURTENANCES, ETC. AS INDICATED ON THE DRAWINGS OR AS HEREIN SPECIFIED OR REQUIRED. THESE CONDITIONS MAY OCCUR DURING THE PHASING OF THE EXISTING BUILDING RENOVATION.
10	THE CONTRACTOR SHALL KEEP THE SITE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK. UPON COMPLETION OF THE CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE THE SITE TO THE SAME CONDITION AS BEFORE COMMENCEMENT OF THE WORK.
11	THE CONTRACTOR SHALL CAREFULLY MAKE ALL INVESTIGATIONS IN THE FIELD PRIOR TO SUBMITTING HIS BID. HIS BID SHALL REFLECT ALL WORK NECESSARY FOR THE COMPLETE RENOVATION AND ADDITION TO THE EXISTING FACILITY.
12	ANY ITEMS NOT SPECIFICALLY IDENTIFIED BUT RE-QUIRED TO BE REMOVED OR REPAIRED TO PREPARE THE BUILDING FOR NEW WORK OR TO OTHERWISE PRODUCE THE FINISHED PRODUCT SHOWN IN THE CONTRACT DOCUMENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
13	DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING PARTITIONS AND ARE NOT INTENDED TO REPRESENT "AS BUILT" CONDITIONS. ALL INFORMATION MUST BE VERIFIED ON SITE.
14	PARTITIONS AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES IN THE WALLS SHALL ALSO BE REMOVED OR RELOCATED AS REQUIRED. EDGES OF CONCRETE/MASONRY WALLS TO REMAIN SHALL BE SAW-CUT NEATLY (EXCEPT FOR BRICKWORK, REFER TO INSTRUCTIONS) TO ACCEPT NEW CONSTRUCTION. REPAIR AND PATCH EXISTING WALLS TO REMAIN.
15	SALVAGED MATERIALS AS SPECIFIED BY OWNER SHALL BE CLEANED AND STORED IN APPROPRIATE AREAS AWAY FROM THE DEMOLITION UNTIL NEEDED.
16	PROVIDE WEATHER PROTECTION TO EXISTING BUILDING DURING ALL PHASES OF CONSTRUCTION.
17	ALL EXTERIOR SIGNAGE SHALL REMOVED AND RELOCATED AS REQUIRED BY OWNER.
18	THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY OBSERVED DISCREPANCIES PRIOR DEMOLITION.
19	EACH SUBCONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO OR DURING DEMOLITION TO COORDINATE THE REQUIRED DEMOLITION FOR THEIR TRADE. ANY ADDITIONAL DEMOLITION NOT COORDINATED WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTOR.
20	THE DEMOLITION CONTRACTOR SHALL REVIEW THE COMPLETE SET OF CONSTRUCTION DOCUMENTS IN ORDER TO DETERMINE ADDITIONAL WORK BY HIS OR HER CONTRACT. THIS WORK MAY INCLUDE BUT IS NOT LIMITED MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL SYSTEMS COMPONENTS.
21	THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTORS ARE RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES AND PROCEDURES REQUIRED FOR DEMOLITION INCLUDING BUT NOT LIMITED TO LOCATING EXISTING UTILITIES SHORING, STAGING, TEMPORARY BRACING AND THE CONSTRUCTION OF NEW SUPPORT SYSTEMS REQUIRED PRIOR TO DEMOLITION.
22	IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH OF HIS SUBCONTRACTORS TO REVIEW ALL DRAWINGS, PROJECT MANUAL ADDENDA ETC. TO ASSURE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW ALL CONTRACT DOCUMENTS FOR APPLICABLE ITEMS OF WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING WORK SO REQUIRED.
23	WORK SHOWN ON ONE DRAWING IS AS GOOD AS IF SHOWN ON EVERY DRAWING. THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTORS ARE RESPONSIBLE FOR THE INSTALLATION OF ANY TEMPORARY BARRIERS, SHIELDS AND SIGNAGE REQUIRED DURING DEMOLITION.
24	THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL THE MEDICAL FACILITY FUNCTIONS DURING DEMOLITION INCLUDING BUT NOT LIMITED TO PUBLIC SAFETY, FIRE EXIT PATHWAYS, PEDESTRIAN REROUTING, MECHANICAL, COMMUNICATIONS, ELECTRICAL AND PLUMBING SYSTEMS CONTINUITY.
25	THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL TAKE CARE NOT TO DISTURB ANY AREAS OF EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING (TO MATCH EXISTING) ANY AREAS DISTURBED BY DEMOLITION.
26	THE DEMOLITION PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, PROTECTION OF PERSONNEL, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS SPECIFIED TO BE SALVAGED, PROTECTION OF PROPERTY TO REMAIN UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES.
27	THE EXISTING PARKING GARAGE AND RESEARCH BUILDINGS SHALL BE PROTECTED FROM DAMAGE. WORK DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING WORK OR WORK INSTALLED UNDER THIS CONTRACT DEPENDING ON CONTRACT REQUIREMENTS.
28	CONTRACTOR SHALL NOT REMOVE ANY STRUCTURAL ITEM. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF UNFORESEEN STRUCTURAL ELEMENTS ARE ENCOUNTERED DURING THE DEMOLITION OF THE IMPROVEMENTS NOTED FOR DEMOLITION. TERMINATED ELECTRICAL CONDUCTORS SHALL BE INSULATED TO PROTECT WORKERS AND PUBLIC AGAINST SHOCK.
29	SAFETY: PROVIDE, ERECT AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE REGULATORY AGENCIES TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
30	EXIT ACCESS: MAINTAIN FREE, SAFE, AND APPROVED MEANS OF EGRESS IN AND OUT OF PROJECT LOCATION IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE REGULATORY AGENCIES.
31	* ALL DEMOLITION WORK SHALL CONFORM TO THE REQUIREMENTS OF NFPA 241. TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.



1 DEMOLITION PLAN - PARKING  
AR-030 SCALE: 1/16" = 1'-0"





**NETTA ARCHITECTS**

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M1800001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR88615

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR88615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No. DATE: DESCRIPTION:

DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F / J.F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title

DEMOLITION PLAN -  
PARKING

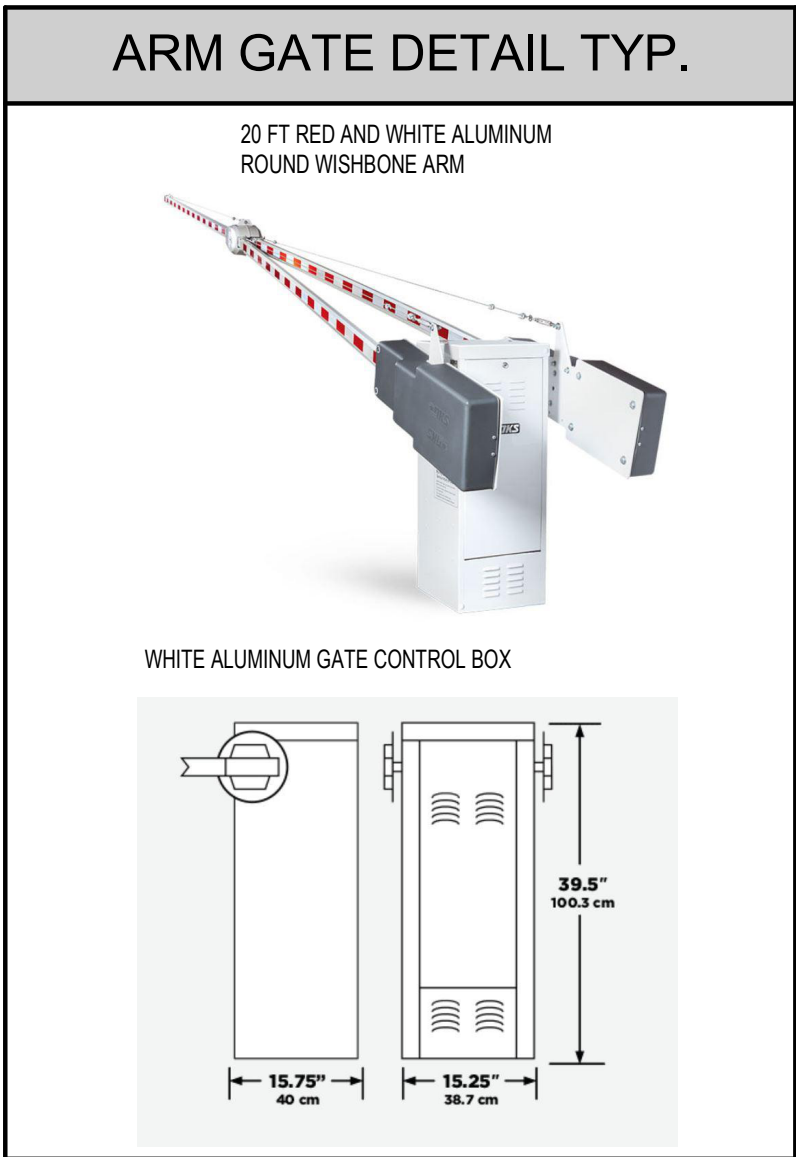
Drawing no.

AR-030



<

ZONING CODE COMPLIANCE			
	REQUIRED	PROVIDED	WAIVER
MAXIMUM NUMBER OF STORIES-TABLE 4.4.13(B)	4 STORIES	4 STORIES	N/A
MAXIMUM HEIGHT - TABLE 4.4.13.(B)	54 FT	54 FT	N/A
FRONT SETBACK - FIRST STORY		RAILROAD ST. GROUND , CORNER RR-4th 11'-2" NE 4th AVE. 10'-6" & 14'-5" CORNER 2nd-4th NE 2nd ST. 10'-8"	APPROVED BY RESOLUTION 178-24
FRONT SETBACK - STORIES 2, 3		RAILROAD ST. GROUND , 11'-2" RAILROAD ST. LEVELS 2 & 3 CORNER RR-4th NE 4th AVE. CORNER 2nd-4th NE 2nd ST. 10'-8"	APPROVED BY RESOLUTION 178-24
FRONT SETBACK - STORIES 4, 5		RAILROAD ST. NE 4th AVE. NE 2nd ST. CORNER RAILROAD ST & 4th NE 4th AND 2nd 20'	N/A
SIDE SETBACK, ALL STORIES	0 FT	WEST PROPERTY LINE 0 ft & 8 in	N/A
DENSITY	MAX. 30 D.U. / ACRE (25 UNITS)	26.91 D.U. / ACRE 23 UNITS	N/A
FLOOR AREA RATIO	3.0 MAXIMUM	37,504 SF / 36,820 SF F.A.R. = 1.019	N/A
1 BR UNITS	MAX. 55 % (13 UNITS)	6 UNITS	N/A
2 BR OR MORE UNITS	NO LIMIT	17 UNITS	N/A
PARKING SPACES	MIN. 50 SPACES (SEE PARK. CALCS.)	50 SPACES (47 OFF-STREET, 3 IN-STREET)	N/A
BICYCLE PARKING SPACES	MULTIFAMILY TYPE I - 1/10 UNITS = 3 TYPE II - 1/6 UNITS = 4 RETAIL TYPE I - 1/2500 SF = 1 TYPE II - NOT REQUIRED	TOTAL PROVIDED TYPE I - 4 SPACES TYPE II - 4 SPACES	N/A
LOADING SPACE	MIN. 2 BERTH	0 BERTHS	APPLIED FOR
CIVIC SPACE - AREA, 0% 0 TO 20,000 SF, 5% 20,000 TO 36,820 SF	MIN. 841 S.F.	778 S.F. FORECOURT.	APPROVED BY RESOLUTION 178-24



SYMBOL LEGEND	
	EXISTING STREET LAMPS
	LANDSCAPING
(S.B.)	BUILDING SETBACK
(R.O.W.)	RIGHT OF WAY DEDICATION
	NEW LIGHT POLE FIXTURE
	INDICATES ADA ACCESSIBLE PARKING SPACE
	INDICATES ELECTRIC VEHICLE PARKING SPACE
	EXISTING INLET
	NEW SANITARY MANHOLE
	ELECTRIC VEHICLE CHARGER STATIONS PEDESTAL MOUNTED - SEE DETAIL 3 / AR-800

PARKING CALCULATION			
1 BR UNITS	6 UT	1.25 SP PER UT	7.50 SPACES
2 BR UNITS	17 UT	1.75 SP PER UT	29.75 SPACES
GUEST PARKING (1-20)	20 UT	0.50 SP PER UT	10.00 SPACES
GUEST PARKING (21-25)	3 UT	0.30 SP PER UT	0.90 SPACES
COMMERCIAL	2,651 S.F.	1/500 SF	5.31 SPACES
TOTAL PARKING SPACES			53 SPACES

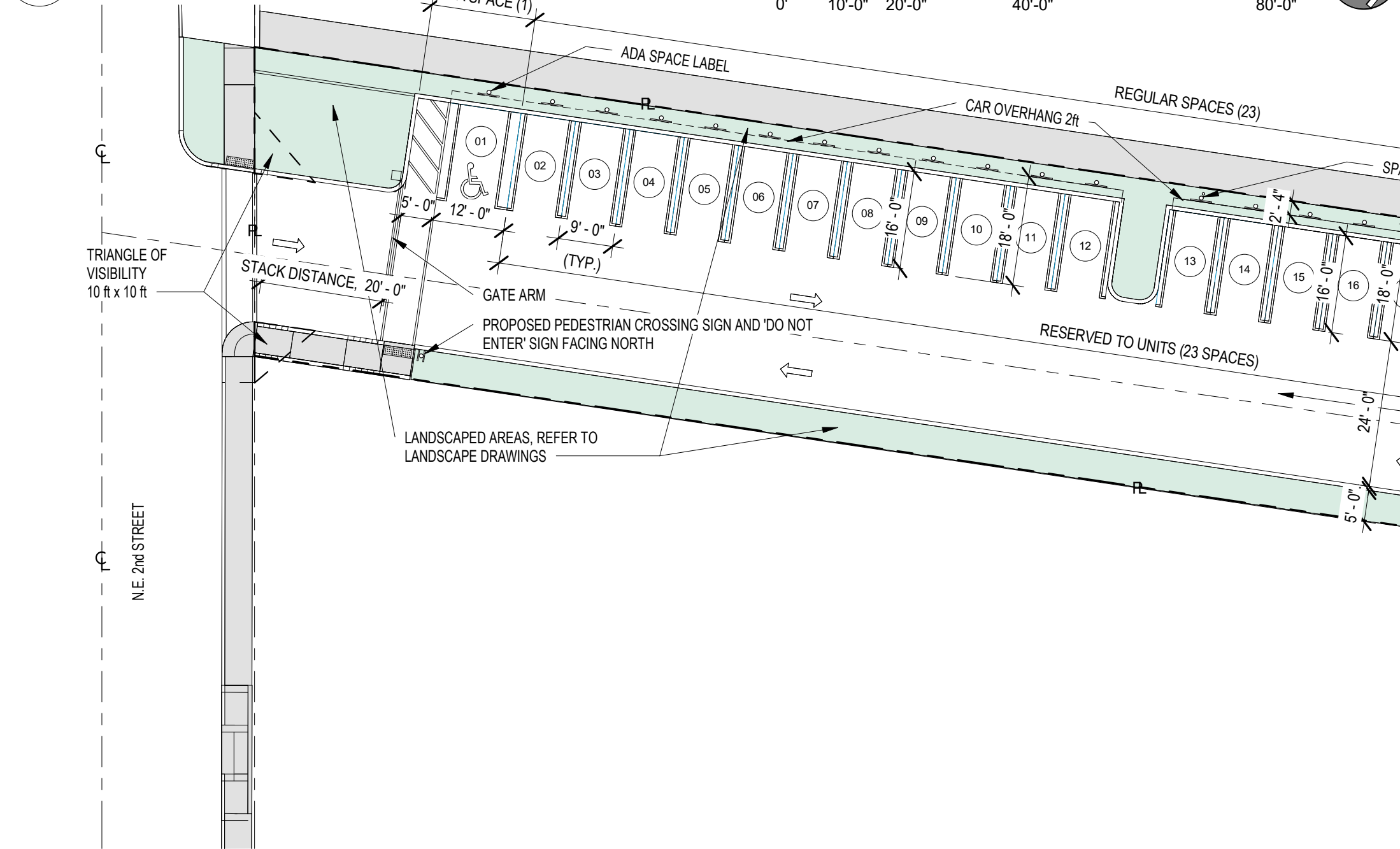
SHARED PARKING CALCULATION						
USE	TOTAL	WEEKDAYS		WEEKEND		
		NIGHT (midnight to 6:00 AM)	DAY (9:00am to 4:00pm)	EVENING (6:00 to midnight)	DAY (9:00am to 4:00pm)	EVENING (6:00 to midnight)
RESIDENTIAL Reserved to Units	23	23	23	23	23	23
RESIDENTIAL Guest	25.15	25.15	15.09	22.64	20.12	22.64
COMMERCIAL / RETAIL	5.31	0.27	3.72	4.78	5.31	3.72
TOTAL	53	48	42	50	48	49

DELRAY BEACH CENTRAL BUSINESS DISTRICT (CBD)				
BUILDING FRONTAGE AS PER LDR SECTION 4.4.13				
STREET	PRIMARY	FACADE	REQUIRED FRONTAGE	PROVIDED FRONTAGE
N.E. 2nd STREET	YES	114'-0"	(75% - 100%)	"LOBBY ENTRY" 22'-4" "ARCADE" 67'-9" TOTAL 91'-1" (79.9 %)
N.E. 4th AVENUE	YES	80'-0"	(75% - 100%)	"FORECOURT" 36'-7" "STOOP" 42'-9" TOTAL 79'-4" (99.2 %)
RAILROAD STREET	NO	120'-3"	(NO REQUIREMENT)	"STOOP" 120'-3" (100 %)

PARKING PROVIDED	
OFF-STREET PARKING SPACES, BREAKDOWN BY TYPE	
REGULAR SPACES	32 SPACES
COMPACT SPACES	12 SPACES
ADA SPACES	1 SPACE
E.V. SPACES	2 SPACES
TOTAL	47 SPACES
OFF-STREET PARKING SPACES, BREAKDOWN BY ASSIGNMENT	
SPACES RESERVED FOR APARTMENT UNITS	23 SPACES
SPACES AVAILABLE FOR GUESTS	24 SPACES
TOTAL	47 SPACES
ON-STREET PARKING SPACES	
EXISTING PARKING SPACES	3 SPACES
NEW PARKING SPACES - REGULAR	2 SPACES
NEW PARKING SPACES - ADA	1 SPACE
TOTAL	6 SPACES
TOTAL ADA SPACES	2 SPACES (2 REQUIRED)
TOTAL E.V. SPACES	2 SPACES (1.5 REQUIRED)

ALL CONSTRUCTION STAGING AND PARKING WILL BE ACCOMMODATED ON THE PARKING LOT PARCEL

1 SITE PLAN - APARTMENT BUILDING  
AR-050 SCALE: 1" = 20'-0"



2 SITE PLAN - PARKING  
AR-050 SCALE: 1" = 20'-0"

N.T.S.



GROSS AREA CALCULATIONS MOVED TO SHEET AR-105 "ROOFTOP AMENITIES"

**NETTA ARCHITECTS**  
621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M1800001650

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR88615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT.

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions		
No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION
5	03-19-2025	TAC 5 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELER:	C.C.
CHECKED:	M.F. / F.J.M.
NETTA PROJECT #:	2211652_FL

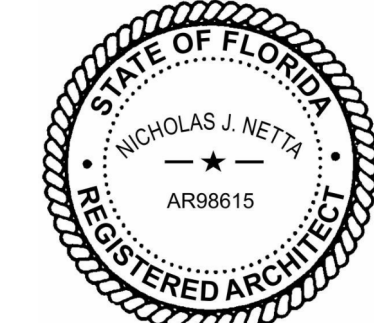
Drawing title

PROPOSED SITE PLAN

Drawing no.

AR-050





NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT  
These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION
5	03-19-2025	TAC 5 REVISION

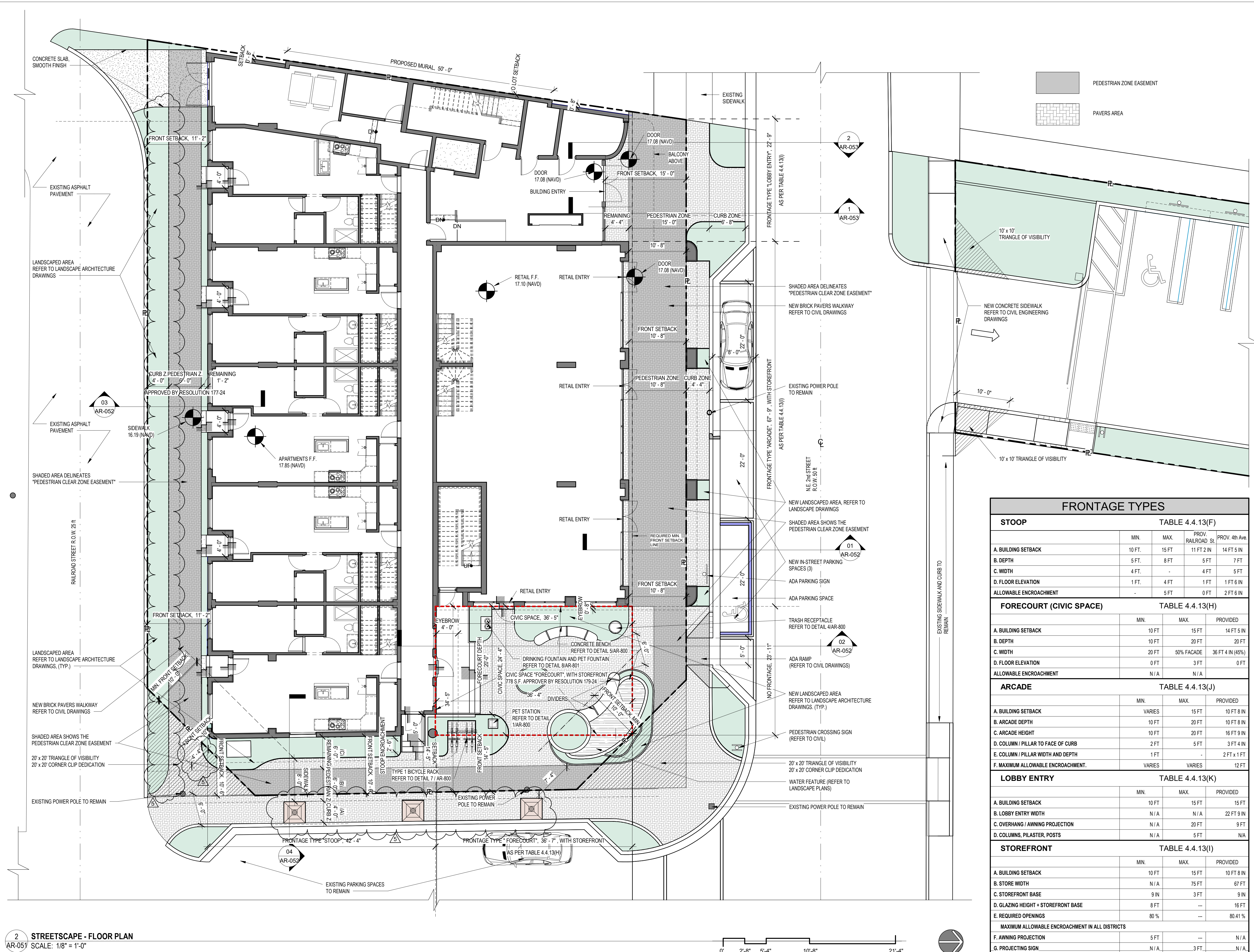
DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F. / F.J.M.
NETTA PROJECT #:	2211652_FL

Drawing title

DESIGN GUIDELINES -  
STREETSCAPE PLAN

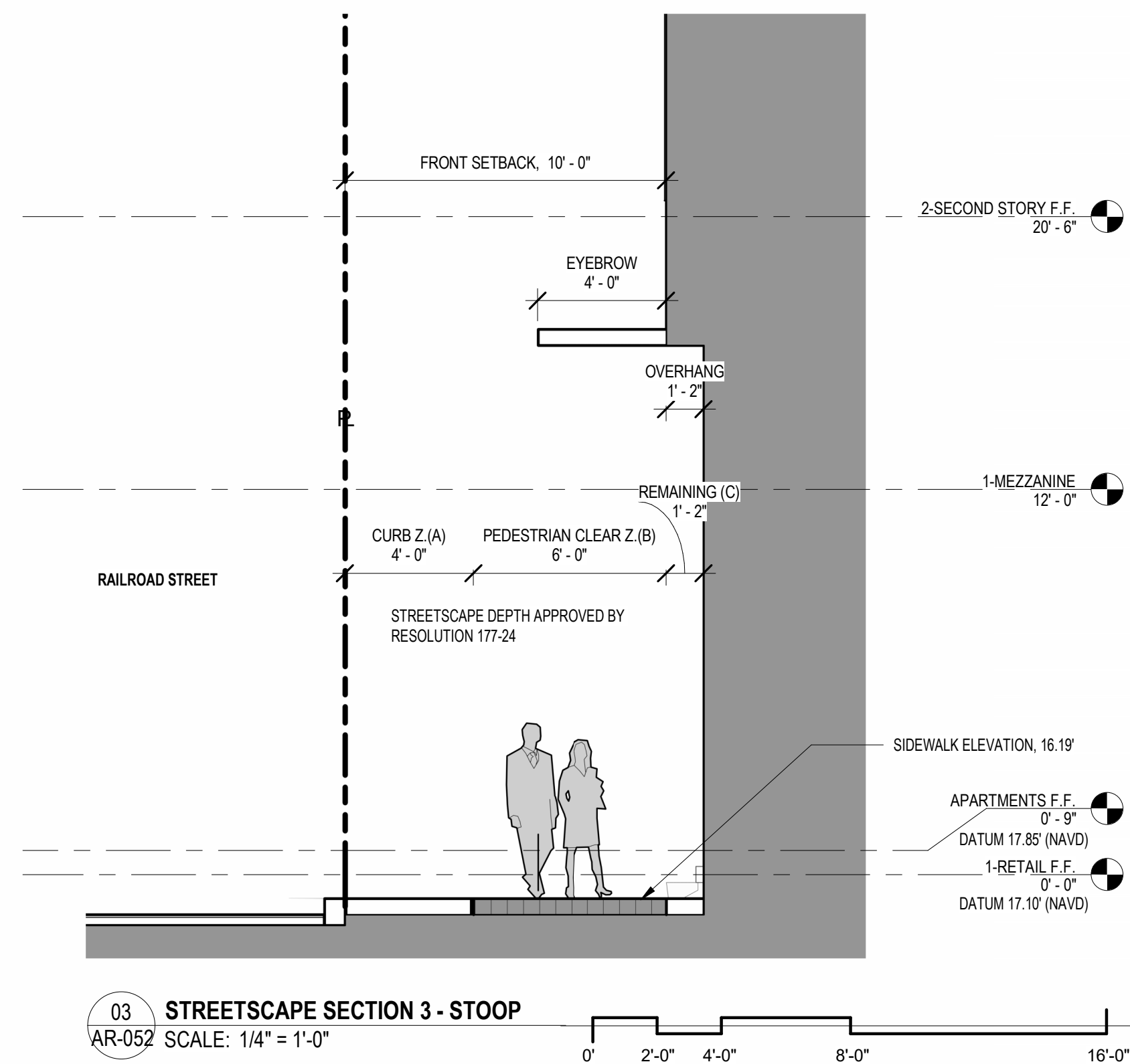
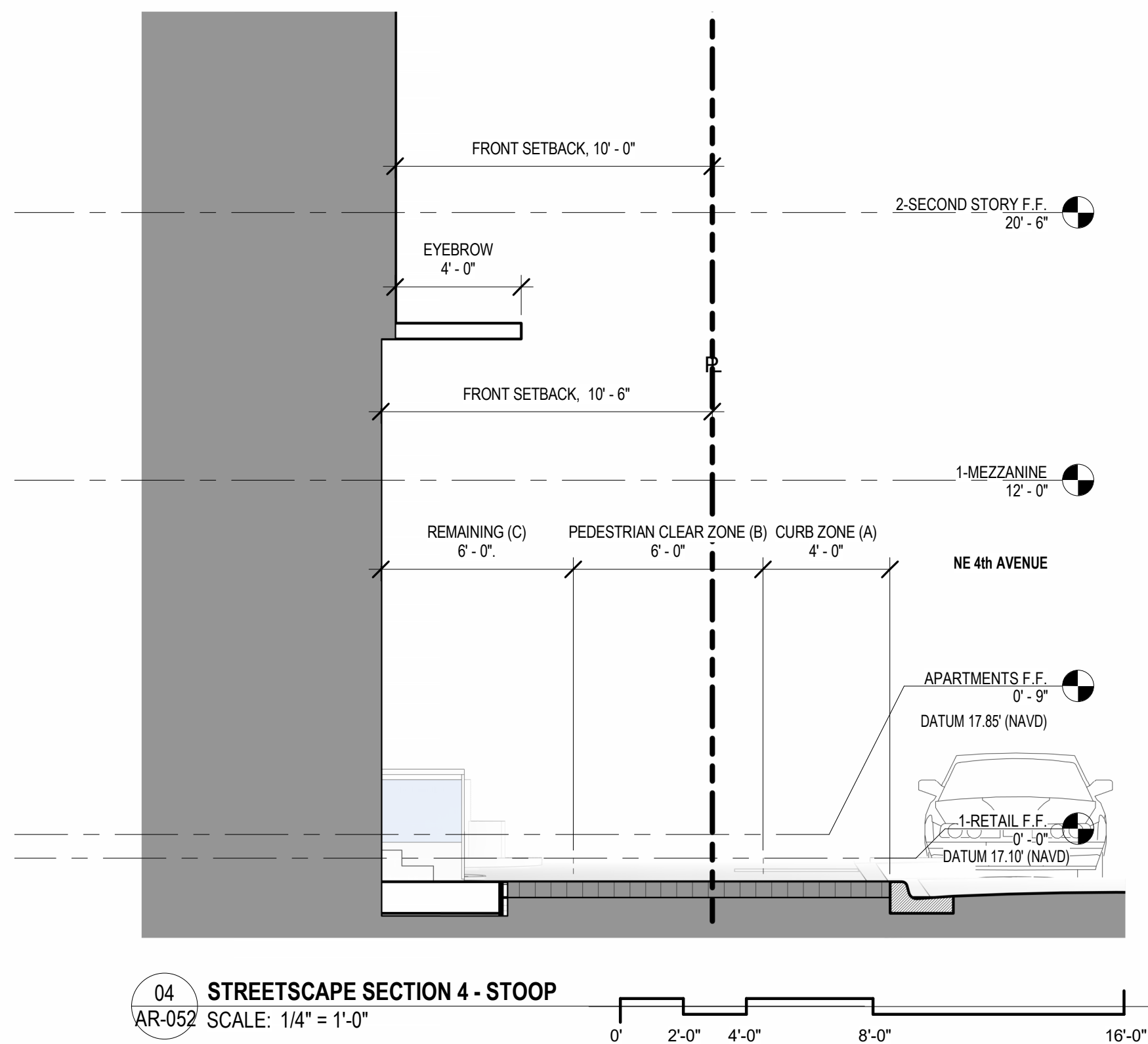
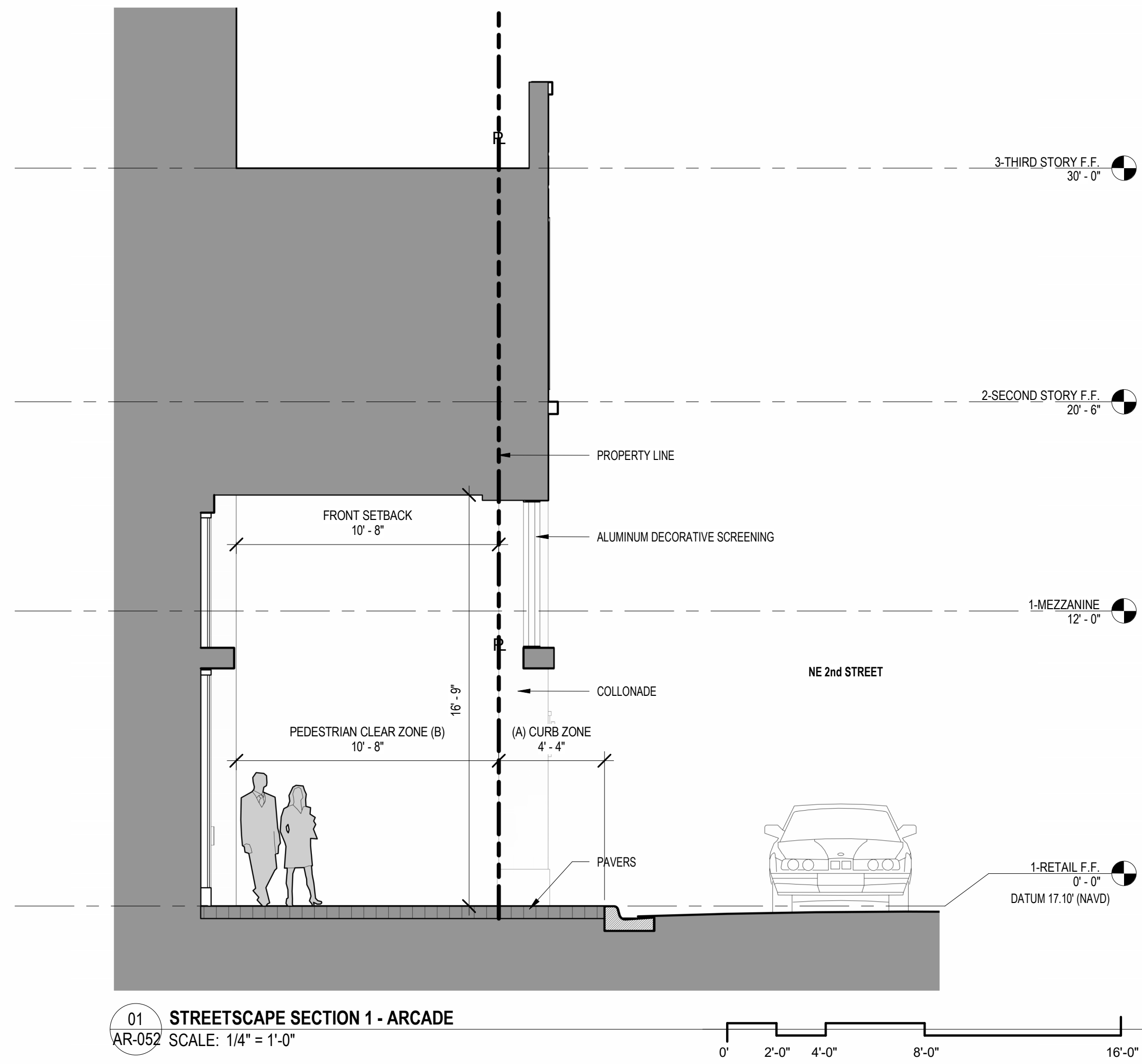
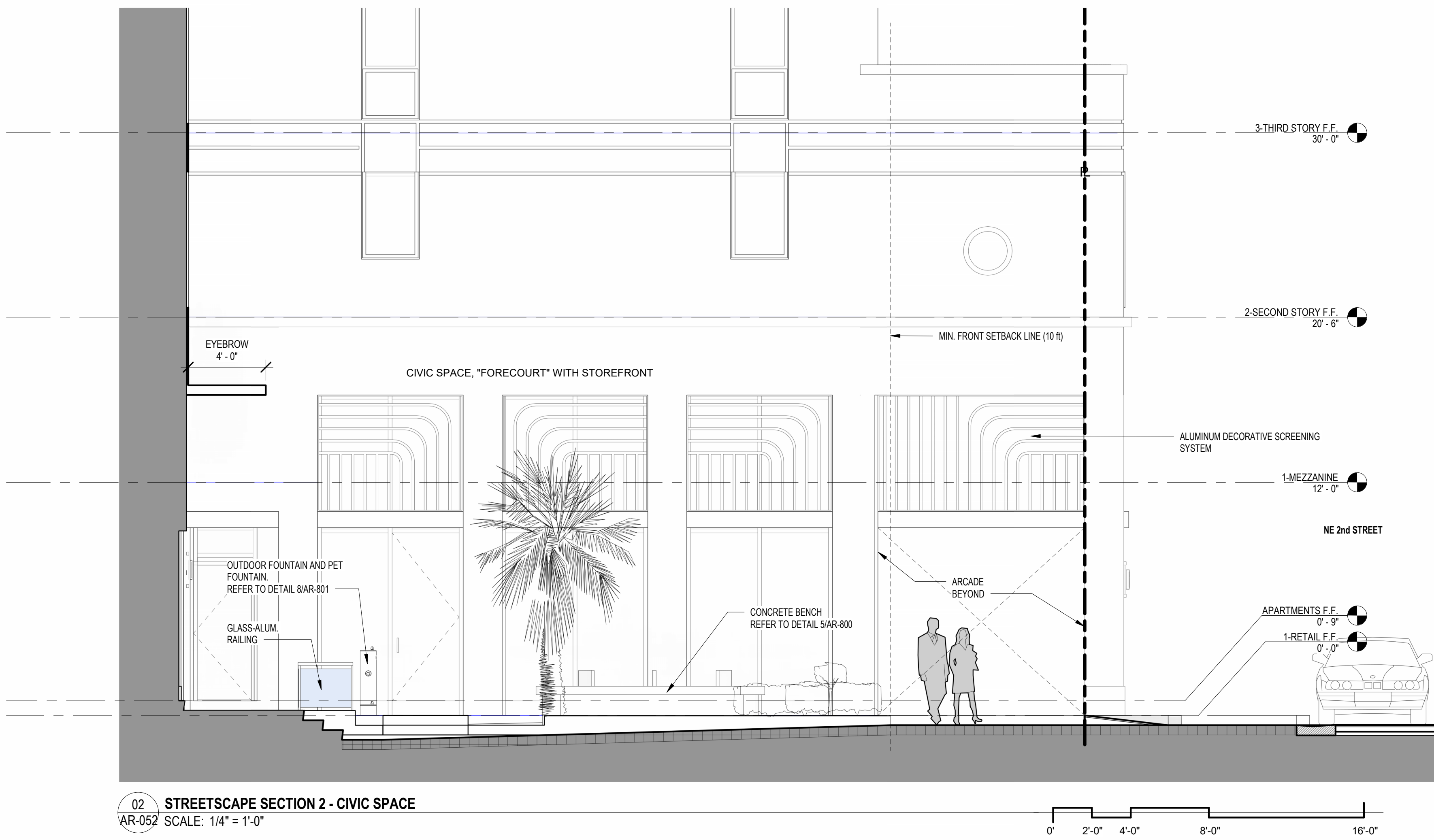
Drawing no.

AR-051



FRONTAGE TYPES				
STOOP		TABLE 4.4.13(F)		
		MIN.	MAX.	PROV. 4th Ave
A. BUILDING SETBACK		10 FT.	15 FT	11 FT 2 IN
B. DEPTH		5 FT.	8 FT	5 FT
C. WIDTH		4 FT.	-	4 FT
D. FLOOR ELEVATION		1 FT.	4 FT	1 FT 6 IN
ALLOWABLE ENCROACHMENT		-	5 FT	0 FT
FORECOURT (CIVIC SPACE)		TABLE 4.4.13(H)		
		MIN.	MAX.	PROVIDED
A. BUILDING SETBACK		10 FT	15 FT	14 FT 5 IN
B. DEPTH		10 FT	20 FT	20 FT
C. WIDTH		20 FT	50% FACADE	36 FT 4 IN (45%)
D. FLOOR ELEVATION		0 FT	3 FT	0 FT
ALLOWABLE ENCROACHMENT		N/A	N/A	
ARCADE		TABLE 4.4.13(J)		
		MIN.	MAX.	PROVIDED
A. BUILDING SETBACK		VARIES	15 FT	10 FT 8 IN
B. ARCADE DEPTH		10 FT	20 FT	10 FT 8 IN
C. ARCADE HEIGHT		10 FT	20 FT	16 FT 9 IN
D. COLUMN / PILLAR TO FACE OF CURB		2 FT	5 FT	3 FT 4 IN
E. COLUMN / PILLAR WIDTH AND DEPTH		1 FT	-	2 FT x 1 FT
F. MAXIMUM ALLOWABLE ENCROACHMENT.		VARIES	VARIES	12 FT
LOBBY ENTRY		TABLE 4.4.13(K)		
		MIN.	MAX.	PROVIDED
A. BUILDING SETBACK		10 FT	15 FT	15 FT
B. LOBBY ENTRY WIDTH		N/A	N/A	22 FT 9 IN
C. OVERHANG / AWNING PROJECTION		N/A	20 FT	9 FT
D. COLUMNS, PILASTER, POSTS		N/A	5 FT	N/A
STOREFRONT		TABLE 4.4.13(I)		
		MIN.	MAX.	PROVIDED
A. BUILDING SETBACK		10 FT	15 FT	10 FT 8 IN
B. STORE WIDTH		N/A	75 FT	67 FT
C. STOREFRONT BASE		9 IN	3 FT	9 IN
D. GLAZING HEIGHT + STOREFRONT BASE		8 FT	---	16 FT
E. REQUIRED OPENINGS		80 %	---	80.41 %
MAXIMUM ALLOWABLE ENCROACHMENT IN ALL DISTRICTS				
F. AWNING PROJECTION		5 FT	---	N/A
G. PROJECTING SIGN		N/A	3 FT	N/A





SITE PLAN REVIEW SET

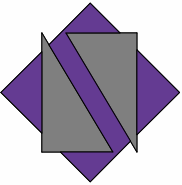
Submissions

Revisions		
No.	DATE:	DESCRIPTION:
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F / F.J.M.
NETTA PROJECT #:	2211652_FL

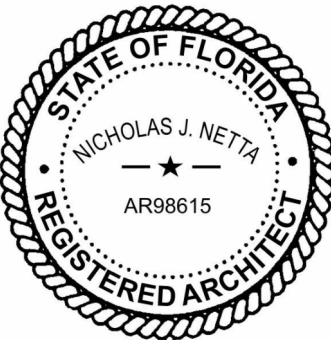
Drawing title  
**DESIGN GUIDELINES -  
STREETSCAPE  
SECTIONS**





NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98815  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT  
These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION

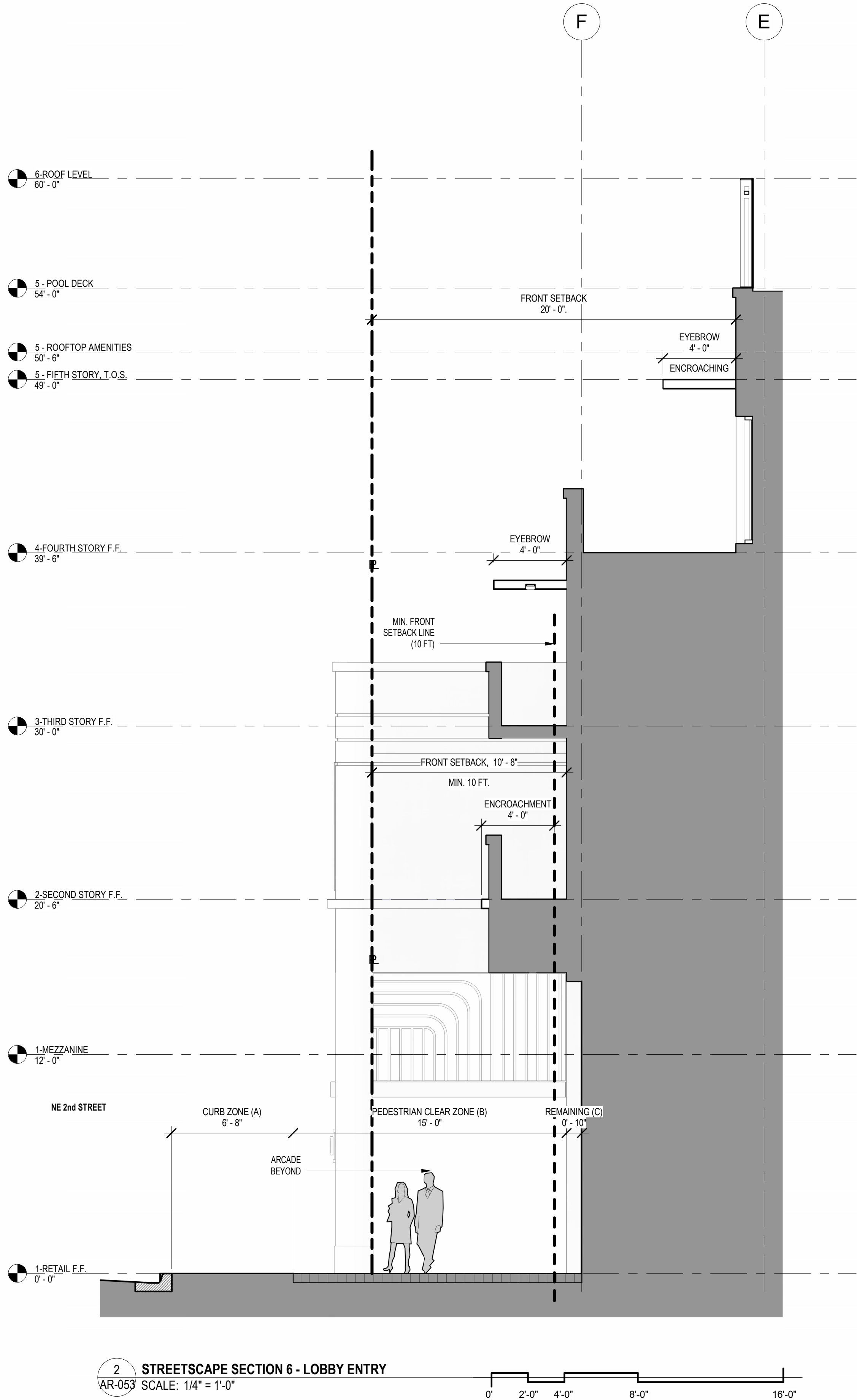
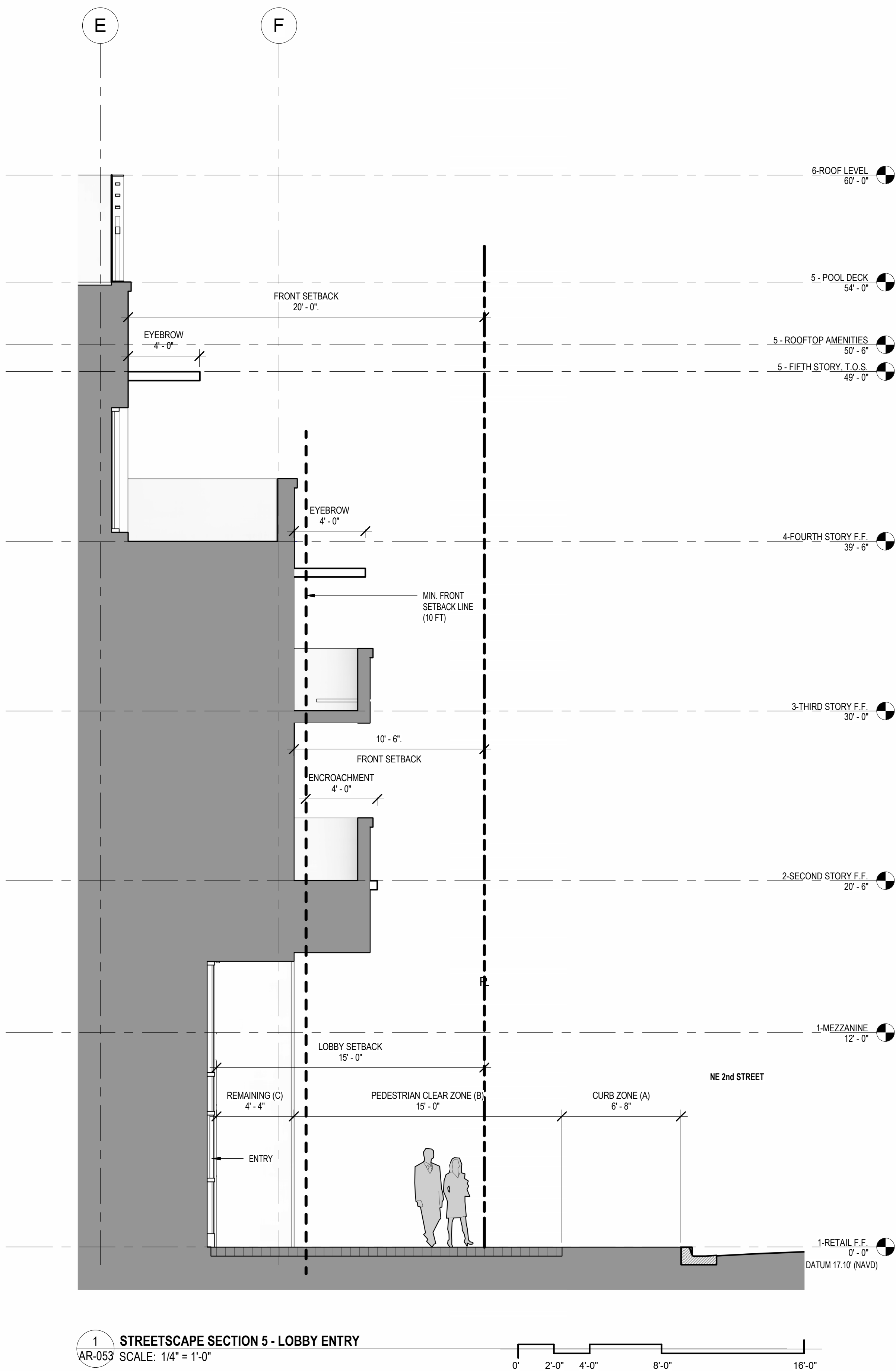
DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F / F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title

DESIGN GUIDELINES -  
STREETSCAPE  
SECTIONS

Drawing no.

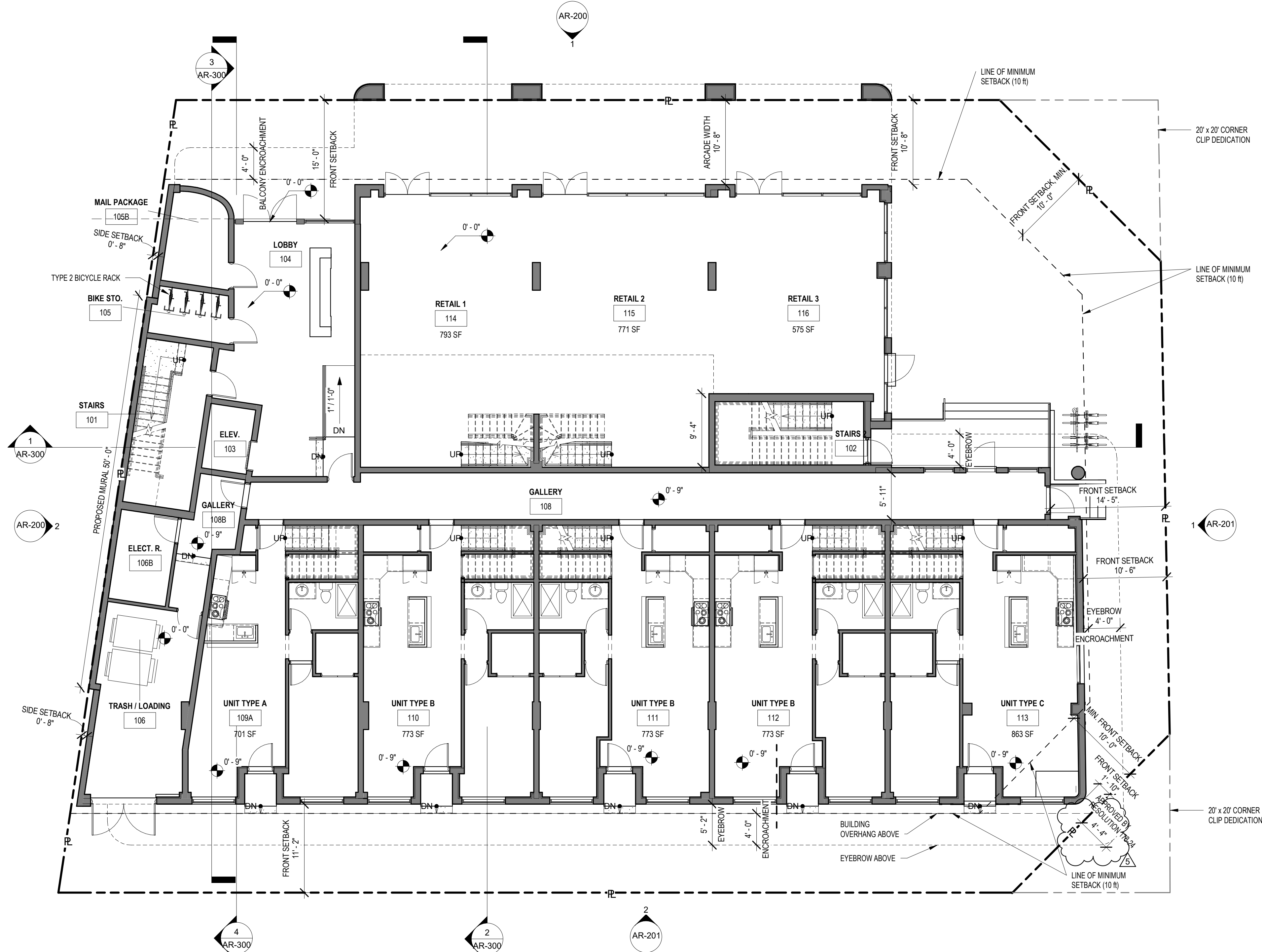
AR-053



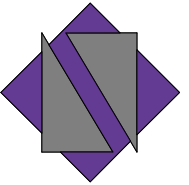


APARTMENT UNITS					
	TYPE	UNITS	FRONTAGE	TERRACE	AREA
UNIT LOFT A	1 BEDROOM	1 UT.	44 FT		927 S.F.
UNIT LOFT B	1 BEDROOM	3 UT.	44 FT		1,029 S.F.
UNIT LOFT C	1 BEDROOM	1 UT.	100 FT		1,152 S.F.
UNIT D	3 BEDROOM	1 UT.	45 FT	95 S.F.	1,865 S.F.
UNIT E	3 BEDROOM	1 UT.	81 FT	167 S.F.	1,801 S.F.
UNIT F	2 BEDROOM	2 UT.	93 FT		1,139 S.F.
UNIT G	2 BEDROOM	4 UT.	33 FT	46 S.F.	1,169 S.F.
UNIT H	2 BEDROOM	2 UT.	36 FT	36 S.F.	1,160 S.F.
UNIT J	1 BEDROOM	1 UT.	24 FT	93 S.F.	776 S.F.
UNIT K	2 BEDROOM	1 UT.	33 FT	416 S.F.	1,170 S.F.
UNIT L	2 BEDROOM	1 UT.	48 FT	416 S.F.	1,038 S.F.
UNIT M	2 BEDROOM	1 UT.	61 FT	443 S.F.	1,133 S.F.
UNIT N	2 BEDROOM	1 UT.	83 FT	424 S.F.	982 S.F.
UNIT P	2 BEDROOM	1 UT.	34 FT	757 S.F.	1,163 S.F.
UNIT R	2 BEDROOM	1 UT.	46 FT	335 S.F.	944 S.F.
UNIT S	2 BEDROOM	1 UT.	46 FT	453 S.F.	1,133 S.F.
TOTAL		23 UT.	1,123 FT	3,854 S.F.	26,445 S.F.
TOTAL 1-BEDROOM UNITS		6 UT.	26 %	(55% MAX.)	
TOTAL 2-BEDROOM UNITS		15 UT.	65 %		
TOTAL 3-BEDROOM UNITS		2 UT.	9 %		
TOTAL COMMERCIAL AREA				3 SPACES	2,651 S.F.
ROOF COVERED AREA, GYM, EXCEPT VERT. COMMUNICATIONS					1,436 S.F.

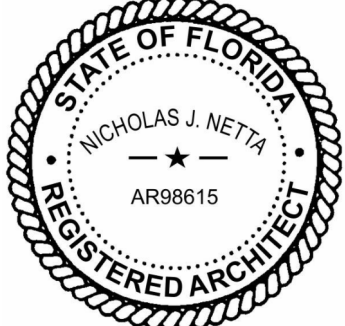
FOR ENLARGED UNIT PLANS REFER TO  
SHEETS AR-700 TO AR-705



1 GROUND FLOOR PLAN  
AR-100 SCALE: 1/8" = 1'-0"



**NETTA ARCHITECTS**  
621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



02-18-2024

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT. FRANCISCO J. MELENDEZ, SR., ARCHITECT.

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

**THE MAXWELL**

306 NE 2nd STREET, DELRAY BEACH, FL

**SITE PLAN REVIEW SET**

Submissions

Revisions		
No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION
5	03-19-2025	TAC 5 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F. / F.J.M.
NETTA PROJECT #:	2211652_FL

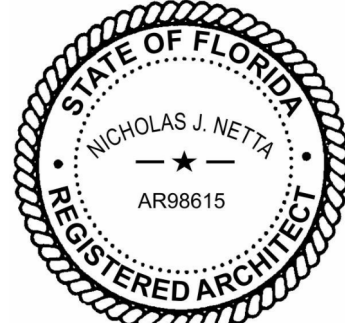
Drawing title

**GROUND STORY-  
FLOOR PLAN**

Drawing no.

**AR-100**





NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR988615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION
5	03-19-2025	TAC 5 REVISION

DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F / J.F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title

MEZZANINE - FLOOR PLAN

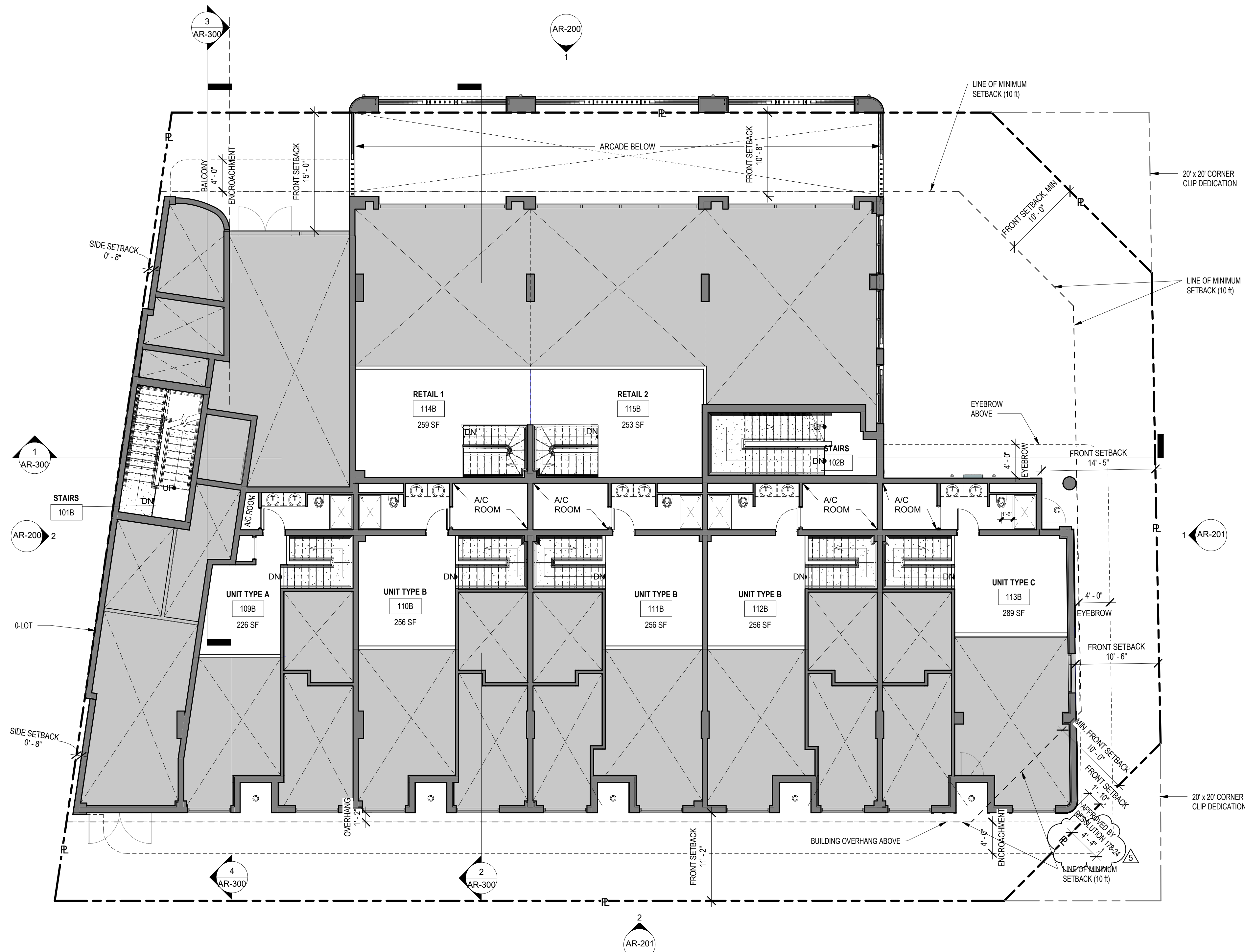
Drawing no.

AR-101

FOR ENLARGED UNIT PLANS REFER TO SHEETS AR-700 TO AR-705

MEZZANINE AREA CALCULATION

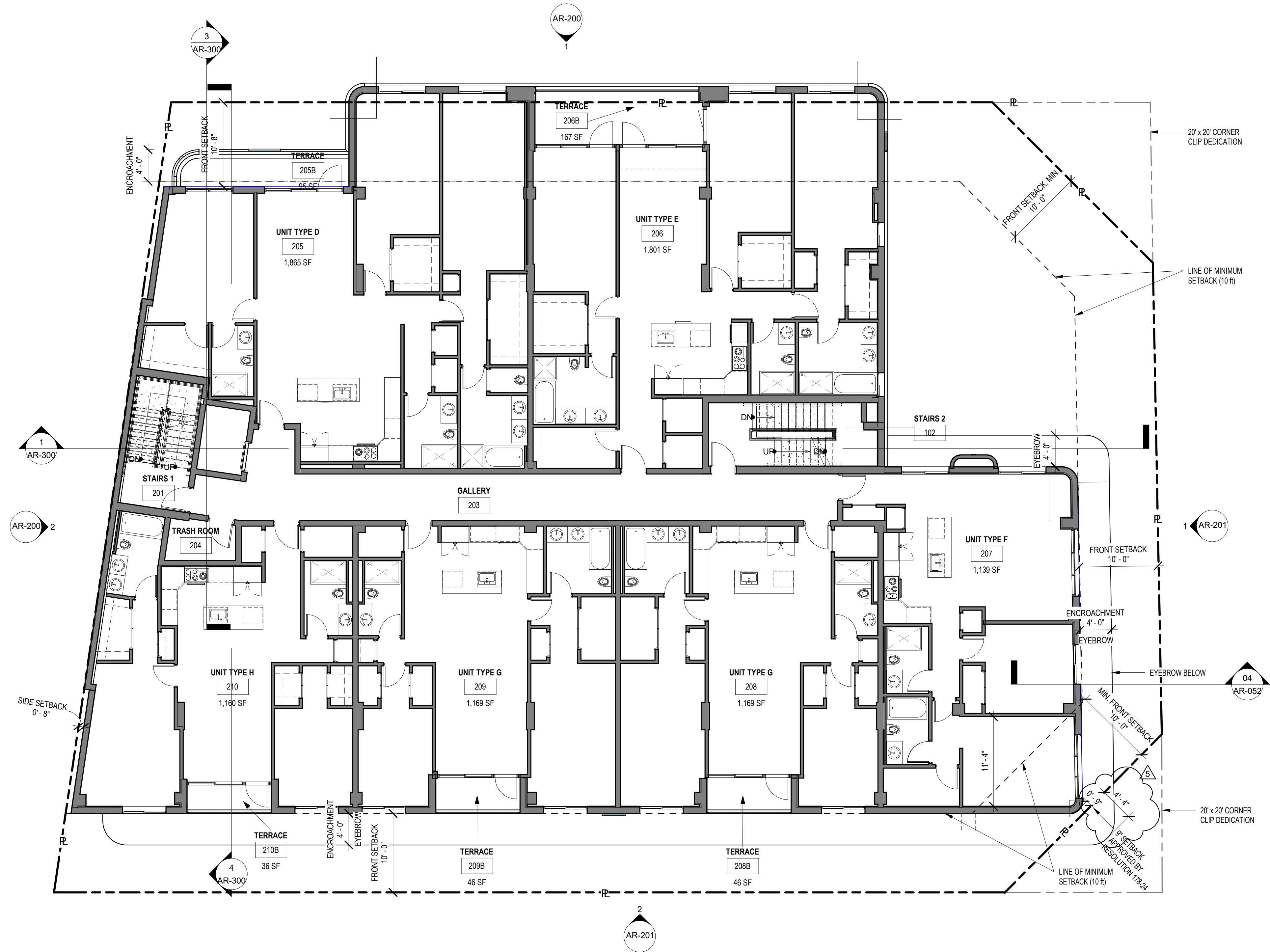
	AREA BELOW	MEZZANINE AREA w/o A/C, STAIRS	% MEZZANINE AREA OVER AREA BELOW
UNIT 109 - MEZZANINE	700.94 S.F.	225.10 S.F.	32.11 %
UNIT 110 - MEZZANINE	772.97 S.F.	256.58 S.F.	33.19 %
UNIT 111 - MEZZANINE	772.97 S.F.	256.58 S.F.	33.19 %
UNIT 112 - MEZZANINE	772.97 S.F.	256.58 S.F.	33.19 %
UNIT 113 - MEZZANINE	874.77 S.F.	288.63 S.F.	32.99 %
RETAIL 1 - MEZZANINE	793.08 S.F.	258.83 S.F.	32.64 %
RETAIL 2 - MEZZANINE	771.16 S.F.	252.73 S.F.	32.77 %



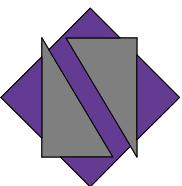
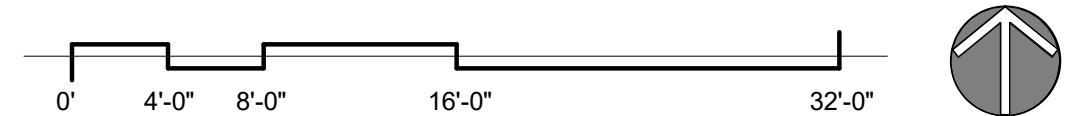
1 MEZZANINE  
AR-101 SCALE: 1/8" = 1'-0"



FOR ENLARGED UNIT PLANS REFER TO  
SHEETS AR-700 TO AR-705



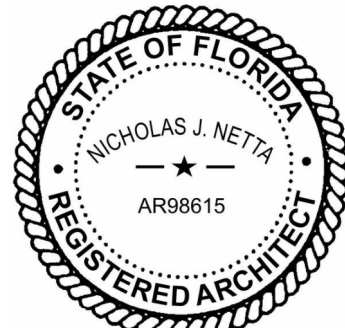
1 SECOND STORY  
AR-102 SCALE: 1/8" = 1'-0"



NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com

CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR988615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT. FRANCISCO J. MELENDEZ, SR., ARCHITECT. These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
5	03-19-2025	TAC 5 REVISION

DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F / F.J.M.  
NETTA PROJECT #: 2211652\_FL

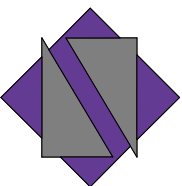
Drawing title

SECOND STORY-  
FLOOR PLAN

Drawing no.

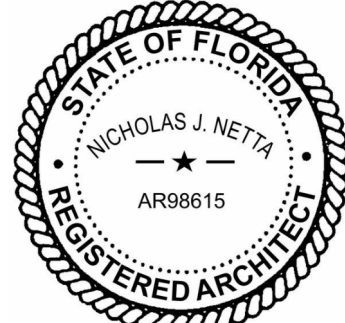
AR-102





NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT.  
These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION
5	03-19-2025	TAC 5 REVISION

DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F / F.J.M.  
NETTA PROJECT #: 2211652\_FL

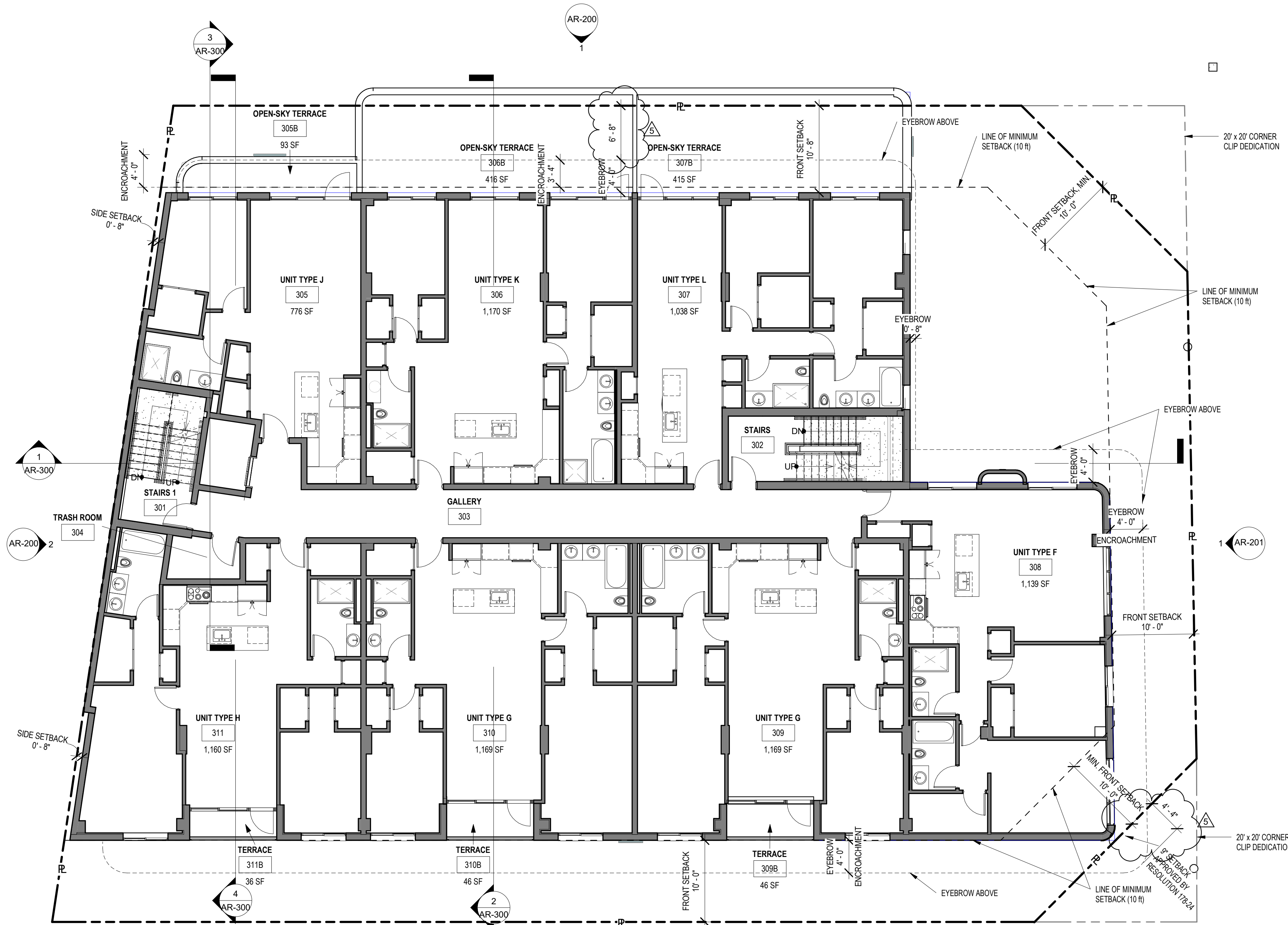
Drawing title

THIRD STORY-  
FLOOR PLAN

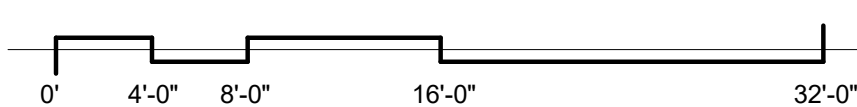
Drawing no.

AR-103

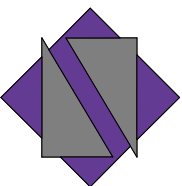
FOR ENLARGED UNIT PLANS REFER TO  
SHEETS AR-700 TO AR-705



1 THIRD STORY  
AR-103 SCALE: 1/8" = 1'-0"

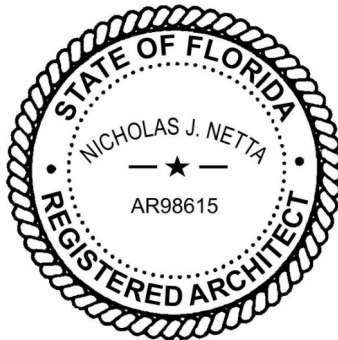






NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR88615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION
5	03-19-2025	TAC 5 REVISION

DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F / F.J.M.  
NETTA PROJECT #: 2211652\_FL

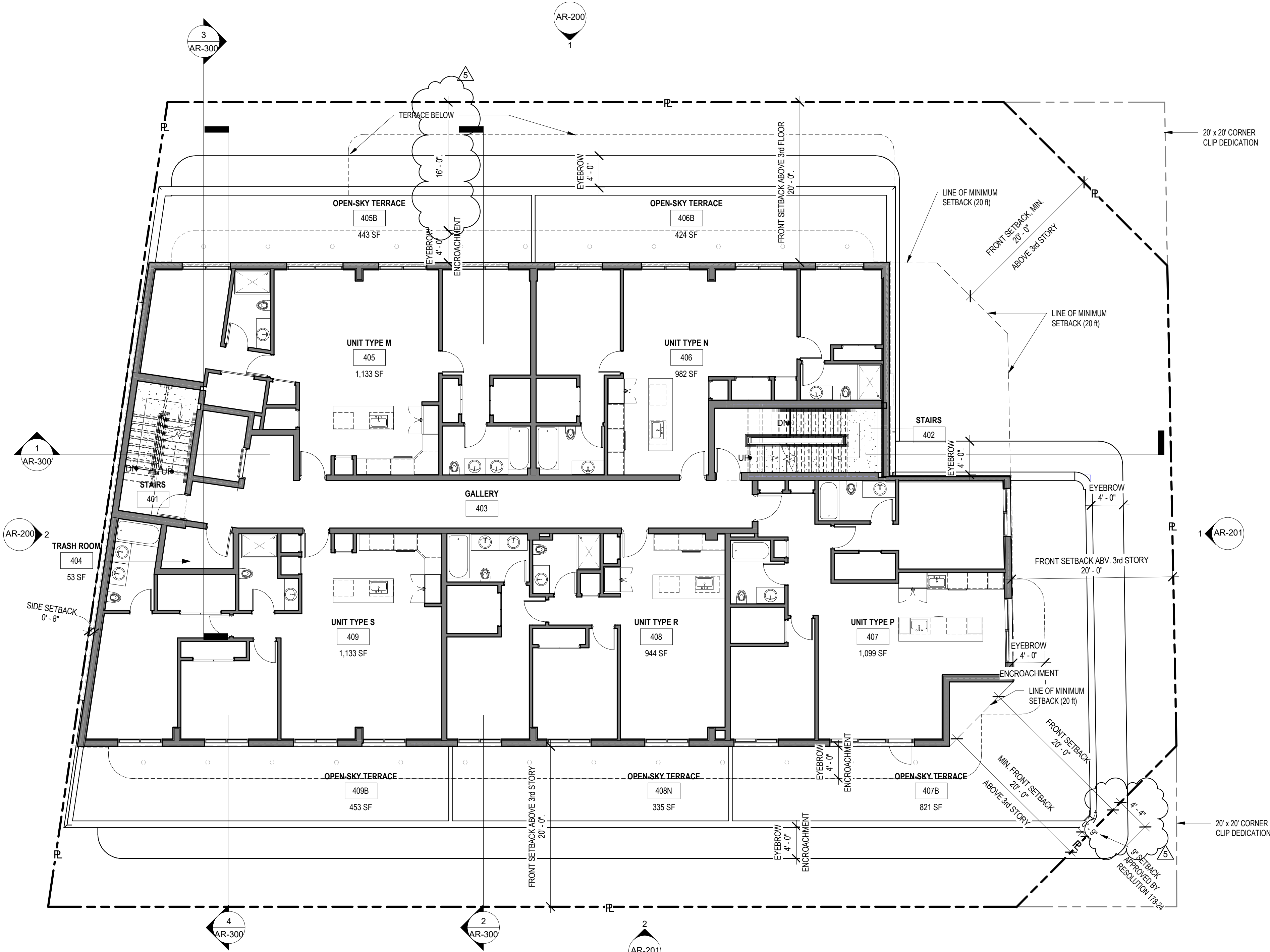
Drawing title

FOURTH STORY-  
FLOOR PLAN

Drawing no.

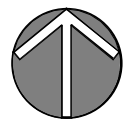
AR-104

FOR ENLARGED UNIT PLANS REFER TO  
SHEETS AR-700 TO AR-705

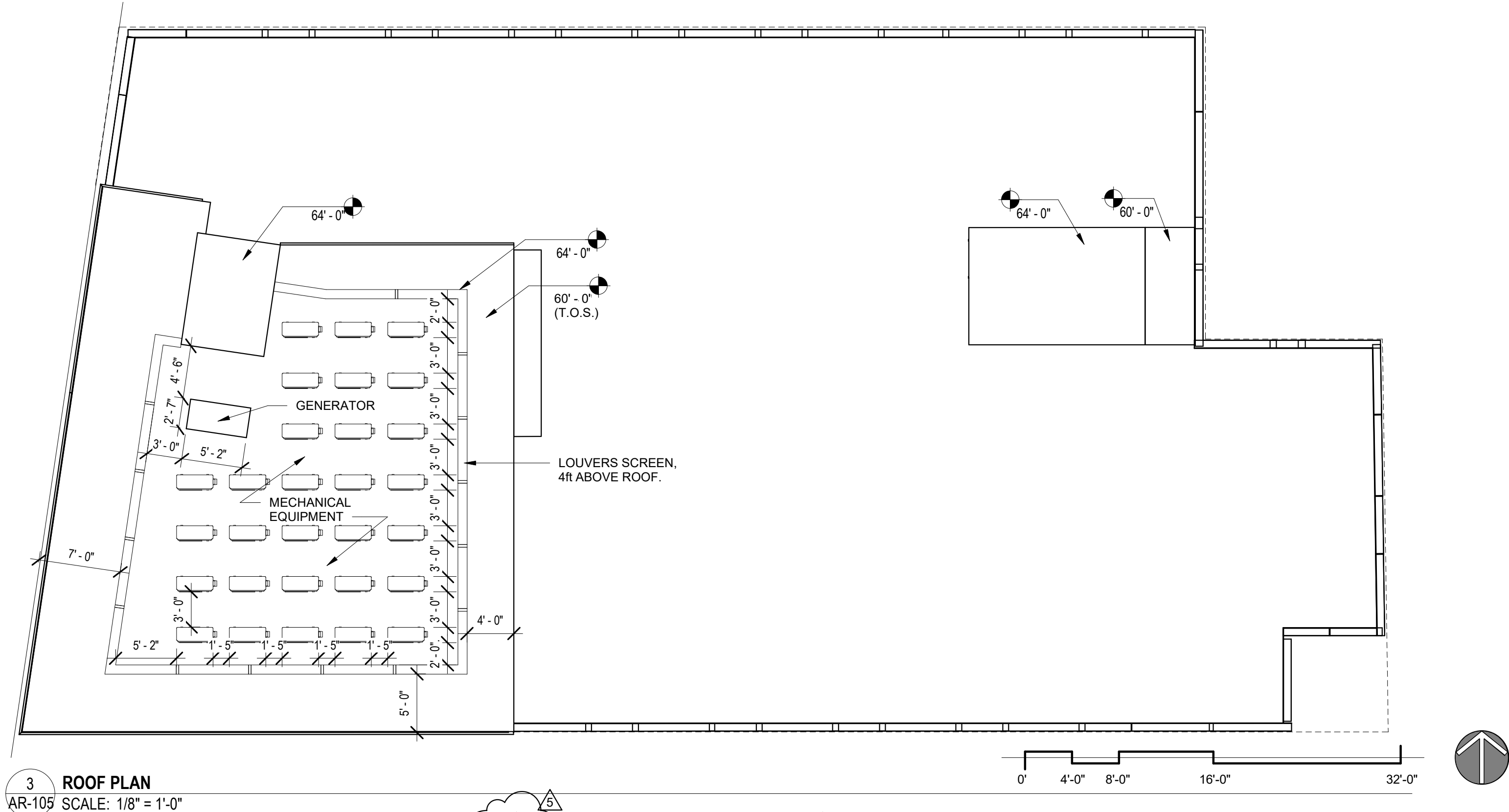
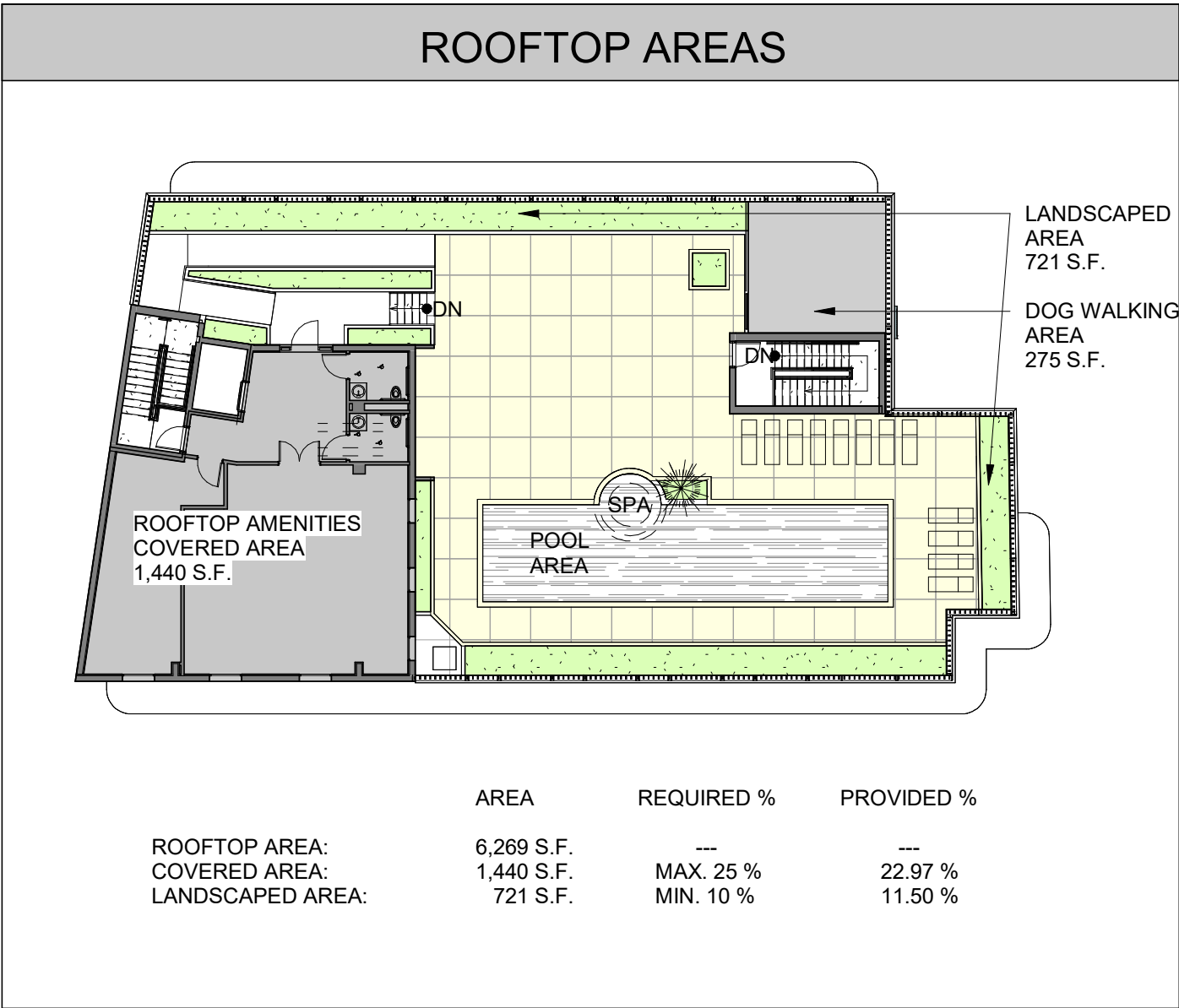


1 AR-104 FOURTH STORY  
SCALE: 1/8" = 1'-0"

0' 4'-0" 8'-0" 16'-0" 32'-0"



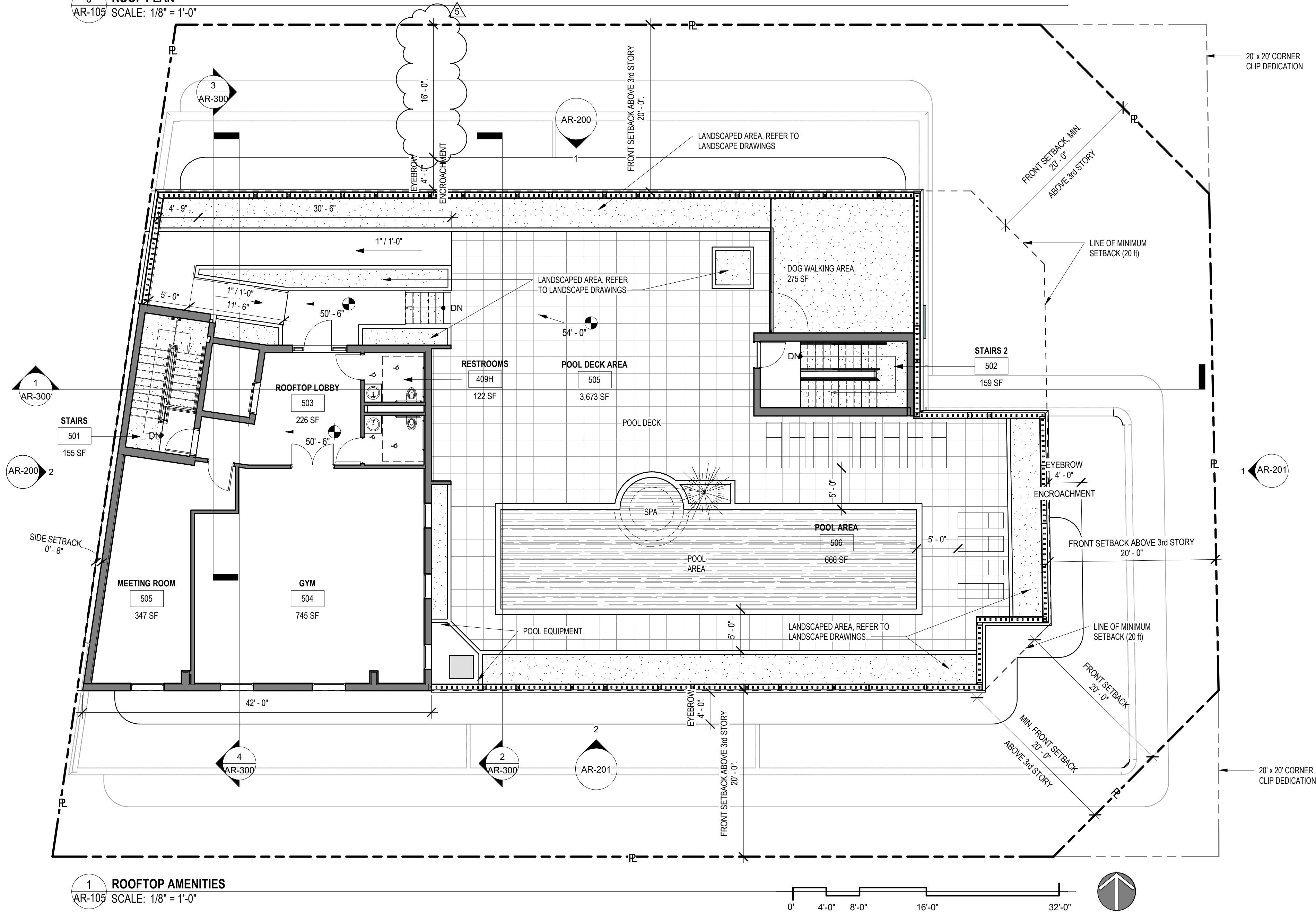




ROOFTOP W/ MAX. NUMBER OF STORIES		
	REQUIRED	AREA
OVERALL ROOF TOP AREA	N / A	6,269 S.F.
ROOF ACCESS AREA (COVERED STAIRCASES AND ELEVATOR)	N / A	393 S.F. (6.27 %)
ROOFTOP OPEN TO SKY AREA	N / A	4,436 S.F. (70.76 %)
HARDSCAPED AREA	N / A	3,715 S.F. (59.02 %)
PAVERS	N / A	2,038 S.F. (32.50 %)
POOL AREA	N / A	666 S.F. (10.62 %)
POLISHED CONCRETE	N / A	736 S.F. (11.74 %)
DOG WALKING AREA (TURF)	N / A	275 S.F. (4.39 %)
LANDSCAPED AREA	MIN. 10% (632 S.F.)	721 S.F. (11.50 %)
COVERED STRUCTURES, (GYM, MEETING ROOM)	MAX. 25% (1,579 S.F.)	1,440 S.F. (22.97 %)
COVERED STRUCTURES, HEIGHT FROM GROUND	MAX. 60 FT	60' - 0"

NOTE:  
IN COMPLIANCE WITH DELRAY BEACH DEVELOPMENT CODE,  
THE ROOFTOP ACTIVITIES WILL BE LIMITED ACCORDING TO  
THE FOLLOWING SCHEDULE:

SUNDAY THROUGH THURSDAY	FROM 7am TO 10pm
FRIDAY AND SATURDAY	FROM 7am TO 11pm



Revisions		
No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION
5	03-19-2025	TAC 5 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F / F.J.M.
NETTA PROJECT #:	2211652_FL



ART DECO STYLE

DESIGN ELEMENTS LEGEND:

TRIPARTITE COMPOSITION - UPPER TIER:

C

FLAT ROOF

ORNAMENTAL PARAPETS

CANTILEVERED MASONRY EYEBROWS

SMOOTH STUCCO FINISH

TRIPARTITE COMPOSITION - MIDDLE TIER:

B

METAL FRAMED WINDOWS

CANTILEVERED MASONRY EYEBROWS

SIMPLE GEOMETRIC STUCCO RELIEFS

ORNAMENTAL ACCENTS AT FACADE

INTEGRATED SIGNAGE WITH MODERN FONT TYPE

TRIPARTITE COMPOSITION - LOWER TIER:

A

METAL DOORS WITH LARGE GLASS OPENINGS

MASONRY STOOP LEADING TO ENTRANCE

GEOMETRIC STREAMLINED ORNAMENTS

ELEVATION FINISH TAG	DESCRIPTION
1	STUCCO, WHITE PAINT FINISH, PAINT-1, SHERWIN WILLIAMS SW-9541, "WHITE SNOW" COLOR, WITH SMOOTH STUCCO TEXTURE
2	STUCCO, GREY PAINT FINISH, PAINT-6, SHERWIN WILLIAMS SW-7017, "DORIAN GRAY"
3	STUCCO, PAINT FINISH, PAINT-3, SHERWIN WILLIAMS SW-6750, "WATERFALL"
4	ALUMINUM, BRUSHED ALUMINUM FINISH
5	BIKE RACK, REFER TO DETAIL 7/AR-800
6	STEEL PIPE - GLASS IMPACT-RESISTANT RAILING SYSTEM, PAINT-4 FINISH
7	ALUMINUM-GLASS, YKK STYLEGUARD IMPACT RESSISTANT WINDOWS, BRUSHED ALUMINUM FINISH
8	ALUMINUM-GLASS, YKK IMPACT-RESISTANT DOUBLE DOORS INTEGRATED IN YKK STOREFRONT SYSTEM, BRUSHED ALUMINUM FINISH
9	ALUMINUM STOREFRONT, YKK 50 FI, IMPACT RESSITANT STOREFRONT SYSTEM, BRUSHED ALUMINUM FINISH
10	ALUMINUM FIXED GLASS WINDOWS, YKK STYLEGUARD IMPACT WINDOWS, BRUSHED ALUMINUM FINISH
11	METAL DOOR, ASSA ABLOY CECO "REGENT", PAINT-2 FINISH
12	T.O. PARAPET
13	EXISTING POLE TO REMAIN
14	WATER FEATURE, REFER TO LANDSCAPE ARCHITECTURE DRAWINGS
15	WALL SCONCE
16	DECORATIVE ALUMINUM SCREEN, BRUSHED ALUMINUM FINISH
17	24" x 24", ALUMINUM VENTILATION GRILLE, PAINT-4 FINISH, PAINT-2 FINISH
18	CONCRETE EYEBROW, STUCCO, PAINT FINISH - 3
19	ALUMINUM SLIDING DOORS, YKK STYLEGUARD SLIDING DOOR IN BALCONY, BRUSHED ALUMINUM FINISH
20	1" WIDE REVEAL
21	ALUMINUM LETTERS, BRUSHED ALUMINUM FINISH
23	DECORATIVE MESH IN GROUND FLOOR
24	1 1/2" WIDE REVEAL
25	ARTISTIC MURAL, STUCCO, CUSTOM COLOR (PAINT 5) WITH ARTWORK IN WHITE (PAINT-1)
26	EXTERIOR METAL DOOR, WHITE PAINT
27	SCULPTURAL WALL RELIEF, COMBINING PAINT - 2 AND PAINT - 3 FINISH
28	DECORATIVE STUCCO WALL MEDALLION, PAINT - 2 FINISH
29	WALL DECORATIVE MOLDING, PAINT -2 FINISH

PAINT FINISH

PAINT - 1

SHERWIN WILLIAMS, "WHITE SNOW" SW-9541 WITH SMOOTH STUCCO TEXTURE

PAINT - 2

SHERWIN WILLIAMS "INTERESTING AQUA" SW 6220

PAINT - 3

SHERWIN WILLIAMS "WATERFALL" SW 6750

PAINT - 4

SHERWIN WILLIAMS "IRON ORE" SW 7069

PAINT - 5

CUSTOM CMYB: 70-48-33-7 RGB: 88-115-138 HEX: #58738A

PAINT - 6

SHERWIN WILLIAMS "DORIAN GRAY" RGB: 172-167-158 HEX: #ACA79E

1 NORTH ELEVATION  
AR-200 SCALE: 1/8" = 1'-0"

2 WEST ELEVATION  
AR-200 SCALE: 1/8" = 1'-0"

NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M1800001650

STATE OF FLORIDA  
REGISTERED ARCHITECT  
NICHOLAS J. NETTA  
AR98615

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

## SITE PLAN REVIEW SET

Submissions

Revisions		
No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F / F.J.M.
NETTA PROJECT #:	2211652_FL

Drawing title

BUILDING ELEVATIONS

Drawing no.

AR-200



## ART DECO STYLE

## DESIGN ELEMENTS LEGEND:

## TRIPARTITE COMPOSITION - UPPER TIER:

- FLAT ROOF
- ORNAMENTAL PARAPETS
- CANTILEVERED MASONRY EYEBROWS
- SMOOTH STUCCO FINISH

## TRIPARTITE COMPOSITION - MIDDLE TIER:

- METAL FRAMED WINDOWS
- CANTILEVERED MASONRY EYEBROWS
- SIMPLE GEOMETRIC STUCCO RELIEFS
- ORNAMENTAL ACCENTS AT FACADE
- INTEGRATED SIGNAGE WITH MODERN FONT TYPE

## TRIPARTITE COMPOSITION - LOWER TIER:

- METAL DOORS WITH LARGE GLASS OPENINGS
- MASONRY STOOP LEADING TO ENTRANCE
- GEOMETRIC STREAMLINED ORNAMENTS

## EXTERIOR FINISH MATERIAL LEGEND

ELEVATION FINISH TAG	DESCRIPTION
1	STUCCO, WHITE PAINT FINISH, PAINT-1, SHERWIN WILLIAMS SW-9541, "WHITE SNOW" COLOR, WITH SMOOTH STUCCO TEXTURE
2	STUCCO, GREY PAINT FINISH, PAINT-6, SHERWIN WILLIAMS SW-7017, "DORIAN GRAY"
3	STUCCO, PAINT FINISH, PAINT-3, SHERWIN WILLIAMS SW-6750, "WATERFALL"
4	ALUMINUM, BRUSHED ALUMINUM FINISH
5	BIKE RACK, REFER TO DETAIL 7/AR-800
6	STEEL PIPE - GLASS IMPACT-RESISTANT RAILING SYSTEM, PAINT-4 FINISH
7	ALUMINUM-GLASS, YKK STYLEGUARD IMPACT RESSISTANT WINDOWS, BRUSHED ALUMINUM FINISH
8	ALUMINUM-GLASS, YKK IMPACT-RESISTANT DOUBLE DOORS INTEGRATED IN YKK STOREFRONT SYSTEM, BRUSHED ALUMINUM FINISH
9	ALUMINUM STOREFRONT, YKK 50 FI, IMPACT RESSITANT STOREFRONT SYSTEM, BRUSHED ALUMINUM FINISH
10	ALUMINUM FIXED GLASS WINDOWS, YKK STYLEGUARD IMPACT WINDOWS, BRUSHED ALUMINUM FINISH
11	METAL DOOR, ASSA ABLOY CECO "REGENT", PAINT-2 FINISH
12	T.O. PARAPET
13	EXISTING POLE TO REMAIN
14	WATER FEATURE, REFER TO LANDSCAPE ARCHITECTURE DRAWINGS
15	WALL SCONCE
16	DECORATIVE ALUMINUM SCREEN, BRUSHED ALUMINUM FINISH
17	24" x 24", ALUMINUM VENTILATION GRILLE, PAINT-4 FINISH, PAINT-2 FINISH
18	CONCRETE EYEBROW, STUCCO, PAINT FINISH - 3.
19	ALUMINUM SLIDING DOORS, YKK STYLEGUARD SLIDING DOOR IN BALCONY, BRUSHED ALUMINUM FINISH
20	1" WIDE REVEAL
21	ALUMINUM LETTERS, BRUSHED ALUMINUM FINISH
23	DECORATIVE MESH IN GROUND FLOOR
24	1 1/2" WIDE REVEAL
25	ARTISTIC MURAL, STUCCO, CUSTOM COLOR (PAINT 5) WITH ARTWORK IN WHITE (PAINT-1)
26	EXTERIOR METAL DOOR, WHITE PAINT
27	SCULPTURAL WALL RELIEF, COMBINING PAINT - 2 AND PAINT - 3 FINISH
28	DECORATIVE STUCCO WALL MEDALLION, PAINT - 2 FINISH
29	WALL DECORATIVE MOLDING, PAINT -2 FINISH

## PAINT FINISH



PAINT - 1  
SHERWIN WILLIAMS, "WHITE SNOW"  
SW-9541  
WITH SMOOTH STUCCO TEXTURE



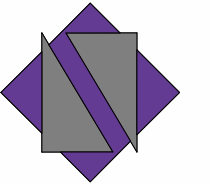
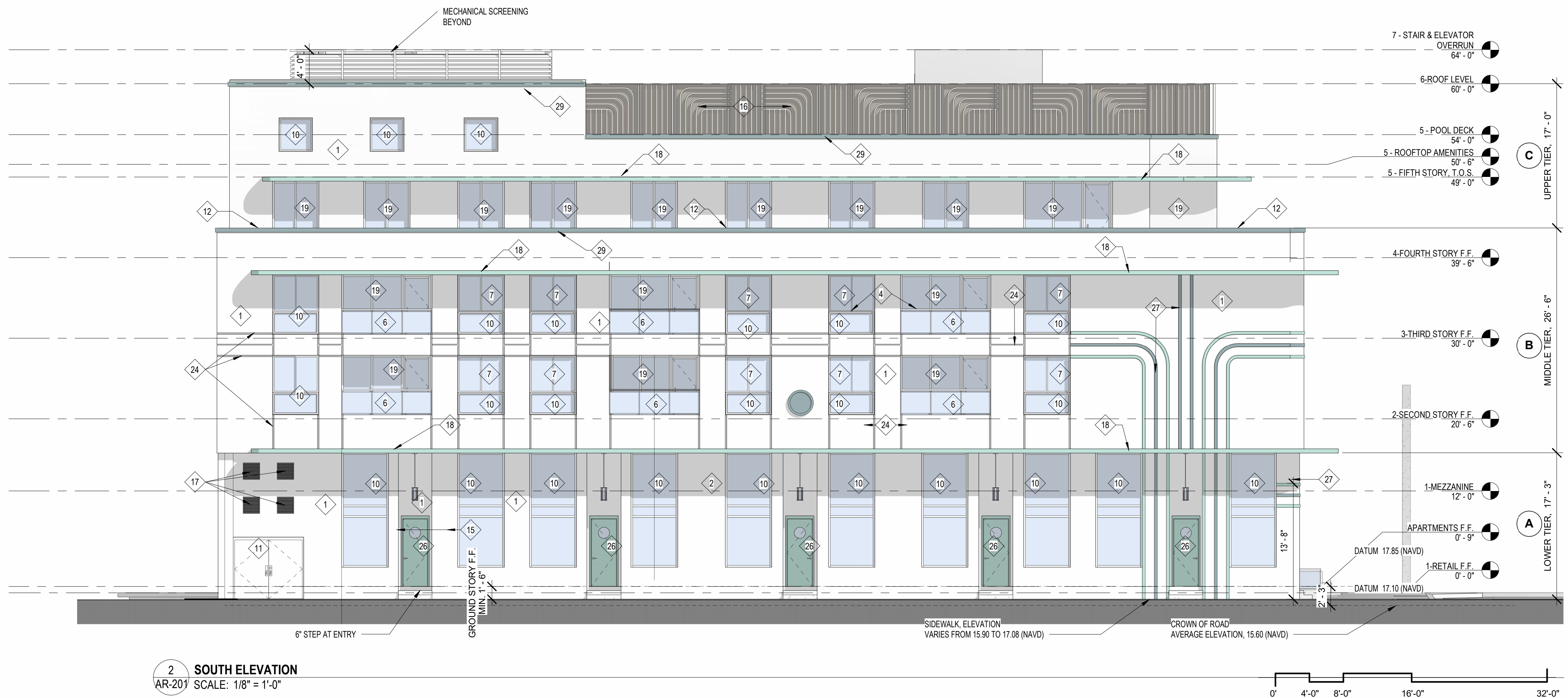
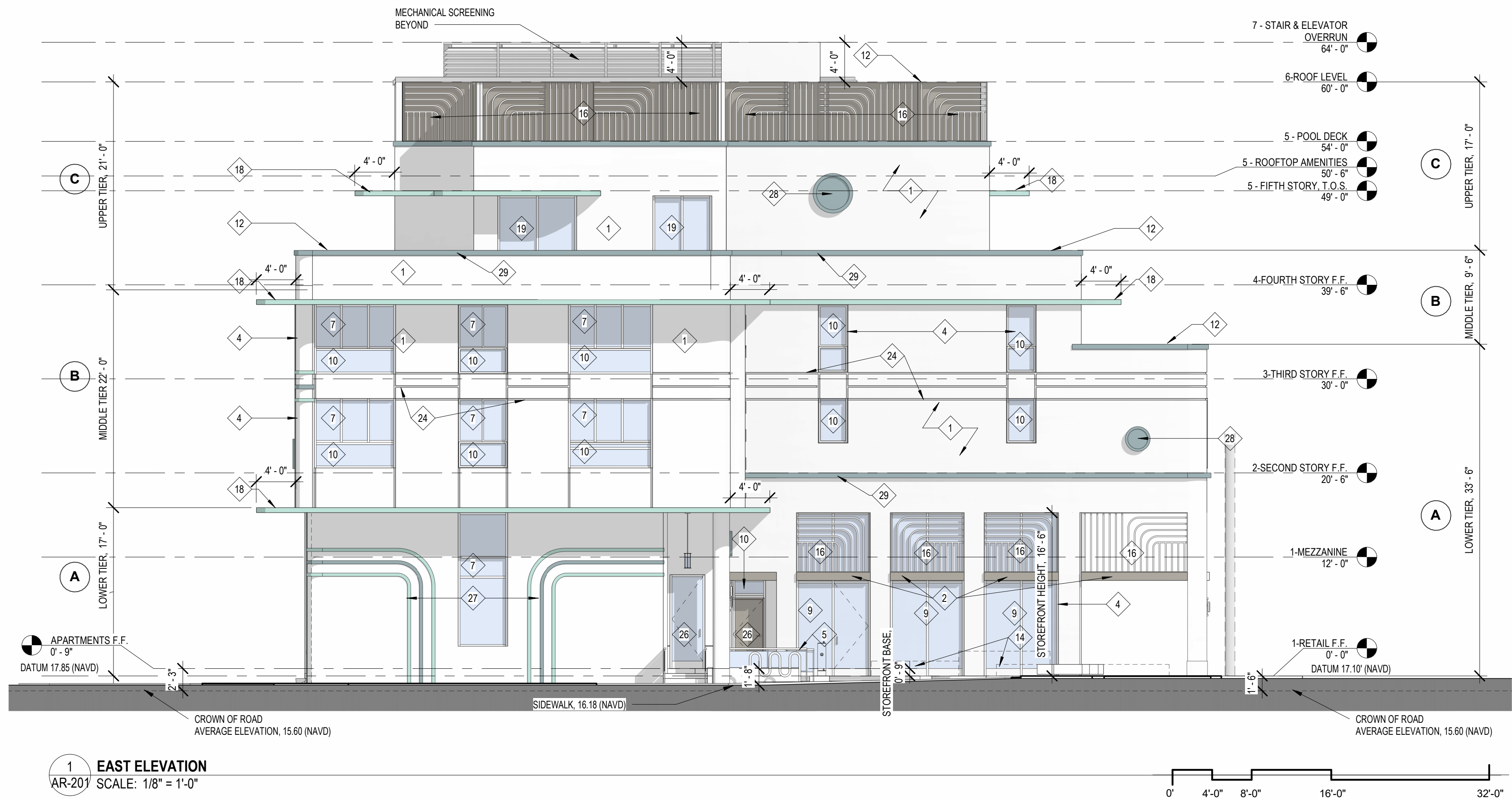
PAINT - 6  
SHERWIN WILLIAMS  
"DORIAN GRAY"  
RGB: 172-167-158  
HEX: #ACA79E

PAINT - 2  
SHERWIN WILLIAMS  
"INTERESTING AQUA"  
SW 6220

PAINT - 3  
SHERWIN WILLIAMS  
"WATERFALL"  
SW 6750

PAINT - 4  
SHERWIN WILLIAMS  
"IRON ORE"  
SW 7069

PAINT - 5  
CUSTOM  
CMYB: 70-48-33-7  
RGB: 88-115-138  
HEX: #58736A



NETTA ARCHITECTS

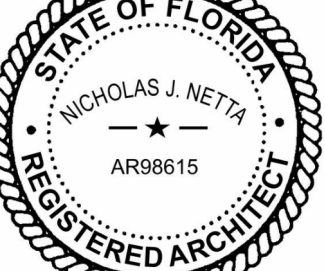
621 NW 53rd Street, Suite 270

Boca Raton, Florida 33487

(561) 295-4500

www.nettaarchitects.com

CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB

FL REGISTRATION No. AR98615

FRANCISCO J. MELENDEZ, SR., AIA

FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT.

FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

## SITE PLAN REVIEW SET

Submissions

## Revisions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION

DATE:

02-18-2024

DESIGNER:

M.A.

MODELED:

C.C.

CHECKED:

M.F. / F.J.M.

NETTA PROJECT #:

2211652\_FL

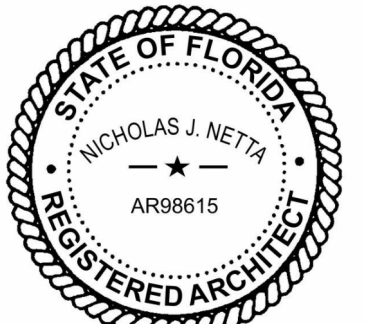
Drawing title

BUILDING  
ELEVATIONS

Drawing no.

AR-201





NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT.  
 CISCO J. MELENDEZ SR. ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

## SITE PLAN REVIEW SET

## Submissions

Revisions		
	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
4	01-08-2025	TAC 4 REVISION

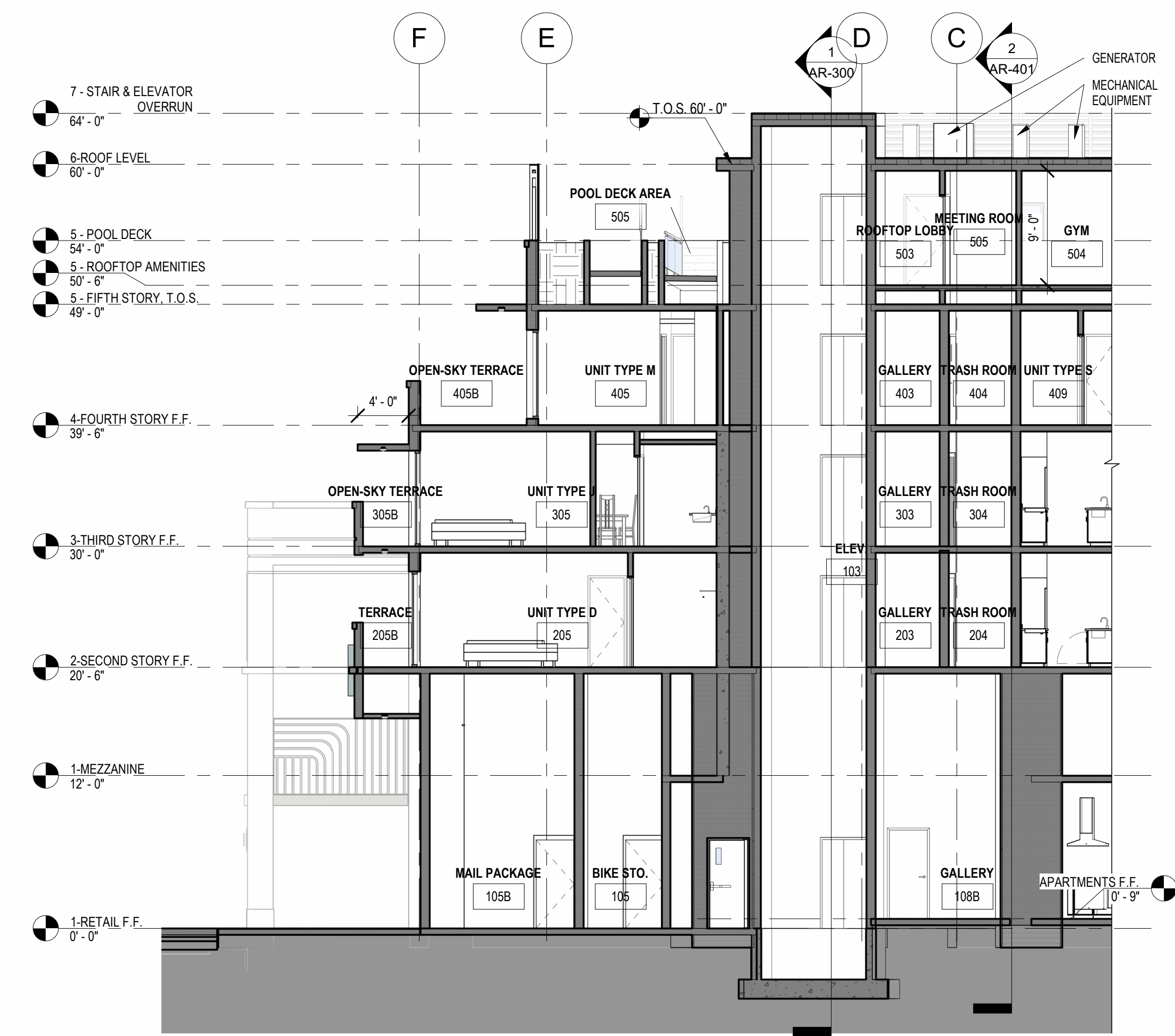
DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F./F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title

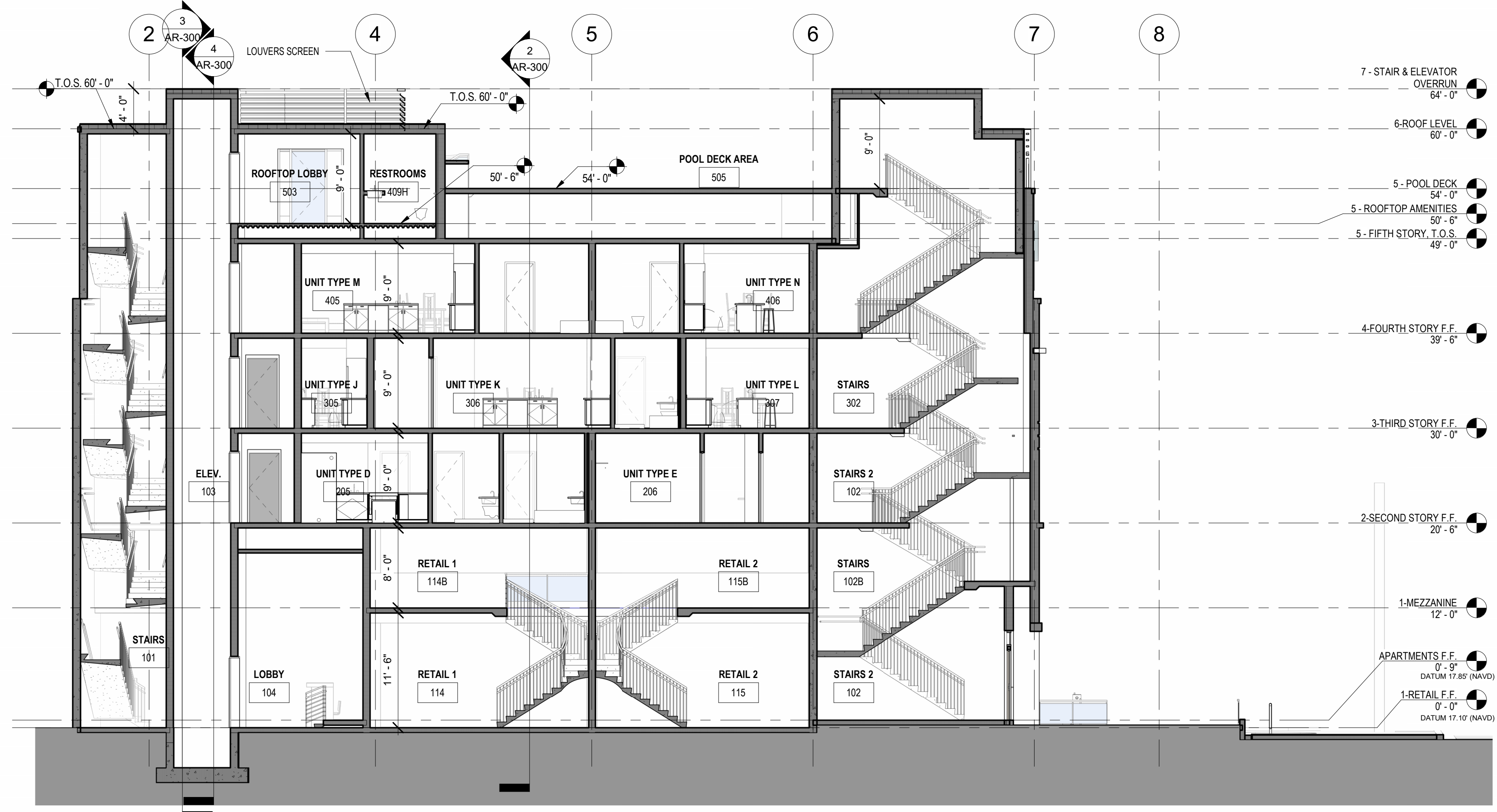
## BUILDING SECTIONS

Drawing no.

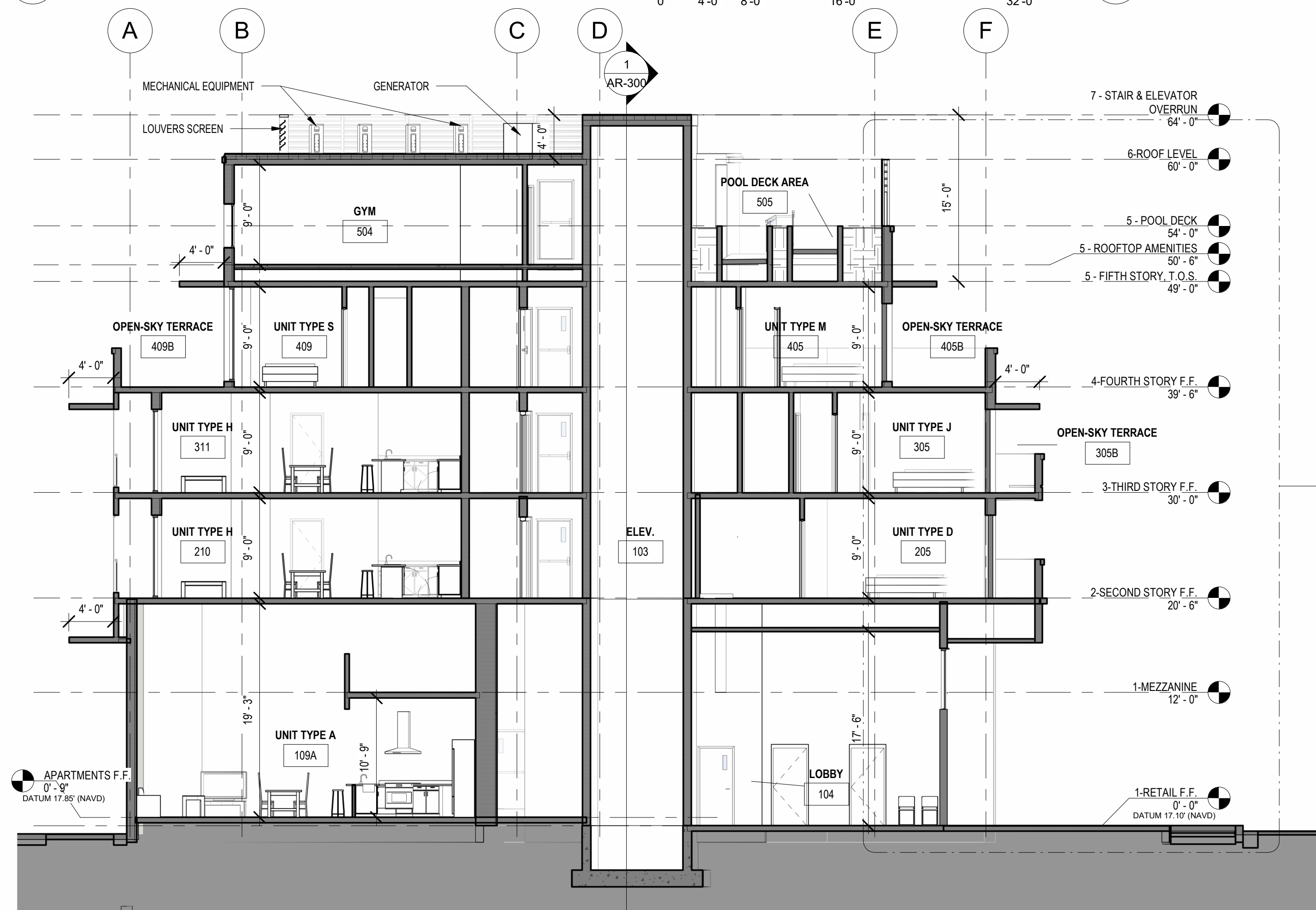
AR-300



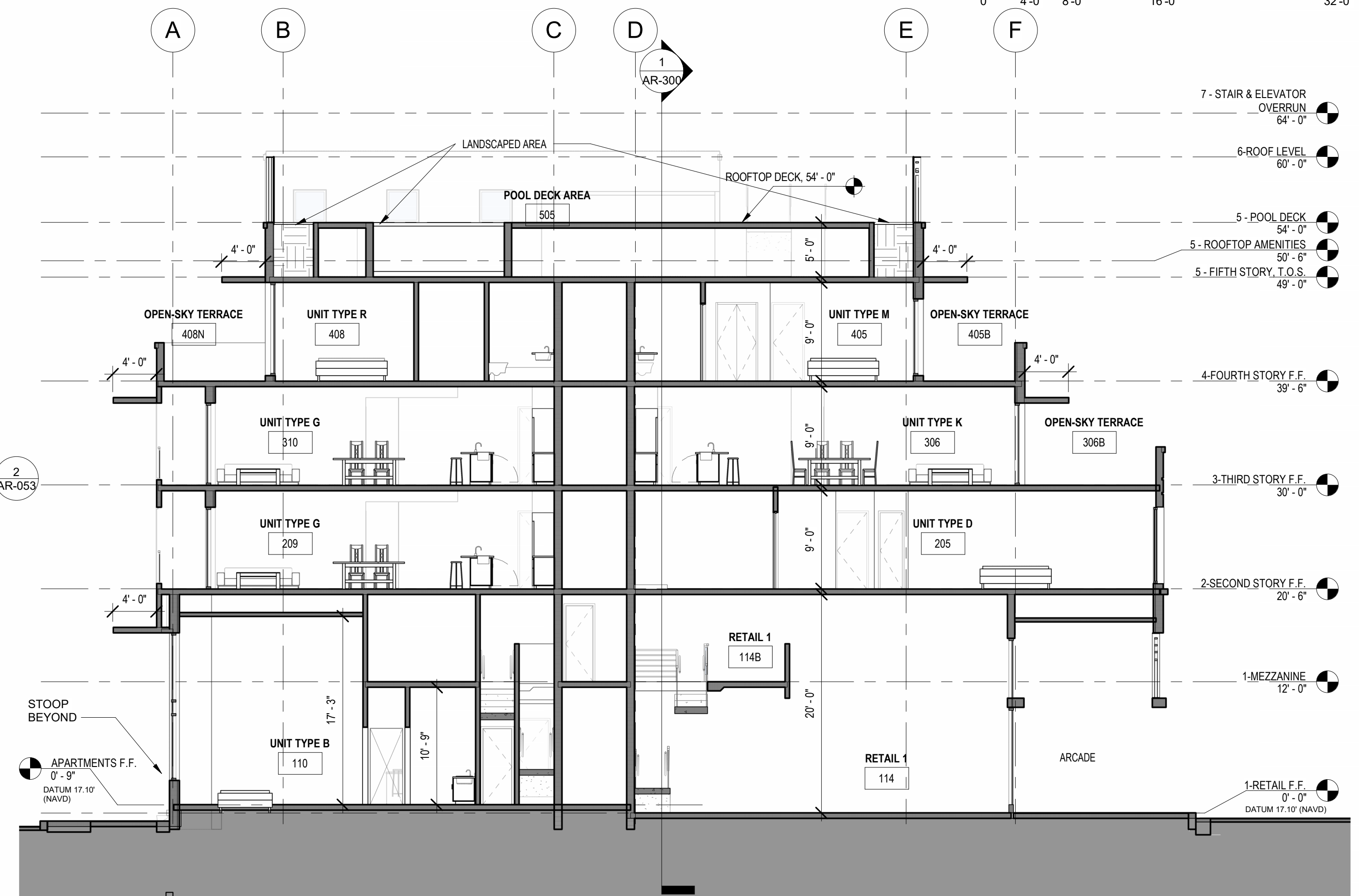
3 Section 1  
AR-300 SCALE: 1/8" = 1'-0"



1 SECTION EAST-WEST  
AR-300 SCALE: 1/8" = 1'-0"

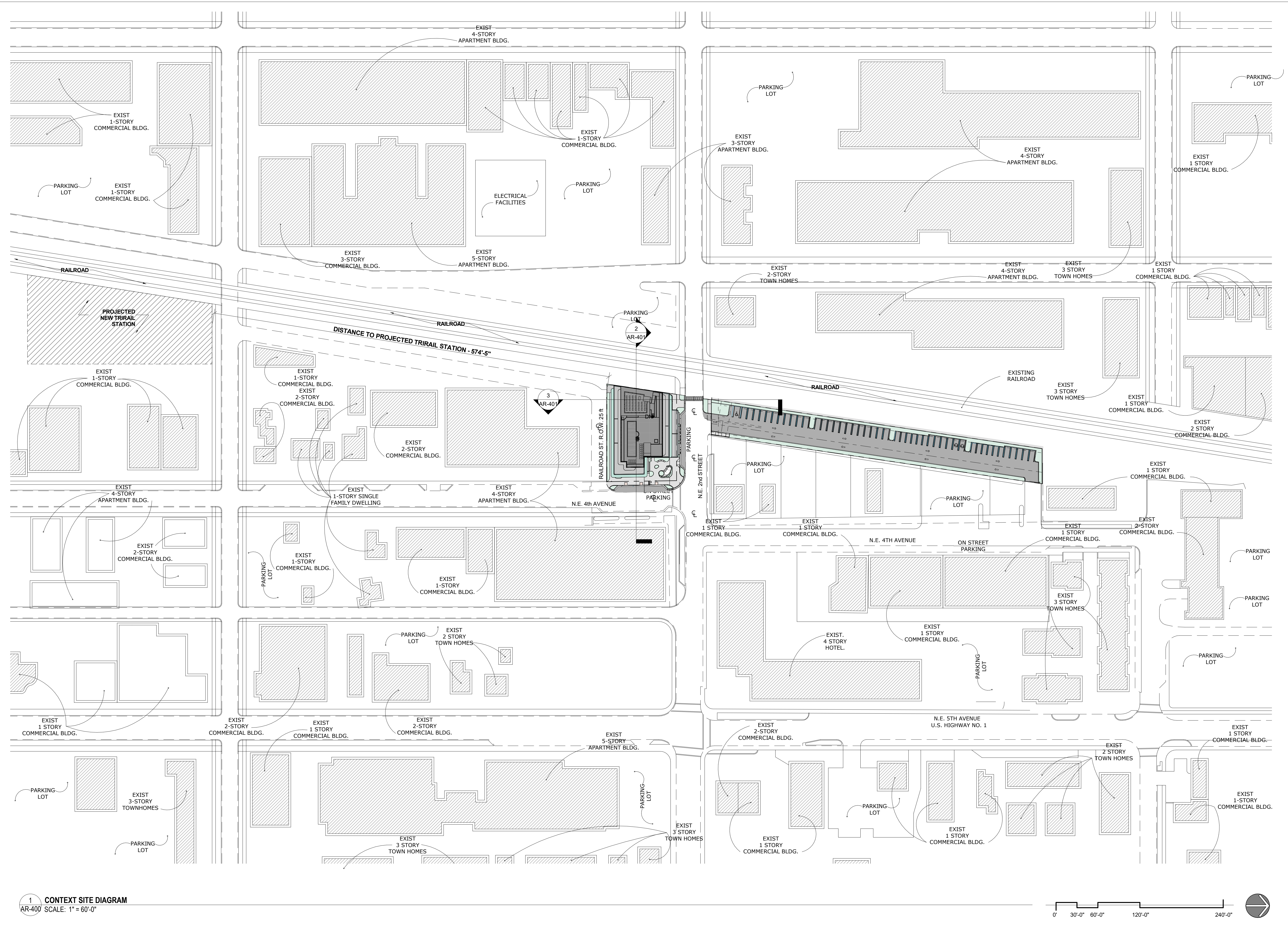


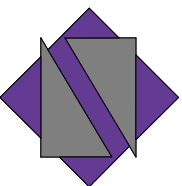
4 SECTION NORTH-SOUTH (EAST)2  
AR-300 SCALE: 1/8" = 1'-0"



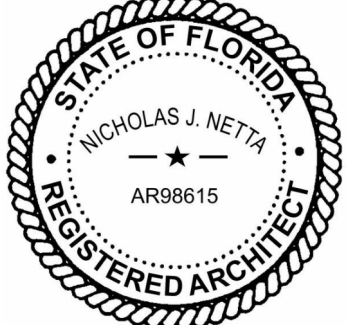
2 SECTION NORTH-SOUTH (EAST)  
AR-300 SCALE: 1/8" = 1'-0"







**NETTA ARCHITECTS**  
621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR88615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT.

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

**THE MAXWELL**

306 NE 2nd STREET, DELRAY BEACH, FL

**SITE PLAN REVIEW SET**

Submissions

Revisions		
No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F. / F.J.M.
NETTA PROJECT #:	2211652_FL

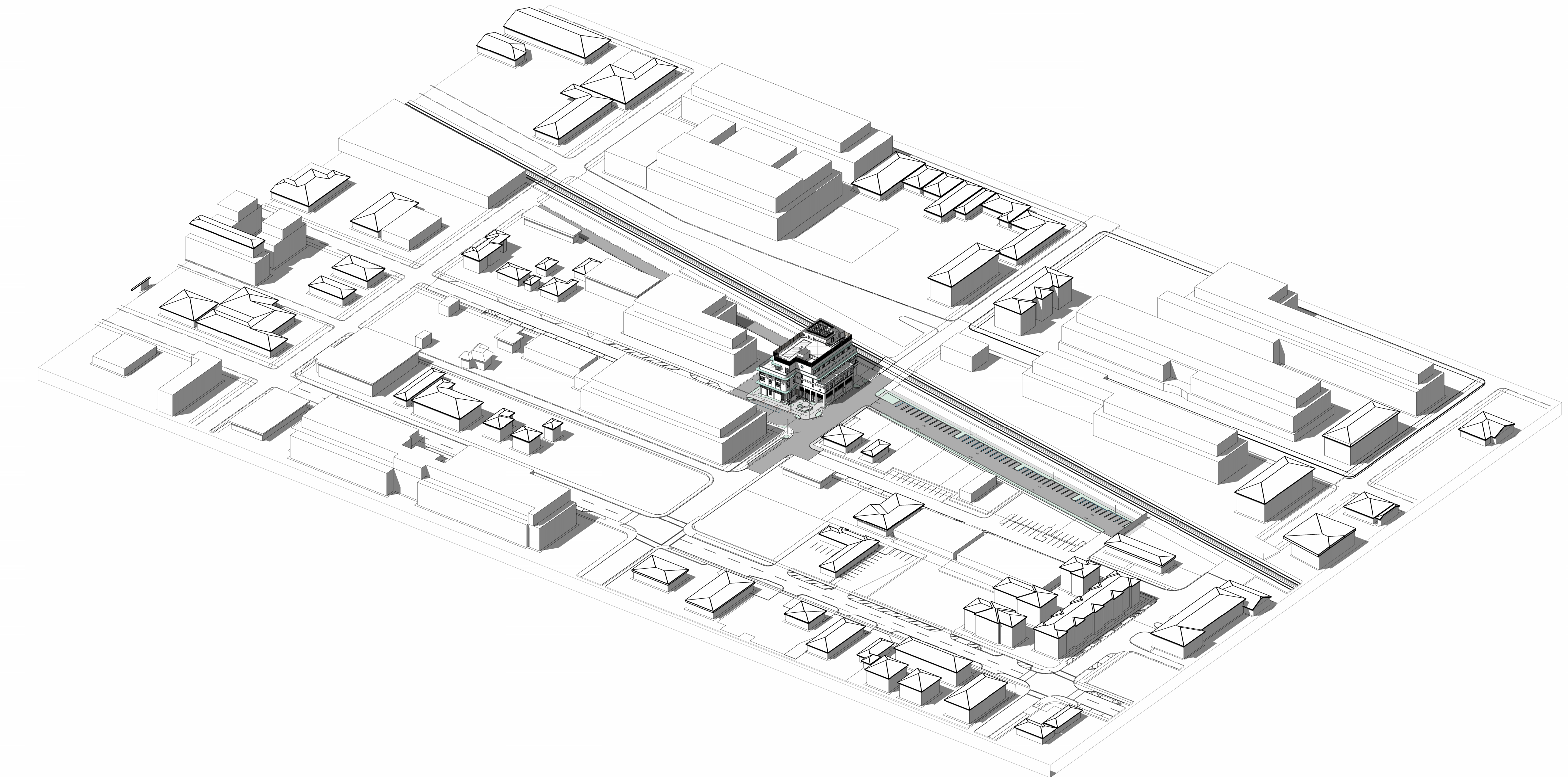
Drawing title

**CONTEXT SITE DIAGRAM**

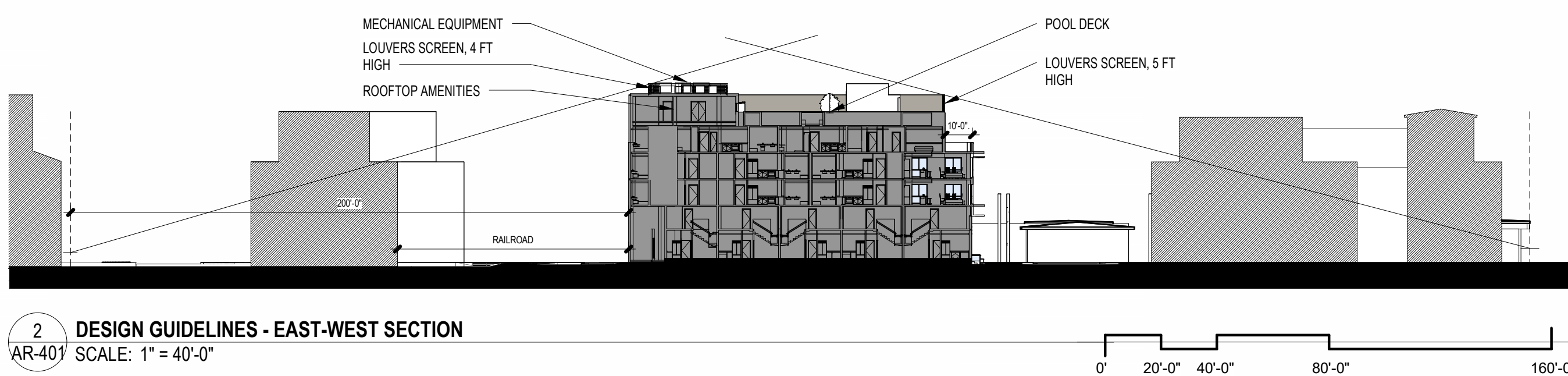
Drawing no.

**AR-400**

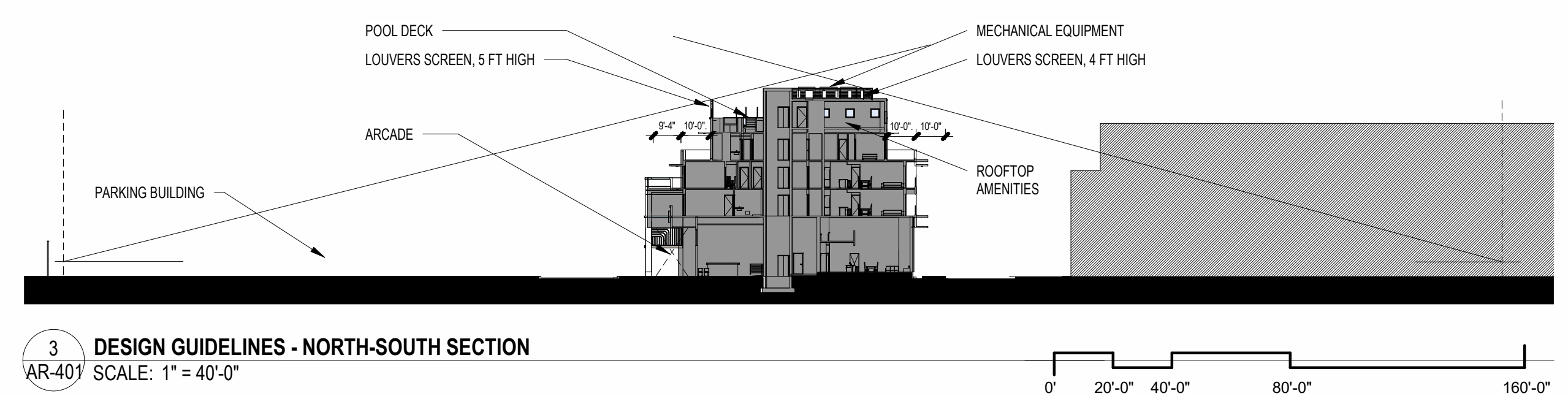




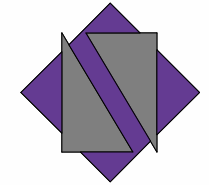
1 CONTEXT SITE DIAGRAM - ISOMETRIC VIEW  
AR-401 SCALE:



2 DESIGN GUIDELINES - EAST-WEST SECTION  
AR-401 SCALE: 1" = 40'-0"

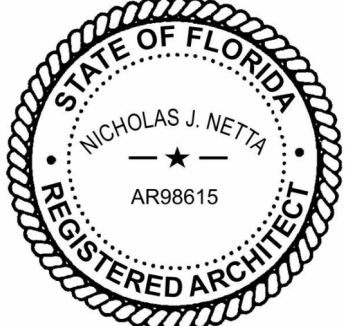


3 DESIGN GUIDELINES - NORTH-SOUTH SECTION  
AR-401 SCALE: 1" = 40'-0"



NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M1800001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98815  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
4	01-08-2025	TAC 4 REVISION

DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F. / F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title

CONTEXT SITE  
DIAGRAM

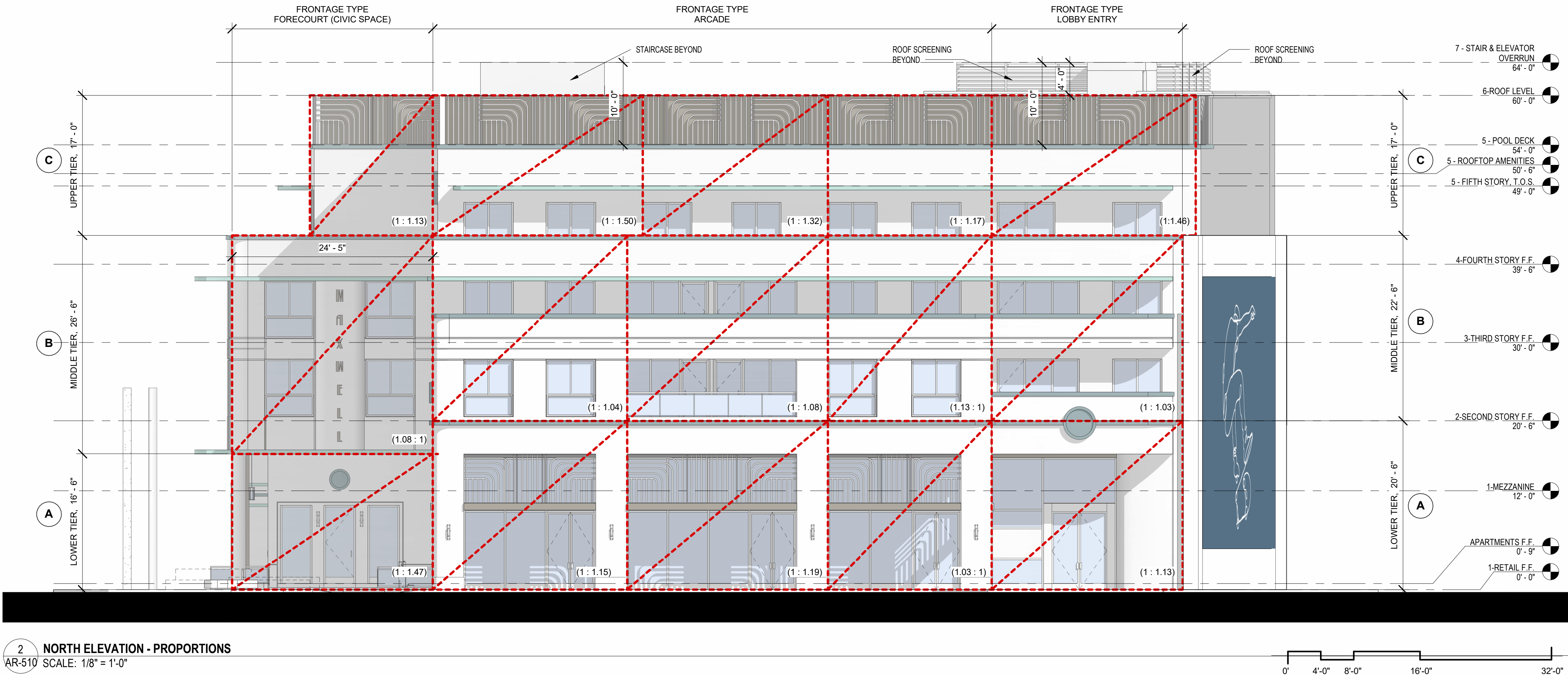
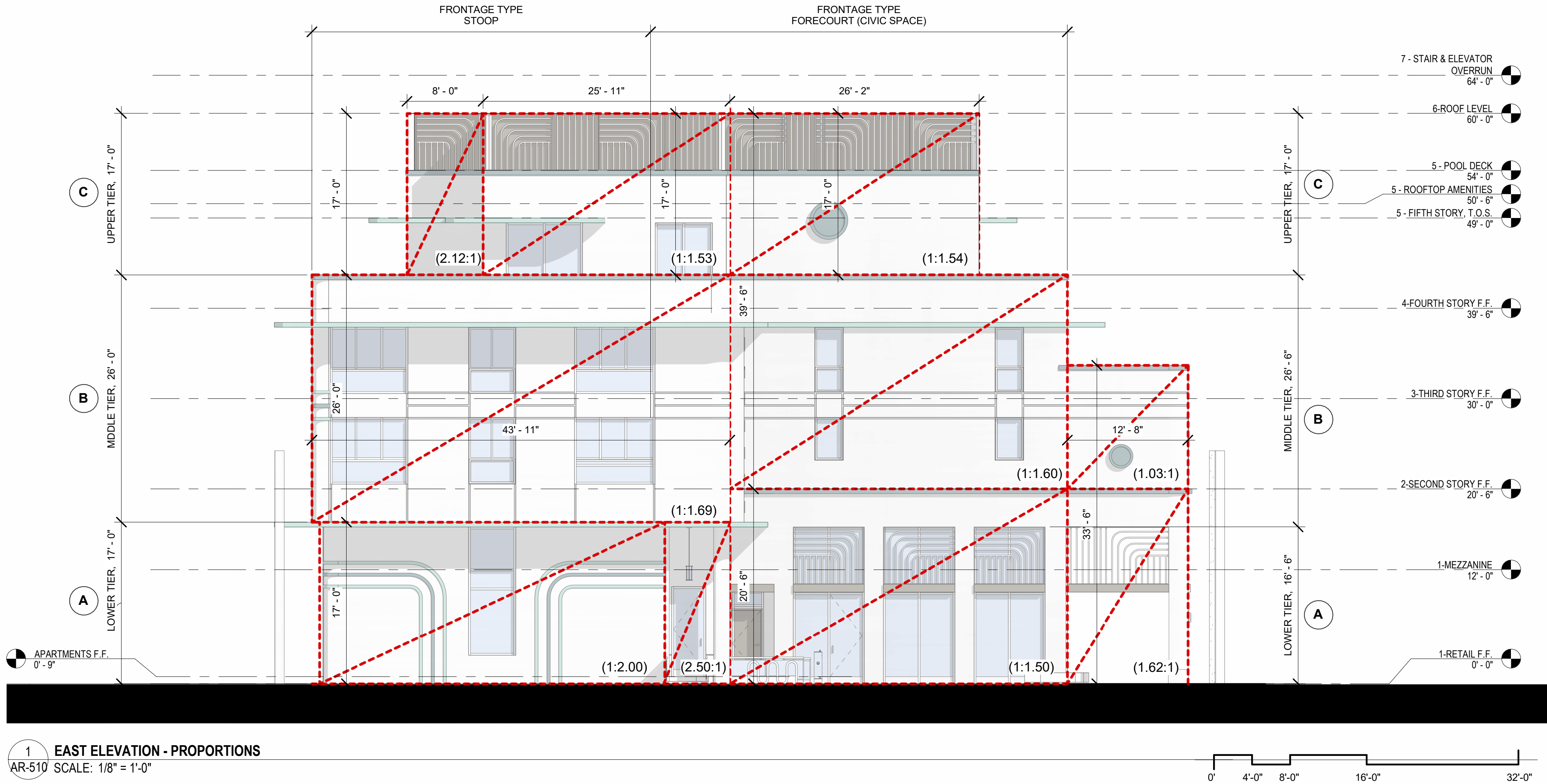
Drawing no.

AR-401



ART DECO STYLE	
DESIGN ELEMENTS LEGEND:	
TRIPARTITE COMPOSITION - UPPER TIER:	
C	- FLAT ROOF
	- ORNAMENTAL PARAPETS
	- CANTILEVERED MASONRY EYEBROWS
	- SMOOTH STUCCO FINISH
TRIPARTITE COMPOSITION - MIDDLE TIER:	
B	- METAL FRAMED WINDOWS
	- CANTILEVERED MASONRY EYEBROWS
	- SIMPLE GEOMETRIC STUCCO RELIEFS
	- ORNAMENTAL ACCENTS AT FACADE
	- INTEGRATED SIGNAGE WITH MODERN FONT TYPE
TRIPARTITE COMPOSITION - LOWER TIER:	
A	- METAL DOORS WITH LARGE GLASS OPENINGS
	- MASONRY STOOP LEADING TO ENTRANCE
	- GEOMETRIC STREAMLINED ORNAMENTS

FRONTAGE TYPES				
STOOP		TABLE 4.4.13(F)		
		MIN.	MAX.	PROV. 4th Ave.
A. BUILDING SETBACK		10 FT.	15 FT	11 FT 2 IN
B. DEPTH		5 FT.	8 FT	5 FT
C. WIDTH		4 FT.	-	4 FT
D. FLOOR ELEVATION		1 FT.	4 FT	1 FT
ALLOWABLE ENCROACHMENT		-	5 FT	0 FT
FORECOURT (CIVIC SPACE)		TABLE 4.4.13(H)		
		MIN.	MAX.	PROVIDED
A. BUILDING SETBACK		10 FT	15 FT	14 FT 5 IN.
B. DEPTH		10 FT	20 FT	20 FT
C. WIDTH		20 FT	50% FACADE	36 FT 4 IN (45%)
D. FLOOR ELEVATION		0 FT	3 FT	0 FT
ALLOWABLE ENCROACHMENT		N/A	N/A	
ARCADE		TABLE 4.4.13(J)		
		MIN.	MAX.	PROVIDED
A. BUILDING SETBACK		VARIES	15 FT	10 FT 8 IN.
B. ARCADE DEPTH		10 FT	20 FT	10 FT 8 IN.
C. ARCADE HEIGHT		10 FT	20 FT	16 FT 9 IN.
D. COLUMN / PILLAR TO FACE OF CURB		2 FT	5 FT	3 FT 4 IN.
E. COLUMN / PILLAR WIDTH AND DEPTH		1 FT	-	2 FT x 1 FT
F. MAXIMUM ALLOWABLE ENCROACHMENT.		VARIES	VARIES	12 FT
LOBBY ENTRY		TABLE 4.4.13(K)		
		MIN.	MAX.	PROVIDED
A. BUILDING SETBACK		10 FT	15 FT	15 FT
B. LOBBY ENTRY WIDTH		N/A	N/A	22 FT 9 IN.
C. OVERHANG / AWNING PROJECTION		N/A	20 FT	9 FT
D. COLUMNS, PILASTER, POSTS		N/A	5 FT	N/A
STOREFRONT		TABLE 4.4.13(L)		
		MIN.	MAX.	PROVIDED
A. BUILDING SETBACK		10 FT	15 FT	10 FT 8 IN.
B. STORE WIDTH		N/A	75 FT	67 FT
C. STOREFRONT BASE		9 IN	3 FT	9 IN
D. GLAZING HEIGHT + STOREFRONT BASE		8 FT	---	16 FT
E. REQUIRED OPENINGS		80 %	---	80.41 %
MAXIMUM ALLOWABLE ENCROACHMENT IN ALL DISTRICTS				
F. AWNING PROJECTION		5 FT	---	N/A
G. PROJECTING SIGN		N/A	3 FT	N/A





**NETTA ARCHITECTS**  
621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



02-18-2024

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR88615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions		
No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F./F.J.M.
NETTA PROJECT #:	2211652_FL

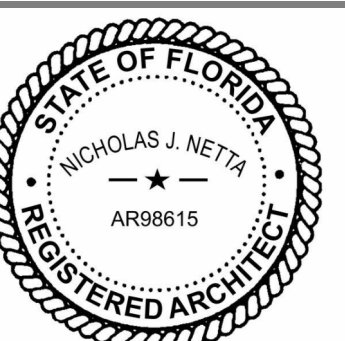
Drawing title

DESIGN GUIDELINES -  
FACADE  
PROPORTIONS

Drawing no.

AR-510





These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT.  
RANCISCO J. MELENDEZ SR. ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

## SITE PLAN REVIEW SET

## Submissions

## Revisions

No:	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION

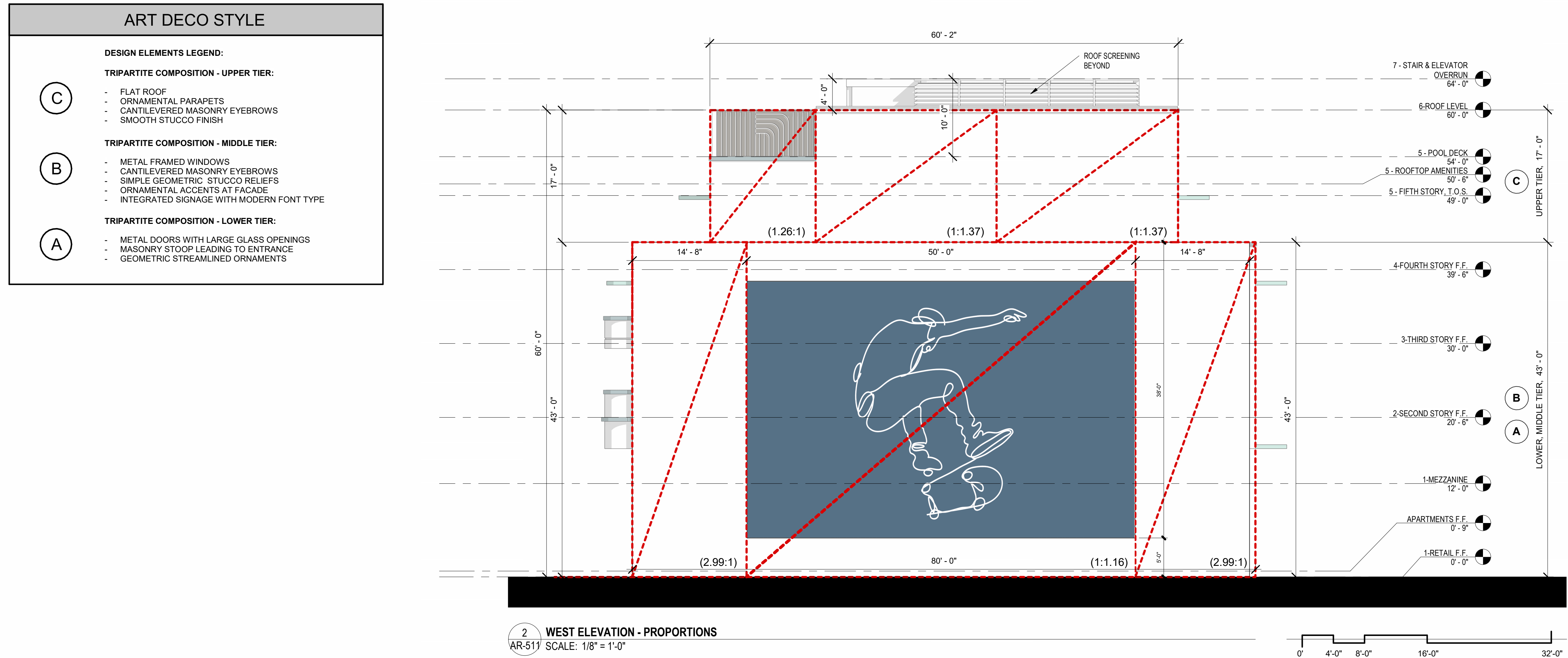
DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F./F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title

## DESIGN GUIDELINES - FACADE PROPORTIONS

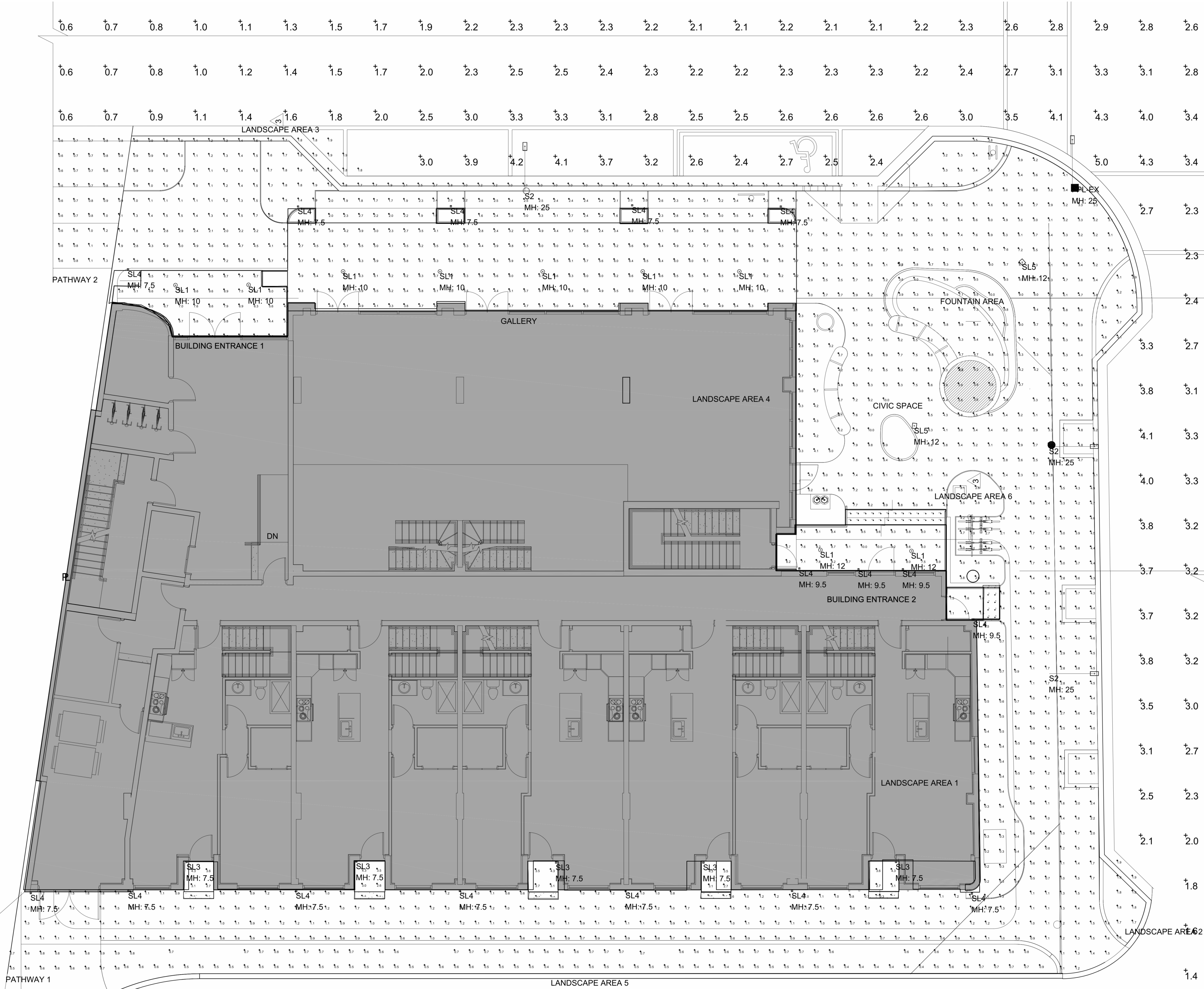
Drawing no.

AR-511

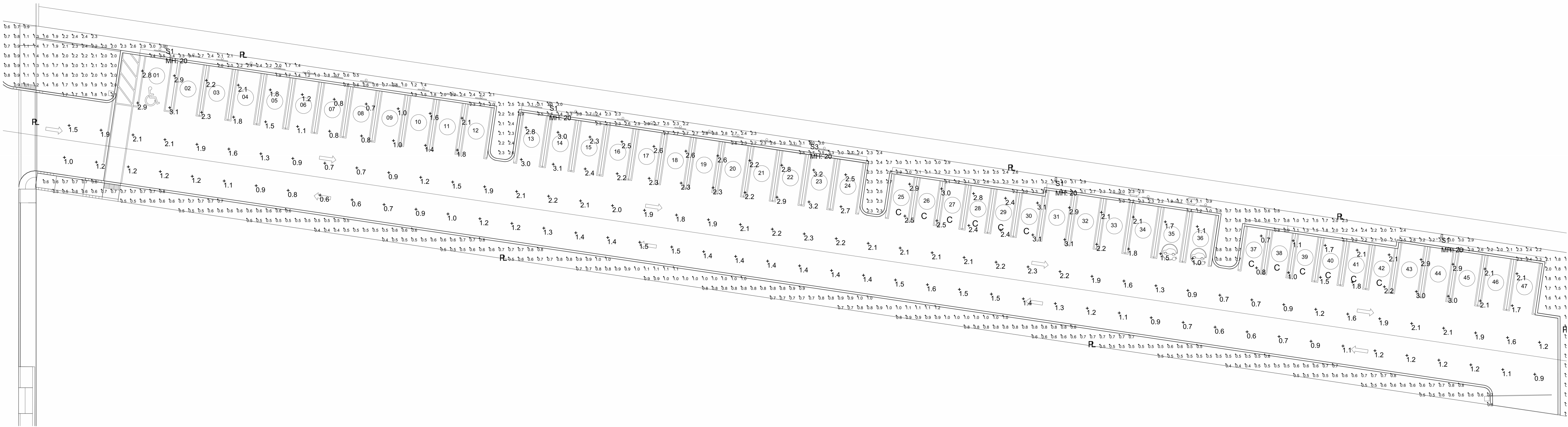




ILLUMINATION STANDARDS SECTION 4.6.8, TABLE 2				
OUTDOOR LIGHTING	Max Illumination (ft-candles)	Min Illumination (ft-candles)	Max/Min (ft-candles)	Average/Min (ft-candles)
BUILDINGS AND STRUCTURES				
Accent pathway	5.0 (2) (30fc bollards)	0.5	—	—
Building Entrance	10.0	1.0	—	3:1
Landscape Lighting	5.0	—	—	—
Canopies, Drive-Thru and Overhangs	30.0	3.0	10:1	2.5:1
PARKING LOTS				
Multi-Family Residential	4.0	0.3	13:1	—
Commercial and Industrial	12.0	1.0	12:1	3:1
PARKING GARAGES / STRUCTURES				
Parking Area	10	1.0	10:1	4:1
Ramps - Day	20	2.0	10:1	—
Ramps - Night	10	1.0	10:1	—
Entrance Area - Day	500	50	10:1	—
Entrance Area - Night	10	1.0	10:1	—
Stairways	5.0	2.0	10:1	—
Other Lighting Types				
Outdoor Display other than Vehicle Sales and Rental	15 (1)	1.0	15:1	4:1
NOTES:				
1. The first row closest to public rights-of-way of display outdoor sales may be increases to a max of 20 foot candles.				
2. Fully shielded bollards not greater than 42 inches in height may be permitted up to a max of 20 foot candles.				
3. The values for entrance area only applies to the first 66 feet inside the structure as it is needed to effect a transition from bright daylight to lower internal levels.				



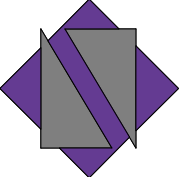




Photometrics Calculation Software Generated Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
	4	S1	Single	12885	12885	0.900	108	108
	1	S3	Single	12885	12885	0.900	108	108

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
LANDSCAPE AREA	Illuminance	Fc	1.49	3.7	0.4	3.73	9.25	
PARKING LOT	Illuminance	Fc	1.76	3.2	0.6	2.93	5.33	

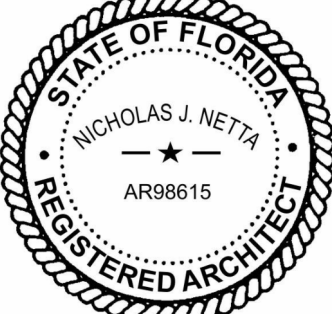
THE MAXWELL											
LIGHTING FIXTURE SCHEDULE											
TYPE	DESCRIPTION	MANF	CATALOG NUMBER	VOLT	LAMP COLOR	LUMENS	LAMP TYPE	DIM TYPE	WATTS	MOUNTING	NOTES
SL1	DOWNLIGHT LED CYLINDER	HALO	HCC6S10D010-FINISH-WPN / HMC0525830 / 61WD-FINISH	UNV	3000K	1030	LED	0-10V	9.9W	SURFACE	
SL2B	BOLLARD	LIGMAN	UPRA-10011-14W-T4-W30-FINISH-12027TV	UNV	3000K	1660	LED	0-10V	14W	SURFACE	
SL2BE	BOLLARD ON INVERTER	LIGMAN	UPRA-10011-14W-T4-W30-FINISH-12027TV	UNV	3000K	1660	LED	0-10V	14W	SURFACE	
SL3	WALL SCONCE	LIGMAN	UGI-31621-6W-T3-W30-FINISH-12027TV	UNV	3000K	305	LED	0-10V	6W	SURFACE	
SL4	WALL SCONCE	KICHLER	59113BKT - 10FA19DM/930 GREENCREATIVE	120	3000K	1334	LED	PHASE	9W	SURFACE	
SL5	LIGHT LINEAR	LIGMAN	ULJ-21241-55W-T4-W30-FINISH-12-12027TV	UNV	3000K	4828	LED	0-10V	54W	12' POLE	
SL5B	LIGHT LINEAR	LIGMAN	ULJ-21241-55W-TW-W30-FINISH-12-12027TV	UNV	3000K	4828	LED	0-10V	54W	12' POLE	
SL6	WALL SCONCE	LIGMAN	UGI-31641-10W-T4-W30-FINISH-12027TV	UNV	3000K	820	LED	0-10V	10W	SURFACE	
SL6E	WALL SCONCE ON INVERTER	LIGMAN	UGI-31641-10W-T4-W30-FINISH-12027TV	UNV	3000K	820	LED	0-10V	10W	SURFACE	
SL7E-A	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-20011-3X21W-M-W30-FINISH-12027TV (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	13' COLUMN	
SL7E-B	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-20011-3X21W-M-W30-FINISH-12027TV (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	13' COLUMN	
S1	LED SITE ILLUMINAIRE ON EXISTING POLE	MCGRAW-EDISON	GALN-SA2C-730-U-T4W-FINISH-MA1036-XX	UNV	3000K	12885	LED	0-10V	108W	20' POLE	1
S2	LED SITE ILLUMINAIRE	LUMARK	NAV-SA2B-730-U-SL2-FINISH-MA1010-XX	UNV	3000K	10440	LED	0-10V	85W	POLE	2
S3	LED SITE ILLUMINAIRE ON NEW POLE	MCGRAW-EDISON	GALN-SA2C-730-U-T4W-FINISH-MA1036-XX	UNV	3000K	12885	LED	0-10V	108W	20' POLE	3
FIXTURE SCHEDULE NOTES											
NOTE 1: FIXTURES MOUNTED ON 20' EXISTING POLE											
NOTE 2: FIXTURES MOUNTED @ 25' ON EXISTING POLE											
NOTE 3: FIXTURES MOUNTED @ 20' ON VALMONT NEW POLE 1908-3050ATE-P2-COOPER FINISH											
FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT QUOTATIONS@LIGHTINGDYNAMICS.COM, (954) 944-0286											



NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com

CERTIFICATE OF AUTHENTICATION M1800001650



02-18-2024

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98815

FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No: 2

DATE: 05-18-2024

DESCRIPTION: TAC 2 REVISION

DATE: 02-18-2024

DESIGNER: M.A.

MODELED: C.C.

CHECKED: M.F / F.J.M.

NETTA PROJECT #: 2211652\_FL

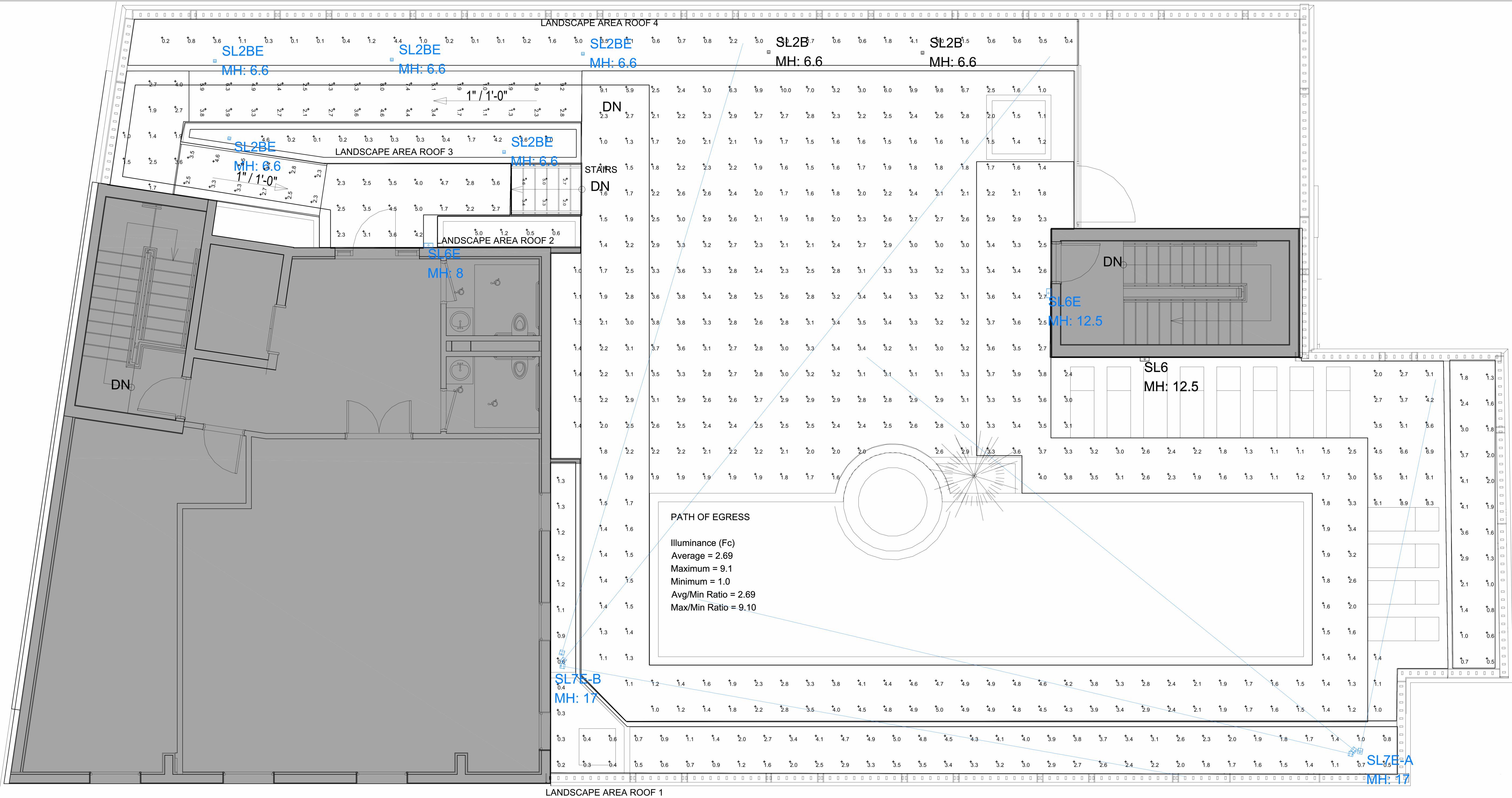
Drawing title

DESIGN GUIDELINES -  
PHOTOMETRIC P. -  
PARKING AREA

Drawing no.

AR-521





Photometrics Calculation Software Generated Luminaire Schedule								
Scenario: NORMAL MODE								
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
	2	SL2B	Single	539	539	0.900	8	8
	5	SL2BE	Single	539	539	0.900	8	8
	1	SL6	Single	761	761	0.900	10.2	10.2
	2	SL6E	Single	761	761	0.900	10.2	10.2
	1	SL7E-A	GROUP	N.A.	5997	0.900	N.A.	63
	1	SL7E-B	GROUP	N.A.	5997	0.900	N.A.	63

Calculation Summary								
Scenario: NORMAL MODE								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
LANDSCAPE AREA ROOF 1	Illuminance	Fc	2.06	5.0	0.2	10.30	25.00	
LANDSCAPE AREA ROOF 2	Illuminance	Fc	1.83	5.0	0.5	3.66	10.00	
LANDSCAPE AREA ROOF 3	Illuminance	Fc	1.41	4.6	0.1	14.10	46.00	
LANDSCAPE AREA ROOF 4	Illuminance	Fc	1.55	5.0	0.1	15.50	50.00	
POOL DECK	Illuminance	Fc	2.77	10.0	1.0	2.77	10.00	
PATH OF EGRESS	Illuminance	Fc	2.69	9.1	1.0	2.69	9.10	
STAIRS	Illuminance	Fc	3.50	5.0	2.0	1.75	2.50	

**NOTE:**  
ALL PROPOSED LIGHTING FIXTURES WILL BE CUT-OFF LUMINAIRES, NOT EXTENDING BEYOND THE HEIGHT OF THE BUILDING

Scene/Channel Summary			
Scene: EM MODE			
Channel	Switched	Dimming	# Lums
SL2B	Off	1.00	2
SL2BE	On	1.00	5
SL6	Off	1.00	1
SL6E	On	1.00	2
SL7E-A	On	1.00	1
SL7E-B	On	1.00	1

THE MAXWELL											
LIGHTING FIXTURE SCHEDULE											
TYPE	DESCRIPTION	MANF	CATALOG NUMBER	VOLT	LAMP COLOR	LUMENS	LAMP TYPE	DM TYPE	WATTS	MOUNTING	NOTES
SL1	DOWNLIGHT LED CYLINDER	HALO	HCC65100D15-FINISH-WPH / HMC0525830 / 61WVD-FINISH	UNV	3000K	1030	LED	0-10V	9.9W	SURFACE	
SL2B	BOLLARD	LIGMAN	UPRA-10001-8W-TS-V30-FINISH-120277V	UNV	3000K	539	LED	0-10V	8W	SURFACE	
SL2BE	BOLLARD ON INVERTER	LIGMAN	UPRA-10001-8W-TS-V30-FINISH-120277V	UNV	3000K	539	LED	0-10V	8W	SURFACE	
SL3	WALL SCONCE	LIGMAN	UGI31621-8W-TS-V30-FINISH-120277V	UNV	3000K	305	LED	0-10V	8W	SURFACE	
SL4	WALL SCONCE	KICHLER	SP113BK1 - 10FA160M/930 GREENCREATIVE	120	3000K	1334	LED	PHASE	9W	SURFACE	
SL5	LIGHT LINEAR	LIGMAN	ULJ21241-55W-T4-W30-FINISH-12-120277V	UNV	3000K	4838	LED	0-10V	54W	12' POLE	
SL5B	LIGHT LINEAR	LIGMAN	ULJ21241-55W-T4-W30-FINISH-12-120277V	UNV	3000K	4838	LED	0-10V	54W	12' POLE	
SL6	WALL SCONCE	LIGMAN	UGI31641-10W-T4-W30-FINISH-120277V	UNV	3000K	820	LED	0-10V	10W	SURFACE	
SL6E	WALL SCONCE ON INVERTER	LIGMAN	UGI31641-10W-T4-W30-FINISH-120277V	UNV	3000K	820	LED	0-10V	10W	SURFACE	
SL7E-A	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-30011-3021VM-W30-FINISH-120277V (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	12' COLUMN	
SL7E-B	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-30011-3021VM-W30-FINISH-120277V (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	12' COLUMN	
S1	LED SITE LUMINAIRE ON EXISTING POLE	MCGRAW-EDISON	GALN-SAC2-730-U-16W-FINISH-MA1036-XX	UNV	3000K	12885	LED	0-10V	108W	20' POLE	1
S2	LED SITE LUMINAIRE	LUMARK	NAV-SAC2B-730-U-SL2-FINISH-MA1010-XX	UNV	3000K	10440	LED	0-10V	88W	POLE	2
S3	LED SITE LUMINAIRE ON NEW POLE	MCGRAW-EDISON	GALN-SAC2-730-U-16W-FINISH-MA1036-XX	UNV	3000K	12885	LED	0-10V	108W	20' POLE	3
FIXTURE SCHEDULE NOTES											
NOTE 1: FIXTURES MOUNTED ON 20' EXISTING POLE											
NOTE 2: FIXTURES MOUNTED @ 25' ON EXISTING POLE											
NOTE 3: FIXTURES MOUNTED @ 20' ON VALMONT NEW POLE 1908-3004TE-P2-COOPER FINISH											
FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT QUOTATIONS@LIGHTINGDYNAMICS.COM, (954) 944-6286											



# NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



02-18-2024

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR88615  
FRANCISCO J. MELENDEZ SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions		
No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
4	01-08-2025	TAC 4 REVISION
5	03-19-2025	TAC 5 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F / F.J.M.
NETTA PROJECT #:	2211652_FL

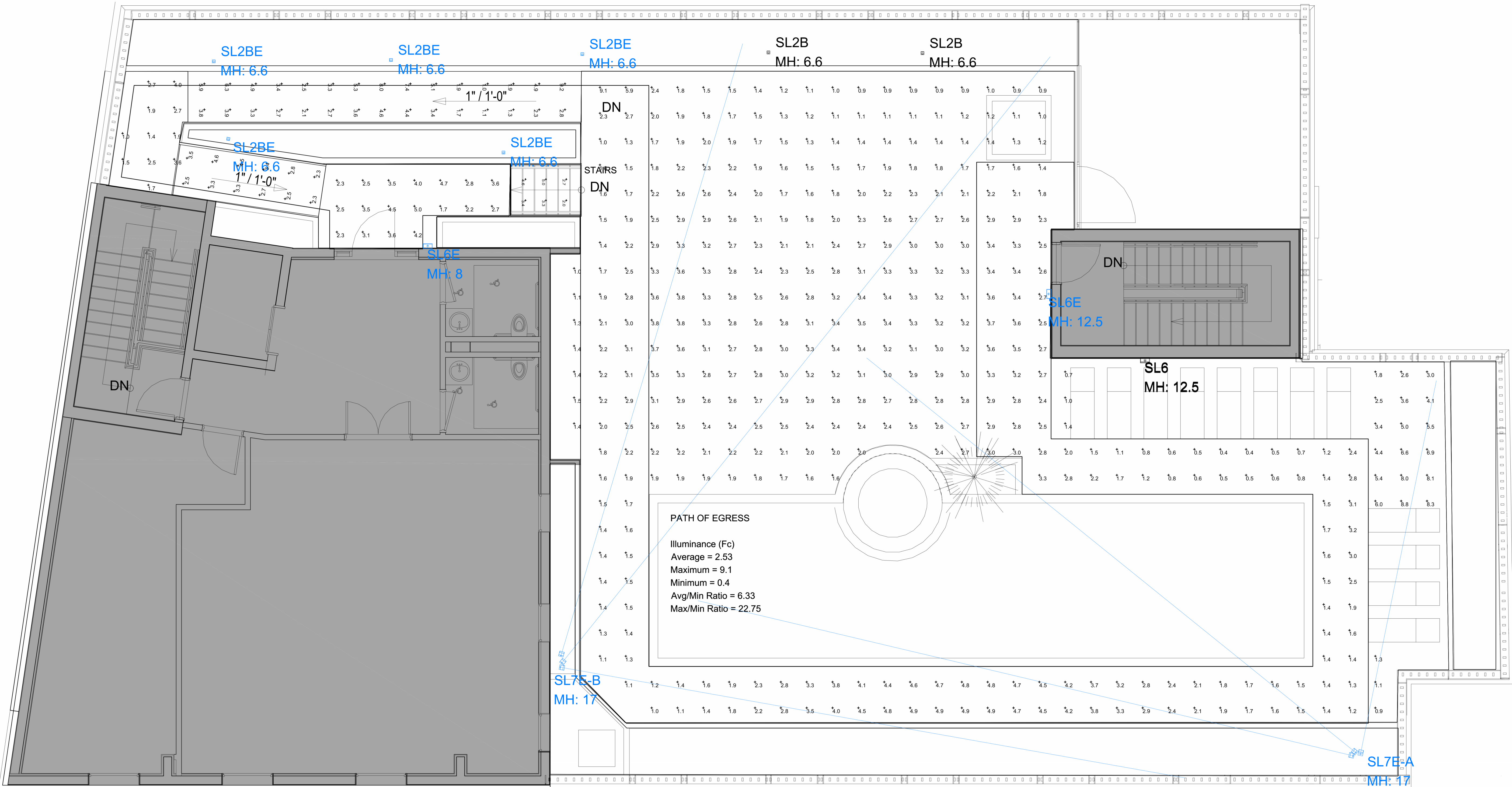
Drawing title

DESIGN GUIDELINES -  
PHOTOMETRIC P. -  
ROOFTOP

Drawing no.

AR-522





Photometrics Calculation Software Generated Luminaire Schedule								
Scenario: EM MODE								
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
	2	SL2B	Single	539	539	0.900	8	8
	5	SL2BE	Single	539	539	0.900	8	8
	1	SL6	Single	761	761	0.900	10.2	10.2
	2	SL6E	Single	761	761	0.900	10.2	10.2
	1	SL7E-A	GROUP	N.A.	5997	0.900	N.A.	63
	1	SL7E-B	GROUP	N.A.	5997	0.900	N.A.	63

Calculation Summary								
Scenario: EM MODE								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
POOL DECK	Illuminance	Fc	2.45	9.1	0.4	6.13	22.75	
PATH OF EGRESS	Illuminance	Fc	2.53	9.1	0.4	6.33	22.75	
STAIRS	Illuminance	Fc	3.50	5.0	2.0	1.75	2.50	

**NOTE:**  
ALL PROPOSED LIGHTING FIXTURES WILL BE CUT-OFF LUMINAIRES, NOT EXTENDING BEYOND THE HEIGHT OF THE BUILDING

Scene/Channel Summary			
Scene: EM MODE			
Channel	Switched	Dimming	# Lums
SL2B	Off	1.00	2
SL2BE	On	1.00	5
SL6	Off	1.00	1
SL6E	On	1.00	2
SL7E-A	On	1.00	1
SL7E-B	On	1.00	1

THE MAXWELL											
LIGHTING FIXTURE SCHEDULE											
TYPE	DESCRIPTION	MANF	CATALOG NUMBER	VOLT	LAMP COLOR	LUMENS	LAMP TYPE	DM TYPE	WATTS	MOUNTING	NOTES
SL1	DOWNLIGHT LED CYLINDER	HALO	HC085100010-FINISH-WP/N / HMC0025580 / 81WGD-FINISH	UNV	3000K	1030	LED	0-10V	9.9W	SURFACE	
SL2B	BOLLARD	LIGMAN	UPRA-10001-8W-T3-W30-FINISH-12027TV	UNV	3000K	529	LED	0-10V	8W	SURFACE	
SL2BE	BOLLARD ON INVERTER	LIGMAN	UPRA-10001-8W-T3-W30-FINISH-12027TV	UNV	3000K	529	LED	0-10V	8W	SURFACE	
SL3	WALL SCONCE	LIGMAN	UG31621-6W-T3-W30-FINISH-12027TV	UNV	3000K	305	LED	0-10V	6W	SURFACE	
SL4	WALL SCONCE	KICHLER	99113BK1 - 10FA180M900 GREENCREATIVE	120	3000K	1334	LED	PHASE	8W	SURFACE	
SL5	LIGHT LINEAR	LIGMAN	LU-21241-55W-T4-W30-FINISH-12-12027TV	UNV	3000K	4828	LED	0-10V	54W	12' POLE	
SL5B	LIGHT LINEAR	LIGMAN	LU-21241-55W-T4-W30-FINISH-12-12027TV	UNV	3000K	4828	LED	0-10V	54W	12' POLE	
SL6	WALL SCONCE	LIGMAN	UG31641-10W-T4-W30-FINISH-12027TV	UNV	3000K	820	LED	0-10V	10W	SURFACE	
SL6E	WALL SCONCE ON INVERTER	LIGMAN	UG31641-10W-T4-W30-FINISH-12027TV	UNV	3000K	820	LED	0-10V	10W	SURFACE	
SL7E-A	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-20011-33Q1W-M-W30-FINISH-12027TV (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	13' COLUMN	
SL7E-B	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-20011-33Q1W-M-W30-FINISH-12027TV (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	13' COLUMN	
51	LED SITE LUMINAIRE ON EXISTING POLE	MCGRAW-EDISON	GALN-SAZC-730-U-T4W-FINISH-MA1036-XX	UNV	3000K	13885	LED	0-10V	106W	20' POLE	1
52	LED SITE LUMINAIRE	LUMARK	NAV-SAZB-730-U-SL2-FINISH-MA1010-XX	UNV	3000K	10440	LED	0-10V	85W	POLE	2
53	LED SITE LUMINAIRE ON NEW POLE	MCGRAW-EDISON	GALN-SAZC-730-U-T4W-FINISH-MA1036-XX	UNV	3000K	13885	LED	0-10V	106W	20' POLE	3
FIXTURE SCHEDULE NOTES											
NOTE 1: FIXTURES MOUNTED ON 20' EXISTING POLE											
NOTE 2: FIXTURES MOUNTED @ 20' ON EXISTING POLE											
NOTE 3: FIXTURES MOUNTED @ 20' ON VALMONT NEW POLE 1800-3504TE-P2-COOPER FINISH											
FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT QUOTATIONS@LIGHTINGDYNAMICS.COM, (954) 844-0286											



# NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



02-18-2024

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR88615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
4	01-08-2025	TAC 4 REVISION
5	03-19-2025	TAC 5 REVISION

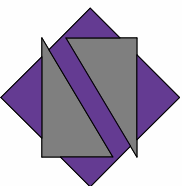
DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F./F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title  
DESIGN GUIDELINES -  
PHOTOMETRIC P. -  
ROOFTOP EM.  
LIGHTING

Drawing no.

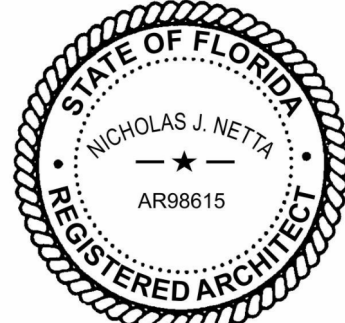
AR-523





NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT  
FRANCISCO J. MELENDEZ SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

02-18-2024

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION

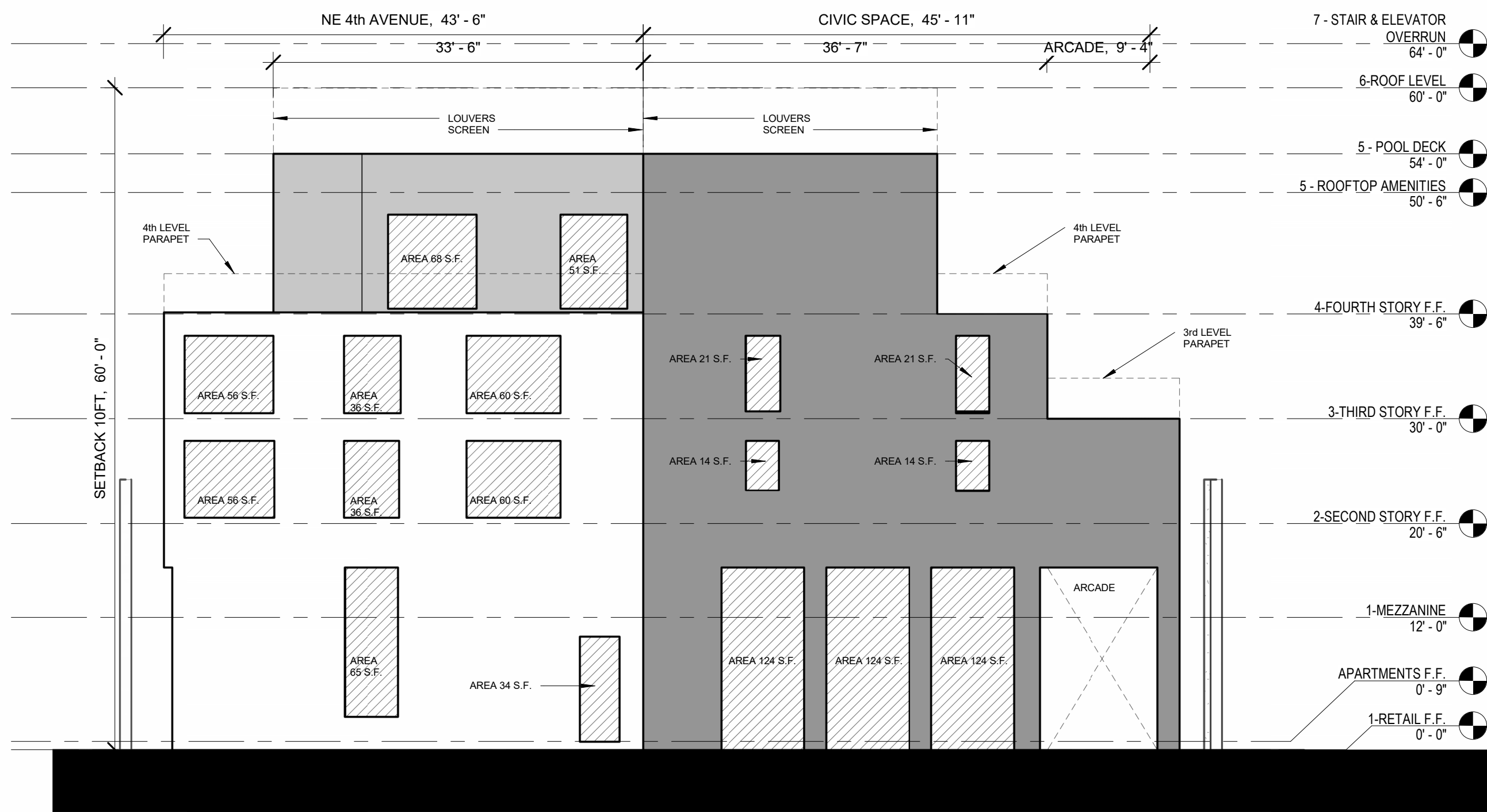
DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F / J.F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title

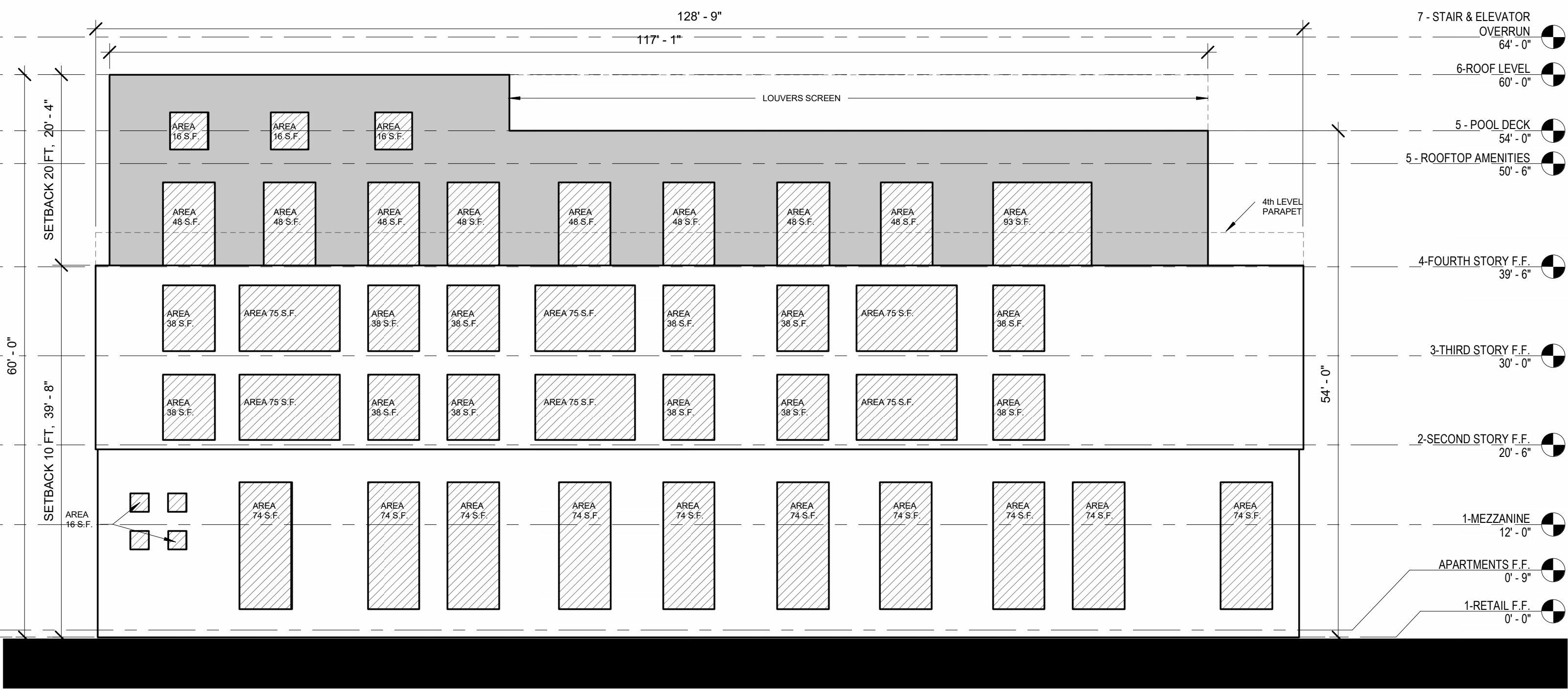
EXTERIOR WALL  
OPENINGS,  
CALCULATIONS

Drawing no.

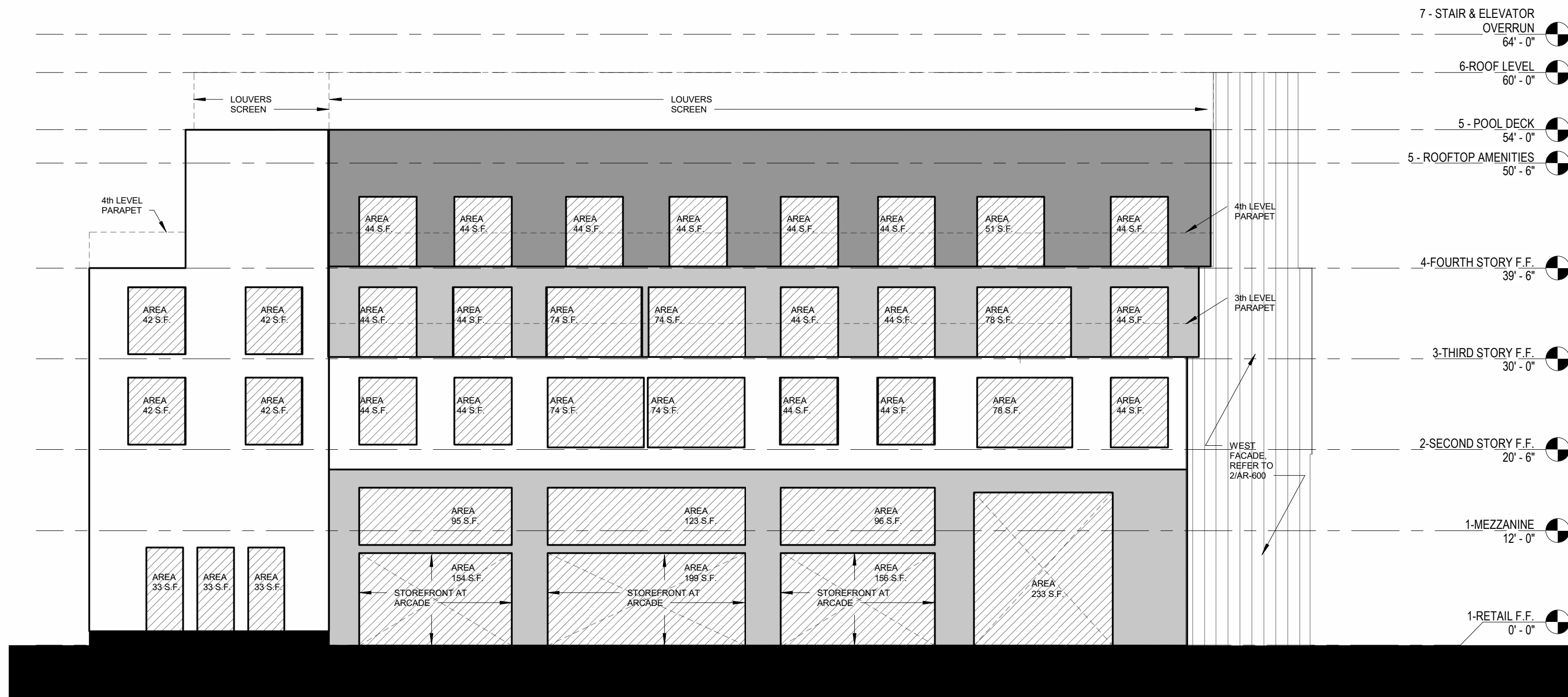
AR-600



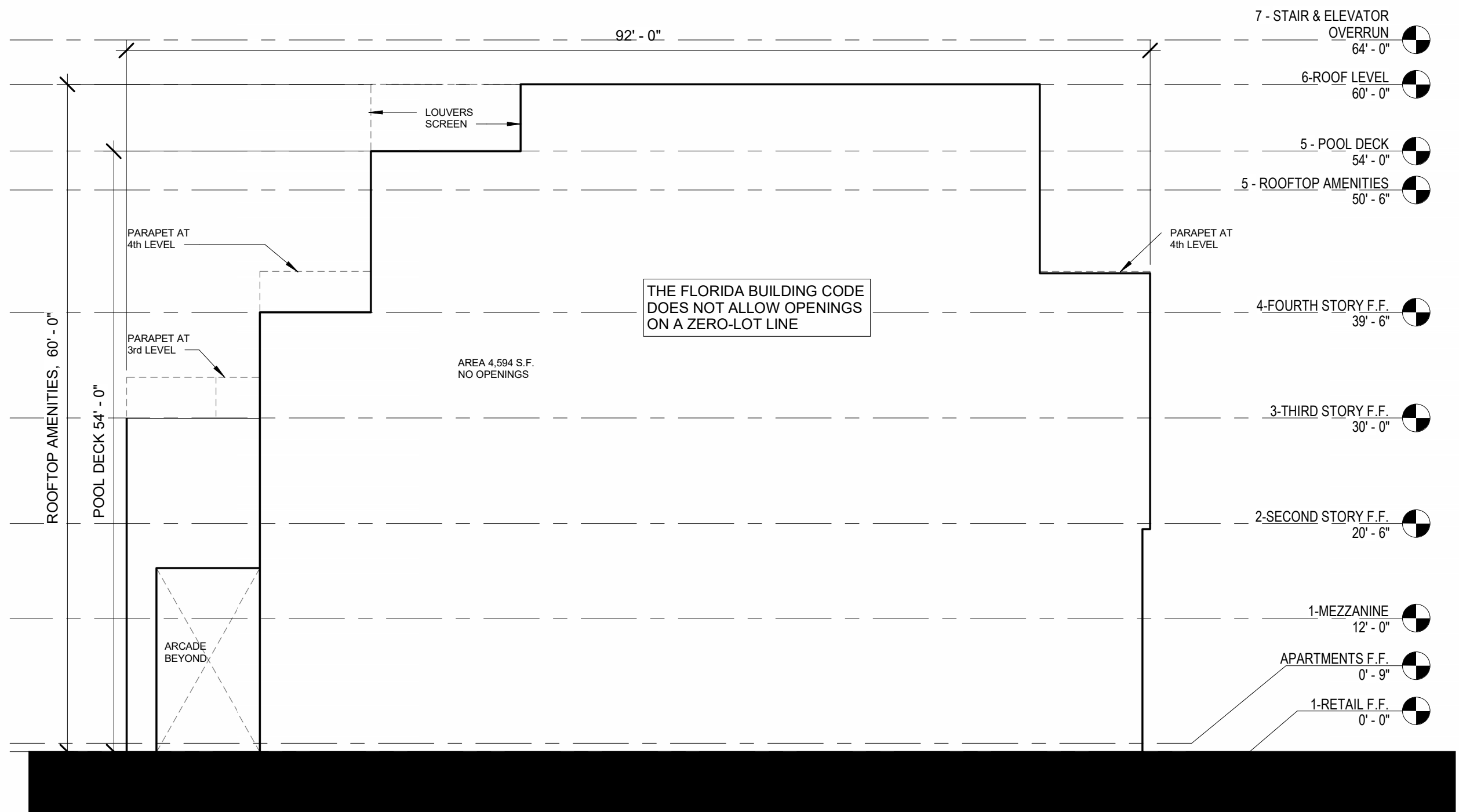
3 EAST ELEVATION - OPENINGS  
AR-600 SCALE: 1" = 10'-0"



1 SOUTH ELEVATION - OPENINGS  
AR-600 SCALE: 1" = 10'-0"



4 NORTH ELEVATION - OPENINGS  
AR-600 SCALE: 1" = 10'-0"

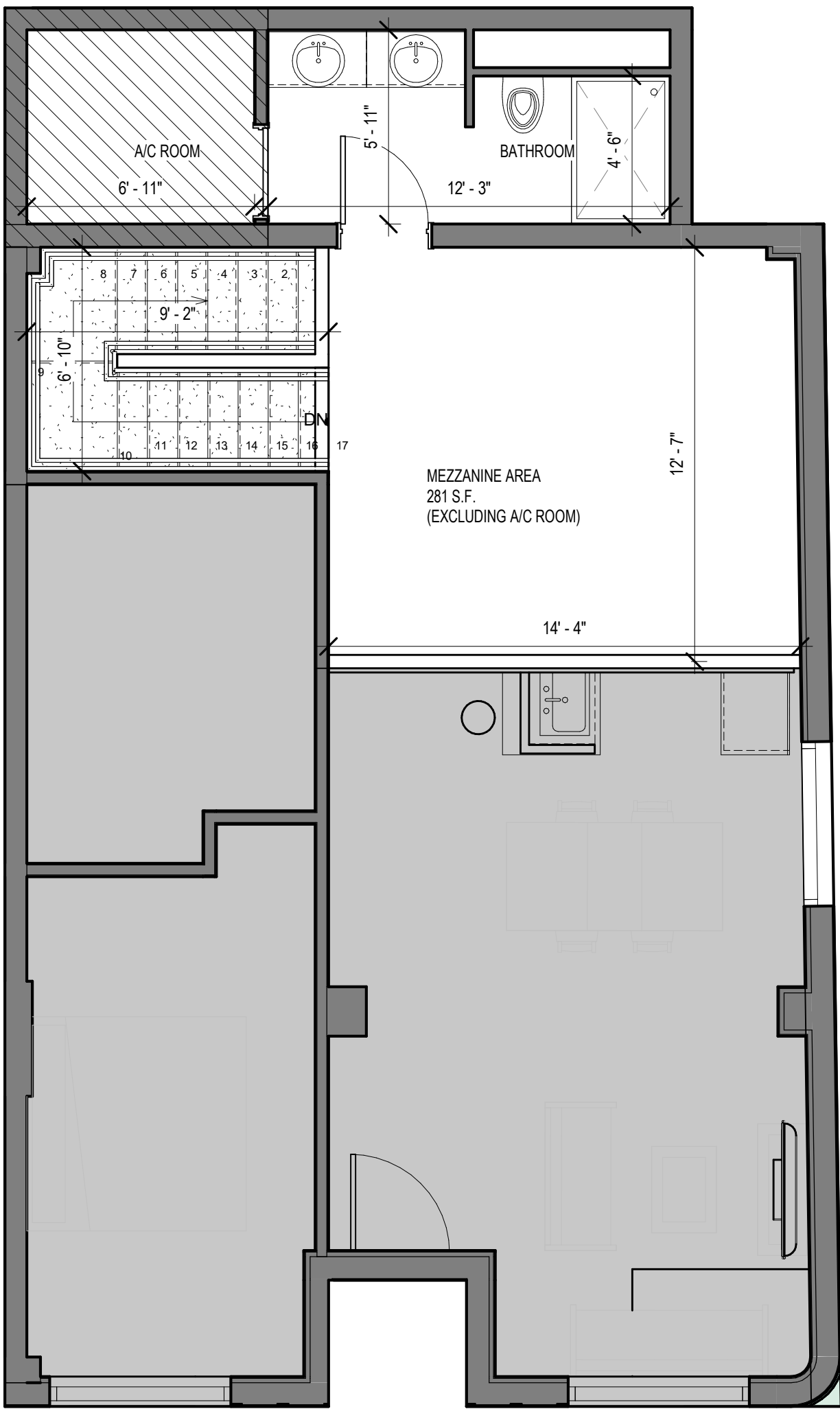


2 WEST ELEVATION - OPENINGS  
AR-600 SCALE: 1" = 10'-0"

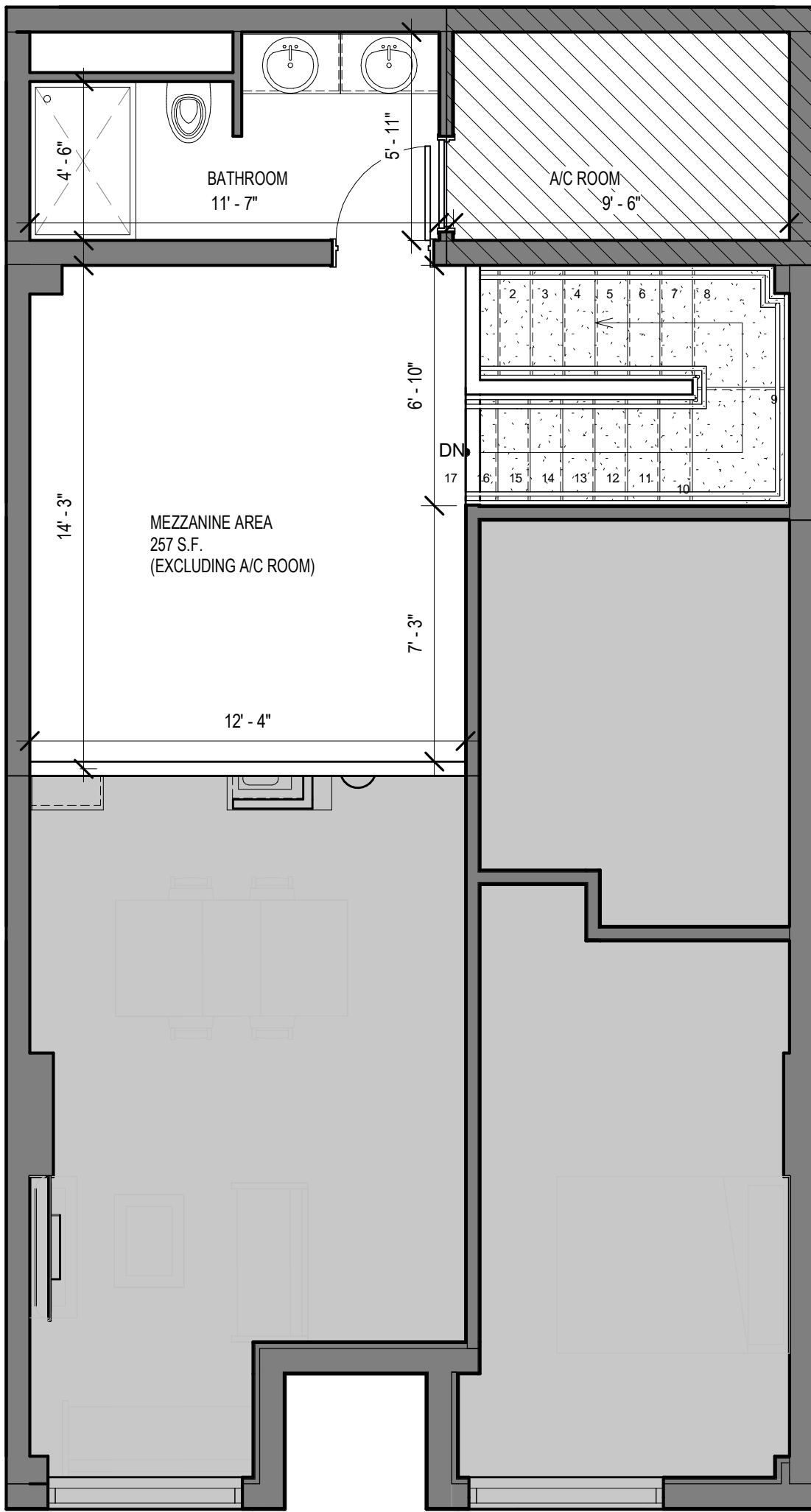
OPENING CALCULATION						
	FACADE LENGTH	DISTANCE FROM P.L.	DISTANCE TO OPP. BLDG.	AREA (INC. OPENINGS)	OPENINGS AREA	%
EAST ELEVATION						
GROUND STORY	90.00 FT	10 FT / 34 FT	60 FT	1,845 S.F.	471 S.F.	25.53 %
SECOND STORY	90.00 FT	10 FT / 34 FT	66 FT	855 S.F.	180 S.F.	21.05 %
THIRD STORY	80.00 FT	10 FT / 34 FT	66 FT	760 S.F.	194 S.F.	25.53 %
FOURTH STORY	60.00 FT	10 FT / 34 FT	66 FT	570 S.F.	119 S.F.	20.88 %
TOTAL				4,030 S.F.	964 S.F.	23.92 %
NORTH ELEVATION						
GROUND LEVEL	117.83 FT	0 FT / 46 FT	60 FT	2,416 S.F.	1,155 S.F.	47.82 %
SECOND STORY	117.83 FT	0 FT / 46 FT	60 FT	1,119 S.F.	530 S.F.	47.35 %
THIRD STORY	117.83 FT	10 FT / 46 FT	70 FT	1,119 S.F.	530 S.F.	47.35 %
FOURTH STORY	107.83 FT	20 FT / 46 FT	80 FT	1,024 S.F.	399 S.F.	39.05 %
TOTAL				5,679 S.F.	2,574 S.F.	45.33 %

OPENING CALCULATION						
	FACADE LENGTH	DISTANCE FROM P.L.	DISTANCE TO OPP. BLDG.	AREA (INC. OPENINGS)	OPENINGS AREA	%
WEST ELEVATION						
GROUND STORY	90.00 FT	0 FT	210 FT	3,840 S.F.	0 S.F.	0 %
SOUTH ELEVATION						
GROUND STORY	128.75 FT	10 FT	46 FT	2,639 S.F.	756 S.F.	28.64 %
SECOND STORY	128.75 FT	10 FT	46 FT	1,223 S.F.	453 S.F.	37.04 %
THIRD STORY	128.75 FT	10 FT	46 FT	1,223 S.F.	453 S.F.	37.04 %
FOURTH STORY	117.08 FT	20 FT	56 FT	1,112 S.F.	477 S.F.	42.89 %
TOTAL				6,198 S.F.	2,139 S.F.	34.51 %

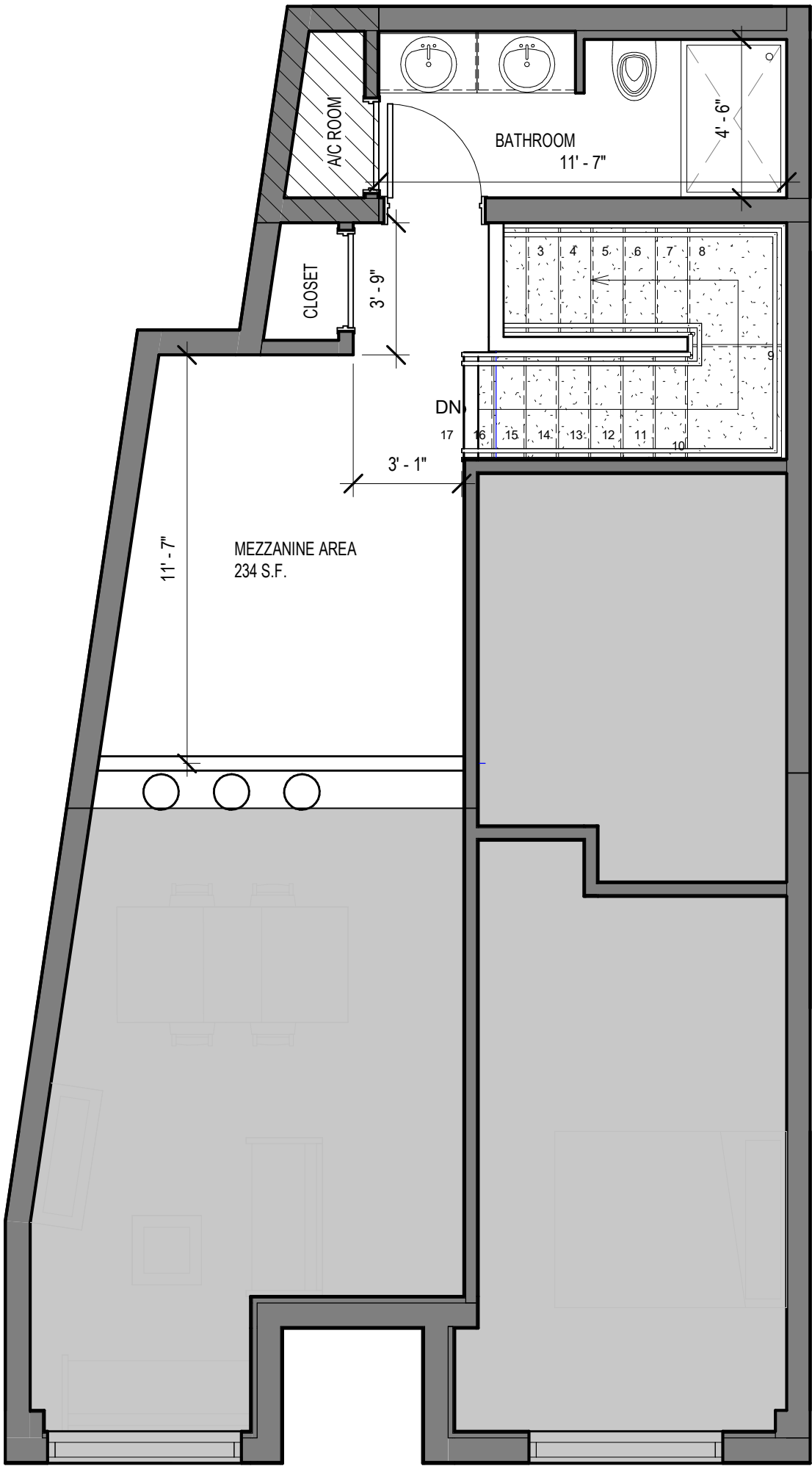




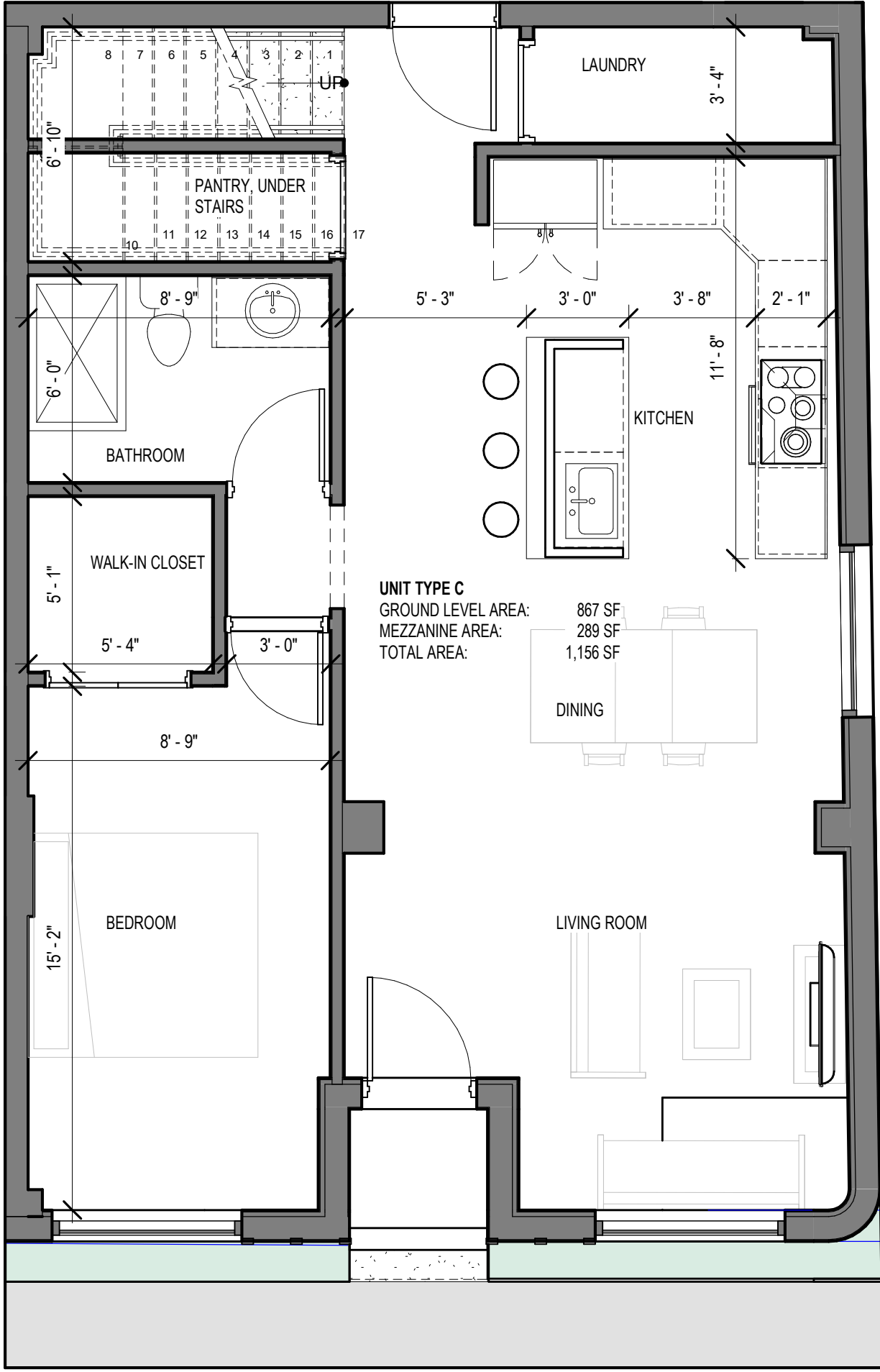
1-BEDROOM UNIT - MEZZANINE



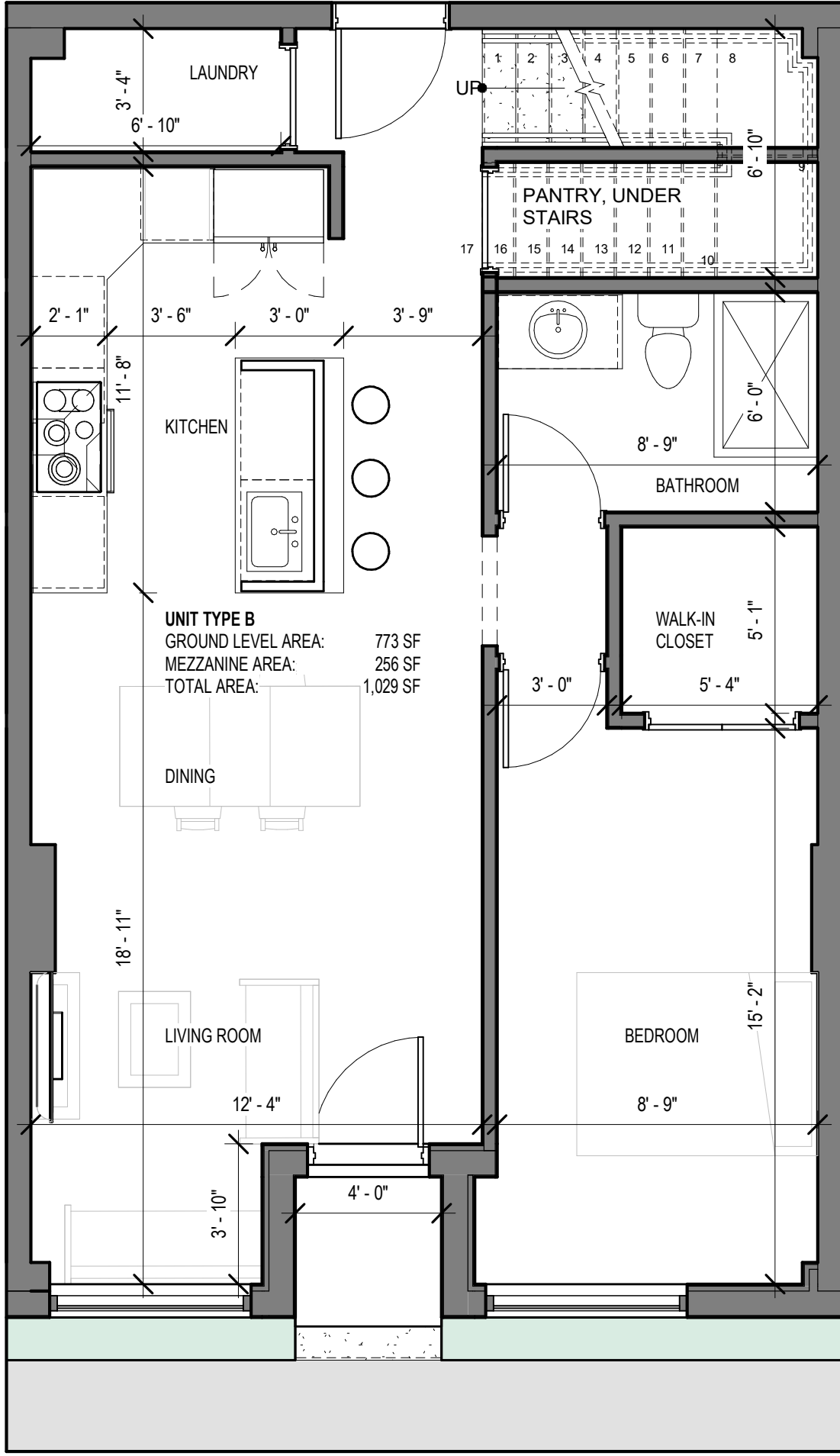
1-BEDROOM UNIT - MEZZANINE



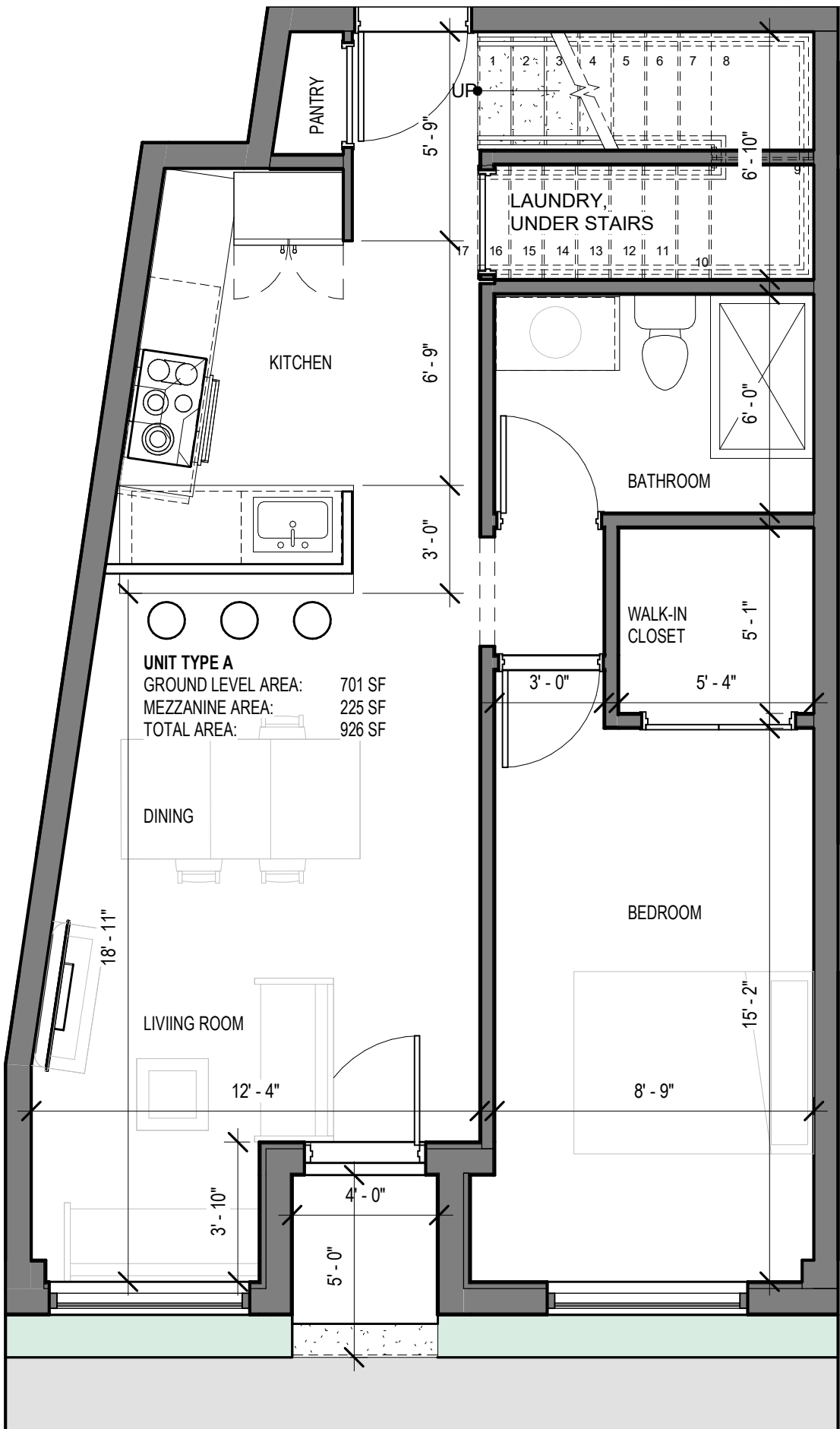
1-BEDROOM UNIT - MEZZANINE



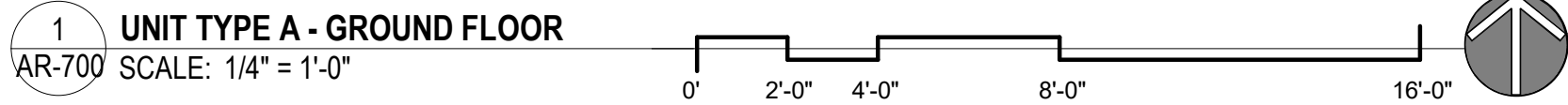
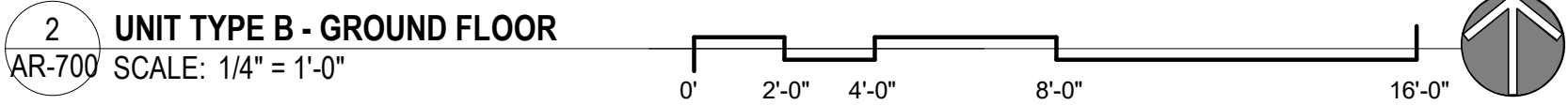
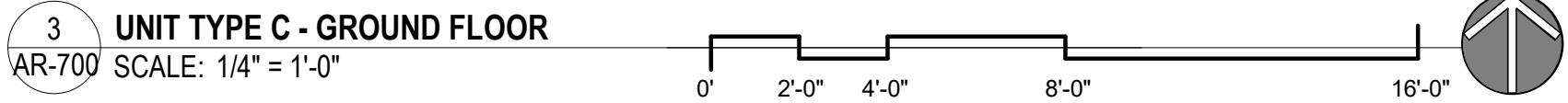
1-BEDROOM UNIT - GROUND LEVEL



1-BEDROOM UNIT - GROUND LEVEL



1-BEDROOM UNIT - GROUND LEVEL



**NETTA ARCHITECTS**  
621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650

STATE OF FLORIDA  
NICHOLAS J. NETTA  
REGISTERED ARCHITECT  
AR98815

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98815  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT  
These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

**THE MAXWELL**

306 NE 2nd STREET, DELRAY BEACH, FL

**SITE PLAN REVIEW SET**

Submissions

Revisions		
No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION

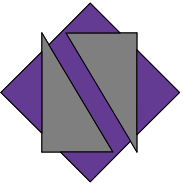
DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F / F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title

**UNIT TYPES**

Drawing no.  
**AR-700**





NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR988615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT  
These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
3	06-24-2024	TAC 3 REVISION

DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F / F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title

UNIT TYPES

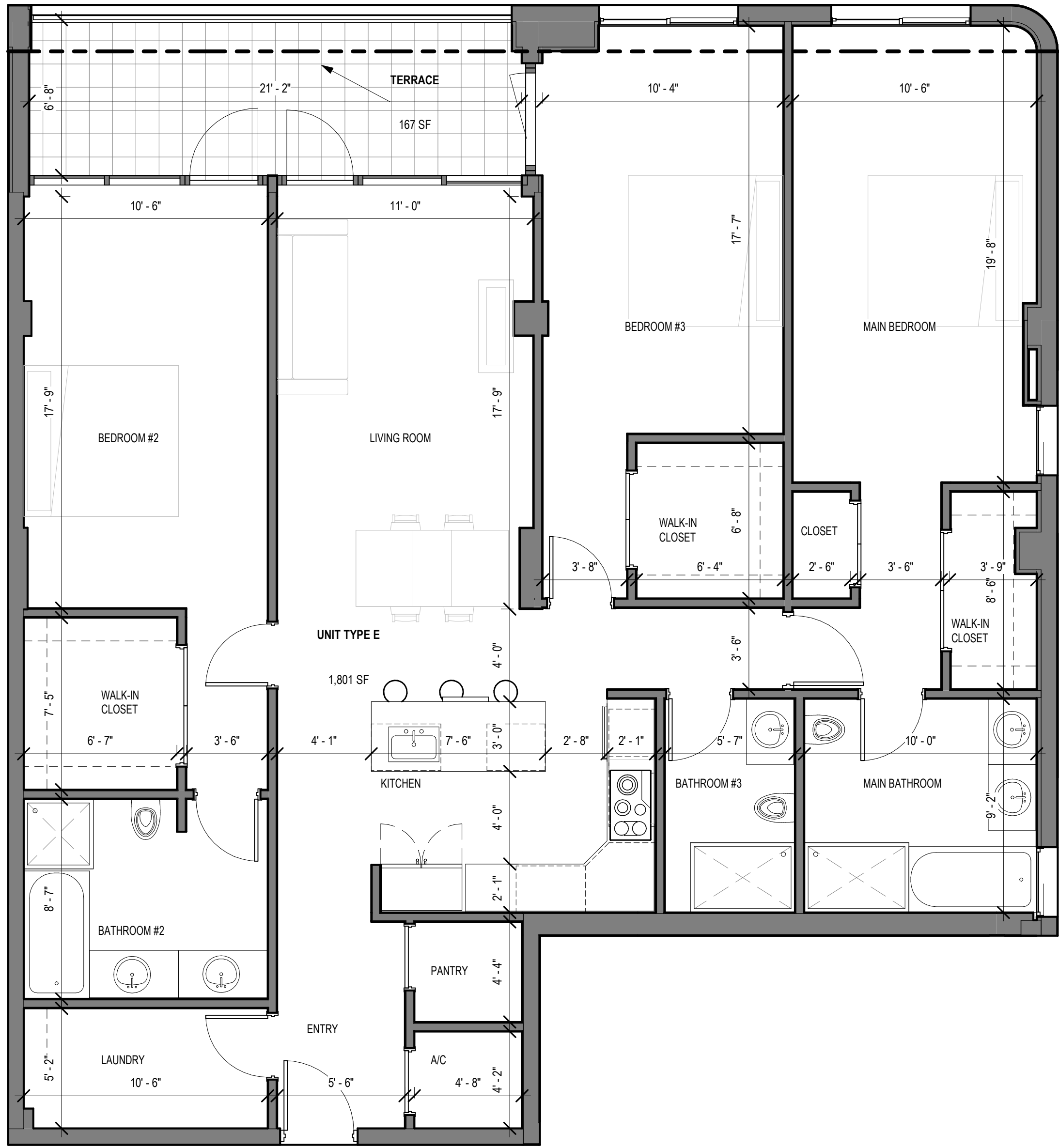
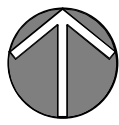
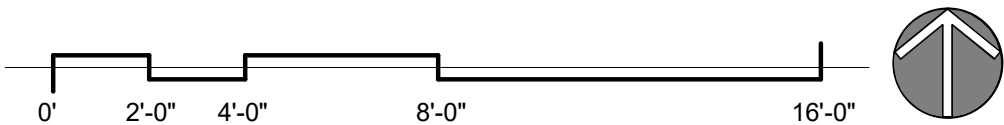
Drawing no.

AR-701



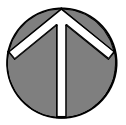
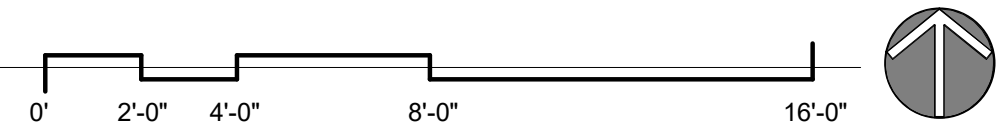
3-BEDROOM UNIT

2 UNIT TYPE D - ENLARGED PLAN  
AR-701 SCALE: 1/4" = 1'-0"



3-BEDROOM UNIT

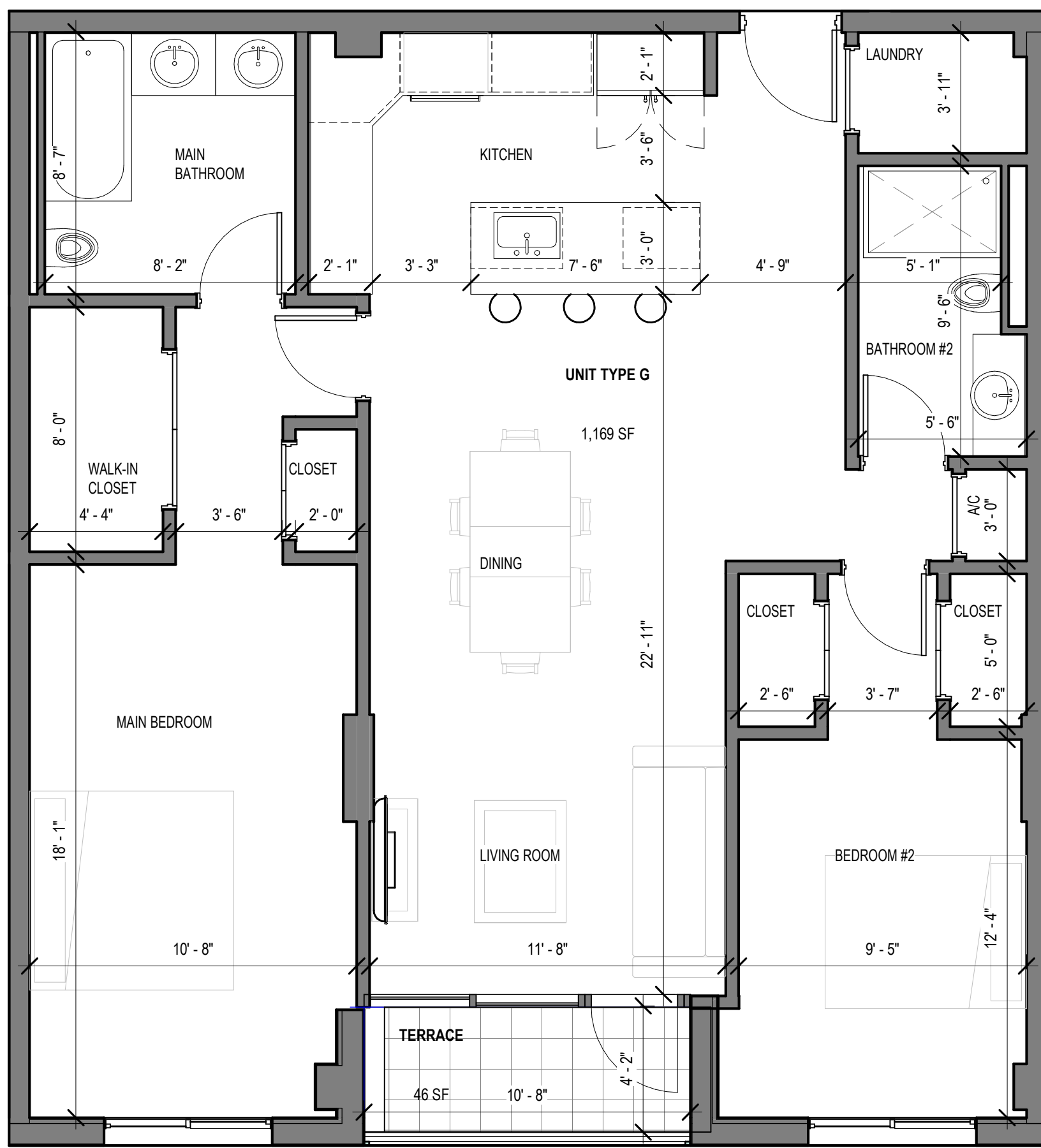
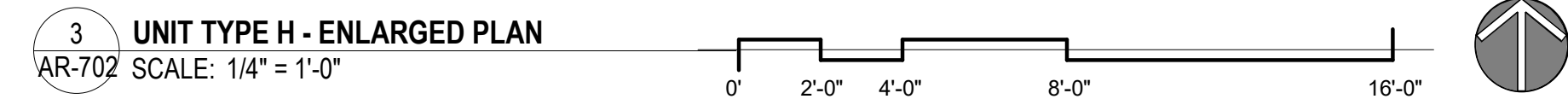
1 UNIT TYPE E - ENLARGED PLAN  
AR-701 SCALE: 1/4" = 1'-0"



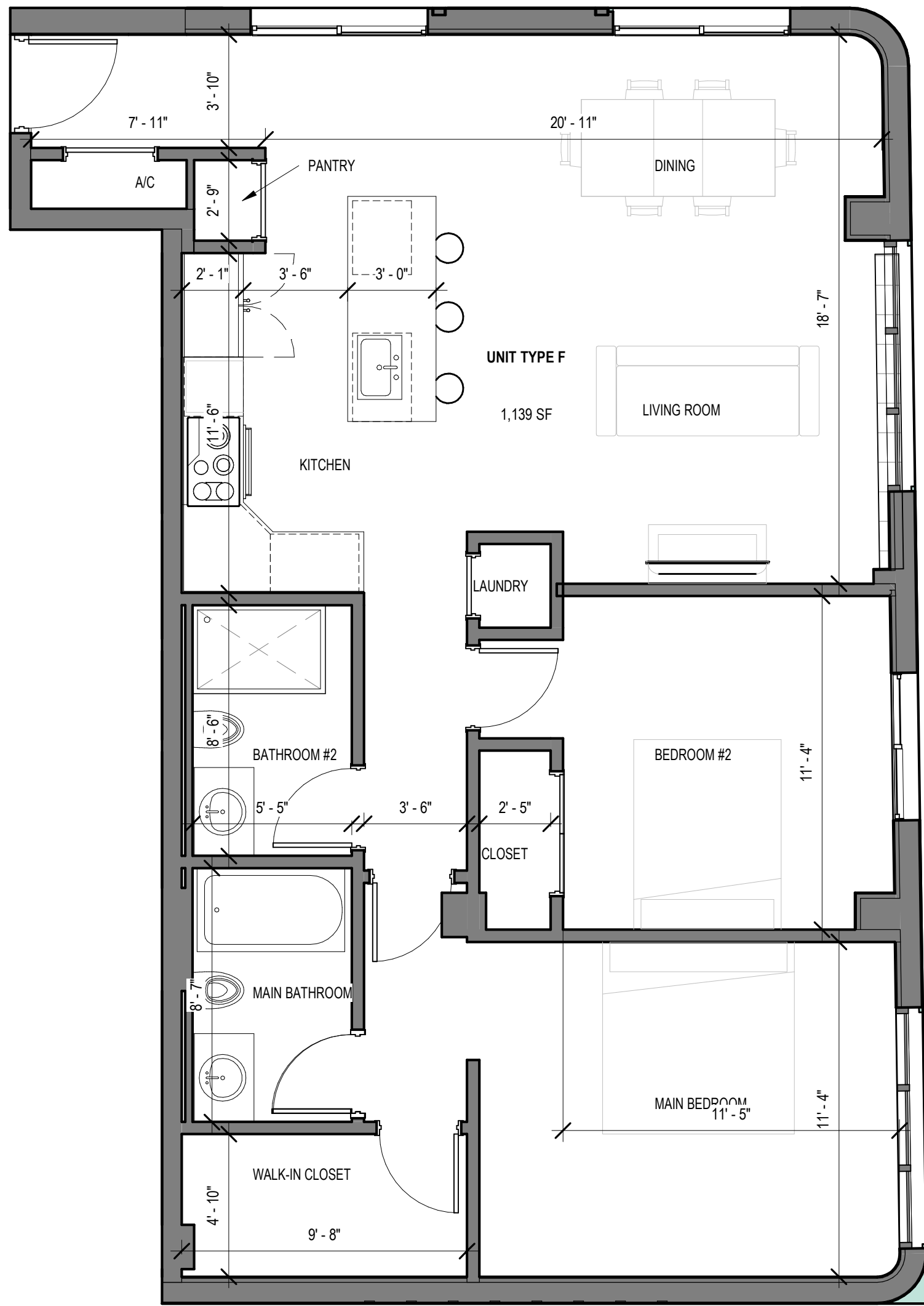
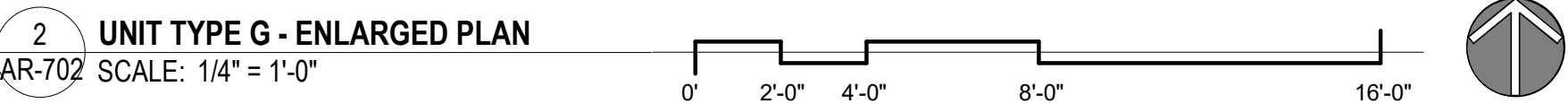




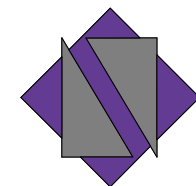
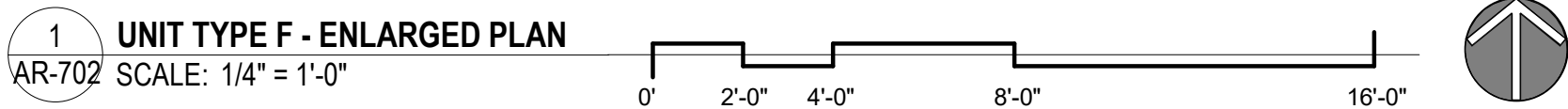
2-BEDROOM UNIT



2-BEDROOM UNIT

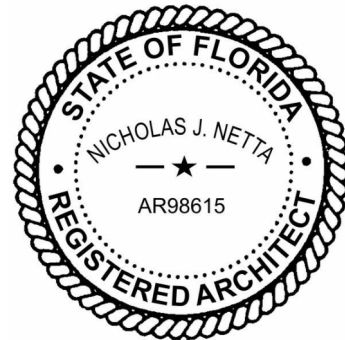


2-BEDROOM UNIT



NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No:	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F / F.J.M.
NETTA PROJECT #:	2211652_FL

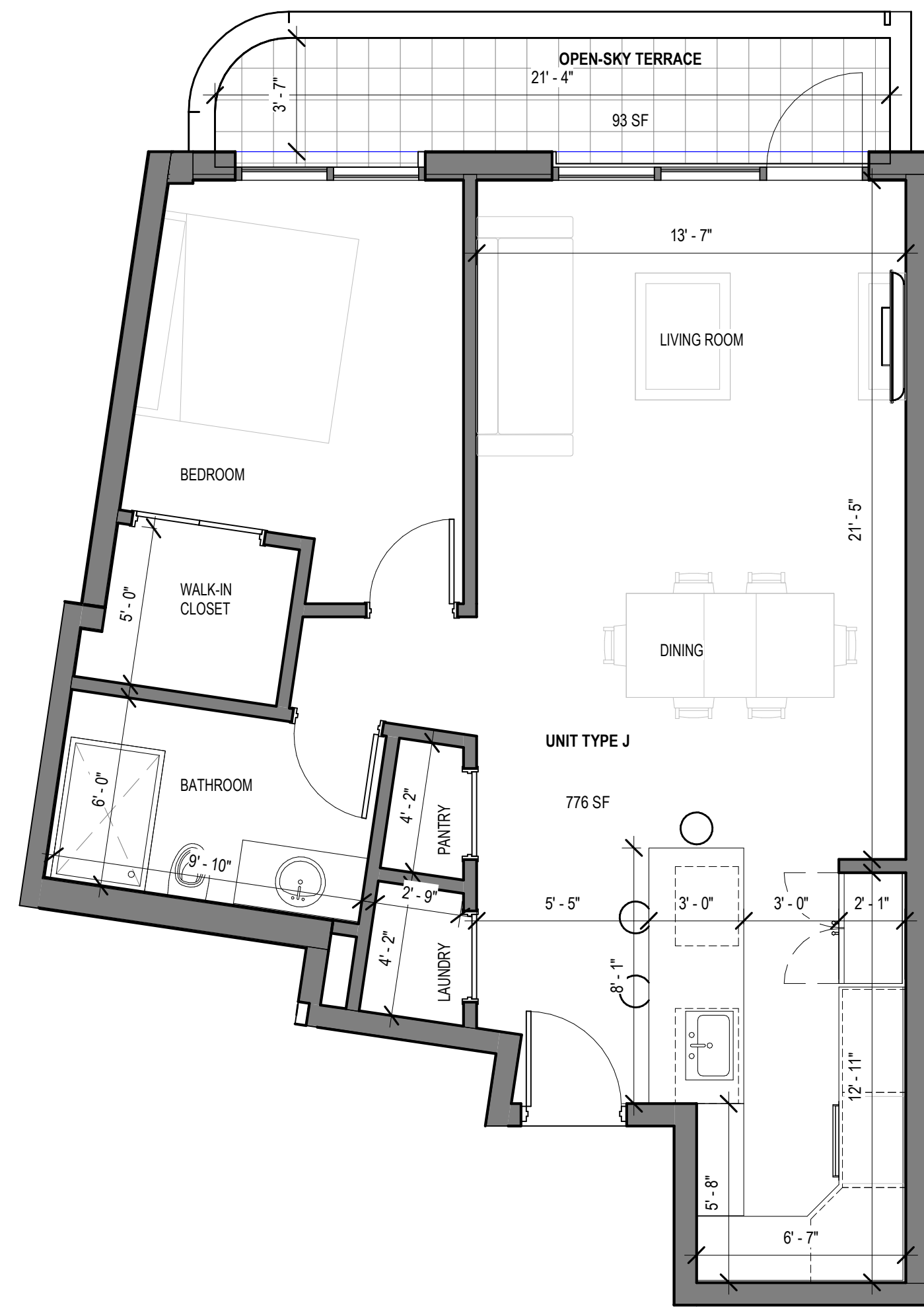
Drawing title

UNIT TYPES

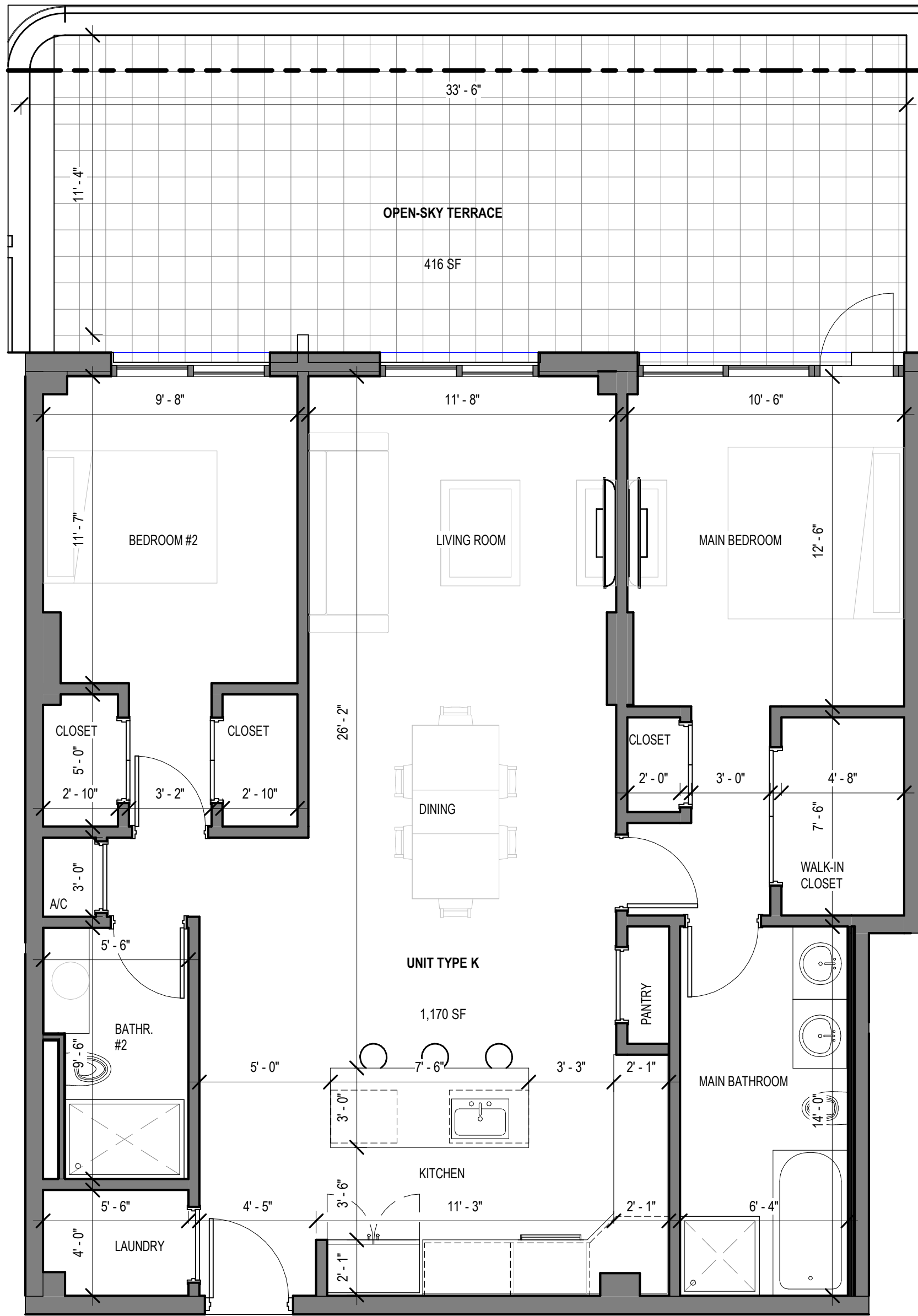
Drawing no.

AR-702

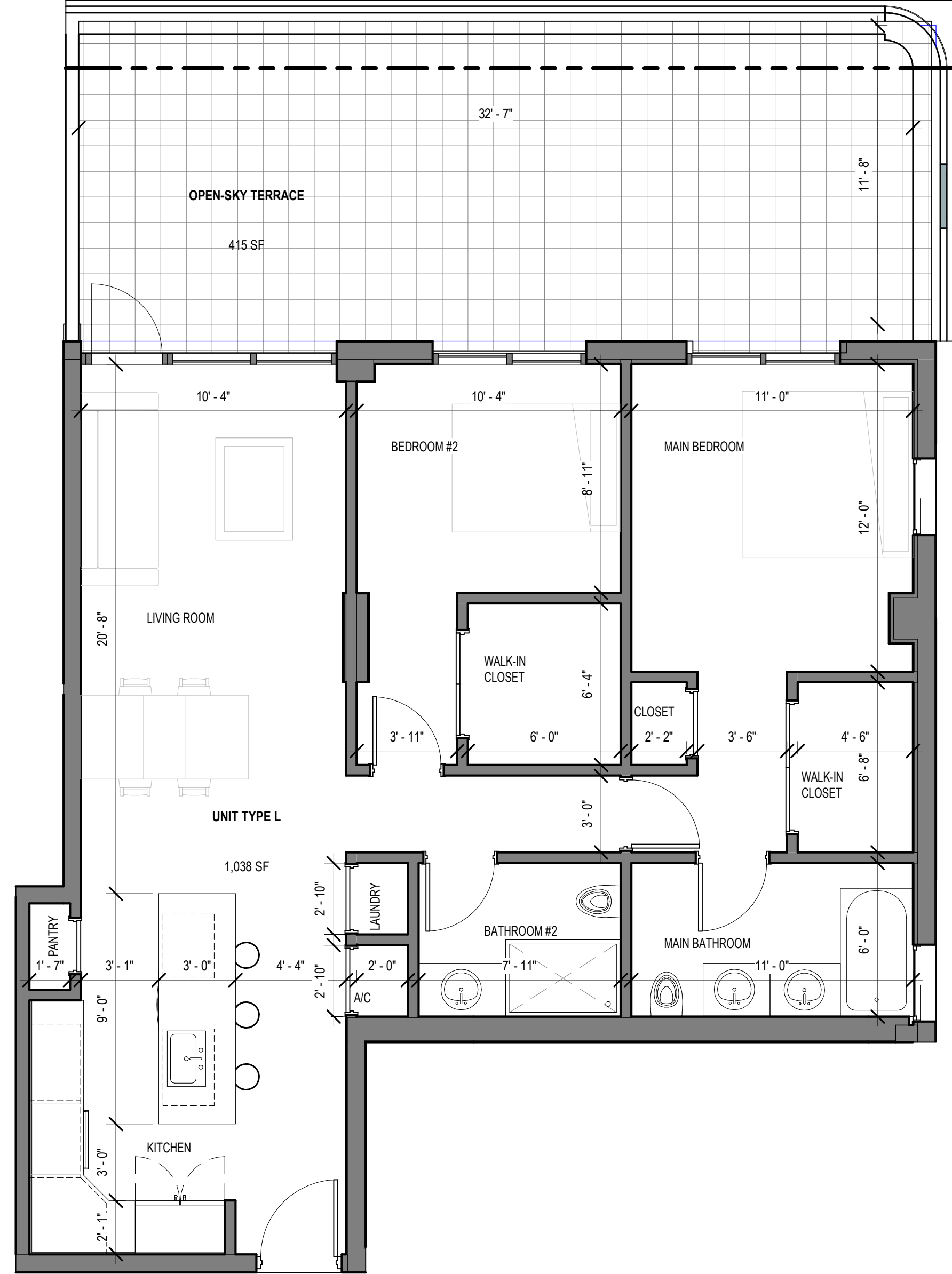




1-BEDROOM UNIT

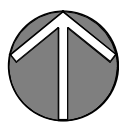
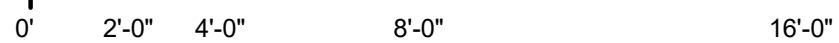


2-BEDROOM UNIT

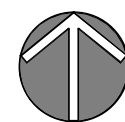
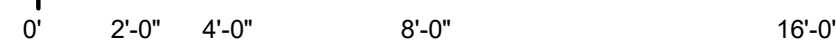


2-BEDROOM UNIT

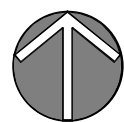
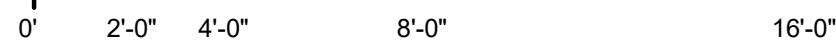
1 UNIT TYPE J - ENLARGED PLAN  
AR-703 SCALE: 1/4" = 1'-0"

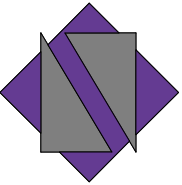


2 UNIT TYPE K - ENLARGED PLAN  
AR-703 SCALE: 1/4" = 1'-0"

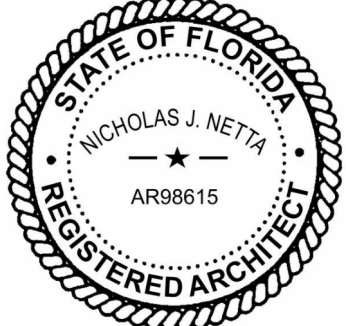


3 UNIT TYPE L - ENLARGED PLAN  
AR-703 SCALE: 1/4" = 1'-0"





**NETTA ARCHITECTS**  
621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



02-18-2024

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
3	06-24-2024	TAC 3 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F / F.J.M.
NETTA PROJECT #:	2211652_FL

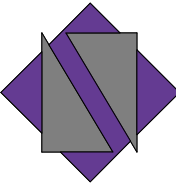
Drawing title

UNIT TYPES

Drawing no.

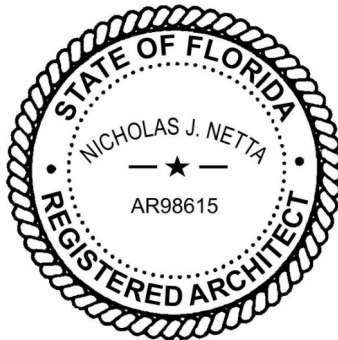
AR-703





NETTA ARCHITECTS

621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ SR, ARCHITECT  
These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

02-18-2024

THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No. DATE DESCRIPTION

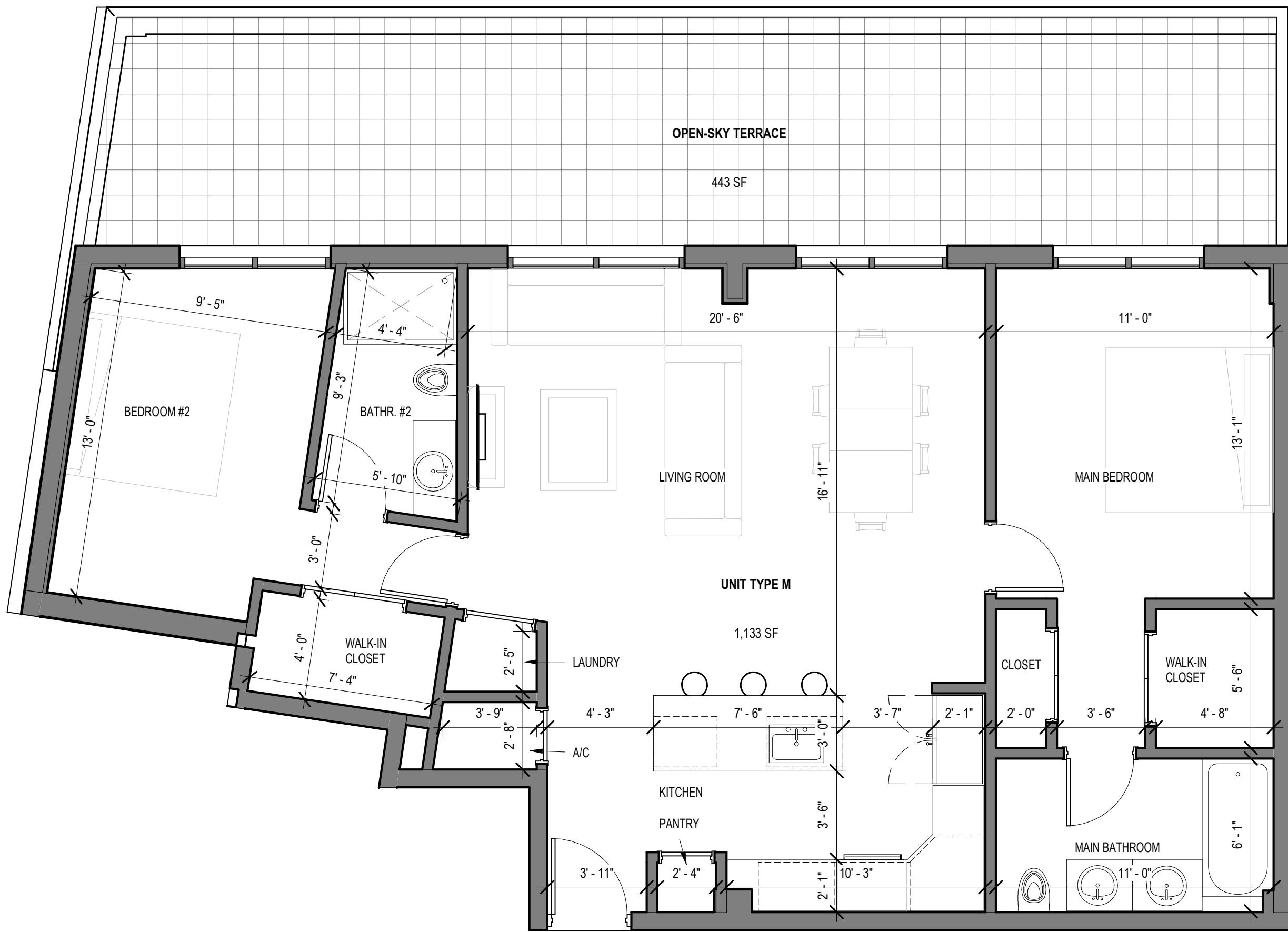
DATE: 02-18-2024  
DESIGNER: M.A.  
MODELED: C.C.  
CHECKED: M.F / F.J.M.  
NETTA PROJECT #: 2211652\_FL

Drawing title

UNIT TYPES

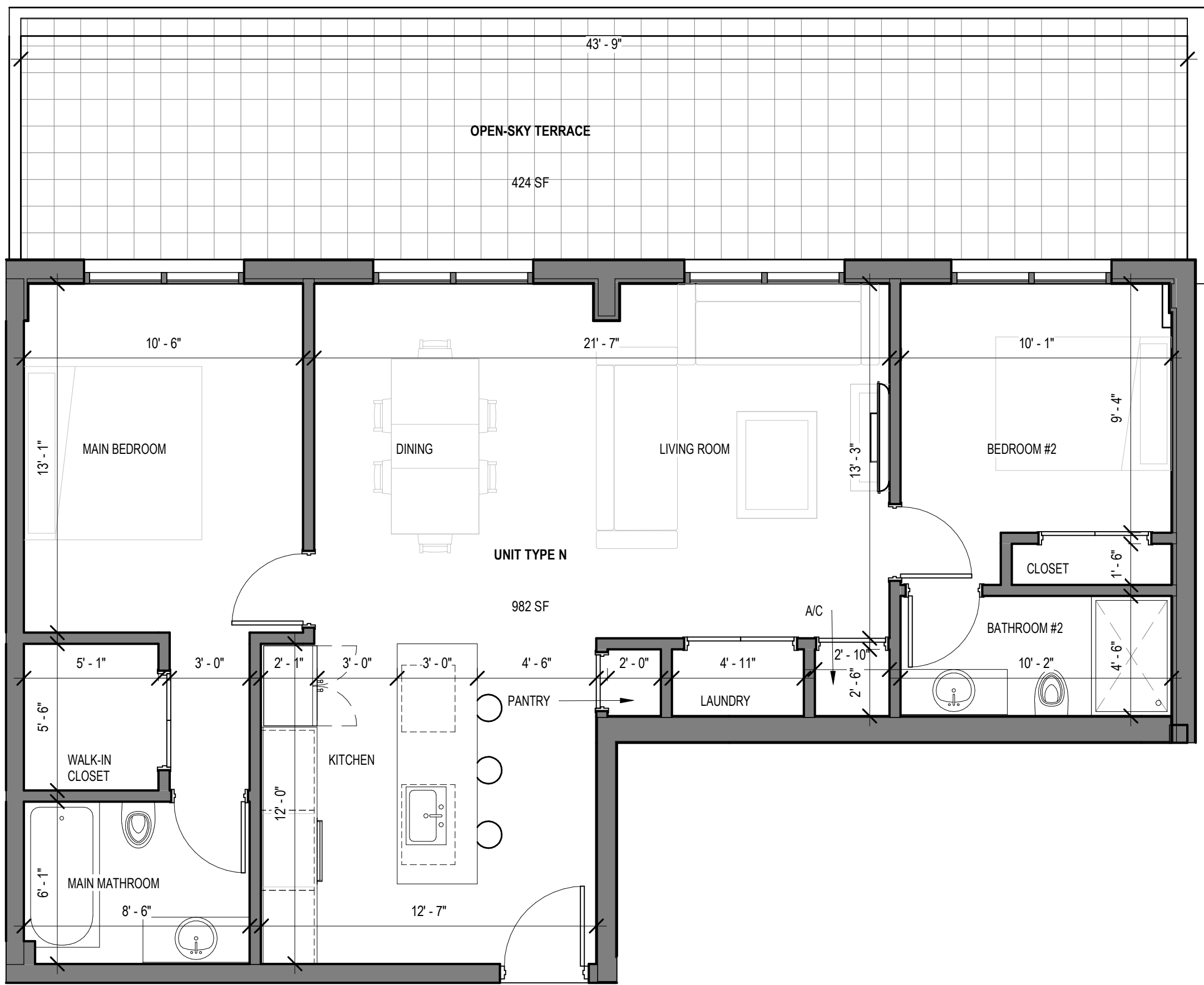
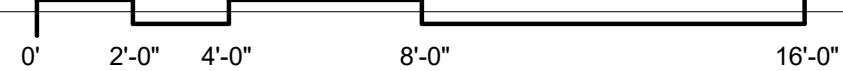
Drawing no.

AR-704



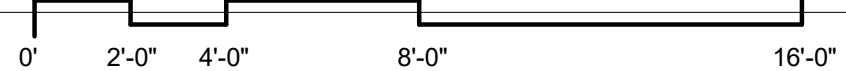
2-BEDROOM UNIT

1 UNIT TYPE M - ENLARGED PLAN  
AR-704 SCALE: 1/4" = 1'-0"

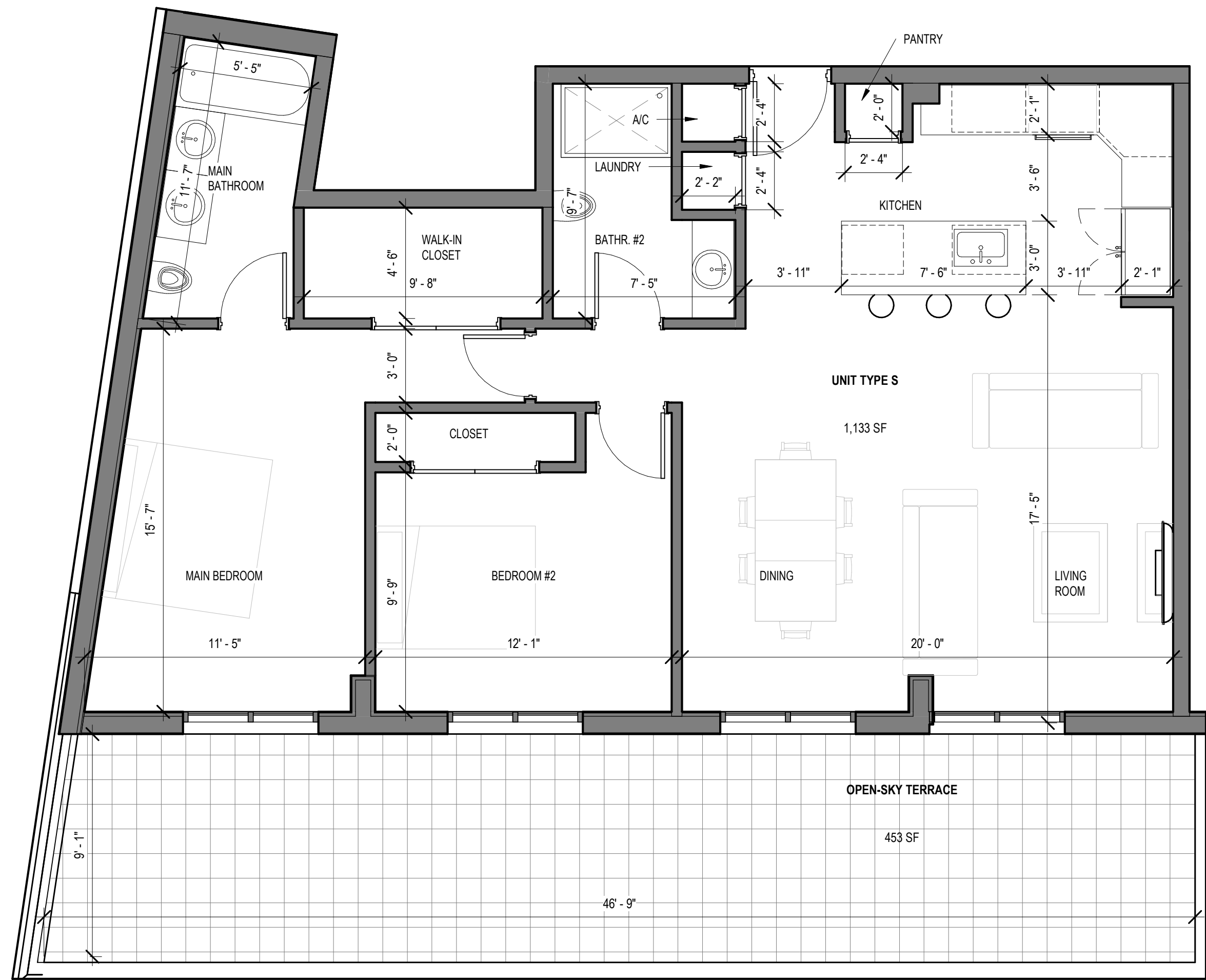


2-BEDROOM UNIT

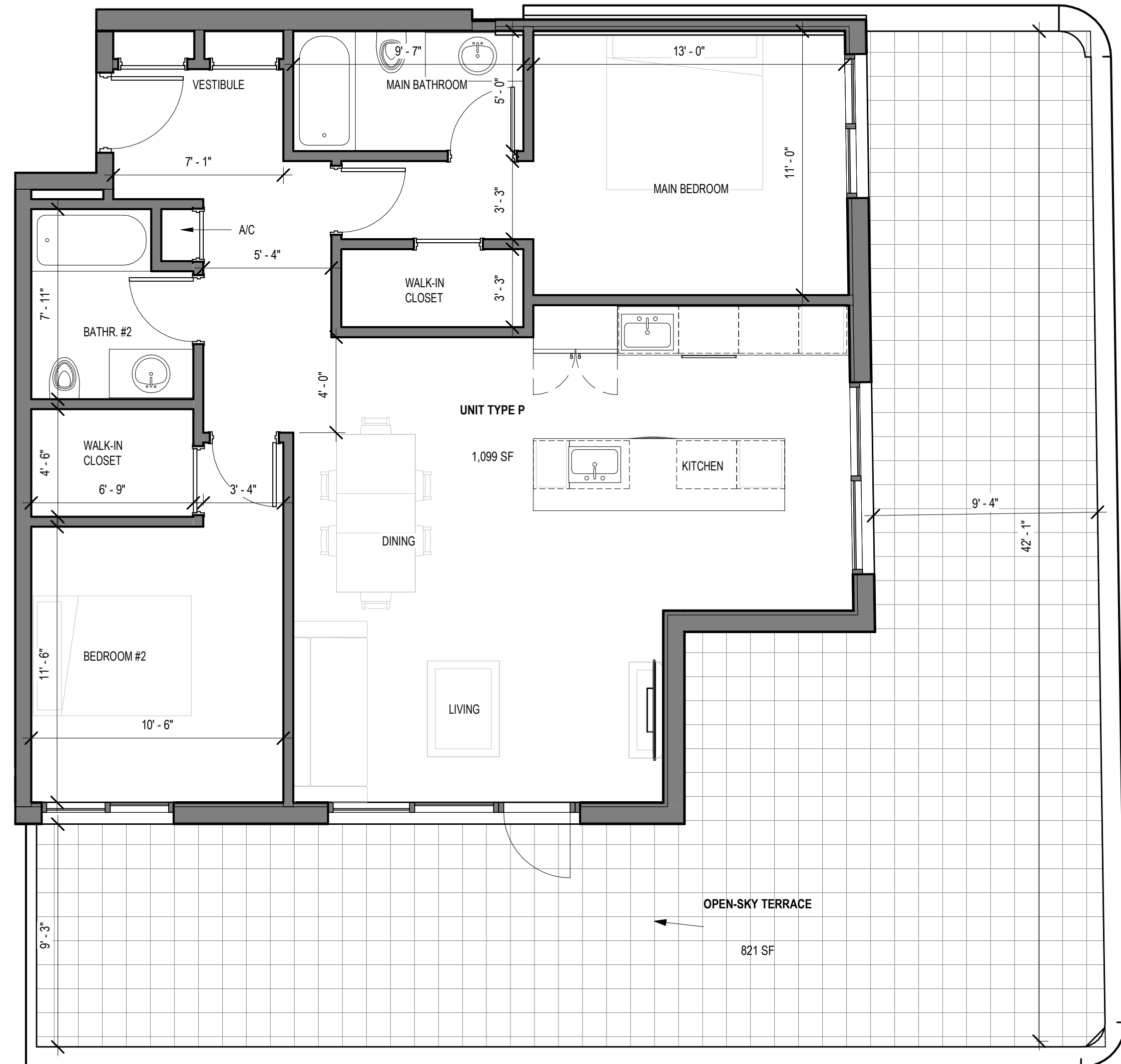
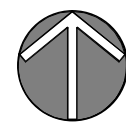
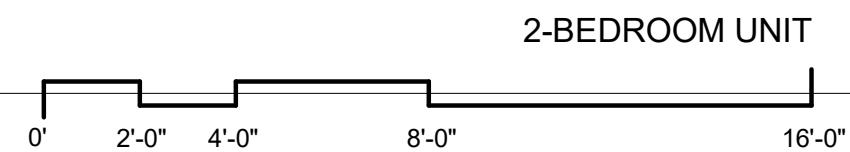
2 UNIT TYPE N - ENLARGED PLAN  
AR-704 SCALE: 1/4" = 1'-0"



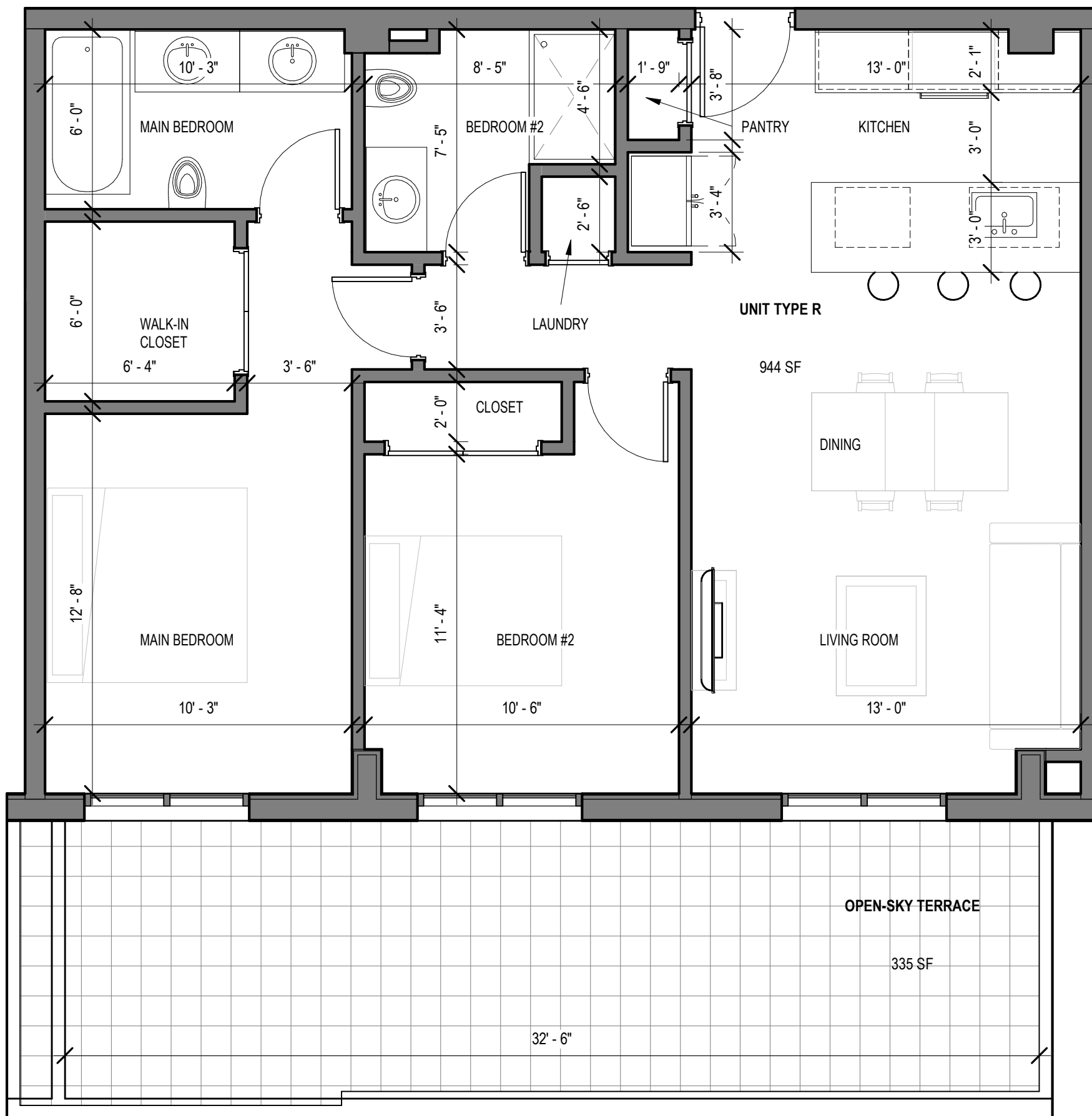
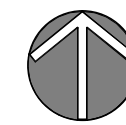
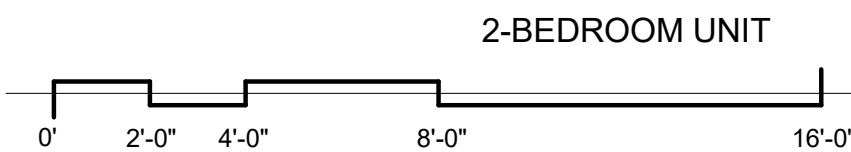




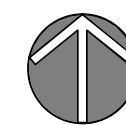
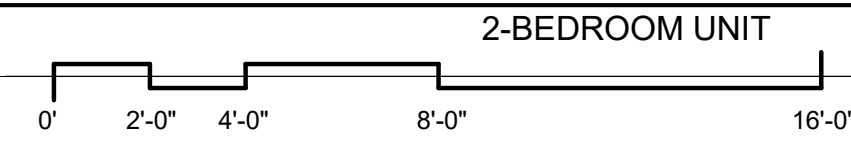
3 UNIT TYPE S - ENLARGED PLAN  
AR-705 SCALE: 1/4" = 1'-0"



1 UNIT TYPE P - ENLARGED PLAN  
AR-705 SCALE: 1/4" = 1'-0"



2 UNIT TYPE R - ENLARGED PLAN  
AR-705 SCALE: 1/4" = 1'-0"



**NETTA ARCHITECTS**  
621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M1800001650

STATE OF FLORIDA  
NICHOLAS J. NETTA  
REGISTERED ARCHITECT  
AR98615

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from

NICHOLAS J. NETTA, ARCHITECT  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

THE MAXWELL

306 NE 2nd STREET, DELRAY  
BEACH, FL

## SITE PLAN REVIEW SET

Submissions

### Revisions

No.	DATE:	DESCRIPTION:
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F / F.J.M.
NETTA PROJECT #:	2211652_FL

Drawing title

UNIT TYPES

Drawing no.

**AR-705**







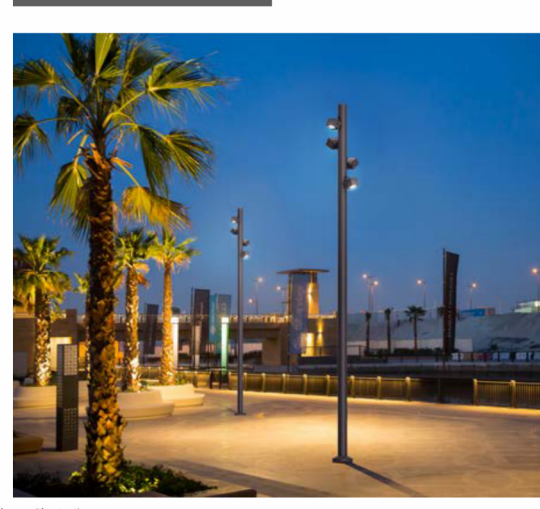
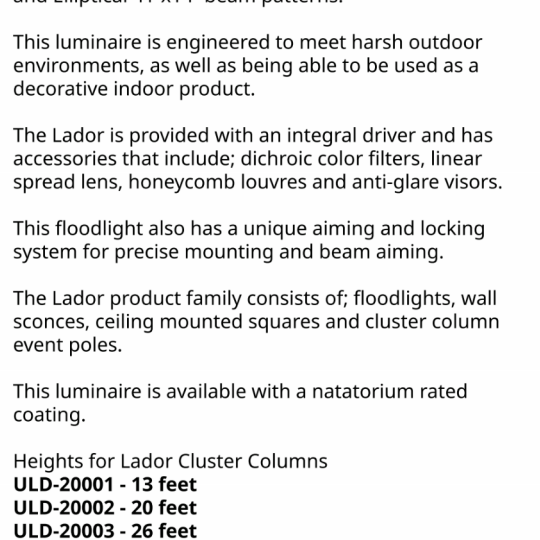
## ULD-20001

### Lador Cluster Column



**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6060 extruded & LMS Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.  
**Pre-paint**  
A step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before powder painting.  
**Memory Retentive-Silicon Gasket**  
Provided with special injection molded "lid" for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.  
**Thermal management**  
LMS Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.  
**Surge Suppression**  
Standard 15kv surge suppressor provided with all fixtures.  
**BUG Rating**  
Contact Factory  
**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.  
**Paint**  
UV Stabilized 4Mk thick powder coat paint and baked at 200 Deg. C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

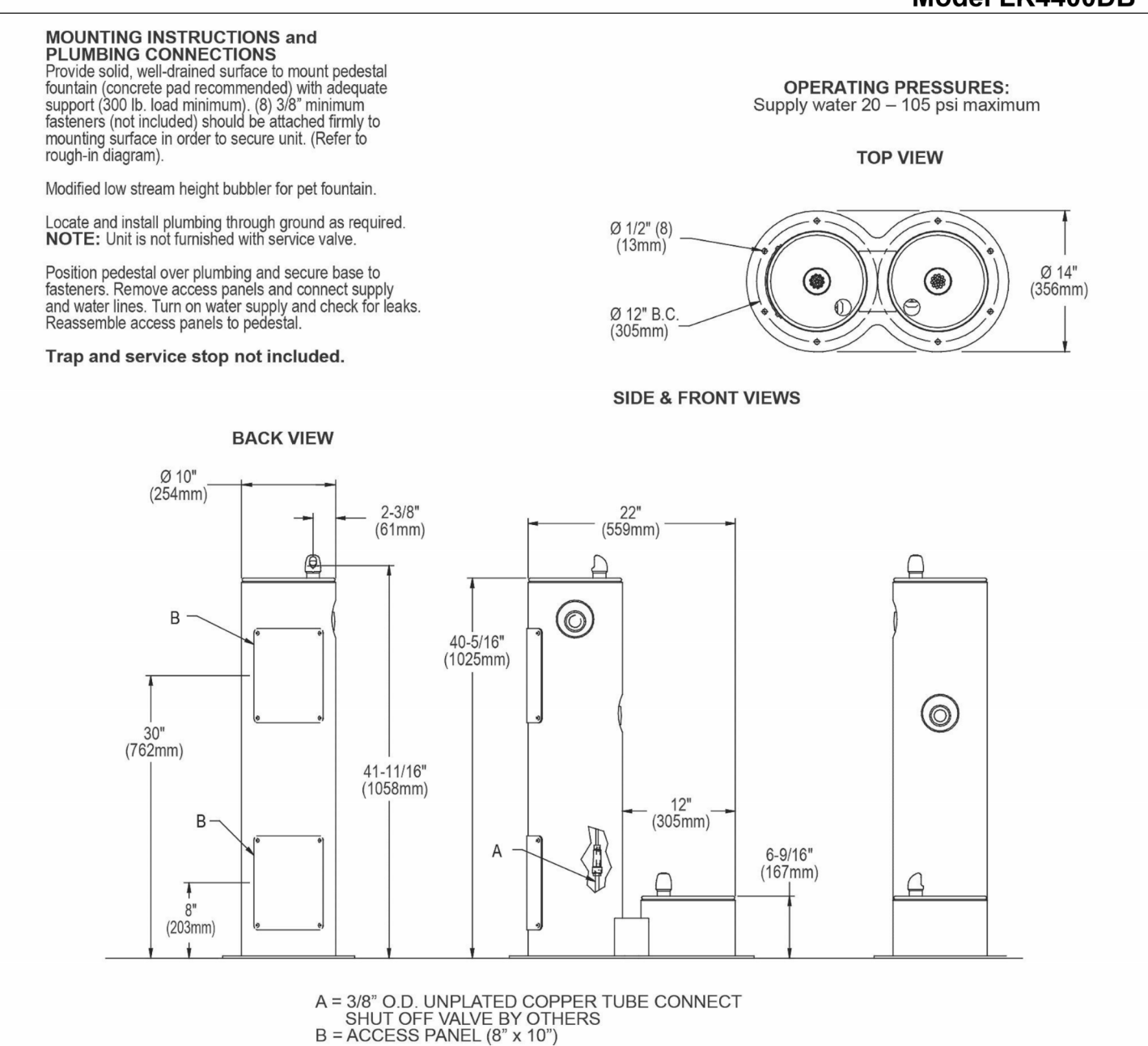
**Adjustable column architectural cluster solution. Flexible project solutions in attractive cluster arrangements using the square-form architectural Lador spotlight range.**  
A range of square outdoor IP66 floodlight projectors that meets both aesthetic and functional applications. This cubic floodlight range is available with 4 different sizes, starting with a small 2.4" square profile at 2w, and increases proportionately to 3" at 11w, 4.5" at 21w and 5.7" square at 40w. This glare free luminaire is available in Narrow 10° beam, Medium 19°, Wide 35°, Very Wide 71° and Elliptical 41°x14° beam patterns.  
This luminaire is engineered to meet harsh outdoor environments, as well as being able to be used as a decorative indoor product.  
The Lador is provided with an integral driver and has accessories that include dichroic color filters, linear spread lens, honeycomb louvers and anti-glare visors.  
This floodlight also has a unique aiming and locking system for precise mounting and beam aiming.  
The Lador product family consists of: floodlights, wall sconces, ceiling mounted sconces and cluster lumens et al.  
This luminaire is available with a natatorium rated coating.  
Heights for Lador Cluster Columns  
ULD-20001 - 19 feet  
ULD-20002 - 20 feet  
ULD-20003 - 26 feet



7 LIGHTING - SL-7  
AR-80' SCALE: 12" = 1'-0"

## ELKAY SPECIFICATIONS

Elkay Outdoor Pedestal Fountain with Pet Station Non-Filtered Non-Refrigerated Model LK4400DB



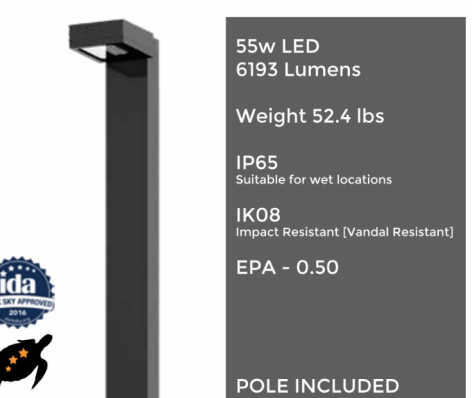
In keeping with our policy of continuing product improvement, Elkay reserves the right to change product specifications without notice. Please visit elkay.com for the most current version of Elkay product specification sheets. This specification describes an Elkay product with design, quality, and functional benefits to the user. When making a comparison of other producers' offerings, be certain these features are not overlooked.

Elkay Reg 06292023 1-800-260-6640 | SVtechservice@Elkay.com © 2023 Page 3  
LK4400DB Patent zum-elkay.com/patents LK4400DB spec.pdf

8 ELKAY OUTDOOR FOUNTAIN AND PET FOUNTAIN  
AR-80' SCALE: 12" = 1'-0"

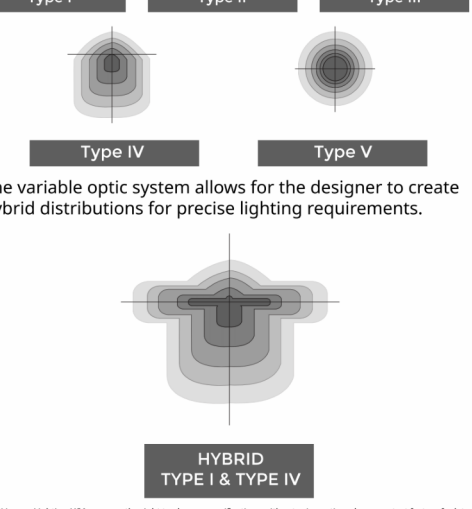
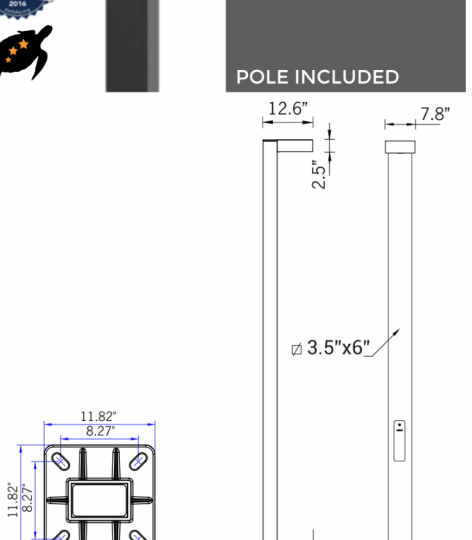
## ULI-21241

### Light Linear PT 8 Single Head Streetlight



**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6060 extruded & LMS Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.  
**Pre-paint**  
A step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before powder painting.  
**Memory Retentive-Silicon Gasket**  
Provided with special injection molded "lid" for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.  
**Thermal management**  
LMS Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.  
**Surge Suppression**  
Standard 15kv surge suppressor provided with all fixtures.  
**BUG Rating**  
Contact Factory  
**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.  
**Paint**  
UV Stabilized 4Mk thick powder coat paint and baked at 200 Deg. C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**Public realm contemporary column family. Stylish but technically precise area lighting solutions as part of a large flexible family.**  
Light Linear PT 8 is an elegant minimalist lighting column that is suitable for both modern and classic architectural. Ideal for creating visual guidance with exceptional visual comfort. The dual sealed optical chamber with integrated heat sinks houses a range of field interchangeable optically controlled LEDs, providing Type II, III, IV & V distribution, as well as variations of this for precise light distribution requirements.  
An example of this, is using a combination of Type II and Type IV distribution optics inside the same fixture. This product range is available in multiple wattage options and as single & double head styles. Customer specific wattages can be provided, contact the factory for more information.  
This luminaire complies to Dark Sky requirements.  
The sleek and minimalist shape provides distinctive lighting effects by night and decorative urban effect during the day. Suitable for use in pedestrian precincts, building surrounds, shopping centers, squares, parks and parking lots.  
This product range is complemented with high performance optics in the bollard and wall mounted luminaires, to provide a consistent range of design aesthetics for the project. See website for more information. Poles can be provided with GFI boxes positioned to specific heights specified by the architect. A flat low profile hand hole cover with vertical resistant screen is provided for easy installation.  
Internal house side sheds are available as an option. Available with a selection of integral electronic drivers and dimming electronic drivers as well as a provision to install wireless lighting control to integrate with building management systems, as well as pole mounted occupancy sensors (contact the factory for more information) Easy access to the luminaire for maintenance. A patented technology enables the simulation of wood grain, and even marble or granite finish through the use of decorative powder coating.  
The wood grain finish is so realistic that it's almost undistinguishable from real wood, even from a close visual inspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be removed by normal rubbing, chipping, or scratching.  
The Coating Process  
After pre-treatment the prepared parts are powder coated with a specially formulated polyurethane powder. This powder provides protection against wear, abrasion, impact and corrosion and acts as the ideal base color for the finished metal decoration.  
The component is then wrapped with a sheet of non-porous film with the selected decoration pattern printed on it using special high temperature inks.  
This printed film transfer is vacuum sealed to the surface for a complete thermal print and then transferred into a customized oven. The oven transforms the ink into different forms within the paint layer before it becomes solid. Finally, the film is removed, and a void liner look on aluminum remains.  
Wood grain coating can create beautiful wood looking products of any sort. There are over 300 combinations of designs currently in use. Wood grains can be made with different colors, designs, etc.  
Our powder coatings are certified for indoor and outdoor applications and are backed by a comprehensive warranty. These coatings rise to the highest consumable standard of performance excellence and design innovation.  
**Added Benefits:**  
- Resistance to salt acid rain, accelerated aging  
- Baking water, lime and condensed water resistant  
- Anti-Graffiti, Anti-Slip, Anti-Microbial, Anti-Scratch  
- Super durable (20 years)  
- T502 free (no lead)  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)



5 LIGHTING - SL-5  
AR-80' SCALE: 12" = 1'-0"

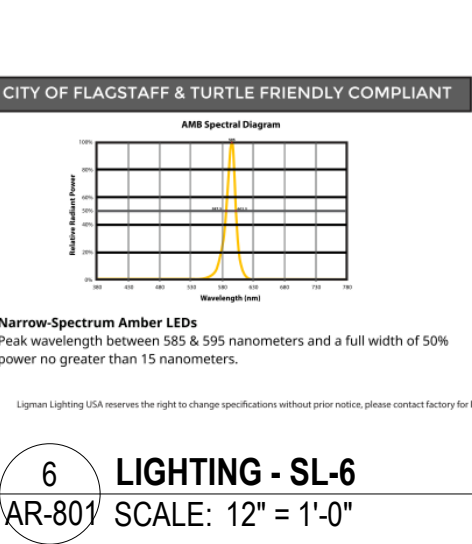
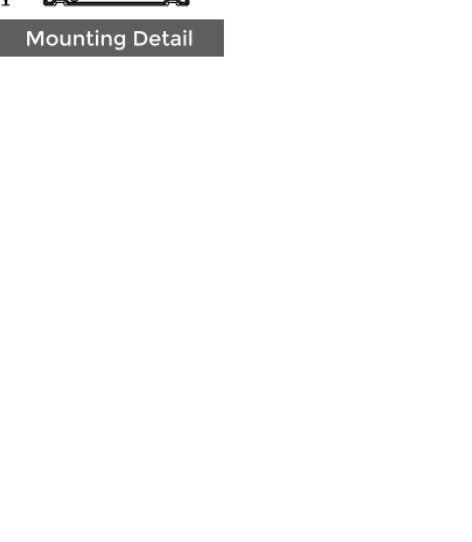
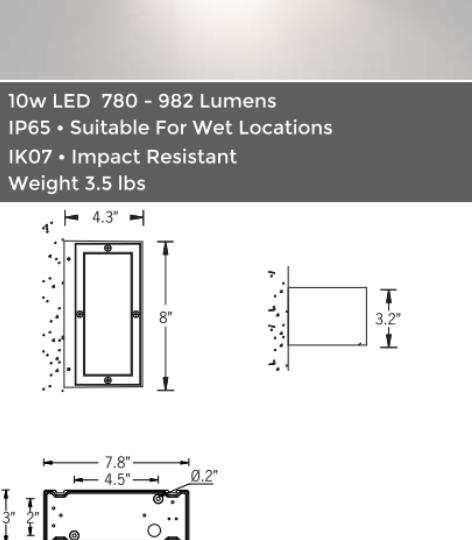
## UGI-31641

### Gino 4 Type I, II, III, IV & V Downlight



**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6060 extruded & LMS Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.  
**Pre-paint**  
A step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before powder painting.  
**Memory Retentive-Silicon Gasket**  
Provided with special injection molded "lid" for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.  
**Thermal management**  
LMS Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.  
**Surge Suppression**  
Standard 15kv surge suppressor provided with all fixtures.  
**BUG Rating**  
Contact Factory  
**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.  
**Paint**  
UV Stabilized 4Mk thick powder coat paint and baked at 200 Deg. C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**Public realm contemporary column family. Stylish but technically precise area lighting solutions as part of a large flexible family.**  
Light Linear PT 8 is an elegant minimalist lighting column that is suitable for both modern and classic architectural. Ideal for creating visual guidance with exceptional visual comfort. The dual sealed optical chamber with integrated heat sinks houses a range of field interchangeable optically controlled LEDs, providing Type II, III, IV & V distribution, as well as variations of this for precise light distribution requirements.  
An example of this, is using a combination of Type II and Type IV distribution optics inside the same fixture. This product range is available in multiple wattage options and as single & double head styles. Customer specific wattages can be provided, contact the factory for more information.  
This luminaire complies to Dark Sky requirements.  
The sleek and minimalist shape provides distinctive lighting effects by night and decorative urban effect during the day. Suitable for use in pedestrian precincts, building surrounds, shopping centers, squares, parks and parking lots.  
This product range is complemented with high performance optics in the bollard and wall mounted luminaires, to provide a consistent range of design aesthetics for the project. See website for more information. Poles can be provided with GFI boxes positioned to specific heights specified by the architect. A flat low profile hand hole cover with vertical resistant screen is provided for easy installation.  
Internal house side sheds are available as an option. Available with a selection of integral electronic drivers and dimming electronic drivers as well as a provision to install wireless lighting control to integrate with building management systems, as well as pole mounted occupancy sensors (contact the factory for more information) Easy access to the luminaire for maintenance. A patented technology enables the simulation of wood grain, and even marble or granite finish through the use of decorative powder coating.  
The wood grain finish is so realistic that it's almost undistinguishable from real wood, even from a close visual inspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be removed by normal rubbing, chipping, or scratching.  
The Coating Process  
After pre-treatment the prepared parts are powder coated with a specially formulated polyurethane powder. This powder provides protection against wear, abrasion, impact and corrosion and acts as the ideal base color for the finished metal decoration.  
The component is then wrapped with a sheet of non-porous film with the selected decoration pattern printed on it using special high temperature inks.  
This printed film transfer is vacuum sealed to the surface for a complete thermal print and then transferred into a customized oven. The oven transforms the ink into different forms within the paint layer before it becomes solid. Finally, the film is removed, and a void liner look on aluminum remains.  
Wood grain coating can create beautiful wood looking products of any sort. There are over 300 combinations of designs currently in use. Wood grains can be made with different colors, designs, etc.  
Our powder coatings are certified for indoor and outdoor applications and are backed by a comprehensive warranty. These coatings rise to the highest consumable standard of performance excellence and design innovation.  
**Added Benefits:**  
- Resistance to salt acid rain, accelerated aging  
- Baking water, lime and condensed water resistant  
- Anti-Graffiti, Anti-Slip, Anti-Microbial, Anti-Scratch  
- Super durable (20 years)  
- T502 free (no lead)  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)



6 LIGHTING - SL-6  
AR-80' SCALE: 12" = 1'-0"

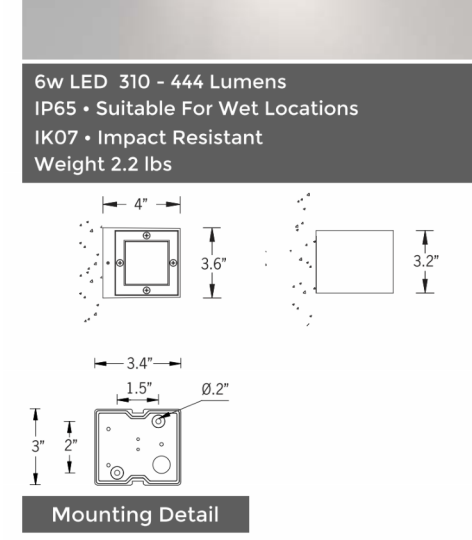
## UGI-31621

### Gino 2 Type I, II, III, IV & V Downlight



**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6060 extruded & LMS Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.  
**Pre-paint**  
A step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before powder painting.  
**Memory Retentive-Silicon Gasket**  
Provided with special injection molded "lid" for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.  
**Thermal management**  
LMS Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.  
**Surge Suppression**  
Standard 15kv surge suppressor provided with all fixtures.  
**BUG Rating**  
Contact Factory  
**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.  
**Paint**  
UV Stabilized 4Mk thick powder coat paint and baked at 200 Deg. C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**Public realm contemporary column family. Stylish but technically precise area lighting solutions as part of a large flexible family.**  
Light Linear PT 8 is an elegant minimalist lighting column that is suitable for both modern and classic architectural. Ideal for creating visual guidance with exceptional visual comfort. The dual sealed optical chamber with integrated heat sinks houses a range of field interchangeable optically controlled LEDs, providing Type II, III, IV & V distribution, as well as variations of this for precise light distribution requirements.  
An example of this, is using a combination of Type II and Type IV distribution optics inside the same fixture. This product range is available in multiple wattage options and as single & double head styles. Customer specific wattages can be provided, contact the factory for more information.  
This luminaire complies to Dark Sky requirements.  
The sleek and minimalist shape provides distinctive lighting effects by night and decorative urban effect during the day. Suitable for use in pedestrian precincts, building surrounds, shopping centers, squares, parks and parking lots.  
This product range is complemented with high performance optics in the bollard and wall mounted luminaires, to provide a consistent range of design aesthetics for the project. See website for more information. Poles can be provided with GFI boxes positioned to specific heights specified by the architect. A flat low profile hand hole cover with vertical resistant screen is provided for easy installation.  
Internal house side sheds are available as an option. Available with a selection of integral electronic drivers and dimming electronic drivers as well as a provision to install wireless lighting control to integrate with building management systems, as well as pole mounted occupancy sensors (contact the factory for more information) Easy access to the luminaire for maintenance. A patented technology enables the simulation of wood grain, and even marble or granite finish through the use of decorative powder coating.  
The wood grain finish is so realistic that it's almost undistinguishable from real wood, even from a close visual inspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be removed by normal rubbing, chipping, or scratching.  
The Coating Process  
After pre-treatment the prepared parts are powder coated with a specially formulated polyurethane powder. This powder provides protection against wear, abrasion, impact and corrosion and acts as the ideal base color for the finished metal decoration.  
The component is then wrapped with a sheet of non-porous film with the selected decoration pattern printed on it using special high temperature inks.  
This printed film transfer is vacuum sealed to the surface for a complete thermal print and then transferred into a customized oven. The oven transforms the ink into different forms within the paint layer before it becomes solid. Finally, the film is removed, and a void liner look on aluminum remains.  
Wood grain coating can create beautiful wood looking products of any sort. There are over 300 combinations of designs currently in use. Wood grains can be made with different colors, designs, etc.  
Our powder coatings are certified for indoor and outdoor applications and are backed by a comprehensive warranty. These coatings rise to the highest consumable standard of performance excellence and design innovation.  
**Added Benefits:**  
- Resistance to salt acid rain, accelerated aging  
- Baking water, lime and condensed water resistant  
- Anti-Graffiti, Anti-Slip, Anti-Microbial, Anti-Scratch  
- Super durable (20 years)  
- T502 free (no lead)  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)



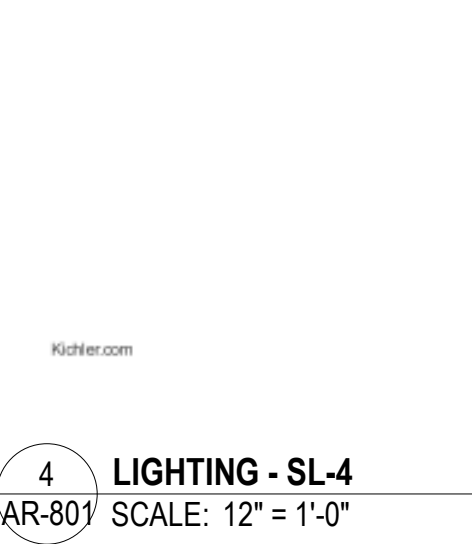
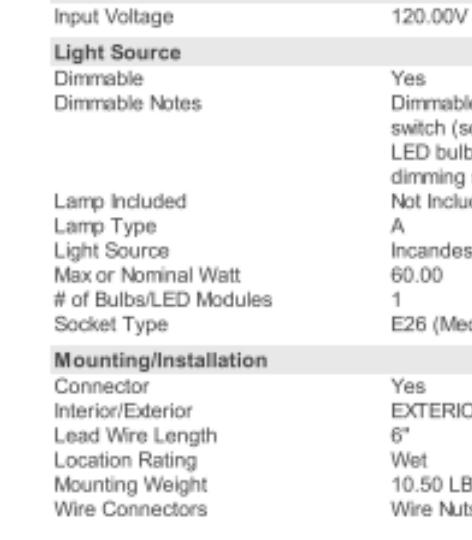
3 LIGHTING - SL-3  
AR-80' SCALE: 12" = 1'-0"

## Branner 24" 1 Light Outdoor Wall Light in Black



**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6060 extruded & LMS Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.  
**Pre-paint**  
A step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before powder painting.  
**Memory Retentive-Silicon Gasket**  
Provided with special injection molded "lid" for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.  
**Thermal management**  
LMS Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.  
**Surge Suppression**  
Standard 15kv surge suppressor provided with all fixtures.  
**BUG Rating**  
Contact Factory  
**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.  
**Paint**  
UV Stabilized 4Mk thick powder coat paint and baked at 200 Deg. C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**Public realm contemporary column family. Stylish but technically precise area lighting solutions as part of a large flexible family.**  
Light Linear PT 8 is an elegant minimalist lighting column that is suitable for both modern and classic architectural. Ideal for creating visual guidance with exceptional visual comfort. The dual sealed optical chamber with integrated heat sinks houses a range of field interchangeable optically controlled LEDs, providing Type II, III, IV & V distribution, as well as variations of this for precise light distribution requirements.  
An example of this, is using a combination of Type II and Type IV distribution optics inside the same fixture. This product range is available in multiple wattage options and as single & double head styles. Customer specific wattages can be provided, contact the factory for more information.  
This luminaire complies to Dark Sky requirements.  
The sleek and minimalist shape provides distinctive lighting effects by night and decorative urban effect during the day. Suitable for use in pedestrian precincts, building surrounds, shopping centers, squares, parks and parking lots.  
This product range is complemented with high performance optics in the bollard and wall mounted luminaires, to provide a consistent range of design aesthetics for the project. See website for more information. Poles can be provided with GFI boxes positioned to specific heights specified by the architect. A flat low profile hand hole cover with vertical resistant screen is provided for easy installation.  
Internal house side sheds are available as an option. Available with a selection of integral electronic drivers and dimming electronic drivers as well as a provision to install wireless lighting control to integrate with building management systems, as well as pole mounted occupancy sensors (contact the factory for more information) Easy access to the luminaire for maintenance. A patented technology enables the simulation of wood grain, and even marble or granite finish through the use of decorative powder coating.  
The wood grain finish is so realistic that it's almost undistinguishable from real wood, even from a close visual inspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be removed by normal rubbing, chipping, or scratching.  
The Coating Process  
After pre-treatment the prepared parts are powder coated with a specially formulated polyurethane powder. This powder provides protection against wear, abrasion, impact and corrosion and acts as the ideal base color for the finished metal decoration.  
The component is then wrapped with a sheet of non-porous film with the selected decoration pattern printed on it using special high temperature inks.  
This printed film transfer is vacuum sealed to the surface for a complete thermal print and then transferred into a customized oven. The oven transforms the ink into different forms within the paint layer before it becomes solid. Finally, the film is removed, and a void liner look on aluminum remains.  
Wood grain coating can create beautiful wood looking products of any sort. There are over 300 combinations of designs currently in use. Wood grains can be made with different colors, designs, etc.  
Our powder coatings are certified for indoor and outdoor applications and are backed by a comprehensive warranty. These coatings rise to the highest consumable standard of performance excellence and design innovation.  
**Added Benefits:**  
- Resistance to salt acid rain, accelerated aging  
- Baking water, lime and condensed water resistant  
- Anti-Graffiti, Anti-Slip, Anti-Microbial, Anti-Scratch  
- Super durable (20 years)  
- T502 free (no lead)  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)



4 LIGHTING - SL-4  
AR-80' SCALE: 12" = 1'-0"

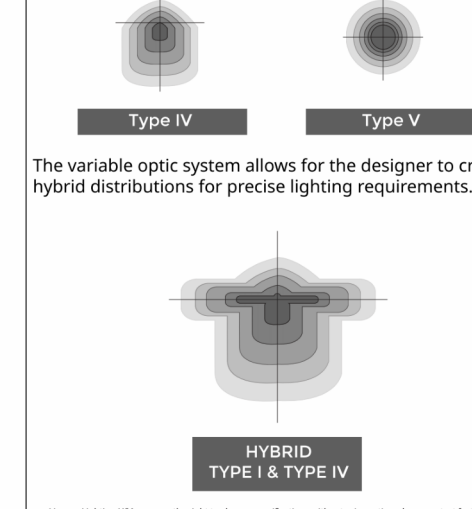
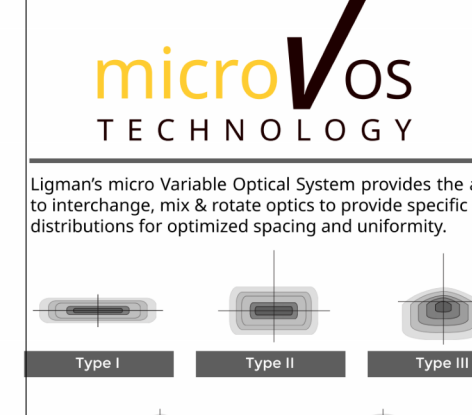
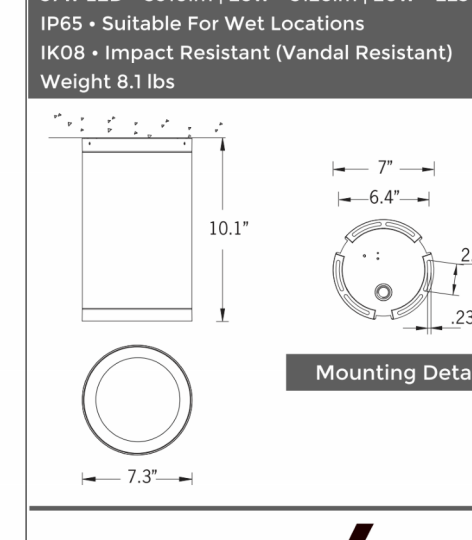
## UTA-80551

### Tango 33 Cylindrical Ceiling Downlight



**Construction**  
Aluminum  
Less than 0.1% copper content - Marine Grade 6060 extruded & LMS Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.  
**Pre-paint**  
A step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before powder painting.  
**Memory Retentive-Silicon Gasket**  
Provided with special injection molded "lid" for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.  
**Thermal management**  
LMS Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.  
**Surge Suppression**  
Standard 15kv surge suppressor provided with all fixtures.  
**BUG Rating**  
Contact Factory  
**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.  
**Paint**  
UV Stabilized 4Mk thick powder coat paint and baked at 200 Deg. C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**Public realm contemporary column family. Stylish but technically precise area lighting solutions as part of a large flexible family.**  
Light Linear PT 8 is an elegant minimalist lighting column that is suitable for both modern and classic architectural. Ideal for creating visual guidance with exceptional visual comfort. The dual sealed optical chamber with integrated heat sinks houses a range of field interchangeable optically controlled LEDs, providing Type II, III, IV & V distribution, as well as variations of this for precise light distribution requirements.  
An example of this, is using a combination of Type II and Type IV distribution optics inside the same fixture. This product range is available in multiple wattage options and as single & double head styles. Customer specific wattages can be provided, contact the factory for more information.  
This luminaire complies to Dark Sky requirements.  
The sleek and minimalist shape provides distinctive lighting effects by night and decorative urban effect during the day. Suitable for use in pedestrian precincts, building surrounds, shopping centers, squares, parks and parking lots.  
This product range is complemented with high performance optics in the bollard and wall mounted luminaires, to provide a consistent range of design aesthetics for the project. See website for more information. Poles can be provided with GFI boxes positioned to specific heights specified by the architect. A flat low profile hand hole cover with vertical resistant screen is provided for easy installation.  
Internal house side sheds are available as an option. Available with a selection of integral electronic drivers and dimming electronic drivers as well as a provision to install wireless lighting control to integrate with building management systems, as well as pole mounted occupancy sensors (contact the factory for more information) Easy access to the luminaire for maintenance. A patented technology enables the simulation of wood grain, and even marble or granite finish through the use of decorative powder coating.  
The wood grain finish is so realistic that it's almost undistinguishable from real wood, even from a close visual inspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be removed by normal rubbing, chipping, or scratching.  
The Coating Process  
After pre-treatment the prepared parts are powder coated with a specially formulated polyurethane powder. This powder provides protection against wear, abrasion, impact and corrosion and acts as the ideal base color for the finished metal decoration.  
The component is then wrapped with a sheet of non-porous film with the selected decoration pattern printed on it using special high temperature inks.  
This printed film transfer is vacuum sealed to the surface for a complete thermal print and then transferred into a customized oven. The oven transforms the ink into different forms within the paint layer before it becomes solid. Finally, the film is removed, and a void liner look on aluminum remains.  
Wood grain coating can create beautiful wood looking products of any sort. There are over 300 combinations of designs currently in use. Wood grains can be made with different colors, designs, etc.  
Our powder coatings are certified for indoor and outdoor applications and are backed by a comprehensive warranty. These coatings rise to the highest consumable standard of performance excellence and design innovation.  
**Added Benefits:**  
- Resistance to salt acid rain, accelerated aging  
- Baking water, lime and condensed water resistant  
- Anti-Graffiti, Anti-Slip, Anti-Microbial, Anti-Scratch  
- Super durable (20 years)  
- T502 free (no lead)  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)



1 LIGHT





NORTH-EAST CORNER, NIGHT VIEW



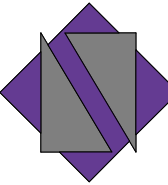
NORTH-EAST CORNER, DAYLIGHT



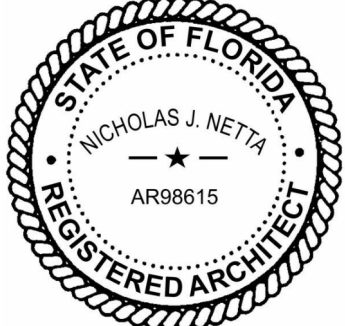
SOUTH-EAST CORNER, NIGHT VIEW



SOUTH-EAST CORNER, DAYLIGHT



**NETTA ARCHITECTS**  
621 NW 53rd Street, Suite 270  
Boca Raton, Florida 33487  
(561) 295-4500  
www.nettaarchitects.com  
CERTIFICATE OF AUTHENTICATION M1800001650



02-18-2024

NICHOLAS J. NETTA, AIA, NCARB  
FL REGISTRATION No. AR98615  
FRANCISCO J. MELENDEZ, SR., AIA  
FL REGISTRATION No. AR101881

These drawings, or parts thereof, may not be reproduced in any form, by any method, for any purpose, without the prior written consent from:

NICHOLAS J. NETTA, ARCHITECT.  
FRANCISCO J. MELENDEZ, SR., ARCHITECT

These drawings shall be used for the specific project location indicated within the Title Block, and shall not be used at any other location without prior consent from the ARCHITECT.

**THE MAXWELL**

306 NE 2nd STREET, DELRAY BEACH, FL

**SITE PLAN REVIEW SET**

Submissions

No.	DATE:	DESCRIPTION:
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
4	01-08-2025	TAC 4 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F / F.J.M.
NETTA PROJECT #:	2211652_FL

Drawing title

**RENDERS**

Drawing no.

**AR-900**