THE MAXWELL 306 N.E. 2nd STREET DELRAY BEACH, FL 33483

NEW 4-STORY MIXED USE BUILDING AND PARKING CLASS V, SITE PLAN APPLICATION



ARCHITECT

NETTA ARCHITECTS LLC. ONE PARK PLACE, 621 NW 53rd ST. SUITE 270 BOCA RATON, FL, 33487 TEL: (561) 295-4500

OWNER'S CIVIL ENGINEERING CONSULTANT

CIVIL ENGINEER

DY 100 SU DE TE

DYNAMIC 100 NE 5th AVENUE SUITE B2 DELRAY BEACH, FL, 33483 TEL: (561) 921 8570



OWNER

VAN ARNEM PROPERTIES 265 NE 5th AVENUE DELRAY BEACH, FL, 33483 TEL: (561) 272-2912

OWNER'S LANDSCAPE ARCHITECTURE CONSULTANT

LANDSCAPE ARCHITECT

cabezas - alvarez AF
landscape architects, inc DE

CABEZAS ALVAREZ LANDSCAPE ARCHITECTS, INC. 80 NE 5th Ave. DELRAY BEACH, FL 33483 TEL: (561) 515 1275 ext. 1

AR-050

3 **LOCATION PLAN** AR-000 SCALE: 1" = 30'-0"



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	AR-401	CONTEXT SITE DIAGRAM
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	AR-511	DESIGN GUIDELINES - FACADE PROPORTIONS
	AR-520	DESIGN GUIDELINES - PHOTOMETRIC P GROUND STORY
	AR-521	DESIGN GUIDELINES - PHOTOMETRIC P PARKING AREA
	AR-522	DESIGN GUIDELINES - PHOTOMETRIC P ROOFTOP
	AR-523	DESIGN GUIDELINES - PHOTOMETRIC P ROOFTOP EM. LIGHTING
	AR-600	EXTERIOR WALL OPENINGS, CALCULATIONS
	AR-700	UNIT TYPES
	AR-701	UNIT TYPES
	AR-702	UNIT TYPES
	AR-703	UNIT TYPES
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	AR-705	UNIT TYPES
	AR-800	DETAILS
	AR-801	DETAILS
	AR-900	RENDERS
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	C2.00	DEMOLITION PLAN
	C3.00	PAVING, GRADING & DRAINAGE PLAN
	C3.01	PAVING, GRADING & DRAINAGE DETAILS
	C3.02	PAVING, GRADING & DRAINAGE DETAILS
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	C4.03	UTILITY DETAILS
	C5.00	COMPOSITE OVERLAY PLAN
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	L-1	TREE DISPOSITION
	L-2	LANDSCAPE PLAN
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	L-2.2	LANDSCAPE PLAN ENLARGEMENT
ıco	L-2.3	ROOFTOP LANDSCAPE PLAN
NER	L-3	PLANT DETAILS AND SPECIFICATIONS

SPRS SHEET LIST

SHEET NAME

SHEET#

00 COVER SHEET

01 ARCHITECTURE

AR-000 COVER SHEET

AR-010 SURVEY PLAN

AR-020 DEMOLITION PLAN - BUILDING

AR-030 DEMOLITION PLAN - PARKING

AR-100 GROUND STORY- FLOOR PLAN

AR-101 MEZZANINE - FLOOR PLAN

AR-102 SECOND STORY- FLOOR PLAN

AR-104 FOURTH STORY- FLOOR PLAN

AR-105 ROOFTOP AMENITIES - FLOOR PLAN

AR-103 THIRD STORY- FLOOR PLAN

AR-200 BUILDING ELEVATIONS
AR-201 BUILDING ELEVATIONS
AR-300 BUILDING SECTIONS

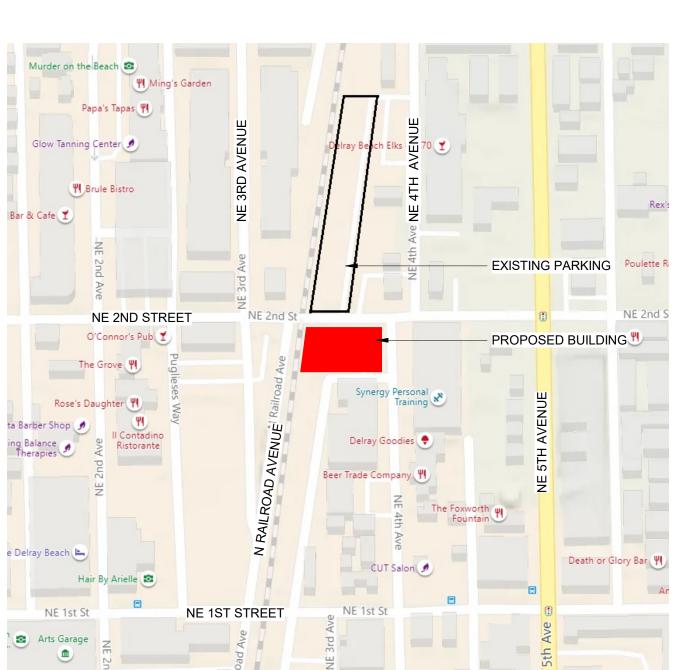
AR-051 DESIGN GUIDELINES - STREETSCAPE PLAN

AR-052 DESIGN GUIDELINES - STREETSCAPE SECTIONS

AR-053 DESIGN GUIDELINES - STREETSCAPE SECTIONS

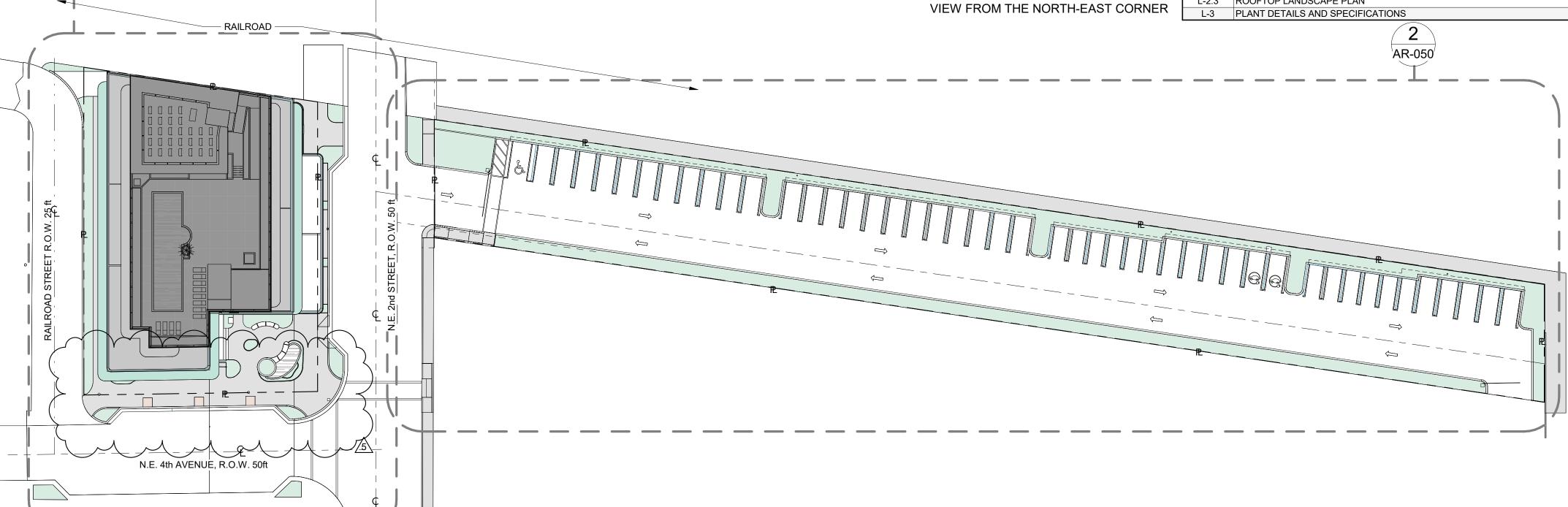
AR-050 PROPOSED SITE PLAN

CC	DE SUMMARY INFORMATION	NC
	DRITY HAVING JURISDICTION: F DELRAY BEACH - BUILDING DIVISION	
•	FLORIDA BUILDING CODE (BUILDING) — — — —	2020 * 7TH ED.
•	FLORIDA BUILDING CODE (PLUMBING)	– 2020 * 7TH ED.
•	FLORIDA BUILDING CODE (MECHANICAL) — — —	2020 * 7TH ED.
•	FLORIDA ACCESSIBILITY CODE	2020 * 7TH ED.
•	NATIONAL ELECTRIC CODE — — — — — —	2020 ED
•	FLORIDA SPECIFIC (NFPA)101 LIFE SAFETY CODE	2021 ED
•	FLORIDA SPECIFIC NFPA (NFPA)1 UNIFORM FIRE CODE	2021 ED
•	PALM BEACH COUNTY CODE OF ORDINANCES	CURRENT
•	CITY OF DELRAY BEACH CODE OF ORDINANCES-	CLIRRENT



2 SITE LOCATION MAP AR-000 SCALE: 1" = 200'-0" CURRENT





15'-0" 30'-0"

60'-0"



02-18-2024 M.A.

TAC REVISION

TAC 3 REVISION TAC 4 REVISION

DESIGNER: M.A

MODELED: C.C

CHECKED: M.F./F.J.M.

NETTA PROJECT #: 2211652_FL

SITE PLAN REVIEW SET

Submissions

Revisions

11-21-2023

06-24-2024

4 01-08-2025 5 03-19-2025

DATE:

NETTA ARCHITECTS

Boca Raton, Florida 33487

(o) 561-295-4500 www.nettaarchitects.com CERTIFICATE OF AUTHENTICATION M18000001650

NICHOLAS J. NETTA, AIA, NCARB

FL REGISTRATION No. AR98615

FRANCISCO J. MELENDEZ, SR., AIA

FL REGISTRATION No. AR101881

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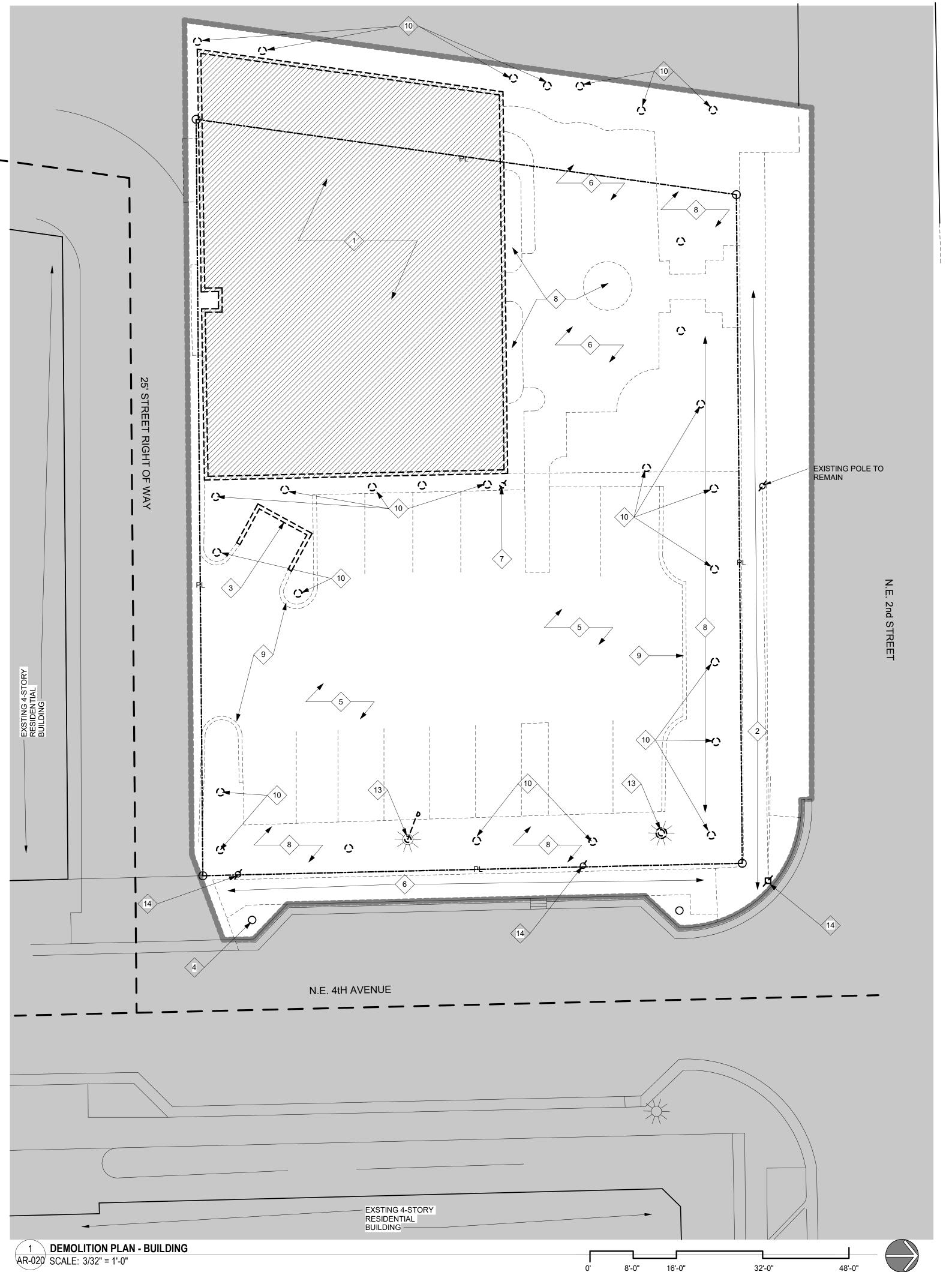
prior consent from the ARCHITECT.

306 NE 2nd STREET, DELRAY BEACH, FL

Drawing title

COVER SHEET

Drawing no.



DEMOLITION LEGEND _____ AREA OF WORK. **b**-----**KEYNOTES**

- REFER TO CIVIL ENGINEERING, SHEET C-4.0 "PRELIMINARY UTILITY PLAN" FOR EXISTING UTILITY LOCATIONS, UTILITIES TO REMAIN, AND DEMOLITION DETAILS.

- IN ORDER TO AVOID DAMAGES TO EXISTING ELECTRICAL SERVICE AND ASSOCIATED WIRING, DEMOLITION

SHALL BE COORDINATED WITH FPL, GC IS TO COORDINATE FUTURE SERVICE TO SITE. - GC IS TO HAVE SPECIAL CARE IN LOCATING EXISTING SERVICES AND AVOID DAMAGES DURING DEMOLITION

- REFER TO LANDSCAPE ARCHITECTURE DRAWINGS, SHEET L-01 FOR TREE DISPOSITION AND TREE RELOCATION DETAILS.

DEMOLITION VEVNOTES

	DEMOLITION KEYNOTES
KEY	DESCRIPTION
1	EXISTING 1-STORY COMMERCIAL BUILDING TO BE REMOVED ENTIRELY
2	EXISTING CONCRETE SIDEWALK TO BE REMOVED
3	DUMPSTER PAD AND WALLS TO BE REMOVED ENTIRELY
4	EXISTING LANDCAPE TO REMAIN, REFER TO LANDSCAPE DRAWINGS
5	ASPHALT PAVEMENT TO BE REMOVED ENTIRELY
6	PAVER FLOOR TO BE REMOVED
7	EXISTING POLE TO BE REMOVED
8	EXISTING LANDSCAPED AREA TO BE REMOVED
9	CONCRETE CURB TO BE REMOVED

LIGHT POLE TO BE REMOVED

14 EXISTING POLE TO REMAIN

EXISTING TREE TO BE REMOVED, REFER TO LANDSCAPE ARCHITECTURE DRAWINGS FOR DETAILS

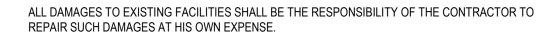
- THESE PLANS REPRESENT THE GENERAL DEMOLITION AND DOES NOT COVER ALL ASPECTS OF THE DEMOLITION REQUIRED TO COMPLETE THIS PROJECT. IT IS THE RESPONSIBILITY OF THE GENERAL
- 7th EDITION, NFPA 1 AND NFPA 101, ADA, FLORIDA STATE STATUTES AND ALL OTHER APPLICABLE
- REPAIR SUCH DAMAGES AT HIS OWN EXPENSE.
- BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL SET UP A SCHEDULE OF OPERATIONS WITH THE OWNER, COORDINATING PERFORMANCE OF ALL WORK WITHIN THE OPERATION SCHEDULE OF THE
- THESE NOTES ARE SCHEMATIC AND REPRESENT AREAS OF SIGNIFICANT WORK. HOWEVER, THEY DO NOT RELIEVE THE CONTRACTOR OF ANY ADDITIONAL WORK OF SIMILAR SCOPE AND NATURE IDENTIFIED THROUGH FIELD INVESTIGATIONS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEMOLITION PERMITS PRIOR TO
- THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION, REMOVAL OR RELOCATION OF EXISTING EQUIPMENT, MATERIALS, APPURTENANCES, ETC. AS INDICATED ON THE DRAWINGS OR AS HEREIN SPECIFIED OR REQUIRED. THESE CONDITIONS MAY OCCUR DURING THE PHASING OF THE EXISTING
- THE CONTRACTOR SHALL CAREFULLY MAKE ALL INVESTIGATIONS IN THE FIELD PRIOR TO SUBMITTING HIS BID. HIS BID SHALL REFLECT ALL WORK NECESSARY FOR THE COMPLETE RENOVATION AND ADDITION TO THE EXISTING FACILITY.

- 17 ALL EXTERIOR SIGNAGE SHALL REMOVED AND RELOCATED AS REQUIRED BY OWNER.
- NOT LIMITED MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL SYSTEMS COMPONENTS.
- THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTORS ARE RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES AND PROCEDURES REQUIRED FOR DEMOLITION INCLUDING BUT NOT LIMITED TO LOCATING EXISTING UTILITIES SHORING, STAGING, TEMPORARY BRACING AND THE CONSTRUCTION
- REVIEW ALL DRAWINGS, PROJECT MANUAL ADDENDA ETC. TO ASSURE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW ALL CONTRACT DOCUMENTS FOR APPLICABLE ITEMS OF WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING WORK SO REQUIRED.
- WORK SHOWN ON ONE DRAWING IS AS GOOD AS IF SHOWN ON EVERY DRAWING. THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTORS ARE RESPONSIBLE FOR THE INSTALLATION OF ANY
- FUNCTIONS DURING DEMOLITION INCLUDING BUT NOT LIMITED TO PUBLIC SAFETY, FIRE EXIT PATHWAYS, PEDESTRIAN REROUTING, MECHANICAL, COMMUNICATIONS, ELECTRICAL AND PLUMBING SYSTEMS CONTINUITY.
- AREAS OF EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING (TO
- PERSONNEL, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS SPECIFIED TO BE SALVAGED, PROTECTION OF PROPERTY TO REMAIN UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES.
- WORK DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING WORK OR WORK INSTALLED UNDER THIS CONTRACT DEPENDING ON CONTRACT REQUIREMENTS.
- IMMEDIATELY IF UNFORESEEN STRUCTURAL ELEMENTS ARE ENCOUNTERED DURING THE DEMOLITION OF THE IMPROVEMENTS NOTED FOR DEMOLITION. TERMINATED ELECTRICAL CONDUCTORS SHALL BE INSULATED TO PROTECT WORKERS AND PUBLIC AGAINST SHOCK.
- APPLICABLE REGULATORY AGENCIES TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- 30 EXIT ACCESS: MAINTAIN FREE, SAFE, AND APPROVED MEANS OF EGRESS IN AND OUT OF PROJECT LOCATION IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE REGULATORY AGENCIES.
- 31 * ALL DEMOLITION WORK SHALL CONFORM TO THE REQUIREMENTS OF NFPA 241. TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.

DEMOLITION GENERAL NOTES

CONTRACTOR TO COORDINATE BETWEEN ALL TRADES.

THIS PROJECT IS TO BE CONSTRUCTED UNDER THE PROVISIONS OF THE FLORIDA BUILDING CODE 2020,



THERE SHALL BE NO INTERRUPTION OF THE EXISTING PLUMBING, MECHANICAL, ELECTRICAL AND/OR FIRE-PROTECTION SERVICES WITHOUT PRIOR CONSENT OF THE OWNER. SUCH INTERRUPTION SHALL BE KEPT TO A MINIMUM AND SHALL BE CLOSELY SCHEDULED WITH THE OWNER.

ALL DEMOLITION OPERATIONS SHALL BE COORDINATED WITH APPLICABLE UTILITY COMPANY WHERE

DASHED LINES INDICATE ITEMS TO BE REMOVED. THE LOCATIONS KEYED ON THE DRAWINGS FOR

BEGINNING OF ANY WORK.

THE CONTRACTOR SHALL KEEP THE SITE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK. UPON COMPLETION OF THE CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE THE SITE TO THE SAME CONDITION AS BEFORE COMMENCEMENT OF THE

ANY ITEMS NOT SPECIFICALLY IDENTIFIED BUT RE- QUIRED TO BE REMOVED OR REPAIRED TO PREPARE THE BUILDING FOR NEW WORK OR TO OTHERWISE PRODUCE THE FINISHED PRODUCT SHOWN IN THE CONTRACT DOCUMENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING PARTITIONS AND ARE NOT INTENDED TO REPRESENT "AS BUILT" CONDITIONS. ALL INFORMA- TION MUST BE VERIFIED ON SITE.

PARTITIONS AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES IN THE WALLS SHALL ALSO BE REMOVED OR RELOCATED AS REQUIRED. EDGES OF CONCRETE/MASONRY WALLS TO REMAIN SHALL BE SAW-CUT NEATLY (EXCEPT FOR BRICKWORK, REFER TO INSTRUCTIONS) TO ACCEPT NEW CONSTRUCTION. REPAIR AND PATCH EXISTING WALLS TO REMAIN.

SALVAGED MATERIALS AS SPECIFIED BY OWNER SHALL BE CLEANED AND STORED IN APPROPRIATE AREAS AWAY FROM THE DEMOLITION UNTIL NEEDED.

16 PROVIDE WEATHER PROTECTION TO EXISTING BUILDING DURING ALL PHASES OF CONSTRUCTION.

18 THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY OBSERVED DISCREPANCIES PRIOR DEMOLITION.

EACH SUBCONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO OR DURING DEMOLITION TO COORDINATE THE REQUIRED DEMOLITION FOR THEIR TRADE. ANY ADDITIONAL DEMOLITION NOT COORDINATED WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTOR.

THE DEMOLITION CONTRACTOR SHALL REVIEW THE COMPLETE SET OF CONSTRUCTION DOCUMENTS IN ORDER TO DETERMINE ADDITIONAL WORK BY HIS OR HER CONTRACT. THIS WORK MAY INCLUDE BUT IS

OF NEW SUPPORT SYSTEMS REQUIRED PRIOR TO DEMOLITION.

22 IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH OF HIS SUBCONTRACTORS TO

TEMPORARY BARRIERS, SHIELDS AND SIGNAGE REQUIRED DURING DEMOLITION.

24 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL THE MEDICAL FACILITY

THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL TAKE CARE NOT TO DISTURB ANY MATCH EXISTING) ANY AREAS DISTURBED BY DEMOLITION.

THE DEMOLITION PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, PROTECTION OF

27 THE EXISTING PARKING GARAGE AND RESEARCH BUILDINGS SHALL BE PROTECTED FROM DAMAGE.

28 CONTRACTOR SHALL NOT REMOVE ANY STRUCTURAL ITEM. ARCHITECT SHALL BE NOTIFIED

SAFETY: PROVIDE, ERECT AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY

621 NW 53rd Street, Suite 270 Boca Raton, Florida 33487 (o) 561-295-4500 www.nettaarchitects.com

CERTIFICATE OF AUTHENTICATION M18000001650

NICHOLAS J. NETTA, AIA, NCARB FL REGISTRATION No. AR98615 FRANCISCO J. MELENDEZ, SR., AIA FL REGISTRATION No. AR101881

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MAXWEI

DELRAY

306 NE 2nd STREET, BEACH, FL

SITE PLAN REVIEW SET

Submissions

DATE: DESCRIPTION:

Revisions

02-18-2024 DATE: DESIGNER: MODELED:

M.F ./ F.J.M. CHECKED: 2211652_FL NETTA PROJECT #:

Drawing title

DEMOLITION LEGEND p-----AREA OF WORK. b-----KEYNOTES

NOTES:

DEMOLITION PLAN - PARKING

AR-030 SCALE: 1/16" = 1'-0"

- REFER TO CIVIL ENGINEERING, SHEET C-4.0 "PRELIMINARY UTILITY PLAN" FOR EXISTING UTILITY LOCATIONS. UTILITIES TO REMAIN, AND DEMOLITION DETAILS.

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- REFER TO LANDSCAPE ARCHITECTURE DRAWINGS, SHEET L-01 FOR TREE DISPOSITION AND TREE RELOCATION DETAILS.

	DEMOLITION KEYNOTES
KEY	DESCRIPTION
2	EXISTING CONCRETE SIDEWALK TO BE REMOVED
4	EXISTING LANDCAPE TO REMAIN, REFER TO LANDSCAPE DRAWINGS
5	ASPHALT PAVEMENT TO BE REMOVED ENTIRELY
8	EXISTING LANDSCAPED AREA TO BE REMOVED
9	CONCRETE CURB TO BE REMOVED
10	EXISTING TREE TO BE REMOVED, REFER TO LANDSCAPE ARCHITECTURE DRAWINGS FOR DETAILS
15	EXISTING LIGHT POLE TO REMAIN
16	EXISTING CATCH BASIN TO REMAIN
17	EXISTING CURB TO REMAIN

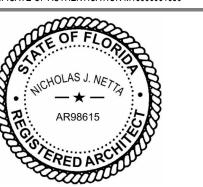
DEMOLITION GENERAL NOTES

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- THIS PROJECT IS TO BE CONSTRUCTED UNDER THE PROVISIONS OF THE FLORIDA BUILDING CODE 2020, 7th EDITION, NFPA 1 AND NFPA 101, ADA, FLORIDA STATE STATUTES AND ALL OTHER APPLICABLE
- ALL DAMAGES TO EXISTING FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR SUCH DAMAGES AT HIS OWN EXPENSE.
- BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL SET UP A SCHEDULE OF OPERATIONS WITH THE OWNER, COORDINATING PERFORMANCE OF ALL WORK WITHIN THE OPERATION SCHEDULE OF THE
- THERE SHALL BE NO INTERRUPTION OF THE EXISTING PLUMBING, MECHANICAL, ELECTRICAL AND/OR FIRE-PROTECTION SERVICES WITHOUT PRIOR CONSENT OF THE OWNER. SUCH INTERRUPTION SHALL BE KEPT TO A MINIMUM AND SHALL BE CLOSELY SCHEDULED WITH THE OWNER.
- ALL DEMOLITION OPERATIONS SHALL BE COORDINATED WITH APPLICABLE UTILITY COMPANY WHERE
- DASHED LINES INDICATE ITEMS TO BE REMOVED. THE LOCATIONS KEYED ON THE DRAWINGS FOR THESE NOTES ARE SCHEMATIC AND REPRESENT AREAS OF SIGNIFICANT WORK. HOWEVER, THEY DO NOT RELIEVE THE CONTRACTOR OF ANY ADDITIONAL WORK OF SIMILAR SCOPE AND NATURE IDENTIFIED THROUGH FIELD INVESTIGATIONS.
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- THE CONTRACTOR SHALL KEEP THE SITE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK. UPON COMPLETION OF THE CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE THE SITE TO THE SAME CONDITION AS BEFORE COMMENCEMENT OF THE
- THE CONTRACTOR SHALL CAREFULLY MAKE ALL INVESTIGATIONS IN THE FIELD PRIOR TO SUBMITTING HIS BID. HIS BID SHALL REFLECT ALL WORK NECESSARY FOR THE COMPLETE RENOVATION AND ADDITION TO THE EXISTING FACILITY.
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- 20 THE DEMOLITION CONTRACTOR SHALL REVIEW THE COMPLETE SET OF CONSTRUCTION DOCUMENTS IN ORDER TO DETERMINE ADDITIONAL WORK BY HIS OR HER CONTRACT. THIS WORK MAY INCLUDE BUT IS NOT LIMITED MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL SYSTEMS COMPONENTS.
- THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTORS ARE RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES AND PROCEDURES REQUIRED FOR DEMOLITION INCLUDING BUT NOT LIMITED TO LOCATING EXISTING UTILITIES SHORING, STAGING, TEMPORARY BRACING AND THE CONSTRUCTION OF NEW SUPPORT SYSTEMS REQUIRED PRIOR TO DEMOLITION.
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- 25 THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL TAKE CARE NOT TO DISTURB ANY AREAS OF EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING (TO MATCH EXISTING) ANY AREAS DISTURBED BY DEMOLITION.
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- THE EXISTING PARKING GARAGE AND RESEARCH BUILDINGS SHALL BE PROTECTED FROM DAMAGE. WORK DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING WORK OR WORK INSTALLED UNDER THIS CONTRACT DEPENDING ON CONTRACT REQUIREMENTS.
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- 29 SAFETY: PROVIDE, ERECT AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE REGULATORY AGENCIES TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
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MAXWELL

DELRAY

STREET, EACH, FL

2nd BE

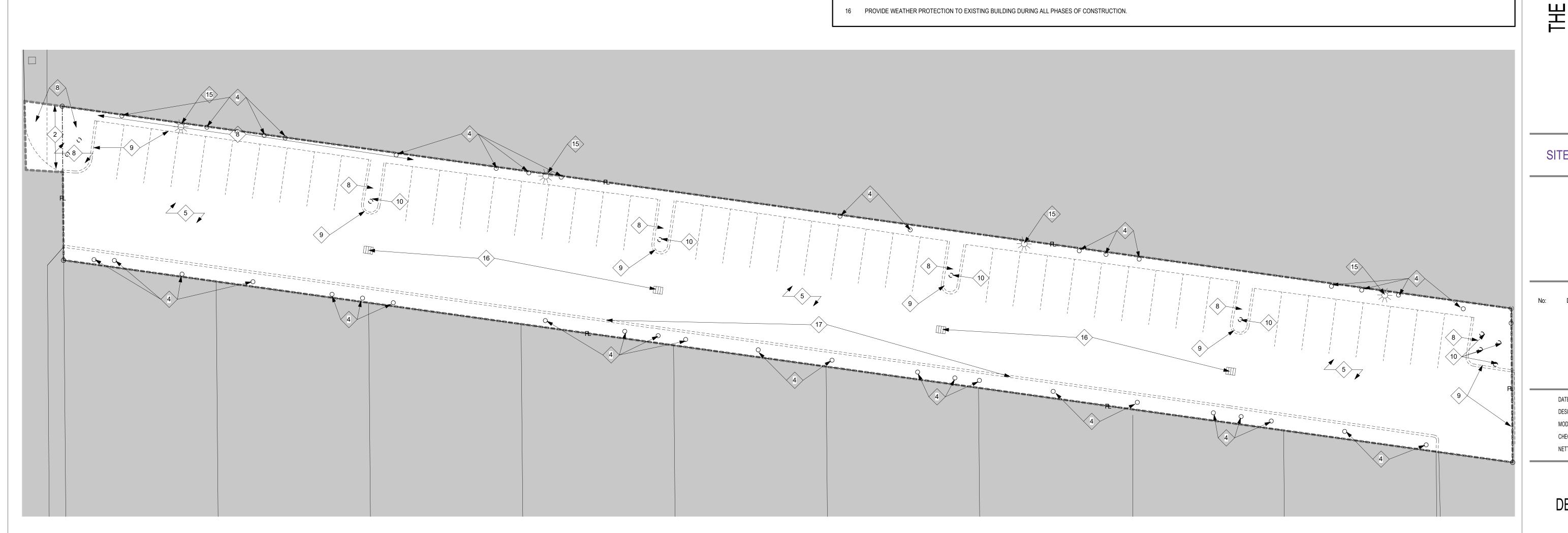
SITE PLAN REVIEW SET

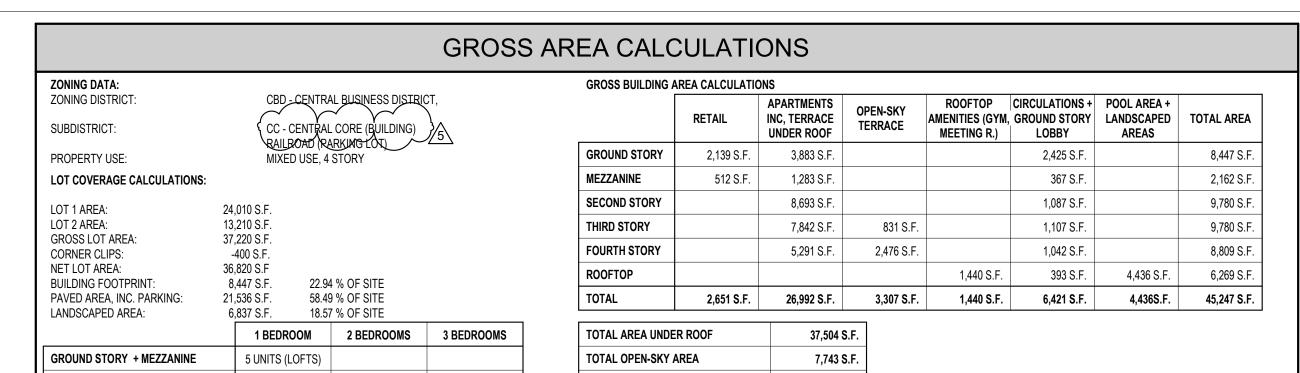
02-18-2024 DATE:

M.F ./ F.J.M. 2211652_FL NETTA PROJECT #:

Drawing title

DEMOLITION PLAN -PARKING





TOTAL AREA

4 UNITS

6 UNITS

5 UNITS

15 UNITS

- RAILROAD

- 0 ft SIDE SETBACK

1 UNIT

6 UNITS

F.F.E. 17.10

2 UNITS

2 UNITS

45,247 S.F.

LANDSCAPED AREAS,

DRAWINGS (TYP)

REFER TO LANDSCAPE

SECOND STORY

THIRD STORY

FOURTH STORY

TOTAL (23 UNITS)

ZONII	NG CODE CO	MPLIANCE		
	REQUIRED	PROVIDED		WAIVER
MAXIMUM NUMBER OF STORIES-TABLE 4.4.13(B)	4 STORIES	4 STORIES		N/A
MAXIMUM HEIGHT - TABLE 4.4.13.(B)	54 FT	54 FT		M+W W+W
FRONT SETBACK - FIRST STORY		RAILROAD St. GROUND , CORNER RR-4th	11'-2" 1'-10"	APPROVED BY RESOLUTION 178-24
	MIN. 10 FT MAX. 15 FT	NE 4th AVE. CORNER 2nd-4th	10'-6"(& 14'-5" 10'	\
		NE 2nd ST.	10' - 8"	
FRONT SETBACK - STORIES 2, 3		RAILROAD St. GROUND , 11'-2"		
	MIN. 10 FT MAX. 15 FT	RAILROAD ST. LEVELS 2 & 3 CORNER RR-4th NE 4th AVE. CORNER 2nd-4th NE 2nd ST.	10' 9" 10' 10' 10' - 8"	APPROVED BY RESOLUTION 178-24
FRONT SETBACK - STORIES 4, 5	20 FT	RAILROAD ST. NE 4th AVE. NE 2nd ST. CORNER RAILROAD St & 4th CORNER 4th AND 2nd	20' 20' 20' 20' 20'	N/A
SIDE SETBACK, ALL STORIES	0 FT	WEST PROPERTY LINE	0 ft & 8 in	N/A
DENSITY	MAX. 30 D.U. / ACRE (25 UNITS)	26.91 D.U. / ACRE 23 UNITS		N/A
FLOOR AREA RATIO	3.0 MAXIMUM	37,504 SF / 36,820 SF F.A.R. = 1.019		N/A
1 BR UNITS	MAX. 55 % (13 UNITS)	6 UNITS		N/A
2 BR OR MORE UNITS	NO LIMIT	17 UNITS		N/A
PARKING SPACES	MIN. 50 SPACES (SEE PARK. CALCS.)	50 SPACES (47 OFF-STREET,3 IN-STREET)		N/A
BICYCLE PARKING SPACES	MULTIFAMILY TYPE I - 1/10 UNITS = 3 TYPE II - 1/6 UNITS = 4 RETAIL TYPE I - 1/2500 SF = 1 TYPE II - NOT REQUIRED	TOTAL PROVIDED TYPE I - 4 SPACES TYPE II - 4 SPACES		N/A
LOADING SPACE	MIN. 2 BERTH	0 BERTHS		APPLIED FOR
CIVIC SPACE - AREA, 0% 0 TO 20,000 SF, 5% 20,000 TO 36,820 SF	MIN. 841 S.F.	778 S.F. FORECOURT.		APPROVED BY RESOLUTION 178-24

	SHARED PARKING CALCULATION					
		WEEKDAYS WEEKEND				
USE	TOTAL	NIGHT (midnight to 6:00 AM)	DAY (9:00am to 4:00pm)	EVENING (6:00 to midnight)	DAY (9:00am to 4:00pm)	EVENING (6:00 to midnight)
RESIDENTIAL Reserved to Units	23	23	23	23	23	23
RESIDENTIAL Guest	25.15	25.15	15.09	22.64	20.12	22.64
COMMERCIAL / RETAIL	5.31	0.27	3.72	4.78	5.31	3.72
TOTAL	53	48	42	50	48	49

1 BR UNITS

2 BR UNITS

COMMERCIAL

DELRAY				ESS DISTRI	CT (CBD)
	BU	ILDING FRONTA	GE AS PER LDR SE	CTION 4.4.13	
STREET	PRIMARY	FACADE	REQUIRED FRONTAGE	PROVIDED FRONTAGE	
N.E. 2nd STREET	YES	114'- 0"	(75% - 100%)	"LOBBY ENTRY" "ARCADE" TOTAL	22' - 4" 67' - 9" 91' - 1" (79.9 %)
N.E. 4th AVENUE	YES	80'-0"	(75% - 100%)	"FORECOURT" "STOOP" TOTAL	36' - 7" 42' - 9" 79' - 4" (99.2 %)
RAILROAD STREET	NO	120'-3"	(NO REQUIREMENT)	"STOOP"	120' - 3" (100 %)

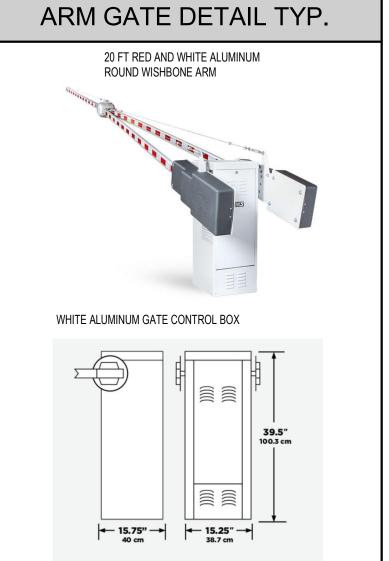
OFF-STREET PARKING	S SPACES, BREAKDOWN BY TYPE	OFF-STREET PARKING SPACES, BREAKDOWN BY TYPE							
REGULAR SPACES COMPACT SPACES ADA SPACES E.V. SPACES TOTAL	(50 SPACES x 0.3 = 15 SPACES ALLOWED (50 - 100 SPACES - 2 REQUIRED) (50 SPACES x 0.03 = 1.5 SPACES REQUIRED	32 SPACES 12 SPACES 1 SPACE 2 SPACES 47 SPACES							
OFF-STREET PARKING	S SPACES, BREAKDOWN BY ASSIGNMENT								
SPACES RESERVED FO SPACES AVAILABLE FO TOTAL	OR APARTMENT UNITS OR GUESTS	23 SPACES 24 SPACES 47 SPACES							
ON-STREET PARKING SPACES									
EXISTING PARKING SP NEW PARKING SPACE NEW PARKING SPACE TOTAL	S - REGULAR	3 SPACES 2 SPACES 1 SPACE 6 SPACES							
TOTAL ADA SPACES		2 SPACES (2 REQUIRED) 2 SPACES (1.5 REQUIRED)							

ALL CONSTRUCTION STAGING AND PARKING WILL BE ACOMMODATED ON THE PARKING LOT PARCEL

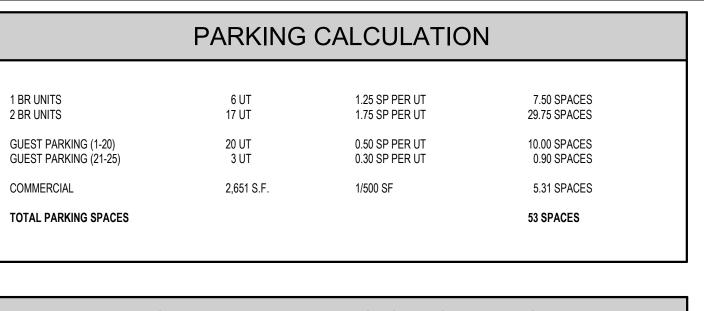
GROSS AREA CALCULATIONS MOVED TO SHEET AR-105 "ROOFTOP AMENITIES"

EYEBROV 4' - 0"		FRONT SETBACK (03)	LOADING SPACE CIVIC SPACE - AREA, 0% 0 TO 20
R.O.W. 25 ft	F.F.E. 17.85 F.F.E. 17.10	EXISTING POLE TO REMAIN	ARM
SETBACK 11' - 2"		NEW IN-STREET PARKING SPACES (3) ARCADE IN GROUND AND SECOND LEVEL	Section 2
CORNER CLIP 20 ft x	EYEBROW & 4' - 0" CIVIC SPACE	ADA PEDESTRIAN CROSSING SIGN	
PROPOSED CONCRETE TRANSFORMER PAD 5	SETBACK EYEBROW A'-0" SETBACK SETBACK SETBACK 10'-6' KEYEBROW	LANDSCAPED AREAS, REFER TO LANDSCAPE DRAWINGS	WHITE A
20 ft x 20 ft, TRIANGLE OF VISIBILITY	EXISTING PARKING SPACES TO REMAIN N.E. 4th AVENUE R.O.W. 50 ft	20 ft x 20 ft VISIBILITY TRIANGLE, WALL AND PLANTING HEIGHT WITHIN TRIANGLE AT 18" MAX. CORNER CLIP 20 ft x 20 ft	
1 SITE PLAN - A AR-050 SCALE: 1" = 20'-	PARTMENT BUILDING 0" ADA SPACE (1)		

EXISTING SIDEWALK



(S.B.) (R.O.W.)	LANDSCAPING BUILDING SETBACK
	BUILDING SETBACK
(R.O.W.)	
	RIGHT OF WAY DEDICATION
⊕	NEW LIGHT POLE FIXTURE
	INDICATES ADA ACCESSIBLE PARKING SPACE
	INDICATES ELECTRIC VEHICLE PARKING SPACE
	EXISTING INLET
	NEW SANITARY MANHOLE
	ELECTRIC VEHICLE CHARGER STATIONS PEDESTAL MOUNTED - SEE DETAIL 3 / AR-800



SHA	RED PAR	RKING C	ALCULA	TION	
		WEEKDAYS		WEE	KEND
TOTAL	NIGHT (midnight to 6:00 AM)	DAY (9:00am to 4:00pm)	EVENING (6:00 to midnight)	DAY (9:00am to 4:00pm)	EVENING (6:00 to midnight)
23	23	23	23	23	23
25.15	25.15	15.09	22.64	20.12	22.64
5.31	0.27	3.72	4.78	5.31	3.72
	TOTAL 23 25.15	TOTAL NIGHT (midnight to 6:00 AM) 23 23 25.15 25.15	TOTAL NIGHT (midnight to 6:00 AM) (9:00am to 4:00pm) 23 23 23 23 25.15 25.15 15.09	WEEKDAYS TOTAL NIGHT (midnight to 6:00 point to (9:00am to 4:00pm) EVENING (6:00 to midnight) 23 23 23 23 25.15 25.15 15.09 22.64	NIGHT (midnight to 6:00 AM) DAY (9:00am to 4:00pm) EVENING (6:00 to midnight) DAY (9:00am to 4:00pm) 23 23 23 23 23 25.15 25.15 15.09 22.64 20.12

	_			TOTAL	79' - 4" (99.2 %)			
STREET	NO	120'-3"	(NO REQUIREMENT)	"STOOP"	120' - 3" (100 %)			
		PARK	(ING PROVI	DED				
OFF-STREET PARKING SPACES, BREAKDOWN BY TYPE								
REGULAR SPACES COMPACT SPACES ADA SPACES E.V. SPACES TOTAL		(50 SPACES x 0.3 = 15 SPACES ALLOWED (50 - 100 SPACES - 2 REQUIRED) (50 SPACES x 0.03 = 1.5 SPACES REQUIRED		32 SPACES 12 SPACES 1 SPACE 2 SPACES 47 SPACES				
OFF-STR	EET PARKING SP	PACES, BREAKDOWN	N BY ASSIGNMENT					
	RESERVED FOR AVAILABLE FOR	APARTMENT UNITS GUESTS		24 SF	PACES PACES			
ON-STRE	EET PARKING SPA	ACES						

	Revisions		
No:	DATE:	DESCRIPTION:	
1	11-21-2023	TAC REVISION	
2	05-18-2024	TAC 2 REVISION	
3	06-24-2024	TAC 3 REVISION	
4	01-08-2025	TAC 4 REVISION	
5	03-19-2025	TAC 5 REVISION	

SITE PLAN REVIEW SET

Submissions

621 NW 53rd Street, Suite 270

Boca Raton, Florida 33487

(o) 561-295-4500

www.nettaarchitects.com

CERTIFICATE OF AUTHENTICATION M18000001650

NICHOLAS J. NETTA, AIA, NCARB

FL REGISTRATION No. AR98615

FRANCISCO J. MELENDEZ, SR., AIA FL REGISTRATION No. AR101881

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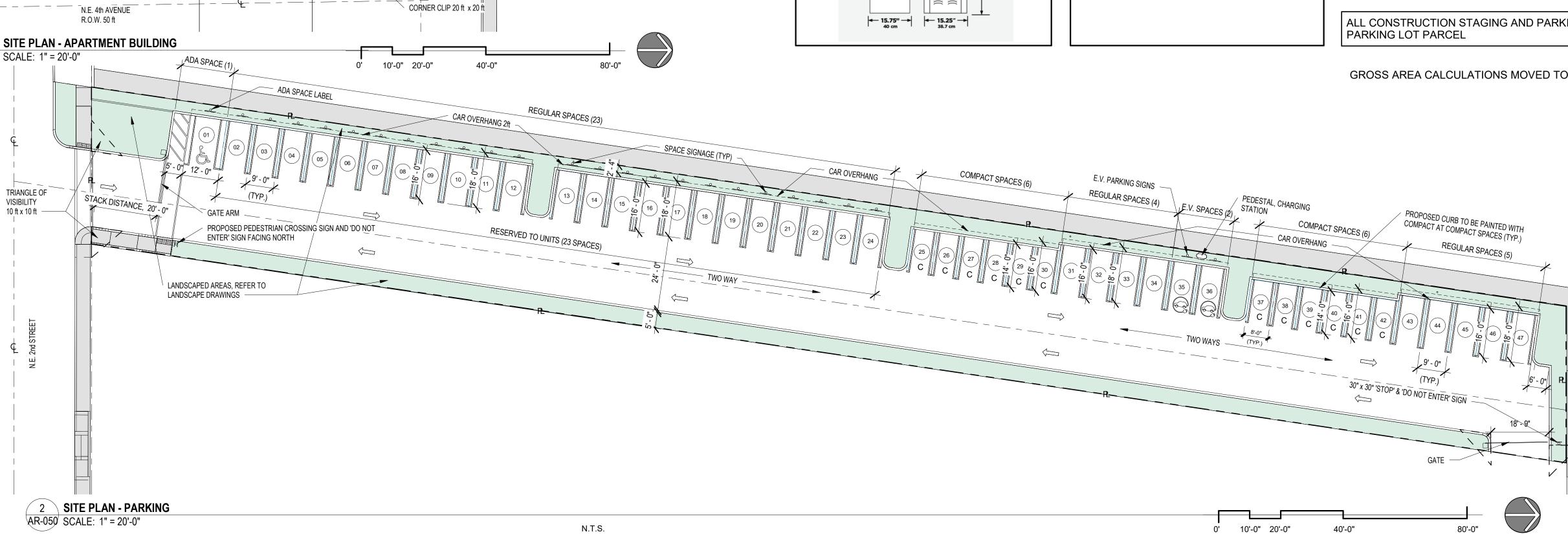
306 NE 2nd STREET, DELRAY BEACH, FL

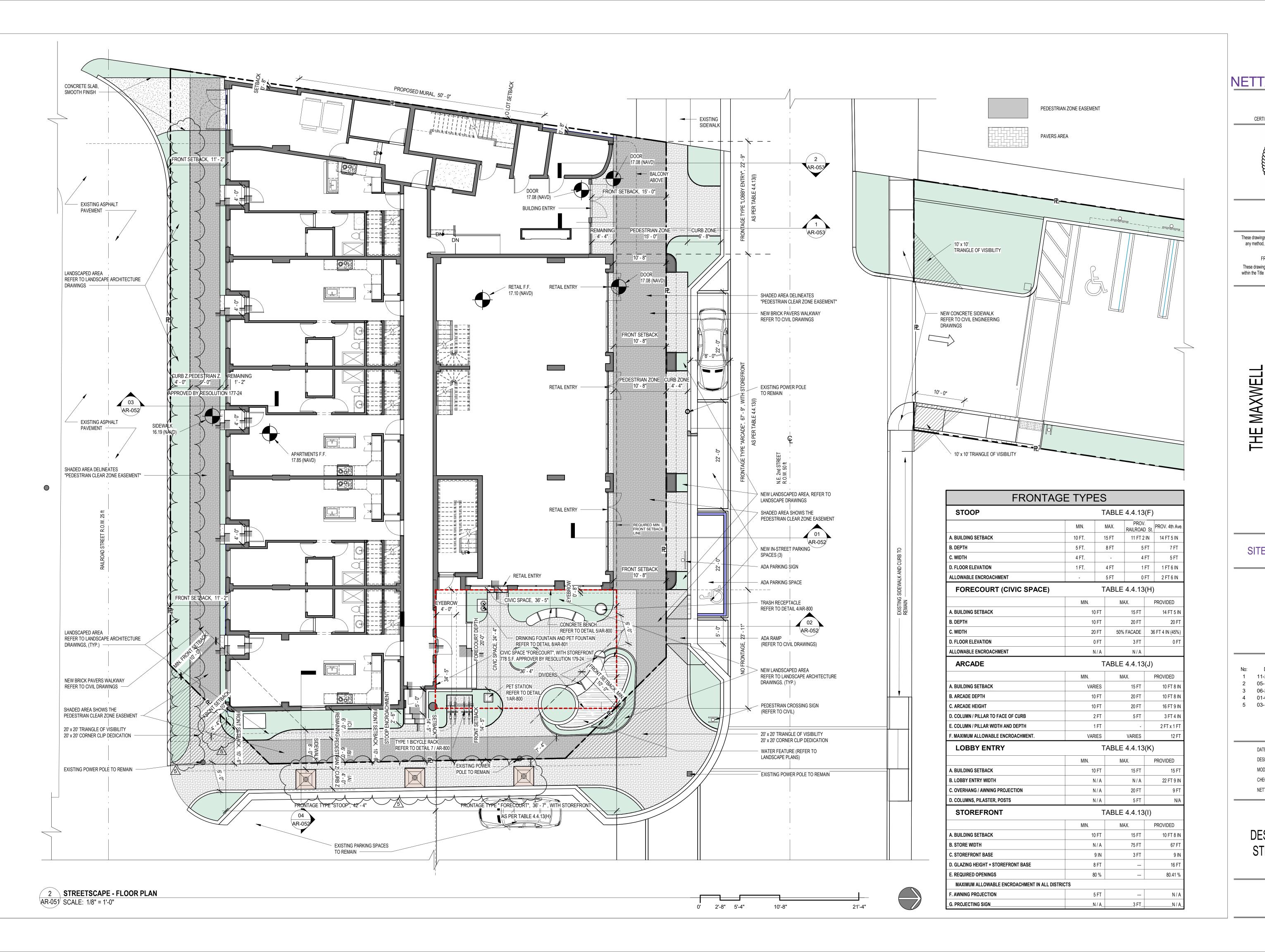
DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F ./ F.J.M.
NETTA PROJECT #:	2211652_FL

Drawing title

PROPOSED SITE PLAN

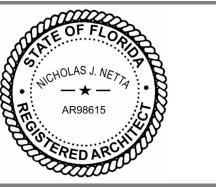
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> , DELRAY 306 NE 2nd STREET, I BEACH, FL

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Revisions	
	DESCRIPT
	TAC REVI

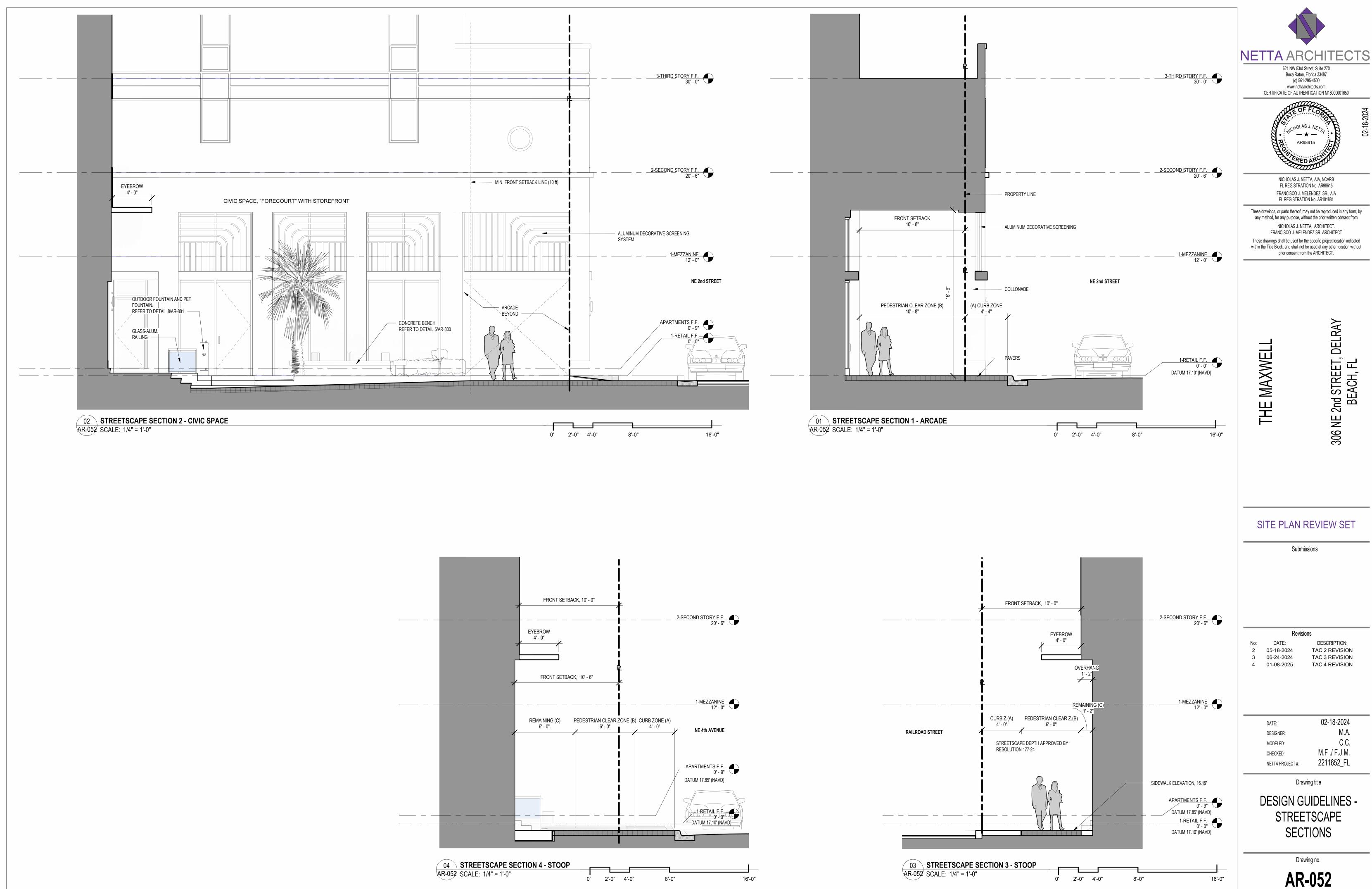
DATE:	DESCRIPTION:
11-21-2023	TAC REVISION
05-18-2024	TAC 2 REVISION
06-24-2024	TAC 3 REVISION
01-08-2025	TAC 4 REVISION
03-19-2025	TAC 5 REVISION

DATE:	02-18-2024
DESIGNER:	M.A.
MODELED:	C.C.
CHECKED:	M.F ./ F.J.M.
NETTA PROJECT #:	2211652_FL

Drawing title

DESIGN GUIDELINES -STREETSCAPE PLAN

Drawing no.



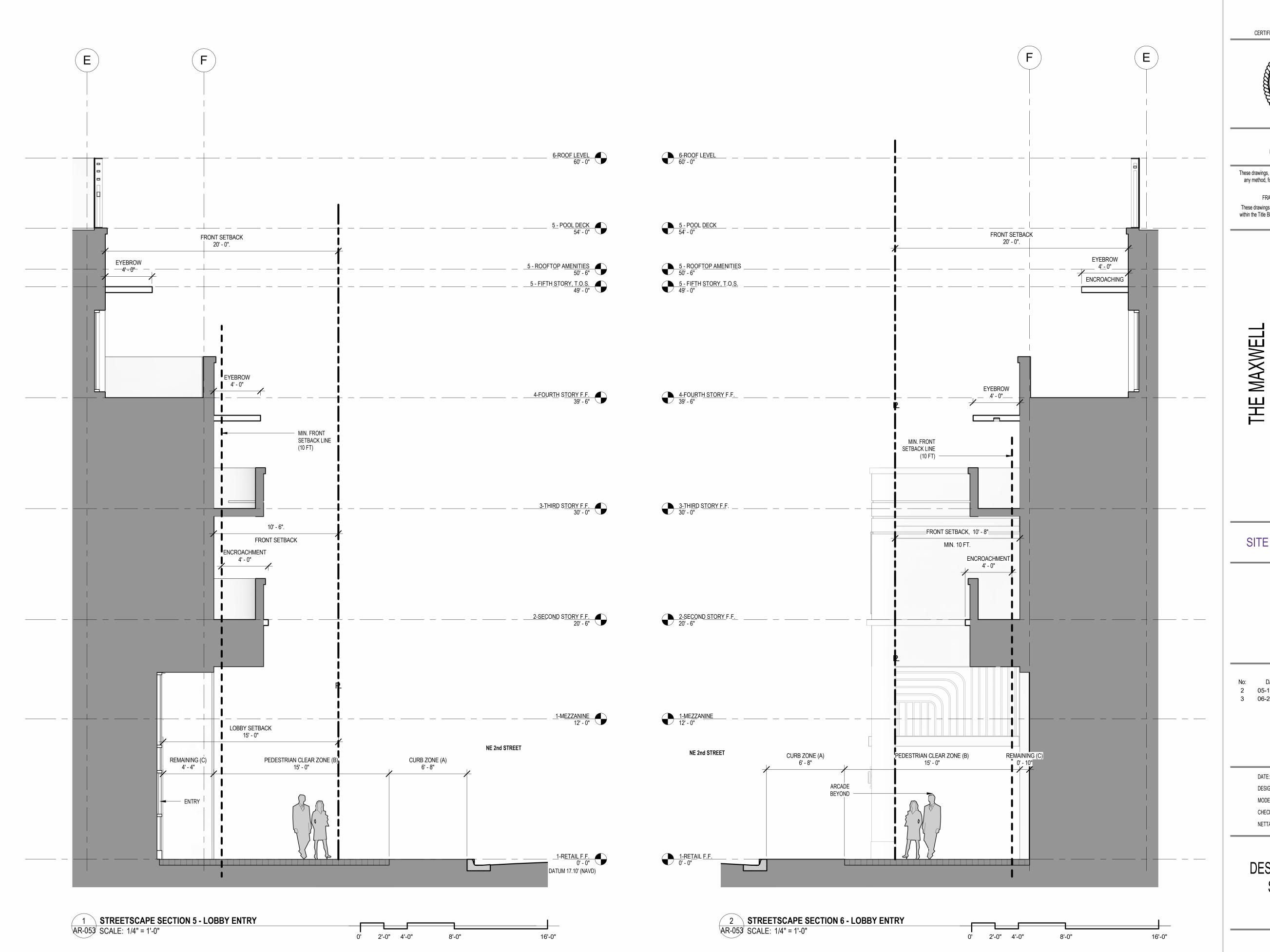
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TAC 3 REVISION TAC 4 REVISION

02-18-2024 M.F ./ F.J.M.

DESIGN GUIDELINES -STREETSCAPE





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Boca Raton, Florida 33487
(o) 561-295-4500
www.nettaarchitects.com
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Revisions

DESCRIPTION: TAC 2 REVISION 2 05-18-2024 TAC 3 REVISION 3 06-24-2024

02-18-2024 DATE: DESIGNER: MODELED: M.F ./ F.J.M. CHECKED: 2211652_FL

NETTA PROJECT #:

Drawing title

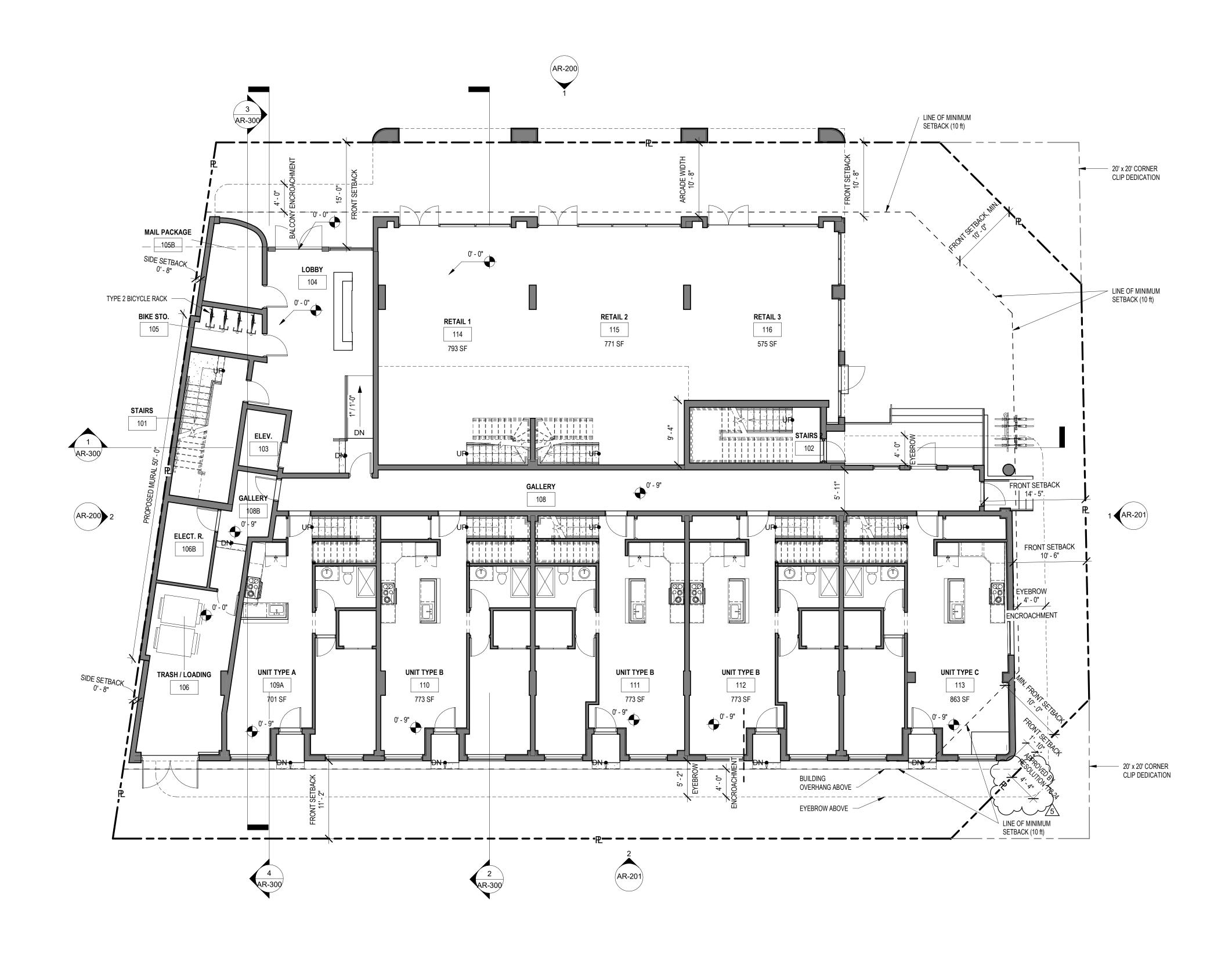
DESIGN GUIDELINES -STREETSCAPE SECTIONS

Drawing no.

APARTMENT UNITS					
	TYPE	UNITS	FRONTAGE	TERRACE	AREA
UNIT LOFT A	1 BEDROOM	1 UT.	44 FT		927 S.F.
UNIT LOFT B	1 BEDROOM	3 UT.	44 FT		1,029 S.F.
UNIT LOFT C	1 BEDROOM	1 UT.	100 FT		1,152 S.F.
UNIT D	3 BEDROOM	1 UT.	45 FT	95 S.F.	1,865 S.F.
UNIT E	3 BEDROOM	1 UT.	81 FT	167 S.F.	1,801 S.F.
UNIT F	2 BEDROOM	2 UT.	93 FT		1,139 S.F.
UNIT G	2 BEDROOM	4 UT.	33 FT	46 S.F.	1,169 S.F.
UNIT H	2 BEDROOM	2 UT.	36 FT	36 S.F.	1,160 S.F.
UNIT J	1 BEDROOM	1 UT.	24 FT	93 S.F.	776 S.F.
UNIT K	2 BEDROOM	1 UT.	33 FT	416 S.F.	1,170 S.F.
UNIT L	2 BEDROOM	1 UT.	48 FT	416 S.F.	1,038 S.F.
UNIT M	2 BEDROOM	1 UT.	61 FT	443 S.F.	1,133 S.F.
UNIT N	2 BEDROOM	1 UT.	83 FT	424 S.F.	982 S.F.
UNIT P	2 BEDROOM	1 UT.	34 FT	757 S.F.	1,163 S.F.
UNIT R	2 BEDROOM	1 UT.	46 FT	335 S.F.	944 S.F.
UNIT S	2 BEDROOM	1 UT.	46 FT	453 S.F.	1,133 S.F.
TOTAL		23 UT.	1,123 FT	3,854 S.F.	26,445 S.F.
TOTAL 1-BEDROOM UNITS 6 UT.			26 %	(55% MAX.)	
TOTAL 2-BEDROOM UNITS	TOTAL 2-BEDROOM UNITS 15 UT. 65 %				
TOTAL 3-BEDROOM UNITS	TOTAL 3-BEDROOM UNITS 2 UT. 9 %				
TOTAL COMMERCIAL AREA 3 SPACES 2,651 S.F.				2,651 S.F.	
ROOF COVERED AREA, GYM, EXCEPT VERT. COMMUNICATIONS 1,436 S.F.					

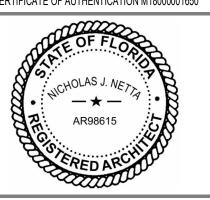
GROUND FLOOR PLAN

AR-100 SCALE: 1/8" = 1'-0"





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THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

DATE: DESCRIPTION:

 1
 11-21-2023
 TAC REVISION

 2
 05-18-2024
 TAC 2 REVISION

 3
 06-24-2024
 TAC 3 REVISION

 4
 01-08-2025
 TAC 4 REVISION

 5
 03-19-2025
 TAC 5 REVISION

 DATE:
 02-18-2024

 DESIGNER:
 M.A.

 MODELED:
 C.C.

 CHECKED:
 M.F. / F.J.M.

 NETTA PROJECT #:
 2211652_FL

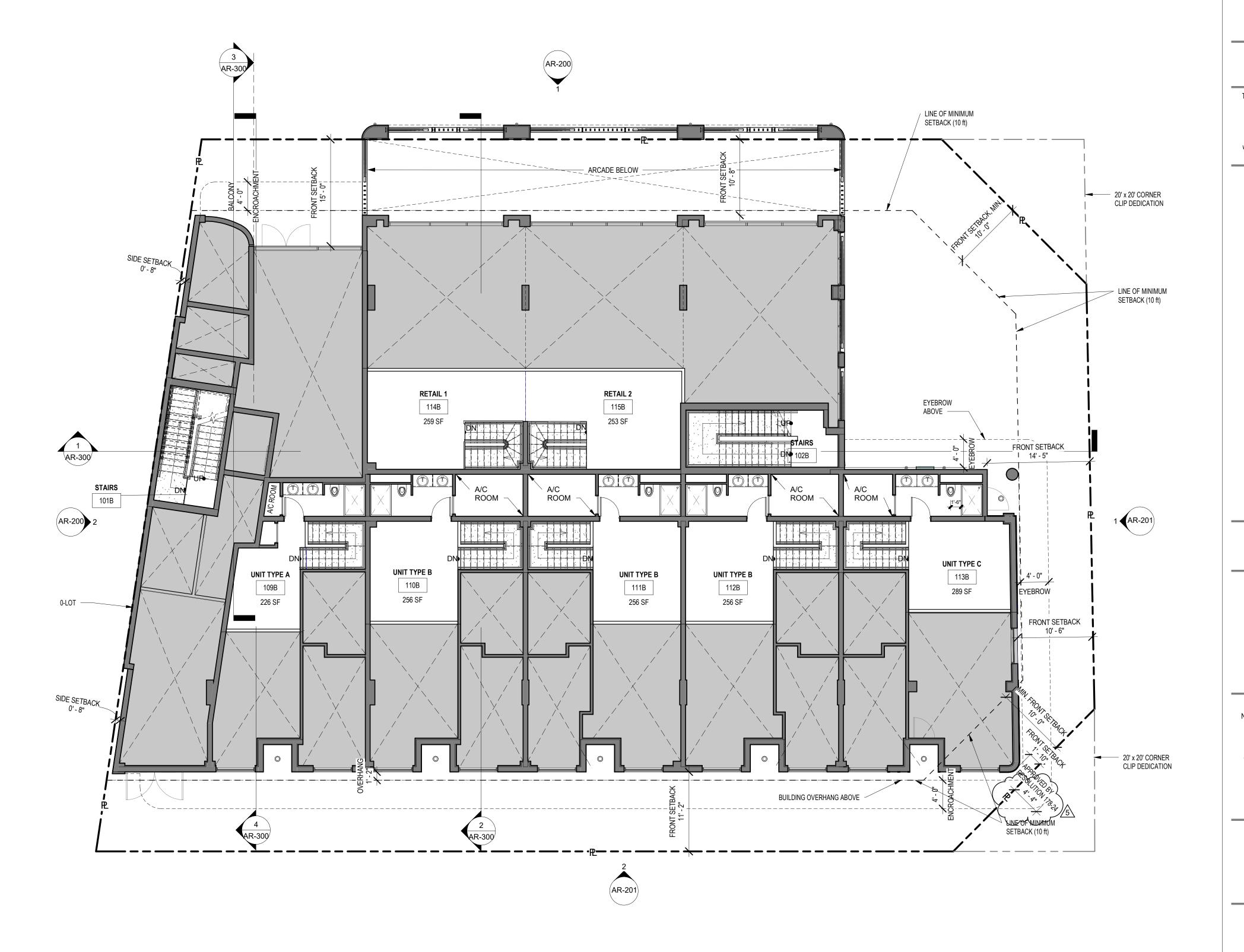
Drawing title

GROUND STORY-FLOOR PLAN

Drawing no.

MEZZANINE AREA CALCULATION				
	AREA BELOW	MEZZANINE AREA w/o A/C, STAIRS	% MEZZANINE AREA OVER AREA BELOW	
UNIT 109 - MEZZANINE	700.94 S.F.	225.10 S.F.	32.11 %	
UNIT 110 - MEZZANINE	772.97 S.F.	256.58 S.F.	33.19 %	
UNIT 111 - MEZZANINE	772.97 S.F.	256.58 S.F.	33.19 %	
UNIT 112 - MEZZANINE	772.97 S.F.	256.58 S.F.	33.19 %	
UNIT 113 - MEZZANINE	874.77 S.F.	288.63 S.F.	32.99 %	
RETAIL 1 - MEZZANINE	793.08 S.F.	258.83 S.F.	32.64 %	
RETAIL 2 - MEZZANINE	771.16 S.F.	252.73 S.F.	32.77 %	

1 **MEZZANINE** AR-101 SCALE: 1/8" = 1'-0"



0' 4'-0" 8'-0"



ETTA ARCHITEC

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AR98615

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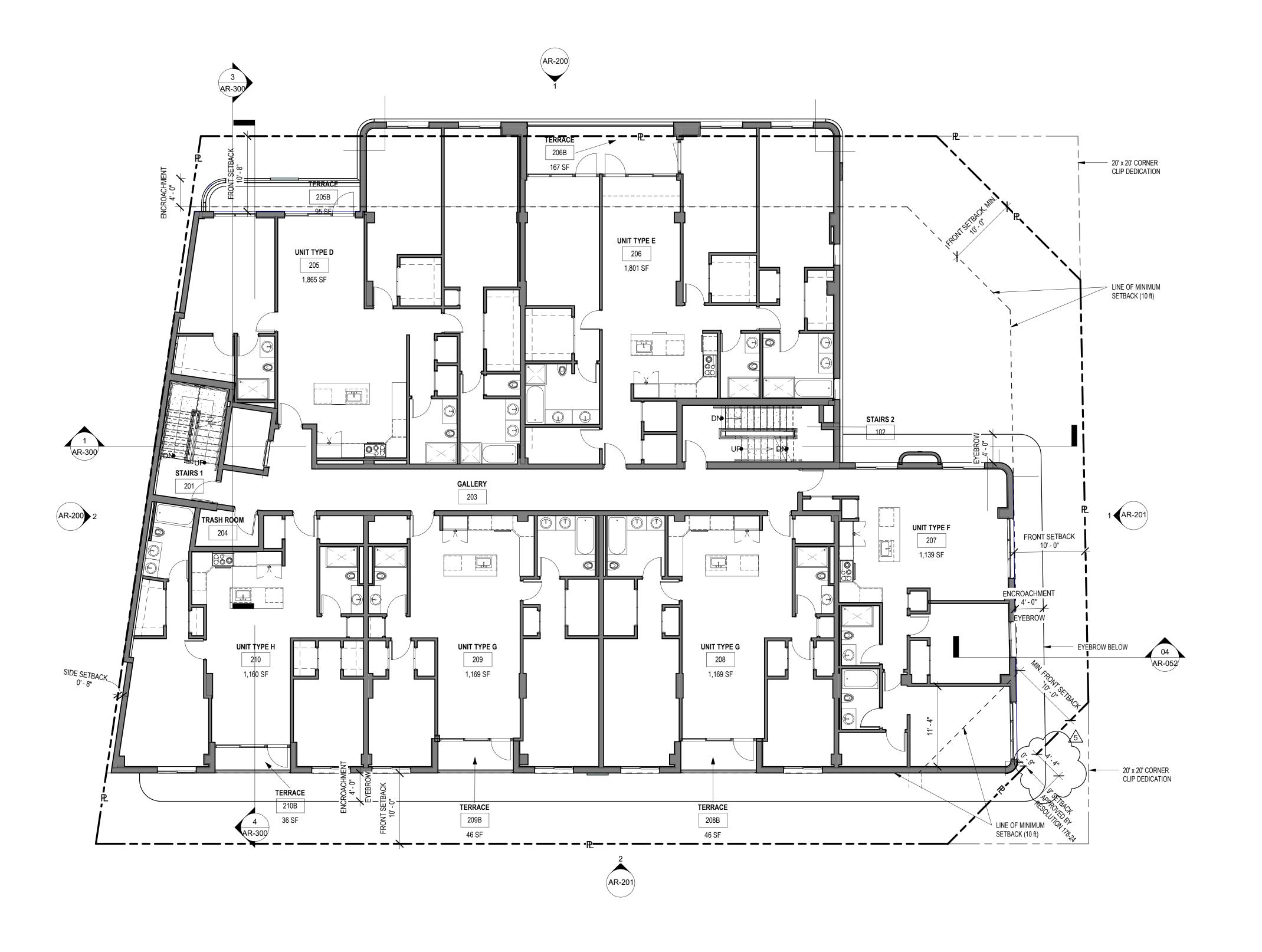
Drawing title

MEZZANINE - FLOOR PLAN

Drawing no.

32'-0"

0' 4'-0" 8'-0"

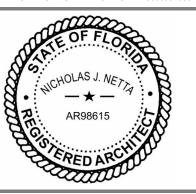


1 SECOND STORY AR-102 SCALE: 1/8" = 1'-0"



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THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

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	DE

INO.	DATE.	DESCRIPTION.
1	11-21-2023	TAC REVISION
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
5	03-19-2025	TAC 5 REVISION

 DATE:
 02-18-2024

 DESIGNER:
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 MODELED:
 C.C.

 CHECKED:
 M.F. / F.J.M.

 NETTA PROJECT #:
 2211652_FL

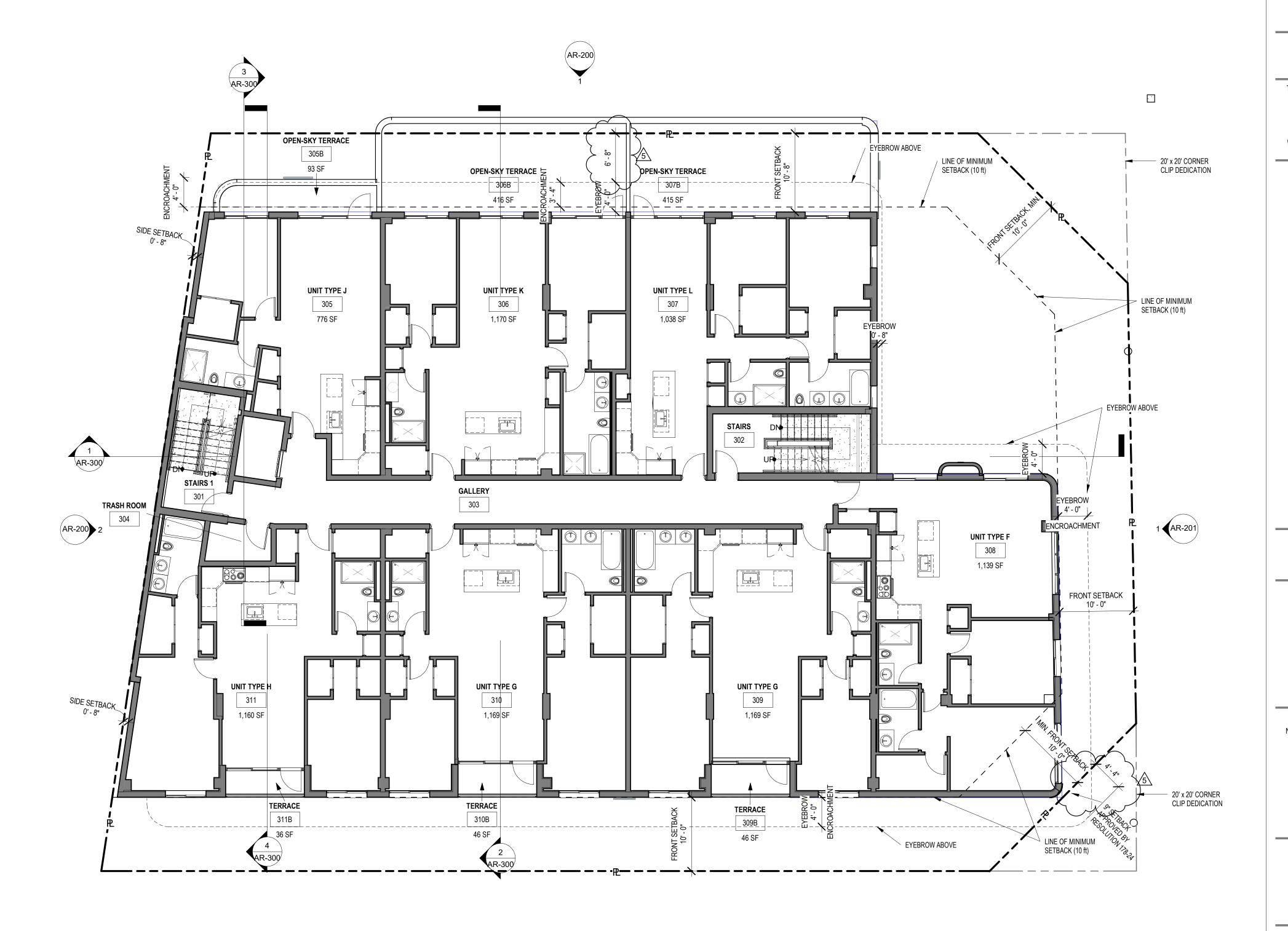
Drawing title

SECOND STORY-FLOOR PLAN

Drawing no.

32'-0"

0' 4'-0" 8'-0"



1 **THIRD STORY** AR-103 SCALE: 1/8" = 1'-0"

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306 NE 2nd STREET, DELRAY BEACH, FL

THE MAXWELL

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3 06-24-2024 TAC 3 REVISION 4 01-08-2025 TAC 4 REVISION 5 03-19-2025 TAC 5 REVISION

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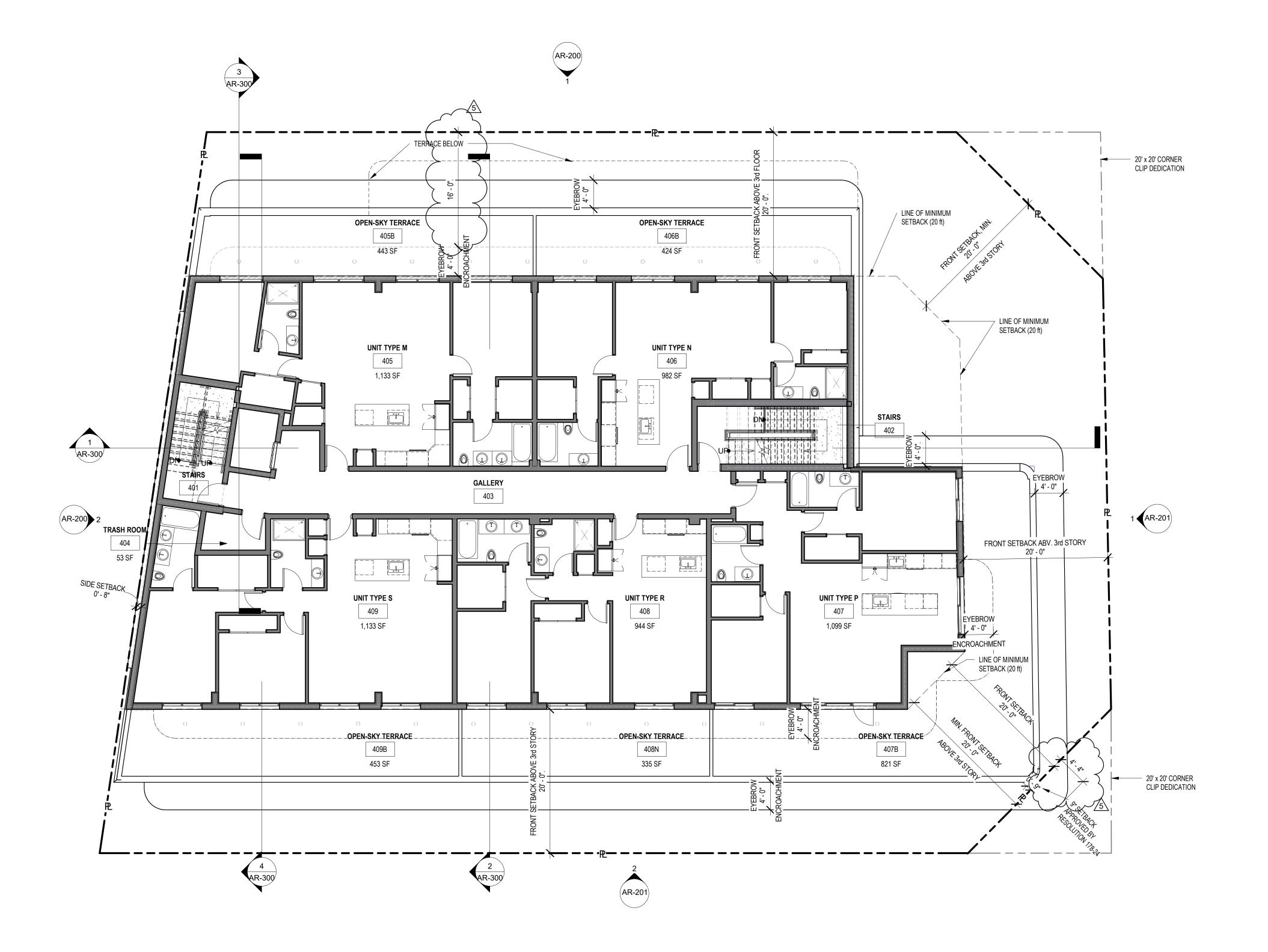
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 NETTA PROJECT #:
 2211652_FL

Drawing title

THIRD STORY-FLOOR PLAN

Drawing no

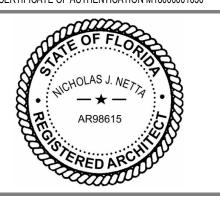


0' 4'-0" 8'-0"

1 **FOURTH STORY**AR-104 SCALE: 1/8" = 1'-0"



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(o) 561-295-4500
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NICHOLAS J. NETTA, AIA, NCARB FL REGISTRATION No. AR98615 FRANCISCO J. MELENDEZ, SR., AIA FL REGISTRATION No. AR101881

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306 NE 2nd STREET, DELRAY BEACH, FL

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SITE PLAN REVIEW SET

Submissions

Revision	ns
	DESCR
24	TAC 2 RI

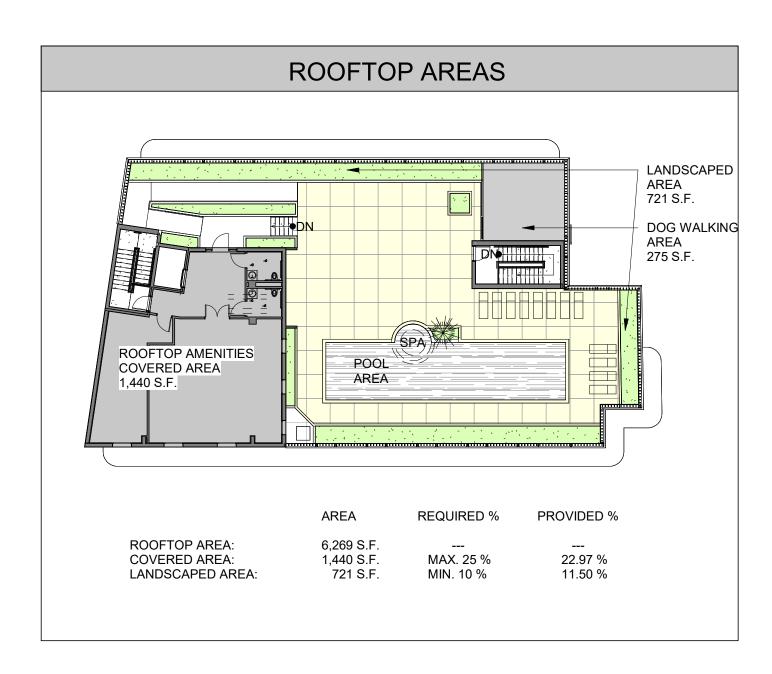
No:	DATE:	DESCRIPTION:
2	05-18-2024	TAC 2 REVISION
3	06-24-2024	TAC 3 REVISION
4	01-08-2025	TAC 4 REVISION
5	03-19-2025	TAC 5 REVISION

02-18-2024 DATE: DESIGNER: MODELED: M.F ./ F.J.M. CHECKED: 2211652_FL NETTA PROJECT #:

Drawing title

FOURTH STORY-FLOOR PLAN

Drawing no.

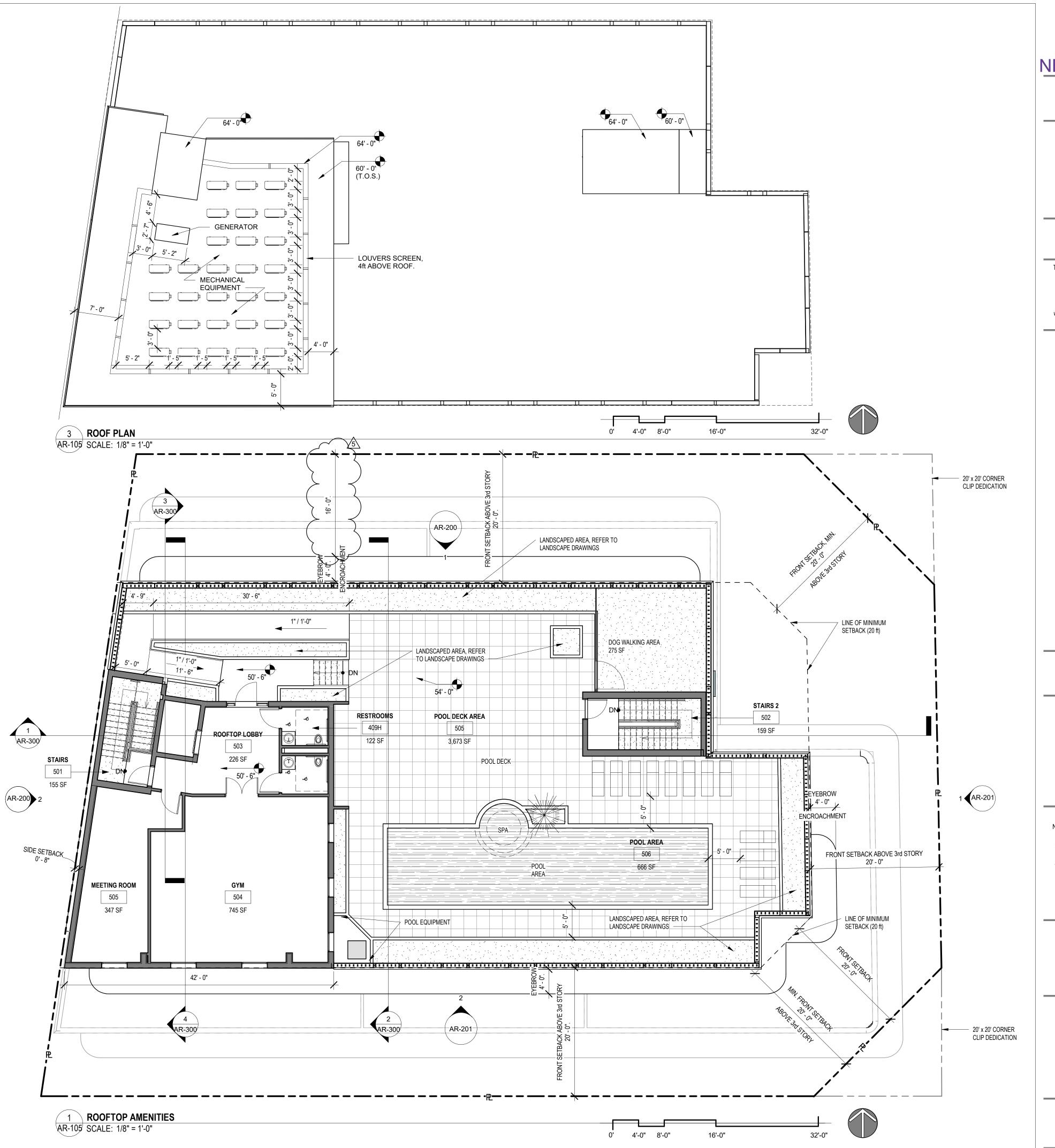


ROOFTOP W/ MAX. NUMB	ER OF STOF	RIES
	REQUIRED	AREA
OVERALL ROOF TOP AREA	N/A	6,269 S.F.
ROOF ACCESS AREA (COVERED STAIRCASES AND ELEVATOR)	N/A	393 S.F. (6.27 %)
ROOFTOP OPEN TO SKY AREA	N/A	4,436 S.F. (70.76 %)
HARDSCAPED AREA	N/A	3,715 S.F. (59.02 %)
PAVERS	N/A	2,038 S.F. (32.50 %)
POOL AREA	N/A	666 S.F. (10.62 %)
POLISHED CONCRETE	N/A	736 S.F. (11.74 %)
DOG WALKING AREA (TURF)	N/A	275 S.F. (4.39 %)
LANDSCAPED AREA	MIN. 10% (632 S.F.)	721 S.F. (11.50 %)
COVERED STRUCTURES, (GYM, MEETING ROOM)	MAX. 25% (1,579 S.F.)	1,440 S.F. (22.97 %)
COVERED STRUCTURES, HEIGHT FROM GROUND	MAX. 60 FT	60' - 0"

NOTE:

IN COMPLIANCE WITH DELRAY BEACH DEVELOPMENT CODE, THE ROOFTOP ACTIVITIES WILL BE LIMITED ACCORDING TO THE FOLLOWING SCHEDULE:

SUNDAY THROUGH THURSDAY FROM 7am TO 10pm FRIDAY AND SATURDAY FROM 7am TO 11pm





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> > Drawing title

NETTA PROJECT #:

ROOFTOP AMENITIES - FLOOR PLAN

ART DECO STYLE **DESIGN ELEMENTS LEGEND:** TRIPARTITE COMPOSITION - UPPER TIER: - FLAT ROOF ORNAMENTAL PARAPETS CANTILEVERED MASONRY EYEBROWS - SMOOTH STUCCO FINISH TRIPARTITE COMPOSITION - MIDDLE TIER: METAL FRAMED WINDOWS - CANTILEVERED MASONRY EYEBROWS - SIMPLE GEOMETRIC STUCCO RELIEFS - ORNAMENTAL ACCENTS AT FACADE - INTEGRATED SIGNAGE WITH MODERN FONT TYPE TRIPARTITE COMPOSITION - LOWER TIER:

METAL DOORS WITH LARGE GLASS OPENINGS MASONRY STOOP LEADING TO ENTRANCE

GEOMETRIC STREAMLINED ORNAMENTS

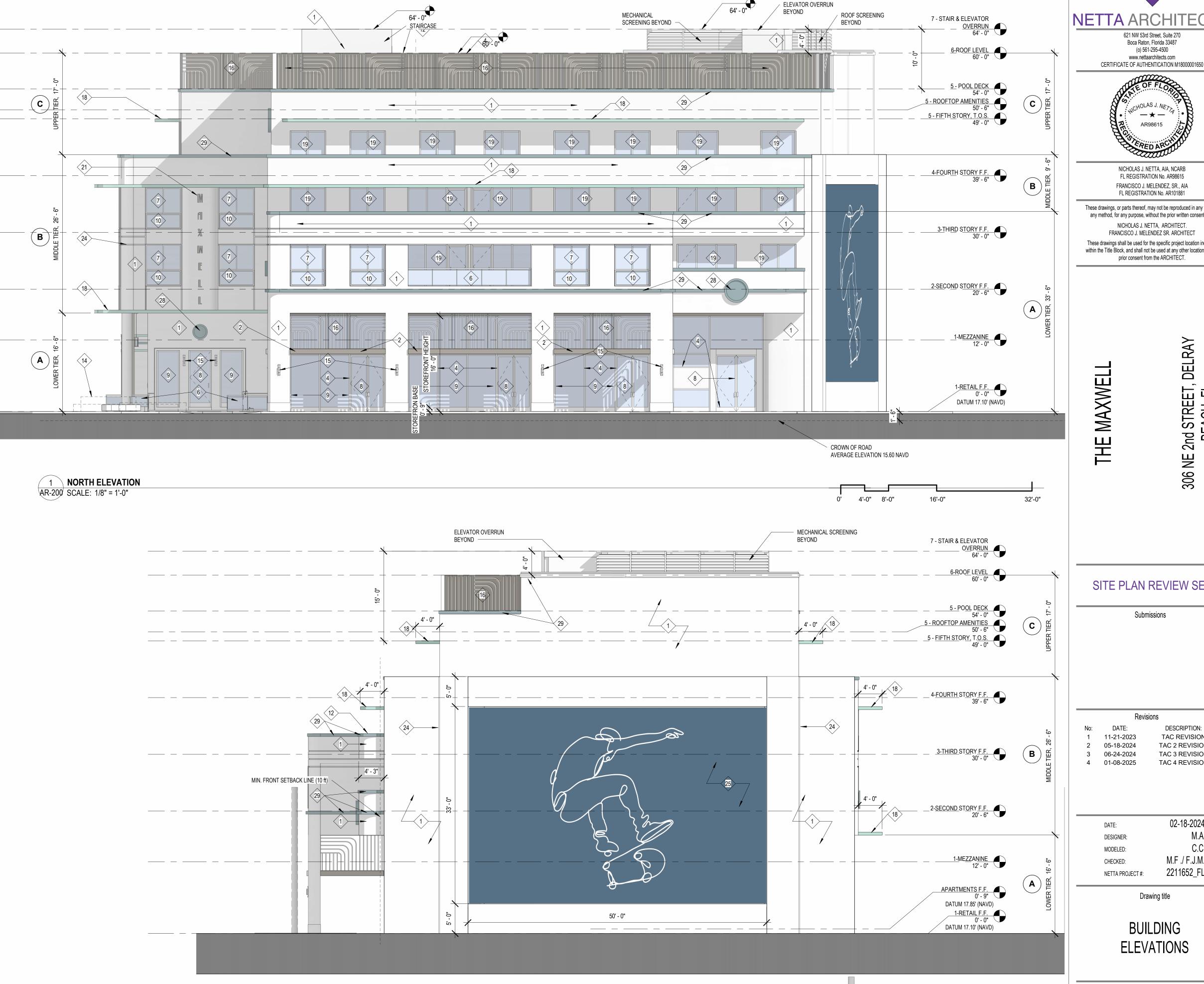
EXTERIOR FINISH MATERIAL LEGEND ELEVATION FINISH TAG 1 STUCCO, WHITE PAINT FINISH, PAINT-1, SHERWIN WILLIAMS SW-9541, "WHITE SNOW" COLOR, WITH SMOOTH STUCCO TEXTURE STUCCO, GREY PAINT FINISH, PAINT-6, SHERWIN WILLIAMS SW-7017, "DORIAN STUCCO, PAINT FINISH, PAINT-3, SHERWIN WILLIAMS SW-6750, "WATERFALL" 4 ALUMINUM, BRUSHED ALUMINUM FINISH BIKE RACK, REFER TO DETAIL 7/AR-800 STEEL PIPE - GLASS IMPACT-RESISTANT RAILING SYSTEM, PAINT-4 FINISH ALUMINUM-GLASS, YKK STYLEGUARD IMPACT RESSISTANT WINDOWS, BRUSHED ALUMINUM FINISH ALUMINUM-GLASS, YKK IMPACT-RESISTANT DOUBLE DOORS INTEGRATED IN YKK STOREFRONT SYSTEM, BRUSHED ALUMINUM FINISH ALUMINUM STOREFRONT, YKK 50 FI, IMPACT RESSITANT STOREFRONT SYSTEM, BRUSHED ALUMINUM FINISH ALUMINUM FIXED GLASS WINDOWS, YKK STYLEGUARD IMPACT WINDOWS, BRUSHED ALUMINUM FINISH METAL DOOR, ASSA ABLOY CECO "REGENT", PAINT-2 FINISH 12 T.O. PARAPET EXISTING POLE TO REMAIN WATER FEATURE, REFER TO LANDSCAPE ARCHITECTURE DRAWINGS WALL SCONCE DECORATIVE ALUMINUM SCREEN, BRUSHED ALUMINUM FINISH 24" x 24", ALUMINUM VENTILATION GRILLE, PAINT-4 FINISH, PAINT-2 FINISH CONCRETE EYEBROW, STUCCO, PAINT FINISH - 3. ALUMINMUM SLIDING DOORS, YKK STYLEGUARD SLIDING DOOR IN BALCONY, BRUSHED ALUMINUM FINISH 1" WIDE REVEAL ALUMINUM LETTERS, BRUSHED ALUMINUM FINISH DECORATIVE MESH IN GROUND FLOOR 24 1 1/2" WIDE REVEAL ARTISTIC MURAL, STUCCO, CUSTOM COLOR (PAINT 5) WITH ARTWORK IN WHITE EXTERIOR METAL DOOR, WHITE PAINT

SCULPTURAL WALL RELIEF, COMBINING PAINT - 2 AND PAINT - 3 FINISH

DECORATIVE STUCCO WALL MEDALLION, PAINT - 2 FINISH

WALL DECORATIVE MOLDING, PAINT -2 FINISH





WEST ELEVATION

AR-200 SCALE: 1/8" = 1'-0"



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02-18-2024

M.F ./ F.J.M. 2211652_FL

Drawing title

BUILDING **ELEVATIONS**

Drawing no.

AR-200

0' 4'-0" 8'-0"

16'-0"

32'-0"

ART DECO STYLE DESIGN ELEMENTS LEGEND: TRIPARTITE COMPOSITION - UPPER TIER: FLAT ROOF

ORNAMENTAL PARAPETS
CANTILEVERED MASONRY EYEBROWS SMOOTH STUCCO FINISH

TRIPARTITE COMPOSITION - MIDDLE TIER:

METAL FRAMED WINDOWS CANTILEVERED MASONRY EYEBROWS SIMPLE GEOMETRIC STUCCO RELIEFS

ORNAMENTAL ACCENTS AT FACADE

- INTEGRATED SIGNAGE WITH MODERN FONT TYPE TRIPARTITE COMPOSITION - LOWER TIER:

METAL DOORS WITH LARGE GLASS OPENINGS MASONRY STOOP LEADING TO ENTRANCE GEOMETRIC STREAMLINED ORNAMENTS

EXTERIOR FINISH MATERIAL LEGEND

EVATION IISH TAG	DESCRIPTION
1	STUCCO, WHITE PAINT FINISH, PAINT-1, SHERWIN WILLIAMS SW-9541, "WHITE SNOW" COLOR, WITH SMOOTH STUCCO TEXTURE
2	STUCCO, GREY PAINT FINISH, PAINT-6, SHERWIN WILLIAMS SW-7017, "DORIAN GRAY"
3	STUCCO, PAINT FINISH, PAINT-3, SHERWIN WILLIAMS SW-6750, "WATERFALL"
4	ALUMINUM, BRUSHED ALUMINUM FINISH
5	BIKE RACK, REFER TO DETAIL 7/AR-800
6	STEEL PIPE - GLASS IMPACT-RESISTANT RAILING SYSTEM, PAINT-4 FINISH
7	ALUMINUM-GLASS, YKK STYLEGUARD IMPACT RESSISTANT WINDOWS, BRUSHED ALUMINUM FINISH
8	ALUMINUM-GLASS, YKK IMPACT-RESISTANT DOUBLE DOORS INTEGRATED IN YKK STOREFRONT SYSTEM, BRUSHED ALUMINUM FINISH
0	ALLIMINI IM STODEEDONT, VKK 50 EL IMPACT DESSITANT STODEEDONT SYSTE

9 ALUMINUM STOREFRONT, YKK 50 FI, IMPACT RESSITANT STOREFRONT SYSTEM, BRUSHED ALUMINUM FINISH

ALUMINUM FIXED GLASS WINDOWS, YKK STYLEGUARD IMPACT WINDOWS, BRUSHED ALUMINUM FINISH

11 METAL DOOR, ASSA ABLOY CECO "REGENT", PAINT-2 FINISH

12 T.O. PARAPET 13 EXISTING POLE TO REMAIN

14 WATER FEATURE, REFER TO LANDSCAPE ARCHITECTURE DRAWINGS

16 DECORATIVE ALUMINUM SCREEN, BRUSHED ALUMINUM FINISH

17 24" x 24", ALUMINUM VENTILATION GRILLE, PAINT-4 FINISH, PAINT-2 FINISH 18 CONCRETE EYEBROW, STUCCO, PAINT FINISH - 3.

19 ALUMINMUM SLIDING DOORS, YKK STYLEGUARD SLIDING DOOR IN BALCONY, BRUSHED ALUMINUM FINISH

20 1" WIDE REVEAL

21 ALUMINUM LETTERS, BRUSHED ALUMINUM FINISH 23 DECORATIVE MESH IN GROUND FLOOR

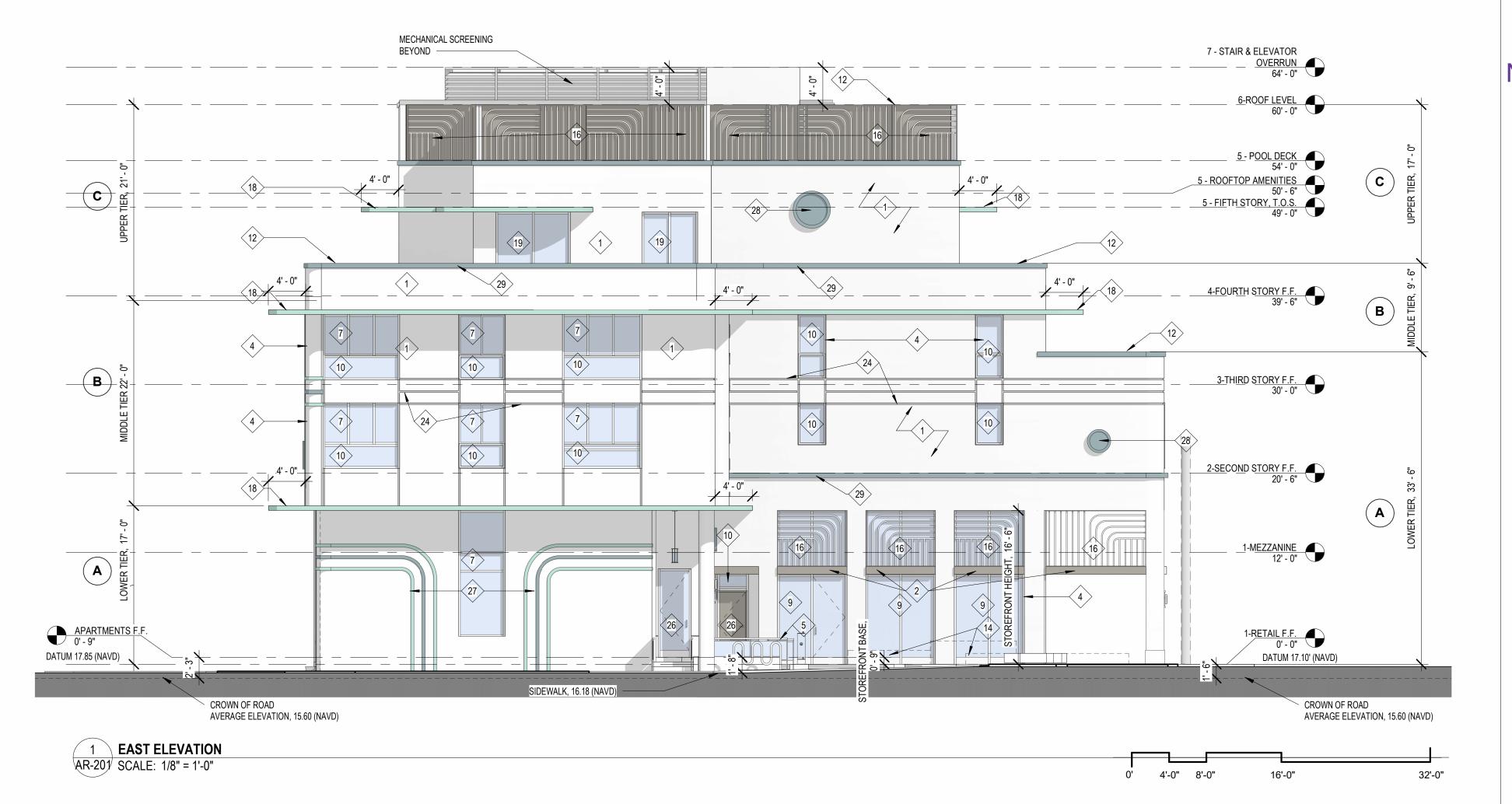
25 ARTISTIC MURAL, STUCCO, CUSTOM COLOR (PAINT 5) WITH ARTWORK IN WHITE

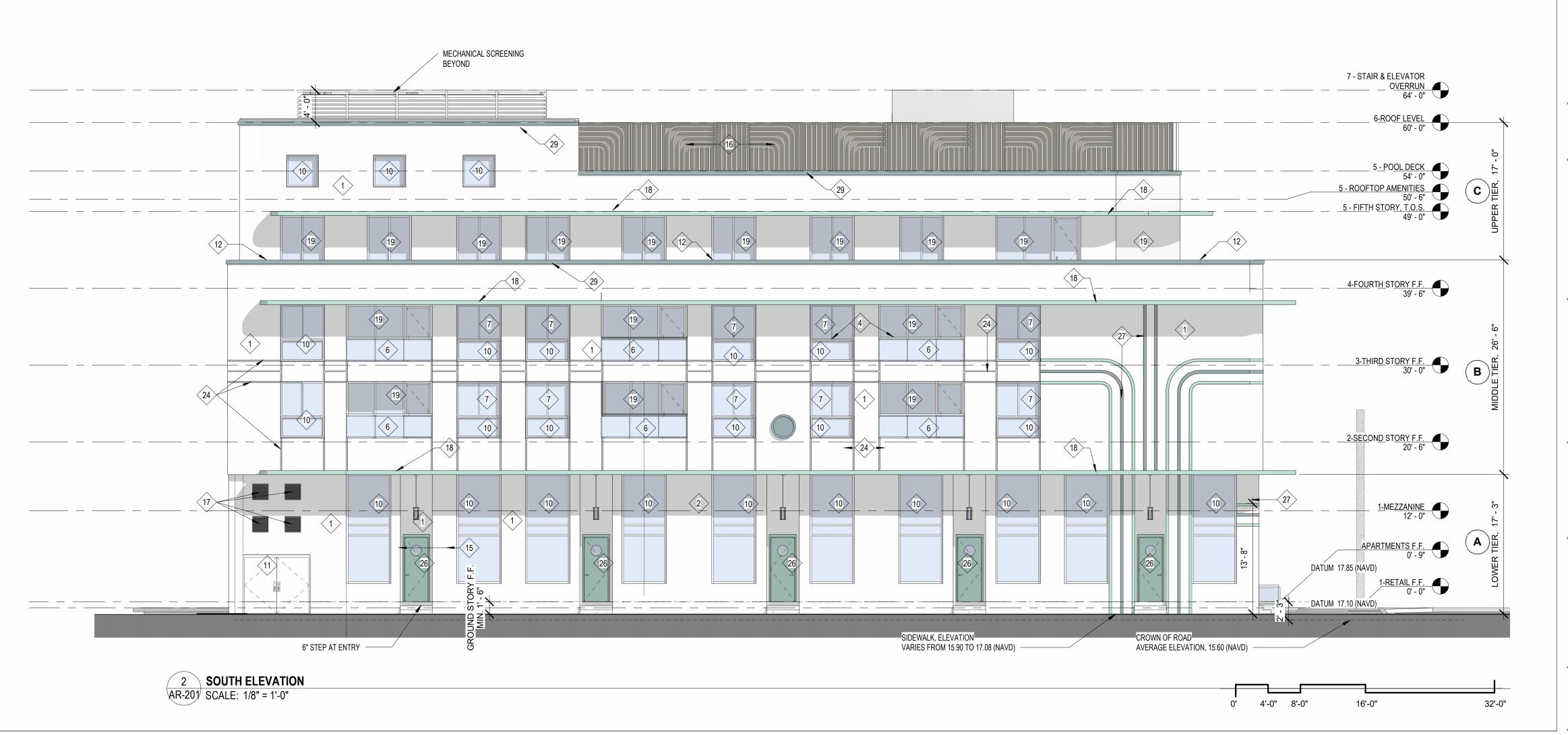
26 EXTERIOR METAL DOOR, WHITE PAINT

27 SCULPTURAL WALL RELIEF, COMBINING PAINT - 2 AND PAINT - 3 FINISH 28 DECORATIVE STUCCO WALL MEDALLION, PAINT - 2 FINISH

29 WALL DECORATIVE MOLDING, PAINT -2 FINISH









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306 NE 2nd STREET, I BEACH, FL

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SITE PLAN REVIEW SET

Submissions

Revisions DATE: DESCRIPTION: TAC REVISION 11-21-2023 TAC 2 REVISION 05-18-2024 06-24-2024 TAC 3 REVISION

TAC 4 REVISION

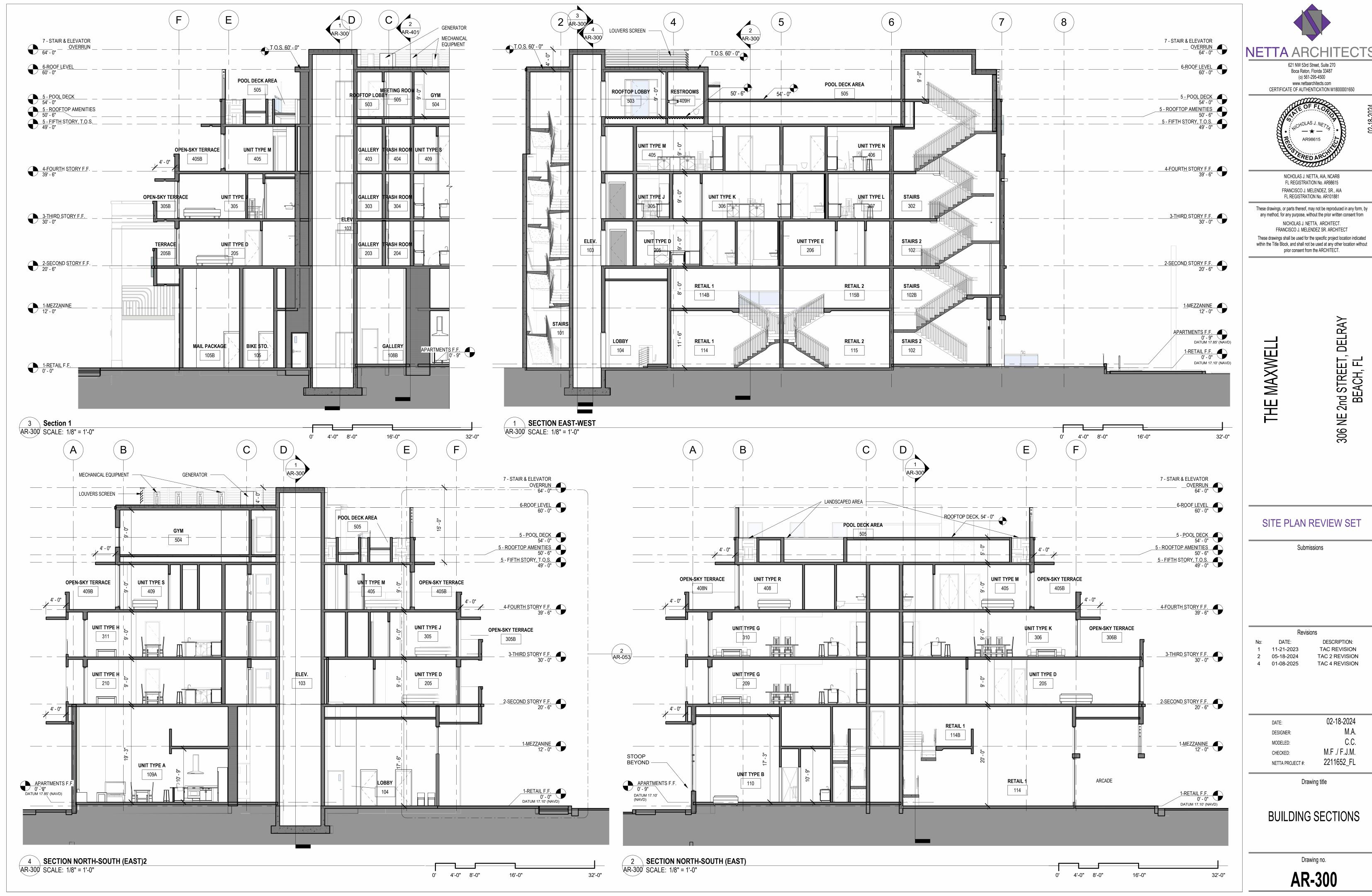
02-18-2024 DATE: DESIGNER: MODELED: M.F ./ F.J.M. CHECKED: 2211652_FL NETTA PROJECT #:

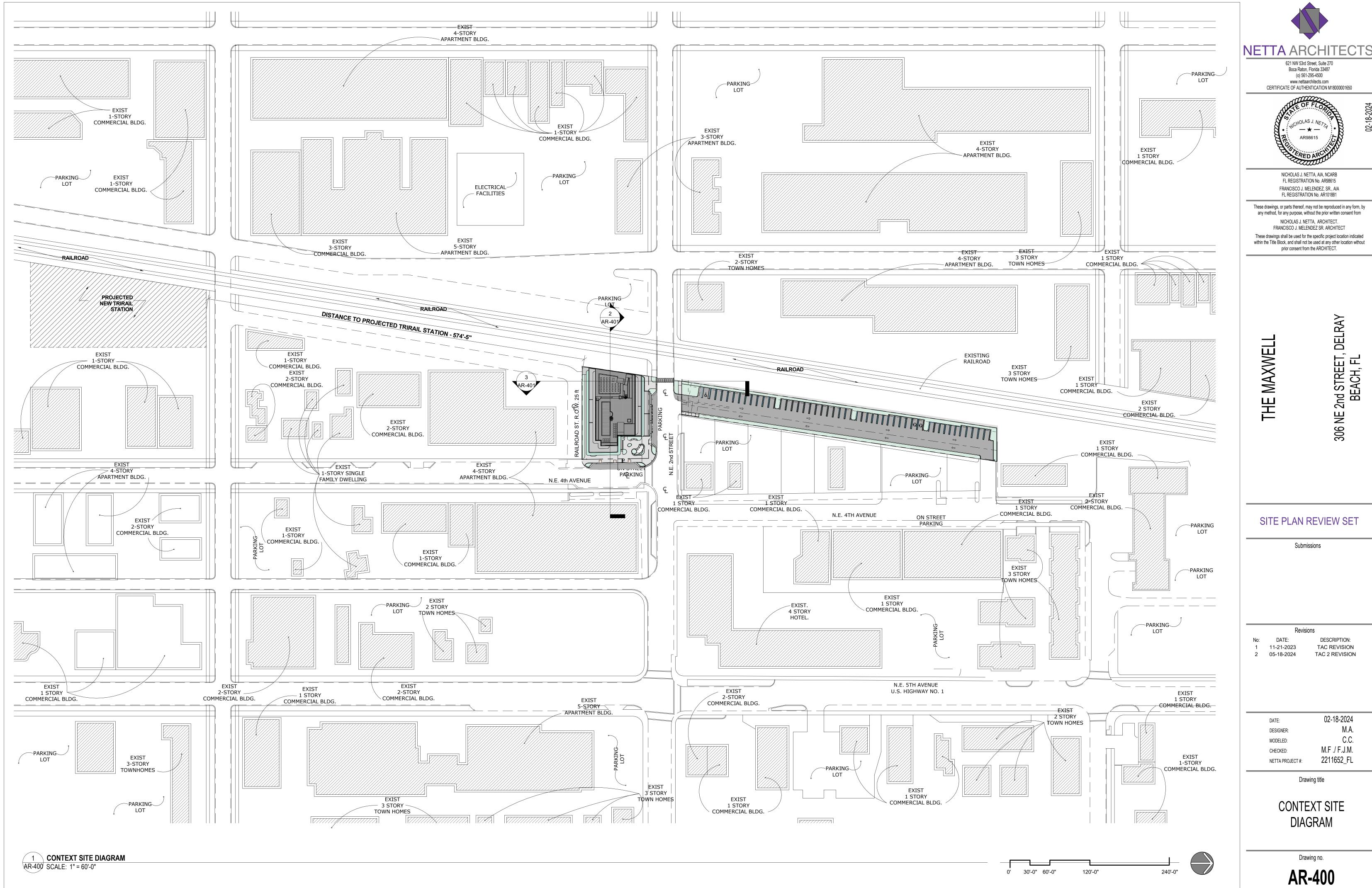
4 01-08-2025

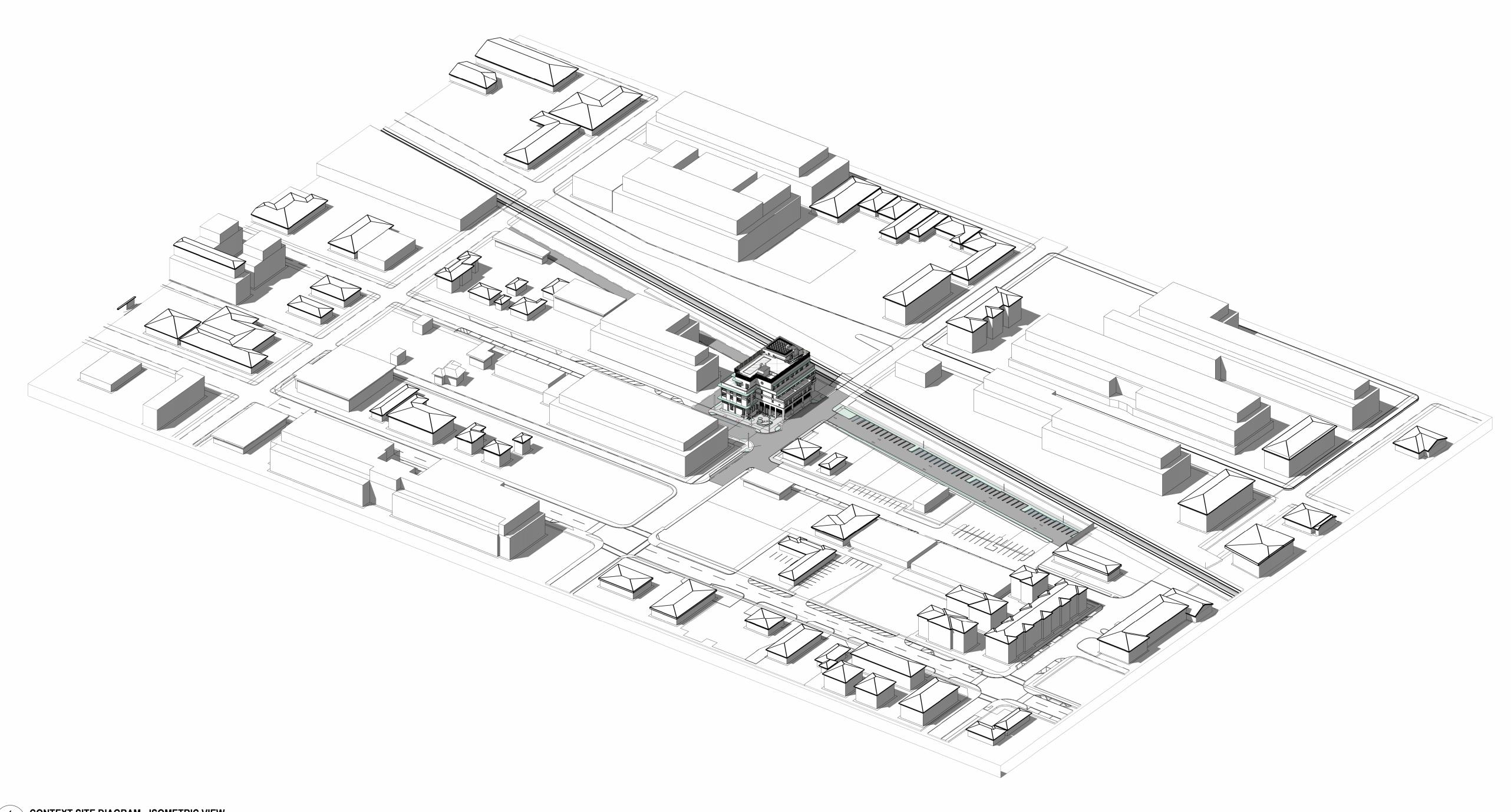
Drawing title

BUILDING **ELEVATIONS**

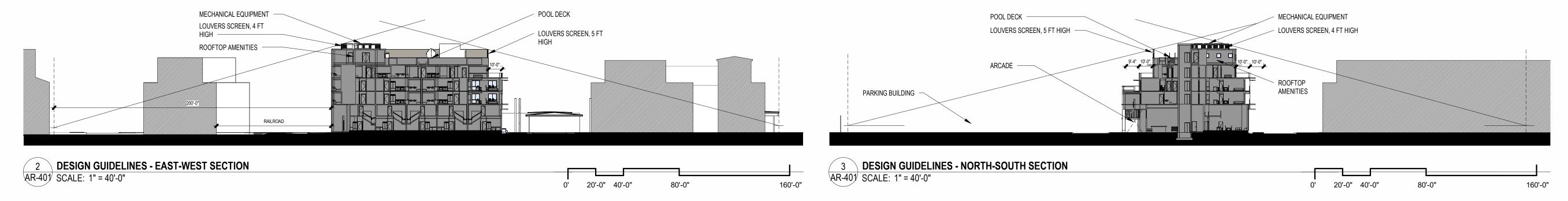
Drawing no.



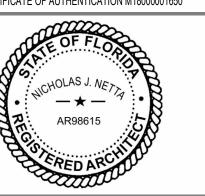




CONTEXT SITE DIAGRAM - ISOMETRIC VIEW AR-401 SCALE:



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4	01-08-2025	TAC 4 REVISIO

02-18-2024 DATE: DESIGNER: MODELED: M.F ./ F.J.M. CHECKED: 2211652_FL NETTA PROJECT #:

Drawing title

CONTEXT SITE DIAGRAM

Drawing no.

ART DECO STYLE

DESIGN ELEMENTS LEGEND:

TRIPARTITE COMPOSITION - UPPER TIER:

- FLAT ROOF

ORNAMENTAL PARAPETS
CANTILEVERED MASONRY EYEBROWS SMOOTH STUCCO FINISH

TRIPARTITE COMPOSITION - MIDDLE TIER:

METAL FRAMED WINDOWS CANTILEVERED MASONRY EYEBROWS SIMPLE GEOMETRIC STUCCO RELIEFS

ORNAMENTAL ACCENTS AT FACADE - INTEGRATED SIGNAGE WITH MODERN FONT TYPE

TRIPARTITE COMPOSITION - LOWER TIER:

C. WIDTH

E. COLUMN / PILLAR WIDTH AND DEPTH

METAL DOORS WITH LARGE GLASS OPENINGS MASONRY STOOP LEADING TO ENTRANCE GEOMETRIC STREAMLINED ORNAMENTS

FRONTAGE	E TYP	ES		
STOOP		TABLE	4.4.13(F)	
	MIN.	MAX.	PROV. RAILROAD St.	PROV. 4th Ave
A. BUILDING SETBACK	10 FT.	15 FT	11 FT 2 IN	14 FT 5 IN
B. DEPTH	5 FT.	8 FT	5 FT	7 FT
C. WIDTH	4 FT.	-	4 FT	5 FT
D. FLOOR ELEVATION	1 FT.	4 FT	1 FT	1 FT 6 IN
ALLOWABLE ENCROACHMENT	-	5 FT	0 FT	2 FT 6 IN
FORECOURT (CIVIC SPACE)		TABLE	4.4.13(H))
	MIN. MAX.		AX.	PROVIDED
A. BUILDING SETBACK	10) FT	15 FT	14 FT 5 IN
B. DEPTH	10) FT	20 FT	20 FT

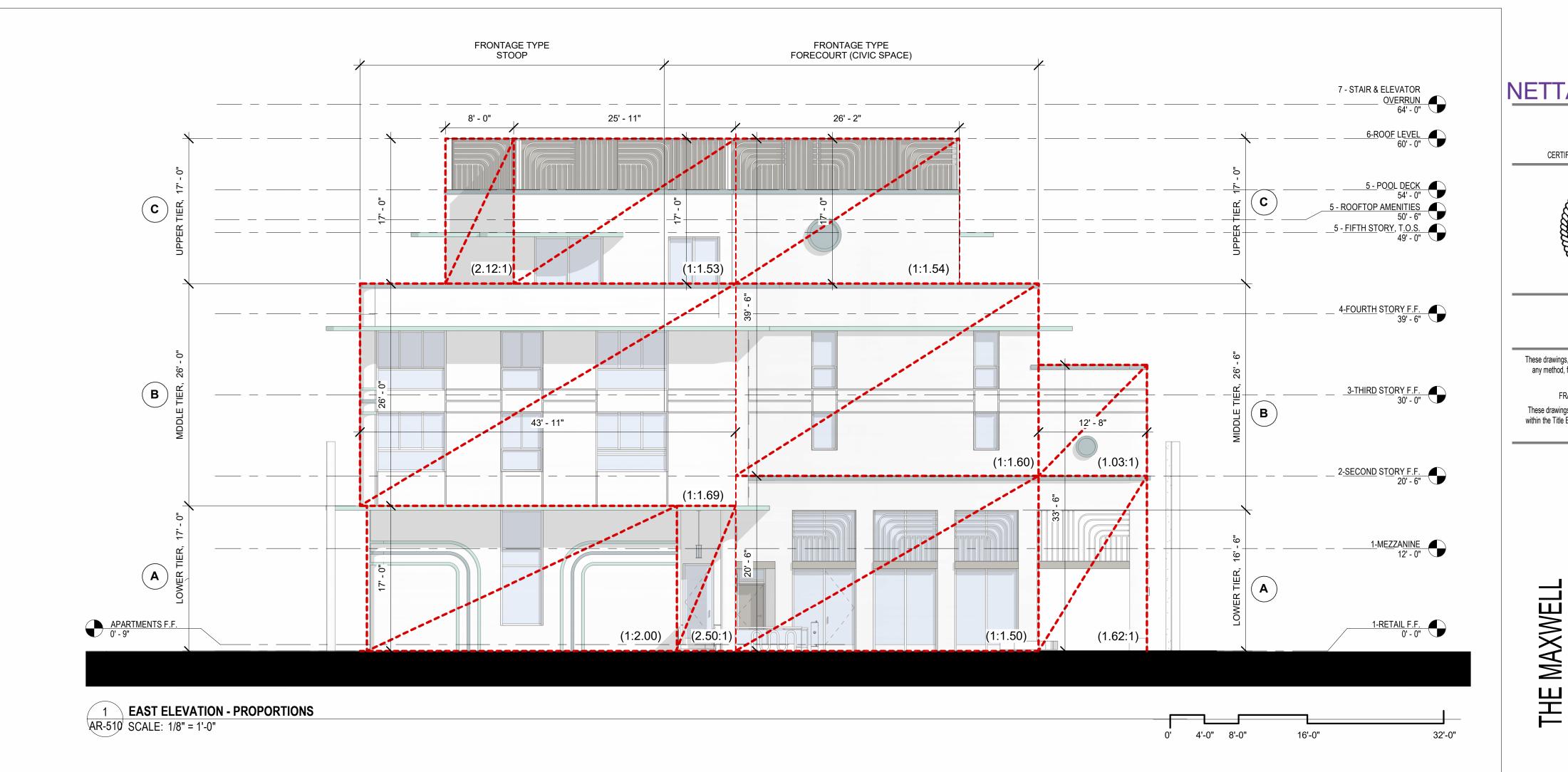
D. FLOOR ELEVATION	0 FT	3 FT	0 FT
ALLOWABLE ENCROACHMENT	N/A	N/A	
ARCADE	7	ABLE 4.4.13	(J)
	MIN.	MAX.	PROVIDED
A. BUILDING SETBACK	VARIES	15 FT	10 FT 8 IN
B. ARCADE DEPTH	10 FT	20 FT	10 FT 8 IN
C. ARCADE HEIGHT	10 FT	20 FT	16 FT 9 IN
D. COLUMN / PILLAR TO FACE OF CURB	2 FT	5 FT	3 FT 4 IN

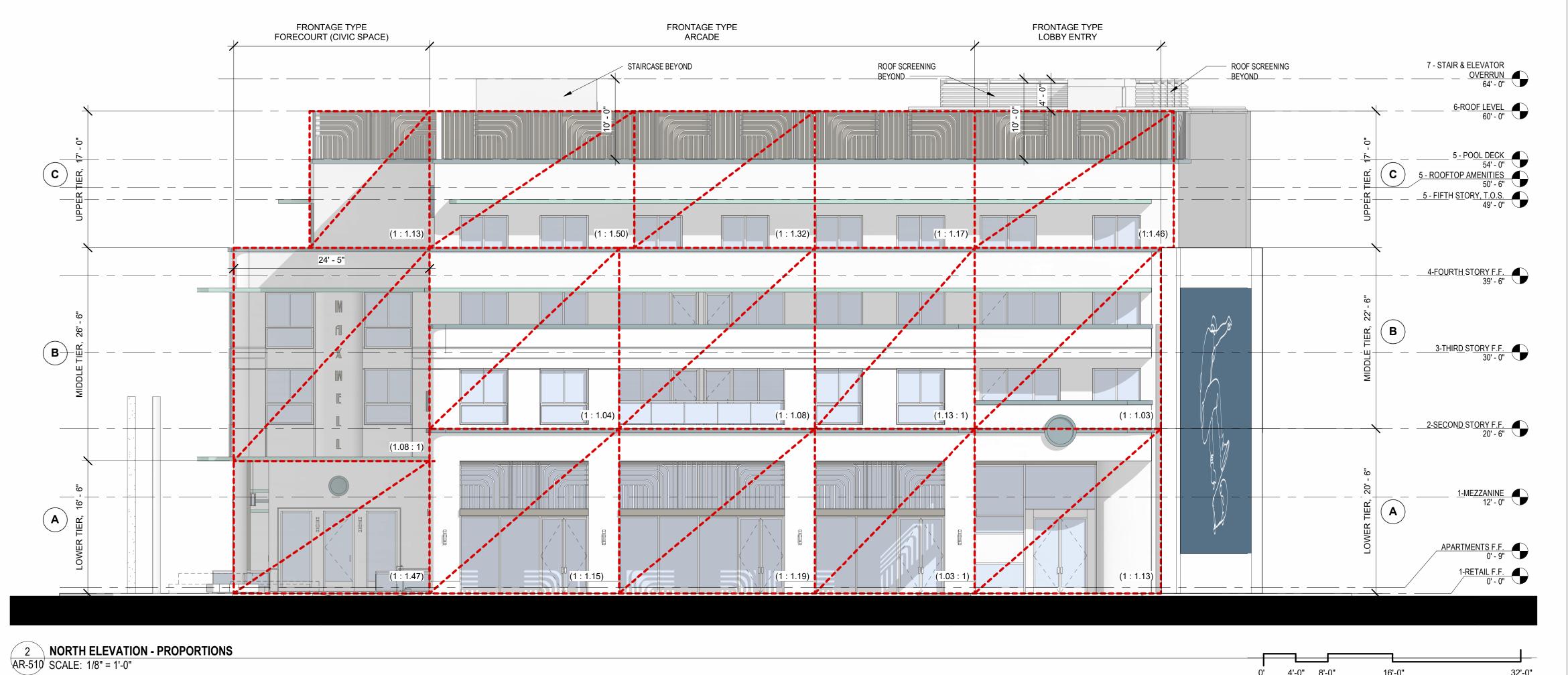
20 FT 50% FACADE 36 FT 4 IN (45%)

2 FT x 1 FT

F. MAXIMUM ALLOWABLE ENCROACHMENT.	VARIES	VARIES	12 FT
LOBBY ENTRY	7	ABLE 4.4.13	6(K)
	MIN.	MAX.	PROVIDED
A. BUILDING SETBACK	10 FT	15 FT	15 FT
B. LOBBY ENTRY WIDTH	N/A	N/A	22 FT 9 IN
C. OVERHANG / AWNING PROJECTION	N/A	20 FT	9 FT
D. COLUMNS, PILASTER, POSTS	N/A	5 FT	N/A

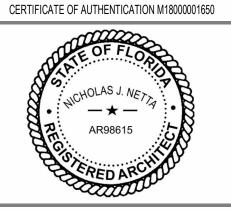
STOREFRONT	Т	ABLE 4.4.13	(I)
	MIN.	MAX.	PROVIDED
A. BUILDING SETBACK	10 FT	15 FT	10 FT 8 IN
B. STORE WIDTH	N/A	75 FT	67 FT
C. STOREFRONT BASE	9 IN	3 FT	9 IN
D. GLAZING HEIGHT + STOREFRONT BASE	8 FT		16 FT
E. REQUIRED OPENINGS	80 %		80.41 %
MAXIMUM ALLOWABLE ENCROACHMENT IN ALL D	ISTRICTS		
F. AWNING PROJECTION	5 FT		N/A
G. PROJECTING SIGN	N/A	3 FT	N/A





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SITE PLAN REVIEW SET

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> > Drawing title

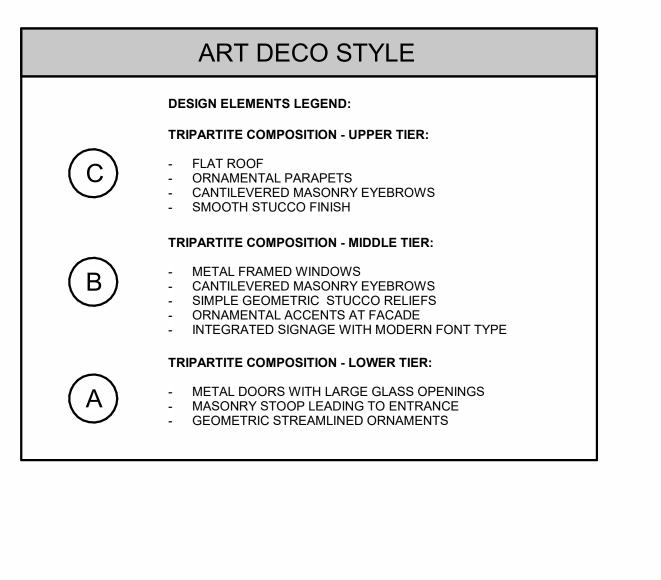
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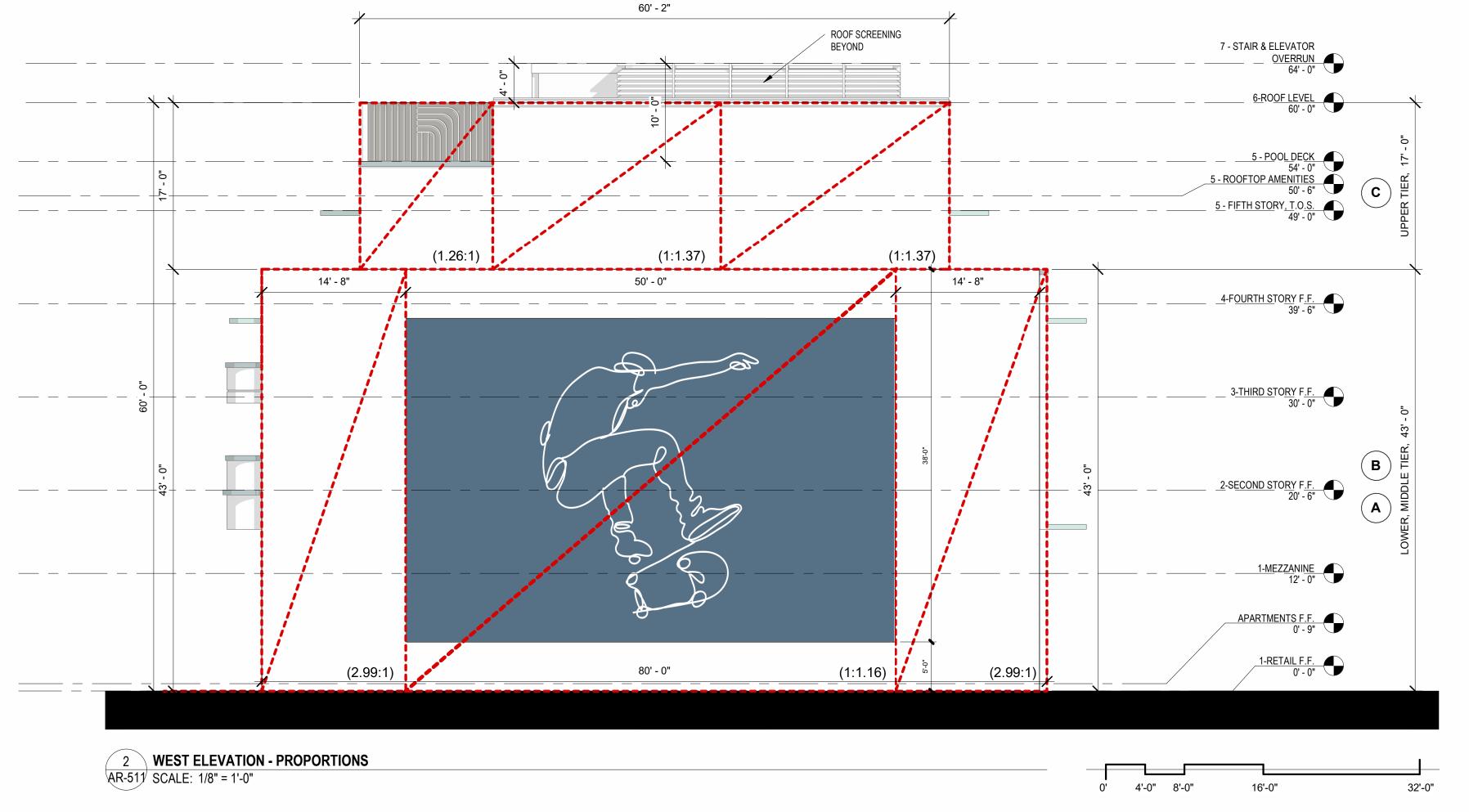
32'-0"

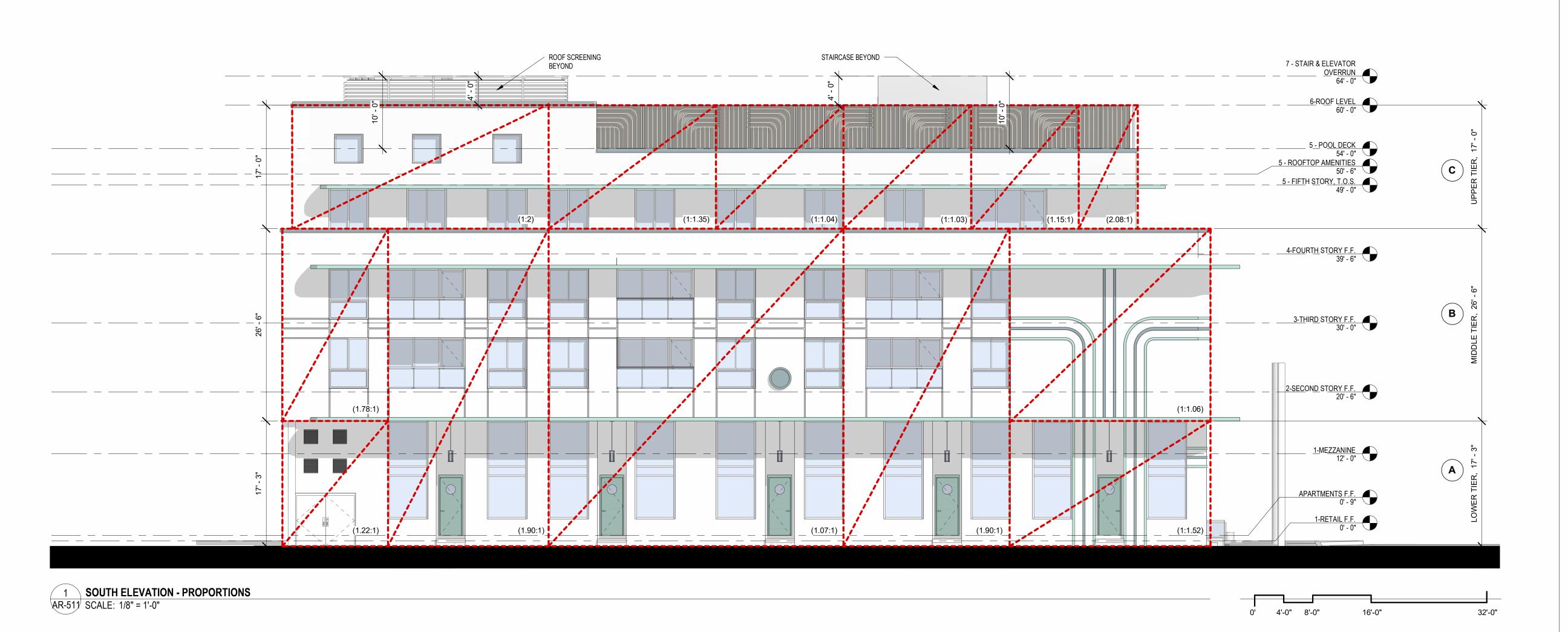
0' 4'-0" 8'-0"

DESIGN GUIDELINES -FACADE PROPORTIONS

Drawing no.





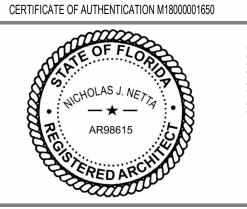




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DATE: 02-18-2024

DESIGNER: M.A.

MODELED: C.C.

CHECKED: M.F./F.J.M.

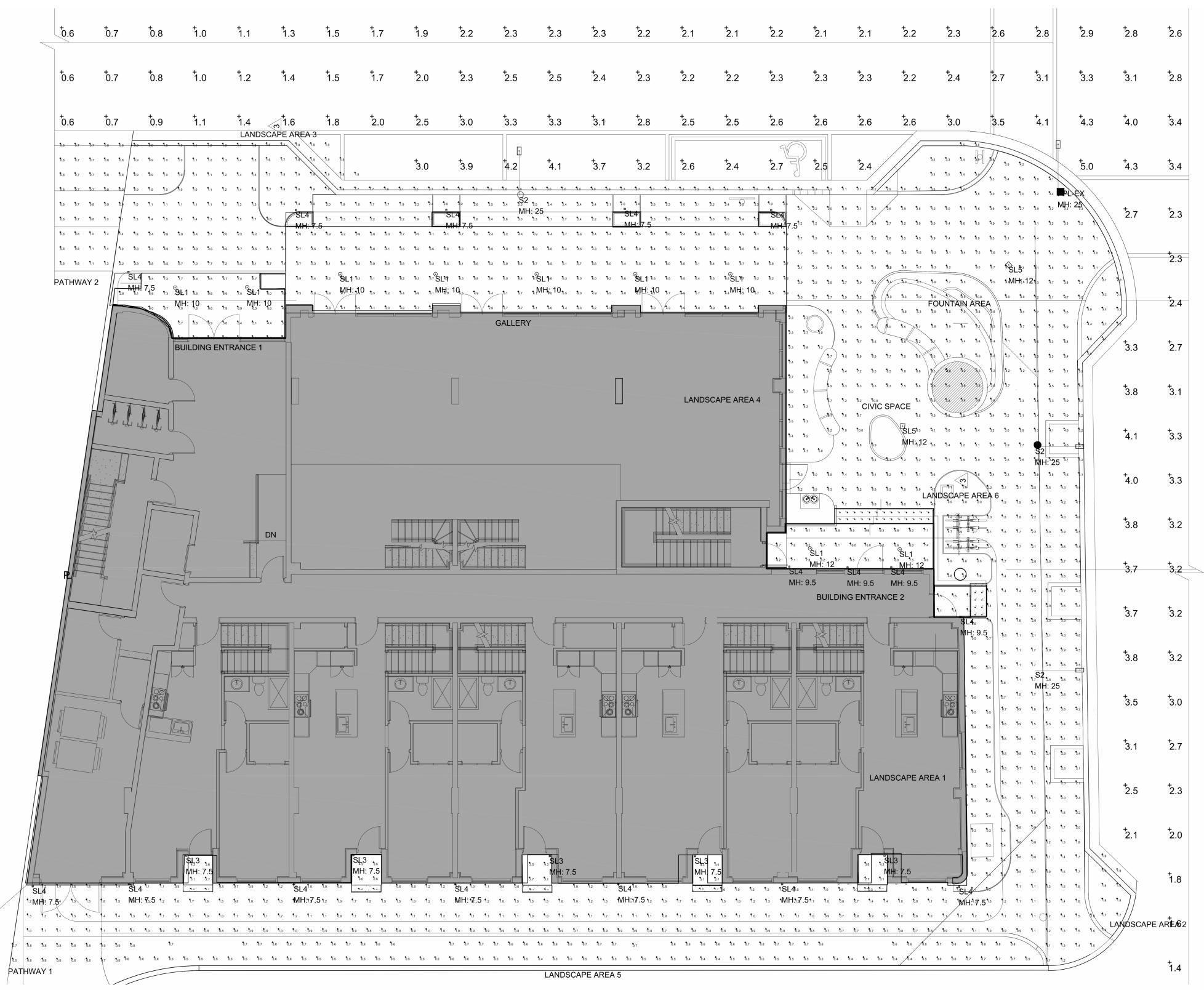
NETTA PROJECT #: 2211652_FL

DESIGN GUIDELINES -FACADE PROPORTIONS

Drawing title

Drawing no.

PARKING LOTS Multi-Family Residential 4.0 0.3 13 Commercial and Industrial 12.0 1.0 12 PARKING GARAGES / STRUCTURES Parking Area 10 1.0 16 Ramps - Day 20 2.0 16 Ramps - Night 10 1.0 16 Intrance Area- Day 500 50 16 Entrance Area - Night 10 1.0 10 Stairways 5.0 2.0 16 Other Lighting Types	 10:1	- 3:1
Suilding Entrance		- 3:1
Canopies Drive-Thru Canopies Drive-Thru Canopies Drive-Thru Canopies Drive-Thru Canopies Drive-Thru Canopies Canopies	 _ 10:1	3:1
Canopies, Drive-Thru Ind Overhangs 30.0 3.0 10 PARKING LOTS Multi-Family Residential 4.0 0.3 13 Commercial and Industrial 12.0 1.0 12 PARKING GARAGES / STRUCTURES Parking Area 10 1.0 10 Ramps - Day 20 2.0 10 Ramps - Night 10 1.0 10 Entrance Area- Day 500 50 10 Entrance Area - Night 10 1.0 10 Estairways 5.0 2.0 10 Other Lighting Types	- 10:1	
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ARKING LOTS ulti-Family Residential 4.0 0.3 13 ommercial and Industrial 12.0 1.0 12 ARKING GARAGES / STRUCTURES arking Area 10 1.0 10 amps - Day 20 2.0 10 amps - Night 10 1.0 10 ntrance Area - Day 500 50 10 ntrance Area - Night 10 1.0 10 tairways 5.0 2.0 10 ther Lighting Types	10:1	0.5.4
Julti-Family Residential 4.0 0.3 13 ommercial and Industrial 12.0 1.0 12 ARKING GARAGES / STRUCTURES arking Area 10 1.0 10 armps - Day 20 2.0 10 amps - Night 10 1.0 10 ntrance Area- Day 500 50 10 ntrance Area - Night 10 1.0 10 tairways 5.0 2.0 10 wither Lighting Types		2.5:1
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Commercial and Industrial 12.0 CARKING GARAGES / STRUCTURES Parking Area 10 Ramps - Day 20 Ramps - Night 10 Entrance Area - Day 500 Entrance Area - Night 10 Entrance Area	13:1	
arking Area 10 1.0 10 amps - Day 20 2.0 10 amps - Night 10 1.0 10 ntrance Area - Day 500 50 10 ntrance Area - Night 10 1.0 1.0 10 airways 5.0 2.0 10 ther Lighting Types	12:1	3:1
amps - Day 20 2.0 10 amps - Night 10 1.0 10 ntrance Area - Day 500 50 10 ntrance Area - Night 10 1.0 10 airways 5.0 2.0 10 ther Lighting Types		
Itamps - Night 10 1.0 10 Intrance Area- Day 500 50 10 Intrance Area - Night 10 1.0 10 Itairways 5.0 2.0 10	10:1	4:1
ntrance Area - Day 500 50 10 ntrance Area - Night 10 1.0 10 tairways 5.0 2.0 10 ther Lighting Types 10 10 10	10:1	
ntrance Area - Night 10 1.0 10 tairways 5.0 2.0 10 ther Lighting Types	10:1 10:1	
tairways 5.0 2.0 10 ther Lighting Types	10:1	
ther Lighting Types	10:1	
utdoor Display other than ehicle Sales and Rental 15 (1) 1.0 15	15:1	4:1
IOTES:		
. The first row closest to public rights-of-way of display outdoor sales may be increases to a max of 20 for	foot candles.	
. Fully shielded bollards not greater than 42 inches in height may be permitted up to a max of 20 foot can	an dia a	



Photometrics Calcul	ation Software	Generated Lum	inaire Schedule					
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
	1	FPL-EX	Single	10440	10440	0.900	85	85
	3	S2	Single	10440	10440	0.900	85	85
\bigoplus	9	SL1	Single	1030	1030	0.900	9.9	9.9
	5	SL3	Single	283	283	0.900	5.6	5.6
	16	SL4	Single	1334	1334	0.900	9.03	9.03
+	2	SL5	Single	4828	4828	0.900	54.5	54.5

	Olligic	4020		0.500	04.0		.0
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CIVIC SPACE	Illuminance	Fc	4.63	10.0	1.2	3.86	8.33
FOUNTAIN AREA	Illuminance	Fc	6.14	10.0	3.3	1.86	3.03
GALLERY	Illuminance	Fc	4.95	7.7	1.5	3.30	5.13
LANDSCAPE AREA 1	Illuminance	Fc	0.60	1.3	0.2	3.00	6.50
LANDSCAPE AREA 2	Illuminance	Fc	2.86	5.0	1.6	1.79	3.13
LANDSCAPE AREA 3	Illuminance	Fc	2.44	3.8	1.4	1.74	2.71
LANDSCAPE AREA 4	Illuminance	Fc	3.24	5.0	2.3	1.41	2.17
LANDSCAPE AREA 5	Illuminance	Fc	0.58	0.9	0.4	1.45	2.25
LANDSCAPE AREA 6	Illuminance	Fc	3.29	5.0	1.9	1.73	2.63
NE 2ND ST	Illuminance	Fc	2.18	5.0	0.6	3.63	8.33
NE 4TH AVE	Illuminance	Fc	2.88	4.1	1.1	2.62	3.73
PATHWAY 1	Illuminance	Fc	1.52	4.9	0.5	3.04	9.80
PATHWAY 2	Illuminance	Fc	1.47	3.5	0.6	2.45	5.83
BUILDING ENTRANCE 1	Illuminance	Fc	5.97	9.6	1.4	4.26	6.86
BUILDING ENTRANCE 2	Illuminance	Fc	6.79	10.0	1.1	6.17	9.09

			THE MAXV	/ELL							
			LIGHTING FIXTURI	SCHEDL	ILE						
TYPE	DESCRIPTION	MANF	CATALOG NUMBER	VOLT	LAMP COLOR	LUMENS	LAMP TYPE	DIM TYPE	WATTS	MOUNTING	NOTES
SL1	DOWNLIGHT LED CYLINDER	HALO	HCC6S10D010-FINISH-WPN / HM6C0525830 / 61WD-FINISH	UNV	3000K	1030	LED	0-10V	9.9W	SURFACE	
SL2B	BOLLARD	LIGMAN	UPRA-10011-14W-T4-W30-FINISH-120/277V	UNV	3000K	1660	LED	0-10V	14VV	SURFACE	
SL2BE	BOLLARD ON INVERTER	LIGMAN	UPRA-10011-14W-T4-W30-FINISH-120/277V	UNV	3000K	1660	LED	0-10V	14W	SURFACE	
SL3	WALL SCONCE	LIGMAN	UGI-31621-6W-T3-W30-FINISH-120/277V	UNV	3000K	305	LED	0-10V	6W	SURFACE	
SL4	WALL SCONCE	KICHLER	59113BKT - 10FA19DIM/930 GREENCREATIVE	120	3000K	1334	LED	PHASE	9W	SURFACE	
SL5	LIGHT LINEAR	LIGMAN	ULI-21241-55W-T4-W30-FINISH-12'-120/277V	UNV	3000K	4828	LED	0-10V	54W	12' POLE	
SL5B	LIGHT LINEAR	LIGMAN	ULI-21241-55W-TW-W30-FINISH-12'-120/277V	UNV	3000K	4828	LED	0-10V	54W	12' POLE	
SL6	WALL SCONCE	LIGMAN	UGI-31641-10W-T4-W30-FINISH-120/277V	UNV	3000K	820	LED	0-10V	10VV	SURFACE	
SL6E	WALL SCONCE ON INVERTER	LIGMAN	UGI-31641-10W-T4-W30-FINISH-120/277V	UNV	3000K	820	LED	0-10V	10VV	SURFACE	
SL7E-A	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-20011-3X21W-M-W30-FINISH-120/277V (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	13' COLUMN	
SL7E-B	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-20011-3X21W-M-W30-FINISH-120/277V (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	13' COLUMN	
S1	LED SITE ILUMINAIRE ON EXISTING POLE	MCGRAW- EDISON	GALN-SA2C-730-U-T4W-FINISH-MA1036-XX	UNV	3000K	12885	LED	0-10V	108W	20' POLE	1
S2	LED SITE ILUMINAIRE	LUMARK	NAV-SA2B-730-U-SL2-FINISH-MA1010-XX	UNV	3000K	10440	LED	0-10V	85W	POLE	2
\$3	LED SITE ILUMINAIRE ON NEW POLE	MCGRAW- EDISON	GALN-SA2C-730-U-T4W-FINISH-MA1036-XX	UNV	3000K	12885	LED	0-10V	108W	20' POLE	3
			FIXTURE SCHEDU	E NOTES	_					_	
			NOTE 1: FIXTURES MOUNTED	ON 20' EXISTING	POLE						

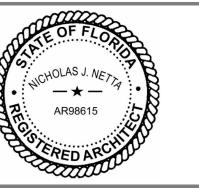
NOTE 3: FIXTURES MOUNTED @ 20' ON VALMONT NEW POLE 1908-30504TE-P2-COOPER FINIS



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621 NW 53rd Street, Suite 270
Boca Raton, Florida 33487

Boca Raton, Florida 33487
(o) 561-295-4500
www.nettaarchitects.com
CERTIFICATE OF AUTHENTICATION M18000001650



NICHOLAS J. NETTA, AIA, NCARB FL REGISTRATION No. AR98615 FRANCISCO J. MELENDEZ, SR., AIA FL REGISTRATION No. AR101881

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FRANCISCO J. MELENDEZ SR. ARCHITECT

FRANCISCO J. MELENDEZ SR. ARCHITECT

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THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

 No:
 DATE:
 DESCRIPTION:

 1
 11-21-2023
 TAC REVISION

 2
 05-18-2024
 TAC 2 REVISION

 3
 06-24-2024
 TAC 3 REVISION

 4
 01-08-2025
 TAC 4 REVISION

 DATE:
 02-18-2024

 DESIGNER:
 M.A.

 MODELED:
 C.C.

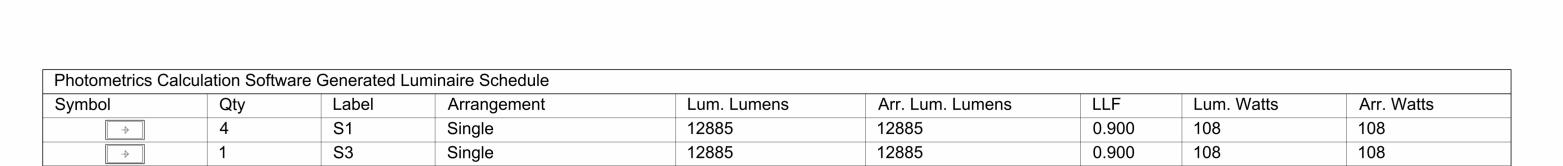
 CHECKED:
 M.F. // F.J.M.

 NETTA PROJECT#:
 2211652_FL

Drawing title

DESIGN GUIDELINES -PHOTOMETRIC P. -GROUND STORY

Drawing no.



0.6 0.7 0.9

0.9 1.4 1.6 1.7 1.9 1.9 1.9 1.9 2.0

17 17 1.8 1.8 1.9 3

1.5 †.9

1.0 + 1.2

1.0 1.7 1.4 1.2 1.0 0.8 0.7 0.6 0.5

10 0.6 0.6 0.6 0.7 0.8 1.0 1.2 1.4

13 15 1.8 2.0 22 2.4 2.4 2.2 2.1

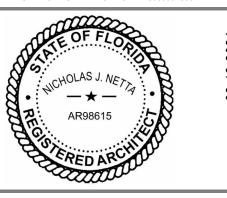
08 0.7 09 1 0 10 16 11 12 12.2 2.0 2.1 2.4 2.1 2.3 2.2 2.4 2.1 2.3 2.2 2.4 2.1 2.3 2.2 2.4

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
LANDSCAPE AREA	Illuminance	Fc	1.49	3.7	0.4	3.73	9.25
PARKING LOT	Illuminance	Fc	1.76	3.2	0.6	2.93	5.33

			THE MAX								
LIGHTING FIXTURE SCHEDULE											
TYPE	DESCRIPTION	MANF	CATALOG NUMBER	VOLT	LAMP COLOR	LUMENS	LAMP TYPE	DIM TYPE	WATTS	MOUNTING	NOTES
SL1	DOWNLIGHT LED CYLINDER	HALO	HCC6S10D010-FINISH-WPN / HM6C0525830 / 61WD-FINISH	UNV	3000K	1030	LED	0-10V	9.9W	SURFACE	
SL2B	BOLLARD	LIGMAN	UPRA-10011-14W-T4-W30-FINISH-120/277V	UNV	3000K	1660	LED	0-10V	14W	SURFACE	
SL2BE	BOLLARD ON INVERTER	LIGMAN	UPRA-10011-14W-T4-W30-FINISH-120/277V	UNV	3000K	1660	LED	0-10V	14W	SURFACE	
SL3	WALL SCONCE	LIGMAN	UGI-31621-6W-T3-W30-FINISH-120/277V	UNV	3000K	305	LED	0-10V	6W	SURFACE	
SL4	WALL SCONCE	KICHLER	59113BKT - 10FA19DIM/930 GREENCREATIVE	120	3000K	1334	LED	PHASE	9W	SURFACE	
SL5	LIGHT LINEAR	LIGMAN	ULI-21241-55W-T4-W30-FINISH-12'-120/277V	UNV	3000K	4828	LED	0-10V	54W	12' POLE	
SL5B	LIGHT LINEAR	LIGMAN	ULI-21241-55W-TW-W30-FINISH-12'-120/277V	UNV	3000K	4828	LED	0-10V	54W	12' POLE	
SL6	WALL SCONCE	LIGMAN	UGI-31641-10W-T4-W30-FINISH-120/277V	UNV	3000K	820	LED	0-10V	10W	SURFACE	
SL6E	WALL SCONCE ON INVERTER	LIGMAN	UGI-31641-10W-T4-W30-FINISH-120/277V	UNV	3000K	820	LED	0-10V	10W	SURFACE	
SL7E-A	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-20011-3X21W-M-W30-FINISH-120/277V (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	13' COLUMN	
SL7E-B	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-20011-3X21W-M-W30-FINISH-120/277V (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	13' COLUMN	
S1	LED SITE ILUMINAIRE ON EXISTING POLE	MCGRAW- EDISON	GALN-SA2C-730-U-T4W-FINISH-MA1036-XX	UNV	3000K	12885	LED	0-10V	108VV	20' POLE	1
S2	LED SITE ILUMINAIRE	LUMARK	NAV-SA2B-730-U-SL2-FINISH-MA1010-XX	UNV	3000K	10440	LED	0-10V	85W	POLE	2
S3	LED SITE ILUMINAIRE ON NEW POLE	MCGRAW- EDISON	GALN-SA2C-730-U-T4W-FINISH-MA1036-XX	UNV	3000K	12885	LED	0-10V	108VV	20' POLE	3
			FIXTURE SCHED	JLE NOTES							

NOTE 2: FIXTURES MOUNTED @ 25' ON EXISTING POLE NOTE 3: FIXTURES MOUNTED @ 20' ON VALMONT NEW POLE 1908-30504TE-P2-COOPER FINISH FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT QUOTATIONS@LIGHTINGDYNAMICS.COM, (954) 944-0286

621 NW 53rd Street, Suite 270 Boca Raton, Florida 33487 (o) 561-295-4500 www.nettaarchitects.com CERTIFICATE OF AUTHENTICATION M18000001650



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MAXWELL

置

0.5 0.5 0.6 0.6 0.6 0.6 0.6 0.6

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

DATE: 2 05-18-2024 TAC 2 REVISION

> DATE: DESIGNER: MODELED:

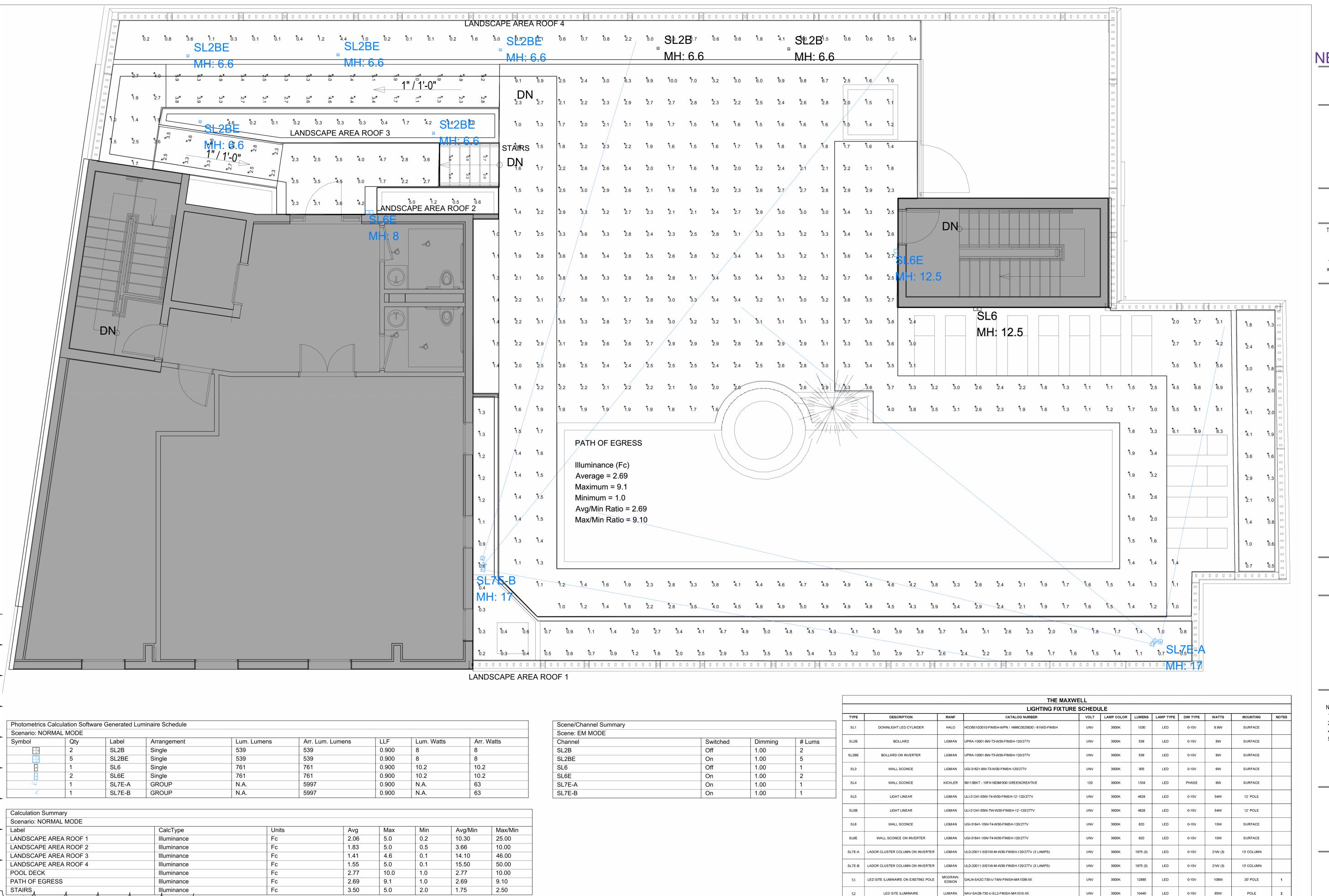
CHECKED:

M.F ./ F.J.M. 2211652_FL NETTA PROJECT #:

Drawing title

02-18-2024

DESIGN GUIDELINES -PHOTOMETRIC P. -PARKING AREA



NOTE:

HEIGHT OF THE BUILDING

ALL PROPOSED LIGHTING FIXTURES WILL BE CUT-OFF LUMINAIRES, NOT EXTENDING BEYOND THE

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CERTIFICATE OF AUTHENTICATION M18000001650

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DELRAY

306 NE 2nd STREET, I BEACH, FL

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MAXWELL 置

SITE PLAN REVIEW SET

Submissions

Revisions

DATE: DESCRIPTION: 11-21-2023 TAC REVISION 05-18-2024 TAC 2 REVISION 4 01-08-2025 **TAC 4 REVISION** 5 03-19-2025 TAC 5 REVISION

> 02-18-2024 DATE: DESIGNER: MODELED: M.F ./ F.J.M.

CHECKED: 2211652_FL NETTA PROJECT #:

Drawing title

C.C.

DESIGN GUIDELINES -PHOTOMETRIC P. -ROOFTOP

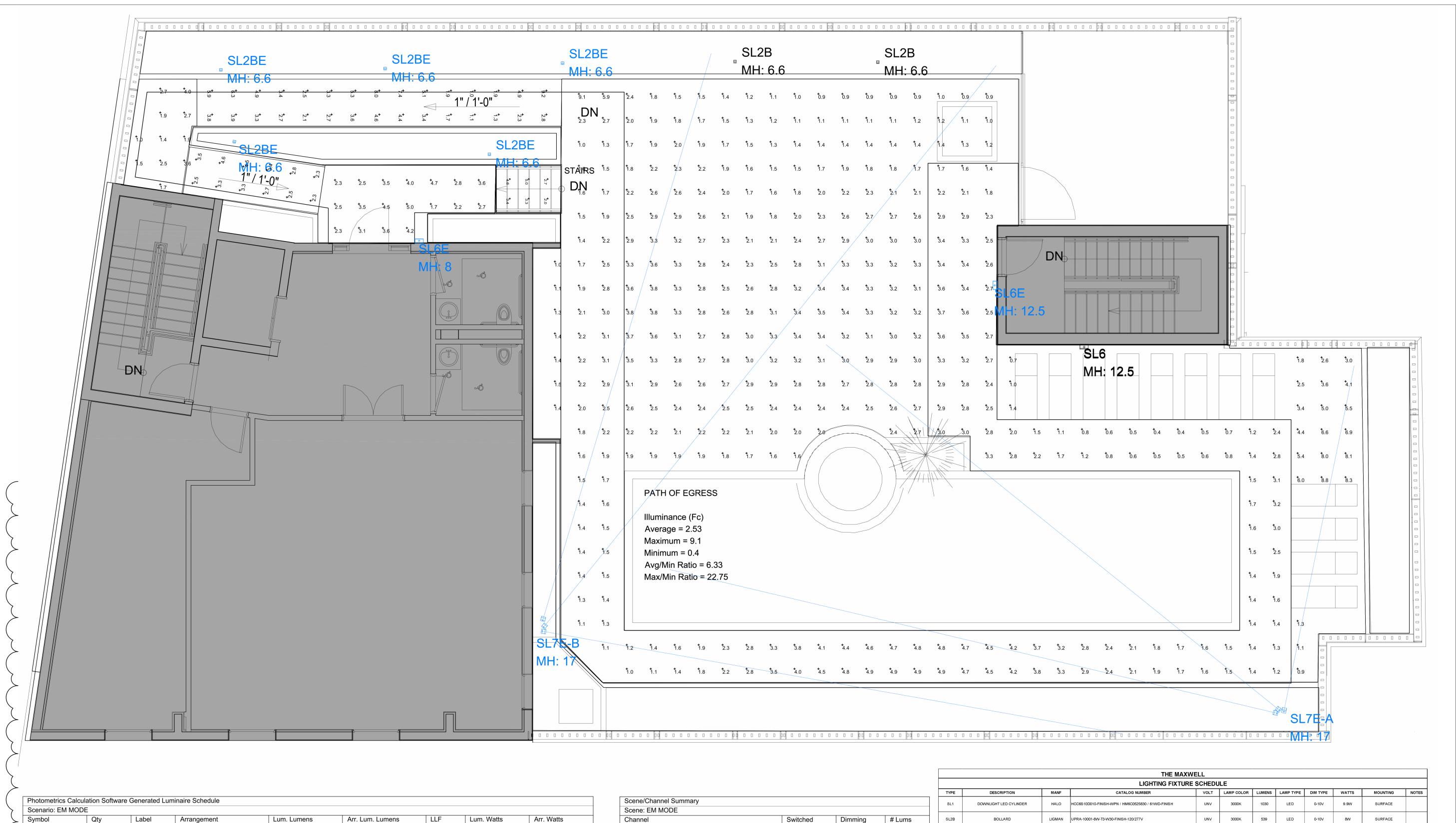
MCGRAW-EDISON GALN-SA2C-730-U-T4W-FINISH-MA1036-XX

FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT QUOTATIONS@LIGHTINGDYNAMICS.COM, (954) 944-0286

3000K 12885 LED 0-10V 108W

20' POLE

LED SITE ILUMINAIRE ON NEW POLE



Off

On

Off

On

On

On

1.00

1.00

1.00

1.00 1.00

1.00

Photometrics Ca	alculation Softwa	are Generated Lu	minaire Schedule					
Scenario: EM M	ODE							
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
	2	SL2B	Single	539	539	0.900	8	8
	5	SL2BE	Single	539	539	0.900	8	8
	1	SL6	Single	761	761	0.900	10.2	10.2
- →	2	SL6E	Single	761	761	0.900	10.2	10.2
No.	1	SL7E-A	GROUP	N.A.	5997	0.900	N.A.	63
K	1	SL7E-B	GROUP	N.A.	5997	0.900	N.A.	63

>								
,	Calculation Summary							
	Scenario: EM MODE							
(Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
\geq	POOL DECK	Illuminance	Fc	2.45	9.1	0.4	6.13	22.75
	PATH OF EGRESS	Illuminance	Fc	2.53	9.1	0.4	6.33	22.75
>	STAIRS	Illuminance	Fc	3.50	5.0	2.0	1.75	2.50
(·	<u>.</u>	•	•	•	•	

3			SL7E-A
3			SL7E-B
		-	
	N A = /N A!		
	Max/Min		
	22.75		
	22.75		

SL2B

SL2BE SL6

SL6E

			THE MAXWE								
			LIGHTING FIXTURE	SCHEDU	LE						
TYPE	DESCRIPTION	MANF	CATALOG NUMBER	VOLT	LAMP COLOR	LUMENS	LAMP TYPE	DIM TYPE	WATTS	MOUNTING	NOTES
SL1	DOWNLIGHT LED CYLINDER	HALO	HCC6S10D010-FINISH-WPN / HM6C0525830 / 61WD-FINISH	UNV	3000K	1030	LED	0-10V	9.9W	SURFACE	
SL2B	BOLLARD	LIGMAN	UPRA-10001-8W-T3-W30-FINISH-120/277V	UNV	3000K	539	LED	0-10V	8W	SURFACE	
SL2BE	BOLLARD ON INVERTER	LIGMAN	UPRA-10001-8W-T3-W30-FINISH-120/277V	UNV	3000K	539	LED	0-10V	8W	SURFACE	
SL3	WALL SCONCE	LIGMAN	UGI-31621-6W-T3-W30-FINISH-120/277V	UNV	3000K	305	LED	0-10V	6VV	SURFACE	
SL4	WALL SCONCE	KICHLER	59113BKT - 10FA19DIM/930 GREENCREATIVE	120	3000K	1334	LED	PHASE	9W	SURFACE	
SL5	LIGHT LINEAR	LIGMAN	ULI-21241-55W-T4-W30-FINISH-12'-120/277V	UNV	3000K	4828	LED	0-10V	54W	12' POLE	
SL5B	LIGHT LINEAR	LIGMAN	ULI-21241-55W-TW-W30-FINISH-12'-120/277V	UNV	3000K	4828	LED	0-10V	54W	12' POLE	
SL6	WALL SCONCE	LIGMAN	UGI-31641-10W-T4-W30-FINISH-120/277V	UNV	3000K	820	LED	0-10V	10W	SURFACE	
SL6E	WALL SCONCE ON INVERTER	LIGMAN	UGI-31641-10W-T4-W30-FINISH-120/277V	UNV	3000K	820	LED	0-10V	10W	SURFACE	
SL7E-A	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-20011-3X21W-M-W30-FINISH-120/277V (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	13' COLUMN	
SL7E-B	LADOR CLUSTER COLUMN ON INVERTER	LIGMAN	ULD-20011-3X21W-M-W30-FINISH-120/277V (3 LAMPS)	UNV	3000K	1975 (3)	LED	0-10V	21W (3)	13' COLUMN	
S1	LED SITE ILUMINAIRE ON EXISTING POLE	MCGRAW- EDISON	GALN-SA2C-730-U-T4W-FINISH-MA1036-XX	UNV	3000K	12885	LED	0-10V	108VV	20' POLE	1
S2	LED SITE ILUMINAIRE	LUMARK	NAV-SA2B-730-U-SL2-FINISH-MA1010-XX	UNV	3000K	10440	LED	0-10V	85W	POLE	2
S3	LED SITE ILUMINAIRE ON NEW POLE	MCGRAW- EDISON	GALN-SA2C-730-U-T4W-FINISH-MA1036-XX	UNV	3000K	12885	LED	0-10V	108VV	20' POLE	3
			FIXTURE SCHEDULE	NOTES	•						
			NOTE 1: FIXTURES MOUNTED ON	20' EXISTING	POLE						

NOTE 3: FIXTURES MOUNTED @ 20' ON VALMONT NEW POLE 1908-30504TE-P2-COOPER FINISH FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT QUOTATIONS@LIGHTINGDYNAMICS.COM, (954) 944-0286

ALL PROPOSED LIGHTING FIXTURES WILL BE CUT-OFF LUMINAIRES, NOT EXTENDING BEYOND THE HEIGHT OF THE BUILDING

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www.nettaarchitects.com

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, DELRAY

306 NE 2nd STREET, I BEACH, FL

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THE MAXWELI

SITE PLAN REVIEW SET

Submissions

Revisions DATE: DESCRIPTION:

11-21-2023 TAC REVISION 05-18-2024 TAC 2 REVISION **TAC 4 REVISION** 4 01-08-2025 TAC 5 REVISION 5 03-19-2025

C.C.

02-18-2024 DATE: DESIGNER: M.F ./ F.J.M.

MODELED: CHECKED: 2211652_FL NETTA PROJECT #:

Drawing title DESIGN GUIDELINES -PHOTOMETRIC P. ROOFTOP EM. LIGHTING

Drawing no.



TOTAL

TOTAL

NORTH ELEVATION

GROUND LEVEL

SECOND STORY

THIRD STORY

FOURTH STORY

117.83 FT

117.83 FT

117.83 FT

0 FT / 46 FT

0 FT / 46 FT

10 FT / 46 FT

107.83 FT | 20 FT / 46 FT

60 FT

60 FT

70 FT

80 FT

4,030 S.F.

2,416 S.F.

1,119 S.F.

1,119 S.F.

1,024 S.F.

5,679 S.F.

964 S.F. 23.92 %

1,155 S.F. 47.82 %

47.35 %

47.35 %

35.05 %

45.33 %

530 S.F.

530 S.F.

359 S.F.

2,574 S.F.

FOURTH STORY

TOTAL

117.08 FT

20 FT

56 FT

1,112 S.F.

6,198 S.F.

477 S.F.

2,139 S.F.

42.89 %

34.51 %

621 NW 53rd Street, Suite 270
Boca Raton, Florida 33487
(o) 561-295-4500
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AR98615

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306 NE 2nd STREET, DELRAY BEACH, FL

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 TAC REVISION

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 TAC 2 REVISION

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 06-24-2024
 TAC 3 REVISION

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 01-08-2025
 TAC 4 REVISION

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 DESIGNER:
 M.A.

 MODELED:
 C.C.

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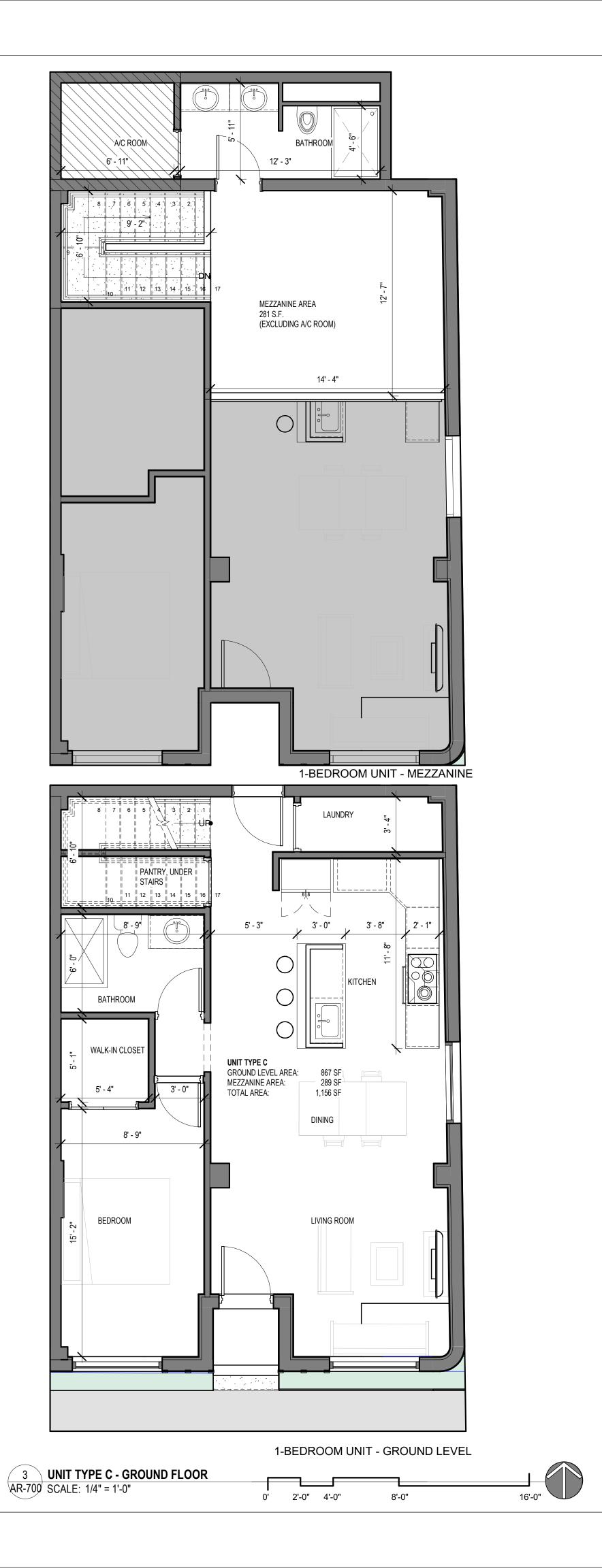
 NETTA PROJECT #:
 2211652_FL

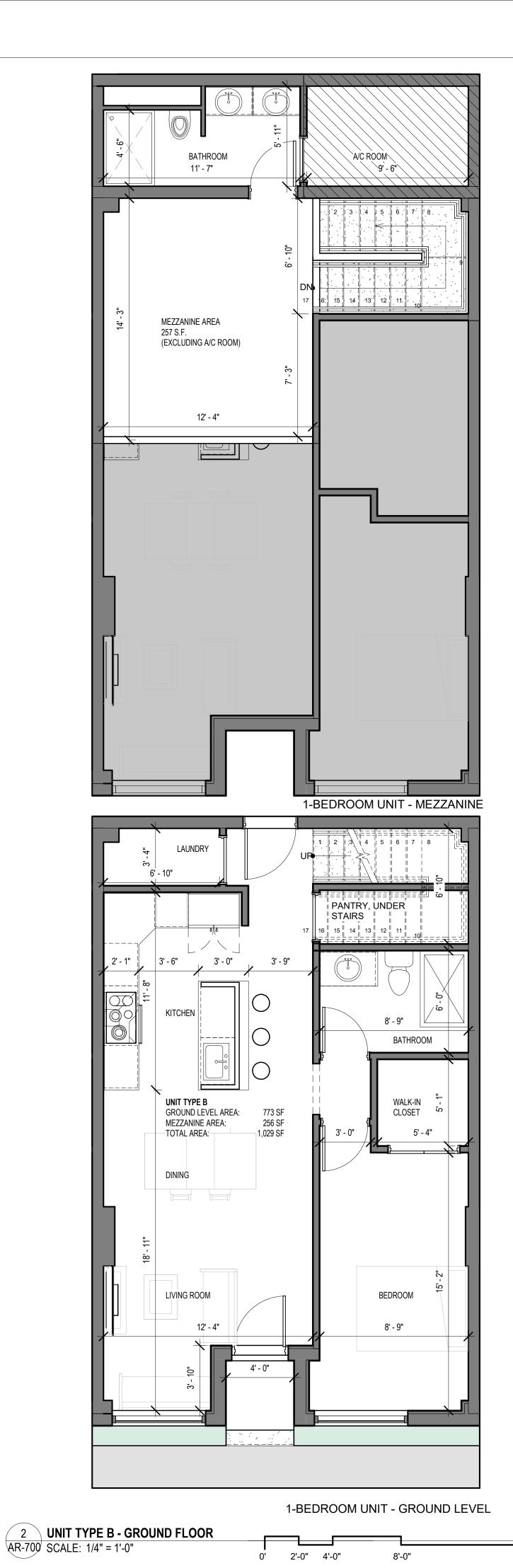
NETTA PROJECT #: 2

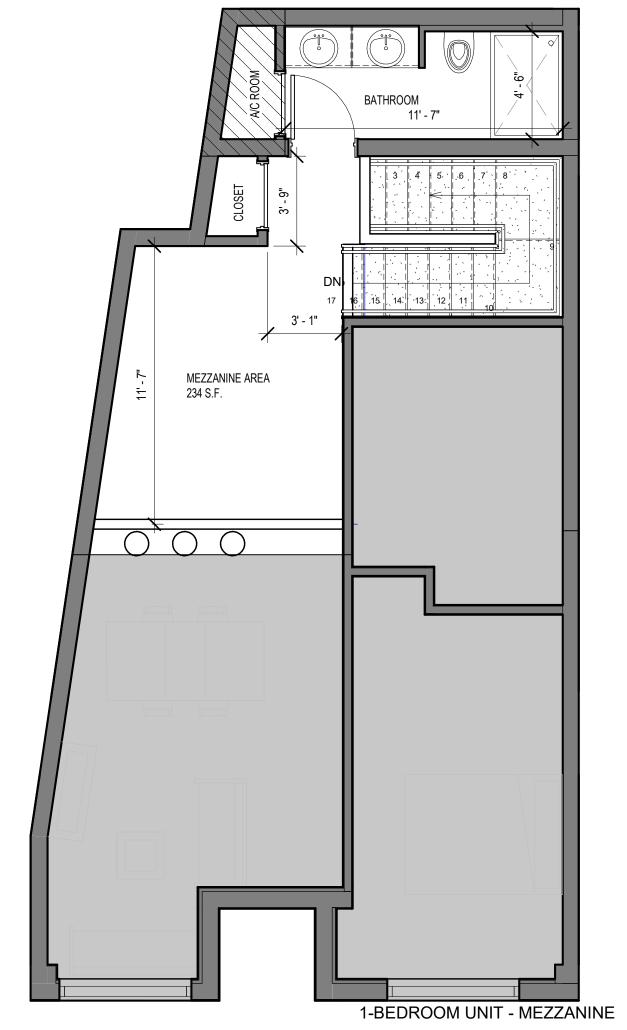
Drawing title

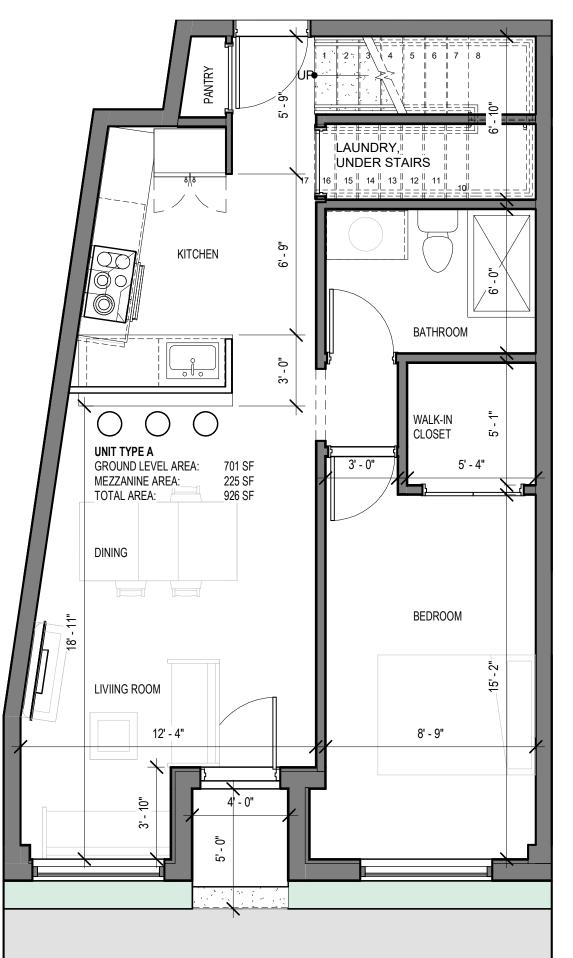
EXTERIOR WALL OPENINGS, CALCULATIONS

Drawing no.









1-BEDROOM UNIT - GROUND LEVEL

8'-0"



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NICHOLAS J. NETTA, AIA, NCARB FL REGISTRATION No. AR98615 FRANCISCO J. MELENDEZ, SR., AIA FL REGISTRATION No. AR101881

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306 NE 2nd STREET, DELRAY BEACH, FL

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SITE PLAN REVIEW SET

Submissions

Revisions

DATE: DESCRIPTION: TAC REVISION 1 11-21-2023 2 05-18-2024 TAC 2 REVISION

> 02-18-2024 DATE: DESIGNER: MODELED: M.F ./ F.J.M.

CHECKED: 2211652_FL NETTA PROJECT #:

Drawing title

UNIT TYPES

Drawing no.

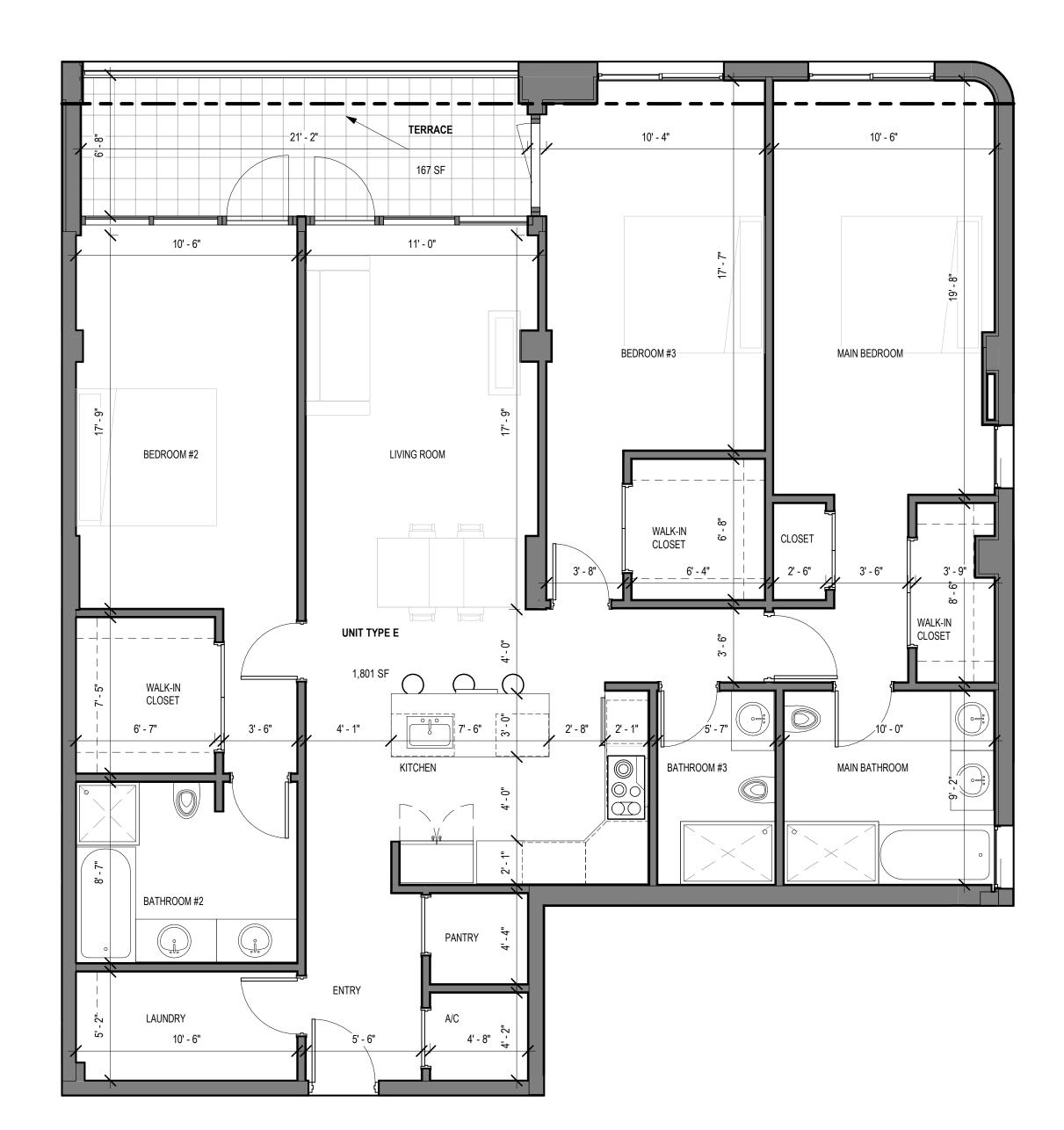
AR-700

1 UNIT TYPE A - GROUND FLOOR

AR-700 SCALE: 1/4" = 1'-0" 0' 2'-0" 4'-0"



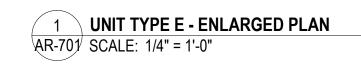
2 UNIT TYPE D - ENLARGED PLAN
AR-701 SCALE: 1/4" = 1'-0"

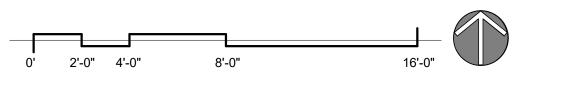


3-BEDROOM UNIT

0' 2'-0" 4'-0" 8'-0" 16'-0"

3-BEDROOM UNIT





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AR98615

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306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions

No: DATE: DESCRIPTION:
1 11-21-2023 TAC REVISION
3 06-24-2024 TAC 3 REVISION

 DATE:
 02-18-2024

 DESIGNER:
 M.A.

 MODELED:
 C.C.

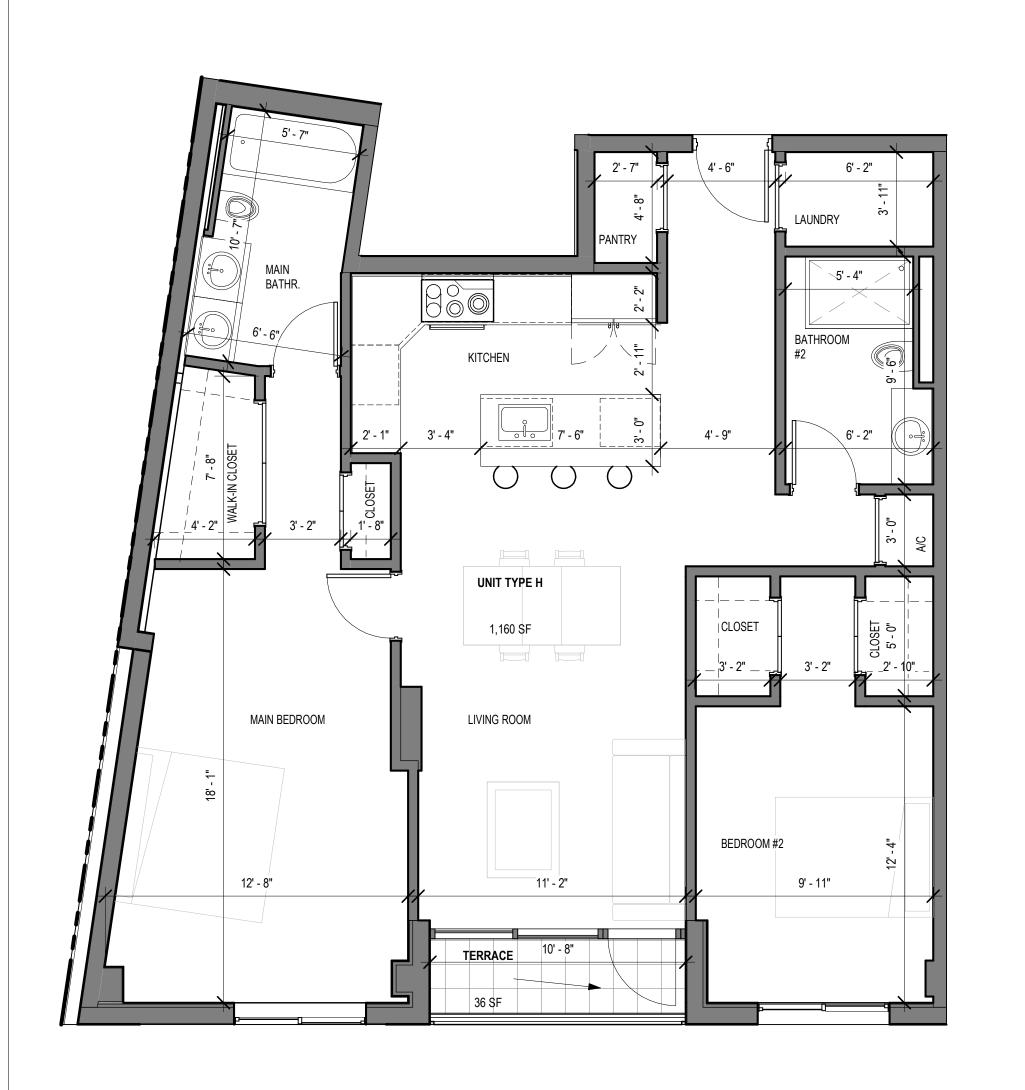
 CHECKED:
 M.F. / F.J.M.

 NETTA PROJECT #:
 2211652_FL

Drawing title

UNIT TYPES

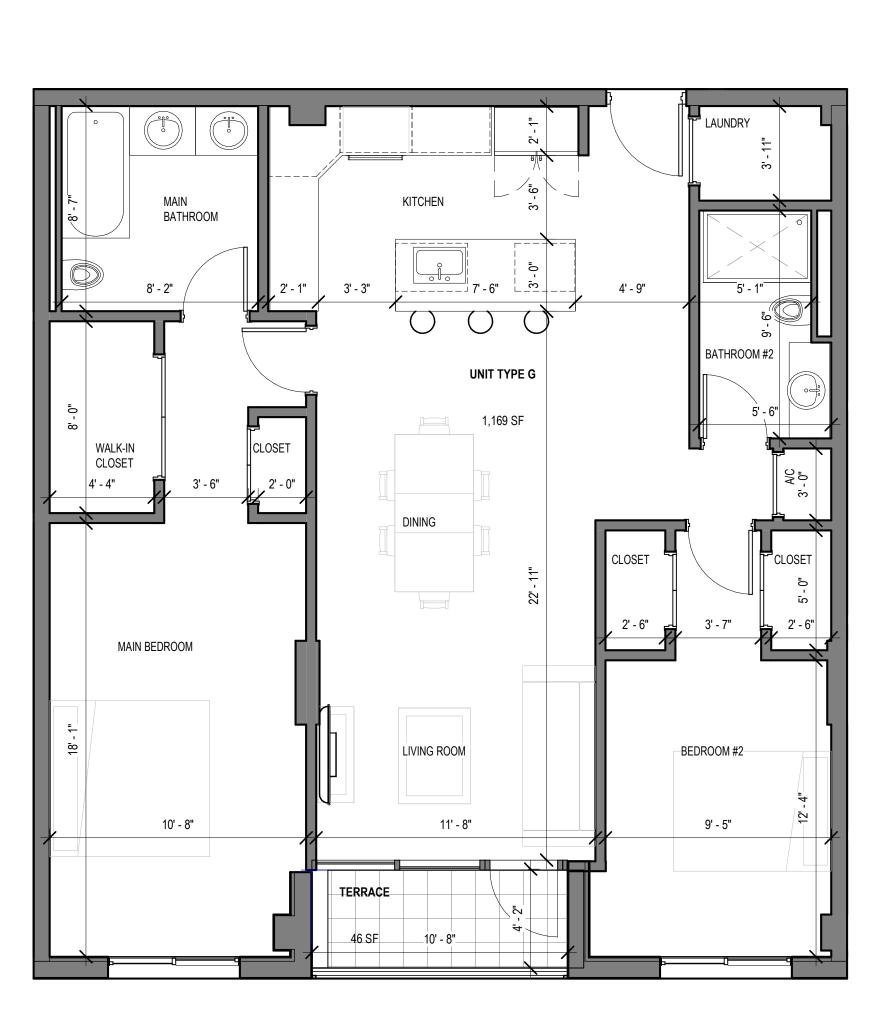
Drawing no.



0' 2'-0" 4'-0"

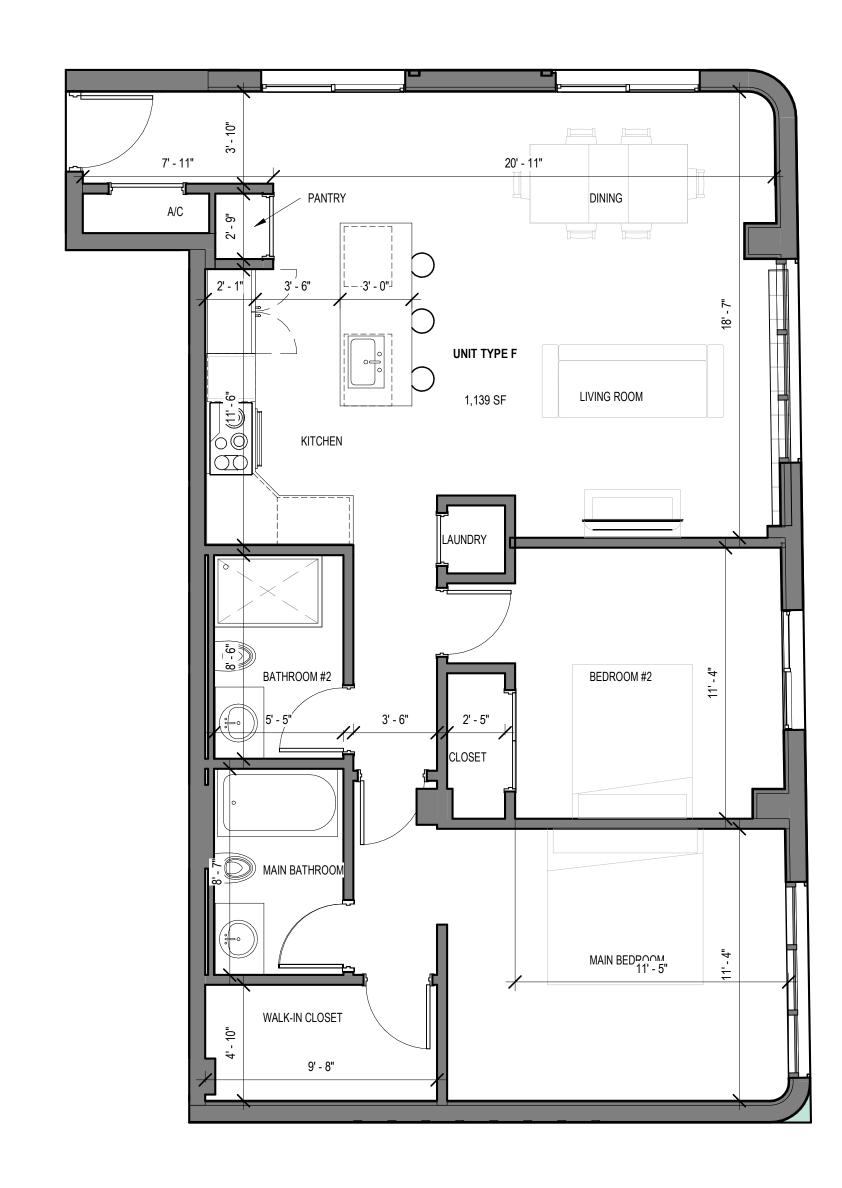
3 UNIT TYPE H - ENLARGED PLAN
AR-702 SCALE: 1/4" = 1'-0"

2-BEDROOM UNIT



0' 2'-0" 4'-0"

2 UNIT TYPE G - ENLARGED PLAN AR-702 SCALE: 1/4" = 1'-0"



2-BEDROOM UNIT

1 UNIT TYPE F - ENLARGED PLAN
AR-702 SCALE: 1/4" = 1'-0" 0' 2'-0" 4'-0"

No: DATE: 1 11-21-2023

2211652_FL NETTA PROJECT #:

SITE PLAN REVIEW SET

Submissions

Revisions

DESCRIPTION: TAC REVISION

Drawing title

UNIT TYPES

Drawing no.

AR-702

2-BEDROOM UNIT

DATE: DESIGNER: MODELED:

02-18-2024 M.F ./ F.J.M. CHECKED:

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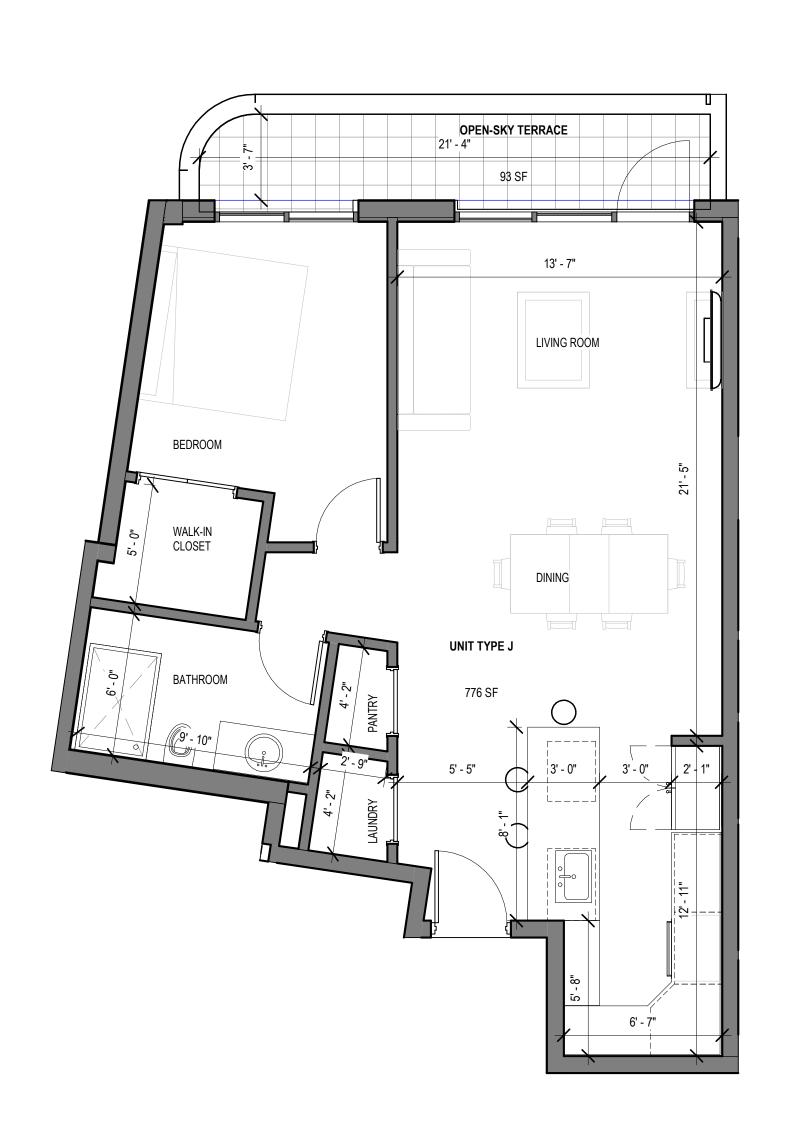
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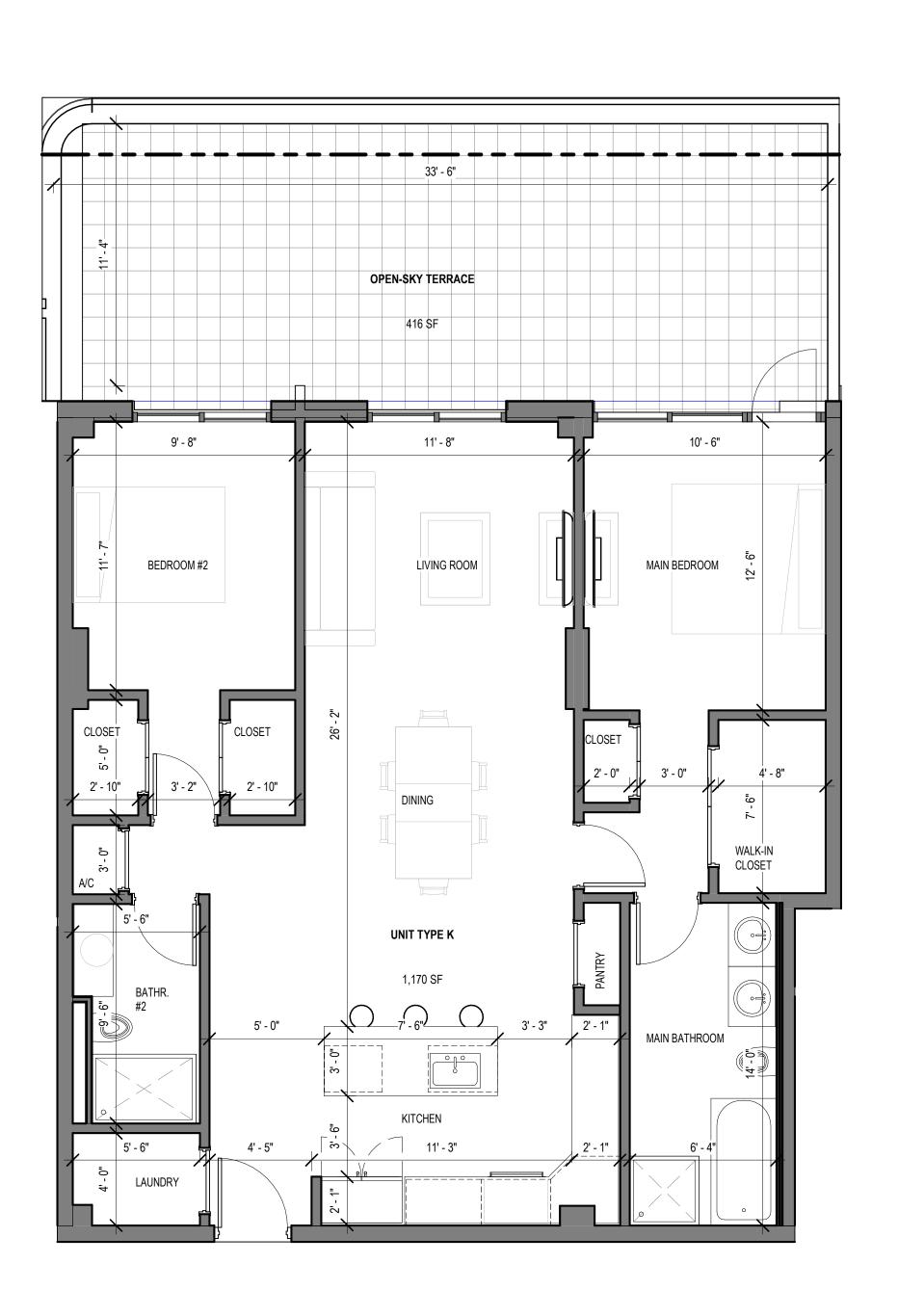
NICHOLAS J. NETTA, ARCHITECT. FRANCISCO J. MELENDEZ SR. ARCHITECT

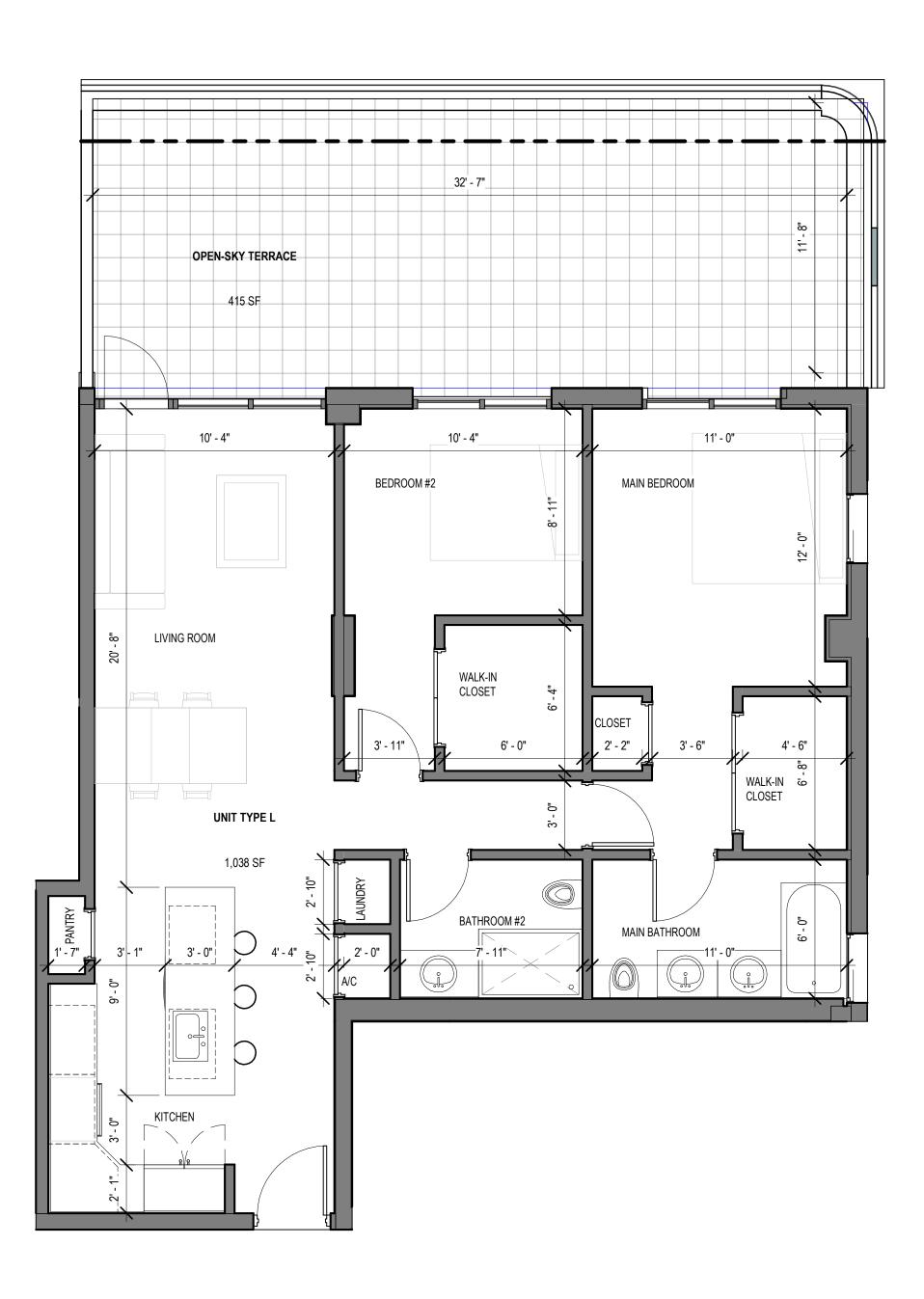
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THE MAXWELL

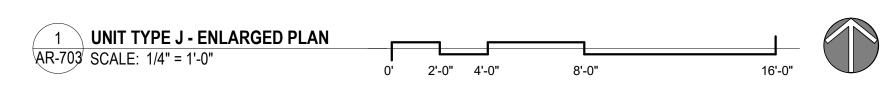
306 NE 2nd STREET, DELRAY BEACH, FL

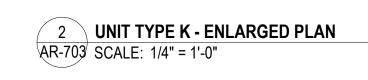


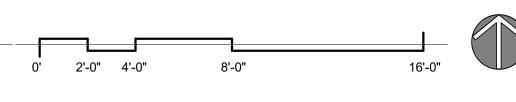


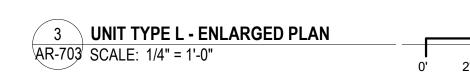


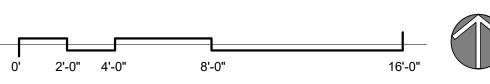
1-BEDROOM UNIT 2-BEDROOM UNIT











2-BEDROOM UNIT



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THE MAXWELL

306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

Submissions

Revisions DESCRIPTION: TAC REVISION DATE: 1 11-21-2023

TAC 3 REVISION

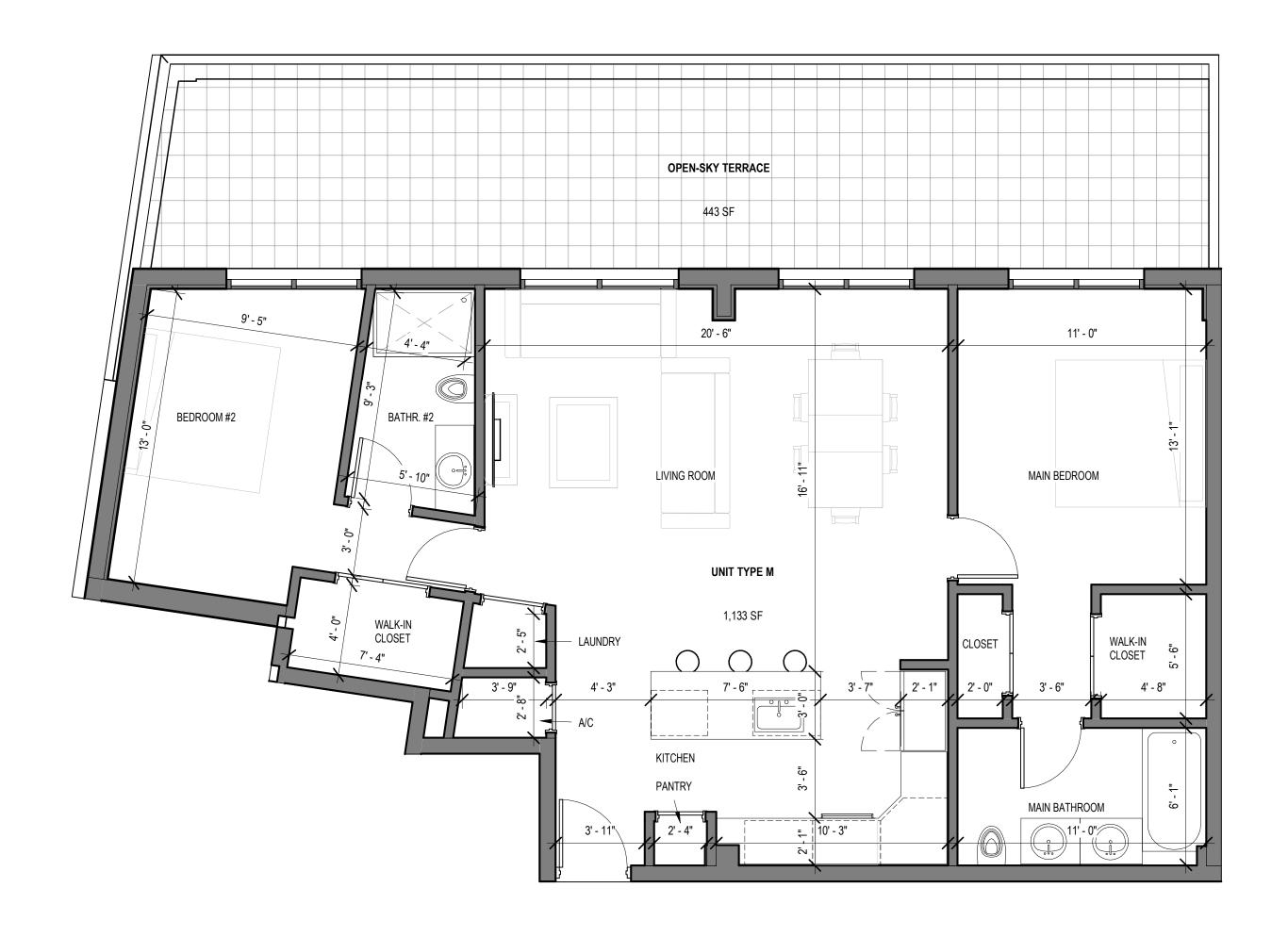
02-18-2024 DATE: DESIGNER: MODELED: M.F ./ F.J.M. CHECKED: 2211652_FL NETTA PROJECT #:

3 06-24-2024

Drawing title

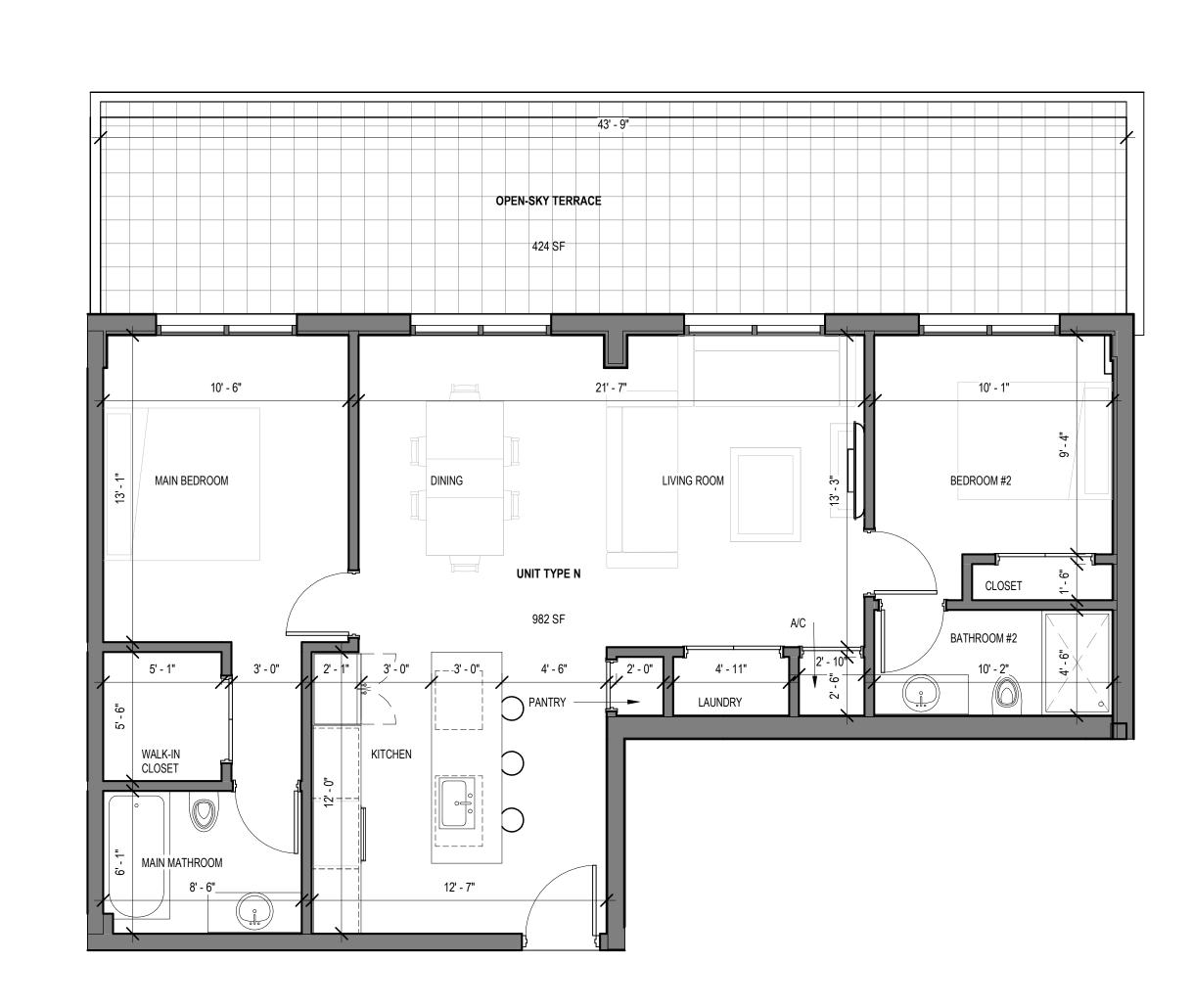
UNIT TYPES

Drawing no.



0' 2'-0" 4'-0"

1 UNIT TYPE M - ENLARGED PLAN
AR-704 SCALE: 1/4" = 1'-0"



2-BEDROOM UNIT

2 UNIT TYPE N - ENLARGED PLAN AR-704 SCALE: 1/4" = 1'-0"

0' 2'-0" 4'-0"

2-BEDROOM UNIT

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306 NE 2nd STREET, DELRAY BEACH, FL

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Submissions

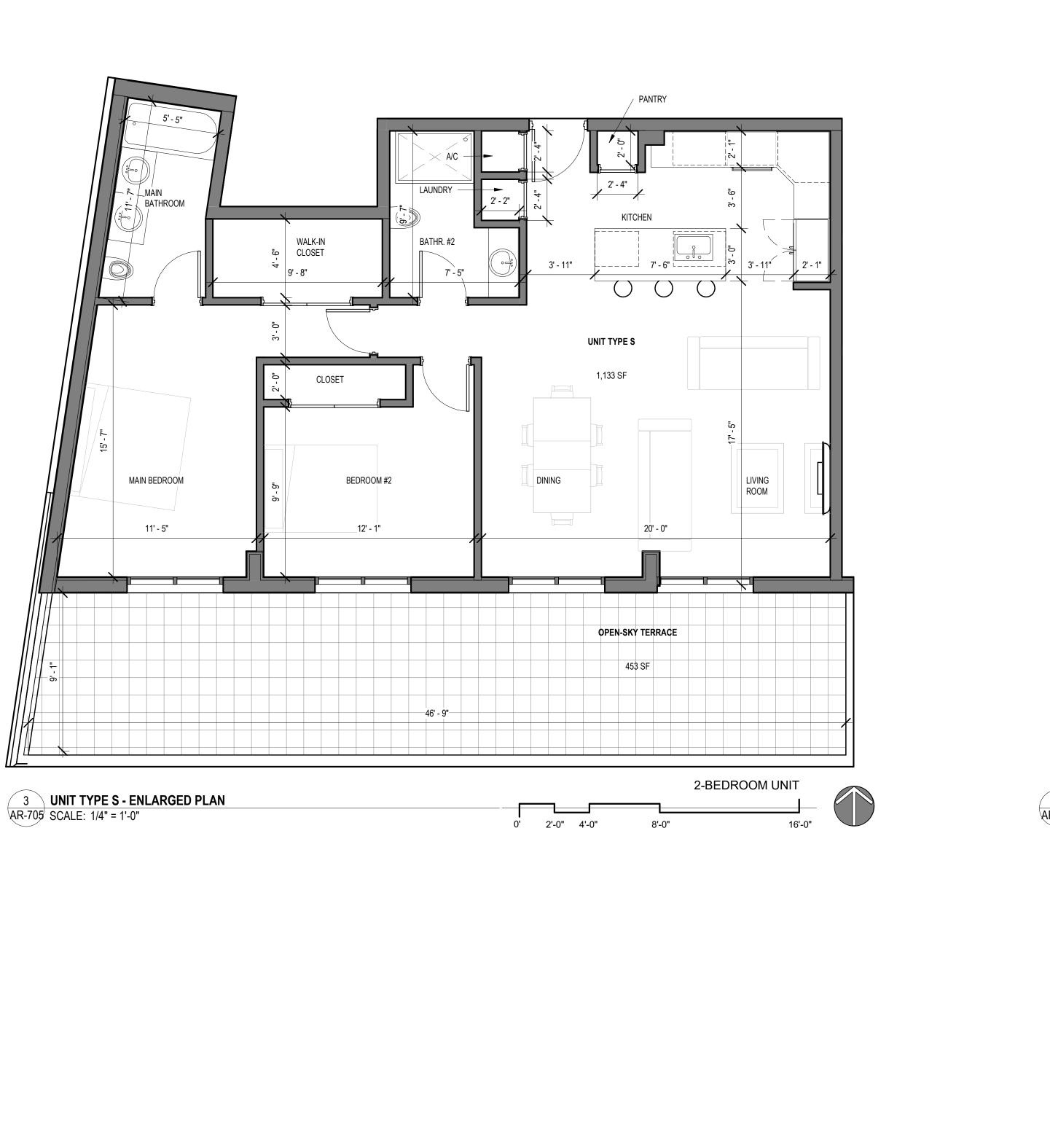
Revisions DATE: DESCRIPTION:

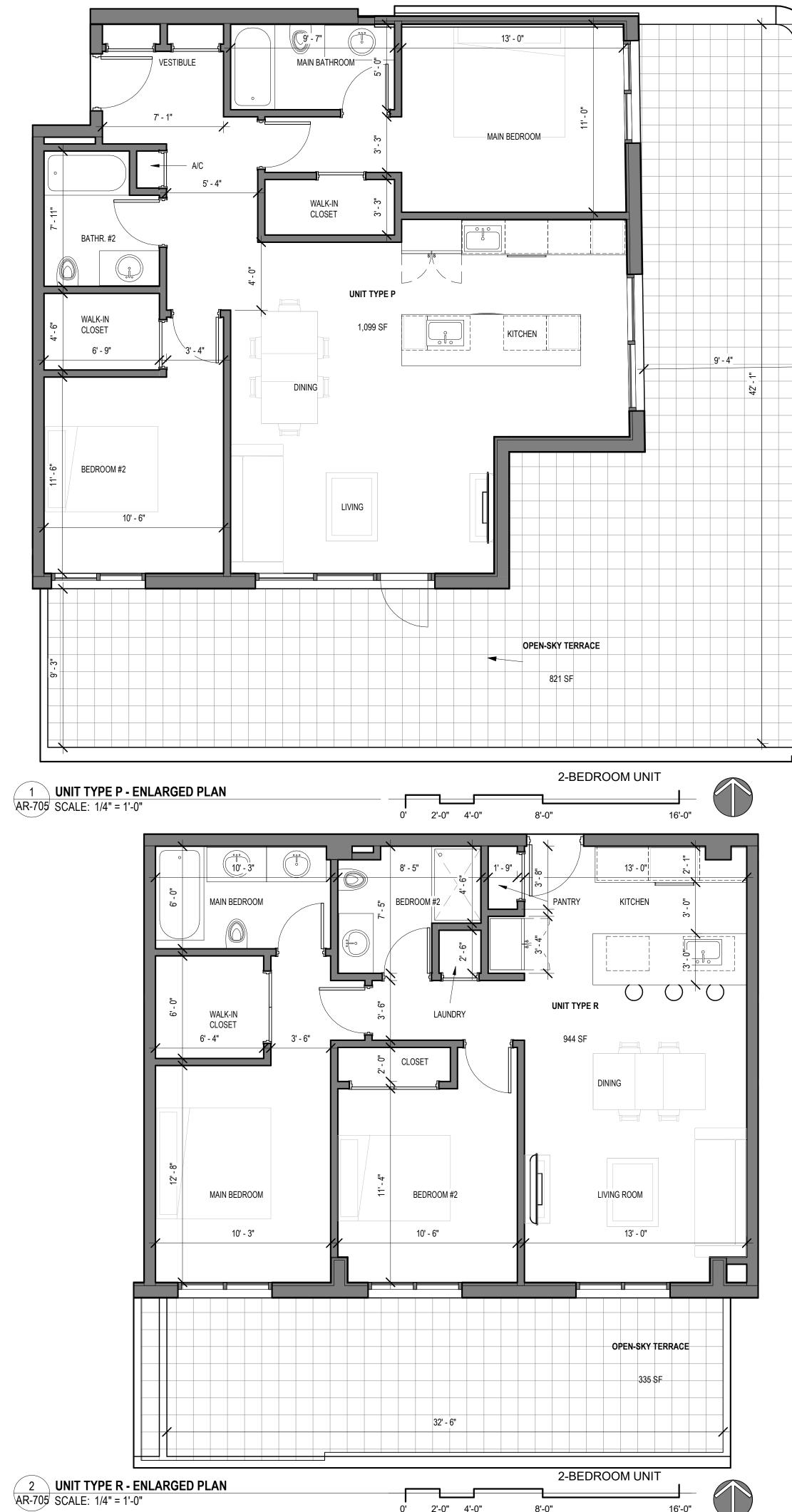
02-18-2024 DATE: DESIGNER: MODELED: M.F ./ F.J.M. CHECKED: 2211652_FL NETTA PROJECT #:

Drawing title

UNIT TYPES

Drawing no.





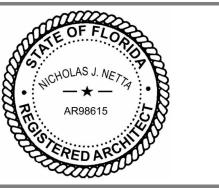
0' 2'-0" 4'-0"

16'-0"



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SITE PLAN REVIEW SET

Submissions

Revisions

DESCRIPTION: TAC 3 REVISION TAC 4 REVISION No: DATE: 3 06-24-2024 4 01-08-2025

> 02-18-2024 DATE: DESIGNER: MODELED: M.F ./ F.J.M. CHECKED:

2211652_FL NETTA PROJECT #:

UNIT TYPES

Drawing title

Drawing no. **AR-705**





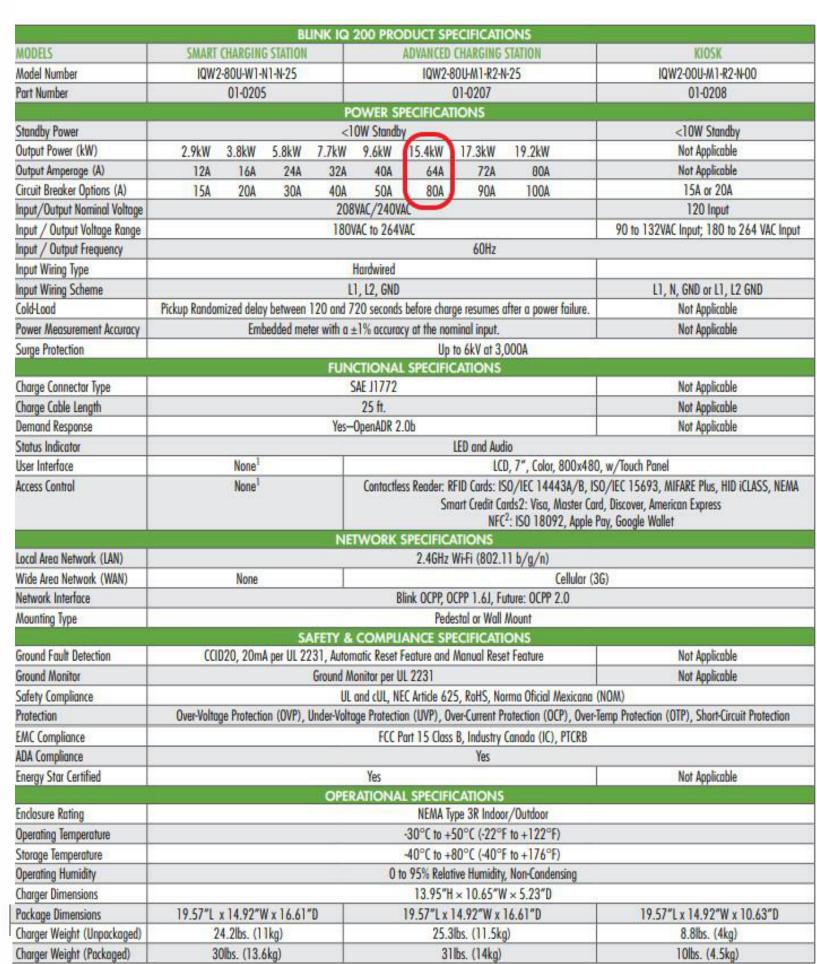
PS500052EN page 1 April 19, 2023 2:12 PM

Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our hitel paper WPS 1300 TEN for additional support information. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. Coastal construction finish salt spry tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. tot available with TH option. Drive current 1200mA not available with color temperatures 722, 727 or 830 when either HA or HSS options are selected. TH option not 3G rated. Not available with Coastal Construction (CC) option. Not available with Voltage options H, 8 or 9. Requires the use of an internal step down transformer when combined with sensor options. Not available in the HA high ambient and sensor options at 1A. Adjustable Slipfitter arm limited to vertical 3" tenon. For mounting to 2-3/8" O.D. tenons, order accessory SRA238. One required for each Light Square. O. 2L is not available with SPB at 347V or 480V. Not available with WaveLinx or Enlighted sensors, or 20kV surge option. Requires PSP. Replace XX with sensor color (WH, BZ or BK.) 3. Reduce SPS. Replace XX with sensor color (WH, BZ or BK.) 3. Reduce SPS. Replace XX with sensor color (BH, BZ or BK.) 3. Reduce SPS. Replace XX with sensor color (BH, BZ or BK.) 3. Reduce SPS. Replace XX with sensor rolor (BH, BZ or BK.) 3. Reduce SPS. Replace XX with sensor rolor (BH, BZ or BK.) 3. Reduce SPS. Replace XX with sensor rolor (WH, BZ or BK.) 3. Reduce SPS. Replace XX with sensor rolor (WH, BZ or BK.) 3. Reduce SPS. Replace XX with sensor rolor (WH, BZ or BK.) 6. Requires PSP. Replace XX with sensor rolor (WH, BZ or BK.) 6. Set of 4 pcs. One set required to retail field configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if each with the set of the proper sensor.	17. Not available with HA option. 18. Not for use with SNO, SNO, SWQ or RW optics. 19. Cannot be used with other control options. 20. Low voltage control lead brought out 18" outside fixture. Not available with DALI or integrated controls options. 21. Not available if any SPB, LWR, or WaveLinx sensor is selected. Motion sensor has an integral photocell. 22. Requires the use of BPC photocountrol or the PR7 or PR photocontrol receptacle with photocontrol accessory. 23. Not for use with T4FT, T4W or SL4 optics. See IES flies for details. 24. Sensor configuration mobile application required for configuration. See controls page for details. 25. Replace X with number of Light Squares controlled by the SPB, referencing the "SPB/X Availability Table" on the controls page for details. 26. Not available with HSS, GRSWH or GRSSK. 27. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC DETERENCES website for more information. 28. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. 29. DuraVolt drivers l'eature added protection from power quality issues such as loss of neutral, transients and voltage fluctuation wax significación for more information. 30. 480V not to be used with ungrounded or impedance grounded systems. 31. Not available in I square configuration at 800mA or below. Not available with any control option except SPB. 32. Cannot be used with PR7 or other motion response control options.

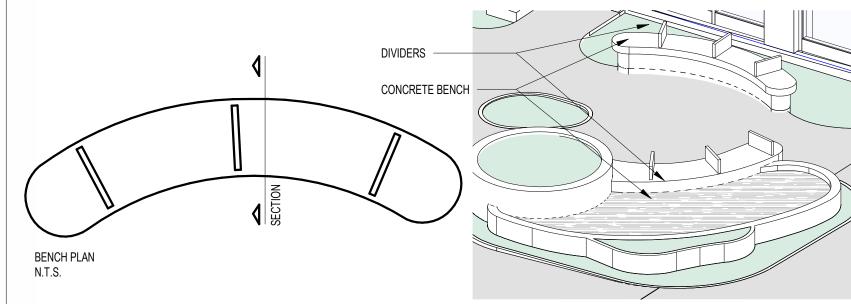
Product Family		Camera Type		Data Backhaul		
L =LumenSafe Technology	LumenSafe Technology	D=Standard Dome Camera H=Hi-Res Dome Camera Z=Remote PTZ Camera	C=Cellular, No SIM A=Cellular, AT&T V=Cellular, Verizon S=Cellular, Sprint	R=Cellular, Rogers W=Wi-Fi Networking w/ Omni-Directional Antenna E=Ethernet Networking		

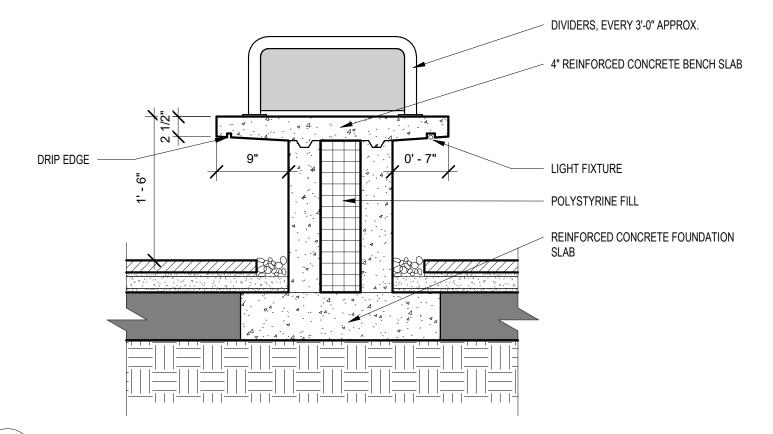
COOPER Lighting Solutions	PS500052EN April 19, 2023 2

8	LIGHTING - S1, S2, S3
AR-800	SCALE: 12" = 1'-0"



ELECTRIC VEHICLE CHARGING STATION - SPECIFICATIONS AR-800 SCALE: 1" = 1'-0"





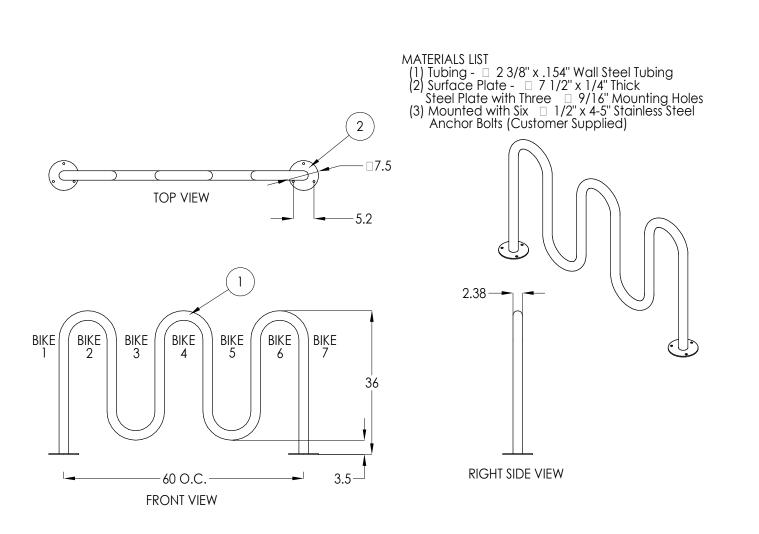
DETAIL - CONCRETE BENCH AR-800 SCALE: 1" = 1'-0"



PEDESTAL-MOUNT STATION OPTION PEDESTAL DIMENSIONS: 56.04"(H) x 13.58"(W) x 4.28"(D)

DUAL PEDESTAL-MOUNT STATION OPTION PEDESTAN DIMENSIONS: 59.00"(W) x 12.50"(W) x 11.19"(D)

3 \ EV SPACE DETAIL AR-800 SCALE: 1/4" = 1'-0"



BICYCLE RACK DETAIL - TYPE I, II AR-800 SCALE: 1/2" = 1'-0"

9' x 18'

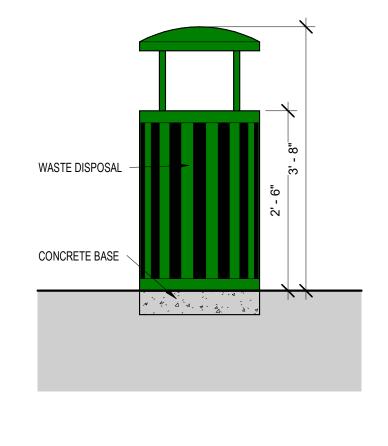
8' x 16'

ACCESSIBLE 12' x 18' PLUS 5' ACCESS AISLE

STANDARD COMPACT

AR-800 SCALE: 3/16" = 1'-0"

4 PARKING SPACE DETAIL



BAG DISPENSER

WASTE DISPOSAL -

CONCRETE BASE

DOG WASTE STATION

AR-800 SCALE: 3/4" = 1'-0"

2 TRASH CAN AR-800 SCALE: 3/4" = 1'-0" - = 4" WHITE STRIPES 5∞ 6' - 0"

PARKING STRIPING SHALL BE 3" WHITE WITH 1" BLACK BORDER

ALL STRIPING WITHIN PUBLIC RIGHT-OF-WAY SHALL BE 6 INCHES.

STALLS. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED.

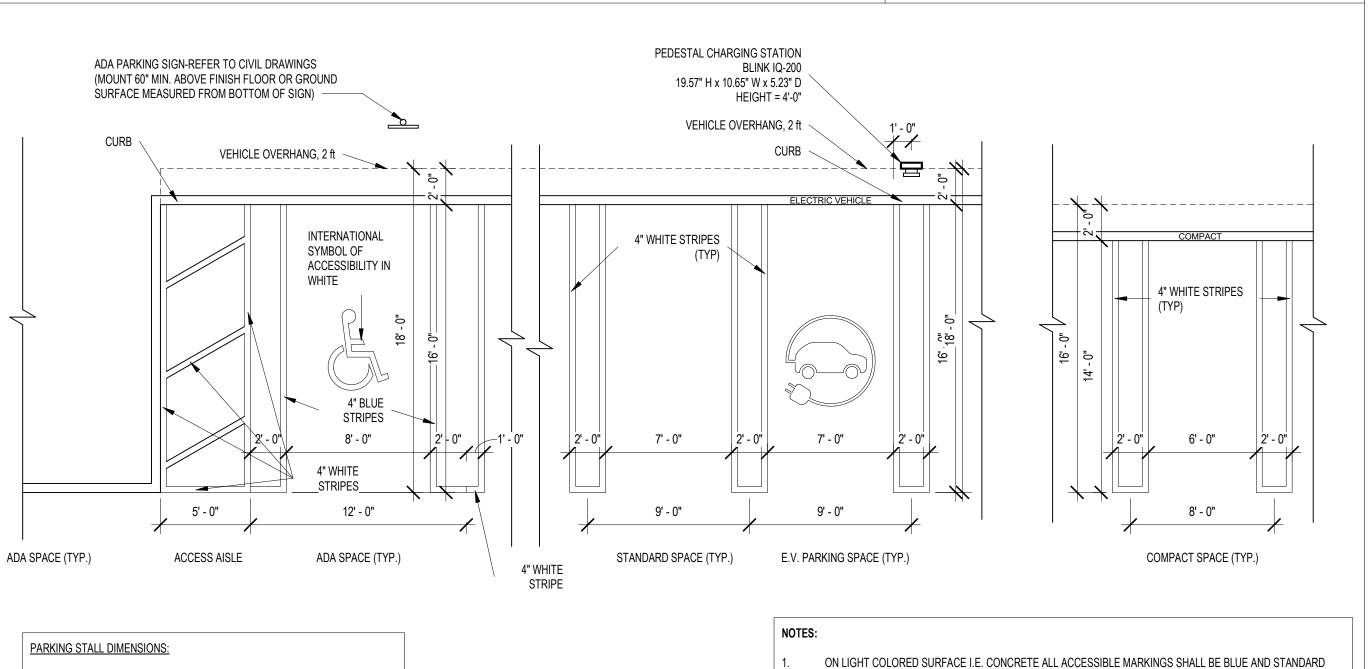
ALL COMPACT SPACES MUST HAVE "COMPACT" STENCILED WITH BLACK PAINT ON WHEEL STOP (CURB)

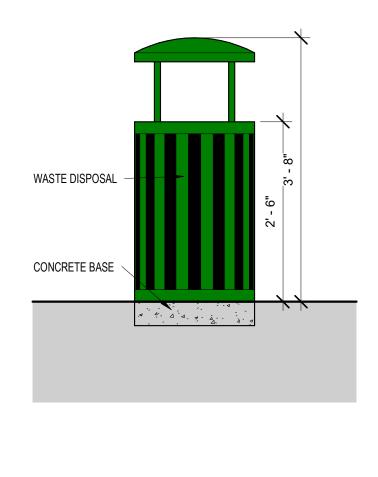
24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC R/W SHALL BE THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R1-1 THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R1-1 CHANGES IN LEVEL ARE NO PERMITTES IN ACCESSIBLE PARKING STALLS AND ACCESS AISLES SERVING THE

BLUE STRIPE & INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WALKWAY ON CONCRETE

ALL MEASUREMENTS ARE FROM CENTER LINE

NETTA PROJECT #:





MAXWELI

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SITE PLAN REVIEW SET

306 NE 2nd STREET, DELRAY BEACH, FL

Submissions

Revisions DATE: DESCRIPTION: 11-21-2023 TAC REVISION 2 05-18-2024 TAC 2 REVISION

> 02-18-2024 DATE: DESIGNER: C.C. MODELED: M.F ./ F.J.M. CHECKED:

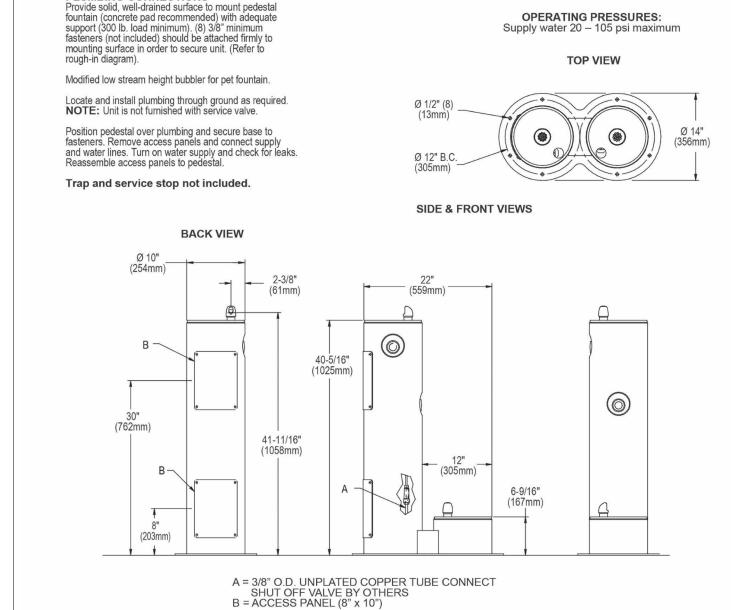
> > Drawing title

2211652_FL

DETAILS

Drawing no.

Elkay Outdoor Pedestal Fountain with Pet Station Non-Filtered Non-Refrigerated Model LK4400DB MOUNTING INSTRUCTIONS and



PLUMBING CONNECTIONS

In keeping with our policy of continuing product improvement, Elkay reserves the right to change product specifications without notice. Please visit elkay.com for the most current version of Elkav product specification sheets. This specification describes an Elkav product with design, quality, and functional benefits to the user. When making a comparison of other producers' offerings, be certain these features are not overlooked.

1-800-260-6640 | SVtechservice@Elkay.com

Patent zurn-elkay.com/patents

ELKAY OUTDOOR FOUNTAIN AND PET FOUNTAIN AR-801 SCALE: 12" = 1'-0'

Elkay REV 06292023

<u>LK4400DB</u>

Ligman LIGHTING USA

ULI-21241 Light Linear PT 8 Single Head Streetlight TECHNOLOGY

ight 52.4 lbs

⊭ 3.5"x6<u>"</u>/

TECHNOLOGY

Type IV

to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.

HYBRID TYPE I & TYPE IV

10w LED 780 - 982 Lumens 1P65 • Suitable For Wet Locations

Wavelength (nm)

LIGHTING - SL-6

AR-801∕ SCALE: 12" = 1'-0"

Narrow-Spectrum Amber LEDs

power no greater than 15 nanometers.

© 2023 Page 3

LK4400DB_spec.pdf

Weight 3.5 lbs

4.3" H



<u>Surge Suppression</u> Standard 10kv surge suppressor provided with all fixtures.

pecially formulated polyurethane powder. This powder vides protection against wear, abrasion, impact and

MAN LIGHTING USA

Public realm contemporary column family. Stylish but technically precise area lighting solutions as part of a large flexible family.

suitable for both modern and classic architecture. Ideal for creating isual guidance with exceptional visual comfort. The dual sealed optical chamber with integrated heat sinks houses a range of field interchangeable optically controlled LED's, providing Type II, III, IV & V distribution, as well as variations of this for precise light distribution iemory Retentive -Silicon Casket

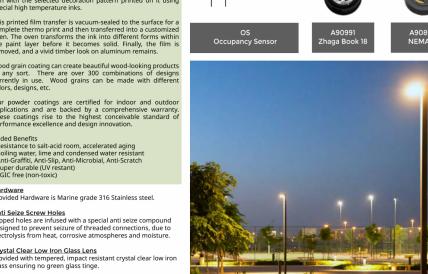
distribution optics inside the same fixture. This product range is available in multiple wattage options and as single & double head styles. Customer specific wattages can be provided, contact the This luminaire complies to Dark Sky requirements. ne sleek and minimalistic shape provides distinctive lighting effects

by night and decorative urban effect during the day. Suitable for use in pedestrian precincts, building surrounds, shopping centers, squares, parks and parking lots. This product range is complemented with high performance optics in the bollard and wall mounted luminaires, to provide a consistent range of design aesthetics for the project. See website for more information. Poles can be provided with GFCI boxes positioned to

specific heights specified by the customer. A flat low profile hand hole Il Ligman products go through an extensive finishing process Internal house side shields are available as an option. UN Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums. Available with a selection of integral electronic drivers and dimming electronic drivers as well as a provision to install wireless lighting ntrols to integrate with building management systems, as well as pole mounted occupancy sensors [contact the factory for more formation] Easy access to the luminaire for maintenance. (WATT-ADJ) This luminaire is provided with a programmable driver so that specific wattage requirements can be achieved. These settings are done at the factory during assembly. (See options on page 2)

> be selected and luminaire fix mounted (+/- 15° allowable to permit leveling). itional Options (Consult Factory For Pricing) [19"]

To meet International Dark Sky criteria, 3000k or warmer LEDs must

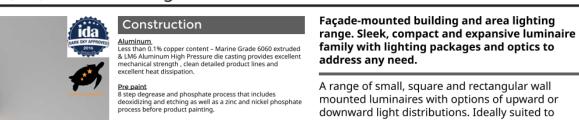


oiling water, lime and condensed water resistant ati-Graffiti, Anti-Slip, Anti-Microbial, Anti-Scratch Type V <u>Hardware</u> Provided Hardware is Marine grade 316 Stainless steel. The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.



LIGHTING - SL-5 AR-801/ SCALE: 12" = 1'-0"

Gino 4 Type I, II, III, IV & V Downlight

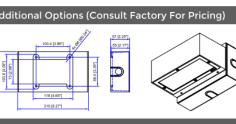


C. This process ensures that Ligman products can tand harsh environments. Rated for use in natatoriums.

address any need. A range of small, square and rectangular wall rgrease and phosphate process that includes and phosphate mounted luminaires with options of upward or downward light distributions. Ideally suited to Memory Retentive -Silicon Gasket illuminate the wall and surfaces in front of wall and Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression. for light accents on vertical surfaces using high efficiency LED's. The Gino is suitable for indoor and outdoor applications and provides a clean, visually appealing solution for small, unobtrusive wall mounted luminaires.

it thermal dissipation properties in low and high ambient operatures. The superior thermal heat sink design by man used in conjunction with the driver, controls therma This luminaire is available in 2 different sizes and in combinations of down, up or up/down light distributions. The Gino 1 and Gino 2 have a Surge Suppression
Standard 10ky surge suppressor provided with all fixtures. decorative spike option for added lighting effects. The Gino 1 and 2 mounts over a 3" octagonal junction box, a 4" j-box cover plate is available upon request. Frosted or clear lenses are available.

To meet International Dark Sky criteria, 3000k or Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 warmer LEDs must be selected and luminaire fix mounted (+/- 15° allowable to permit leveling).





Memory Retentive -Silicon Gasket
Provided with special injection molded "fit for purpose" long Thermal management LM6 Aluminum is used for its excellent mechanical strength I thermal dissipation properties in low and high ambien peratures. The superior thermal heat sink design by man used in conjunction with the driver, controls therma 6w LED 310 - 444 Lumens

Gino 2 Type I, II, III, IV & V Downlight

UGI-31621

Weight 2.2 lbs

4" -

⊕

--3.4"---

LIGHTING - SL-3

Branner 24" 1 Light Outdoor Wall Light in Black

AR-801 SCALE: 12" = 1'-0"

BUG Rating B0 - U0 - G0 •

Ligman products go through an extensive finishing process UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums. This patented technology enables the simulation of wood grain, and even marble or granite finish through the use of decorative powder coating.

The wood grain finish is so realistic that it's almost undistinguishable from real wood, even from a close visual inspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be removed by normal withing chinning, or creating cannot be The component is then wrapped with a sheet of non-porous film with the selected decoration pattern printed on it using special high temperature inks. wood grain coating can create beautiful wood-looking products of any sort. There are over 300 combinations of designs currently in use. Wood grains can be made with different colors, designs, etc. Our powder coatings are certified for indoor and outdoo applications and are backed by a comprehensive warrant. These coatings rise to the highest conceivable standard of

Added Benefits

Resistance to salt-acid room, accelerated aging

Boiling water, lime and condensed water resistant

Anti-Graffiti, Anti-Slip, Anti-Microbial, Anti-Scratch

Super durable (UV restant)

TGIC free (non-toxic) <u>Hardware</u> Provided Hardware is Marine grade 316 Stainless steel. <u>Anti Seize Screw Holes</u> Tapped holes are infused with a special anti seize compound recise optic design provides exceptional light control and

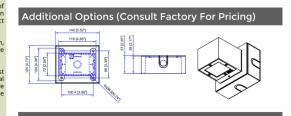
LiGMAN UTA-80551 **LIGHTING USA** Tango 33 Cylindrical Ceiling Downlight

Façade-mounted building and area lighting range. Sleek, compact and expansive luminaire family with lighting packages and optics to address any need.

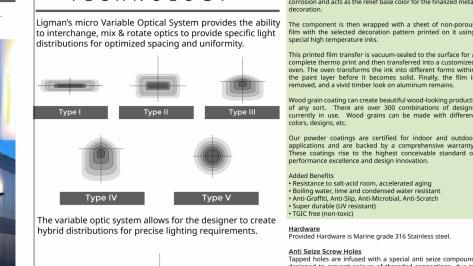
A range of small, square and rectangular wall mounted luminaires with options of upward or downward light distributions. Ideally suited to illuminate the wall and surfaces in front of wall and for light accents on vertical surfaces using high efficiency LED's. The Gino is suitable for indoor and outdoor applications and provides a clean, visually appealing solution for small, unobtrusive wall mounted luminaires.

This luminaire is available in 2 different sizes and in combinations of down, up or up/down light distributions. The Gino 1 and Gino 2 have a decorative spike option for added lighting effects. The Gino 1 and 2 mounts over a 3" octagonal junction box, a 4" j-box cover plate is available upon request. Frosted or clear lenses are available.

To meet International Dark Sky criteria, 3000k or warmer LEDs must be selected and luminaire fix mounted (+/- 15° allowable to permit leveling).



TECHNOLOGY



eight 8.1 lbs

7.3"—

→ 7" **→**

--6.4"**--**

Crystal Clear Low Iron Class Lens Provided with tempered, impact resis glass ensuring no green glass tinge. Optics & LED
Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80 Lumen - Maintenance Life eans that at least 90% of the

LED still achieve 80% of their original flux)

gaskets exact profile and seal over years of use and and IV. Color temperature 2700K, 3000K, 3500K and

s Aluminum is used for its excellent mechanical strength and rmal dissipation properties in low and high ambient

<u>Surge Suppression</u> Standard 10kv surge suppressor provided with all fixtures.

NETTA ARCHITECTS

621 NW 53rd Street, Suite 270

Boca Raton, Florida 33487

(o) 561-295-4500

www.nettaarchitects.com

CERTIFICATE OF AUTHENTICATION M18000001650

CHOLAS J. NETX

AR98615

NICHOLAS J. NETTA, AIA, NCARB

FL REGISTRATION No. AR98615

FRANCISCO J. MELENDEZ, SR., AIA

FL REGISTRATION No. AR101881

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FRANCISCO J. MELENDEZ SR. ARCHITECT

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MAXM

DELRAY

STREE EACH,

2nd BE

岁

SITE PLAN REVIEW SET

Submissions

Revisions

DESCRIPTION:

TAC REVISION

02-18-2024

M.F ./ F.J.M.

2211652_FL

C.C

DATE:

11-21-2023

DATE:

DESIGNER:

MODELED:

CHECKED:

TECHNOLOGY LIGHTING USA Circular or square form technical surface-ceiling

downlight range. Completely tailorable ceiling-mount-Aluminum
Less than 0.1% copper content - Marine Grade 6060 extruded &
LMG Aluminum High Pressure die casting provides excellent
mechanical strength , clean detailed product lines and excellent ed optical lighting solutions for perfect task or A range of round and square surface mounted exterior downlight luminaires. The luminaires are suitable for deoxidizing and etching as well as a zinc and nickel phosphate process before product painting. shopping and public areas as surface ceiling downlights. Memory Retentive - Silicon Casket

Provided with special injection molded "fit for purpose" long life available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type III, III, available in asymmetrical light distribution for Type III, III, available in asymmetrical light distribution for Type III, III, available in asymmetrical light distribution for Type III, III, available in asymmetrical light distribution for Type III, III, available in asymmetrical light distribution for Type III, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, III, available in asymmetrical light distribution for Type II, available in asymmetrical light distribution for Type II, available in asymmetrical light distribution for Type II,

4000K, LED CRI >80 and life time 50,000 Hours.

Marine grade low copper content die-cast aluminum housing with nickel and zinc phosphate protection before in conjunction with the driver, controls thermals below the protection before and the protection before in conjunction with the driver, controls thermals below the protection before and the protection before provided in the provi powder coating, ensuring high corrosion resistance. critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours. tight cable gland. Durable memory retentive silicone rubber gasket and clear tempered glass.

Ceiling surface installation. A80281 Mounting ring for semi recessed installation as accessory. A matching SCE surface conduit entry box option can be provided as an option for an attractive solution to surface conduit power supply.

All Ligman fixtures can be manufactured using a special pre-treatment and coating process that ensures the fixture can be installed in natatoriums as well as environments with high concentrations of chlorine or salt and still maintain the 5 year warranty. For this natatorium rated process please specify NAT in options.

To meet International Dark Sky criteria, 3000k or warmer The wood grain finish is so realistic that it's almost undistinguishable from real wood, even from a close visual inspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be

NOTE: This fixture is not suitable for mounting in environments where water can freely access the top of the fixture. (perforated mesh exposed to the elements) See Odessa ceiling mount for this type of mounting.

YOF FLAGSTAFF & TURTLE FRIENDLY COMPLIAN - 19

Narrow-Spectrum Amber LEDs Peak wavelength between 585 & 595 nanometers and a full width of 50% power no greater than 15 nanometers.

LIGHTING - SL-1 AR-801 SCALE: 12" = 1'-0"



3.1" 7.8"

5.5"



MAN



architectural design with no visible hardware, at

meeting Dark Sky requirements, utilizing MicroVos Technology to get maximum spacing 46 Aluminum High Pressure die casting provides excellent and excellent uniformity. nanical strength , clean detailed product lines and exceller Small, medium and large size LED bollards incorporates optional symmetrical and asymmetrical light distributions, in a variety of different heights. Clean

emory Retentive -Silicon Gasket

smory Retentive -silicon Gasakes with the top of the luminaire are the further characteristics of this bollard. Ideal for lighting pathways, entrances, square, and terraces. mo Audithinum's used for its excellent mechanical strength and hermal dissipation properties in low and high ambient emperatures. The superior thermal heat sink design by Ligman ised in conjunction with the driver, controls thermals below Color temperature from 2700K, 3000K, 3500K and 4000K, LED CRI >80. Aluminum housing and , as well as providing long LED service life and ensuring an 10% lumen depreciation at 50,000 hours. extruded aluminium column with high corrosion resistance. Stainless steel fasteners in grade 316. Surge Suppression
Standard 10kv surge suppressor provided with all fixtures. Durable silicone rubber gasket and clear tough-

ened glass. Powder coating with high corrosion resistance and chemical chromatized protection.

Boiling water, lime and condensed water resistant Anti-Graffiti, Anti-Slip, Anti-Microbial, Anti-Scratch

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound

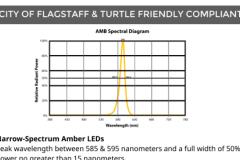
<u>Crystal Clear Low Iron Glass Lens</u> Provided with tempered, impact resistant crystal clear low iron

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the
LED still achieve 80% of their original flux)

Einishing.
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

To meet International Dark Sky criteria, 3000k or warmer LEDs must be selected. Deg C. This process ensures that Ligman products ca





NETTA PROJECT #:

Drawing title

DETAILS

Drawing no.

AR-801

SPECIFICATIONS Certifications/Qualifications www.kichler.com/warranty Base Backplate 7.00" x 6.50" Extension 10.50 LBS Weight Height from center of Wall opening 4.25* (Spec Sheet) 24.00" 8.50" Electrical 120.00V Input Voltage Light Source Dimmable Dimmable Notes Dimmable when used with dimmer switch (sold separately); when using LED bulbs, see bulb manufacturer dimming specifications. Lamp Included Not Included Lamp Type Light Source Incandescent Max or Nominal Watt 60.00 # of Bulbs/LED Modules Socket Type E26 (Medium) Mounting/Installation ALSO IN THIS FAMILY Connector Interior/Exterior EXTERIOR Lead Wire Length Location Rating 10.50 LBS Mounting Weight Wire Connectors Wire Nuts FIXTURE ATTRIBUTES 59112OZ 59111BKT 59112BKT Housing Diffuser Description Primary Material Aluminum Product/Ordering Information SKU 59113BK Textured Black Style Traditional 59113OZ 59115BKT 59115OZ 783927040433 Finish Options

KICHLER.

MAN

LIGHTING USA

<u>Crystal Clear Low Iron Glass Lens</u> Provided with tempered, impact resis glass ensuring no green glass tinge. Optics & LED
Precise optic design provides exceptional light control and
precise distribution of light.
LED CRI > 80

electrolysis from heat, corrosive atmospheres and moisture

4 LIGHTING - SL-4 AR-801 SCALE: 12" = 1'-0"

Olde Bronze Textured Black

Type IV Type V The variable optic system allows for the designer to create

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

TECHNOLOGY

distributions for optimized spacing and uniformity.

3.1"

LIGHTING - SL-2 AR-801 SCALE: 12" = 1'-0'

Peak wavelength between 585 & 595 nanometers and a full width of 50%

Ligman's micro Variable Optical System provides the ability

Special high temperature inks. to interchange, mix & rotate optics to provide specific light

This printed film transfer is vacuum-sealed to the surface for











NORTH-EAST CORNER, DAYLIGHT



621 NW 53rd Street, Suite 270
Boca Raton, Florida 33487
(o) 561-295-4500
www.nettaarchitects.com
CERTIFICATE OF AUTHENTICATION M18000001650

NICHOLAS J. NETTA, AIA, NCARB FL REGISTRATION No. AR98615 FRANCISCO J. MELENDEZ, SR., AIA FL REGISTRATION No. AR101881

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306 NE 2nd STREET, DELRAY BEACH, FL

SITE PLAN REVIEW SET

1 11-21-2023 2 05-18-2024 4 01-08-2025 TAC 2 REVISION TAC 4 REVISION

> 02-18-2024 M.F ./ F.J.M. 2211652_FL

NETTA PROJECT #:

RENDERS

Drawing title

Drawing no.

AR-900

SOUTH-EAST CORNER, NIGHT VIEW