

354 NE 5TH AVE

354 SE 5th Avenue
Delray Beach, FL 33483



SILBERSTEIN ARCHITECTURE:

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- S-1.0 Survey
- A-1.0 Overall Site Plans
- A-1.1 Site Plan
- A-1.2 Roof Plan
- A-1.3 / A-1.4 Floor Plans
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- A-3.1 West Elevations
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- A-3.3 Window Covering Diagram
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CAUFIELD & WHEELER, INC. (CIVIL):

- CS Cover Sheet
- PP-1 Pollution Prevention Plan
- PD-1 General Notes Plan
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- PD-2A Drainage Plan
- PD-3 Pavement, Marking & Signage Plan
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- PD-5 Paving & Grading & Drainage Details
- PD-6 Paving & Grading & Drainage Details
- WS-1 Water Distribution, Sanitary Sewer and Utility Plan
- WS2 Water Distribution, & Sanitary Sewer Details
- WS3 Water Distribution, & Sanitary Sewer Details
- WS4 Compose Utility Plan

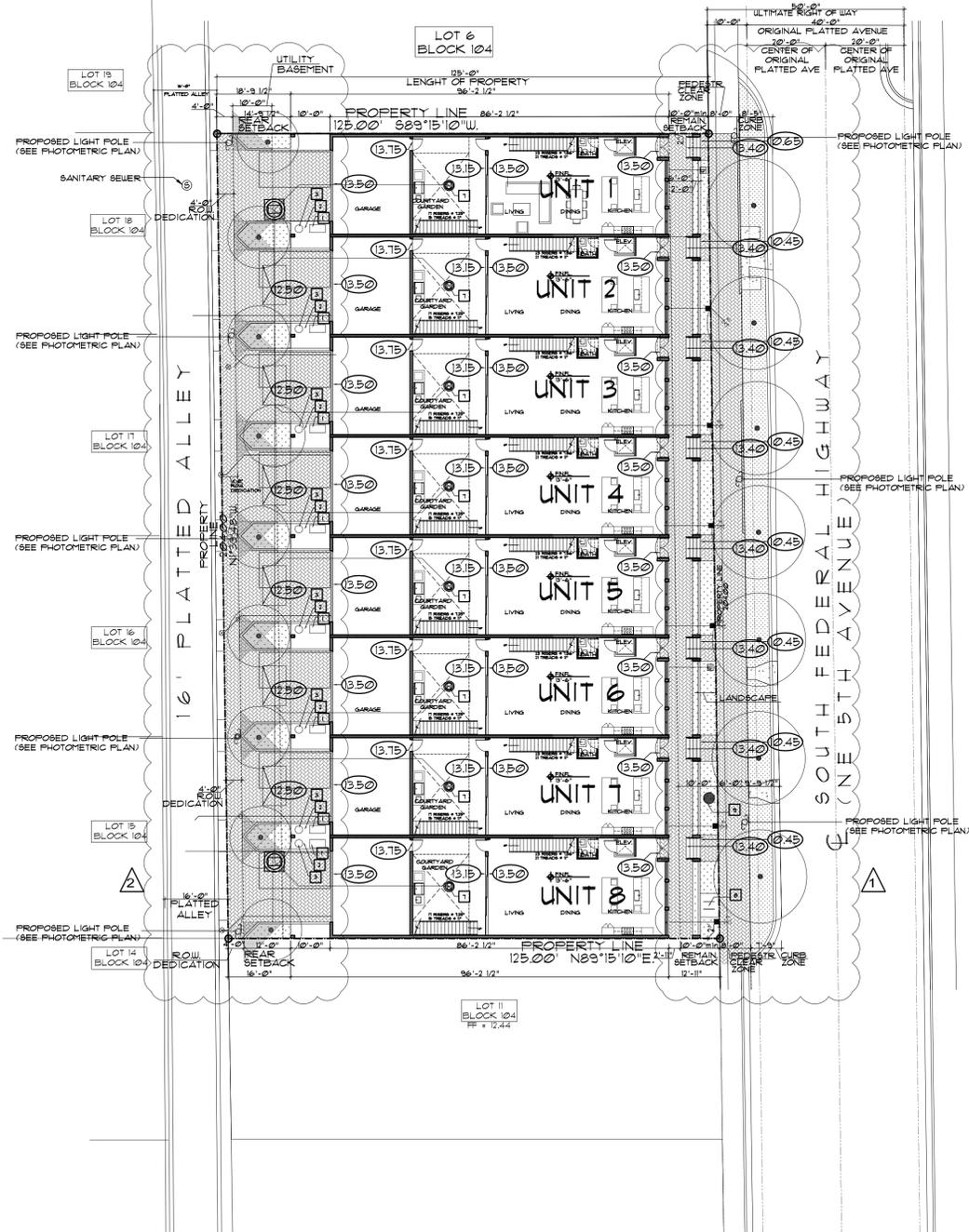
CHRIS CABEZAS (LANDSCAPE):

- LP-1 Tree Disposition Plan
- LP-2 Landscape Plan & Schedules
- LP-3 Landscape Details & Specifications



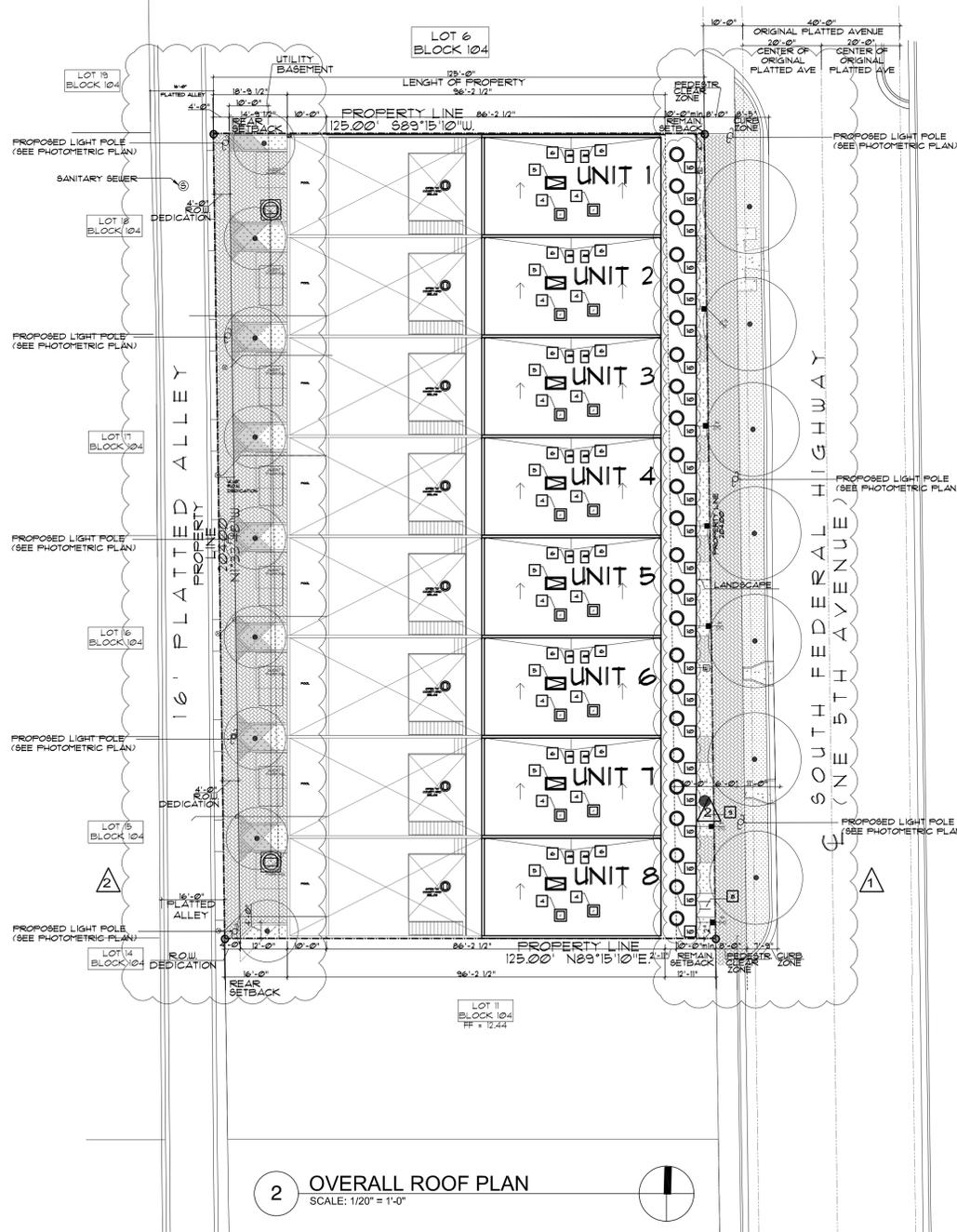
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PERMIT SET	
REVISIONS	
1.	TAC COMMENTS 6.2.22
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1 OVERALL SITE PLAN
SCALE: 1/20" = 1'-0"

NOTE
SEE A1.1 AND A1.2 FOR LARGER SCALE



2 OVERALL ROOF PLAN
SCALE: 1/20" = 1'-0"

LEGEND	
DESCRIPTION	
1 FUTURE 2'X4' GENERATOR	6 ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.
2 CONCRETE SLAB	7 DRAIN
3 POOL EQUIPMENT	8 BICYCLE RACK FOR 2 ON CONCRETE PAD
4 SKYLIGHT WITH 6" CURB	9 LOCATION OF SCULPTURE
5 ROOF HATCH	10 3'0 SKYLIGHT WITH 4" CURB



3 VICINITY MAP
SCALE: N.T.S.

SITE INFORMATION		
ADDRESS: 353 SE 5TH AVE, DELRAY BEACH, FL		
LEGAL DESCRIPTION: LOTS 1 & 2, BLOCK 104, OSCEOLA PARK, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 3, PAGE 2, RECORDED IN THE PUBLIC RECORD OF PALM BEACH COUNTY, FLORIDA SAID LAND SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA.		
PROJECT DESCRIPTION: NEW MULTI-FAMILY RESIDENTIAL		
CURRENT PROPERTY USE: MULTI-FAMILY RESIDENTIAL		
ZONING DISTRICT: CBD - CENTRAL BUSINESS DISTRICT 30 DU/AC MAX		
SETBACKS	REQUIRED	PROVIDED
NORTH WEST-ALLEY	0'-0"	0'-2"
SOUTH	0'-0"	14'-9" (2'-0" - 12'-0")
EAST-NE 5TH AVE	0'-0"	0'-2"
		10'-0" - 12'-11"
DWELLING UNITS	30 DU/ACRE MAX	8/0.29 = 27.58 DU/AC
BUILDING HEIGHT:	REQUIRED	PROVIDED
TOP OF ROOF	54'-0" MAX	39'-6" A.F.F.
SITE AREA CALCULATION		
TOTAL SITE AREA		24,684 S.F.
BUILDING FOOTPRINT		19,352 S.F. 77.12%
CIVIC SPACE:	REQUIRED	PROVIDED
	4,684 X 5%	234 S.F.
BUILDING AREA PER UNIT: 8 UNITS TOTAL		
FIRST FLOOR A/C		1162 S.F.
SECOND FLOOR A/C		1175 S.F.
THIRD FLOOR A/C		1175 S.F.
TOTAL A/C PER UNIT		3,512 S.F.
TOTAL A/C ALL UNITS		28,096 S.F.
COURTYARD PER UNIT		487 S.F.
GARAGE PER UNIT		523 S.F.
TOTAL GROSS AREA PER UNIT		4,522 S.F.
TOTAL GROSS ALL UNITS		36,176 S.F.
REDUCTION OF URBAN HEAT ISLAND		
TOTAL IMPERVIOUS PARKING 996 S.F. SHALL BE GRADE CONCRETE THAT HAS A 0.35 REFLECTANCE VALUE		
PARKING REQUIREMENTS		
	REQUIRED	PROVIDED
(B) 3 BEDROOM UNITS	1.75 PER UNIT=14	16 IN GARAGE
GUEST SPACES	0.5 PER UNIT=4	8 IN DRIVEWAY
TOWNHOUSES SHALL BE FEE SIMPLE.		
BIKE REQUIREMENTS		
	REQUIRED	PROVIDED
	1 PER 4 UNITS	2

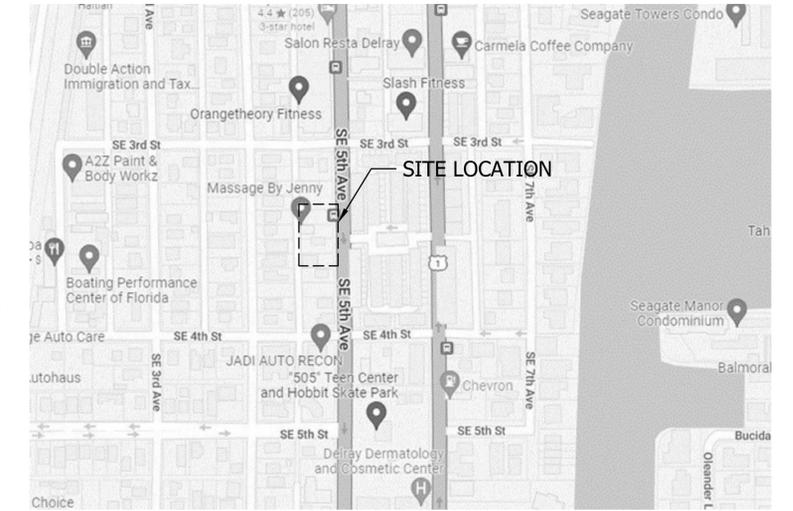
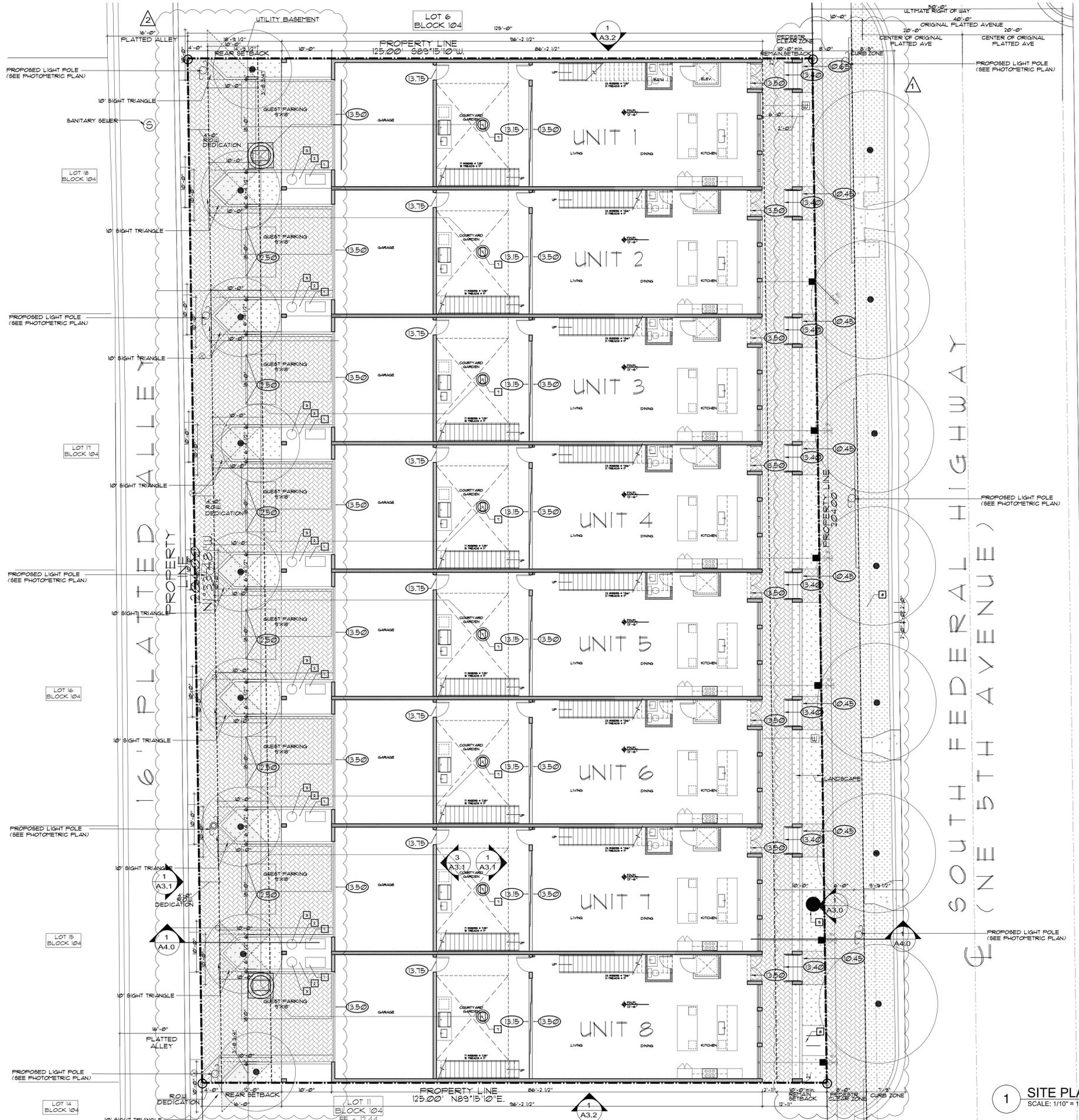
WAIVERS	
DESCRIPTION	
LANDSCAPE WAIVER FOR THE 5' LANDSCAPE STRIP BETWEEN VEHICULAR USE AREA AND ADJACENT SIDE PROPERTY LINES.	
WAIVER FOR THE REQUIRED CIVIC OPEN SPACE.	
WAIVER FOR THE REQUIRED 5' SETBACK FROM EDGE OF WALL FOR ROOFTOP TERRACE POOLS.	
WAIVER FOR THE FACADE PROPORTIONS (NOT TO EXCEED 3 TO 1 OR 1 TO 3) PER CBD REGULATIONS.	



SILBERSTEIN ARCHITECTURE
 524 NE 2ND STREET DELRAY BEACH FL 33483
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 js@silbersteinarchitect.com or studio@silbersteinarchitect.com

354 SE 5TH AVE
 DELRAY BEACH, FL 33483

PERMIT SET	REVISIONS
1	TAC COMMENTS 6.2.22
2	TAC COMMENTS 8.1.22
3	TAC COMMENTS 9.21.22
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3 VICINITY MAP
SCALE: N.T.S.

SITE INFORMATION

ADDRESS: 959 SE 5TH AVE, DELRAY BEACH, FL
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 CURRENT PROPERTY USE: MULTI-FAMILY RESIDENTIAL
 ZONING DISTRICT: CBD - CENTRAL BUSINESS DISTRICT 30 DU/AC MAX

SETBACKS	REQUIRED	PROVIDED
NORTH	0'-0"	0'-2"
WEST-ALLEY	10'-0"	14'-4" (2'-12'-0")
SOUTH	0'-0"	0'-2"
EAST-NE 5TH AVE	10'-0"	10'-0" - 12'-11"

DWELLING UNITS	30 DU/ACRE MAX	8/0.291 = 27.58 DU/AC
BUILDING HEIGHT:	REQUIRED	PROVIDED
TOP OF ROOF	54'-0" MAX	39'-6" A.F.F.

SITE AREA CALCULATION

TOTAL SITE AREA	24,684 S.F.
BUILDING FOOTPRINT	1,952 S.F. 77.12%
CIVIC SPACE:	REQUIRED PROVIDED
	4,684 X 5% 234 S.F.

BUILDING AREA PER UNIT: 5 UNITS TOTAL	
FIRST FLOOR A/C	1162 S.F.
SECOND FLOOR A/C	1175 S.F.
THIRD FLOOR A/C	1175 S.F.
TOTAL A/C PER UNIT	3,512 S.F.
TOTAL A/C ALL UNITS	28,096 S.F.
COURTYARD PER UNIT	487 S.F.
GARAGE PER UNIT	523 S.F.
TOTAL GROSS AREA PER UNIT	4,522 S.F.
TOTAL GROSS ALL UNITS	36,176 S.F.

REDUCTION OF URBAN HEAT ISLAND

TOTAL IMPERVIOUS PARKING 996 S.F. SHALL BE GRADE CONCRETE THAT HAS A 0.35 REFLECTANCE VALUE

PARKING REQUIREMENTS		
	REQUIRED	PROVIDED
(B) 3 BEDROOM UNITS	1.75 PER UNIT=14	16 IN GARAGE
GUEST SPACES	0.5 PER UNIT=4	8 IN DRIVEWAY

TOYHOUSES SHALL BE FEE SIMPLE.

BIKE REQUIREMENTS		
	REQUIRED	PROVIDED
	1 PER 4 UNITS	2

LEGEND

DESCRIPTION
1 FUTURE 2'X4' GENERATOR
2 CONCRETE SLAB
3 POOL EQUIPMENT
4 SKYLIGHT WITH 6" CURB
5 ROOF HATCH
6 ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.
7 DRAIN
8 BICYCLE RACK FOR 2 ON CONCRETE PAD
9 LOCATION OF SCULPTURE
10 3'0" SKYLIGHT WITH 4" CURB

GENERAL NOTES:

- DO NOT SCALE DRAWING
- ALL DIMENSIONS ARE FINISHED
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING IF THERE ARE ANY DISCREPANCIES IN THE PLANS
- THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL ASPECTS OF THE PROJECT SEE A-13 FOR ROOF DETAILS AND ROOFING SPECIFICATIONS

WAIVERS

- DESCRIPTION
- LANDSCAPE WAIVER FOR THE 5' LANDSCAPE STRIP BETWEEN VEHICULAR USE AREA AND ADJACENT SIDE PROPERTY LINES.
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1 SITE PLAN
SCALE: 1/10" = 1'-0"

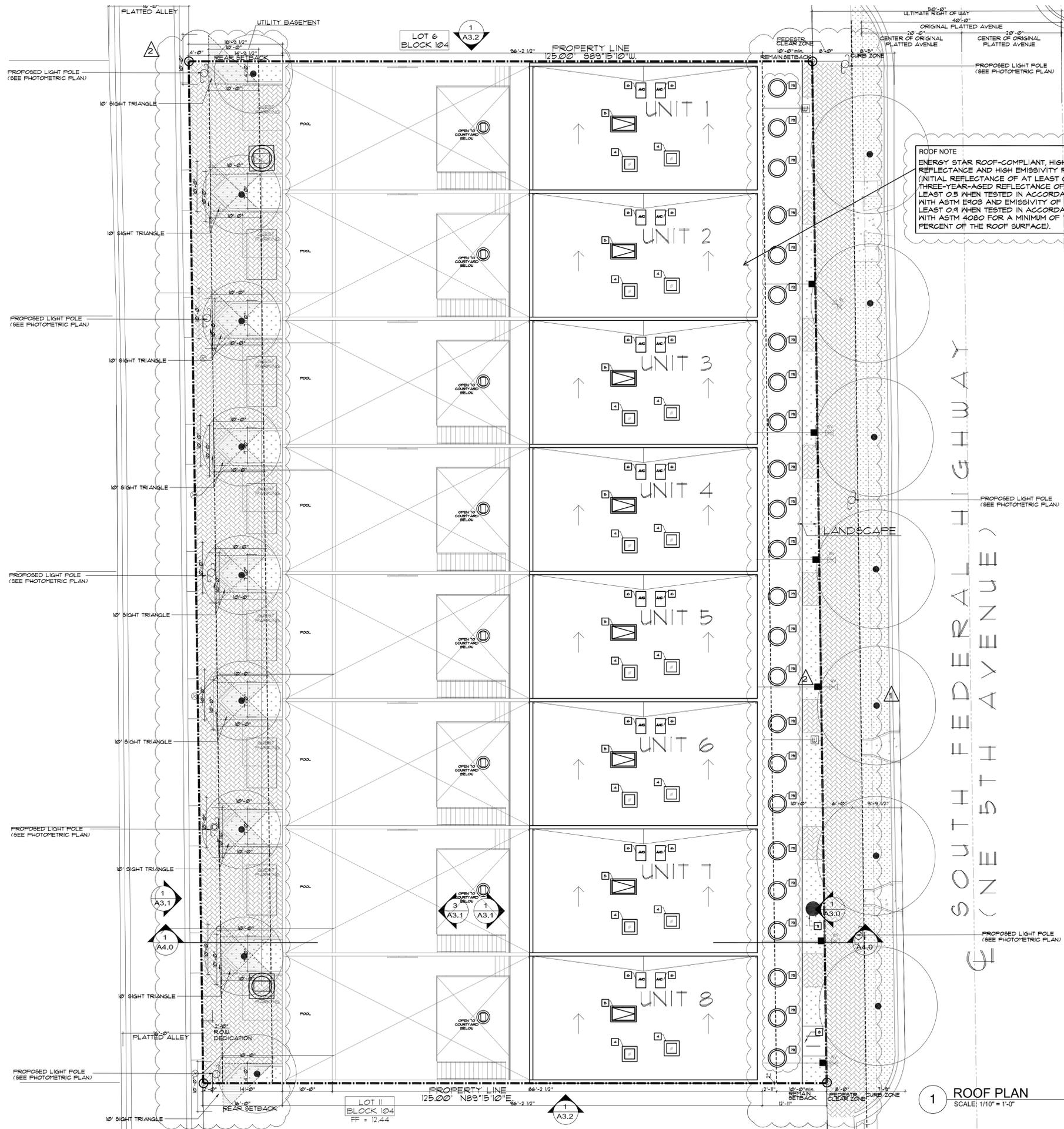


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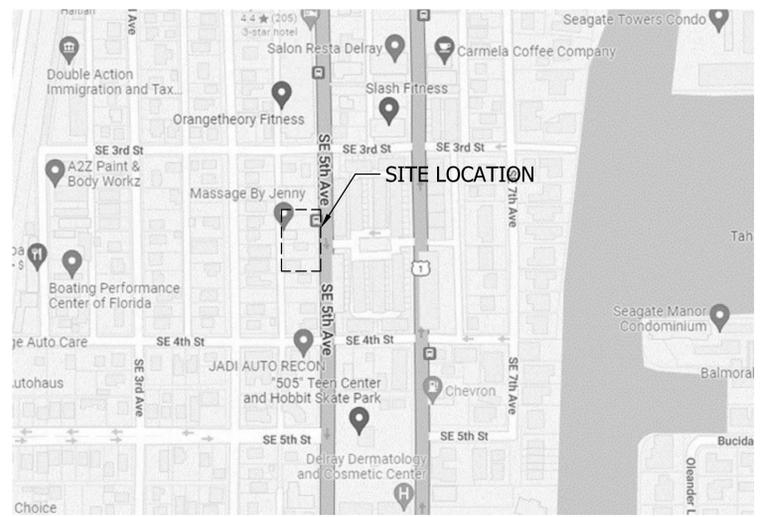
A-1.1
 PRINT DATE:
 SEPTEMBER 21, 2022



ROOF NOTE
 ENERGY STAR ROOF-COMPLIANT, HIGH REFLECTANCE AND HIGH EMISSIVITY ROOFING (INITIAL REFLECTANCE OF AT LEAST 0.65 AND THREE-YEAR-AGED REFLECTANCE OF AT LEAST 0.5 WHEN TESTED IN ACCORDANCE WITH ASTM E83 AND EMISSIVITY OF AT LEAST 0.9 WHEN TESTED IN ACCORDANCE WITH ASTM 4080 FOR A MINIMUM OF 75 PERCENT OF THE ROOF SURFACE).

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TOTAL GROSS AREA PER UNIT	4,522 S.F.	
TOTAL GROSS ALL UNITS	36,176 S.F.	
REDUCTION OF URBAN HEAT ISLAND		
TOTAL IMPERVIOUS PARKING 996 S.F. SHALL BE GRADE CONCRETE THAT HAS A 0.35 REFLECTANCE VALUE		
PARKING REQUIREMENTS		
	REQUIRED	PROVIDED
(b) 3 BEDROOM UNITS	1.75 PER UNIT=14	16 IN GARAGE
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TOWNHOUSES SHALL BE FEE SIMPLE.		
BIKE REQUIREMENTS		
	REQUIRED	PROVIDED
	1 PER 4 UNITS	2

LEGEND

DESCRIPTION	
1 FUTURE 2'X4' GENERATOR	
2 CONCRETE SLAB	
3 POOL EQUIPMENT	
4 SKYLIGHT WITH 6" CURB	
5 ROOF HATCH	
6 ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.	
7 DRAIN	
8 BICYCLE RACK FOR 2 ON CONCRETE PAD	
9 LOCATION OF SCULPTURE	
10 3'0" SKYLIGHT WITH 4" CURB	

1 ROOF PLAN
 SCALE: 1/10" = 1'-0"



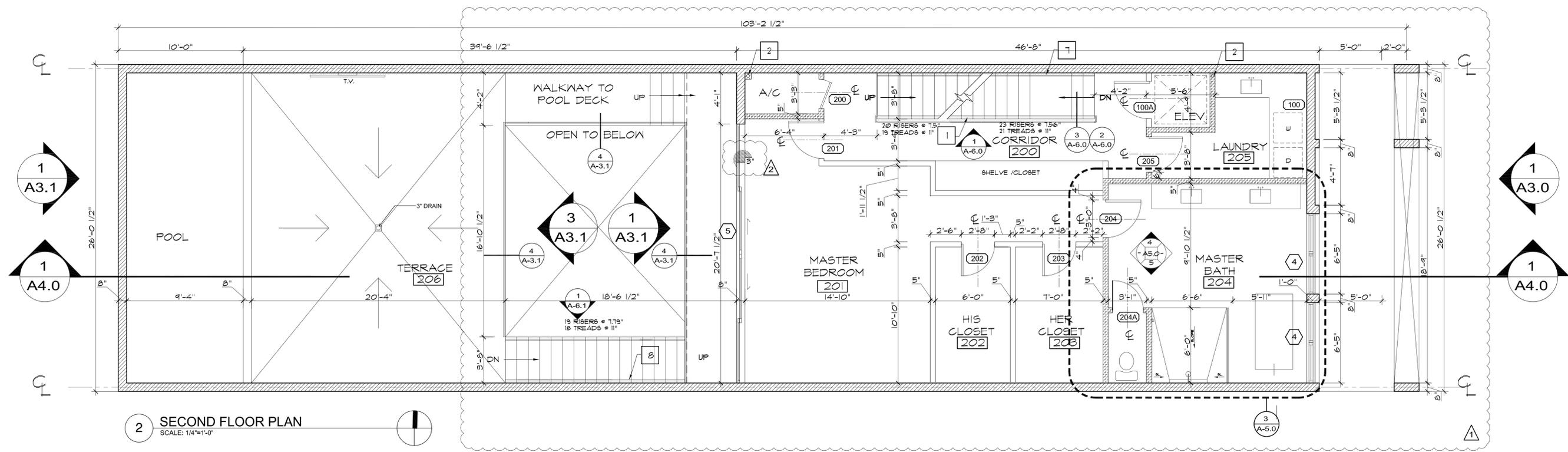
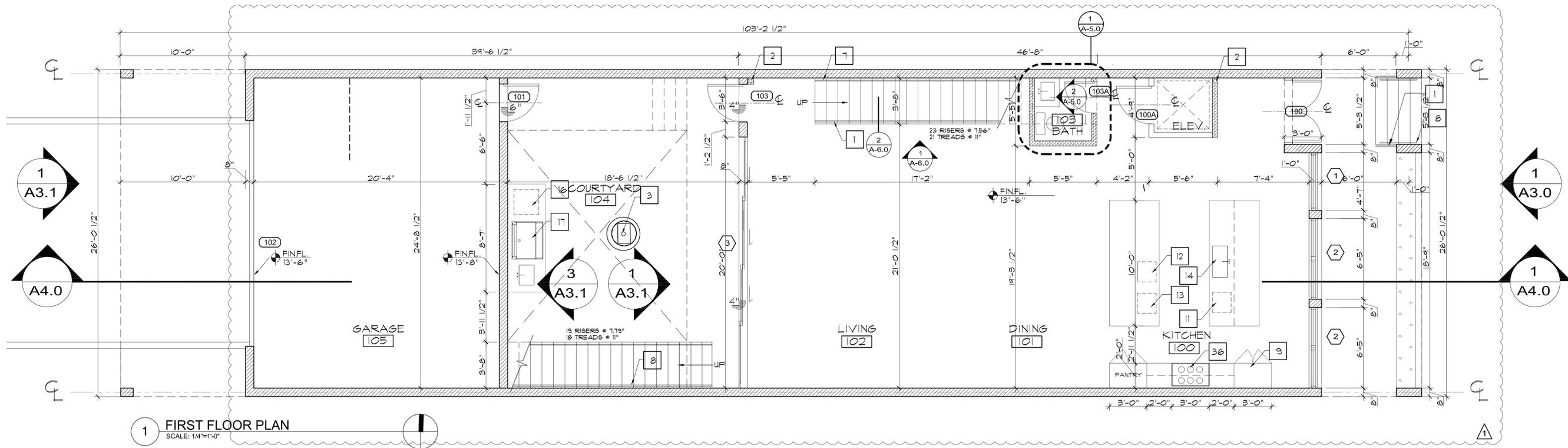
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A-1.2
 PRINT DATE:
 SEPTEMBER 21, 2022



LEGEND			
DESCRIPTION			
1	GLASS RAIL	13	UNDERCOUNTER OVEN
2	3" DRAIN	14	30" UNDERMOUNT SINK / WITH DISPOSAL
3	YARD DRAIN	15	HOOD ABOVE COOKTOP
4	2'X2' SKYLIGHT WITH 6" CURB MOUNTED BY VELUX. SUBMIT SHOP DWGS.	16	2' UNDERCOUNTER FRIDGE
5	ROOF HATCH BY BILCO TYPE NB	17	36" BUILT-IN GAS BBQ, VERIFY DIMENSIONAL REQUIREMENTS WITH ARCHITECT
6	ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.	18	OVERFLOW SCUPPER
7	HANDRAIL ASSEMBLY: STAINLESS STEEL FLAT END TERMINAL E4265 FOR WOODINOX HANDRAIL, 1 1/2" Ø 1500, STAINES STEEL SUPPORT E 4586 BY STAIRPARTSUSA.COM	19	3'Ø SKYLIGHT WITH 4" CURB
8	STAINLESS STEEL HANDRAIL BRACKET ROUND HBWA005LAQRND BY INCINE DESING.COM • STAINLESS STEEL HANDRAIL TUBE ROUND BY INCINE DESING.COM		
9	36" BUILT-IN REFRIGERATOR		
10	36" GAS COOKTOP		
11	DISHWASHER		
12	UNDERCOUNTER MICROWAVE		

NOTES:
 1. FINAL MODEL, TYPE, BRAND, COLOR, MATERIAL AND/OR FINISH TO BE SELECTED BY ARCHITECT
 2. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ASSEMBLY
 3. SEE MECH. FOR LOCATION OF AIR HANDLERS AND EQUIPMENT
 4. STAIR RAILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH IBC R311.4.3, TO NOT ALLOW THE PASSAGE OF A 4" SPHERE
 5. ALL DIMENSIONS ARE NOMINAL
 6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES IN MEASUREMENTS
 7. DO NOT SCALE DRAWINGS

WALL TYPES LEGEND:	
	8" OR 12" CMU WALL (SEE STRUCTURAL REQUIREMENTS) TO HAVE 7/8" METAL FURRING ON TOP OF 3/4" TUFF-R INSULATION (OVENSOUNDING.COM) WITH QUIETROCK ES MOLD RESISTANT GYPSUM WALL BOARD FOR ALL DEMISING WALLS. INSTALL AS PER REQUIREMENTS OF NATIONAL GYPSUM WALL PRODUCTS. 3/4" FLOAT FINISH STUCCO ON MASONRY FOR ALL WALLS EXPOSED TO EXTERIOR AS PER ASTM C-926
	8" OR 12" CMU WALL WITH STUCCO ON BOTH SIDES, OR 5/8" DRYWALL IF INTERIOR WALL
	3-5/8" 25 GA MTL. STUD @ 16" O.C. W/ 5/8" GYPSUM WALL BOARD
	3-5/8" 25 GA MTL. STUD OR AS NOTED ON PLANS @ 16" O.C. WITH 3-1/2" SOUND ATTENUATION BATT FIBER GLASS INSULATION (OVENSOUNDING.COM).
	8" CMU WALL (SEE STRUCTURAL REQUIREMENTS) WITH UL CLASSIFICATION D-2 (2-HOUR FIRE RATED) TO HAVE 1/8" METAL FURRING STRIPS WITH 5/8" SUPRESS SOUND ENGINEERED DRYWALL ON BOTH SIDES

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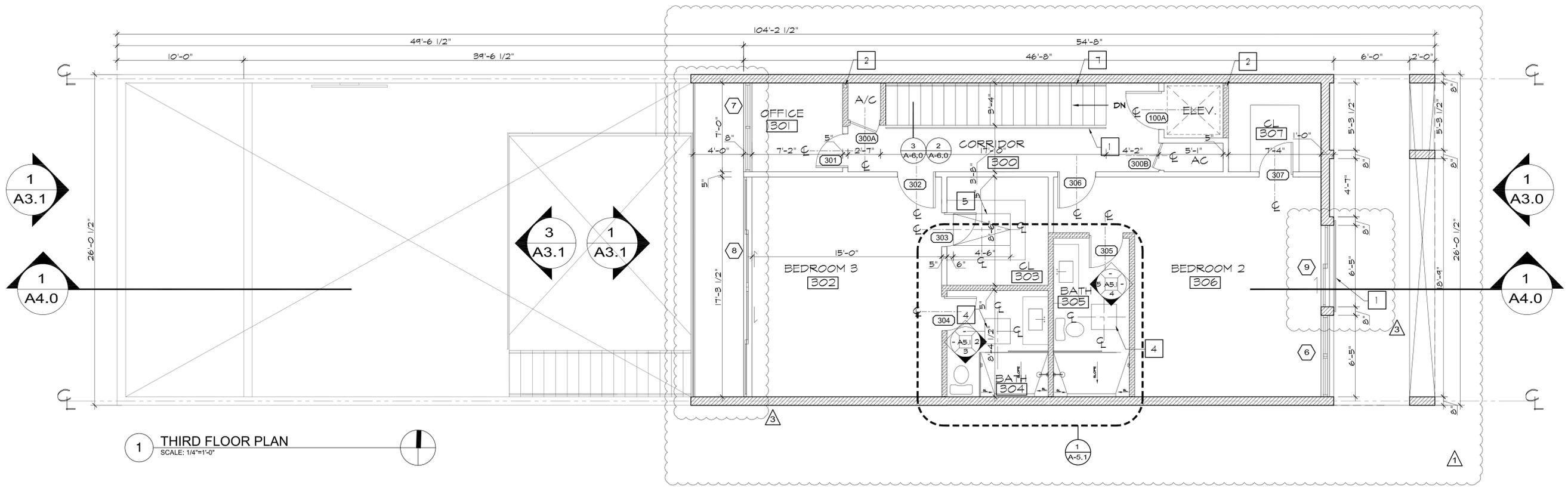


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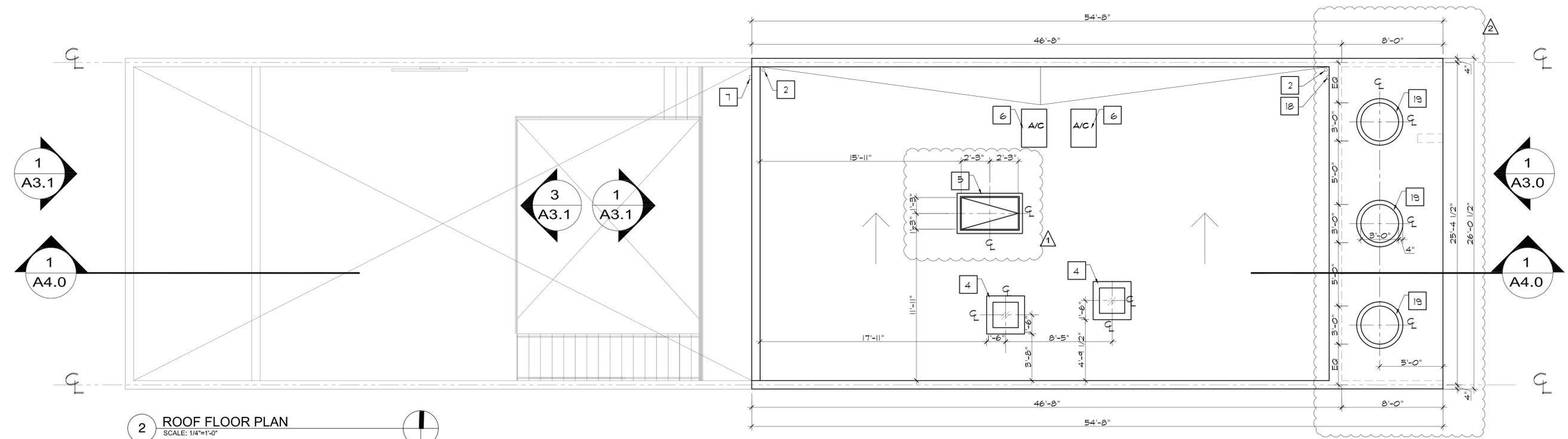
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A-1.3
 PRINT DATE:
 SEPTEMBER 21, 2022



1 THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"



2 ROOF FLOOR PLAN
SCALE: 1/4"=1'-0"

LEGEND		
DESCRIPTION		
1 GLASS RAIL	2 STAINLESS STEEL HANDRAIL BRACKET ROUND	13 UNDERCOUNTER OVEN
2 3" DRAIN	HEWA005LAGRND BY INCINE DESING.COM + STAINLESS STEEL HANDRAILTUBE ROUND BY INCINE DESING.COM	14 30" UNDERMOUNT SINK / WITH DISPOSAL
3 YARD DRAIN	9 36" BUILT-IN REFRIGERATOR	15 HOOD ABOVE COOKTOP
4 2'X2' SKYLIGHT WITH 6" CURB MOUNTED BY VELUX. SUBMIT SHOP DWGS.	10 36" GAS COOKTOP	16 2' UNDERCOUNTER FRIDGE
5 ROOF HATCH BY BILCO TYPE NB	11 DISHWASHER	17 36" BUILT-IN GAS BBQ. VERIFY DIMENSIONAL REQUIREMENTS WITH ARCHITECT
6 ROOF MOUNTED A/C CONDENSER. VERIFY LOCATION IN FIELD.	12 UNDERCOUNTER MICROWAVE	18 OVERFLOW SCUPPER
7 HANDRAIL ASSEMBLY: STAINLESS STEEL FLAT END TERMINAL E4265 FOR WOODINOX HANDRAIL 1" Ø 1500, STAINLESS STEEL SUPPORT E 4586 BY STAIRPARTSUSA.COM		19 3'Ø SKYLIGHT WITH 4" CURB

NOTES:
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 2. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ASSEMBLY
 3. SEE MECH. FOR LOCATION OF AIR HANDLERS AND EQUIPMENT
 4. STAIR RAILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH FBC R311.4.3. TO NOT ALLOW THE PASSAGE OF A 4" SPHERE
 5. ALL DIMENSIONS ARE NOMINAL
 6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES IN MEASUREMENTS
 7. DO NOT SCALE DRAWINGS

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	8" OR 12" CMU WALL (SEE STRUCTURAL REQUIREMENTS) TO HAVE 7/8" METAL FURRING ON TOP OF 3/4" TUFF-R INSULATION (OWENSCORNING.COM) WITH QUIETROCK ES MOLD RESISTANT GYPSUM WALL BOARD FOR ALL DEMISING WALLS. INSTALL AS PER REQUIREMENTS OF NATIONAL GYPSUM WALL PRODUCTS. 3/4" FLOAT FINISH STUCCO ON MASONRY FOR ALL WALLS EXPOSED TO EXTERIOR AS PER ASTM C-926
	8" OR 12" CMU WALL WITH STUCCO ON BOTH SIDES, OR 5/8" DRYWALL IF INTERIOR WALL
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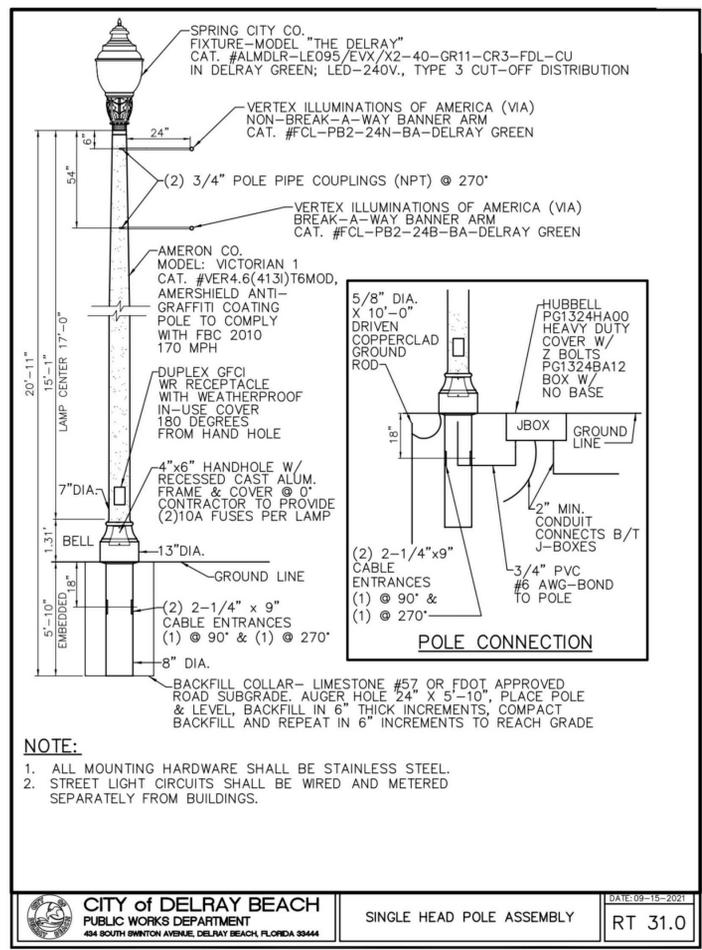
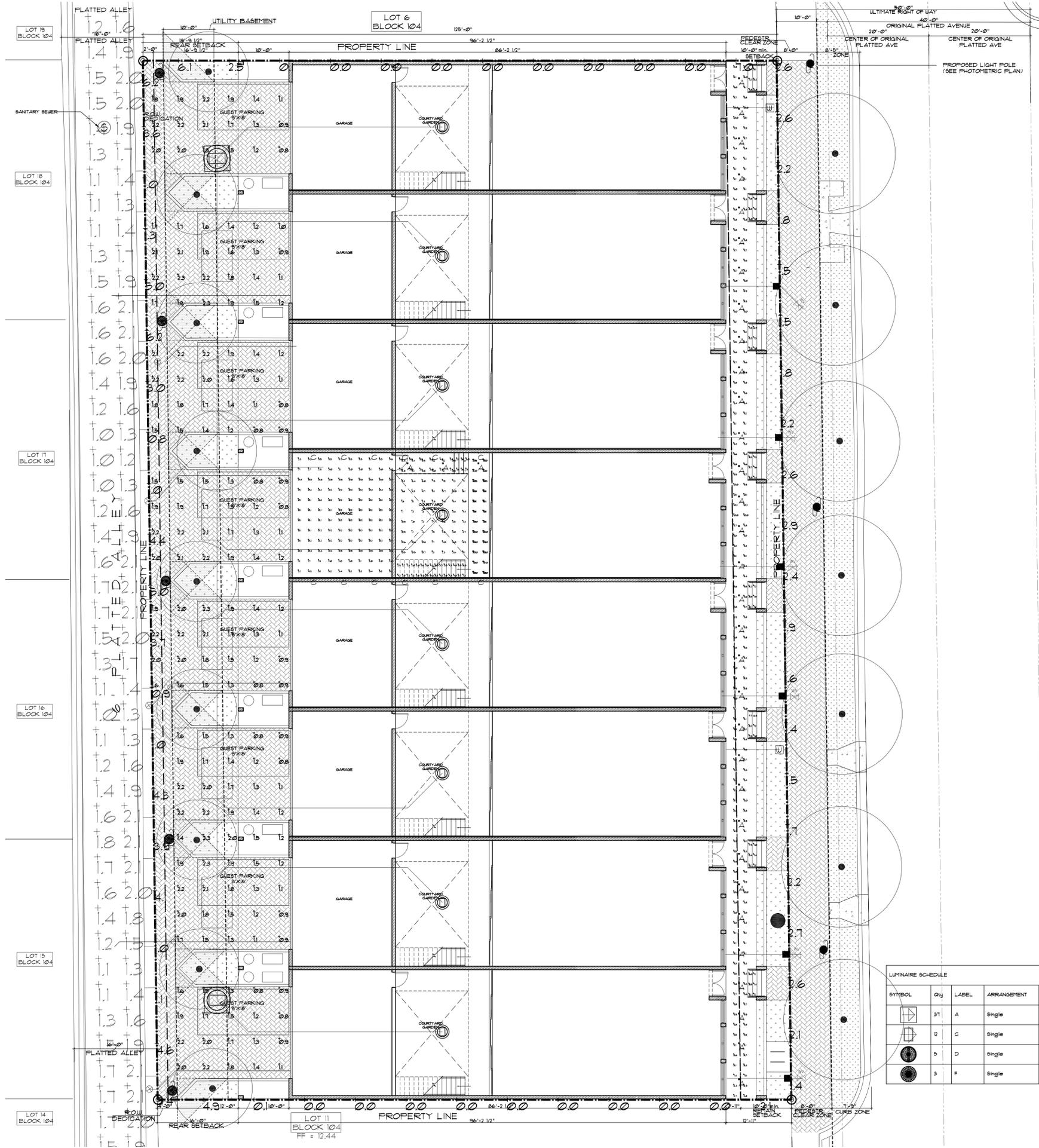


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A-1.4
 PRINT DATE:
 SEPTEMBER 21, 2022



CITY of DELRAY BEACH
PUBLIC WORKS DEPARTMENT
404 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444

SINGLE HEAD POLE ASSEMBLY

DATE: 09-15-2021
RT 31.0

2 POLE SPEC
SCALE: 1/4" = 1'-0"

CALCULATION SUMMARY

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	LV RATIO
1ST FLOOR	Illuminance	Fc	4.71	9.5	0.5	9.42	19.00	N.A.
2ND FLOOR	Illuminance	Fc	1.33	5.1	0.0	N.A.	N.A.	N.A.
ALLEY Illum	Illuminance	Fc	1.56	2.1	1.0	1.56	2.10	N.A.
ALLEY Illuminance	Lumiance	Cd/Sqm	0.86	1.4	0.4	2.15	3.50	N.A.
ALLEY Veil Lum	Veiling Luminance	Cd/Sqm	N.A.	N.A.	N.A.	N.A.	N.A.	0.12
BUILDING ENTRANCES	Illuminance	Fc	1.51	8.1	5.1	1.47	1.71	N.A.
PARKING	Illuminance	Fc	1.58	2.3	0.8	1.98	2.88	N.A.
SPILL - HORIZONTAL - 6' AFG	Illuminance	Fc	1.99	1.0	0.0	N.A.	N.A.	N.A.
SPILL - VERTICAL - 6' AFG	Illuminance	Fc	1.31	4.5	0.0	N.A.	N.A.	N.A.
STEPS TO 2ND FLOOR	Illuminance	Fc	4.03	7.5	2.0	2.02	3.75	N.A.

LUMINAIRE SCHEDULE

SYMBOL	Qty	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS	BUG RATING
(Symbol A)	31	A	Single	USA LIGHTING, LLC	B350 09X3 7763 55 5 WH SH FTIC UNV D22	RECESSED	N/A	0.670	876	9	B1-U0-G0
(Symbol C)	7	C	Single	BEGA-US	33 514 K3	WALL MOUNTED	N/A	0.500	204	9.8	B0-U0-G0
(Symbol D)	5	D	Single	Lithonia Lighting	RADPT P2 30K 61M	POLE MOUNTED; 12' AFG.	N/A	0.500	4930	38	B3-U2-G1
(Symbol F)	3	F	Single	Spring City Electrical Manufacturing	ALMDLR LE095 EVX X2 40 GR11 CR3 FDL CU	POLE MOUNTED; 22' AFG.	N/A	1.000	9015	95	B3-U3-G3

1 PHOTOMETRIC PLAN
SCALE: 1/10" = 1'-0"

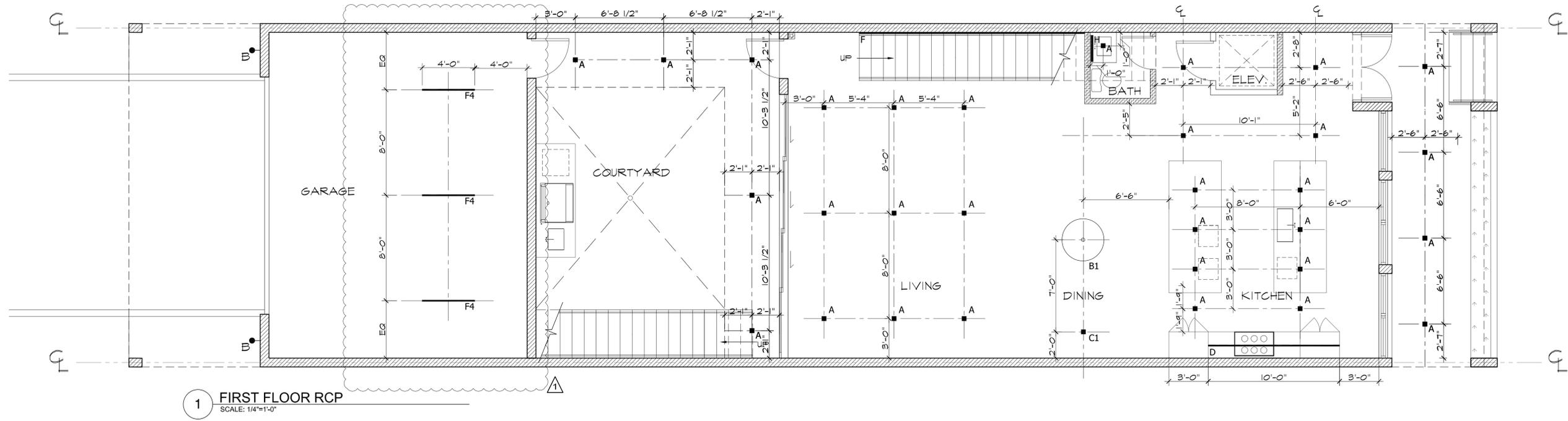


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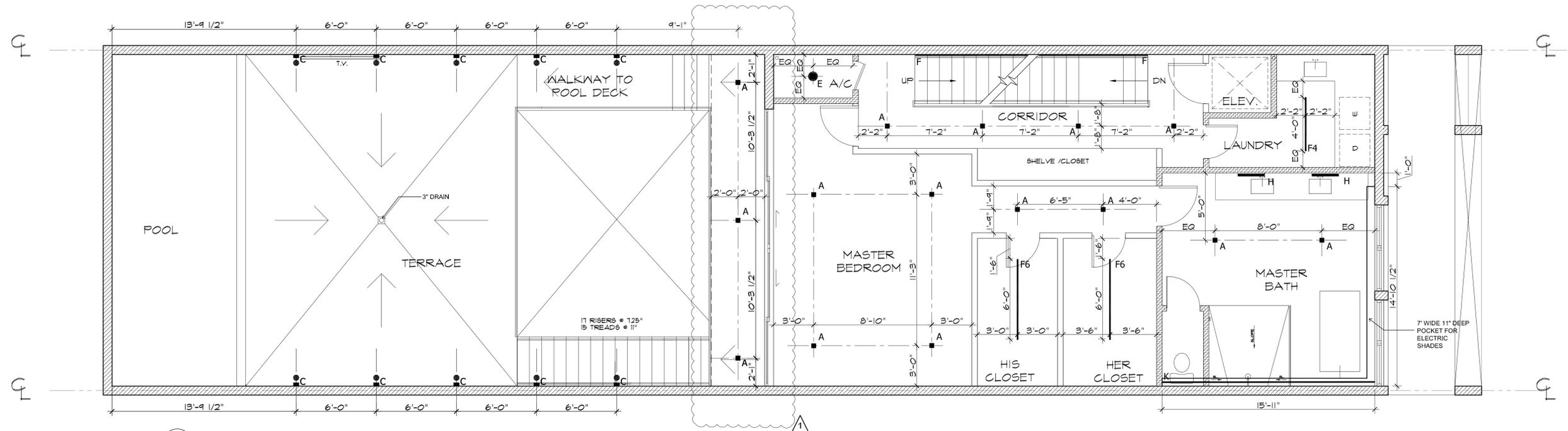
PERMIT SET

NO.	REVISIONS
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1 FIRST FLOOR RCP
SCALE: 1/4"=1'-0"



2 SECOND FLOOR RCP
SCALE: 1/4"=1'-0"

LIGHT FIXTURE SCHEDULE:	
SYM	TYPE
A	3" SQUARE DOWNLIGHT - MODEL USA1 LIGHTING B38DL
B	WALL MOUNTED LIGHT.
C	WALL MOUNTED LIGHT - WATERPROOF - MODEL VASMOK 118003
B1	PENDANT LIGHT.
C1	SQUARE DOWNLIGHT
D	UNDER CABINET LIGHT BY CABINET MAKER
E	DOWNLIGHT
F	DECORATIVE LINE OF LIGHT. LARGE INDICATED IN PLANS.
H	LIGHTED MIRROR
K	DECORATIVE LINE OF LIGHT - WATERPROOF



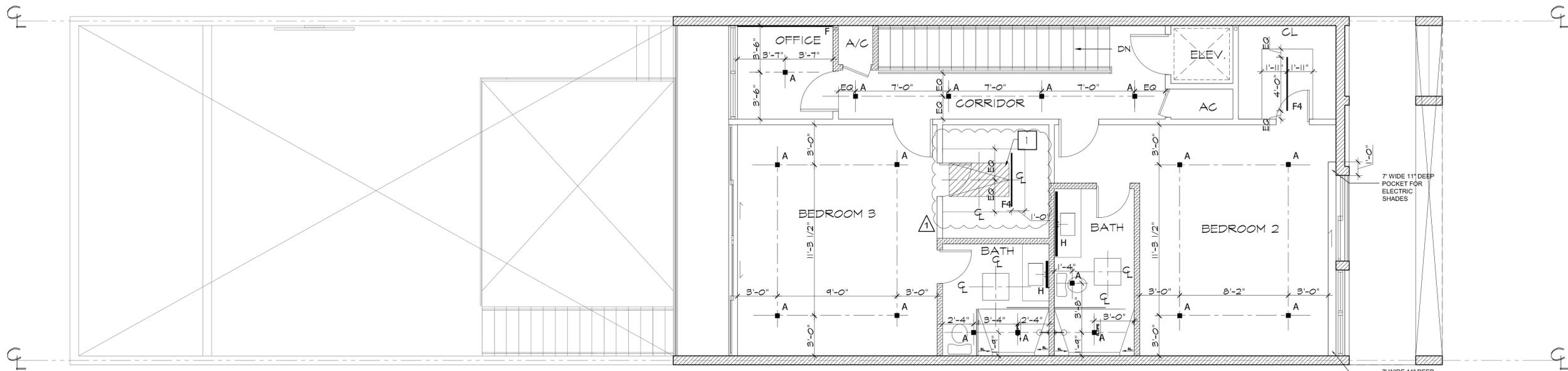
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1 THIRD FLOOR RCP
SCALE: 1/4"=1'-0"

LIGHT FIXTURE SCHEDULE:	
(SYN)	TYPE
A	3" SQUARE DOWNLIGHT - MODEL USA1 LIGHTING B39DL
B	WALL MOUNTED LIGHT.
C	WALL MOUNTED LIGHT - WATERPROOF - MODEL V48MOK 115003
B1	FENDANT LIGHT.
C1	SQUARE DOWNLIGHT
D	UNDER CABINET LIGHT BY CABINET MAKER
E	DOWNLIGHT
F	DECORATIVE LINE OF LIGHT. LARGE INDICATED IN PLANS.
H	LIGHTED MIRROR
K	DECORATIVE LINE OF LIGHT - WATERPROOF

LEGEND	
1	ROOF HATCH BY BILCO TYPE N.B



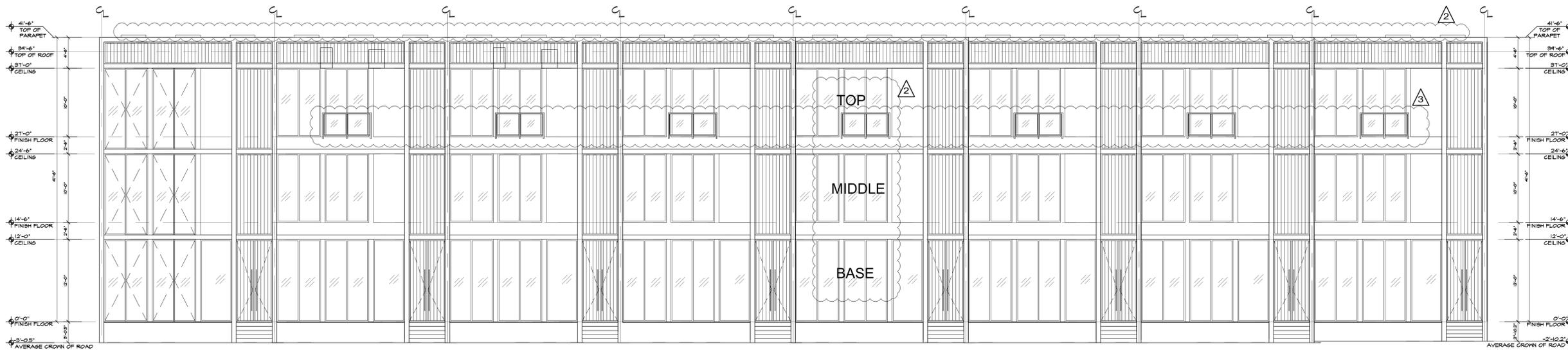
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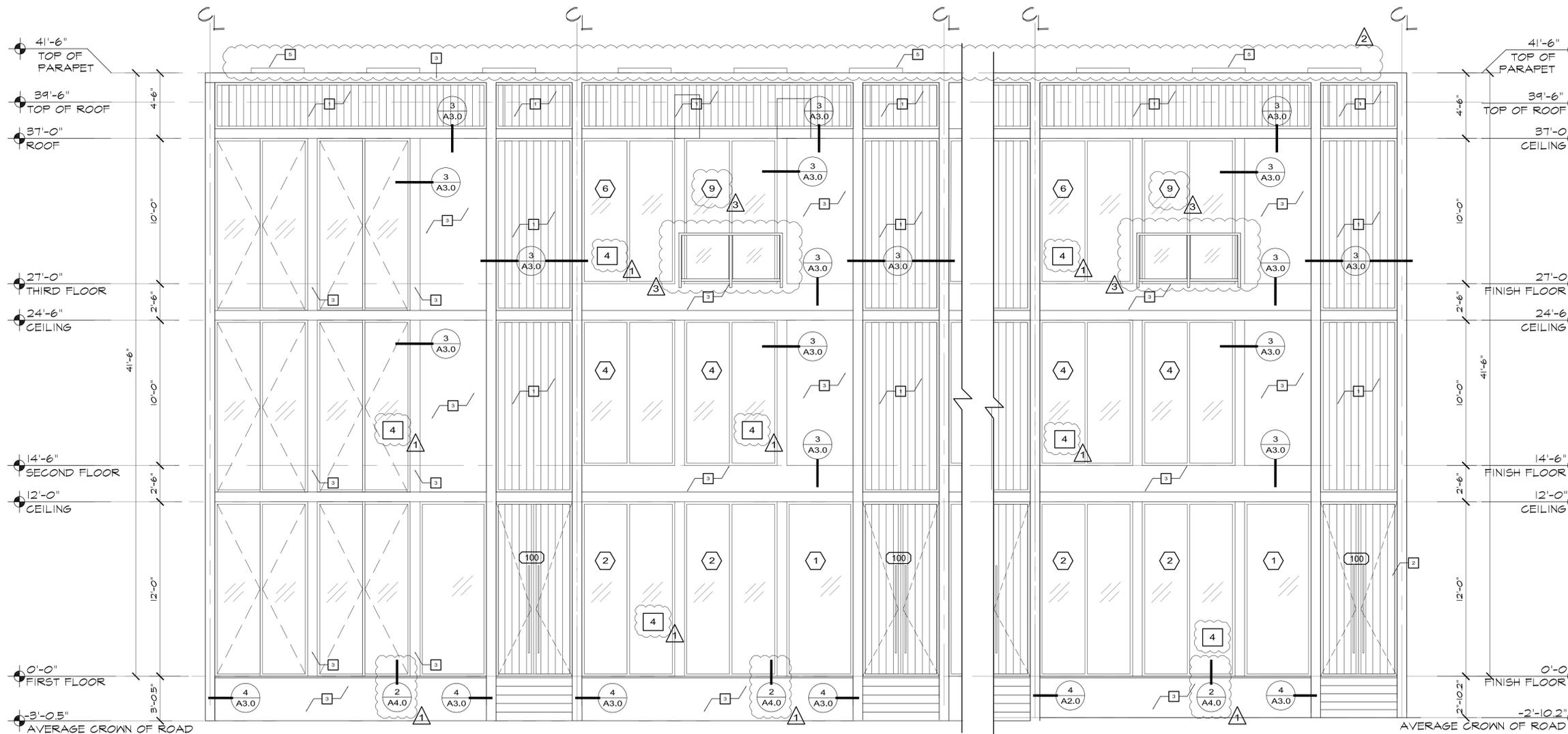
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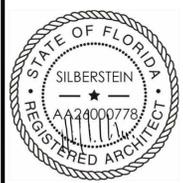
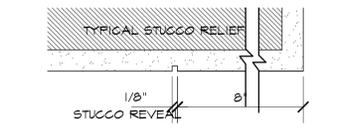
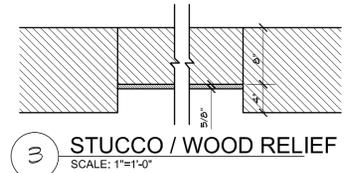


1 EAST ELEVATION - GENERAL VIEW
SCALE: 1/8"=1'-0"



2 ENLARGED PORTION OF EAST ELEVATION
SCALE: 1/4"=1'-0"

LEGEND	
DESCRIPTION	
1	T & G TEAK 3/4" ON SLEEPERS
2	T & G TEAK ON DOORS
3	3/4" SMOOTH STUCCO WHITE
4	GLAZING COMPLIES WITH TRANSPARENCY REQUIREMENTS AS PER LDR 4.4.13 (F)(5) SEE WINDOW A3.1 SCHEDULE FOR TYPE OF GLASS
5	SKYLIGHT WITH 4" CURB



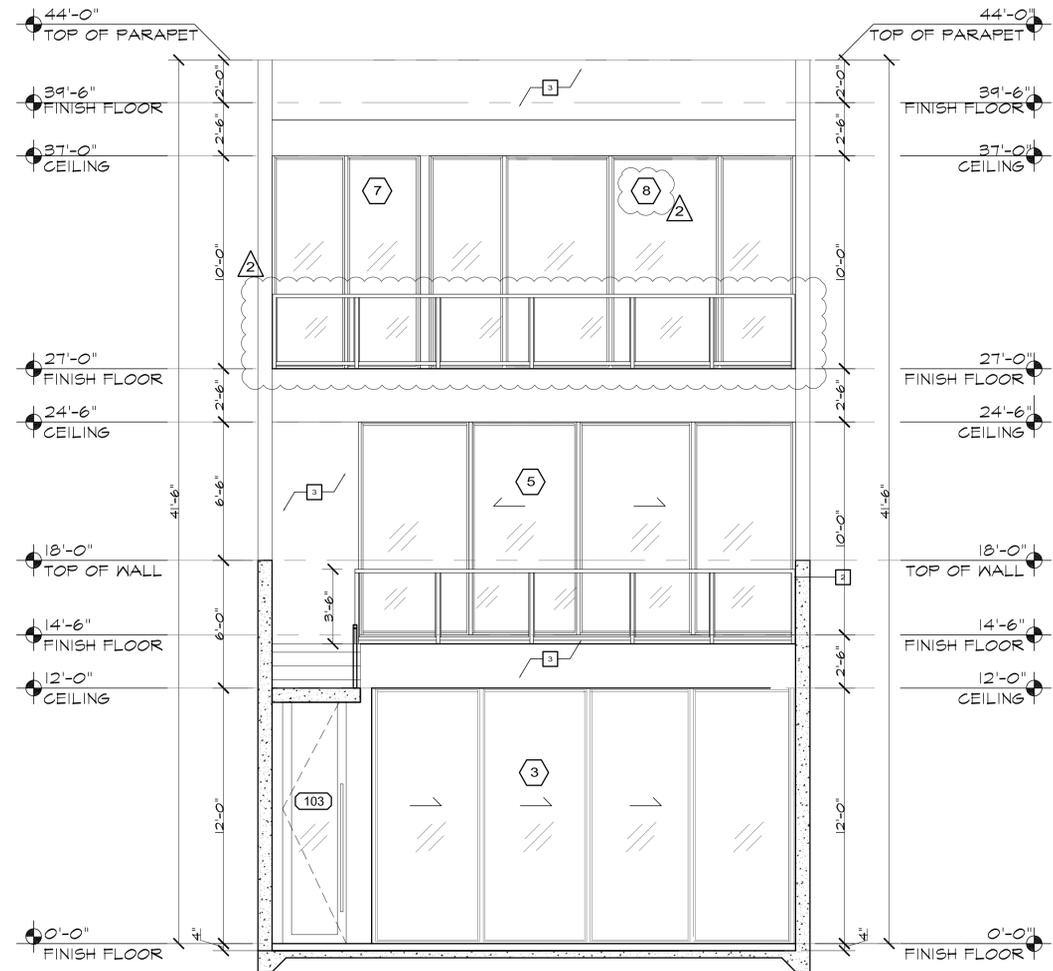
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1	TAC COMMENTS 6.2.22
2	TAC COMMENTS 8.1.22
3	TAC COMMENTS 8.25.22
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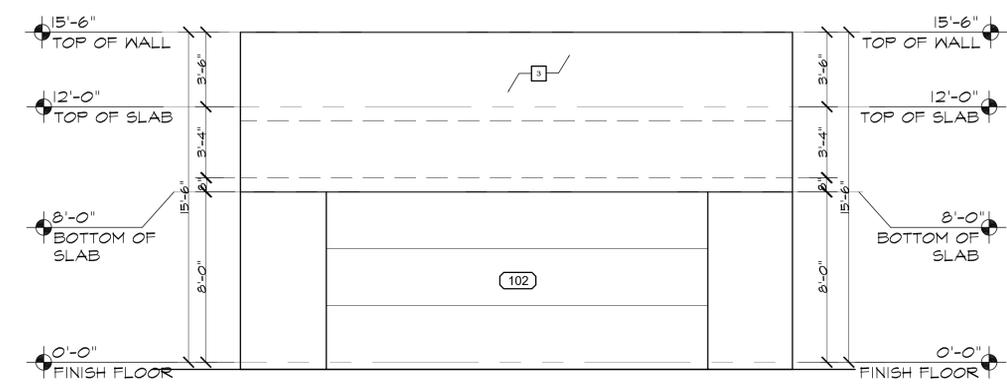


1 INTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"

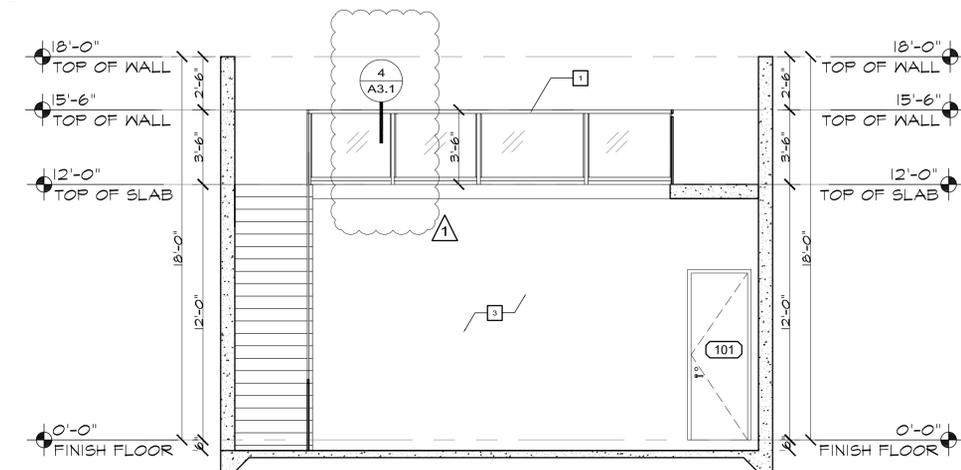
EXTERIOR GLAZING SCHEDULE							
ALL GLAZING: CLEAR LAMINATED IMPACT GLASS - SOLARBAN 60							
SYM	MASONRY OPENING		WINDOW TYPE	MANUFACTURER	FRAME	FINISH	REMARKS
	WIDTH	HEIGHT					
1	4'-7"	12'-0"	FIXED	-	ALUM	SUPER WHITE	-
2	6'-5"	12'-0"	FIXED	-	-	-	-
3	20'-0"	12'-0"	SLIDERS	-	-	-	-
4	6'-5"	10'-0"	FIXED	-	-	-	-
5	20'-7 1/2"	10'-0"	SLIDERS	-	-	-	-
6	6'-5"	10'-0"	FIXED	-	-	-	7'-0" CASEMENT
7	7'-0"	10'-0"	FIXED	-	-	-	7'-0" CASEMENT
8	17'-3 1/2"	10'-0"	SLIDERS	-	-	-	-
9	6'-5"	10'-0"	SLIDERS	-	-	-	-

EXTERIOR DOOR SCHEDULE									
SYM	NOMINAL SIZE VERIFY		DOOR TYPE	DOOR	FINISH	THK.	HARDWARE GROUP	DETAIL(S)	REMARKS
	WIDTH	HEIGHT							
100	5'-3 1/2"	12'-0"	ALUM.	-	NATURAL TEAK	1 3/4"	-	-	-
101	3'-0"	8'-0"	-	FIBERGLASS	PAINT WHITE	1 3/4"	-	-	FIBERGLASS EXTERIOR IMPACT
102	18'-0"	8'-0"	-	-	PAINT SUPER WHITE	-	-	-	AMARR BRAND HERITAGE 3000 STAINED WOOD PANEL 3 LAYER INSULATED GARAGE DOOR TO MEET MIAMI DADE NOA
103	3'-0"	12'-0"	ALUM./GLASS	-	ANODIZED ALUMINUM OR SILVER	1 3/4"	-	-	-

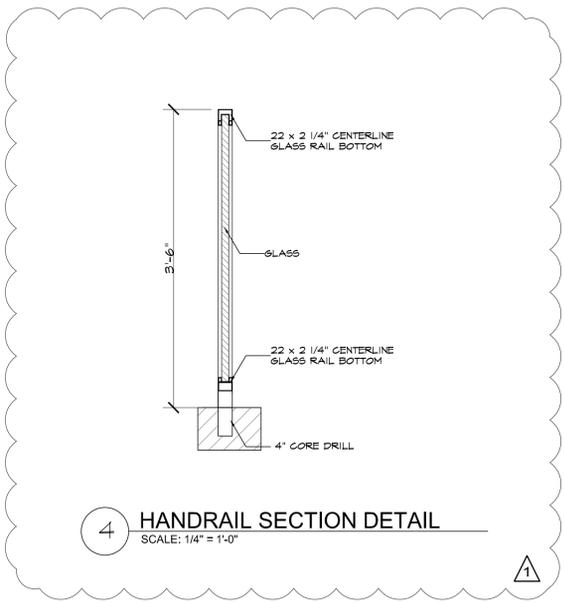
SEE ELEVATION DRAWINGS FOR MULLION LOCATIONS



2 WEST GARAGE ELEVATION
SCALE: 1/4" = 1'-0"



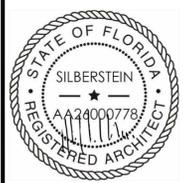
3 EAST GARAGE ELEVATION
SCALE: 1/4" = 1'-0"



4 HANDRAIL SECTION DETAIL
SCALE: 1/4" = 1'-0"

LEGEND

DESCRIPTION
1 RAILING SHALL BE LAMINATED CLEAR GLASS WITH 2" X 2-1/4" DARK BRONZE ALUMINUM FRAME BY JC ORNAMENTAL.COM
2 TAPER-LOG® SYSTEM DRY-GLAZE LAMINATED TEMPERED GLASS RAIL SYSTEM 13/16" (21.52mm) LAMINATED GLASS - L215 and 9BL21 BASE SHOES BY CR LAURENCE CO.-800-421-6144 - BASE FINISHED WITH BREAK METAL - SUBMIT SHOP DRAWINGS
3 3/8" FLOAT FINISH STUCCO- SUPER WHITE

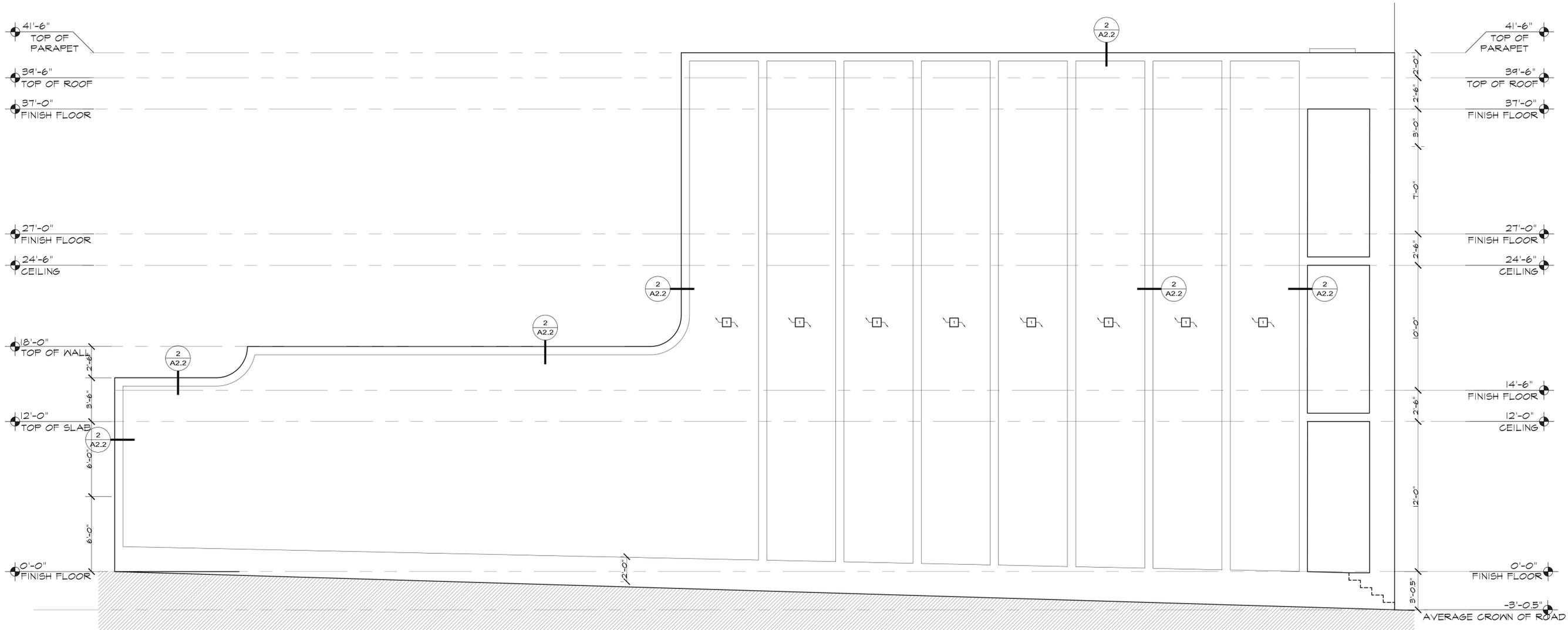


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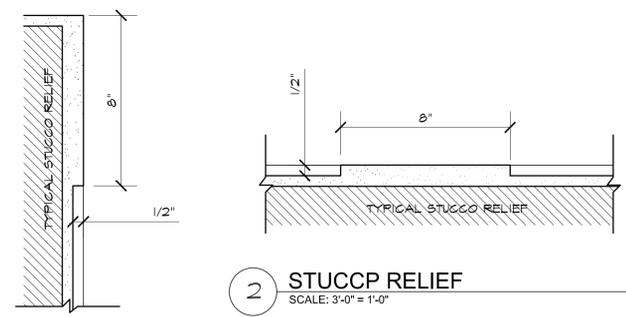
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2	TAC COMMENTS 8.25.22
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1 SOUTH/NORTH ELEVATION
SCALE: 1/4" = 1'-0"

LEGEND	
DESCRIPTION	
[Symbol]	1/2" FLOAT FINISH STUCCO - BENJAMIN MOORE OC-152 SUPER WHITE



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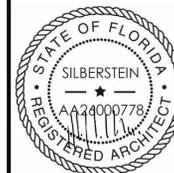
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WINDOW COVERING CALCULATIONS			
WINDOW COVERING SHALL BE BETWEEN 20%-75% OF WALL AREA			
FLOOR	WALL AREA	GLASS AREA	PERCENTAGE
FIRST	2953 S.F.	1672 S.F.	56.7%
SECOND	2546 S.F.	1024 S.F.	40.2%
THIRD	2546 S.F.	1024 S.F.	40.2%

LEGEND	
DESCRIPTION	
	GLASS
	WALL

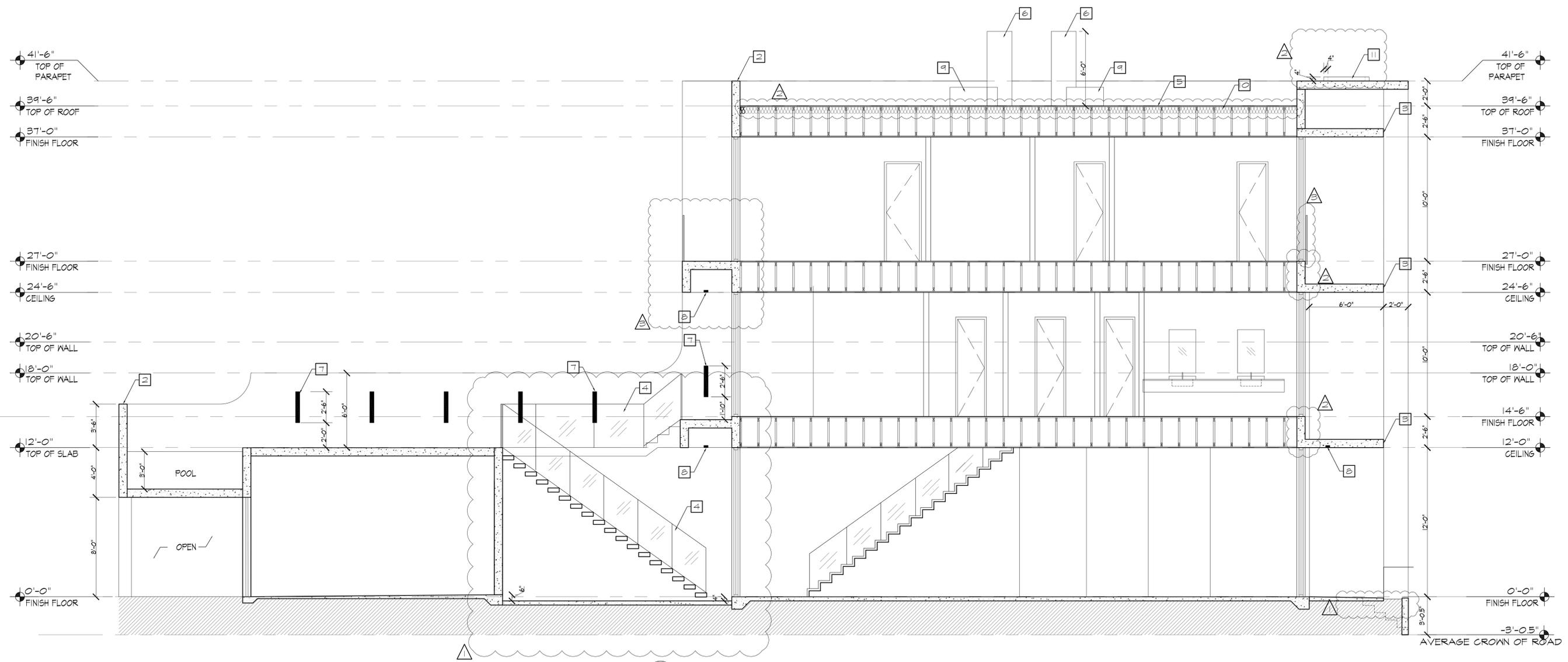
1 WINDOWS COVERING DIAGRAM
SCALE: 1/8"=1'-0"



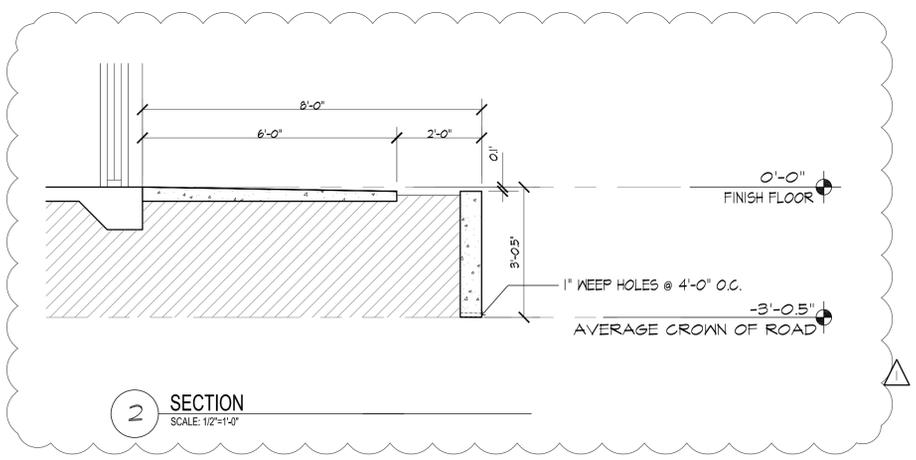
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1 SECTION
SCALE: 1/4"=1'-0"



2 SECTION
SCALE: 1/2"=1'-0"

LEGEND	
DESCRIPTION	
1	WHITE SMOOTH FLOAT FINISH STUCCO
2	SLOPE TOP OF PARAPET WALL TOWARDS ROOF, STUCCO STOP AT ROOF FLASHING
3	CONTINUOUS DRIP EDGE, TYP.
4	RAILING SHALL BE LAMINATED CLEAR GLASS WITH 2"x2-1/4" DARK BRONZE ALUMINUM FRAME, BY JC ORNAMENTAL.COM
5	GAF EVERGUARD FREEDOM HM 60 MIL FULLY ADHERED ROOF MEMBRANE, OR APPROVED EQUAL OVER R-30 AVERAGE TAPERED ROOF INSULATION
6	ROOF MOUNTED A/C CONDENSER, VERIFY LOCATION IN FIELD.
7	WALL MOUNTED LIGHT - WATERPROOF - MODEL VASMOK 115003
8	3" SQUARE DOWNLIGHT - MODEL USAI LIGHTING B3SDL
9	SKYLIGHT WITH 6" CURB
10	ICYNENE INSULATION R-19
11	SKYLIGHT WITH 4" CURB

NOTES:
 1. FINISHES TO BE SELECTED BY OWNER
 2. CONTRACTOR SHALL SUBMIT TRUSS SHOP DRAWINGS FOR ARCHITECT'S APPROVAL



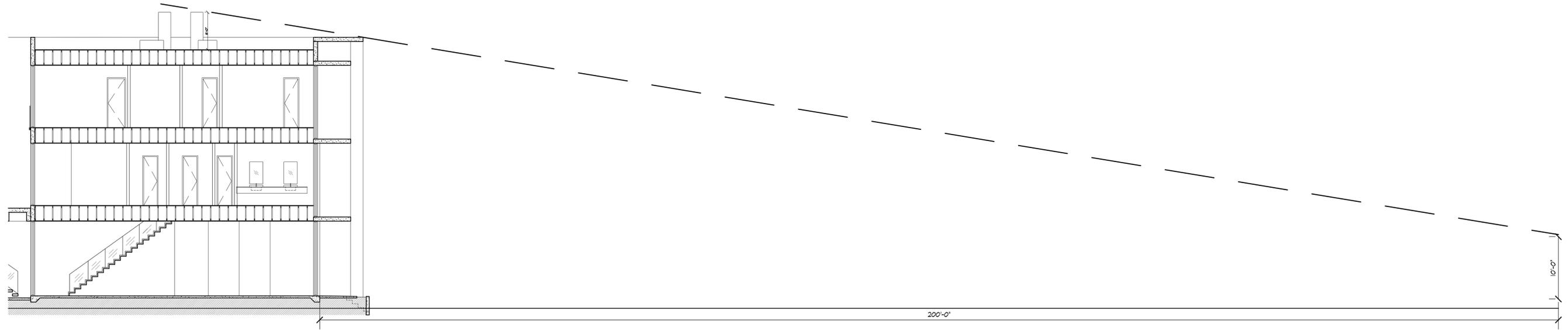
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2. TAC COMMENTS	8.1.22
3. TAC COMMENTS	8.25.22
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1 SITE LINE STUDY
SCALE: 1/8" = 1'-0"

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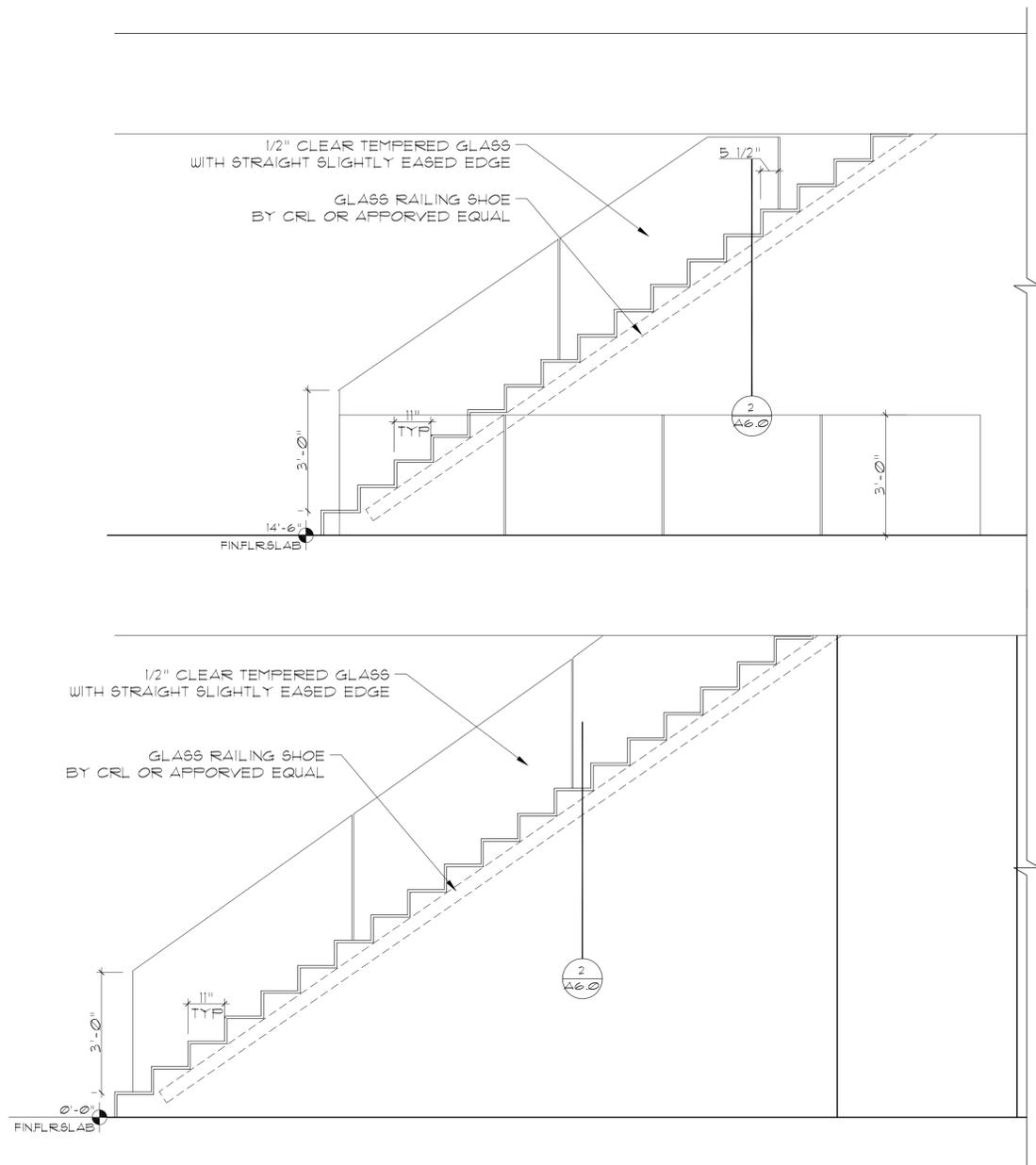


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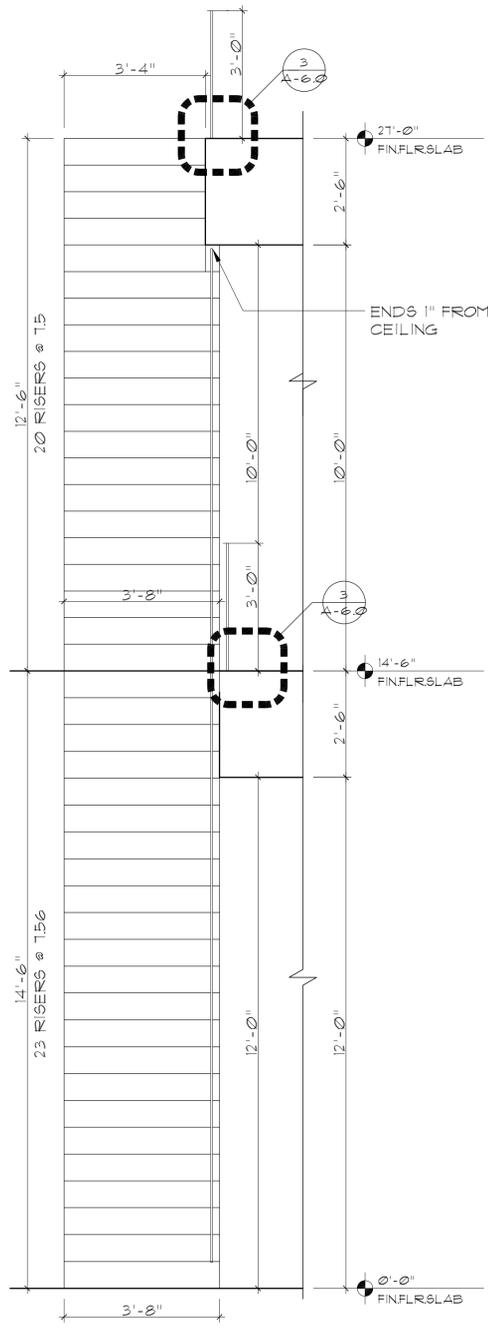
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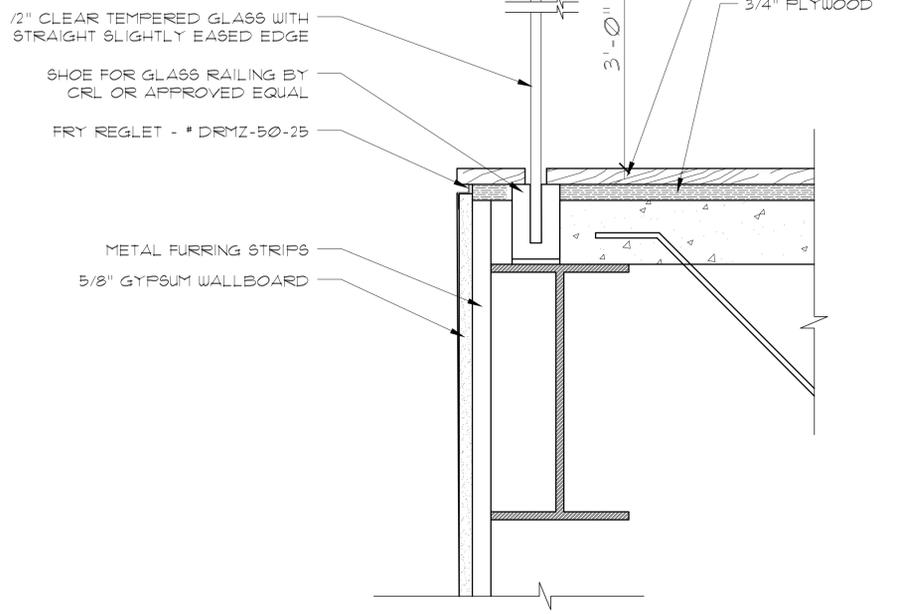
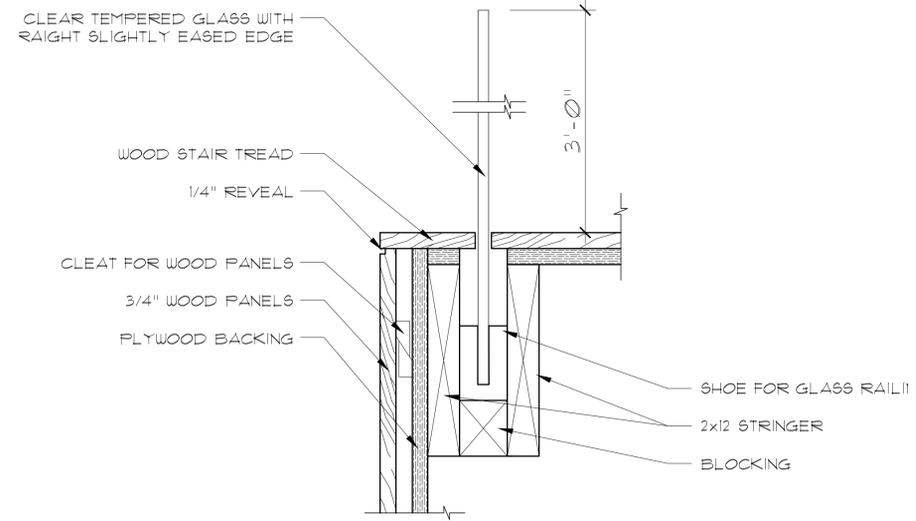
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1 STAIR DETAIL
SCALE: 1/2"=1'-0"



2 STAIR DETAIL
SCALE: 3/4"=1'-0"



3 RAILING DETAIL
SCALE: 3/4"=1'-0"

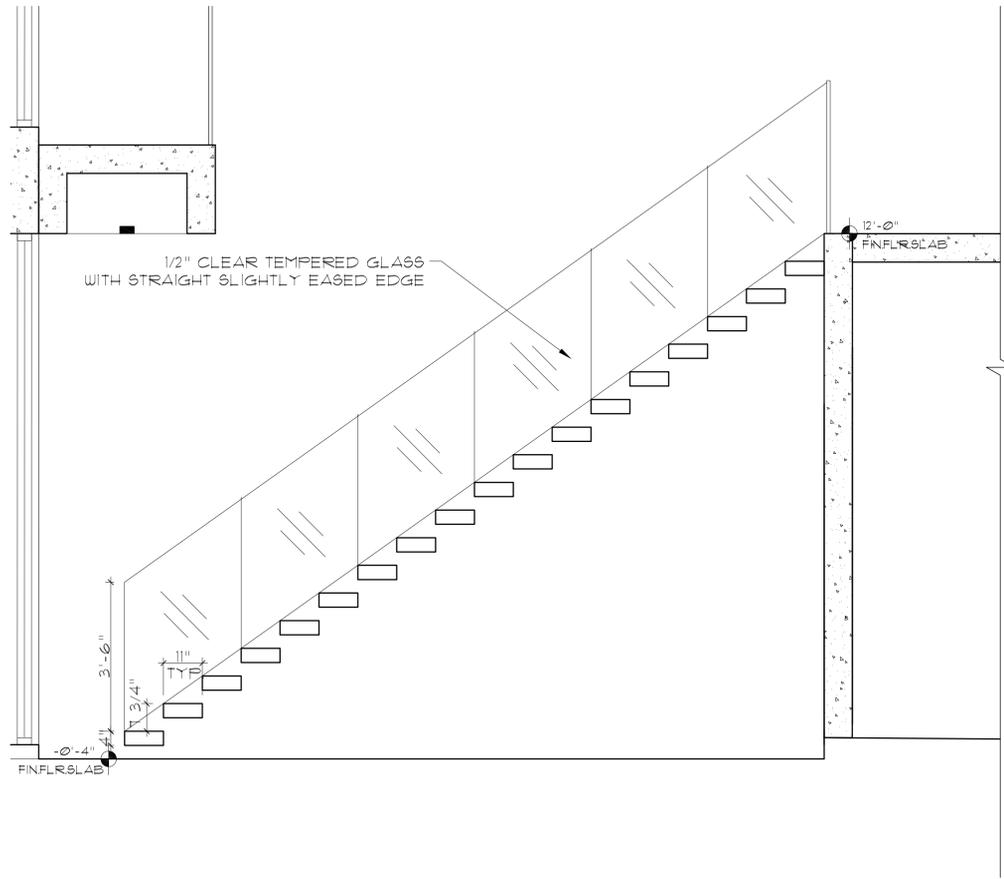


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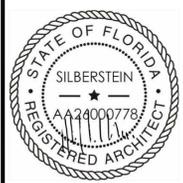
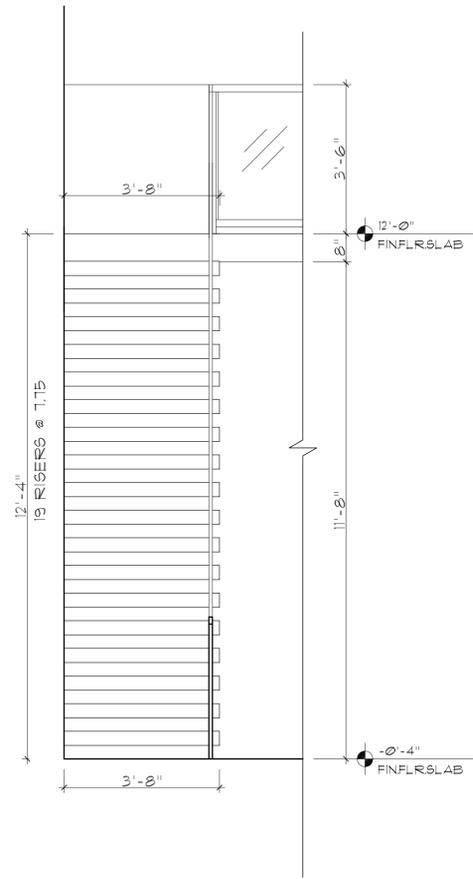
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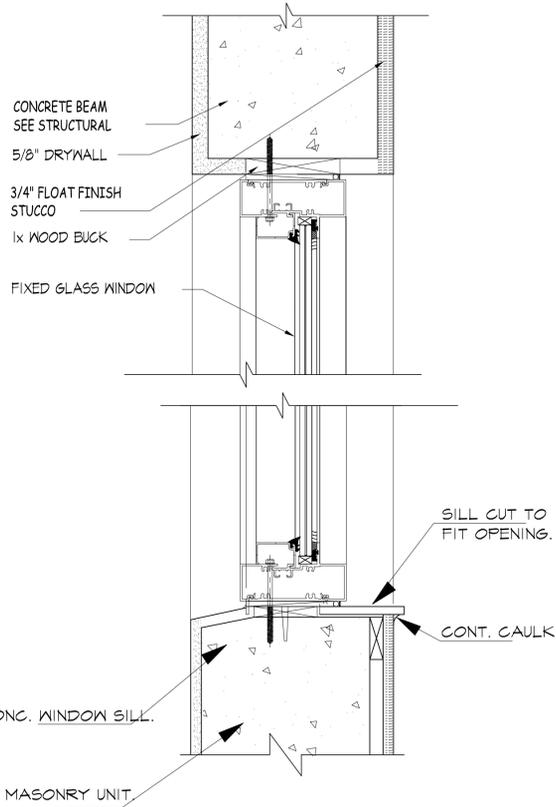
1 STAIR DETAIL
SCALE: 1/2"=1'-0"



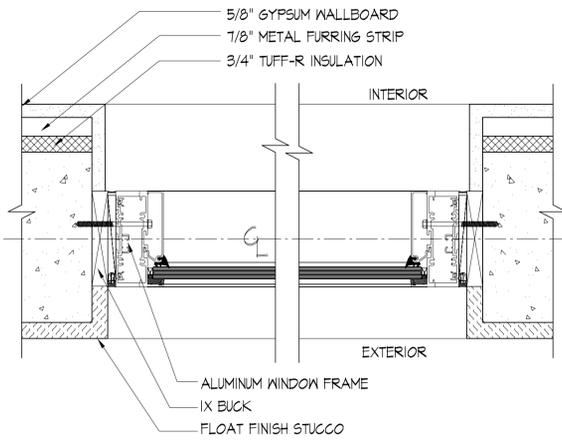
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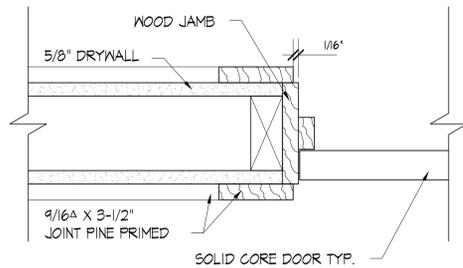
PERMIT SET	
REVISIONS	
1	TAC COMMENTS 6.222
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1 WINDOW HEAD/SILL DETAIL TYPICAL
SCALE: 3/4"=1'-0"



2 WINDOW JAMB DETAIL TYPICAL
SCALE: 3/4"=1'-0"



3 INTERIOR DOOR JAMB DETAIL TYPICAL
SCALE: 3/4"=1'-0"

ROOM FINISH SCHEDULE						
NUMBER	ROOM	FLOOR		CEILING		REMARKS
		FLOOR	BASE	MATERIAL	HEIGHT (FROM TOP FINISH FLOOR)	
100	KITCHEN	F-1	B-2	C-1	12'-0"	
101	DINING				12'-0"	
102	LIVING				12'-0"	
103	BATH				12'-0"	
104	COURTYARD				VARIES	
105	GARAGE	F-2	B-1		12'-0"	
200	CORRIDOR	F-1	B-2	C-1	10'-0"	
201	MASTER BEDROOM				10'-0"	
202	HIS CLOSET				10'-0"	
203	HER CLOSET				10'-0"	
204	MASTER BATH				10'-0"	
205	LAUNDRY		B-1		10'-0"	
206	TERRACE		B-2		VARIES	
300	CORRIDOR				10'-0"	
301	OFFICE				12'-0"	
306	BEDROOM 3				10'-0"	
303	CLOSET				10'-0"	
304	BATH				10'-0"	
305	BATH				10'-0"	
306	BEDROOM 2				10'-0"	
307	CLOSET				10'-0"	

DOOR SCHEDULE									
SYM	NOMINAL SIZE		DOOR TYPE	FRAME	FINISH	THK.	DETAIL(S)	HARDWARE GROUP	REMARKS
	WIDTH	HEIGHT							
100A	3'-0"	10'-0"	2	WOOD	PAINT	1'-3/4"	1/A-T/O		
103A	2'-6"	10'-0"							
200	2'-4"	10'-0"							
201	3'-0"	10'-0"							
202	2'-8"	10'-0"							
203	2'-8"	10'-0"							
204	3'-0"	10'-0"							
204A	2'-6"	10'-0"		GLASS					
205	3'-0"	10'-0"		WOOD		1'-3/4"	1/A-T/O	4	
300A	2'-4"	10'-0"							
300B	2'-4"	10'-0"							
301	2'-8"	10'-0"							
302	3'-0"	10'-0"							
303	2'-8"	10'-0"							
304	2'-8"	10'-0"							
305	2'-8"	10'-0"							
306	3'-0"	10'-0"							
307	2'-08"	10'-0"							

PAINT NOTES

INTERIOR AND EXTERIOR SUBSTRATE PREPARATION
APPROXIMATELY 40% OF ALL PAINT FAILURES CAN BE DIRECTLY ATTRIBUTED TO IMPROPER SURFACE PREPARATION. STRICTLY FOLLOWING ALL SURFACE PREPARATION INSTRUCTIONS ON ALL SURFACES IS ESSENTIAL TO ACHIEVE MAXIMUM BENEFITS OF THE COATINGS TO BE USED

A. DRYWALL (WALLS AND CEILINGS)
1. Cracks, holes and blemished areas are to be filled and sanded flush with adjacent surfaces and then spot primed with Benjamin Moore's Fresh Start #024
2. Ceilings or walls are to be primed with Benjamin Moore's Fresh Start Primer.
3. Finish all drywall surfaces using Benjamin Moore's Regal Select Interior Flat #547 Line.
4. Finish all drywall ceilings using Benjamin Moore's #508 Waterborne Ceiling Paint

B. INTERIOR WOOD SURFACES TO BE PAINTED
1. Surfaces must be clean and free of wax, grease and water-soluble materials.
2. Blemished areas to be filled and sanded flush with adjacent surfaces and then spot primed with Benjamin Moore's Fresh Start Primer #024.
3. Finish all interior wood doors and trim to be finished using Benjamin Moore's Advance Waterborne Interior Alkyd Satin Finish #142

C. EXTERIOR MASONRY AND WOOD SUBSTRATES
5. All masonry surfaces must be thoroughly brushed with a stiff fiber brush to remove loose particles.
6. Form release agents are to be removed with appropriate solvents and laitance deposits must be thoroughly removed by hand wire brushing or other appropriate means.
7. Surfaces are to be dry and free of gross residue. Surfaces should be thoroughly washed with strong detergent (Benjamin Moore's M83 Oil and Grease Emulsifier) to remove all grease, oil, and soap residue.
8. Prime all new masonry with Benjamin Moore's Masonry Conditioner #608 Line.
9. Prime new wood using Benjamin Moore's Fresh Start #024
10. Finish all exterior masonry and wood using Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision.

D. EXTERIOR METAL SURFACES TO BE PAINTED
1. Surfaces to be painted shall be cleaned with an appropriate solvent or detergent solution to remove all traces of dirt, dust, grime, and oily residues prior to application of the specified coatings in accordance with SSPC-SP1-68 solvent cleaning.
2. Loose, peeling, blistering and flaking paint and rust shall be removed by wire brush, scraping or sanding. Surfaces with a hard shiny finish should be dulled by sandpaper or other abrasive methods to insure adhesion of succeeding coats.
3. Glossy surfaces should be dulled by sanding.
4. To the properly prepared surface prime using Benjamin Moore's Corotech V10 Acrylic Metal Primer
5. Finish all exterior metal surfaces using Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision.

COATINGS SCHEDULE
A. INTERIOR WALLS AND CEILINGS
1) Prime Coat - One Coat Benjamin Moore's Fresh Start Primer #024
2) Finish Coat Walls - Two Coats of Benjamin Moore's Regal Select Interior Flat #547 Line.
3) Finish Coat Ceilings - Two Coats of Benjamin Moore's #508 Waterborne Ceiling Paint
B. INTERIOR DOORS AND TRIM
1) Prime Coat - One Coat Benjamin Moore's Fresh Start Primer #024.
2) Finish Coat - Two Coats Benjamin Moore's Advance Waterborne Interior Alkyd Satin Finish #142
C. EXTERIOR MASONRY SURFACES
1) Prime Coat - One Coat Benjamin Moore's Masonry Conditioner #608
2) Finish Coat - Two Coats Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision.
D. EXTERIOR WOOD SURFACES
1) Prime Coat - One Coat Benjamin Moore's Fresh Start #024
2) Finish Coat - Two Coats Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision
E. EXTERIOR METAL SURFACES
3) Prime Coat - One Coat Benjamin Moore's Corotech V10 Acrylic Metal Primer
4) Finish Coat - Two Coats Benjamin Moore's Regal Select N400 Flat or Benjamin Moore's Regal Select N401 Low Lustre, depending on the owner's decision
GALVANIZED STEEL COATING SYSTEM SHORT FORM SYSTEM RECOMMENDATION SURFACE PREPARATION:
PRIOR TO MECHANICAL CLEANING, ALL SURFACES SHOULD BE CLEANED WITH CARBOLINE SURFACE CLEANER 9 TO REMOVE ALL DIRT, DUST, OIL, GREASE AND OTHER SOLUBLE CONTAMINATES IN ACCORDANCE WITH SSPC-SP1 SOLVENT CLEANING. FOLLOW WITH A FRESH WATER RINSE OF ALL SURFACES TO BE PREPARED. LIGHTLY SAND ALL GALVANIZED SURFACES TO PROVIDE AN ANCHOR PROFILE FOR BETTER ADHESION CHARACTERISTICS USING 60-80 GRIT SAND PAPER.
COATING SYSTEM:
PRIMER: APPLY A FULL COAT OF GALOSEAL WB AT 0.5-1.0 MILS DFT TO ALL PREPARED SURFACES
FINISH: APPLY A FULL COAT OF CARBOTHANE 133 HB AT 3.0-5.0 MILS DFT TO ALL PRIMED SURFACES

NOTES:
1. COLOR SHALL BE WHITE OR AS SELECTED BY OWNER
2. SEE PAINT NOTES FOR SUBSTRATE PREP AND SEAL
3. ALL DOORS ON ONE KEY - EXTERIOR & INTERIOR TO COORDINATE
4. PROVIDE WATER RESISTANT GYPSUM WALLBOARD IN ALL NET LOCATIONS, WHERE NEEDED

LEGEND

NOTE: SEE PAINT NOTES FOR ALL FINISHES TYP.

FLOOR FINISHES
F-1: PORCELAIN TILE TO BE SELECTED BY OWNER
F-2: POLISHED CONCRETE FLOOR SEALED
F-3: WOOD FLOORING TO BE SELECTED BY OWNER

BASE FINISHES
B-1: BASE AND CASING ARE FINGER JOINT PINE PRIMED. 1 1/16 X 3-1/2" FOR THE BASE AND 9/16 X 3-1/2" FOR THE CASING
B-2: REVEAL BASE BY 'FRY REGLET'. ALL 1/2" REVEAL FIN.FL. TO DRYWALL 5/8 - CLEAR ANODIZED PAINTED. SEE DTL IA 5/10

CEILING FINISHES
C-1: 5/8" GYPSUM WALL BOARD, PAINTED - SEE PAINT NOTES, MIN. LEVEL 5 DRYWALL FINISH, UNLESS OTHERWISE APPROVED BY OWNER.
C-2: 1x6 WOOD 6" x 3/4"

WALL FINISHES
W-1: 5/8" GYPSUM WALLBOARD, PAINTED - SEE PAINT NOTES, MIN. LEVEL 5 DRYWALL FINISH, UNLESS OTHERWISE APPROVED BY OWNER.
W-2: TILE - COLOR, SIZE, EXACT LOCATION TBD BY OWNER
W-3: 5/8" GYPSUM WALLBOARD WITH QUIET 55 MOLD RESISTANT BY OWENS CORNING.COM

DOOR TYPES
1. FLUSH: FRAMELESS DOOR BY INSENSATION.COM OR INDUSTRIESDORR.COM. SEE ATJ FOR DETAILS
2. RAYNOR SHOWCASE OVERHEAD SECTIONAL DOUBLE STEEL INSULATED GARAGE DOOR - WHITE W/ #8550 LIFTMASTER KEYLESS ENTRY AND 2 TRANSMITTERS

HARDWARE GROUP. SUBMIT SHOP DWGS FOR ARCHITECT'S APPROVAL.
1. PRIVACY PASSAGE W/ WALL DOOR STOP EMTEK P.L.
2. PASSAGE W/ CYLINDER LOCK TURN KEY INSIDE - EMTEK P.L. SQUARE ROSE W/ WEATHER STRIPPING AND THRESHOLD STOP
3. POCKET DOOR - EMTEK - P.L.
4. PASSAGE - EMTEK P.L. W/ WALL DOOR STOP
5. PULL - BY CRL
6. RAYNOR SHOWCASE OVERHEAD SECTIONAL DOUBLE STEEL INSULATED GARAGE DOOR - WHITE W/ #8550 LIFTMASTER KEYLESS ENTRY AND 2 TRANSMITTERS

NOTES:
1. COLOR SHALL BE SUPER WHITE BY BM
2. SEE PAINT NOTES FOR SUBSTRATE PREP AND SEAL
3. ALL DOORS ON ONE KEY - EXTERIOR & INTERIOR TO COORDINATE
4. PROVIDE WATER RESISTANT GYPSUM WALLBOARD IN ALL NET LOCATIONS, WHERE NEEDED
5. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL FOR ALL FINISHES, DOOR, HARDWARE

SILBERSTEIN ARCHITECTURE

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PERMIT SET

NO.	REVISIONS	DATE
1	TAC COMMENTS	6.2.22
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PRINT DATE:
SEPTEMBER 21, 2022

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