



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 415-417-419 E. Atlantic Ave (2020-214)

Project Location: 415-417-419 E. Atlantic Avenue

Request: Class I Site Plan Modification

PCN: 12-43-46-16-C6-000-0010 / -0020 / -0030

Board: Site Plan Review and Appearance Board

Meeting Date: September 23, 2020

Board Vote: (6-0)

Board Action:

Approved the Class I Site Plan Modification (6-0 vote) for 415-417-419 E. Atlantic Avenue, by finding the request is consistent with the Comprehensive Plan and Land Development Regulations.

Project Description:

The subject property is located on the north side of East Atlantic Avenue between NE 4th Avenue and NE 5th Avenue within the Central Business District (CBD). The property contains a two-story commercial and office building originally constructed in 1998. Its current use is retail on the first floor and office on the second floor.

The proposed architectural elevation changes includes a color change to the façade to be in a White color style, material change of the existing awning to “Dusky Blue”, introduction of a new storefront with an aluminum frame painted in “Arcadia Silver” for Unit 415, and a new door and awning for Unit 419.

Board Comments:

N/A

Public Comments:

N/A

Associated Actions:

N/A

Next Action: The SPRAB action is final unless appealed by the City Commission.



EXISTING BUILDING NO SCALE

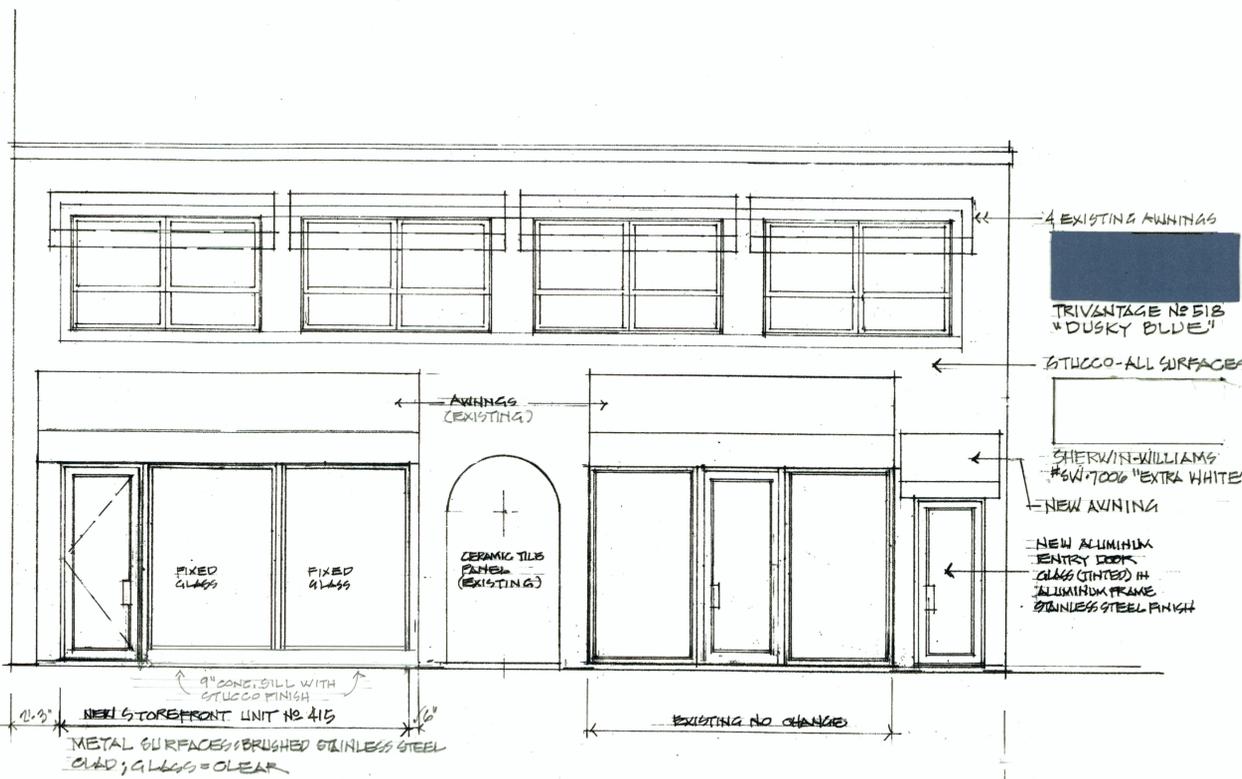
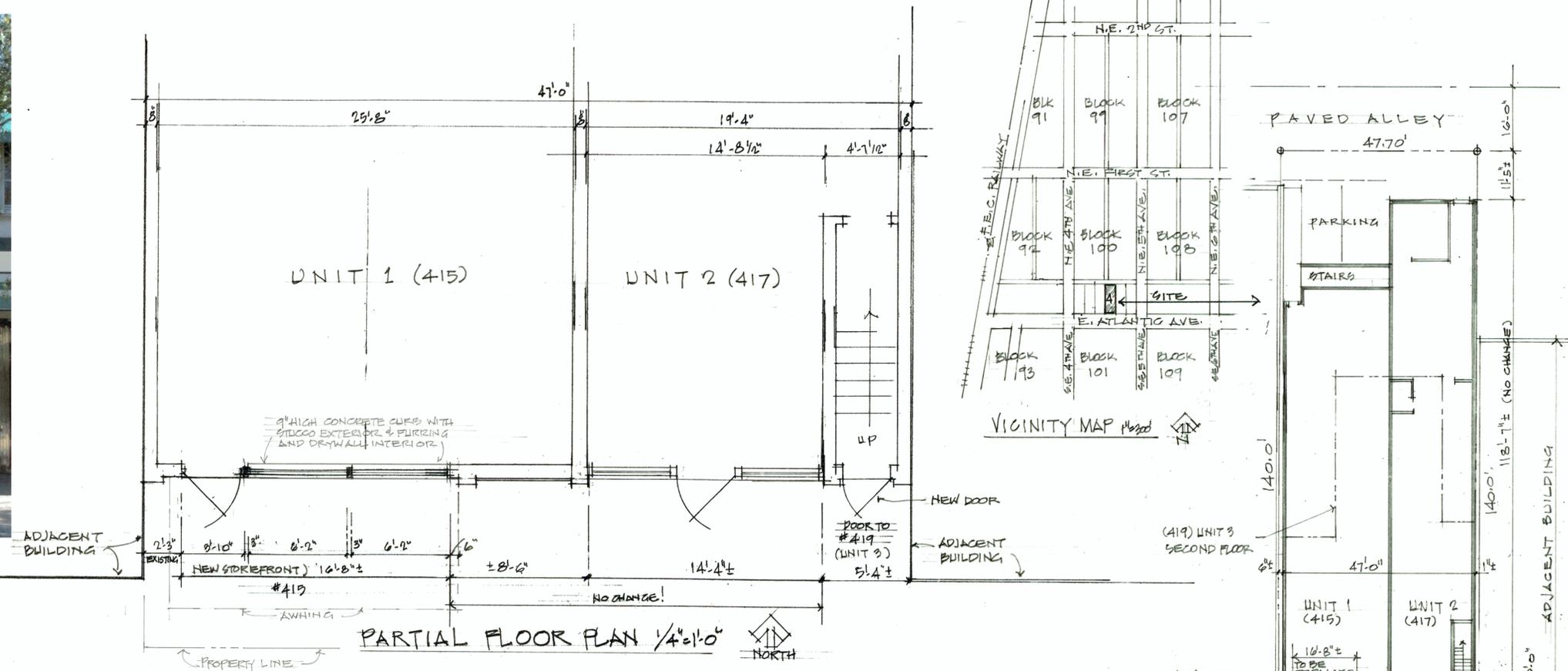
PROJECT DESCRIPTION

THE PROPOSED WORK OF THIS PROJECT INCLUDES THE FOLLOWING:

- UNIT 1 (415):**
 - REMOVE EXISTING GLASS STORE-FRONT, INCLUDING ENTRANCE DOOR, WINDOW AND SILL BELOW, AND OTHER NOTED STRUCTURES, PROVIDING A CLEAR OPENING 16'-8" WIDE BY 9'-0" HIGH, AND PREPARE OPENING FOR NEW STORE-FRONT INSTALLATION.
 - INSTALL NEW GLAZED ALUMINUM DOOR AND STORE FRONT, BRUSHED STAINLESS STEEL FINISH, MATCHING THAT IN UNIT 2 (417); GLAZING TO BE CLEAR GLASS.
- UNIT 3 (419):**
 - REPLACE EXISTING WOOD DOOR AND FRAME WITH NEW GLAZED ALL-MINUM ENTRANCE DOOR AND FRAME, COMPLETE WITH LOCKSET, CLOSER, BRUSHED STAINLESS STEEL FINISH AND TINTED GLASS.
- THE BUILDING:**
 - PAINT THE BUILDING WITH SHERWIN-WILLIAMS PAINT No. SW 7006 "EXTRA WHITE", SATIN FINISH, AND RECOVER THE AWNINGS ARE WITH NEW VINYL MATERIAL No. 518 "DUSKY BLUE".



PROPOSED RENOVATION NO SCALE



PROPOSED ELEVATION 1/4"=1'-0"



SITE PLAN 1/16"=1'-0"
 EXISTING STOREFRONT TO BE REMOVED & REPLACED.

SITE DEVELOPMENT DATA
 PROPERTY CONTROL NUMBER: 12-43-46-16-C4-001-0000
 PROPERTY ADDRESS: 415 - 419 EAST ATLANTIC AVENUE, DELRAY BEACH, FLORIDA 33483
 PROPERTY DESCRIPTION: BLAIR'S DOWNTOWN SUBDIVISION, LOT 5, BLOCK 100, DELRAY BEACH, FLORIDA, AS RECORDED IN THE PUBLIC RECORDS, PALM BEACH COUNTY, FLORIDA, PLAT BOOK 69, PAGE 122

EXTERIOR RENOVATIONS TO COMMERCIAL BUILDING
 415 - 419 E. ATLANTIC AVENUE, DELRAY BEACH, FL 33483
FOR BLAIR'S DOWNTOWN CODOMINIUM ASSN.
 439 E. ATLANTIC AVENUE, DELRAY BEACH, FLA. 33483

FLOOR PLAN/SITE PLAN/ELEVATION AND NOTES

SCALE: AS NOTED	APPROVED BY:	DRAWN BY: RMS
DATE: 7-02-20		REVISED: 5/17/20
ROY M. SIMON, A.I.A., ARCHITECT		
766 S.E. FIFTH AVENUE, DELRAY BEACH, FL 33483		
FLORIDA REGISTRATION No. AR2595	PROJECT No. 2007	DRAWING NUMBER 1 OF 1

GENERAL NOTES

CONSTRUCTION

ALL CONSTRUCTION SHALL CONFORM TO THE FLORIDA BUILDING CODE / EXISTING / ALTERATIONS - LEVEL 1, AND THESE CONSTRUCTION CONTRACT DOCUMENTS. SHORE EXISTING AS REQUIRED FOR SAFETY AND FOR MAINTAINING STRUCTURAL INTEGRITY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION TECHNIQUES AND SAFETY PROCEDURES.

DO NOT SCALE DRAWINGS! VERIFY DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR VARIATIONS PRIOR TO PROCEEDING.

CONNECTION OF NEW TO EXISTING

CLEAN EXISTING CONCRETE OR MASONRY SURFACES OF NEW OPENING TO BASE SUBSTRATA, REMOVING ALL STUCCO, PAINT, ETC. AND CLEAN WITH POTABLE WATER. AT FLOOR TO STEM WALL CONNECTION, DRILL 6" INTO EXISTING CONCRETE SLAB AND EMBED #4 J-DOWELS IN BED OF EPOXY @ 12" CENTERS.

USE 3000 P.S.I. CONCRETE FOR NEW STEMWALL AND FOR REPAIR WORK.

DRYWALL

SCOPE: AT NEW WORK AND WHERE REQUIRED TO REPAIR EXISTING SURFACES, FURNISH AND INSTALL 'DRYWALL' SYSTEM USING 5/8" THICK TYPE 'X' (FIRE-RATED) GYPSUM BOARDS WITH 'TAPERED EDGES' SHEETROCK OR EQUAL. FASTENERS SHALL BE 1-1/4" (MIN) 'SUPER-TITE' SCREWS, SPACED AS REQUIRED BY THE MANUFACTURER. TAPE JOINTS AND APPLY JOINT COMPOUND. AFTER SANDING TO LEVEL SURFACE, APPLY ONE COAT OF 'SHEETROCK FIRST COAT' OVER ENTIRE SURFACE. SURFACE FINISH TO MATCH EXISTING AND ADJACENT SURFACES.

STUCCO

- ALL NEW AND REPAIRED EXTERIOR SURFACES SHALL RECEIVE STUCCO, APPLIED IN TWO COATS PRODUCING A MINIMUM THICKNESS OF 5/8" UNLESS OTHERWISE INDICATED. APPLY BOTH COATS TO DAMPENED SURFACES. EACH COAT SHALL BE NOT LESS THAN 1/4" THICK NOR MORE THAN 3/8" THICK. THE FINISH COAT SHALL BE TROWELED TO LEVEL, WITH FINISH MATCHING EXISTING ADJACENT FINISH SURFACE. THE UNDERCOAT SHALL BE CROSS-SCRATCHED AND WETTED BEFORE THE FINAL COAT IS APPLIED. USE BONDING AGENT FOR STUCCO APPLICATIONS TO CONCRETE SURFACES.
- AT EXISTING EXTERIOR WALL SURFACES, PRESSURE CLEAN, APPLY BONDING AGENT, AND APPLY ONE COAT OF CEMENT STUCCO AS NOTED ABOVE.
- STUCCO MORTAR SHALL BE COMPOSED OF ONE PART OF CEMENT, THREE PARTS SAND, AND ONE-TENTH PART HYDRATED LIME BY VOLUME.
- AT FRAME CONSTRUCTION APPLY STUCCO OVER METAL RIBBED LATH OVER WATER-PROOF BARRIER. APPLY MEMBRANE FLASHING AT STOREFRONT OPENINGS.
- WORKMANSHIP: ALL STUCCO WORK SHALL BE UNIFORM, TRUE, EVEN AND STRAIGHT. ALL ANGLES, CORNERS AND ARRISSES SHALL BE PLUMB, STRAIGHT. THIS WORK SHALL BE DONE IN THE BEST WORKMANLIKE MANNER.

GLAZED STORE-FRONT AND DOOR

GENERAL: NEW GLAZED STORE FRONT AND DOOR SHALL BE SELECTED SYSTEM AS MANUFACTURED BY CGI WINDOWS AND DOORS, INC. OR BY SMI ALUMINUM SYSTEM, LLC. ALL PRODUCTS SHALL MEET OR EXCEED THE REQUIREMENT FOR HURRICANE AND IMPACT RESISTANCE AND THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. EVIDENCE OF COMPLIANCE SHALL BE SUBMITTED FOR APPROVAL.

MATERIALS:

- STOREFRONT SYSTEM: SERIES "SS-3500" ALUMINUM STOREFRONT SYSTEM - L.M.I. (N.O.A. No. 17-1114.02). PROVIDE REINFORCEMENT FOR DOOR/WINDOW FRAMES, AS REQUIRED FOR DESIGNATED WIND LOADS.
- DOORS: SERIES "SE-3550" OUTSWING ALUMINUM ENTRANCE DOOR (N.O.A. No. 17-1114.01) WITH CONCEALED AUTOMATIC CLOSER WITH HOLD-OPEN AND ADA THRESHOLD.
- GLAZING: ALL GLASS SHALL BE LAMINATED, IMPACT RESISTANT GLASS, CLEAR AT STOREFRONT (415) AND GREY TINT AT DOOR TO STAIRS (419).
- FINISH: ALL EXPOSED METAL SURFACES, INCLUDING DOOR HANDLES, HARDWARE, AND TRIM, SHALL BE ~~BRUSHED STAINLESS STEEL~~ **ANODIZED ALUMINUM AND WHITE AT UNIT 415.**

INSTALLATION: ~~SEE DRAWING FOR DETAILS~~ **SEE DRAWING FOR DETAILS**

- ALL UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE RESPECTIVE "NOTICE OF ACCEPTANCE". THE FOLLOWING ANCHORS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, SPACED IN ACCORD WITH THE RESPECTIVE N.O.A.:
 - TYPE 'A': 1/2" DIAMETER 'ULTRACON' BY 'ELCO' INTO WOOD HEADER, WITH 1 1/2" MINIMUM PENETRATION INTO WOOD.
 - TYPE 'B': 3/8" DIAMETER 'ULTRACON' BY 'ELCO', 1 1/2" MINIMUM EMBED IN CONCRETE
 - TYPE 'C': 1/2" DIAMETER 'TEKS' OR SELF DRILLING SCREWS INTO STEEL MULLIONS.

- N.O.A. No. 17-1114.01: SERIES "SE-3500" OUTSWING ALUMINUM STOREFRONT ENTRANCE DOOR.
- N.O.A. No. 17-1114.02: SERIES "SS-3500" ALUMINUM STOREFRONT SYSTEM

- ALL ANCHORS SHALL BE CORROSION RESISTANT AND SHALL MEET THE CRITERIA OF THE RESPECTIVE "NOTICE OF ACCEPTANCE". THE FOLLOWING ANCHORS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, SPACED IN ACCORD WITH THE RESPECTIVE N.O.A.:
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 - TYPE 'C': 1/2" DIAMETER 'TEKS' OR SELF DRILLING SCREWS INTO STEEL MULLIONS.

PAINTING

SCOPE: THE CONTRACTOR SHALL PREPARE AND PAINT ALL NEW AND EXISTING SURFACES OF THE FRONT WALL, INTERIOR AND EXTERIOR, WITHIN THE AREA OF ALTERATION. CLEAN, SAND AND OTHERWISE REMOVE LOOSE, FLAKED MATERIAL. SUPPLY SEALERS, PRIME AND FINISH COATS AS SPECIFIED. PAINT COLORS SHALL MATCH EXISTING.

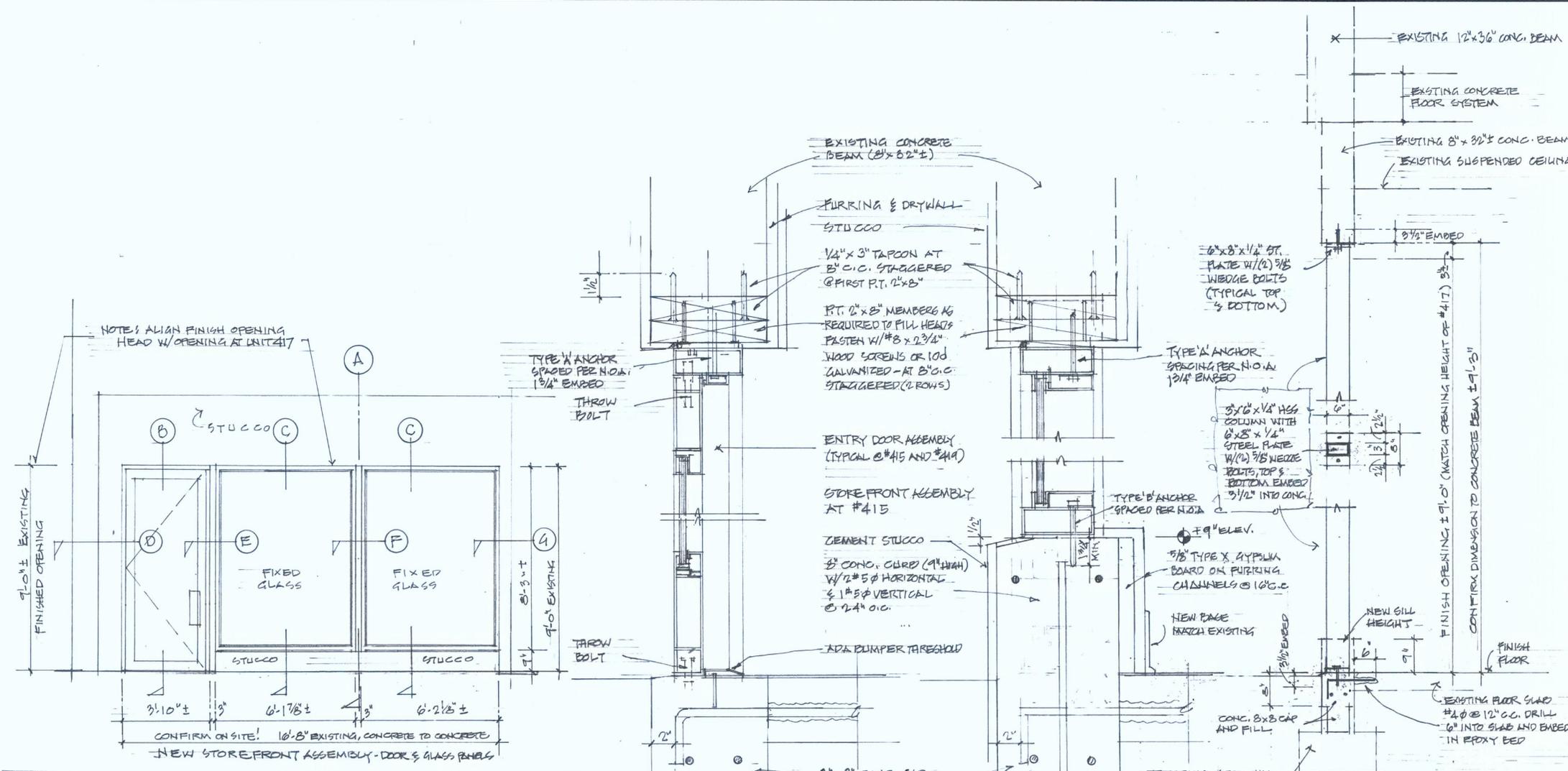
APPLICATION:

- STUCCO: 1st COAT: WATERPROOFING SEALER - "GLID-SEAL" OR EQUAL.
- 2nd COAT: SHERWIN-WILLIAMS No. SW 7008 (COLOR "EXTRA WHITE") EXTERIOR SATIN FINISH ACRYLIC LATEX MIXED WITH SEALER AT MAXIMUM RATE OF 1/2 GALLON SEALER TO 5 GALLONS PAINT.
- INTERIOR SURFACES: MATCH EXISTING ADJACENT SURFACES, 2 COATS OF LATEX
- CAULKING: CAULK ENTIRE PERIMETER OF NEW DOOR/WINDOW OPENINGS WITH PRC BUTYL COMPOUND OR APPROVED EQUAL

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STOREFRONT DETAILS & SPECS

SCALE: AS NOTED	APPROVED BY: <i>Roy M. Simon</i>	DRAWN BY: <i>RMS</i>
DATE: JULY 07, 2007	REVISIONS: 8/27/10	REVISIONS: 8/27/10
ROY M. SIMON, AIA, ARCHITECT 766 S.E. FIFTH AVENUE, DELRAY BEACH, FL 33483 561-278-1914		
FLORIDA REGISTRATION No. AR2595	PROJECT No. 2007	DRAWING NUMBER 20 of 2



PARTIAL ELEVATION - PROPOSED - UNIT 1 (415)

3/8" = 1'-0"
REVIS: 8/27/10 - ADDED 9" SILL AT STOREFRONT

(B) SECTION @ ENTRY DOOR

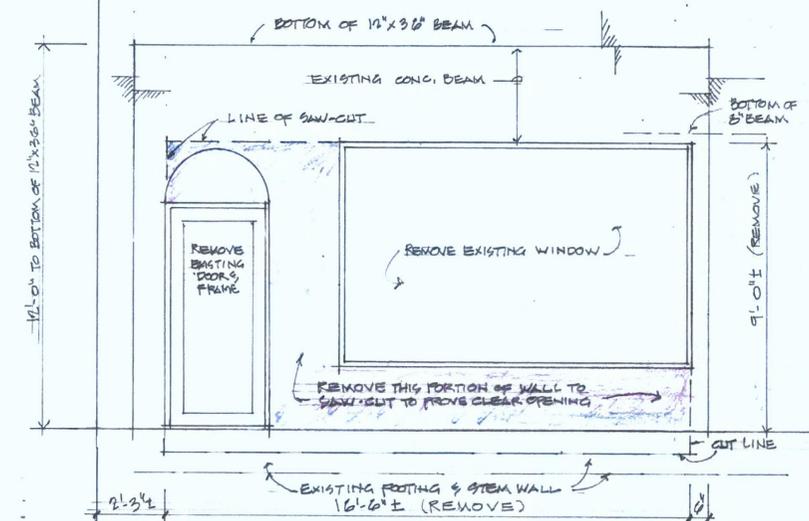
3" = 1'-0"

(C) SECTION @ STOREFRONT

3" = 1'-0"
REVIS: 8/27/10 - ADD CONC. CURB 9" HIGH AT DETAILS (A) & (C)

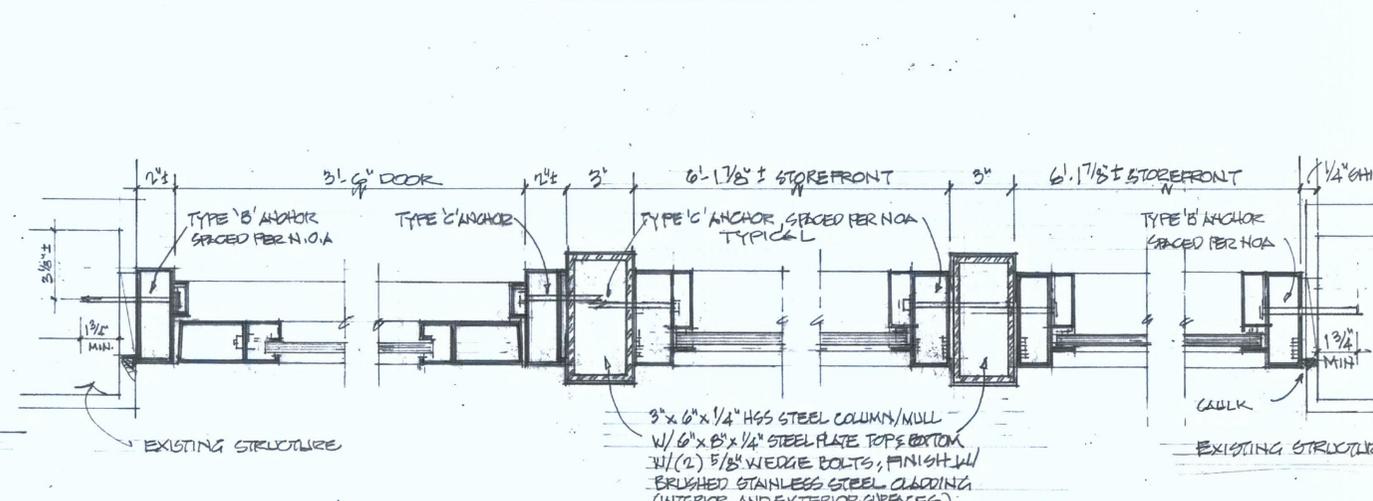
(A) SECTION @ STEEL COLUMN & MULLION

3/4" = 1'-0"



PARTIAL ELEVATION - UNIT 1 (415) EXISTING

3/8" = 1'-0"



(D) SECTION @ DOOR JAMB

(E) SECTION @ DOOR WINDOW MULLION

(F) SECTION @ MULLION WINDOW/WINDOW

(G) SECTION @ WINDOW JAMB

STOREFRONT DETAILS

3" = 1'-0"
REFER TO SPECS FOR ANCHORS, ETC.
NOTE: SECTIONS 'B' & 'D' APPLY TO

REVISIONS
8/27/10 - REVISED STOREFRONT W/ 9" SILL @ ELEVATION
SECTIONS A & C (REVISED METAL FINISH)