



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

PLANNING AND ZONING BOARD STAFF REPORT

Harbour's Edge

Meeting	File No.	Application Type
February 26, 2024	2023-226	Level 3 Site Plan
Property Owner	Agent	
Lifespace Communities, Inc.	Yoan Machado, WGI, Inc.	

Request

Consideration of a Level 3 Site Plan, Landscape Plan, and Architectural Elevations for the construction of a 40 bed, three-story, assisted living and memory care facility at the existing Harbour's Edge continuing care retirement community, located at 401 East Linton Boulevard.

Site Data & Information

Location: 401 East Linton Boulevard

PCN: 12-43-46-21-50-001-0000

Property Size: 20.45 acres (890,802 square feet)

Land Use Designation: Medium Density (MD)

Zoning: Medium Density Residential (RM)

Adjacent Zoning:

- **North:** RM
- **East:** Intracoastal Waterway
- **South:** Special Activities District (SAD)
- **West:** Planned Commercial (PC)

Existing Use:

54 Assisted Living units and 266 Independent Living units

Proposed Addition:

+/- 39,990 square foot, three-story, 40 Bed assisted living/memory care unit, and minor site modifications on the property.

Density:

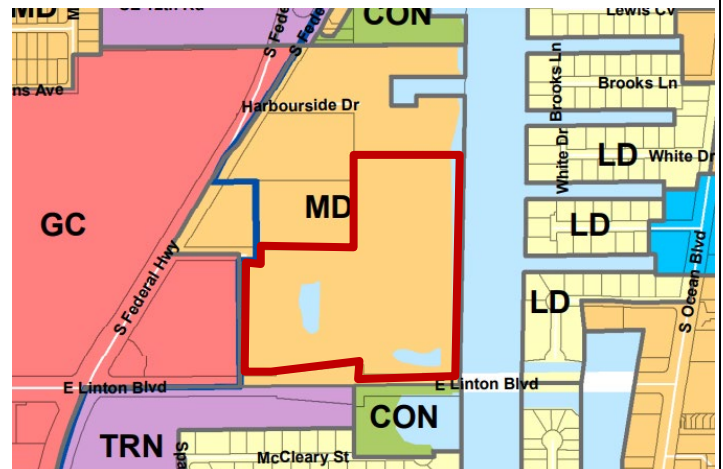
- **Maximum Allowed:** 12 du/ac (245 units)
- **Existing:** 266 du/ac (legal non-conformity)

Lot Coverage:

- **Maximum Allowed:** 40%
- **Proposed:** 36%



Location Map



Land Use

Background

Situated at the northwest intersection of East Linton Boulevard and the Intracoastal Waterway, the subject property obtained approval in 1983 through a Conditional Use and a Class V Site Plan, establishing itself as a 20.45-acre continuing care retirement community. The diverse offerings include independent living, assisted living, and skilled nursing, housed across several buildings (aerial image below) comprising 266 dwelling units, 54 healthcare beds, garage and surface parking, an administrative center, and various amenities, the majority of which was built in 1987.

The subsequent site plan modifications at Harbour's Edge include the following:

- **November 30, 2011.** The Site Plan Review and Appearance Board (SPRAB) approved a Class III site plan modification, landscape plan, and architectural elevations associated with the expansion and upgrade of the Commons building and the Health Care facility for Harbor's Edge.
- **October 24, 2012.** The SPRAB approved a Class III site plan modification, landscape plan, and architectural elevations for Harbor's Edge associated with the renovation of the Clubhouse and addition of a Life Learning Center and Terrace Level Dining Area. The Class III Site Plan modification approval expired on October 24, 2014.
- **December 10, 2014.** The SPRAB approved an extension request for a period of 24 months (expiring October 24, 2016).
- **October 16, 2019.** The SPRAB Board approved a Class II Site Plan Modification for repaving and restriping the surface parking lot.



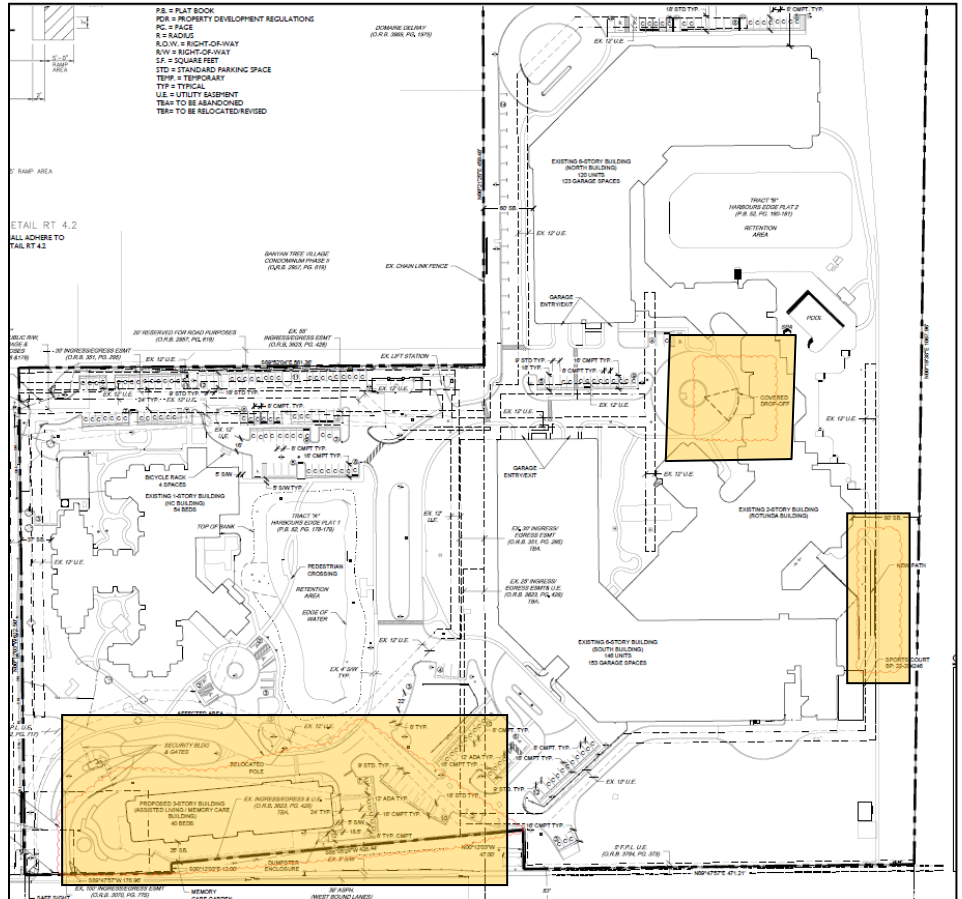
When the site plan was approved in 1983, the property was zoned RM-15, Multiple Family Residential, which had a maximum density of 15 dwelling units per acre, allowing for up to 306 dwelling units per the 1983 approved site plan. A pivotal shift occurred in 1990 during the Citywide rezoning, when the property was rezoned from RM-15 to RM. The new RM zoning has a standard density 6 to 12 dwelling units per acre. While the current RM zoning would allow a maximum of 245 dwelling units, if the property were developed today, it is important to note that the site is vested with 306 units, and the existing 266 units and 54 nursing home beds are a legal non-conformity with respect to density. It is also crucial to note that the bed count is excluded from the density calculation, as elaborated in subsequent sections of this report.

Description of Proposal

The applicant is requesting approval of a Level 3 site plan for a new three-story, 39,990 square foot assisted living and memory care facility, positioned on the southwest side of the campus, adjacent to East Linton Boulevard. The application also includes site improvements to the rest of the campus. The proposed facility is designed to accommodate 40 beds, with a particular emphasis on enhanced memory care services. The existing administrative offices will be demolished to accommodate the proposed building; a demolition plan is included in the request.

The uses in the new facility will be arranged as follows, with the site plan layout provided in the image below (areas being modified highlighted in yellow):

- **Floor 1.** 16 beds dedicated to memory care, along with essential amenities that include a salon, activity room, kitchen, and dining hall.
- **Floor 2.** The second floor is designed to house 12 assisted living rooms, a lounge, dining area, and a pub, that the applicant has designed to foster a vibrant community atmosphere.
- **Floor 3.** An additional 12 assisted living bedrooms, a fitness center, and an activity room.
- **Roof.** The roof will house the mechanical equipment, including the required generators, and will be screened by the parapet of the building.
- **Parking.** The site's current parking capacity stands at 489 spaces, while 455 parking spaces are required.
- **Site Improvements.** Outdoor site improvements are proposed to enhance both the functional and recreational aspects of the community.
 - A new covered drop-off structure is proposed for the main building, as part of this application, with minimal alterations to the existing parking configuration and landscaping. Parking adjustments around the proposed building will be made to accommodate a new dumpster enclosure.
 - Landscape enhancements will encompass interior spaces, barriers, and foundations around the affected areas.
 - A new pedestrian pathway and sports court on the southeast side along the Intracoastal Waterway (initially submitted as a separate application). The sports court addition has recently received approval through building permit 22-204246; this component of the site plan is a retroactive approval.



Review & Analysis

Site Plan and Zoning

LDR Section 2.4.10, Site Plan Applications

The request is considered a Level 3 Site Plan, which is subject to compliance with the required findings in Chapter 3, Performance Standards.

LDR Section 3.1.1 Required Findings

Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.

The Required Findings relate to the land use map, concurrency, consistency, and compliance with the comprehensive plan. Compliance with the required findings is discussed below.

(A) Land Use Map. *The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.*

The subject property has a Land Use Map designation of Medium Density (MD), and a zoning designation of Medium Density Residential (RM). Pursuant to Table NDC-1 of the Always Delray Comprehensive Plan, RM is one of the two preferred zoning districts for the implementation of the MD land use designation. This deliberate compatibility between land use and zoning designations is a crucial element in ensuring a harmonious and purposeful development. Additionally, the use as an assisted living facility is allowed in the RM zoning district. This compatibility is a key factor in the analysis, indicating that both the existing and resulting use of the property is consistent with the zoning regulations.

The expansion of the assisted living facility use on the subject property not only complies with the zoning district regulations, but is also in harmony with many broader land use goals in the Comprehensive Plan (discussed in detail below). This alignment ensures that the development not only meets the necessary criteria but also contributes positively to the overall planning objectives and community vision.

(B) Concurrency. *Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.*

Potable Water and Sewer: Water and sewer services will be provided through the connection to existing water lines (6" and 8") and sewer lines (6" Ductile Iron). Harbour's Edge stands as the sole contributor to the sanitary sewer lift station. To prevent pump clogging resulting from debris entering the sanitary sewer system, the applicant must upgrade the pumps in the lift station to grinder-style pumps. Pursuant to the Always Delray Comprehensive Plan, there is ample treatment capacity available at both the City's Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out. Given the project's adjacency to an FDOT roadway, it is important to note that, prior to the issuance of a building permit, a Hold Harmless Agreement with FDOT may be required if water or sewer connections are made in the FDOT right-of-way.

Drainage. Drainage and water run-off will be addressed through on-site retention.

Transportation: A Traffic Impact Statement, performed by JFO Group Inc., has been provided indicating that the project will result in 104 new daily trips and 20 peak hour trips. The Traffic Performance Standards (TPS) letter from Palm Beach County, dated April 18, 2023, states that the proposed development meets the TPS of Palm Beach County.

Parks and Open Space: Not applicable. Parks impact fees are only required for residential development.

Solid Waste: Based on the Waste Generation Rates for Palm Beach County, the proposed three-story assisted living and memory care building will generate 118 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.

Public School: Not applicable. The facility is not a residential use and is inherently age-restricted.

(C) Consistency. *A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.*

LDR Section 3.2.1, Basis for Determining Consistency requires a determination of overall consistency with the Comprehensive Plan, and **LDR Section 3.2.3, Standards for site plan and/or plat actions** provides standards for site plan actions (discussed further below). **LDR Section 3.2.4, Standards for Specific Areas or Purposes** addresses development compliance in flood-prone areas. The proposed site plan modification generally aligns with each of these standards, and there are no identified concerns regarding its overall consistency with Article 3.2.

LDR Section 3.2.1. The following applicable objectives or policies from the Always Delray Comprehensive Plan apply to the request.

Housing Element

Policy HOU 3.1.6: *Do not increase the net density within the Coastal High Hazard Area.*

Policy HOU 5.1.3: *Allow and encourage housing options for older adults and residents with disabilities, including designs that allow for independent living, various degrees of assisted living, and/or skilled nursing care, where there is access to on-site health care and other services and amenities.*

Policy HOU 5.1.8: *Support programs that provide assistance to seniors and disabled individuals for home improvements which enhance livability and quality of life.*

The proposed development is generally consistent with the overarching goals of the Housing Element, which encourages housing options for older adults and individuals with disabilities. The Housing Element also emphasizes the need for diverse designs accommodating independent living, various degrees of assisted living, and skilled nursing care, ensuring access to on-site health care and amenities. The proposed addition of 40 assisted living and memory care beds signifies a proactive approach to providing additional care for residents as their needs change, aligning seamlessly with the Comprehensive Plan's vision.

Neighborhoods, Districts, and Corridors Element

Policy NDC 2.1.2 *The City shall not increase the net density within the Coastal High Hazard Area, including through incentive programs, zoning changes, or land use designation amendments.*

Coastal Management Element

Policy CME 1.1.1 *Define the Coastal Planning Area to include offshore reefs, the barrier island, all inland properties located along waterways that adjoin the Intracoastal Waterway westward including properties within a special flood hazard area.*

Policy CME 2.2.3 *Do not increase the net density within the Coastal High Hazard Area.*

Policy CME 4.1.1 *Define the Coastal High Hazard Area as the area extending from offshore inland, including special flood hazard areas and areas that are below the elevation of the category 1 storm surge line as established by a Sea, Lake and Overland Surges for Hurricanes computerized storm surge model, as described in F.S. 163.3178(2)(h).*

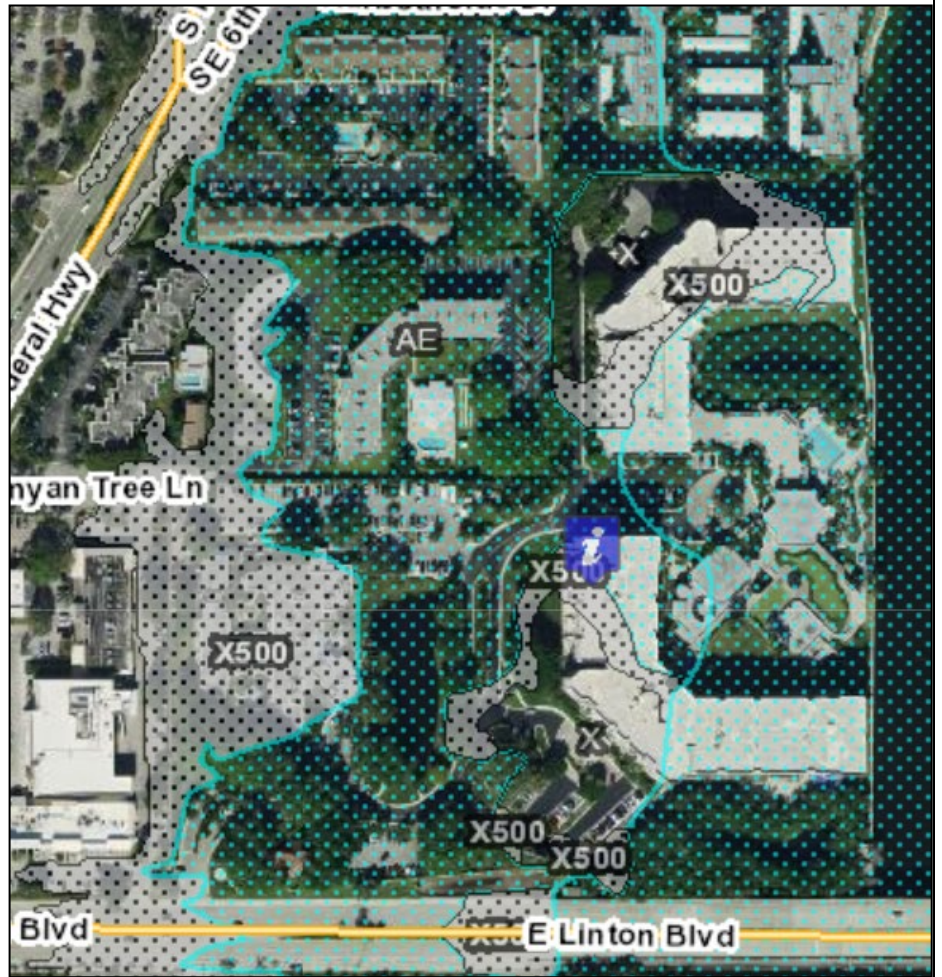
Objective CME 3.1 Resilience and Adaptation to Climate Change

Increase adaptability and resiliency to climate change impacts by developing and implementing a Sustainability and Climate Action Plan with vulnerability assessment including strategies that address coastal flooding, tidal events, storm surge, flash floods, storm water runoff, salt water intrusion and other impacts related to or exacerbated by sea level rise, changing precipitation patterns, temperature increases, and other climate change factors.

Policy CME 4.1.2 *Maintain a coastal high hazard evacuation time of 7-10 hours and reduce hurricane clearance times within the city as a component of maintaining and reducing evacuation times for Palm Beach County and the region.*

The subject property is located in a Flood Zone (AE6) within the Coastal High Hazard Area (map at right); the next official Flood Zone map update is updating the Flood Zone from AE6 to AE7. Flood Zone AE7 requires new construction to be built at a base elevation one foot higher than Flood Zone AE6. The proposed site plan is designed for the pending Flood Zone AE7 requirements, pursuant to the requirements in **LDR Section 3.2.4(D), Flood Prone Areas**.

A key aspect of the analysis revolves around the question of whether the proposed building is considered an increase in density, and therefore not allowed within the Coastal High Hazard Area. Pursuant to Table NDC-1 of the Comprehensive Plan, MD land use only has a density standard (based on dwelling unit count), not Floor Area Ratio (FAR), which measures intensity. A Dwelling Unit is defined as "One or more rooms connected together, designed to be occupied by one family, constituting a separate, independent housekeeping establishment and physically separated from any other dwelling unit which may be in the same structure, and which contains independent sanitation, living, cooking and sleeping facilities" (**LDR Appendix A, Definitions**). The 40 proposed memory care and assisted living beds do not have the components of a dwelling unit, and do not, therefore, qualify as dwelling units. Consequently, approval of the proposed development would not contravene the policies that discourage increased net density in the Coastal High Hazard Area.



According to Comprehensive Plan Policy CME 4.1.2, within the Coastal High Hazard area, the City should *maintain a coastal high hazard evacuation time of 7-10 hours and reduce hurricane clearance times within the city* in support of regional evacuation efforts. The application narrative discusses two neighboring retirement communities operated by Lifespace west of I-95 in Delray Beach, which the applicant states have the capacity to accommodate any residents evacuated from the subject property in case of an emergency. However, the evacuation plans for the municipalities are maintained with Palm Beach County, not the City. **Therefore, the applicant must notify Palm Beach County of the changes to include the proposed 40 beds.** It has been added as a technical note that **the applicant must provide proof of submittal to Palm Beach County Emergency services prior to issuance of a Certificate of Occupancy.**

Open Space and Recreation Element

Objective OPR 1.4 Private Development Requirements *Provide sufficient and appropriate park and recreational facilities to supplement the City's provision of recreation facilities and programs in private development, particularly residential, for the well-being of the future residents of the development.*

Policy OPR 1.4.1 *Continue to require the provision of sufficient open space in public and private development projects through the Land Development Regulations*

Harbour's Edge provides amenities that meet the intent of recreation requirements for private communities, that include a pool, walkway path, and sports court, which provide opportunities for a healthy lifestyle and social well-being.

LDR Section 3.2.3, Standards for site plan action. The following standards are applicable to the request:

- A. *Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.*
- B. *Open space enhancements and recreational amenities shall be provided to meet Objective OPR 1.4 and other requirements of the Goals, Objectives and Policies, as applicable, of both the Open Space, Parks, and Recreation Element and Conservation Element.*
- F. *Property shall be developed or redeveloped in a manner so that the use, intensity, and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services: are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.*
- H. *Consideration shall be given to the effect a development will have on the safety, livability, and stability of surrounding neighborhoods and residential areas. Factors such as but not limited to, noise, odors, dust, and traffic volumes and circulation patterns shall be reviewed and if found to result in a degradation of the surrounding areas, the project shall be modified accordingly or denied.*
- I. *Development shall not be approved if traffic associated with such development would create a new high accident location or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.*
- K. *Development shall not exceed the maximum limits established in the Table NDC-1, Land Use Designations: Density, Intensity, and Implementing Zoning Districts, of the Neighborhoods, Districts, and Corridors Element or specific standards established in the zoning districts that limit density (dwelling units per acre) or intensity (floor area ratio) and must adhere to whichever limit is lower. Development in areas included in density or incentive programs (i.e. workforce housing programs specified in Article 4.7-Family/Workforce Housing) may exceed the Standard density limit, up to the specified Revitalization/Incentive density established for the program: development in all other areas shall not exceed the Standard density.*
- L. *Development shall meet the intent of CSR 5, Energy Efficiently and Diverse Energy Mix and, where applicable, the requirements of LDR Section 7.11.1, Green Building Regulations.*

Harbour's Edge, positioned just south of East Linton Boulevard and alongside the Intracoastal Waterway, provides a comprehensive retirement community offering independent retirement living, assisted living facilities, and memory care. The campus provides residents with an array of amenities intended to serve their physical and social needs, including a pool, walking paths, dining halls, and transportation services.

The applicant is fully compliant with **LDR Section 7.11.1, Green Building Regulations**, which became effective November 1, 2023. New construction or addition(s) consisting of 15,000 square feet of Gross Floor Area, or up to 50,000 square feet in one or more buildings on a single parcel or as a part of a unified development, are required to achieve at least the minimum level of certification from a green building certification entity.

LDR Section 3.2.4, Standards for Specific Areas or Purposes. Subsection (D), Flood prone areas requires that *development proposed on land which is in a floodplain shall certify that the proper requirements for mitigation of potential flood damage have been provided.*

Currently, the continuing care retirement community campus falls within the AE6 flood zone, and upon the implementation of the new FEMA maps, it will be reclassified as AE7 which will increase the Base Floor Elevation by one foot. As discussed above, the proposed site plan complies with the AE7 classification.

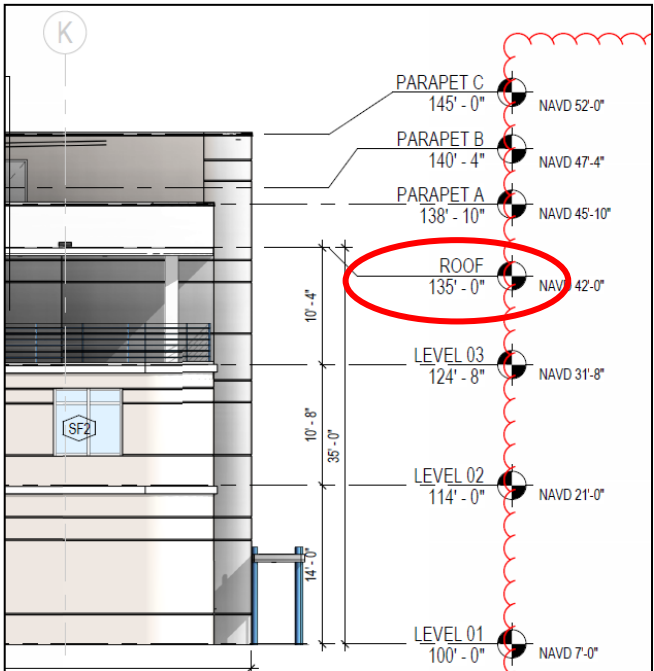
(D) Compliance with the LDR. *Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.*

LDR Section 4.4.6(B)(9), Medium Density Residential District

Assisted Living Facilities that do not comport with the definition of "community residence" and Continuing Care Facilities are a principal use in the RM zoning district.

Harbour's Edge is a long-established continuing care retirement community built on 20.45 acres, featuring 266 dwelling units and 54 assisted living beds. The campus consists of three main structures: the "north building," a 6-story structure with 120 units; the "south building," a 6-story building with 146 units; and the "Health Care Building" located on the west side of the campus, which accommodates 54 beds.

The applicable regulations are outlined in the table below.

Standard/Regulation	Review
<p>Setbacks Development Standards Matrix 4.3.4(K)</p> <p>Sports Court</p>	<p>Required: <i>Front Setback:</i> 1st and 2nd Floor 25 feet; 3rd Floor 30 feet. Proposed: <i>Front Setback:</i> 1st and 2nd Floor 25 feet; 3rd Floor 30 feet.</p> <p>The proposed building is located on the southwest part of the campus and only involves the front setback along Linton Boulevard.</p> <p>Required: Side Interior: 15 feet Proposed: Side Interior: 63 feet</p> <p>The sports court is located on the southeast side of the campus.</p>
<p>Height 4.3.4(J)(1)</p> <p>4.3.4(2)(b)(i),</p> <p>Table 4.3.4(J)(3)</p>	<p>Maximum: 45 Feet Proposed: 42 feet from the highest finish roofline</p> <p>The height of all structures within the City of Delray Beach shall be measured as the vertical distance from the base building elevation to the highest finished roof surface of a flat roof or to the mean level between tie beams and ridge for gable, hip, or gambrel roofs, except as provided below. The maximum height is established in the Development Standards Matrix for all structures within the respective zone district.</p> <p>Sites located within a FEMA designated SFHA, as amended, the base building elevation is established as the higher of the following:(i); the minimum required base flood elevation, as required by FEMA and the Florida Building Code (FBC), as amended, and allowing up to 12 inches for freeboard.</p> <p>Base Flood Elevation: Required: 6 feet NAVD Provided: 7 Feet NAVD</p> <p><i>The applicant has provided the BFE in anticipation of the FEMA Regulation changes.</i></p>  <p>Height Exceptions; Subject to action by the Approving Body: <i>Exception types that are "Subject to Action by the Approving Body" in Table 4.3.4(J)(3), require board action by the approving body and are subject to the following procedure:</i></p>

	<p>1. Documentation supporting the requested height exception must be provided, such as, but not limited to, massing study, line of sight diagrams, architectural proportion analysis, or roof area calculations, and justification statement addressing the necessity of the request and the criteria for board action in Section 4.6.18(E).</p> <p>2. The approving body shall make findings that the granting of the height exception meets the standards in Section 4.6.18(E), and Section 4.5.1(E), as applicable.</p> <p>Elevator and vestibule in nonresidential zoning districts: Maximum: Up to 10 Feet Proposed: 10 feet above the roofline</p> <p>Rooftop appurtenances in non-residential zoning districts: Maximum: More than 4 feet and up to 10 feet Proposed: 10 feet above the roofline</p>
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LDR Section 4.4.6(H)(1), Special Regulations.

Density may exceed the base of six units per acre only after the approving body makes a finding that the project has substantially complied with the performance standards in Section 4.3.3(BB), which are intended to mitigate the impacts of the increased density and ensure that the project is compatible with surrounding land uses.

As previously noted, assisted living facilities within the RM zoning district are not subject to either density or intensity. The form of the development is instead dictated by the zoning district development standards and standards for site plan actions, and compliance with the RM zoning district requirements is noted above. However, it is important to note that despite the existing legal non-conformities, the subject property would generally comply with the required findings for increased development density for the site relative to the 266 independent living units with kitchen facilities, if it was subject to them either at the time of site plan approval in 1983 or at present. The analysis of the performance standards is provided below.

LDR Section 4.3.3(BB)(4), Findings.

The approving body must make a finding that the development substantially complies with the performance standards listed in this section.

Performance Standard	Review
Traffic Circulation 4.3.3(BB)(3)(a)	The traffic circulation is established on site with the main ingress and egress off East Linton Boulevard. There is a secondary means of ingress and egress located off on Banyan Tree Lane.
Building placement to reduce massing and provide a feeling of open space 4.3.3(BB)(3)(b)	The continuing care retirement community complex has two independent living tower buildings, one story assisted living facility and an administrative office building. The proposed three story assisted living facility and memory care building is proposed along Linton Boulevard and will replace the existing administrative office building. The massing is not a concern as the proposed building will be located where there is an existing building.
Buffering; Increased setbacks and landscaping 4.3.3(BB)(3)(c)	The affected sites that consist of the proposed building along East Linton Boulevard and sport court along the Intracoastal waterway is required to provide a minimum of one tree per 30 linear feet and a hedge which is provided.
Varied streetscape and building design 4.3.3(BB)(3)(d)	The third story of the proposed building is setback and additional five feet. A terrace is also proposed on the third floor of the activities room.
Varying Unit Types 4.3.3(BB)(3)(e)	Harbour's Edge provides housing for senior living both for the independent and dependent living of individuals.
Open Space Areas 4.3.3(BB)(3)(f)	The minimum required open space is 25% and 35% is proposed. A new walking path along the Intracoastal Waterway is proposed. The retention areas are being maintained.
Bicycle/pedestrian network, and access to available transit 4.3.3(BB)(3)(g)	New bicycle racks are proposed for the employees of Harbour's Edge. The site provides transportation to the residents who are no longer able to drive or navigate public transportation.

Parking Garage Elevations 4.3.3(BB)(3)(h)	The existing parking garages use similar architectural elements of the new building with rounded edges. The colors are complimentary as well.
Unified architectural character in buildings, parking lot, and landscaping 4.3.3(BB)(3)(l)	The proposed building uses similar colors as the existing residential buildings as well as the parking garages. The same curved edges are used in the simplistic architecture throughout the site.
Common areas and amenities 4.3.3(BB)(3)(j)	The development offers a communal swimming pool, a proposed walking path and sport court.
Pedestrian movement by providing access to public sidewalks 4.3.3(BB)(3)(k)	Sidewalk connection is provide within the development from building to building. In addition, Linton Boulevard provides a sidewalk and a bus shelter for transportation.
Opportunities to share parking or parking spaces 4.3.3(BB)(3)(l)	There are 489 parking spaces available on site either in the garages or surface parking. The site is required 445 parking spaces.

The site plan also complies with other applicable requirements, detailed as follows.

- **LDR Section 4.6.8, Lighting.** The proposed lighting around the building, pathway and parking lot are within the required illuminations and are full cut-off. The spillage onto Linton Boulevard is at a minimum.
- **LDR Section 4.6.9, Off-Street Parking.** Nursing homes are required to provide one space for every four beds; 10 parking spaces are required for the proposed memory care and assisted living structure. 489 parking spaces are provided to serve the campus within the parking garages and surface; only 445 parking spaces are required. Therefore, the parking requirement is met.
- **Bicycle Parking.** 1 space is required for every 20,000 square feet; the proposed building is 39,990 which requires two bicycle parking spaces. The applicant is proposing four bicycle racks.

Compliance with the Landscape Plan and Architectural Elevations is discussed below.

Landscape Plan

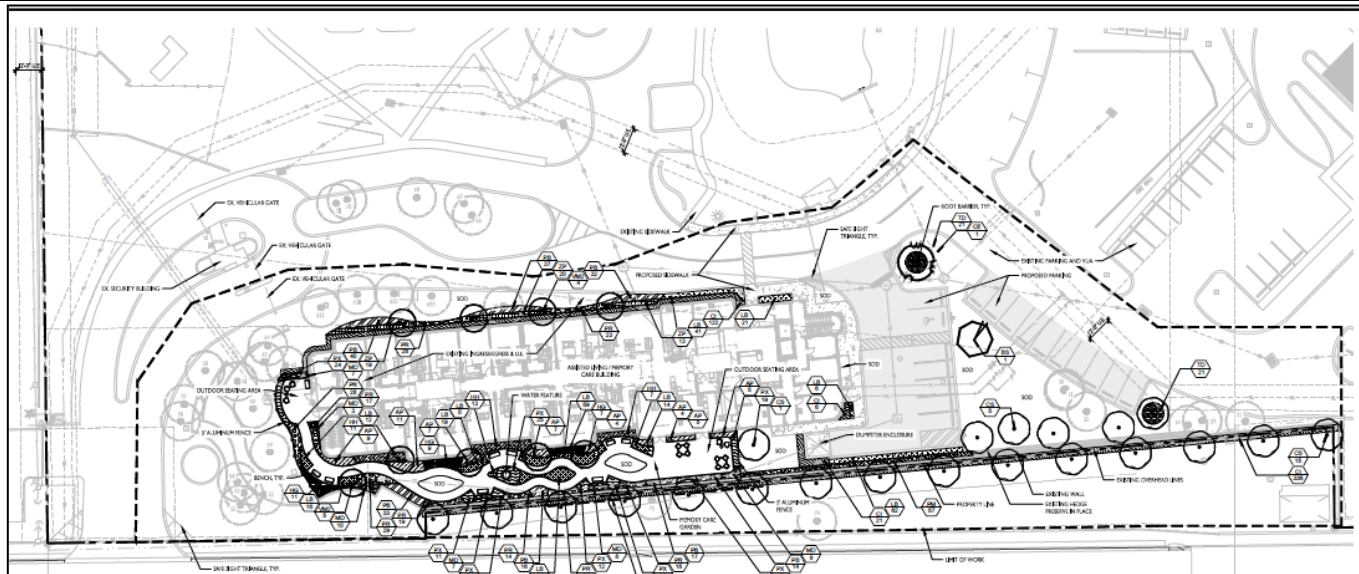
LDR Section 2.4.10(A)(3)(c), Findings

All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.

(c) Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

The landscape plan has been deemed technically compliant pursuant to the applicable requirements of LDR Section 4.6.16. The project includes new landscaping surrounding the proposed building and sports court. Silver Button Wood trees are provided adjacent to Linton Boulevard and provide shade to the residents. A memory garden located on the south side of the building adjacent to Linton Boulevard is provided for the residents and include benches and a water feature. Pygmy Date Palm and Yew Pine are provided along the eastside adjacent to the Intracoastal Waterway. Shrub areas include Red Ginger, Cocoplum, Heliconia, Philodendran, and Fakahatchee Ground cover is provided with St. Augustine Grass and Big Blue Lilyturf. Below, is the Landscape Plan outlining the placement of the proposed trees, shrub areas, and memory garden.

There are 32 trees identified for removal, which include a mix of invasive species, palms, and shade trees. **An in lieu fee of \$147,975 must be paid into the Tree Trust Fund** prior to issuance of a building permit.



Architectural Elevations

LDR Section 4.6.18, Architectural Elevations and Aesthetics

Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable (LDR Section 2.4.10(A)(3)(d), Findings).



While no defined architectural style is required in this zoning district, the building architecture can be described as influenced by Art Deco and Streamline Moderne, two styles that are very closely related (image at right and elevations below).

There are five subsections for consideration in **LDR Section 4.6.18**: (A) Minimum requirements, (B) Building and structure requirements, (C) Exterior space, (D) Parking lots and vehicular use areas, and (E) Criteria for board action. Relevant requirements from (A), (B), and (E) are discussed in detail below, as particularly relevant to the subject request.

(A) Minimum Requirements

- (1) *The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.*
- (2) *It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

- (3) The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.
- (4) It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.



(B) Building and structure requirements.

- (1) Buildings or structures which are a part of a present or future group or complex shall have a unity of character and design. The relationship of forms and the use, texture, and color of materials shall be such as to create a harmonious whole. When the area involved forms an integral part of, is immediately adjacent to, or otherwise clearly affects the future of any established section of the City, the design, scale and location on the site shall enhance rather than detract from the character, value, and attractiveness of the surroundings.
- (14) Architectural features and building structures constructed or placed above the roof, such as stair towers, restroom facilities, and elevator overruns, shall be incorporated into the overall building design and shall be consistent with the architectural style.
- (15) Flat roofs shall be screened from the lateral view of adjacent properties by a parapet. New or replacement rooftop appurtenances, including mechanical equipment, shall be screened by a parapet, enclosure, or other method equal in height to the appurtenance. The screening must be integrated and compatible with the building architecture.

(E) Criteria for Board Action. The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (5) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The original development has distinct features of the modernism movement, using clean lines, minimalistic design, and a keen focus on functionality. The existing structures showcase a thoughtful arrangement of geometric shapes, large windows that invite natural light, and a unique continuous horizontal elevation that gracefully transforms into softer curves as the balconies curve to meet the main mass of the building. These architectural elements, combined with flat roofs and the use of concrete and stucco, establish an overall aesthetic of the property.

With the proposed addition of a new building to the development, the architect has preserved the essence of the original modernism style while introducing contemporary elements. The new building upholds the hallmark features of the modernism style, placing a strong emphasis on clean lines. The color palette, a blend of realist beige and faded flax flower hues, adds a contemporary touch while remaining respectful to the original design. Expansive terraces and the curvature of corners have been incorporated, maintaining the continuity with the existing style. Additionally, the design incorporates flat roofs with concealing parapets, ensuring a visually pleasing and modest rooftop appearance, while any mechanical equipment is thoughtfully screened. This careful integration of modern design principles with the established aesthetic ensures that the new enhances the overall visual coherence of the development for a harmonious transition between the old and new structures.

The minimum aesthetic standards outlined in this Section have been addressed and met. The overall design and high-quality appearance of the proposed structure are expected to have a positive impact on the visual landscape, ensuring that it does not "materially depreciate" the adjacent neighborhood or surrounding properties. The strategic positioning of structures within the campus, and enclosure by a surrounding wall, effectively separates it from a nearby shopping plaza and residential condominiums to the west, maintaining a sense of visual continuity and aesthetic integrity.

The introduction of a new canopy over the main entrance of the existing building is a notable enhancement. This addition aligns with the rounded edges proposed in the new building and contributes to the harmonious whole of the campus.

Furthermore, the proposed sports court and walking path on the east side of the property, facing the Intracoastal Waterway, are integrated to be in harmony with the surrounding area. This consideration of the site's orientation and landscape contributes to the overall positive aesthetic coherence of the project.



Technical Notes

1. **Prior to Site Plan Certification:** The site plan and survey must be updated to reflect the abandonment of the ingress/egress easement and the utility easement.
2. **Prior to Building Permit Issuance:**
 - a. The ingress/egress Easement (O.R.B 3070 PG. 775) and the utility Easement (O.R.B 3623 page 428) must be abandoned and recorded with the Palm Beach County Clerk of Court.
 - b. A mitigation in lieu fee of \$147,975 must be paid into the Tree Trust Fund.
 - c. A certification level of LEED Silver or equivalent is required pursuant to the adoption of Ordinance No. 30-22.
 - d. Documentation that an updated evacuation plan has been provided to Palm Beach County.

Options for Board Action

- A. **Move approval** of the Level 3 (2023-226) Site Plan, Landscape Plan, and Architectural Elevations, for the construction of a three-story, assisted living and memory care facility in Harbour's Edge, located at **401 East Linton Boulevard**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- B. **Move approval, as amended**, of the Level 3 (2023-226) Site Plan, Landscape Plan, and Architectural Elevations, for the construction of a three-story, assisted living and memory care facility in Harbour's Edge, located at **401 East Linton Boulevard**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.

- C. **Move denial** of the Level 3 (2023-226) Site Plan, Landscape Plan, and Architectural Elevations, for the construction of a three-story, assisted living and memory care facility in Harbour's Edge, located at **401 East Linton Boulevard**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.
- D. **Move to continue with direction.**

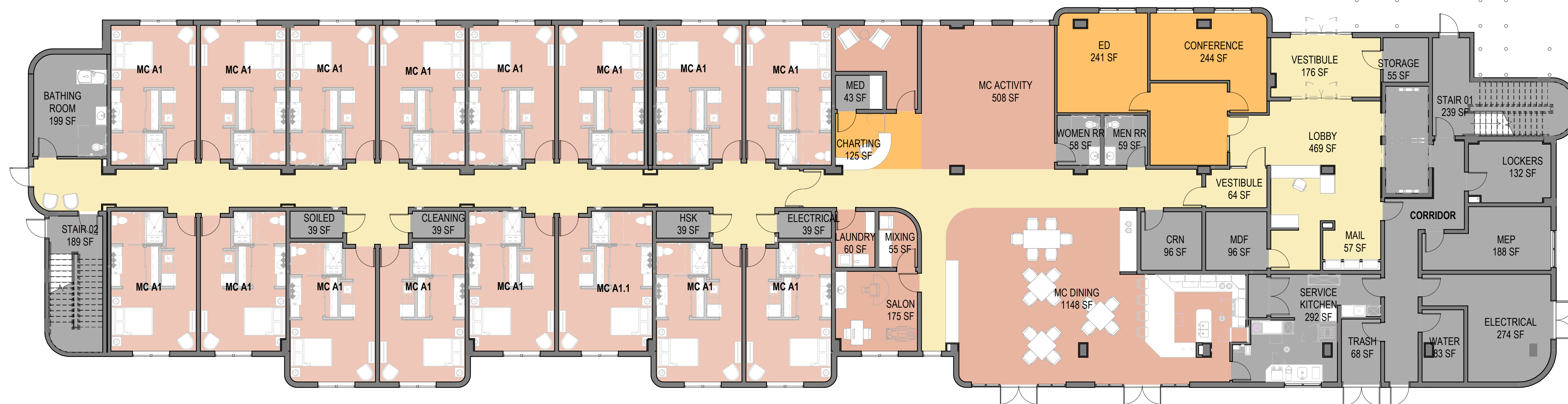
Courtesy Notices

X Courtesy Notices were sent to:

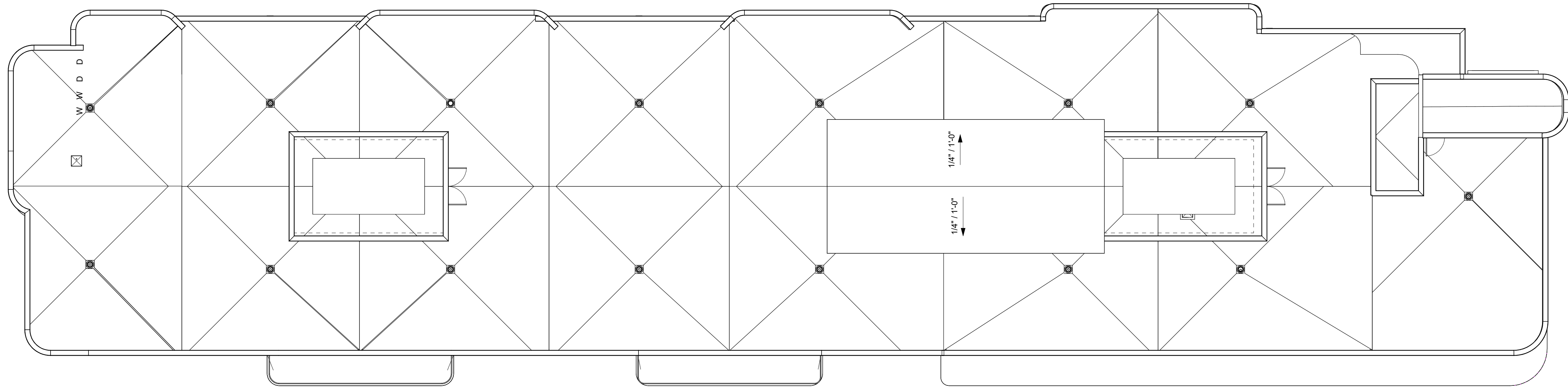
- Domaine Delray
- Harbourside
- Banyan Tree



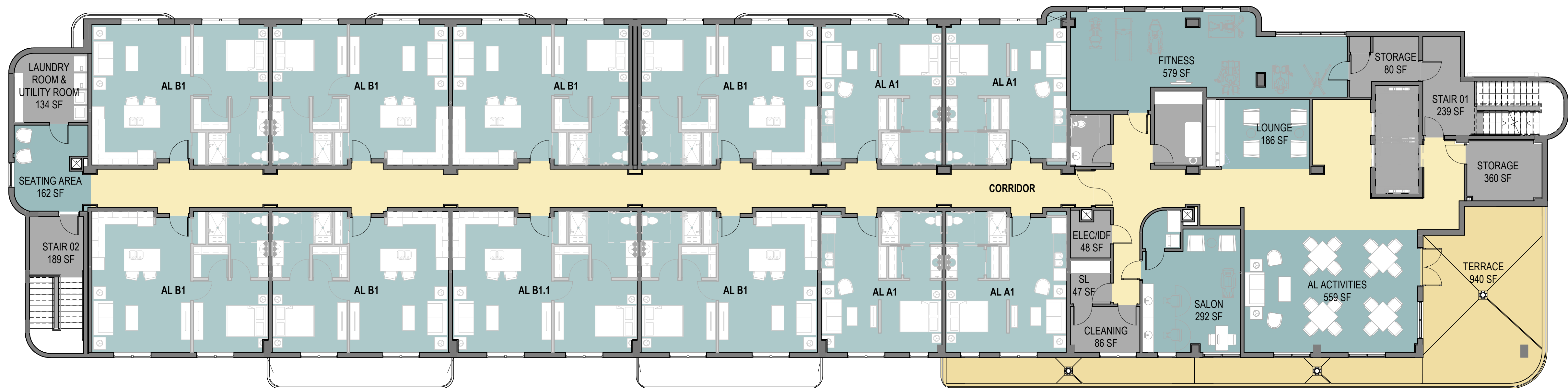
OVERALL FLOOR PLAN - LEVEL 02



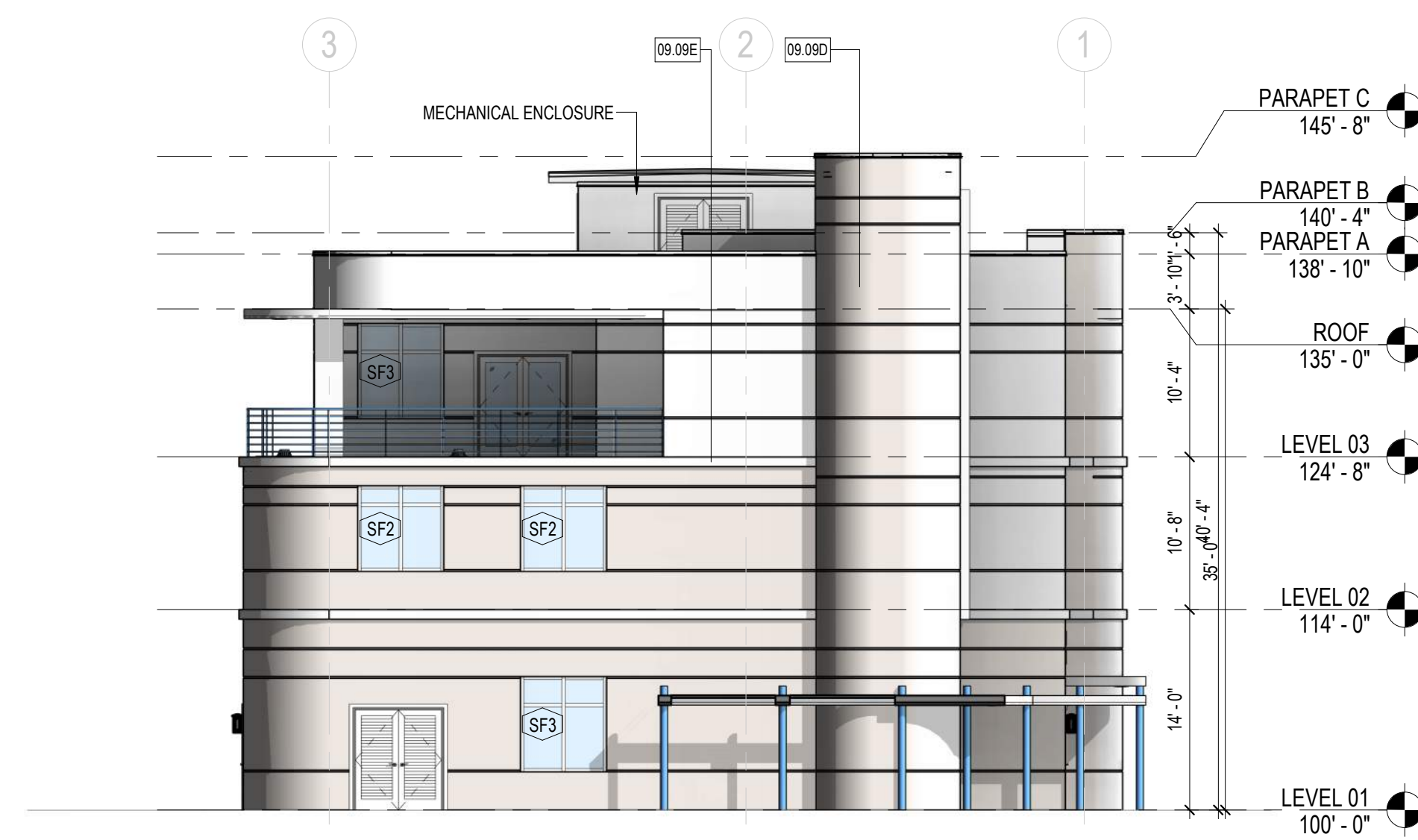
OVERALL FLOOR PLAN - LEVEL 01



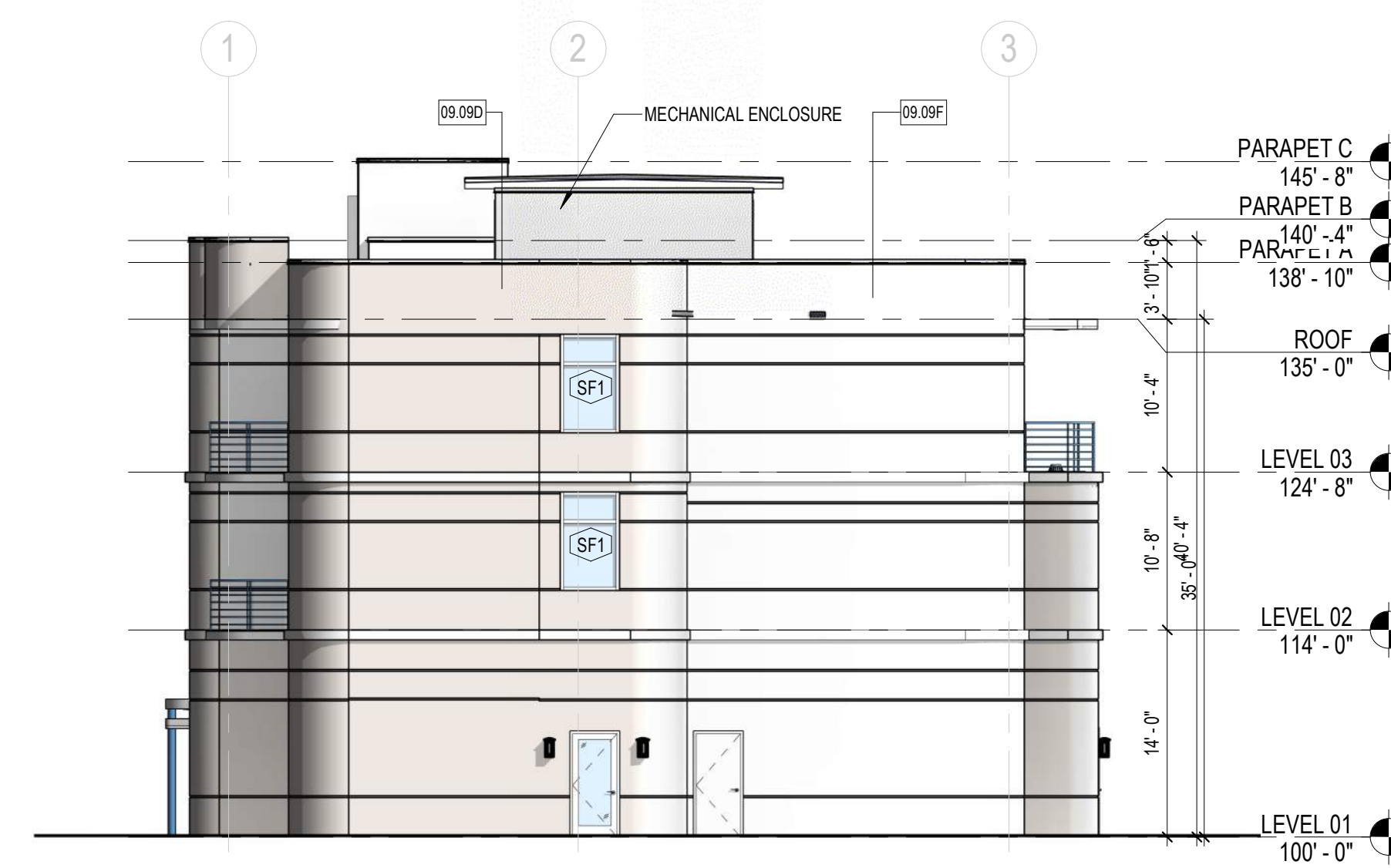
ROOF PLAN



OVERALL FLOOR PLAN - LEVEL 03

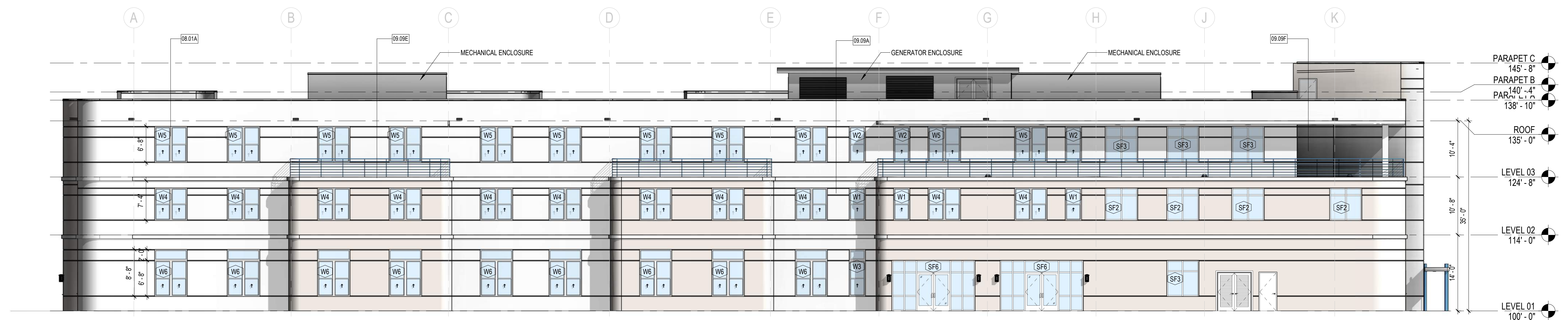


OVERALL EAST ELEVATION



OVERALL WEST ELEVATION

KEYNOTE LEGEND	
KEYNOTE NUMBER	KEYNOTE TEXT
08.01A	VINYL WINDOW. COLOR WHITE
08.02A	ALUMINUM STOREFRONT SYSTEM - KYNAR FINISH. COLOR WHITE
09.09A	3/4" STUCCO CONTROL JOINT
09.09D	STUCCO EXTERIOR FINISH. COLOR: SW 6078 REALIST BEIGE
09.09E	STUCCO FINISH ON SLAB. COLOR: SW 7566 WESTHIGHLAND WHITE
09.09F	STUCCO EXTERIOR FINISH. COLOR: SW 7566 WESTHIGHLAND WHITE

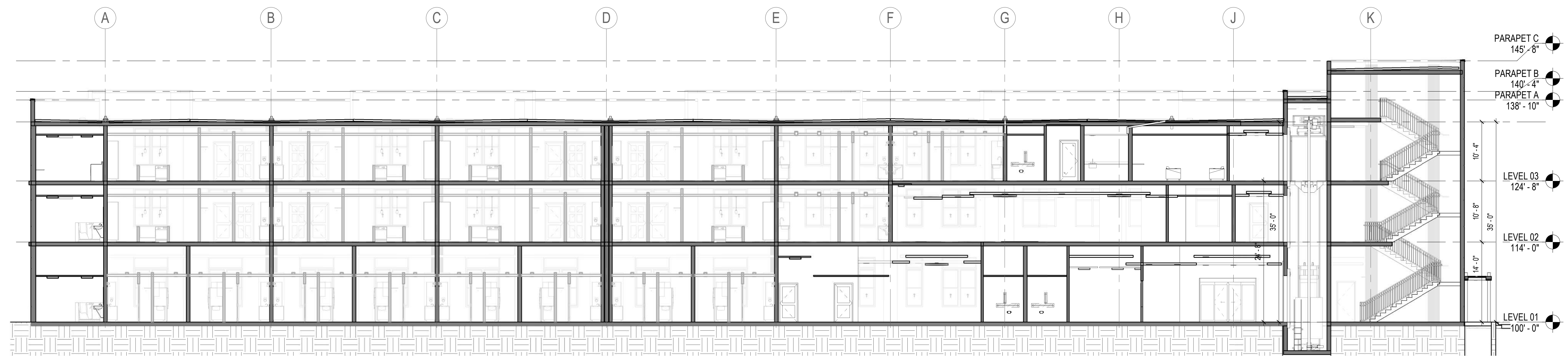


OVERALL SOUTH ELEVATION

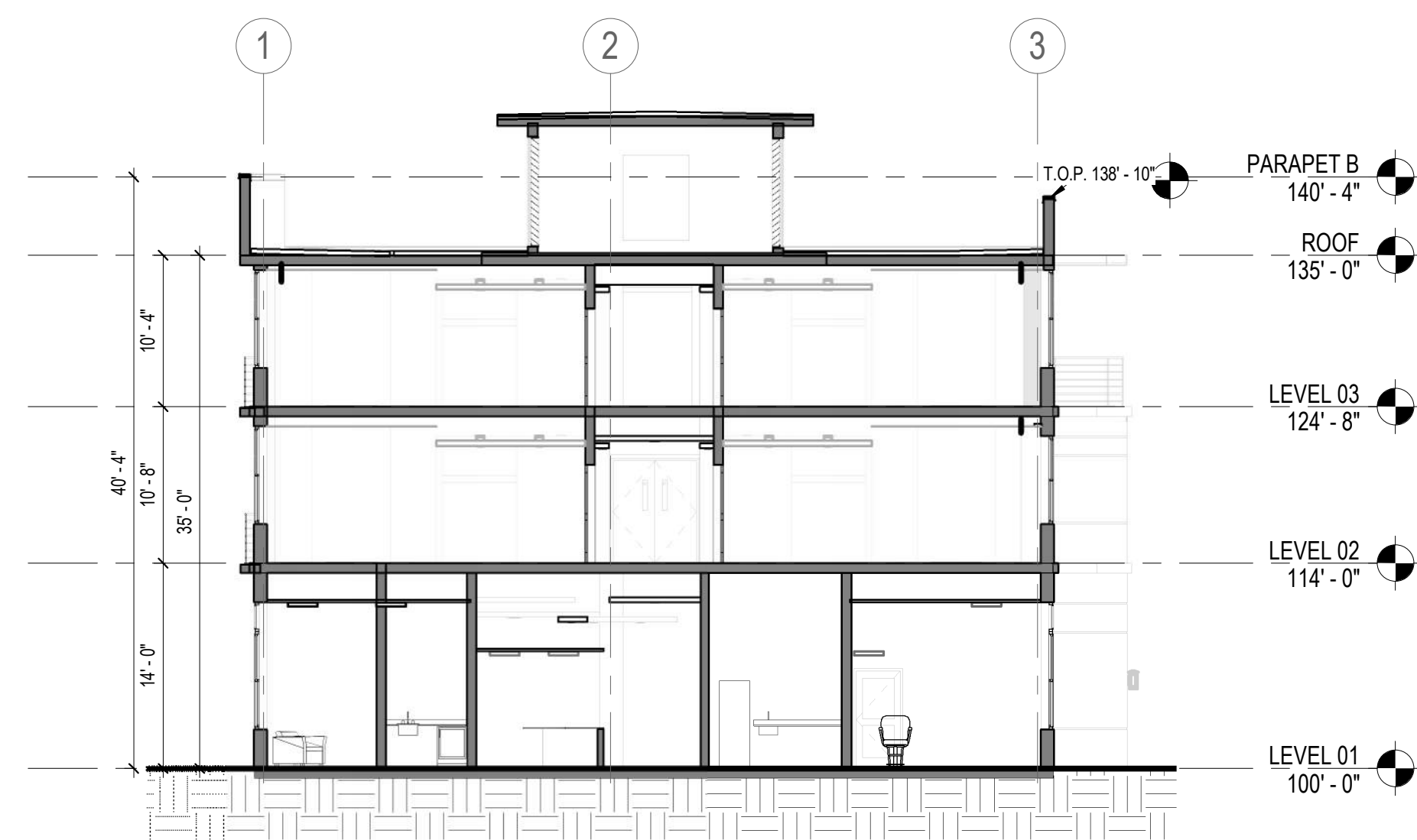


OVERALL NORTH ELEVATION

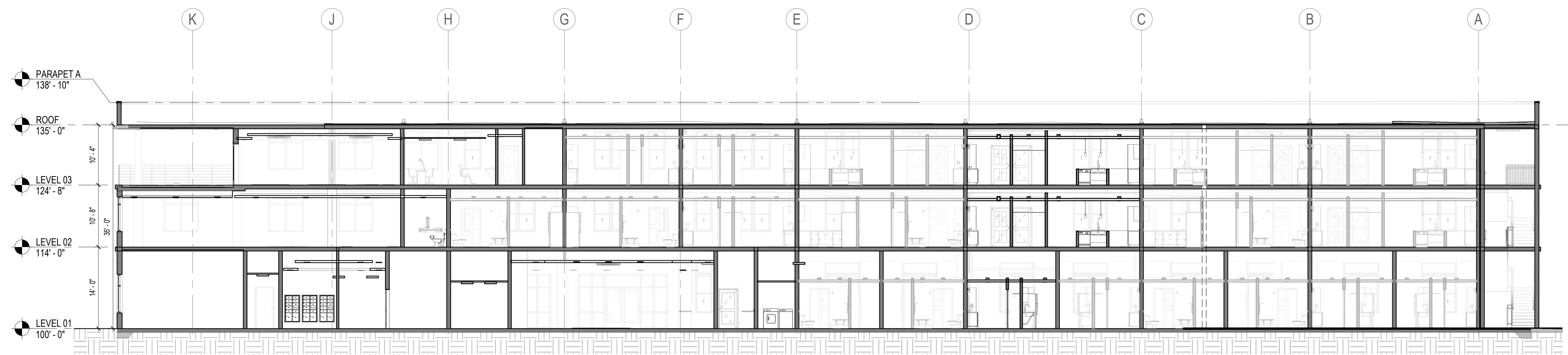




BUILDING SECTION III

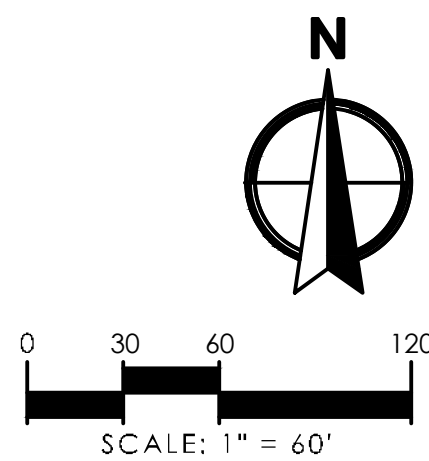
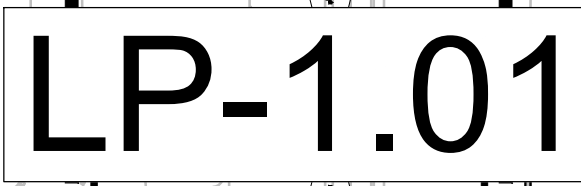


BUILDING SECTION II



BUILDING SECTION I

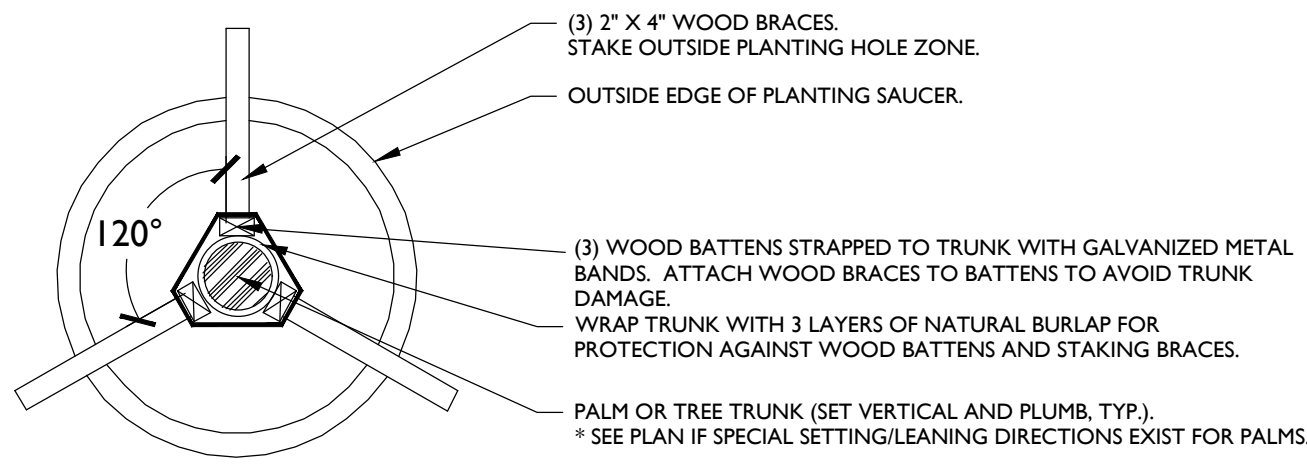




NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.0 & LD 2.0.

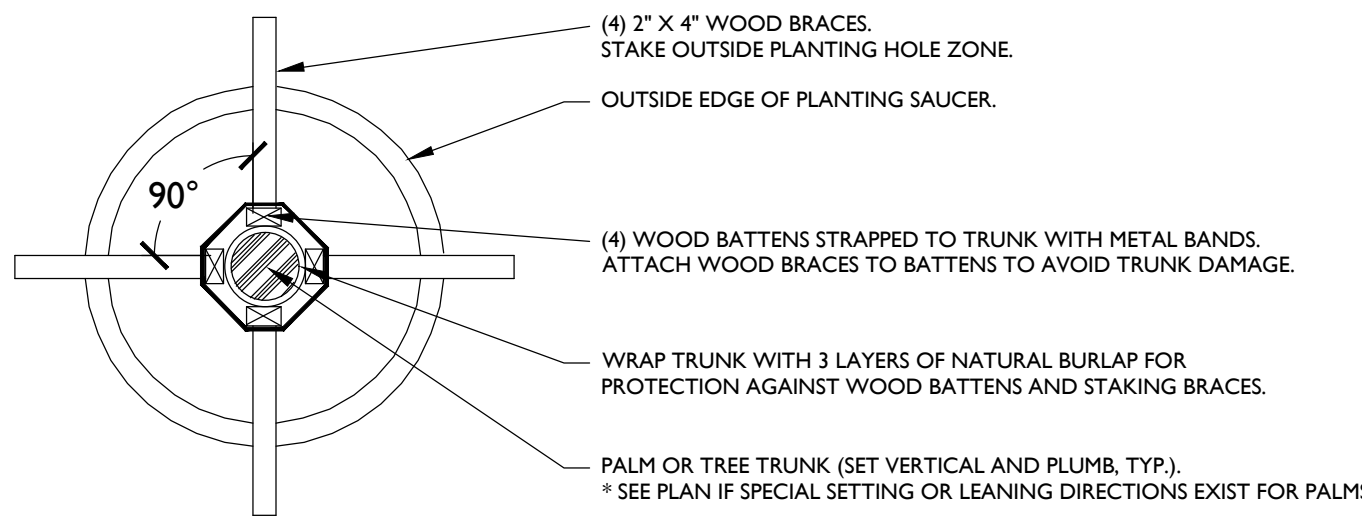
SMALL PALM STAKING PLAN

NOTE:
1. APPLICABLE TO ALL PALMS WITH CALIPER SIZE OF LESS THAN SIX (6) INCHES.
2. ALL TREE SUPPORTS MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. TYPICALLY SIX MONTHS FOR SHADE TREES OR ONE YEAR FOR PALMS.

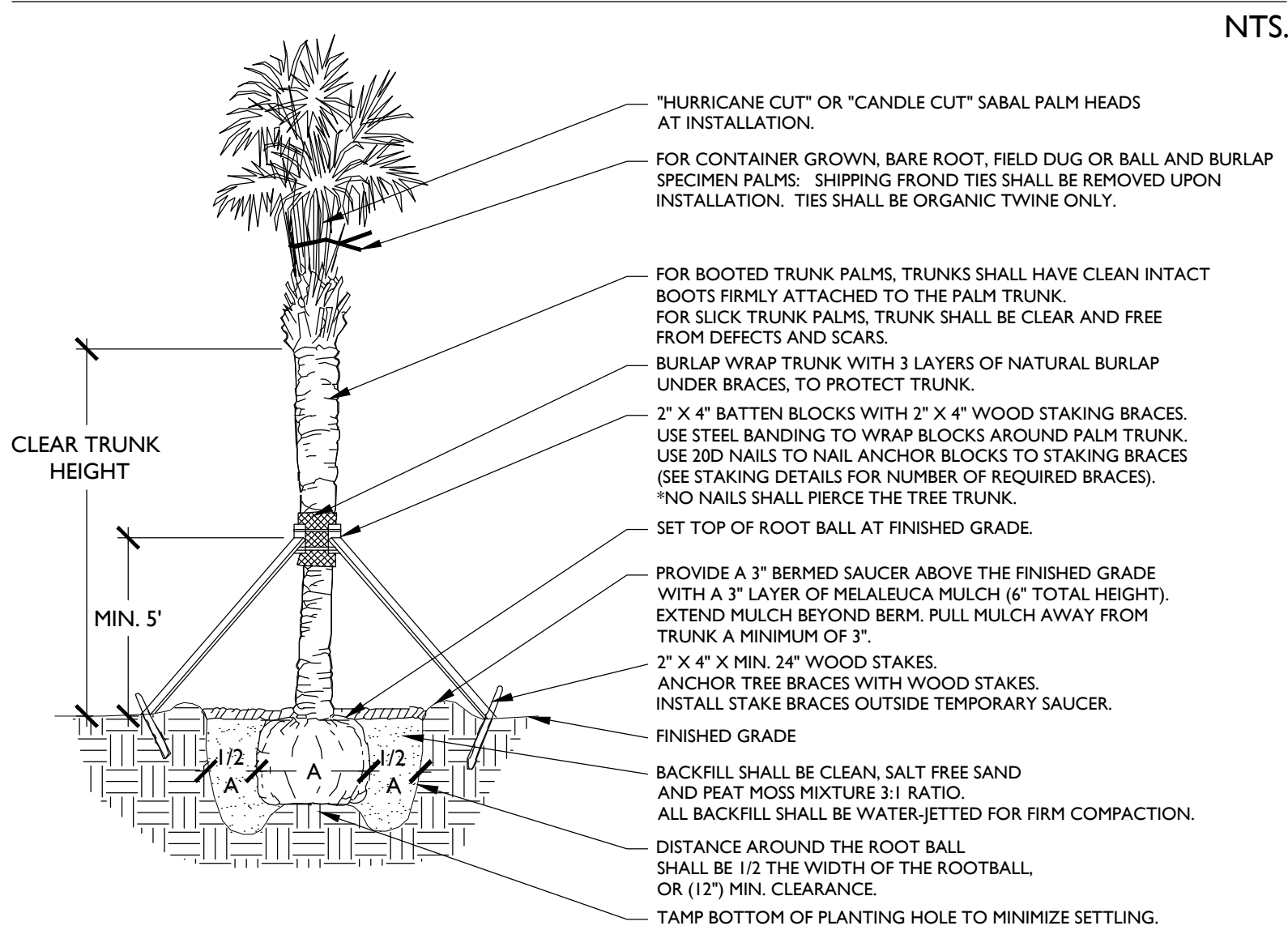


LARGE PALM OR TREE STAKING PLAN

NOTE:
1. APPLICABLE TO ALL MULTI-TRUNK PALMS AND PALMS WITH CALIPER SIZE OF SIX (6) INCHES OR GREATER
2. ALL TREE SUPPORTS MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. TYPICALLY SIX MONTHS FOR SHADE TREES OR ONE YEAR FOR PALMS.

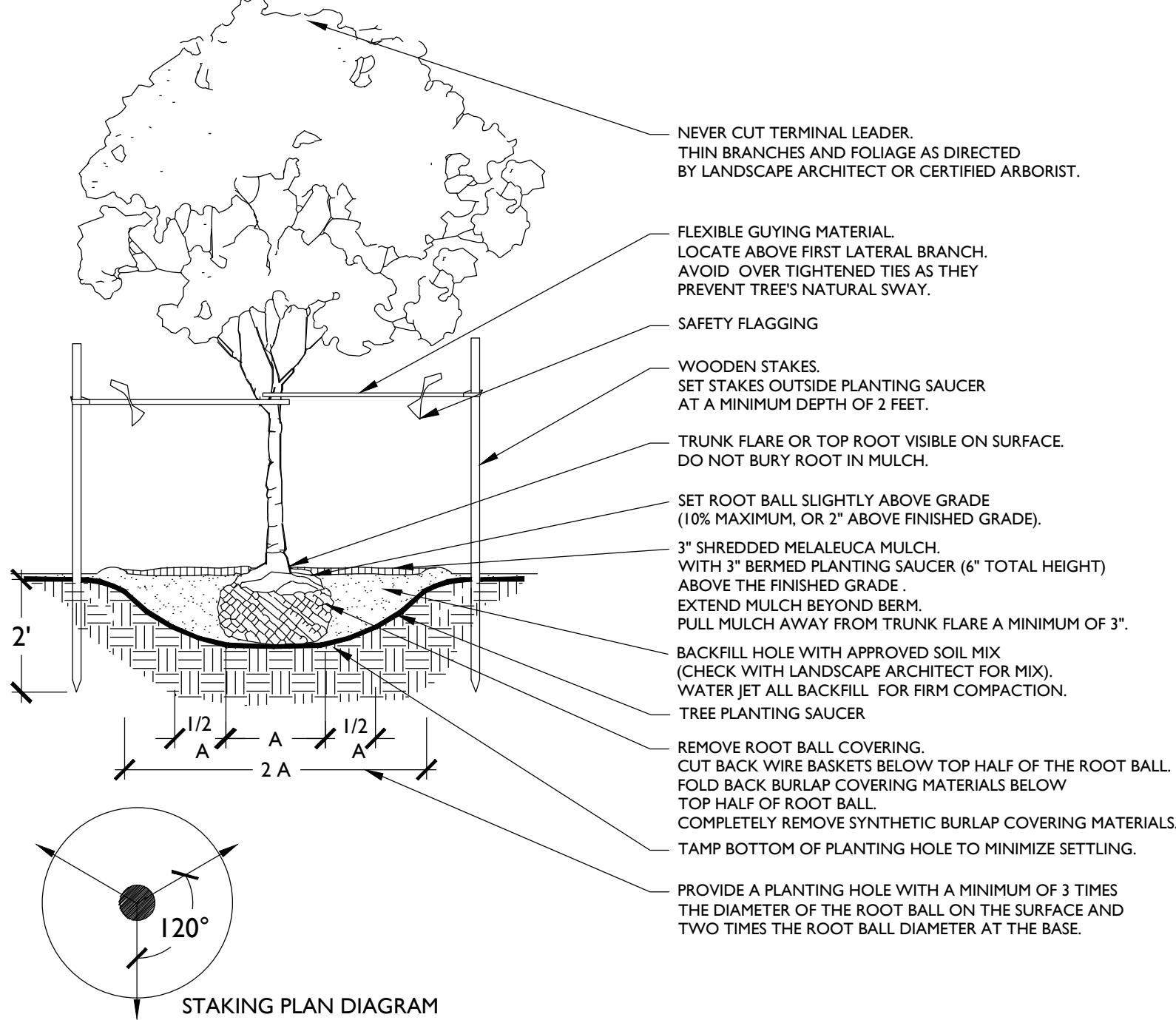


PALM PLANTING DETAIL

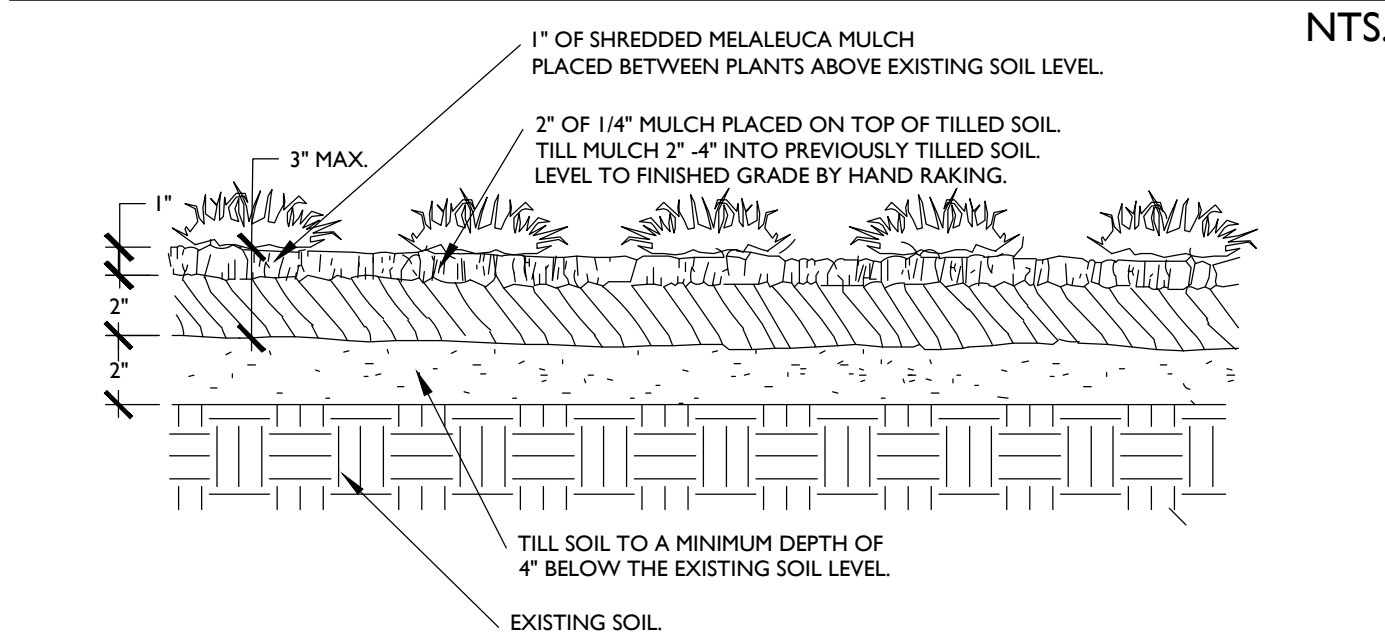


TREE PLANTING DETAIL

NOTE:
1. ALL TREE SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. TYPICALLY SIX MONTHS TO ONE YEAR AFTER PLANTING FOR SHADE TREES.



GROUND COVER DETAIL

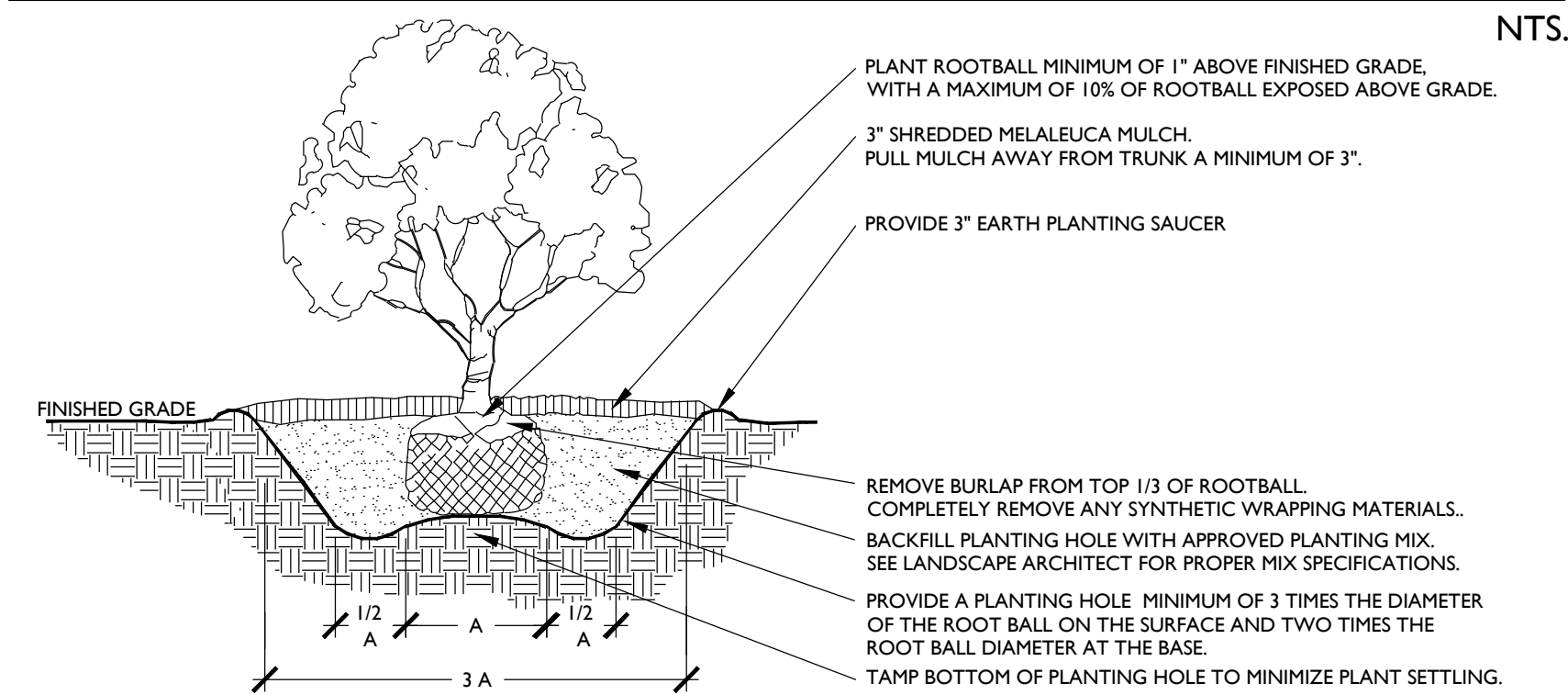


PLANT SPACING DETAIL

SPACING "D"	ROW "A"
6" O.C.	5.2'
8" O.C.	6.93'
10" O.C.	8.66'
12" O.C.	10.4'
18" O.C.	15.6'
24" O.C.	20.8'
30" O.C.	26.0'
36" O.C.	31.2'
48" O.C.	41.6'

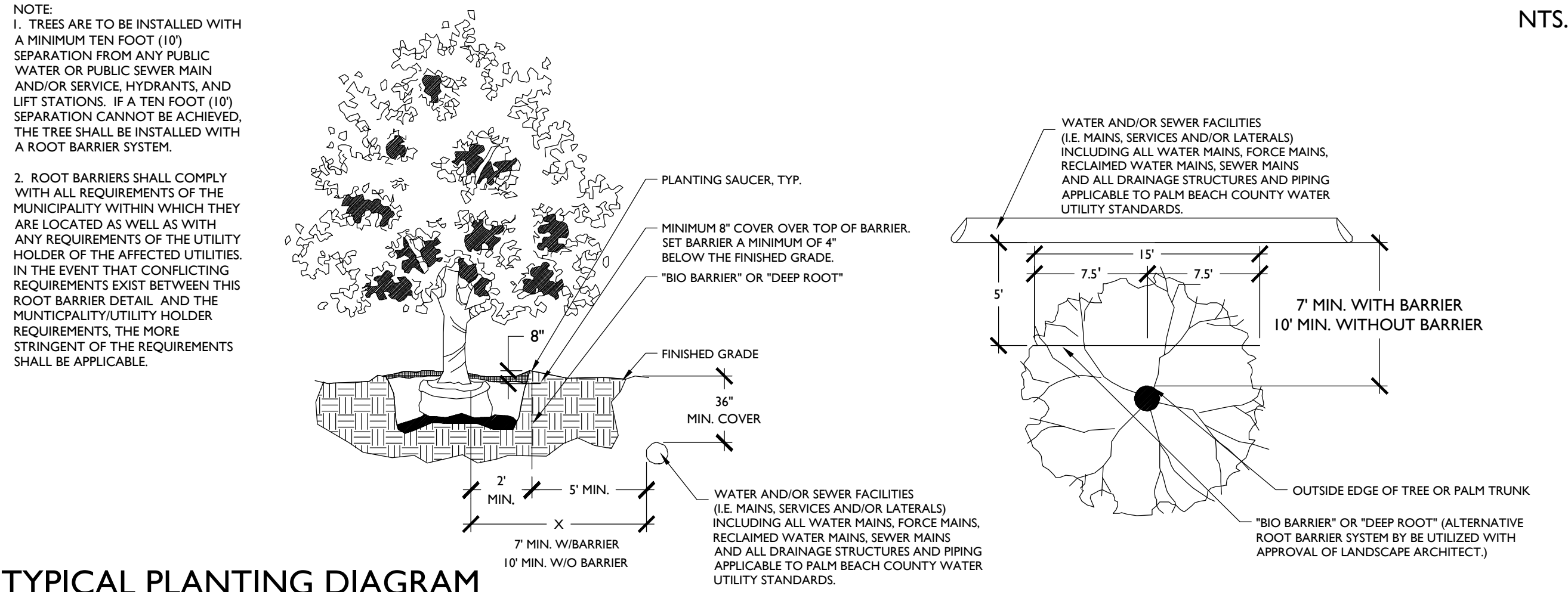
PLANT SPACING CHART

SHRUB PLANTING DETAIL

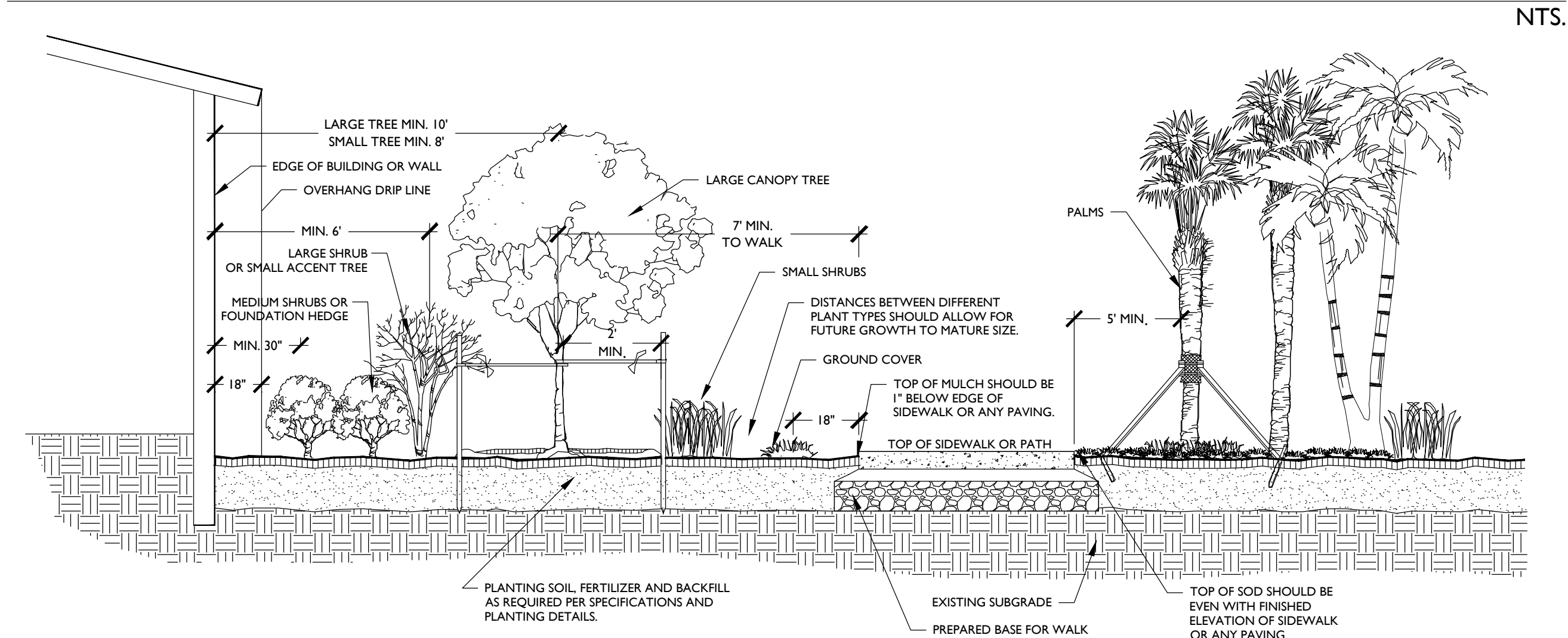


ROOT BARRIER DETAIL

NOTE:
1. TREES ARE TO BE INSTALLED WITH A MINIMUM TEN FOOT (10') SEPARATION FROM ANY PUBLIC WATER OR PUBLIC SEWER MAIN AND/OR SERVICE, HYDRANTS, AND LIFT STATIONS. IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED, THE TREE SHALL BE INSTALLED WITH A ROOT BARRIER SYSTEM.
2. ROOT BARRIERS SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPALITY WITHIN WHICH THEY ARE LOCATED AS WELL AS WITH ANY REQUIREMENTS OF THE UTILITY HOLDER OF THE AFFECTED UTILITIES. IN THE EVENT THAT CONFLICTING REQUIREMENTS EXIST BETWEEN THIS ROOT BARRIER DETAIL, AND THE MUNICIPALITY/UTILITY HOLDER REQUIREMENTS, THE MORE STRINGENT OF THE REQUIREMENTS SHALL BE APPLICABLE.

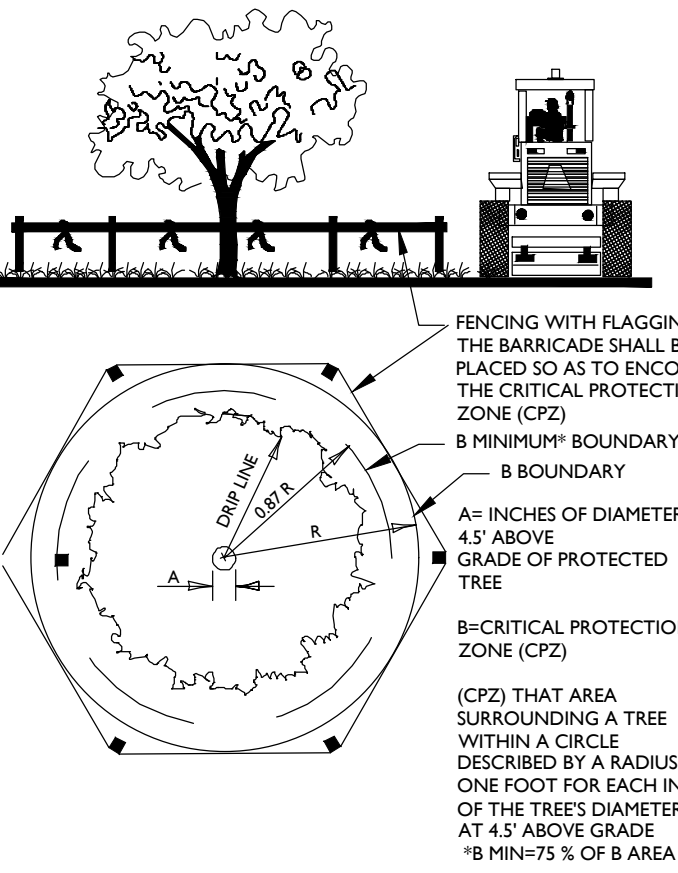


TYPICAL PLANTING DIAGRAM

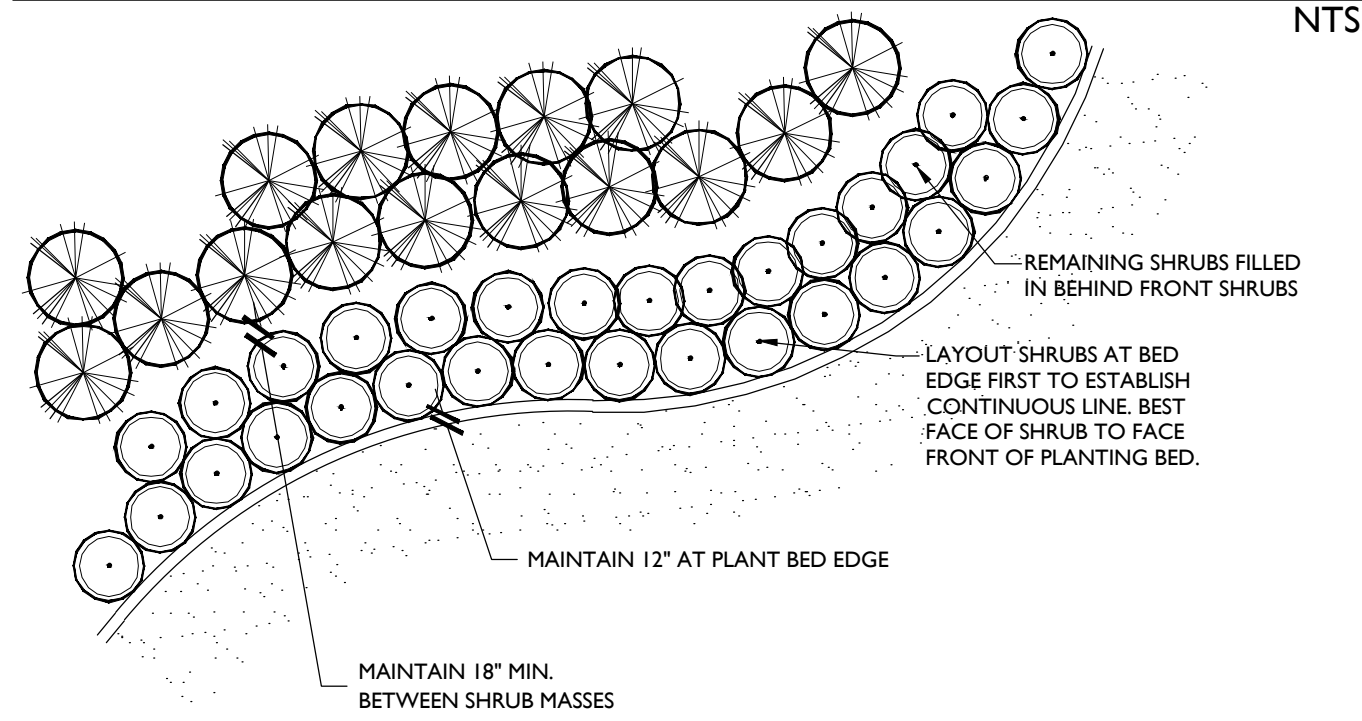


TREE PROTECTION DETAIL

NOTE: 1. THIS DETAIL APPLIES TO ALL TREES THAT WILL BE PRESERVED IN PLACE OR BE RELOCATED.



SHRUB AND GROUND COVER PLANTING DETAIL

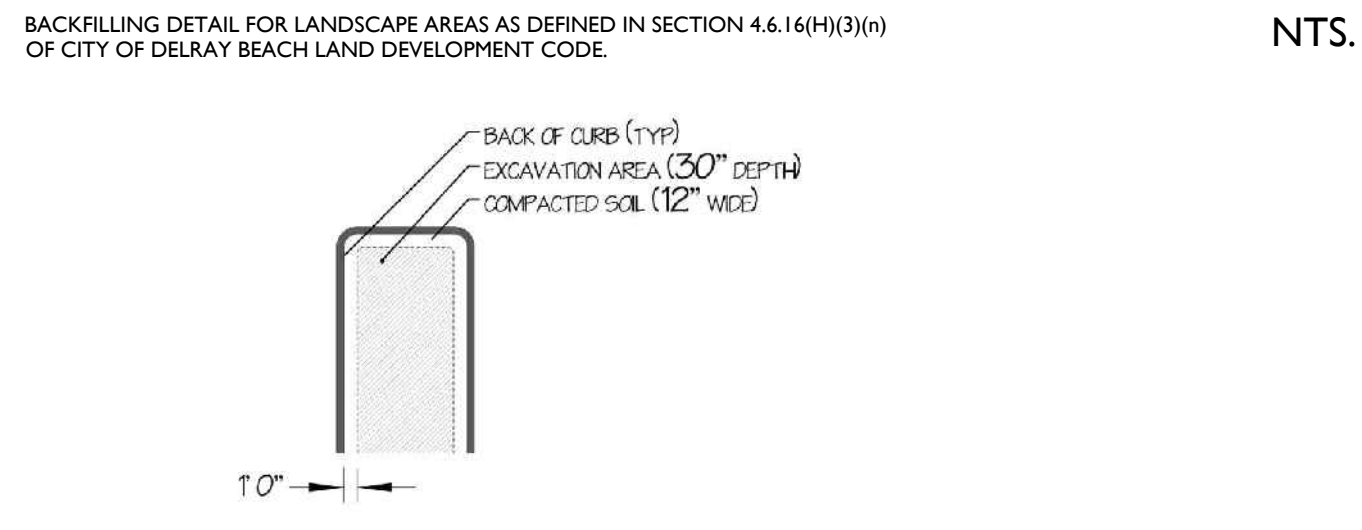


LANDSCAPE NOTES:

1. STRUCTURAL ELEMENTS AND HARDSCAPE FEATURES INDICATED ON LANDSCAPE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE PLANS ARE TO BE UTILIZED FOR LOCATION OF LIVING PLANT MATERIAL ONLY. LANDSCAPE PLANS SHOULD NOT BE UTILIZED FOR STAKING AND LAYOUT OR LOCATION OF ANY STRUCTURAL SITE FEATURES INCLUDING BUT NOT LIMITED TO: BUILDINGS, SIGNAGE, PATHWAYS, EASEMENTS, BERMS, WALL, FENCES, UTILITIES OR ROADWAYS.
2. CONTRACTOR SHALL ACQUIRE ALL APPLICABLE FEDERAL, STATE, LOCAL, JURISDICTIONAL OR UTILITY COMPANY PERMITS REQUIRED PRIOR TO REMOVAL, RELOCATION, AND/OR INSTALLATION OF LANDSCAPE MATERIALS INDICATED WITHIN PLAN DOCUMENTS. THE CONTRACTOR SHALL HAVE PERMITS "IN HAND" PRIOR TO STARTING WORK. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK PERFORMED WITHOUT PERMITTED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES TO THE WORK, AT NO ADDITIONAL COST TO THE OWNER, AS A RESULT OF UNAUTHORIZED WORK PRIOR TO RECEIPT OF PERMIT.
3. TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. IN THE EVENT OF A CONFLICT, AFFECTED PLANT MATERIAL SHALL BE FIELD ADJUSTED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT TO AVOID CONFLICTS WITH THE WITH EXISTING AND PROPOSED UTILITIES, LIGHT POLES, DRAINAGE STRUCTURES OR LINES, LAKE MAINTENANCE EASEMENTS OR OTHER AFFECTED SITE FEATURES.
4. ANY PLANTING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED VIEWS AT A LEVEL BETWEEN 30" AND 8' ABOVE THE PAVEMENT.
5. ALL UTILITY BOXES/ STRUCTURES TO BE SCREENED ON 3 SIDES W/ APPROVED PLANTING MATERIAL.
6. IRRIGATION IS REQUIRED PROVIDING 100% COVERAGE WITH A MAXIMUM OF 50% OVERLAP, AN AUTOMATIC RAIN SENSOR MUST BE INCLUDED.
7. ALL PLANT MATERIAL TO BE INSTALLED SHALL CONFORM TO FLORIDA POWER AND LIGHT'S (FPL'S) RIGHT TREE RIGHT PLACE GUIDELINES.
8. IN CASE OF DISCREPANCIES PLANS TAKE PRECEDENCE OVER PLANT LIST.
9. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES PRIOR TO BIDDING.
10. REMOVAL OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR.
11. RELOCATION OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR. REFER TO SPECIFICATIONS FOR RELOCATION INSTRUCTIONS.
12. ALL PLANT MATERIAL TO BE FLORIDA GRADE #1 AT TIME OF INSTALLATION UNLESS OTHERWISE NOTED.

BACKFILLING DETAIL

BACKFILLING DETAIL FOR LANDSCAPE AREAS AS DEFINED IN SECTION 4.6.16(H)(3)(ii) OF CITY OF DELRAY BEACH LAND DEVELOPMENT CODE.



2035 Vista Parkway, West Palm Beach, FL 33411
Phone No. 866.909.2220 www.wglnc.com
Cert No. 6091 - LB No. 7055

PERMIT SET
PERMIT DRAWINGS ONLY,
NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	BY
1	10/10/2023	RESUBMITTAL	DN
2	12/21/2023	RESUBMITTAL	MH

CAD: 4224-LPDWG	JOB NO. 4224.00	DRAWN BY DN	CHECK BY AR	DATE 2023-07-23
LANDSCAPE ARCHITECT OF RECORD ABIGAIL M. REIMEL, PLA FL# LA6667513				

HARBOUR'S EDGE
401 E. LINTON BLVD.
DELRAY BEACH, FL 33483
LANDSCAPE DETAILS

SHEET:
LP-3.01



