



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

PLANNING AND ZONING BOARD STAFF REPORT

Harbour's Edge

Meeting	File No.	Application Type
February 26, 2024	2023-226	Level 3 Site Plan
Property Owner		Agent
Lifespace Communities, Inc.		Yoan Machado, WGI, Inc.

Request

Consideration of a Level 3 Site Plan, Landscape Plan, and Architectural Elevations for the construction of a 40 bed, three-story, assisted living and memory care facility at the existing Harbour's Edge continuing care retirement community, located at 401 East Linton Boulevard.

Site Data & Information

Location: 401 East Linton Boulevard

PCN: 12-43-46-21-50-001-0000

Property Size: 20.45 acres (890,802 square feet)

Land Use Designation: Medium Density (MD)

Zoning: Medium Density Residential (RM)

Adjacent Zoning:

- **North:** RM
- **East:** Intracoastal Waterway
- **South:** Special Activities District (SAD)
- **West:** Planned Commercial (PC)

Existing Use:

54 Assisted Living units and 266 Independent Living units



Location Map

Proposed Addition:

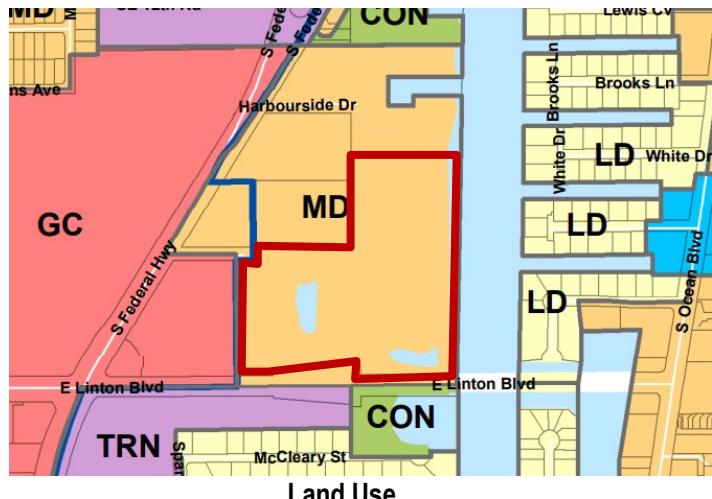
+/- 39,990 square foot, three-story, 40 Bed assisted living/memory care unit, and minor site modifications on the property.

Density:

- **Maximum Allowed:** 12 du/ac (245 units)
- **Existing:** 266 du/ac (legal non-conformity)

Lot Coverage:

- **Maximum Allowed:** 40%
- **Proposed:** 36%



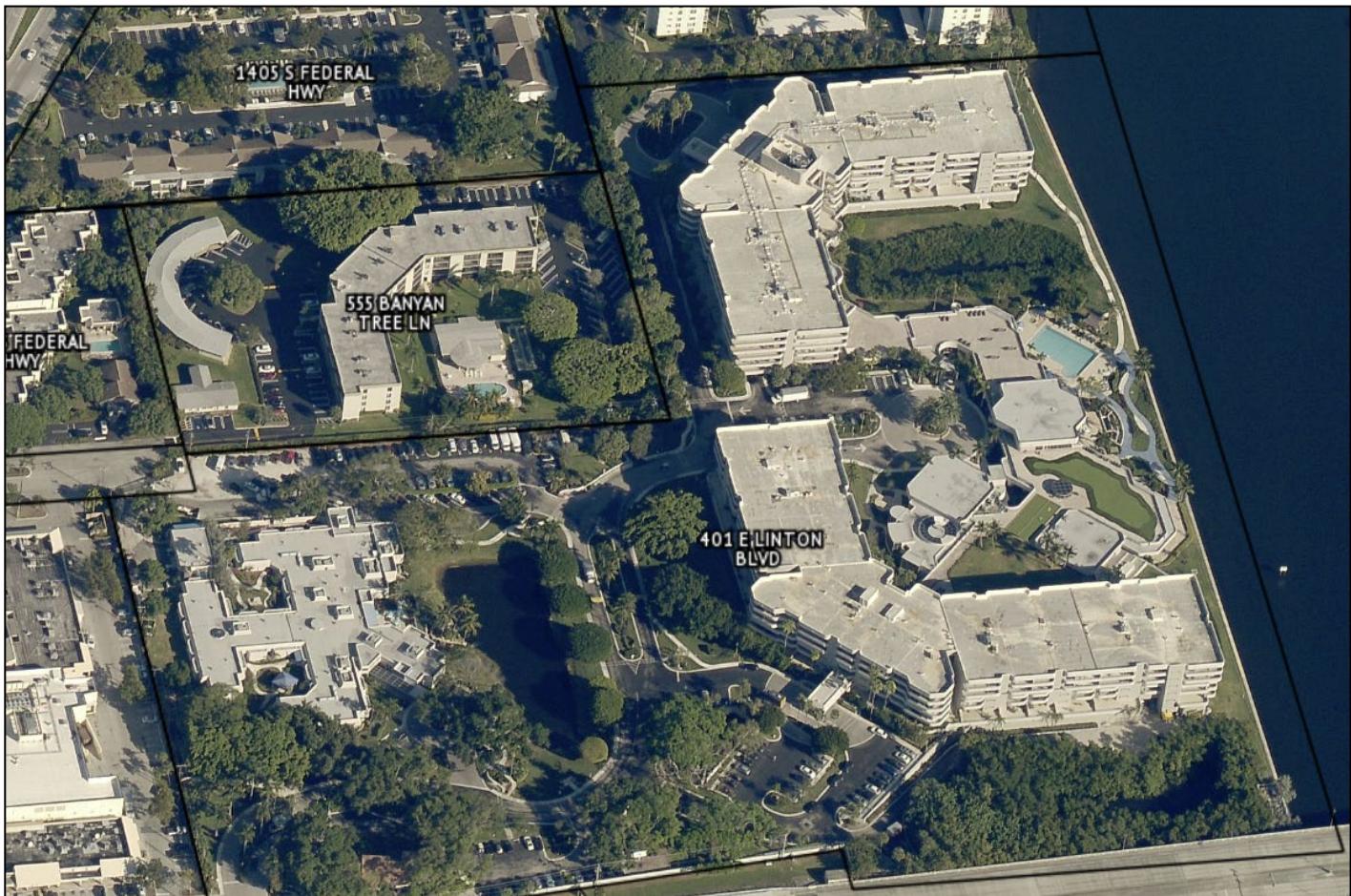
Land Use

Background

Situated at the northwest intersection of East Linton Boulevard and the Intracoastal Waterway, the subject property obtained approval in 1983 through a Conditional Use and a Class V Site Plan, establishing itself as a 20.45-acre continuing care retirement community. The diverse offerings include independent living, assisted living, and skilled nursing, housed across several buildings (aerial image below) comprising 266 dwelling units, 54 healthcare beds, garage and surface parking, an administrative center, and various amenities, the majority of which was built in 1987.

The subsequent site plan modifications at Harbour's Edge include the following:

- **November 30, 2011.** The Site Plan Review and Appearance Board (SPRAB) approved a Class III site plan modification, landscape plan, and architectural elevations associated with the expansion and upgrade of the Commons building and the Health Care facility for Harbor's Edge.
- **October 24, 2012.** The SPRAB approved a Class III site plan modification, landscape plan, and architectural elevations for Harbor's Edge associated with the renovation of the Clubhouse and addition of a Life Learning Center and Terrace Level Dining Area. The Class III Site Plan modification approval expired on October 24, 2014.
- **December 10, 2014.** The SPRAB approved an extension request for a period of 24 months (expiring October 24, 2016).
- **October 16, 2019.** The SPRAB Board approved a Class II Site Plan Modification for repaving and restriping the surface parking lot.



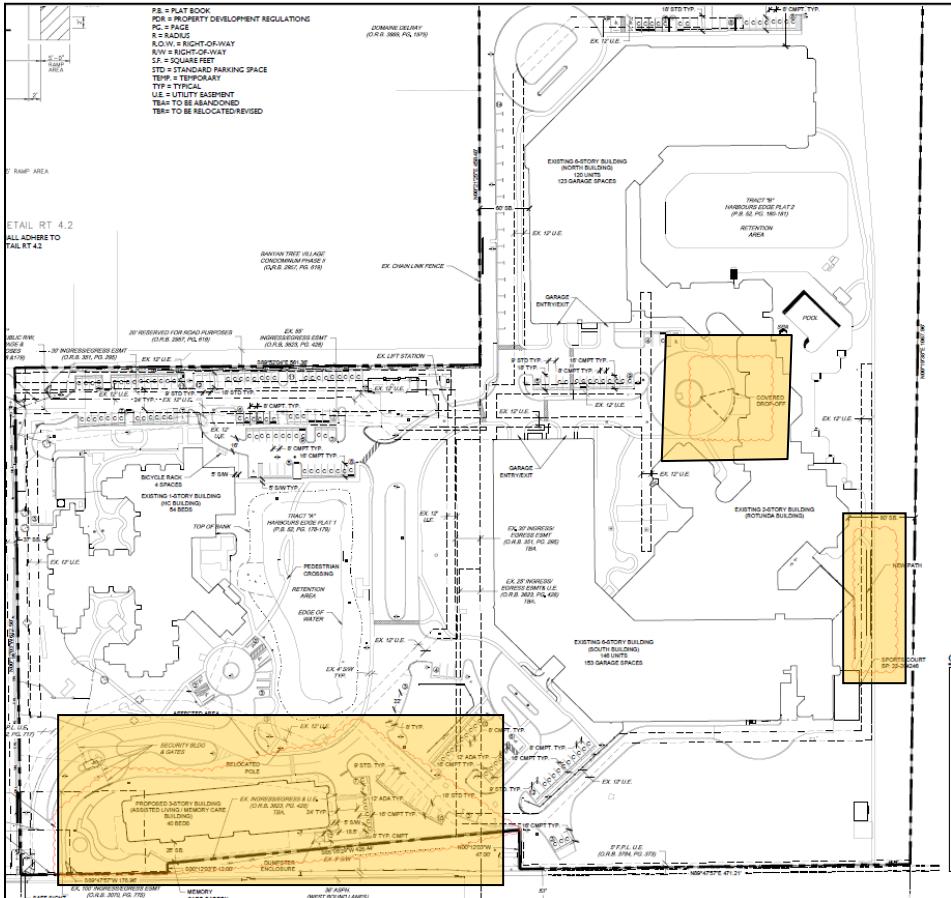
When the site plan was approved in 1983, the property was zoned RM-15, Multiple Family Residential, which had a maximum density of 15 dwelling units per acre, allowing for up to 306 dwelling units per the 1983 approved site plan. A pivotal shift occurred in 1990 during the Citywide rezoning, when the property was rezoned from RM-15 to RM. The new RM zoning has a standard density 6 to 12 dwelling units per acre. While the current RM zoning would allow a maximum of 245 dwelling units, if the property were developed today, it is important to note that the site is vested with 306 units, and the existing 266 units and 54 nursing home beds are a legal non-conformity with respect to density. It is also crucial to note that the bed count is excluded from the density calculation, as elaborated in subsequent sections of this report.

Description of Proposal

The applicant is requesting approval of a Level 3 site plan for a new three-story, 39,990 square feet assisted living and memory care facility, positioned on the southwest side of the campus, adjacent to East Linton Boulevard. The application also includes site improvements to the rest of the campus. The proposed facility is designed to accommodate 40 beds, with a particular emphasis on enhanced memory care services. The existing administrative offices will be demolished to accommodate the proposed building; a demolition plan is included in the request.

The uses in the new facility will be arranged as follows, with the site plan layout provided in the image below (areas being modified highlighted in yellow):

- **Floor 1.** 16 beds dedicated to memory care, along with essential amenities that include a salon, activity room, kitchen, and dining hall.
- **Floor 2.** The second floor is designed to house 12 assisted living rooms, a lounge, dining area, and a pub, that the applicant has designed to foster a vibrant community atmosphere.
- **Floor 3.** An additional 12 assisted living bedrooms, a fitness center, and an activity room.
- **Roof.** The roof will house the mechanical equipment, including the required generators, and will be screened by the parapet of the building.
- **Parking.** The site's current parking capacity stands at 489 spaces, while 455 parking spaces are required.
- **Site Improvements.** Outdoor site improvements are proposed to enhance both the functional and recreational aspects of the community.
 - A new covered drop-off structure is proposed for the main building, as part of this application, with minimal alterations to the existing parking configuration and landscaping. Parking adjustments around the proposed building will be made to accommodate a new dumpster enclosure.
 - Landscape enhancements will encompass interior spaces, barriers, and foundations around the affected areas.
 - A new pedestrian pathway and sports court on the southeast side along the Intracoastal Waterway (initially submitted as a separate application). The sports court addition has recently received approval through building permit 22-204246; this component of the site plan is a retroactive approval.



Review & Analysis
Site Plan and Zoning
<p>LDR Section 2.4.10, Site Plan Applications</p> <p>The request is considered a Level 3 Site Plan, which is subject to compliance with the required findings in Chapter 3, Performance Standards.</p> <p>LDR Section 3.1.1 Required Findings</p> <p><i>Prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application.</i></p> <p>The Required Findings relate to the land use map, concurrency, consistency, and compliance with the comprehensive plan. Compliance with the required findings is discussed below.</p> <p>(A) Land Use Map. <i>The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Land Use Map.</i></p> <p>The subject property has a Land Use Map designation of Medium Density (MD), and a zoning designation of Medium Density Residential (RM). Pursuant to Table NDC-1 of the Always Delray Comprehensive Plan, RM is one of the two preferred zoning districts for the implementation of the MD land use designation. This deliberate compatibility between land use and zoning designations is a crucial element in ensuring a harmonious and purposeful development. Additionally, the use as an assisted living facility is allowed in the RM zoning district. This compatibility is a key factor in the analysis, indicating that both the existing and resulting use of the property is consistent with the zoning regulations.</p> <p>The expansion of the assisted living facility use on the subject property not only complies with the zoning district regulations, but is also in harmony with many broader land use goals in the Comprehensive Plan (discussed in detail below). This alignment ensures that the development not only meets the necessary criteria but also contributes positively to the overall planning objectives and community vision.</p> <p>(B) Concurrency. <i>Concurrency as defined by Objective NDC 3.1 of the Neighborhoods, Districts, and Corridors Element of the adopted Comprehensive Plan must be met and a determination made that the public facility needs, including public schools, of the requested land use and/or development application will not exceed the ability of the City and The School District of Palm Beach County to fund and provide, or to require the provision of, needed capital improvements in order to maintain the Levels of Service Standards established in Table CIE-2, Level of Service Standards, of the Capital Improvements Element of the adopted Comprehensive Plan of the City of Delray Beach.</i></p> <p><u>Potable Water and Sewer:</u> Water and sewer services will be provided through the connection to existing water lines (6" and 8") and sewer lines (6" Ductile Iron). Harbour's Edge stands as the sole contributor to the sanitary sewer lift station. To prevent pump clogging resulting from debris entering the sanitary sewer system, the applicant must upgrade the pumps in the lift station to grinder-style pumps. Pursuant to the Always Delray Comprehensive Plan, there is ample treatment capacity available at both the City's Water Treatment Plant and the South-Central County Wastewater Treatment Plant for the City at build-out. Given the project's adjacency to an FDOT roadway, it is important to note that, prior to the issuance of a building permit, a Hold Harmless Agreement with FDOT may be required if water or sewer connections are made in the FDOT right-of-way.</p> <p><u>Drainage.</u> Drainage and water run-off will be addressed through on-site retention.</p> <p><u>Transportation:</u> A Traffic Impact Statement, performed by JFO Group Inc., has been provided indicating that the project will result in 104 new daily trips and 20 peak hour trips. The Traffic Performance Standards (TPS) letter from Palm Beach County, dated April 18, 2023, states that the proposed development meets the TPS of Palm Beach County.</p> <p><u>Parks and Open Space:</u> Not applicable. Parks impact fees are only required for residential development.</p> <p><u>Solid Waste:</u> Based on the Waste Generation Rates for Palm Beach County, the proposed three-story assisted living and memory care building will generate 118 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2054.</p>

Public School: Not applicable. The facility is not a residential use and is inherently age-restricted.

(C) Consistency. A finding of overall consistency may be made even though the action may be in conflict with some individual performance standards contained within Article 3.2, provided that the approving body specifically finds that the beneficial aspects of the proposed project (hence compliance with some standards) outweighs the negative impacts of identified points of conflict.

LDR Section 3.2.1, Basis for Determining Consistency requires a determination of overall consistency with the Comprehensive Plan, and **LDR Section 3.2.3, Standards for site plan and/or plat actions** provides standards for site plan actions (discussed further below). **LDR Section 3.2.4, Standards for Specific Areas or Purposes** addresses development compliance in flood-prone areas. The proposed site plan modification generally aligns with each of these standards, and there are no identified concerns regarding its overall consistency with Article 3.2.

LDR Section 3.2.1. The following applicable objectives or policies from the Always Delray Comprehensive Plan apply to the request.

Housing Element

Policy HOU 3.1.6: *Do not increase the net density within the Coastal High Hazard Area.*

Policy HOU 5.1.3: *Allow and encourage housing options for older adults and residents with disabilities, including designs that allow for independent living, various degrees of assisted living, and/ or skilled nursing care, where there is access to on-site health care and other services and amenities.*

Policy HOU 5.1.8: *Support programs that provide assistance to seniors and disabled individuals for home improvements which enhance livability and quality of life.*

The proposed development is generally consistent with the overarching goals of the Housing Element, which encourages housing options for older adults and individuals with disabilities. The Housing Element also emphasizes the need for diverse designs accommodating independent living, various degrees of assisted living, and skilled nursing care, ensuring access to on-site health care and amenities. The proposed addition of 40 assisted living and memory care beds signifies a proactive approach to providing additional care for residents as their needs change, aligning seamlessly with the Comprehensive Plan's vision.

Neighborhoods, Districts, and Corridors Element

Policy NDC 2.1.2 *The City shall not increase the net density within the Coastal High Hazard Area, including through incentive programs, zoning changes, or land use designation amendments.*

Coastal Management Element

Policy CME 1.1.1 *Define the Coastal Planning Area to include offshore reefs, the barrier island, all inland properties located along waterways that adjoin the Intracoastal Waterway westward including properties within a special flood hazard area.*

Policy CME 2.2.3 *Do not increase the net density within the Coastal High Hazard Area.*

Policy CME 4.1.1 *Define the Coastal High Hazard Area as the area extending from offshore inland, including special flood hazard areas and areas that are below the elevation of the category 1 storm surge line as established by a Sea, Lake and Overland Surges for Hurricanes computerized storm surge model, as described in F.S. 163.3178(2)(h).*

Objective CME 3.1 Resilience and Adaptation to Climate Change

Increase adaptability and resiliency to climate change impacts by developing and implementing a Sustainability and Climate Action Plan with vulnerability assessment including strategies that address coastal flooding, tidal events, storm surge, flash floods, storm water runoff, salt water intrusion and other impacts related to or exacerbated by sea level rise, changing precipitation patterns, temperature increases, and other climate change factors.

Policy CME 4.1.2 *Maintain a coastal high hazard evacuation time of 7-10 hours and reduce hurricane clearance times within the city as a component of maintaining and reducing evacuation times for Palm Beach County and the region.*

The subject property is located in a Flood Zone (AE6) within the Coastal High Hazard Area (map at right); the next official Flood Zone map update is updating the Flood Zone from AE6 to AE7. Flood Zone AE7 requires new construction to be built at a base elevation one foot higher than Flood Zone AE6. The proposed site plan is designed for the pending Flood Zone AE7 requirements, pursuant to the requirements in **LDR Section 3.2.4(D), Flood Prone Areas**.

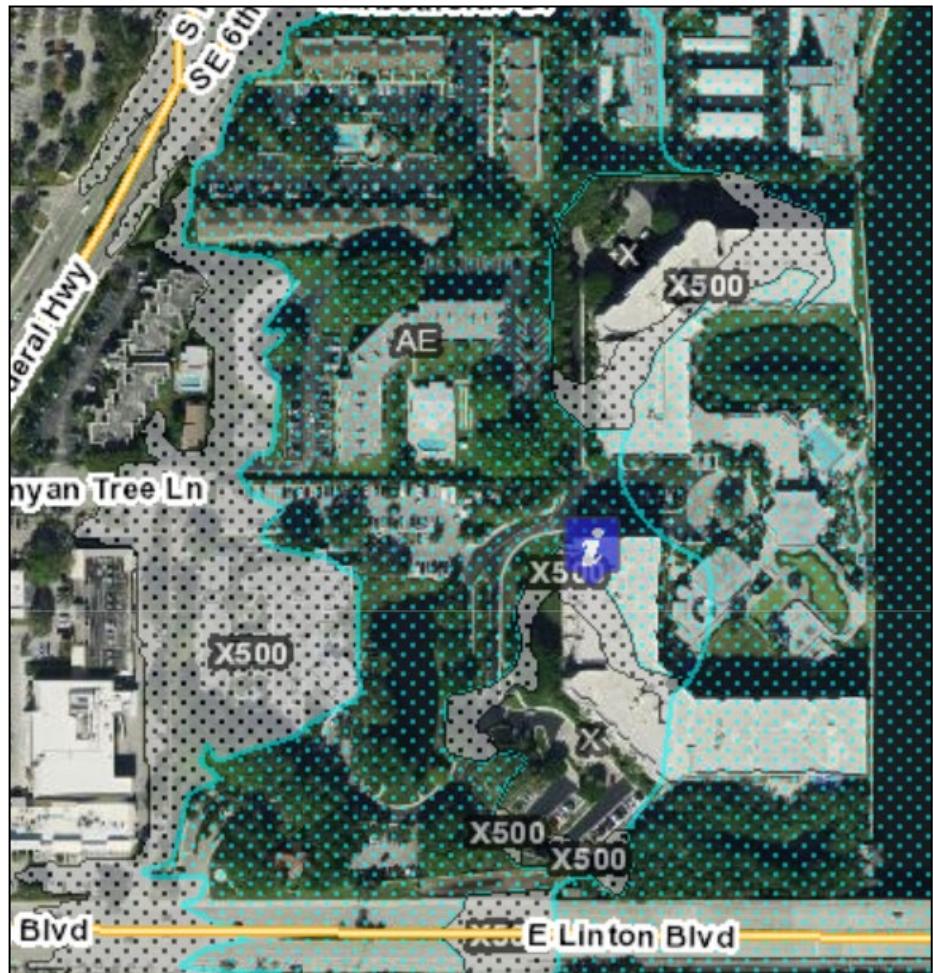
A key aspect of the analysis revolves around the question of whether the proposed building is considered an increase in density, and therefore not allowed within the Coastal High Hazard Area. Pursuant to Table NDC-1 of the Comprehensive Plan, MD land use only has a density standard (based on dwelling unit count), not Floor Area Ratio (FAR), which measures intensity. A Dwelling Unit is defined as *“One or more rooms connected together, designed to be occupied by one family, constituting a separate, independent housekeeping establishment and physically separated from any other dwelling unit which may be in the same structure, and which contains independent sanitation, living, cooking and sleeping facilities”* (**LDR Appendix A, Definitions**). The 40 proposed memory care and assisted living beds do not have the components of a dwelling unit, and do not, therefore, qualify as dwelling units. Consequently, approval of the proposed development would not contravene the policies that discourage increased net density in the Coastal High Hazard Area.

According to Comprehensive Plan Policy CME 4.1.2, within the Coastal High Hazard area, the City should *maintain a coastal high hazard evacuation time of 7-10 hours and reduce hurricane clearance times within the city* in support of regional evacuation efforts. The application narrative discusses two neighboring retirement communities operated by Lifespace west of I-95 in Delray Beach, which the applicant states have the capacity to accommodate any residents evacuated from the subject property in case of an emergency. However, the evacuation plans for the municipalities are maintained with Palm Beach County, not the City. **Therefore, the applicant must notify Palm Beach County of the changes to include the proposed 40 beds.** It has been added as a technical note that **the applicant must provide proof of submittal to Palm Beach County Emergency services prior to issuance of a Certificate of Occupancy.**

Open Space and Recreation Element

Objective OPR 1.4 Private Development Requirements *Provide sufficient and appropriate park and recreational facilities to supplement the City's provision of recreation facilities and programs in private development, particularly residential, for the well-being of the future residents of the development.*

Policy OPR 1.4.1 *Continue to require the provision of sufficient open space in public and private development projects through the Land Development Regulations*



Harbour's Edge provides amenities that meet the intent of recreation requirements for private communities, that include a pool, walkway path, and sports court, which provide opportunities for a healthy lifestyle and social well-being.

LDR Section 3.2.3, Standards for site plan action. The following standards are applicable to the request:

- A. *Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.*
- B. *Open space enhancements and recreational amenities shall be provided to meet Objective OPR 1.4 and other requirements of the Goals, Objectives and Policies, as applicable, of both the Open Space, Parks, and Recreation Element and Conservation Element.*
- F. *Property shall be developed or redeveloped in a manner so that the use, intensity, and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services: are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.*
- H. *Consideration shall be given to the effect a development will have on the safety, livability, and stability of surrounding neighborhoods and residential areas. Factors such as but not limited to, noise, odors, dust, and traffic volumes and circulation patterns shall be reviewed and if found to result in a degradation of the surrounding areas, the project shall be modified accordingly or denied.*
- I. *Development shall not be approved if traffic associated with such development would create a new high accident location or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.*
- K. *Development shall not exceed the maximum limits established in the Table NDC-1, Land Use Designations: Density, Intensity, and Implementing Zoning Districts, of the Neighborhoods, Districts, and Corridors Element or specific standards established in the zoning districts that limit density (dwelling units per acre) or intensity (floor area ratio) and must adhere to whichever limit is lower. Development in areas included in density or incentive programs (i.e. workforce housing programs specified in Article 4.7-Family/Workforce Housing) may exceed the Standard density limit, up to the specified Revitalization/Incentive density established for the program: development in all other areas shall not exceed the Standard density.*
- L. *Development shall meet the intent of CSR 5, Energy Efficiently and Diverse Energy Mix and, where applicable, the requirements of LDR Section 7.11.1, Green Building Regulations.*

Harbour's Edge, positioned just south of East Linton Boulevard and alongside the Intracoastal Waterway, provides a comprehensive retirement community offering independent retirement living, assisted living facilities, and memory care. The campus provides residents with an array of amenities intended to serve their physical and social needs, including a pool, walking paths, dining halls, and transportation services.

The applicant is fully compliant with **LDR Section 7.11.1, Green Building Regulations**, which became effective November 1, 2023. New construction or addition(s) consisting of 15,000 square feet of Gross Floor Area, or up to 50,000 square feet in one or more buildings on a single parcel or as a part of a unified development, are required to achieve at least the minimum level of certification from a green building certification entity.

LDR Section 3.2.4, Standards for Specific Areas or Purposes. Subsection (D), Flood prone areas requires that *development proposed on land which is in a floodplain shall certify that the proper requirements for mitigation of potential flood damage have been provided.*

Currently, the continuing care retirement community campus falls within the AE6 flood zone, and upon the implementation of the new FEMA maps, it will be reclassified as AE7 which will increase the Base Floor Elevation by one foot. As discussed above, the proposed site plan complies with the AE7 classification.

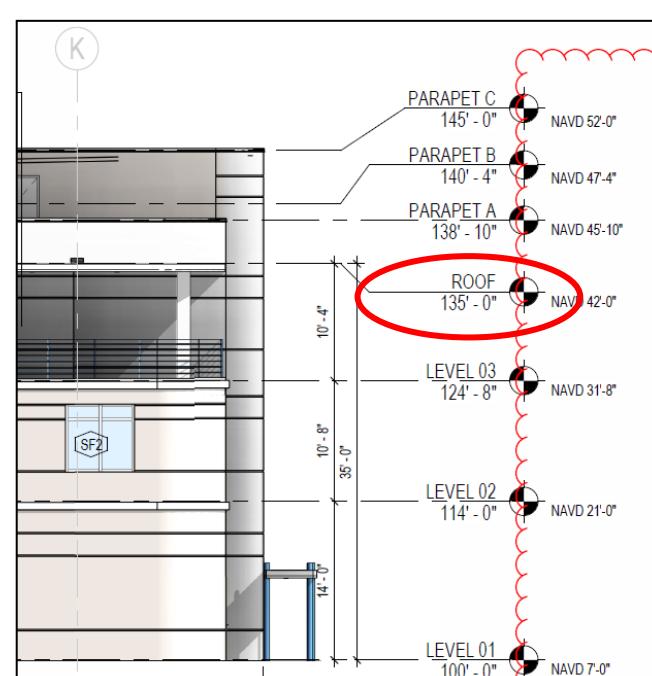
(D) Compliance with the LDR. *Whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. Such items are found in Section 2.4.5 and in special regulation portions of individual zoning district regulations.*

LDR Section 4.4.6(B)(9), Medium Density Residential District

Assisted Living Facilities that do not comport with the definition of "community residence" and Continuing Care Facilities are a principal use in the RM zoning district.

Harbour's Edge is a long-established continuing care retirement community built on 20.45 acres, featuring 266 dwelling units and 54 assisted living beds. The campus consists of three main structures: the "north building," a 6-story structure with 120 units; the "south building," a 6-story building with 146 units; and the "Health Care Building" located on the west side of the campus, which accommodates 54 beds.

The applicable regulations are outlined in the table below.

Standard/Regulation	Review
Setbacks Development Standards Matrix 4.3.4(K)	Required: Front Setback: 1 st and 2 nd Floor 25 feet; 3 rd Floor 30 feet. Proposed: Front Setback: 1 st and 2 nd Floor 25 feet; 3 rd Floor 30 feet. The proposed building is located on the southwest part of the campus and only involves the front setback along Linton Boulevard.
Sports Court	Required: Side Interior: 15 feet Proposed: Side Interior: 63 feet The sports court is located on the southeast side of the campus.
Height 4.3.4(J)(1)	Maximum: 45 Feet Proposed: 42 feet from the highest finish roofline The height of all structures within the City of Delray Beach shall be measured as the vertical distance from the base building elevation to the highest finished roof surface of a flat roof or to the mean level between tie beams and ridge for gable, hip, or gambrel roofs, except as provided below. The maximum height is established in the Development Standards Matrix for all structures within the respective zone district.
4.3.4(2)(b)(i),	Sites located within a FEMA designated SFHA, as amended, the base building elevation is established as the higher of the following:(i); the minimum required base flood elevation, as required by FEMA and the Florida Building Code (FBC), as amended, and allowing up to 12 inches for freeboard. Base Flood Elevation: Required: 6 feet NAVD Provided: 7 Feet NAVD <i>The applicant has provided the BFE in anticipation of the FEMA Regulation changes.</i> 
Table 4.3.4(J)(3)	Height Exceptions: Subject to action by the Approving Body: Exception types that are "Subject to Action by the Approving Body" in Table 4.3.4(J)(3), require board action by the approving body and are subject to the following procedure:

	<p>1. Documentation supporting the requested height exception must be provided, such as, but not limited to, massing study, line of sight diagrams, architectural proportion analysis, or roof area calculations, and justification statement addressing the necessity of the request and the criteria for board action in Section 4.6.18(E).</p> <p>2. The approving body shall make findings that the granting of the height exception meets the standards in Section 4.6.18(E), and Section 4.5.1(E), as applicable.</p> <p>Elevator and vestibule in nonresidential zoning districts: Maximum: Up to 10 Feet Proposed: 10 feet above the roofline</p> <p>Rooftop appurtenances in non-residential zoning districts: Maximum: More than 4 feet and up to 10 feet Proposed: 10 feet above the roofline</p>
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LDR Section 4.4.6(H)(1), Special Regulations.

Density may exceed the base of six units per acre only after the approving body makes a finding that the project has substantially complied with the performance standards in Section 4.3.3(BB), which are intended to mitigate the impacts of the increased density and ensure that the project is compatible with surrounding land uses.

As previously noted, assisted living facilities within the RM zoning district are not subject to either density or intensity. The form of the development is instead dictated by the zoning district development standards and standards for site plan actions, and compliance with the RM zoning district requirements is noted above. However, it is important to note that despite the existing legal non-conformities, the subject property would generally comply with the required findings for increased development density for the site relative to the 266 independent living units with kitchen facilities, if it was subject to them either at the time of site plan approval in 1983 or at present. The analysis of the performance standards is provided below.

LDR Section 4.3.3(BB)(4), Findings.

The approving body must make a finding that the development substantially complies with the performance standards listed in this section.

Performance Standard	Review
Traffic Circulation 4.3.3(BB)(3)(a)	The traffic circulation is established on site with the main ingress and egress off East Linton Boulevard. There is a secondary means of ingress and egress located off on Banyan Tree Lane.
Building placement to reduce massing and provide a feeling of open space 4.3.3(BB)(3)(b)	The continuing care retirement community complex has two independent living tower buildings, one story assisted living facility and an administrative office building. The proposed three story assisted living facility and memory care building is proposed along Linton Boulevard and will replace the existing administrative office building. The massing is not a concern as the proposed building will be located where there is an existing building.
Buffering; Increased setbacks and landscaping 4.3.3(BB)(3)(c)	The affected sites that consist of the proposed building along East Linton Boulevard and sport court along the Intracoastal waterway is required to provide a minimum of one tree per 30 linear feet and a hedge which is provided.
Varied streetscape and building design 4.3.3(BB)(3)(d)	The third story of the proposed building is setback and additional five feet. A terrace is also proposed on the third floor of the activities room.
Varying Unit Types 4.3.3(BB)(3)(e)	Harbour's Edge provides housing for senior living both for the independent and dependent living of individuals.
Open Space Areas 4.3.3(BB)(3)(f)	The minimum required open space is 25% and 35% is proposed. A new walking path along the Intracoastal Waterway is proposed. The retention areas are being maintained.
Bicycle/pedestrian network, and access to available transit 4.3.3(BB)(3)(g)	New bicycle racks are proposed for the employees of Harbour's Edge. The site provides transportation to the residents who are no longer able to drive or navigate public transportation.

Parking Garage Elevations 4.3.3(BB)(3)(h)	The existing parking garages use similar architectural elements of the new building with rounded edges. The colors are complimentary as well.
Unified architectural character in buildings, parking lot, and landscaping 4.3.3(BB)(3)(l)	The proposed building uses similar colors as the existing residential buildings as well as the parking garages. The same curved edges are used in the simplistic architecture throughout the site.
Common areas and amenities 4.3.3(BB)(3)(j)	The development offers a communal swimming pool, a proposed walking path and sport court.
Pedestrian movement by providing access to public sidewalks 4.3.3(BB)(3)(k)	Sidewalk connection is provide within the development from building to building. In addition, Linton Boulevard provides a sidewalk and a bus shelter for transportation.
Opportunities to share parking or parking spaces 4.3.3(BB)(3)(l)	There are 489 parking spaces available on site either in the garages or surface parking. The site is required 445 parking spaces.

The site plan also complies with other applicable requirements, detailed as follows.

- **LDR Section 4.6.8, Lighting.** The proposed lighting around the building, pathway and parking lot are within the required illuminations and are full cut-off. The spillage onto Linton Boulevard is at a minimum.
- **LDR Section 4.6.9, Off-Street Parking.** Nursing homes are required to provide one space for every four beds; 10 parking spaces are required for the proposed memory care and assisted living structure. 489 parking spaces are provided to serve the campus within the parking garages and surface; only 445 parking spaces are required. Therefore, the parking requirement is met.
- **Bicycle Parking.** 1 space is required for every 20,000 square feet; the proposed building is 39,990 which requires two bicycle parking spaces. The applicant is proposing four bicycle racks.

Compliance with the Landscape Plan and Architectural Elevations is discussed below.

Landscape Plan

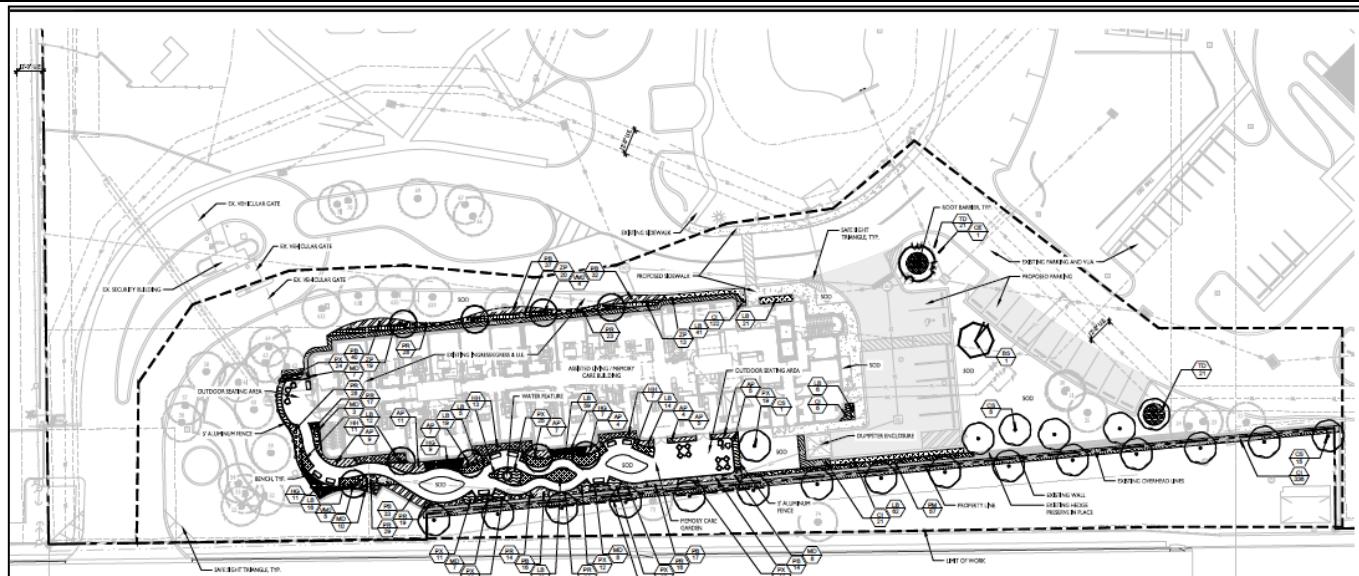
LDR Section 2.4.10(A)(3)(c), Findings

All site plan applications require compliance with the applicable regulations and review criteria and shall be consistent with the Comprehensive Plan and other local ordinances.

(c) Landscape Plans, including modifications to existing landscaping, shall be consistent with Section 4.6.16, Landscape Regulations.

The landscape plan has been deemed technically compliant pursuant to the applicable requirements of LDR Section 4.6.16. The project includes new landscaping surrounding the proposed building and sports court. Silver Button Wood trees are provided adjacent to Linton Boulevard and provide shade to the residents. A memory garden located on the south side of the building adjacent to Linton Boulevard is provided for the residents and include benches and a water feature. Pygmy Date Palm and Yew Pine are provided along the eastside adjacent to the Intracoastal Waterway. Shrub areas include Red Ginger, Cocoplum, Heliconia, Phildendran, and Fakahatchee Ground cover is provided with St. Augustine Grass and Big Blue Lilityturf. Below, is the Landscape Plan outlining the placement of the proposed trees, shrub areas, and memory garden.

There are 32 trees identified for removal, which include a mix of invasive species, palms, and shade trees. An in lieu fee of \$147,975 must be paid into the Tree Trust Fund prior to issuance of a building permit.



Architectural Elevations

LDR Section 4.6.18, Architectural Elevations and Aesthetics

Architectural Elevations, including modifications to existing building facades, require an overall determination of consistency with the objectives and standards of Section 4.6.18, Architectural Elevations and Aesthetics, and any adopted architectural design guidelines and standards, as applicable (LDR Section 2.4.10(A)(3)(d), Findings).

While no defined architectural style is required in this zoning district, the building architecture can be described as influenced by Art Deco and Streamline Moderne, two styles that are very closely related (image at right and elevations below).



There are five subsections for consideration in **LDR Section 4.6.18**: (A) Minimum requirements, (B) Building and structure requirements, (C) Exterior space, (D) Parking lots and vehicular use areas, and (E) Criteria for board action. Relevant requirements from (A), (B), and (E) are discussed in detail below, as particularly relevant to the subject request.

(A) Minimum Requirements

- (1) *The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.*
- (2) *It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.*

- (3) The requirements contained in this Section are minimum aesthetic standards for all site development, buildings, structures, or alterations except for single family development.
- (4) It is required that all site development, structures, buildings, or alterations to same, show proper design concepts, express honest design construction, and be appropriate to surroundings.



(B) Building and structure requirements.

- (1) Buildings or structures which are a part of a present or future group or complex shall have a unity of character and design. The relationship of forms and the use, texture, and color of materials shall be such as to create a harmonious whole. When the area involved forms an integral part of, is immediately adjacent to, or otherwise clearly affects the future of any established section of the City, the design, scale and location on the site shall enhance rather than detract from the character, value, and attractiveness of the surroundings.
- (14) Architectural features and building structures constructed or placed above the roof, such as stair towers, restroom facilities, and elevator overruns, shall be incorporated into the overall building design and shall be consistent with the architectural style.
- (15) Flat roofs shall be screened from the lateral view of adjacent properties by a parapet. New or replacement rooftop appurtenances, including mechanical equipment, shall be screened by a parapet, enclosure, or other method equal in height to the appurtenance. The screening must be integrated and compatible with the building architecture.

(E) Criteria for Board Action. The following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (5) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The original development has distinct features of the modernism movement, using clean lines, minimalistic design, and a keen focus on functionality. The existing structures showcase a thoughtful arrangement of geometric shapes, large windows that invite natural light, and a unique continuous horizontal elevation that gracefully transforms into softer curves as the balconies curve to meet the main mass of the building. These architectural elements, combined with flat roofs and the use of concrete and stucco, establish an overall aesthetic of the property.

With the proposed addition of a new building to the development, the architect has preserved the essence of the original modernism style while introducing contemporary elements. The new building upholds the hallmark features of the modernism style, placing a strong emphasis on clean lines. The color palette, a blend of realist beige and faded flax flower hues, adds a contemporary touch while remaining respectful to the original design. Expansive terraces and the curvature of corners have been incorporated, maintaining the continuity with the existing style. Additionally, the design incorporates flat roofs with concealing parapets, ensuring a visually pleasing and modest rooftop appearance, while any mechanical equipment is thoughtfully screened. This careful integration of modern design principles with the established aesthetic ensures that the new enhances the overall visual coherence of the development for a harmonious transition between the old and new structures.

The minimum aesthetic standards outlined in this Section have been addressed and met. The overall design and high-quality appearance of the proposed structure are expected to have a positive impact on the visual landscape, ensuring that it does not "materially depreciate" the adjacent neighborhood or surrounding properties. The strategic positioning of structures within the campus, and enclosure by a surrounding wall, effectively separates it from a nearby shopping plaza and residential condominiums to the west, maintaining a sense of visual continuity and aesthetic integrity.

The introduction of a new canopy over the main entrance of the existing building is a notable enhancement. This addition aligns with the rounded edges proposed in the new building and contributes to the harmonious whole of the campus.

Furthermore, the proposed sports court and walking path on the east side of the property, facing the Intracoastal Waterway, are integrated to be in harmony with the surrounding area. This consideration of the site's orientation and landscape contributes to the overall positive aesthetic coherence of the project.



Technical Notes

1. **Prior to Site Plan Certification:** The site plan and survey must be updated to reflect the abandonment of the ingress/egress easement and the utility easement.
2. **Prior to Building Permit Issuance:**
 - a. The ingress/egress Easement (O.R.B 3070 PG. 775) and the utility Easement (O.R.B 3623 page 428) must be abandoned and recorded with the Palm Beach County Clerk of Court.
 - b. A mitigation in lieu fee of \$147,975 must be paid into the Tree Trust Fund.
 - c. A certification level of LEED Silver or equivalent is required pursuant to the adoption of Ordinance No. 30-22.
 - d. Documentation that an updated evacuation plan has been provided to Palm Beach County.

Options for Board Action

- A. **Move approval** of the Level 3 (2023-226) Site Plan, Landscape Plan, and Architectural Elevations, for the construction of a three-story, assisted living and memory care facility in Harbour's Edge, located at **401 East Linton Boulevard**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
- B. **Move approval, as amended**, of the Level 3 (2023-226) Site Plan, Landscape Plan, and Architectural Elevations, for the construction of a three-story, assisted living and memory care facility in Harbour's Edge, located at **401 East Linton Boulevard**, by finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.

C. **Move denial** of the Level 3 (2023-226) Site Plan, Landscape Plan, and Architectural Elevations, for the construction of a three-story, assisted living and memory care facility in Harbour's Edge, located at **401 East Linton Boulevard**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.

D. **Move to continue with direction.**

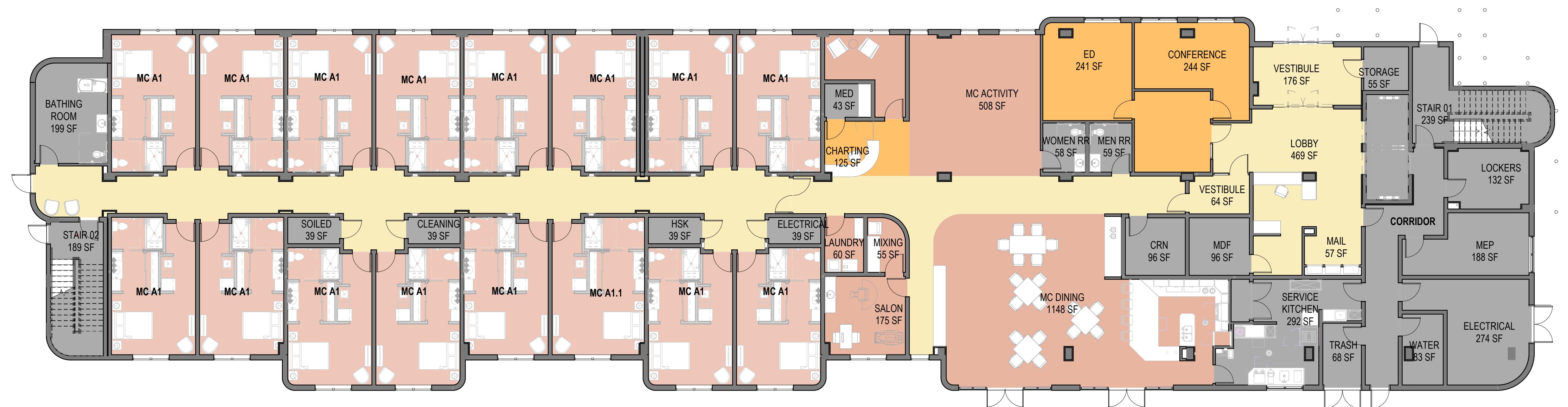
Courtesy Notices

Courtesy Notices were sent to:

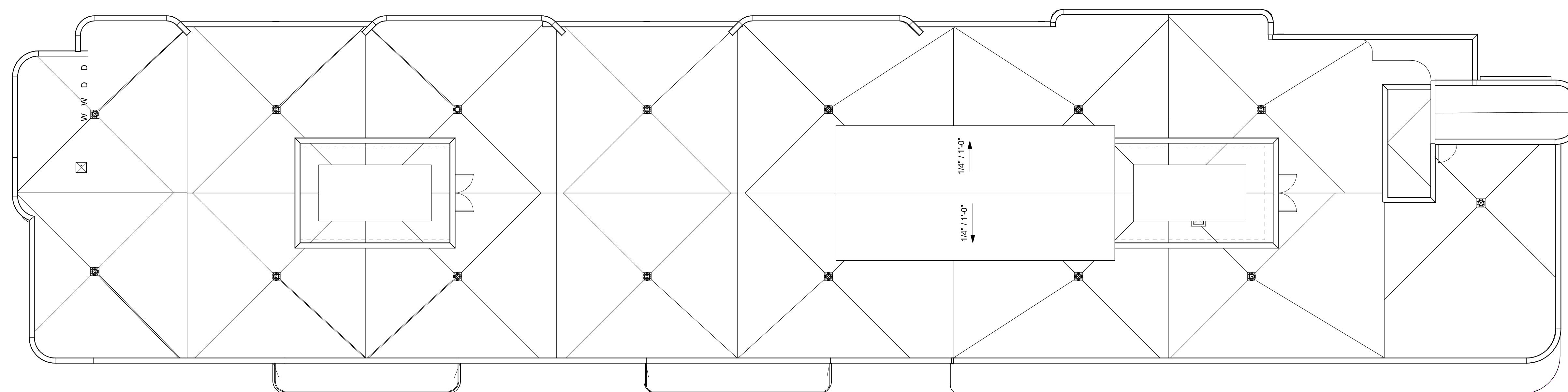
- Domaine Delray
- Harbourside
- Banyan Tree



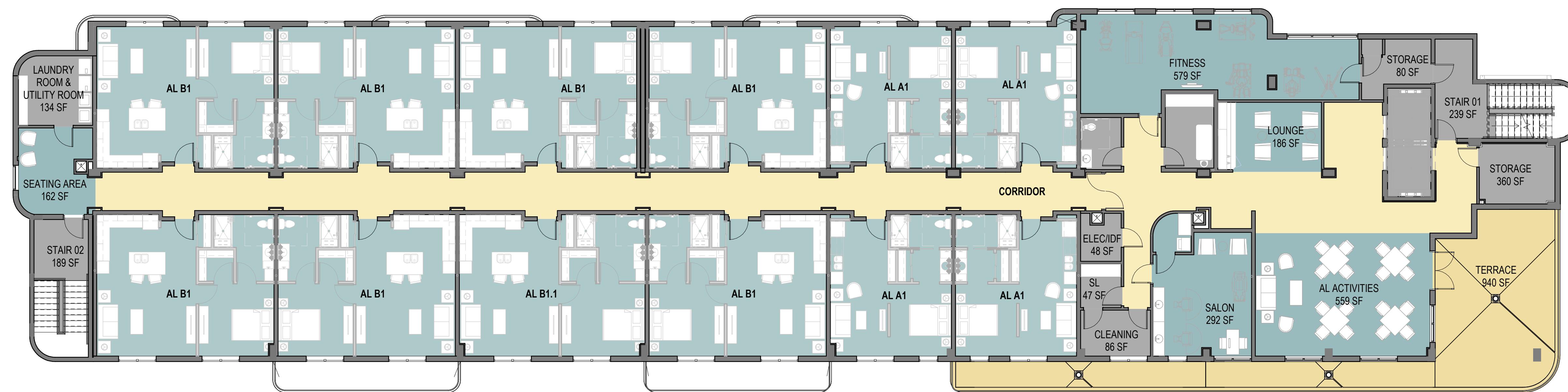
OVERALL FLOOR PLAN - LEVEL 02



OVERALL FLOOR PLAN - LEVEL 01



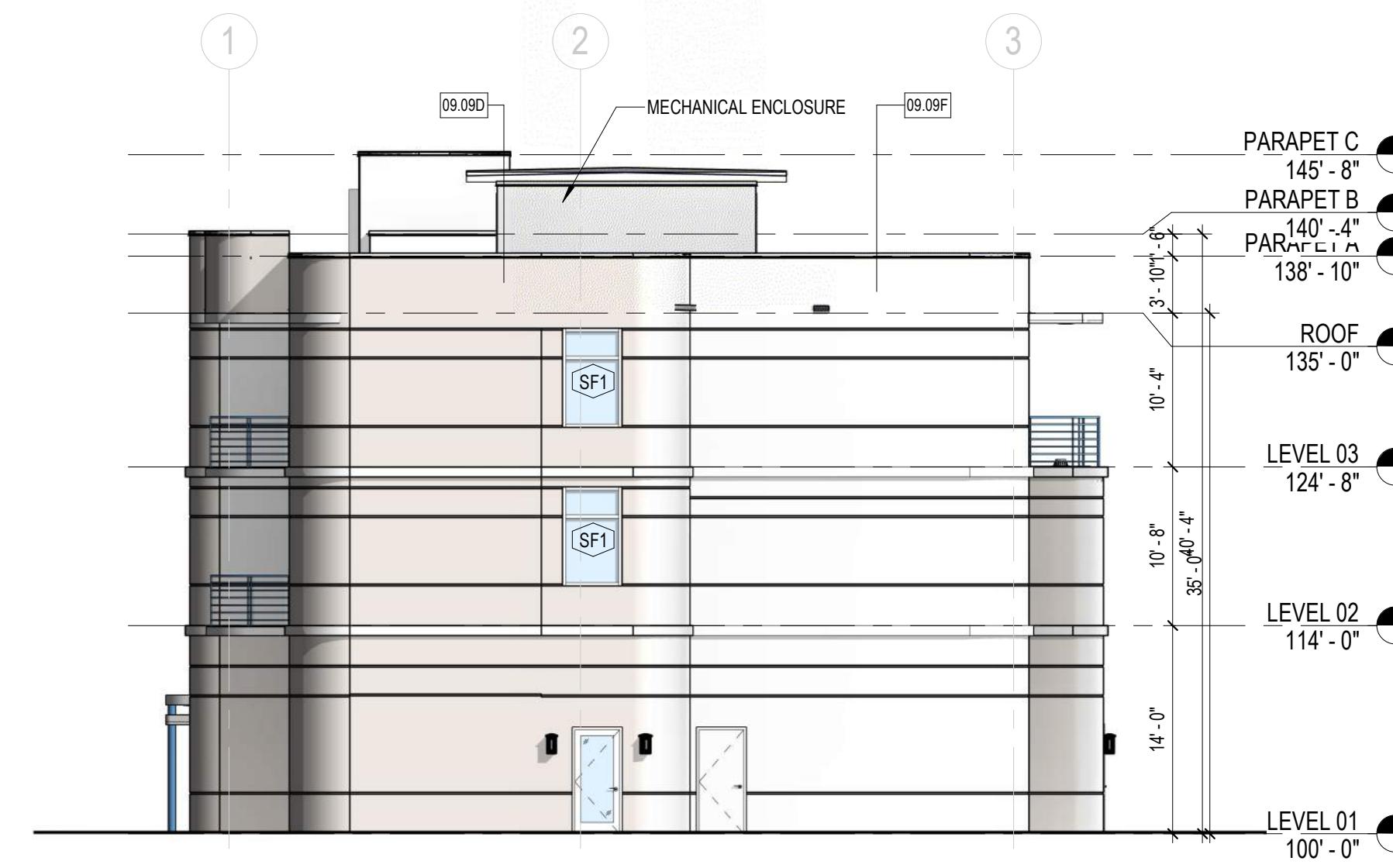
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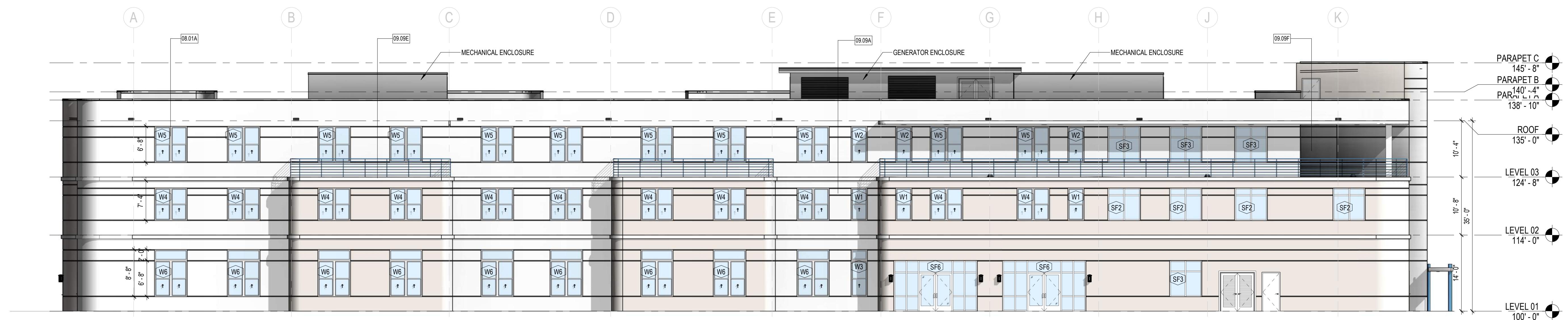
OVERALL FLOOR PLAN - LEVEL 03



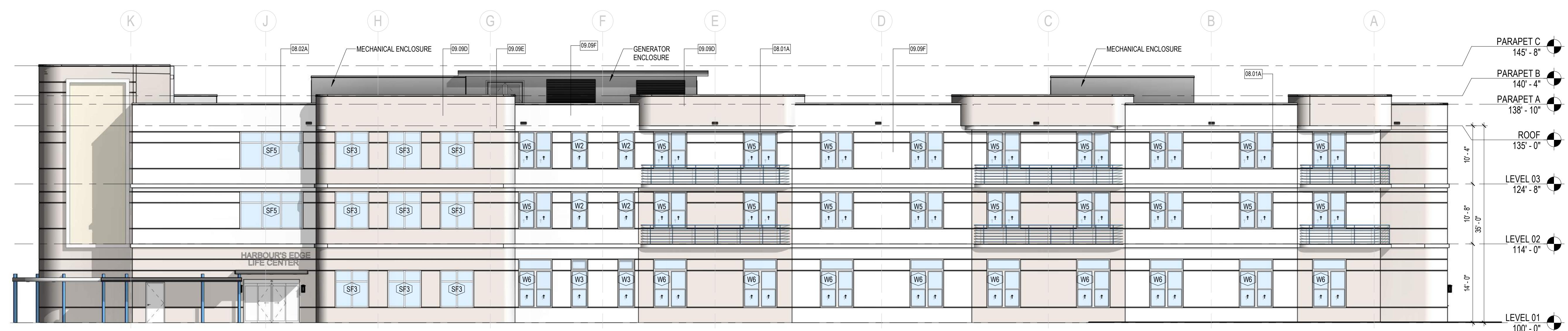
OVERALL EAST ELEVATION



OVERALL WEST ELEVATION



OVERALL SOUTH ELEVATION



OVERALL NORTH ELEVATION

KEYNOTE LEGEND	
KEYNOTE NUMBER	KEYNOTE TEXT
08.01A	VINYL WINDOW: COLOR WHITE
08.02A	ALUMINUM STOREFRONT SYSTEM - KYNAR FINISH: COLOR WHITE
09.09A	3/4" STUCCO CONTROL JOINT
09.09D	STUCCO EXTERIOR FINISH, COLOR: SW 6078 REALIST BEIGE
09.09E	STUCCO FINISH ON SLAB, COLOR: SW 7566 WESTHIGHLAND WHITE
09.09F	STUCCO EXTERIOR FINISH, COLOR: SW 7566 WESTHIGHLAND WHITE

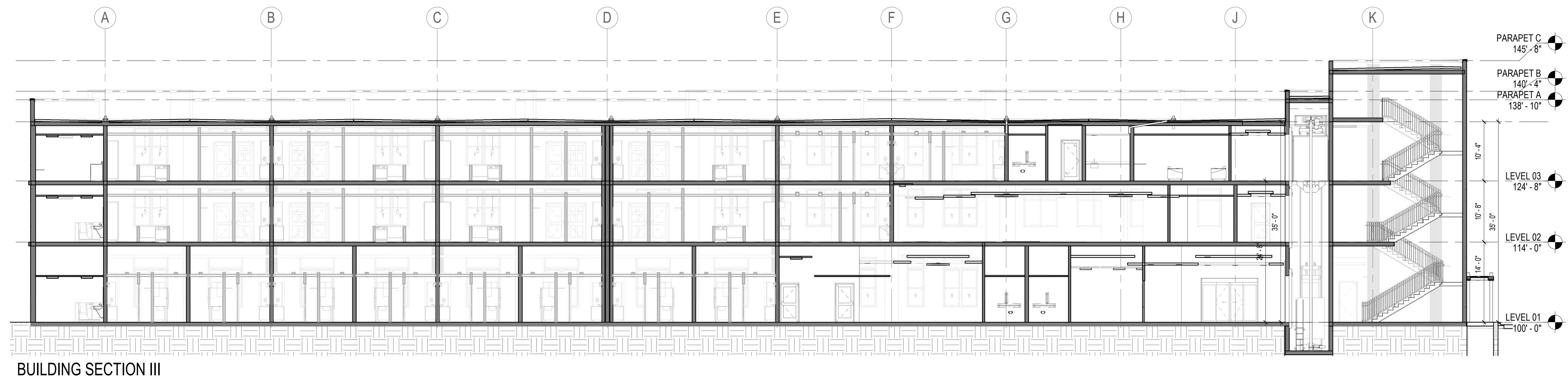


LIFE SPACE®

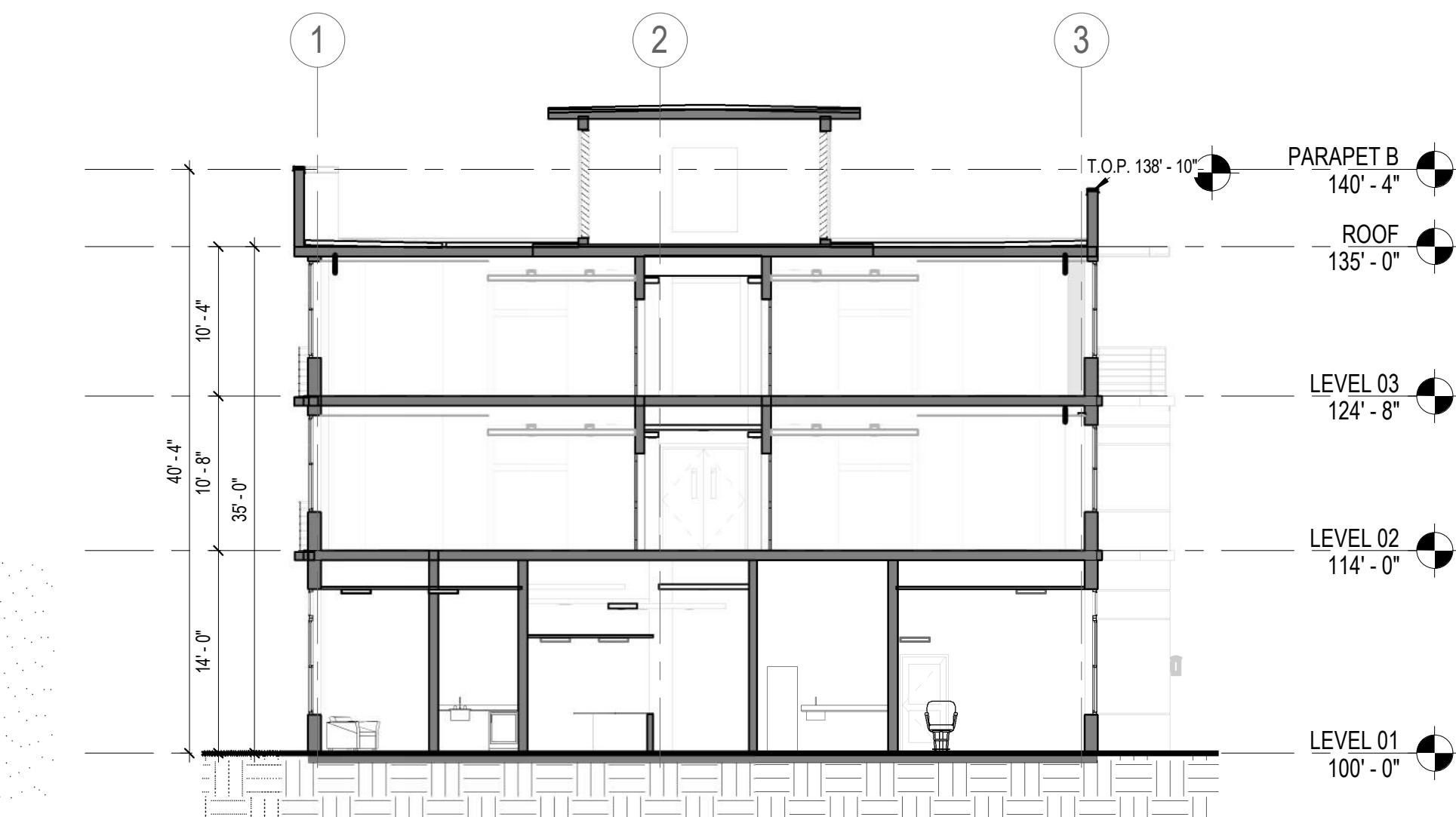
DECEMBER 12, 2023

ARCHITECTURAL RENDERINGS
HARBOURS EDGE ALMC

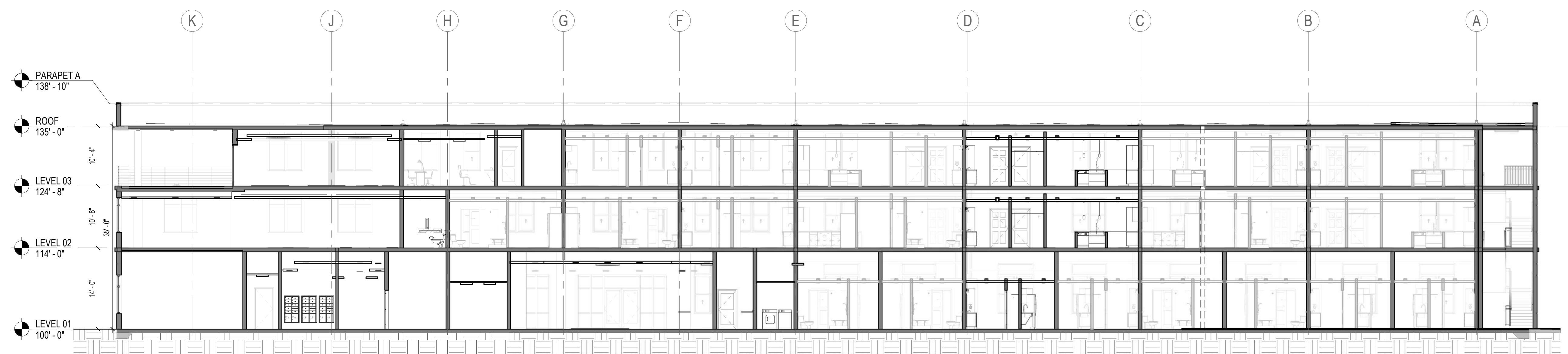
LB
IA



BUILDING SECTION III



BUILDING SECTION II



BUILDING SECTION I

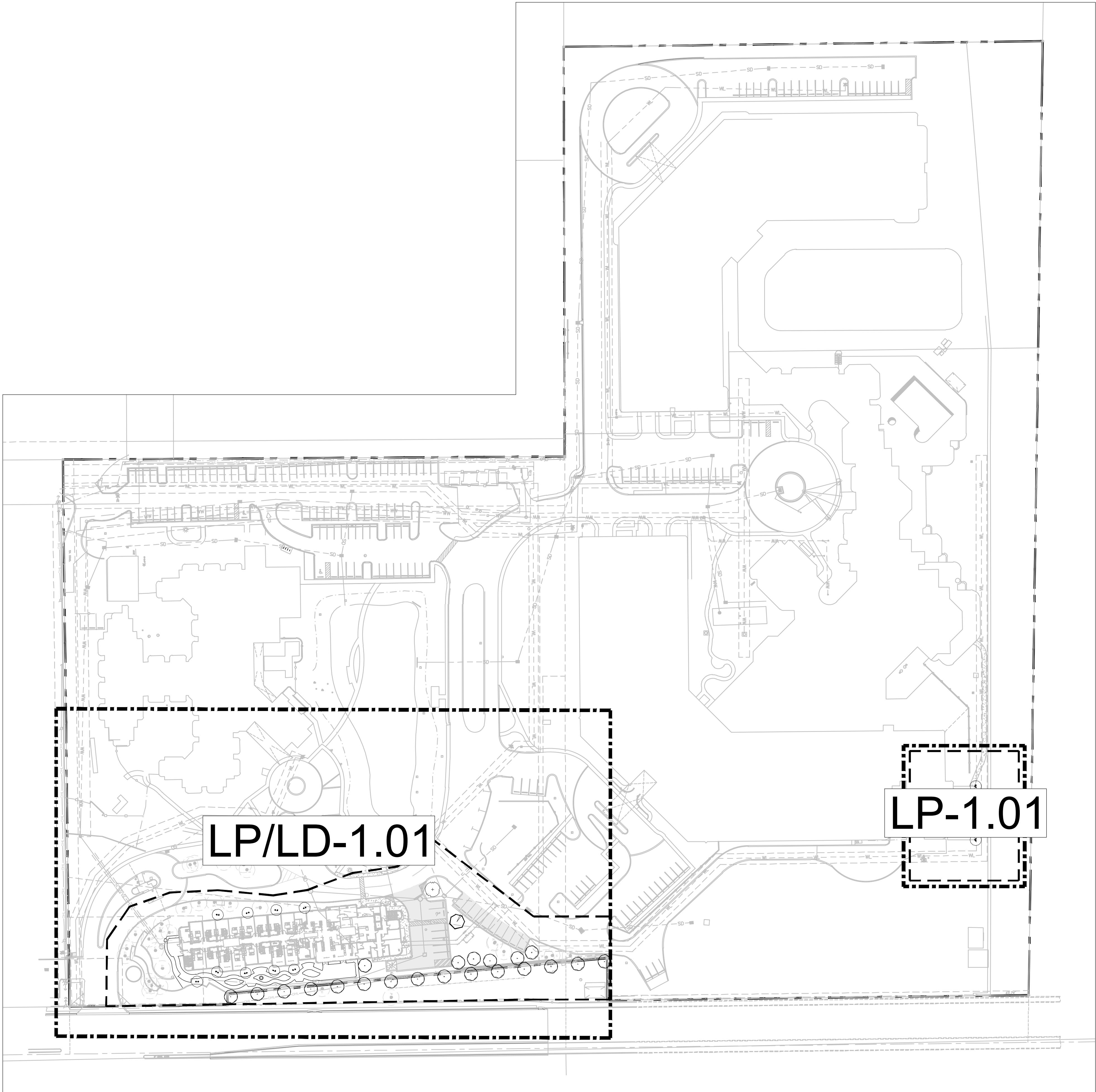


LIFE SPACE®

DECEMBER 12, 2023

ARCHITECTURAL RENDERINGS
HARBOURS EDGE ENTRY CANOPY

LB
IA

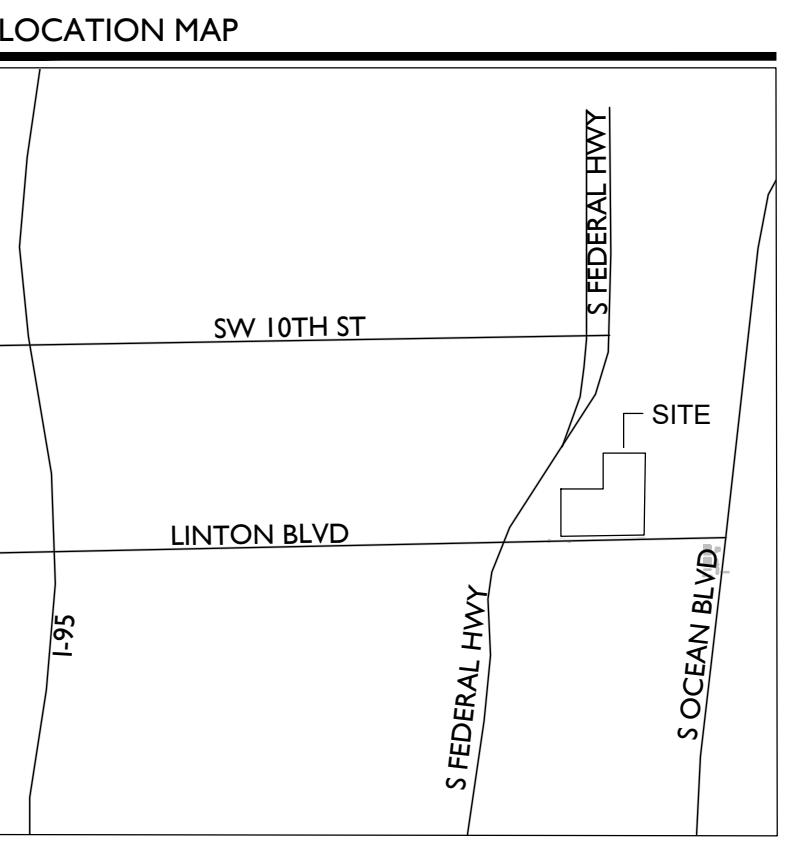


LANDSCAPE REQUIREMENTS

DELRAY BEACH, FLORIDA | ZONING: IU-C

LANDSCAPE BARRIERS	REQUIRED	PROVIDED
A STRIP OF LAND AT LEAST 5' IN DEPTH LOCATED BETWEEN THE OFF-STREET PARKING AREA OR VUA AND THE RIGHT-OF-WAY SHALL BE LANDSCAPED CONSISTING OF: MIN ONE TREE PER 30 LF + A HEDGE (MIN 2' HT AT PLANTING) OR WALL	152 LF / 30 LF = 5 TREES + A HEDGE (MIN 2' HT AT PLANTING) OR WALL	5 TREES + HEDGE PROPOSED EXISTING WALL + EXISTING HEDGE TO BE PRESERVED AND PROTECTED IN PLACE AS SHOWN
SPORT COURT SCREENING: MIN. ONE TREE PER 30 LF + A HEDGE (MIN. 2' HT AT PLANTING)	90 LF / 30 LF = 3 TREES + A HEDGE (MIN 2' HT AT PLANTING) OR WALL	3 TREES + HEDGE PROPOSED
RIGHT-OF-WAY LANDSCAPE MASONRY WALLS LOCATED IN THE FRONT AND STREET SIDE YARDS SHALL BE SCREENED WITH LANDSCAPE MATERIALS. MIN. ONE TREE PER 30 LF + A HEDGE (MIN. 2' HT AT PLANTING)	431 LF / 30 LF = 15 TREES + A HEDGE (MIN 2' HT AT PLANTING)	15 TREES + HEDGE PROPOSED
INTERIOR LANDSCAPE INTERIOR LANDSCAPING WITHIN OFF-STREET PARKING AREAS SHALL AMOUNT TO NO LESS THAN 10% OF THE TOTAL AREA USED FOR PARKING AND ACCESSWAYS THERE SHALL BE A GROUP OF PALMS OR A SHADE TREE FOR EVERY 1/2 SF OF REQUIRED INTERIOR LANDSCAPING (MAX 25% MAY BE PALMS) ONE SHADE TREE PER LANDSCAPE ISLAND WITH MIN 75 SF OF SHRUBS AND GROUNDCOVERS ALL DUMPSTERS AND MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW	5,504 SF OF PROPOSED PARKING + VUA 5,504 SF x 10% = 550 SF OF LANDSCAPE AREA 550 SF / 125 SF = 5 TREES	4,098 SF OF LANDSCAPE AREA WITH 6 TREES (INCLUDING 3 EXISTING TREES + 3 PROPOSED TREES) ONE SHADE TREE + 75 SF OF SHRUBS IN EACH LANDSCAPE ISLAND (SMALLER TREE PROVIDED WHERE OVERHEAD UTILITIES PRESENT) ALL DUMPSTERS AND MECHANICAL EQUIPMENT HAVE BEEN SCREENED FROM VIEW
FOUNDATION FOUNDATION LANDSCAPING SHALL INCORPORATE TREES, SHRUBS, AND GROUNDCOVERS. MULTIPLE TIERS OF PLANT MATERIAL SHOULD BE UTILIZED		FOUNDATION LANDSCAPING HAS BEEN PROVIDED WITH THE USE OF TALL PALMS, SHRUBS, AND EVERGREEN LOW PLANTING

NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.0 & LD 2.0.



PERMIT SET
PERMIT DRAWINGS ONLY,
NOT FOR CONSTRUCTION

CAD 4224-LPDWNG NO. 1 10/10/2023 REVISIONS 1. 10/10/2023 SUBMITTAL

JOB NO. 4224-00 2 12/21/2023 SUBMITTAL

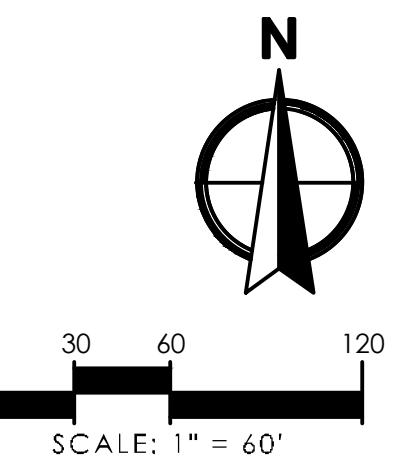
DRAWN BY DN

CHECK BY AR

DATE 2023-07-23

LANDSCAPE ARCHITECT OF RECORD
ABIGAIL M. REIMEL, PLA
FL# LA6667513

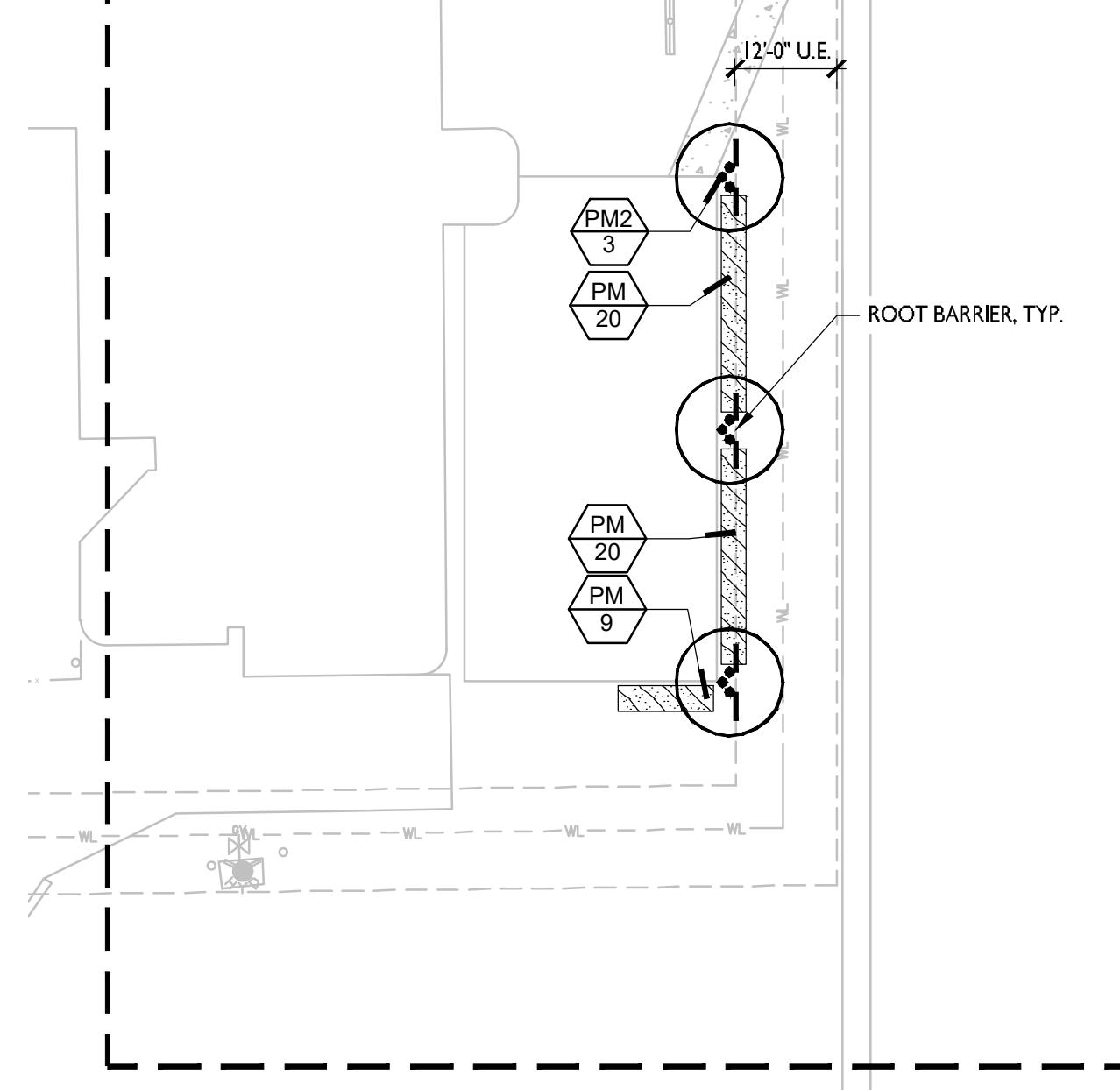
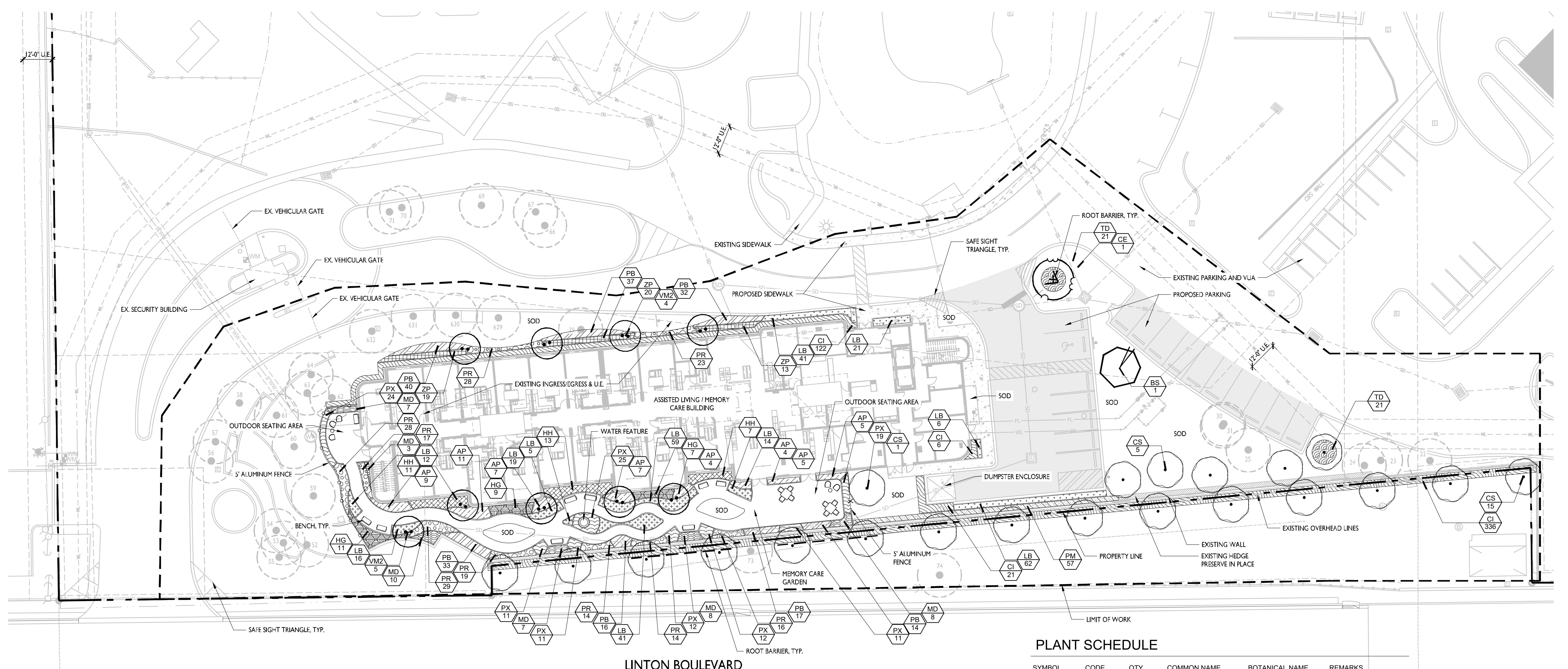
HARBOUR'S EDGE
401 E. LINTON BLVD.
DELRAY BEACH, FL 33483
OVERALL LANDSCAPE KEY SHEET



SHEET:
LA-1.00

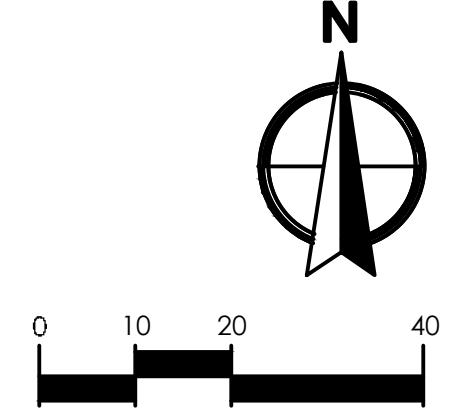


2025 Vista Parkway, West Palm Beach, FL 33411
Phone No. 866.909.2220 www.wginc.com
Cert No. 6091-LB No. 7055



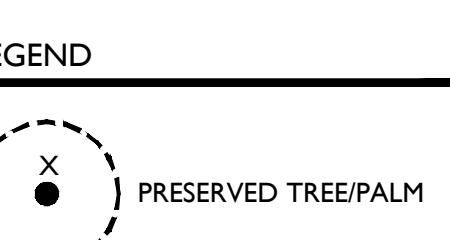
PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	REMARKS
TREES					
BS		1	Gumbo Limbo	Bursera simaruba	16' OA HT w/ MIN 6' SINGLE STRAIGHT TRUNK + 6' CT, 7' SPRD
CE		1	Green Buttonwood	Conocarpus erectus	18' OA HT w/ MIN 6' SINGLE STRAIGHT TRUNK + 6' CT, 7' SPRD
CS		21	Silver Buttonwood	Conocarpus erectus sericeus	12' OA HT w/ MIN 4' SINGLE STRAIGHT TRUNK + 6' CT, 6' SPRD
PM2		3	Pygmy Date Palm Multi-Trunk	Phoenix roebelenii	6'-8' OA HT, TRIPLE
VM2		9	Montgomery Palm	Veitchia montgomeryana	16' OA HT, DOUBLE TRUNK



SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	REMARKS
SHRUB AREAS					
AP		52	Red Ginger	Alpinia purpurata	36" HT x 24" SPRD. FULL @ 30" O.C.
CI		485	Cocoplum	Chrysobalanus icaco	36" HT x 24" SPRD @ 24" O.C.
HG		27	Gustavo Yellow Heliconia	Heliconia x 'Gustavo Yellow'	5' HT, 36" O.C., SUN GROWN
HH		31	Hot Rio Night Heliconia	Heliconia x 'Hot Rio Night'	5' HT, 36" O.C., SUN GROWN
MD		43	Split-leaf Philodendron	Monstera deliciosa	24" HT x 24" SPRD @ 24" O.C.
PB		189	Burle Marx Philodendron	Philodendron burle-marxii	18" HT x 18" SPRD @ 18" O.C.
PR		188	Rojo Congo Philodendron	Philodendron x 'Rojo Congo'	24" HT x 18" SPRD @ 18" O.C.
PX		125	Xanadu Philodendron	Philodendron xanadu	18" HT x 18" SPRD @ 18" O.C.
PM		106	Yew Pine	Podocarpus macrophyllus	24" HT x 24" SPRD @ 24" O.C.
TD		42	Dwarf Fakahatchee Grass	Tripsacum floridana	24" HT x 24" SPRD. @ 24" O.C.
ZP		52	Coontie Cycad	Zamia pumila	24" HT x 24" SPRD. @ 24" O.C.

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	REMARKS
GROUND COVERS	296	Big Blue Lilyturf	Liriope muscari 'Big Blue'	18" HT x 18" SPRD @ 18" O.C.
	18 sf	St. Augustine Grass	Stenotaphrum secundatum	QUANTITY TO BE DETERMINED IN FIELD



HARBOUR'S EDGE 401 E. LINTON BLVD. DELRAY BEACH, FL 33483 LANDSCAPE PLAN

SHEET:
LP-1.01

LANDSCAPE NOTES

PART 1. GENERAL

I. DESCRIPTION OF WORK

A. PROVIDE ALL EXTERIOR PLANTING AS SHOWN ON THE DRAWINGS OR INFERABLE THEREFROM AND/OR AS SPECIFIED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. LANDSCAPE PLANS PROVIDED INDICATE THE PROPOSED LOCATION OF LIVING PLANT MATERIAL ONLY. STRUCTURAL ELEMENTS AND HARDCAPE FEATURES INDICATED ON THE LANDSCAPE PLANS ARE FOR INFORMATION PURPOSES ONLY. LANDSCAPE PLANS ARE NOT TO BE UTILIZED FOR STAKING AND LAYOUT OR LOCATION OF ANY STRUCTURAL SITE FEATURES INCLUDING BUT NOT LIMITED TO, BUILDINGS, SIGNAGE, PATHWAYS, EASEMENTS, UTILITIES OR ROADWAYS.

B. THE SPECIFICATIONS INCLUDE STANDARDS NECESSARY FOR THE EXECUTION AND COMPLETION OF PLANTING AS INDICATED ON THE PREPARED DRAWINGS AND SPECIFIED HEREIN.

C. ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS SHALL BE OBTAINED PRIOR TO THE REMOVAL, RELOCATION, OR INSTALLATION OF PLANT MATERIALS INDICATED WITHIN THE PLAN DOCUMENTS.

D. PROTECTION OF EXISTING FEATURES. DURING CONSTRUCTION, PROTECT ALL EXISTING TREES, SHRUBS, AND OTHER SPECIFIED VEGETATION, SITE FEATURES AND IMPROVEMENTS, STRUCTURES AND FEATURES SPECIFIED HEREIN AND/OR ON SUBMITTED DRAWINGS. REMOVAL OR DESTRUCTION OF EXISTING PLANTINGS IS PROHIBITED UNLESS SPECIFICALLY AUTHORIZED BY THE OWNER, AND WITH PERMIT AS REQUIRED BY ASSOCIATED FEDERAL, STATE AND LOCAL GOVERNMENT AGENCIES.

II. APPLICABLE STANDARDS

A. AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300. AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42ND STREET, NEW YORK, N.Y. 10036.

B. AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250 EYE STREET, NW, SUITE 500, WASHINGTON, D.C. 20005.

C. HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORIUM, 1976, MACMILLAN PUBLISHING CO., NEW YORK.

D. FLORIDA DEPARTMENT OF AGRICULTURE "GUIDELINES FOR STANDARDS FOR NURSERY PLANTS", MOST RECENT EDITION.

E. FLORIDA DEPARTMENT OF AGRICULTURE "PRUNING STANDARDS FOR SHADE TREES"

F. ALL STANDARDS SHALL INCLUDE THE LATEST ADDITIONS AND AMENDMENTS AS OF THE DATE OF ADVERTISEMENT FOR BIDS

III. QUALIFICATIONS

A. LANDSCAPE PLANTING AND RELATED WORK SHALL BE PERFORMED BY A FIRM WITH A MINIMUM OF FIVE YEARS EXPERIENCE SPECIALIZING IN THIS TYPE OF WORK. ALL CONTRACTORS AND THEIR SUB-CONTRACTORS WHO WILL BE PERFORMING ANY LANDSCAPE WORK INCLUDED IN THIS SECTION OF THE SPECIFICATION SHALL BE APPROVED BY THE LANDSCAPE CONTRACTOR.

B. LANDSCAPE CONTRACTOR SHALL BE LICENSED AND SHALL CARRY ANY NECESSARY INSURANCE AND SHALL PROTECT THE LANDSCAPE ARCHITECT AND OWNER AGAINST ALL LIABILITIES, CLAIMS OR DEMANDS FOR INJURIES OR DAMAGE TO ANY PERSON OR PROPERTY ARISING OUT OF THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT. ALL WORKERS SHALL BE COVERED BY WORKMEN'S COMPENSATION INSURANCE.

IV. REQUIREMENTS OF REGULATORY AGENCIES

A. CERTIFICATES OF INSPECTION SHALL ACCOMPANY THE INVOICE FOR EACH SHIPMENT OF PLANTS AS MAY BE REQUIRED BY LAW FOR TRANSPORTATION. FILE CERTIFICATES WITH THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE OF THE MATERIAL. INSPECTION BY FEDERAL OR STATE AUTHORITIES AT PLACE OF GROWTH DOES NOT PRECLUDE REJECTION OF THE PLANTS AT THE SITE.

V. SUBMITTALS

A. MANUFACTURER'S DATA: SUBMIT COPIES OF THE MANUFACTURER'S AND/OR SOURCE DATA FOR ALL MATERIALS SPECIFIED, INCLUDING SOILS, SOIL AMENDMENTS AND FERTILIZER MATERIALS, COMPLYING WITH THE REQUIREMENTS APPLICABLE TO LANDSCAPE MATERIALS.

B. SAMPLES: SUBMIT SAMPLES OF ALL TOPSOIL, SOIL MINES, MULCHES, AND ORGANIC MATERIALS. SAMPLES SHALL WEIGH 1 KG (2 LB) AND BE PACKAGED IN PLASTIC BAGS. SAMPLES SHALL BE TYPICAL OF THE LOT OF MATERIAL TO BE DELIVERED TO THE SITE AND PROVIDE AN ACCURATE INDICATION OF COLOR, TEXTURE, AND ORGANIC MAKEUP OF THE MATERIAL.

C. NURSERY SOURCES: SUBMIT A LIST OF ALL NURSERIES THAT WILL PLANT ALONG WITH A LIST OF THE PLANTS THEY WILL PROVIDE AND THE LOCATION OF THE NURSERY.

D. SOIL TEST: SUBMIT SOIL TEST ANALYSIS REPORT FOR EACH SAMPLE OF TOPSOIL AND PLANTING MIX FROM A SOIL TESTING LABORATORY APPROVED BY THE LANDSCAPE ARCHITECT.

1. PROVIDE A PARTICLE SIZE ANALYSIS, INCLUDING THE FOLLOWING GRADIENT OF MINERAL CONTENT:

GRADE	SIZE MM
VERY COARSE SAND	>2 MM
COARSE SAND	0.5-1 MM
MEDIUM SAND	0.25-0.5 MM
FINE SAND	0.1-0.25 MM
SOIL FINE SAND	0.05-0.1 MM
CLAY	<0.05 MM SMALLER THAN 0.002

2. PROVIDE A CHEMICAL ANALYSIS, INCLUDING THE FOLLOWING:

a. PH AND BUFFER PH
b. PERCENTAGE OF ORGANIC CONTENT BY OVER-DRIED WEIGHT
c. NUTRIENT LEVELS IN PARTS PER MILLION, INCLUDING PHOSPHORUS, POTASSIUM, MAGNESIUM, MANGANESE, IRON, ZINC, AND CALCIUM. NUTRIENT TEST SHALL INCLUDE THE TESTING LABORATORY RECOMMENDATIONS FOR SUPPLEMENTAL ADDITIONS TO THE SOIL BASED ON THE REQUIREMENTS OF HORTICULTURAL PLANTS.

d. SOLUBLE SALT BY ELECTRICAL CONDUCTIVITY (E.C.)
e. CATION EXCHANGE CAPACITY (CEC).

f. MATERIAL TESTING: SUBMIT THE MANUFACTURER'S PARTICLE SIZE ANALYSIS, AND THE PH ANALYSIS AND PROVIDE A DESCRIPTION AND SOURCE LOCATION FOR THE CONTENT MATERIAL OF ALL ORGANIC MATERIALS.

F. MAINTENANCE INSTRUCTIONS: PRIOR TO THE END OF MAINTENANCE PERIOD, LANDSCAPE CONTRACTOR SHALL FURNISH THREE COPIES OF WRITTEN MAINTENANCE INSTRUCTIONS TO THE LANDSCAPE ARCHITECT FOR TRANSMISSION TO THE OWNER FOR MAINTENANCE AND CARE OF INSTALLED PLANTS THROUGH THEIR FULL GROWING SEASON.

VI. UTILITY VERIFICATION

A. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITY LINES IN THE AREA OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM NEGLECT OR FAILURE TO COMPLY WITH THIS REQUIREMENT.

PART 2. MATERIALS

I. PLANTS

A. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY-GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO YEARS. THEY SHALL HAVE BEEN FRESHLY DUG.

1. ALL PLANTS SHALL BE GROWN AND HARVESTED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK AND FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS FOR NURSERY PLANTS.

3. UNLESS APPROVED BY THE LANDSCAPE ARCHITECT, PLANTS SHALL HAVE BEEN GROWN AT A LATITUDE NOT MORE THAN 325 KM (200 MILES) NORTH OR SOUTH OF THE LATITUDE OF THE PROJECT UNLESS THE PROVENANCE OF THE PLANT CAN BE DOCUMENTED TO BE COMPATIBLE WITH THE LATITUDE AND COLD HARDINESS ZONE OF THE PLANTING LOCATION.

B. UNLESS OTHERWISE NOTED, ALL PLANTS SHALL BE EXCEPTIONALLY HEAVY, SYMMETRICAL, AND SO TRAINED OR FADED IN DEVELOPMENT AND APPEARANCE AS TO BE UNDECECTABLY AND OUTSTANDINGLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF; FREE OF DISEASE AND INSECT EGGS, LARVAE, AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. THEY SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.

1. TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED, WILL BE REJECTED. TREES WITH A DAMAGED OR CROOKED LEADER, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, INSERTED DAMAGE, OR CUTS OF LIMBS OVER 20 MM (3/4 IN.) IN DIAMETER THAT ARE NOT COMPLETELY CLOSER WILL BE REJECTED.

C. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THAT PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED IF APPROVED BY THE LANDSCAPE ARCHITECT. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. IF LARGER PLANTS ARE APPROVED, THE ROOT BALL SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

1. CALIPER MEASUREMENTS SHALL BE TAKEN ON THE TRUNK 150 MM (6 IN.) ABOVE THE NATURAL GROUND LINE FOR TREES UP TO AND INCLUDING 100 MM (4 IN.) IN CALIPER, AND 300 MM (12 IN.) ABOVE THE NATURAL GROUND LINE FOR TREES OVER 100 MM (4 IN.) IN CALIPER. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT TO THE TRUNK. TO DETERMINE THE CALIPER, POSITION IF A RANGE OF MEASUREMENTS IS PROVIDED, THE LARGEST CALIPER SHALL BE USED. NO PLANT SHOULD BE LESS THAN THE MINIMUM SIZE AND NO LESS THAN 50 PERCENT OF THE PLANT SHOULD BE AS LARGE AS THE MAXIMUM SIZE. PLANTS THAT MEET THE REQUIREMENTS SPECIFIED BETWEEN HEIGHT AND SPREAD, ACCORDING TO THE FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS FOR NURSERY PLANTS, SHALL BE REJECTED.

D. SUBSTITUTIONS OF PLANT MATERIALS WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT; IF SUBSTITUTION IS NOT OBTAINABLE, CONSIDERATION WILL BE GIVEN TO THE NEAREST AVAILABLE SIZE OR SIMILAR VARIETY, WITH A CORRESPONDING ADJUSTMENT OF THE CONTRACT PRICE.

E. THE PLANT SCHEDULE PROVIDED AT THE END OF THIS SECTION, OR ON THE DRAWING, IS FOR THE CONTRACTOR'S INFORMATION ONLY. AND NO GUARANTEE IS EXPRESSED OR IMPLIED THAT QUANTITIES THEREIN ARE CORRECT OR THAT THE LIST IS COMPLETE. THE CONTRACTOR SHALL ENSURE THAT ALL PLANT MATERIALS SHOWN ON THE DRAWINGS ARE INCLUDED IN HIS OR HER BILL.

F. ALL PLANTS SHALL BE LABELED BY PLANT NAME. LABELS SHALL BE ATTACHED SECURELY TO ALL PLANTS, BUNDLES, AND CONTAINERS OF PLANT MATERIALS WHEN DELIVERED. PLANT LABELS SHALL BE DURABLE AND LEGIBLE WITH INFORMATION GIVEN IN WEATHER-RESISTANT INK OR EMBOSSED PROCESS LETTERING.

G. SELECTION: 1. PLANTS SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY, SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK.

2. A WRITTEN REQUEST FOR THE INSPECTION OF PLANT MATERIAL AT THEIR PLACE OF GROWTH SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AT LEAST TEN CALENDAR DAYS PRIOR TO DIGGING. THIS REQUEST SHALL STATE THE PLACE OF GROWTH AND THE QUANTITY OF PLANTS TO BE INSPECTED. THE LANDSCAPE ARCHITECT MAY REFUSE INSPECTION AT THIS TIME IF, IN HIS OR HER JUDGMENT, SUFFICIENT QUANTITIES OF PLANTS ARE NOT AVAILABLE FOR INSPECTION OR THE LANDSCAPE ARCHITECT DEEMS INSPECTION IS NOT REQUIRED.

3. ALL FRESHLY PLANTED TREES SHALL BE MARKED TO INDICATE THE TREES NORTH ORIENTATION IN THE NURSERY. PLACE A 1-IN. DIAMETER SPOT OF WHITE PAINT ONTO THE NORTH SIDE OF THE TREE TRUNK WITHIN THE BOTTOM 12 INCHES OF THE TRUNK.

H. ANTHIDISCANTS: 1. ANTI-DESCISCANTS: ARE TO BE APPLIED TO PLANTS IN FULL LEAF IMMEDIATELY BEFORE DIGGING OR AS REQUIRED BY THE LANDSCAPE ARCHITECT.

2. ANTI-DESCISCANTS ARE TO BE SPRAYED SO THAT ALL LEAVES AND BRANCHES ARE COVERED WITH A CONTINUOUS PROTECTIVE FILM.

I. BAILEY TRUCKS AND COLLECTED PLANTS: 1. BAILEY TRUCKS AND COLLECTED PLANTS SHALL CONFIRM TO THE AMERICAN STANDARD FOR NURSERY STOCK.

2. PLANTS THAT HAVE BEEN PLANTED ON A BAILEY TRUCK SHALL NOT BE DRIED OR COLLECTED PLANTS.

3. COLLECTED PLANT MATERIAL THAT HAS NOT BEEN TAKEN FROM ACTIVE NURSERY OPERATIONS SHALL BE DUG WITH A ROOT BALL SPREAD AT LEAST 1/3 GREATER THAN NURSERY GROWN PLANTS. WHEN SPECIFIED OR APPROVED, SHALL BE IN GOOD HEALTH, FREE FROM DISEASE, INSECT OR WEED INFESTATION AND SHALL NOT BE PLANTED BEFORE INSPECTION AND ACCEPTANCE AT THE SITE. TESTING MAY BE REQUIRED AT THE DISCRETION OF THE LANDSCAPE ARCHITECT AND/OR THE OWNER AND SHALL BE PROVIDED AT NO ADDITIONAL COST.

L. SPECIFIED MATERIAL: PLANT MATERIAL SPECIFIED AS SPECIMENS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE BEING BROUGHT TO THE SITE. UNLESS OTHERWISE NOTED ON THE DRAWINGS, THESE PLANTS SHALL BE FLORIDA FANCY.

M. PALMS:

1. COCONUT PALMS SHALL BE GROWN FROM A CERTIFIED SEED.

2. ALL PALM SPECIES EXCEPT SABAL PALMETTO SHALL HAVE ROOTS ADEQUATELY WRAPPED BEFORE TRANSPORTING.

3. SABA PALMS SHALL HAVE A HURRICANE CUT. SABA PALMS SHALL BE INSTALLED ON SITE AT THE EARLIEST OPPORTUNITY IN THE CONSTRUCTION PROCESS. ALL SABA PALMS SHALL BE FROM THE FLORIDA COUNTRY. OTHER SABA SOILS, OR SABA PLANTS SHALL BE FLORIDA FANCY.

4. FOR SICK TRUNK PALMS, TRUNK SHALL HAVE CLEAN INACT BARK FIRMLY ATTACHED TO THE PALM TRUNK. FOR SICK TRUNK PALMS, TRUNK SHALL BE CLEAR AND FREE FROM DEFECTS AND SCARS.

5. THE CONTRACTOR SHALL TREAT ALL PALMS AS REQUIRED TO PREVENT INFESTATION BY THE PALMETTO WEevil.

N. SOD:

1. SOD SHALL BE GRADED 1/4 INCH BETTER. SOD SHALL BE LOAM OR MUCK GROWN WITH A FIRM, FULL TEXTURE AND GOOD ROOT DEVELOPMENT. SOD SHALL BE THICK, HEALTHY AND FREE FROM DEFECTS AND DISEASES INCLUDING BUT NOT LIMITED TO DEAD THATCH, INSECTS, FUNGUS, DISEASES AND CONTAMINATION BY WEEDS, OTHER GRASS VARIETIES OR UNDESIRABLE PLANT MATERIAL.

2. SOD SHALL BE SUFFICIENTLY THICK TO INSURE A DENSE STAND OF LIVE GRASS. SOD SHALL BE LIVE, FRESH, AND UNINJURED AT THE TIME OF PLANTING. PLANT SOD WITHIN 48 HOURS AFTER HARVESTING.

3. SOD AREA SHALL BE AREAS NOT OTHERWISE IDENTIFIED AND SHALL INCLUDE THE AREA BEYOND THE PROPERTY LINE TO THE EDGE OF PAVEMENT AND/OR EDGE OF WATER. O. IMMEDIATELY AFTER HARVESTING PLANTS, PROTECT FROM DRYING AND DAMAGE UNTIL SHIPPED AND DELIVERED TO THE PLANTING SITE. ROOTBALLS SHALL BE CHECKED FOR DAMAGE AND WATERED WITHIN 24 HOURS.

P. TRANSPORTATION AND STORAGE OF PLANT MATERIAL:

1. BRANCHES SHALL BE TIED WITH ROPE OR TWINE ONLY, AND IN SUCH A MANNER THAT NO DAMAGE WILL OCCUR TO THE BARK OR BRANCHES.

2. DURING TRANSPORTATION OF PLANT MATERIAL, THE CONTRACTOR SHALL EXERCISE CARE TO PREVENT INJURY AND DRYING OUT OF THE TREES, SHOULD THE ROOTS BE DRIED OUT, LARGE BRANCHES BROKEN BAILS OF EARTH BROKEN OR LOOSEND, OR AREAS OF BARK TORN, THE LANDSCAPE ARCHITECT MAY REJECT THE INJURED TREES AND OTHER THEM, REQUIRING AN ADDITIONAL COST TO THE OWNER. ALL LOADS OF PLANTS SHALL BE COVERED. AT ALL TIMES WITH TARPAULIN OR CANVAS LOADS THAT ARE NOT PROVIDED BY THE CONTRACTOR.

3. ALL BARKER STOCK SENT FROM THE STORAGE FACILITY SHALL BE ADEQUATELY COVERED WITH WET SOIL, SAWDUST, WOODCHIPS, MOSS, PEAT, STRAW, HAY, OR OTHER ACCEPTABLE MOISTURE-HOLDING MEDIUM, AND SHALL BE COVERED WITH A TARPAULIN OR CANVAS. LOADS THAT ARE NOT PROTECTED IN THE ABOVE MANNER MAY BE REJECTED.

4. PLANTS MUST BE PROTECTED AT ALL TIMES FROM SUN OR DRYING WINDS, THOSE THAT CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE KEPT IN THE SHADE, WELL PROTECTED WITH SOIL, WET MULCH, OR OTHER ACCEPTABLE MATERIAL, AND KEPT WELL WATERED. PLANTS SHALL NOT REMAIN UNPLANTED ANY LONGER THAN THREE DAYS AFTER DELIVERY. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE LIFTED AND HANDLED WITH SUITABLE SUPPORTS OF THE SOIL BALL TO AVOID DAMAGING IT.

Q. MECHANIZED TREE SPADE REQUIREMENTS

TREES MAY BE MOVED AND PLANTED WITH AN APPROVED MECHANICAL TREE SPADE. THE TREE SPADE SHALL MOVE TREES LIMITED TO THE MAXIMUM SIZE ALLOWED FOR A SIMILAR B&B ROOT-BALL DIAMETER ACCORDING TO THE AMERICAN STANDARD FOR NURSERY STOCK OR THE MANUFACTURER'S MAXIMUM SIZE RECOMMENDATION FOR THE TREE SPECIE BEING USED. WHICHEVER IS SMALLER, THE MACHINE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO USE. TREES SHALL BE PLANTED AT THE DESIGNATED LOCATIONS IN THE MANNER SHOWN IN THE PLANS AND IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE SPECIFICATIONS.

R. MATERIALS FOR PLANTING

A. MULCH: EXCEPT AS OTHERWISE SPECIFIED, MULCH SHALL BE SHREDDED MELALEUCA MULCH - GRADE "A". ALL MELALEUCA MULCH SHALL BE MADE ENTIRELY FROM THE WOOD AND BARK OF THE MELALEUCA QUINQUINERA TREE. IT SHALL NOT CONTAIN MORE THAN 10% BARK (BY VOLUME). MULCH SHALL BE FREE OF WEEDS, SEEDS, AND ANY OTHER ORGANIC OR INORGANIC MATERIAL OTHER THAN MELALEUCA WOOD AND BARK. IT SHALL NOT CONTAIN STONES OR OTHER FOREIGN MATERIAL THAT WILL PREVENT ITS EVENTUAL DECAY. THIS SHALL BE APPLIED TO ALL PLANTED AREAS WHERE INDICATED SO THAT, AFTER INSTALLATION, THE MULCH THICKNESS WILL NOT BE LESS THAN 3". SUBMIT SAMPLE FOR APPROVAL.

S. PEAT:

PEAT SHALL BE HORTICULTURAL PEAT COMPOSED OF NOT LESS THAN 60% DECOMPOSED ORGANIC MATTER BY WEIGHT, ON AN OVEN DRIED BASIS. PEAT SHALL BE DELIVERED TO THE SITE IN A WORKABLE CONDITION FREE FROM LUMPS.

T. GRAVEL:

GRAVEL, 1/2 INCH AND 1/4 INCH, SHALL BE APPROVED FOR PLANTING. GRAVEL SHALL BE CLEAN, FREE OF STONES, DIRT, AND OTHER FOREIGN MATERIAL.

U. BARK:

BARK, 1/2 INCH AND 1/4 INCH, SHALL BE APPROVED FOR PLANTING. BARK SHALL BE CLEAN, FREE OF STONES, DIRT, AND OTHER FOREIGN MATERIAL.

V. SOIL:

SOIL, 1/2 INCH AND 1/4 INCH, SHALL BE APPROVED FOR PLANTING. SOIL SHALL BE CLEAN, FREE OF STONES, DIRT, AND OTHER FOREIGN MATERIAL.

W. TOPSOIL:

TOPSOIL, 1/2 INCH AND 1/4 INCH, SHALL BE APPROVED FOR PLANTING. TOPSOIL SHALL BE CLEAN, FREE OF STONES, DIRT, AND OTHER FOREIGN MATERIAL.

X. BARK:

BARK, 1/2 INCH AND 1/4 INCH, SHALL BE APPROVED FOR PLANTING. BARK SHALL BE CLEAN, FREE OF STONES, DIRT, AND OTHER FOREIGN MATERIAL.

Y. BARK:

BARK, 1/2 INCH AND 1/4 INCH, SHALL BE APPROVED FOR PLANTING. BARK SHALL BE CLEAN, FREE OF STONES, DIRT, AND OTHER FOREIGN MATERIAL.

Z. BARK:

BARK