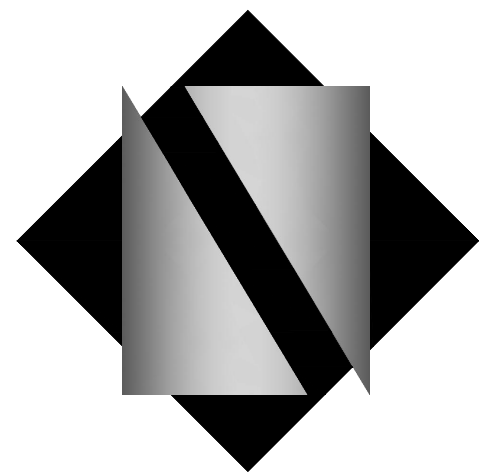


THE EDGE AT PINEAPPLE GROVE

09/15/23 SPRAB RESUBMISSION

605 NE 2ND ST.
DELRAY BEACH, FL 33483

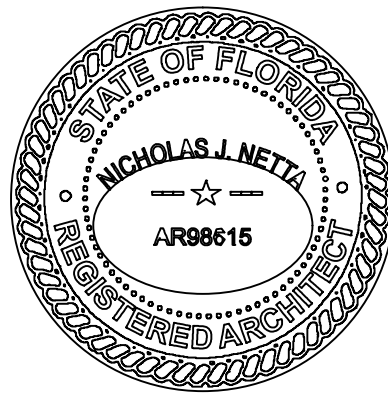
FOR: ADVANCED DEVELOPMENT GROUP
1084 ROUTE 22 WEST
MOUNTAINSIDE, NJ 07092
PHONE: 973-379-0006
FAX: 973-379-1061



NETTAARCHITECTS
ARCHITECTURE - PLANNING - INTERIOR DESIGN
ONE PARK PLACE, 621 NW 53RD STREET, SUITE 350
BOCA RATON, FL 33487
TEL: 561.295.4500 FAX: 973-379-1061
CERTIFICATE OF AUTHORIZATION AA26003659

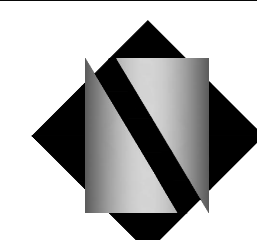


PROJECT LOCATION



DRAWING INDEX

DWG. NO.	SHEET CONTENTS
CIVIL	
C1.00	CIVIL SITE IMPROVEMENTS
C2.00	DEMOLITION PLAN
C3.00	PAVING, GRADING, & DRAINAGE PLAN
C3.01	DRAINAGE CALCULATIONS
C3.02	CONSTRUCTION DETAILS
C4.00	UTILITY PLAN
C4.01	UTILITY DETAILS
C5.00	COMPOSITE OVERLAY PLAN
ARCHITECTURAL	
A.100	PROPOSED ARCHITECTURAL SITE PLAN
A.101	PROPOSED OVERALL FLOOR PLANS BUILDING A
A.101a	PROPOSED OVERALL FLOOR PLANS BUILDING B
A.102	PROPOSED FLOOR PLANS (TYPICAL UNIT)
A.103	PROPOSED FLOOR PLANS (END UNIT ALONG NE 2ND)
A.104	PROPOSED ROOF PLANS
A.201	PROPOSED BUILDING ELEVATIONS & BUILDING SECTION
A.202	PROPOSED BUILDING ELEVATIONS
A.202a	PROPOSED BUILDING ELEVATIONS
A.203	FACADE COMPOSITION DETAILS
A.301	SIGHT LINE STUDIES & SIGNAGE DETAILS
A.401	MASSING MODEL
LANDSCAPE	
LP-1	TREE DISPOSITION PLAN
LP-2	LANDSCAPE PLAN
LP-3	IRRIGATION PLAN
LP-4	LANDSCAPE DETAILS
LP-5	IRRIGATION DETAILS
PHOTOMETRICS	
PH.101	PHOTOMETRIC SITE PLAN & LIGHTING ISOMETRIC



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 TEL: 561.285.4500 FAX: 561.375-1061
 CERTIFICATE OF AUTHORIZATION AA26003659

ZONING ANALYSIS

LOT: 15,864 SF = 0.364 AC
ZONING DISTRICT: CBD (CENTRAL BUSINESS DISTRICT)
GOVERNING CODE
FLORIDA BUILDING CODE 2020 (SEVENTH EDITION) / 2020 FPPC
NFPA 1 UFG FLORIDA 2015 EDITION
NFPA 101 LSC FLORIDA 2015 EDITION
ARCHITECTURAL STYLE: MASONRY MODERN
FRONTAGE TYPE ON NE 6TH AVE: STOOP
FRONTAGE TYPE ON NE 2ND STREET: STOOP
TOTAL BUILDING FOOTPRINT: 7,758 SF (48.90% OF SITE)

ITEM	REQUIREMENT	PROPOSED	VARIANCE	WAIVER
LOTS				
GROSS AREA		15,864 SF (PRE-DEDICATION)		
		15,417 SF (POST-DEDICATION)		
NET AREA	NA	15,417 (EXIST)		
DIMENSIONS	NA	130'X122.4' (EXIST)		
FLOOD ZONE	NA	ZONE X (EXIST)		
WATER BODIES	NA	NA		
ITEM	REQUIREMENT	PROPOSED	VARIANCE	WAIVER
TOTAL IMPERVIOUS SPACE	NA	11,892 SF (77.05%)		
TOTAL PERVIOUS SPACE	NA	3,525 SF (22.95%)		
OPEN SPACE	NA	3,525 SF (22.95%)		
MAX DENSITY	30 DU/ACRE	30 X 0.364 ACRE = 10.925 UNITS PROPOSED = 8 (22 DU/ACRE)		
REQUIRED CIVIC SPACE	NA	NA		
SETBACKS				
FRONT (FEDERAL HIGHWAY)	10' MIN, 15' MAX	10'		
FRONT (NE 2ND ST)	10' MIN, 15' MAX	10'		
REAR	10'	10'		
SIDE INTERIOR (ALLEY)	10'	10'		
FRONT SETBACK ABOVE 3RD STORY (FROM PRIMARY FACADE)	20'	20'		
FRONT SETBACK ABOVE 3RD STORY (FROM ALLEY PROPERTY LINE)	30'	30'		
PARKING				
3-BED UNIT	14 SPACES (1.75 PER UNIT)	16 SPACES		
GUEST	4 SPACES (0.5 PER UNIT)	2 SPACES		
BICYCLE	1 SPACE (10 PER UNIT)	2 SPACES		
EV PARKING	30% (6)	8 SPACES		
ITEM	REQUIREMENT	PROPOSED	VARIANCE	WAIVER
TERRACE PLANTER	10% OF TERRACE AREA	18%(TYP. UNIT), 15%(END UNIT)		
ADDITIONAL BULK STANDARDS				
MAX HEIGHT	54' / 4 STORIES	54' / 4 STORIES		
MIN. DWELLING UNIT SIZE	1,250 SF	4,142 SF		
MIN. BUILDING FRONTAGE	75% (FEDERAL HIGHWAY)	79% (97'-0")		
MIN. BUILDING FRONTAGE	75% (NE 2ND AVE)	79% (90'-0")		
SITE UTILITIES				
PURSUANT TO LDR SECTION 6.1.8 UTILITY FACILITIES SERVING THE DEVELOPMENT SHALL BE LOCATED UNDERGROUND THROUGHOUT THE DEVELOPMENT				
ALTERNATIVE FUEL PARKING SPACE				
EACH UNIT TO HAVE ELECTRIC CAR CHARGING STATION = 8				
TOTAL AREA TABULATION				
FLOOR	WEST BLOCK	EAST BLOCK	AREA	
GROUND	3,879 SF	3,879 SF	7,758 SF	
SECOND	4,174 SF	4,174 SF	8,348 SF	
THIRD	4,174 SF	4,174 SF	8,348 SF	
FOURTH	2,187 SF	2,187 SF	4,374 SF	
BALCONY	2,064 SF	2,064 SF	4,128 SF	
TOTAL	16,478 SF	16,478 SF	32,956 SF	
TABLE 4.4.12(F) DIMENSIONAL REQ. FOR STOOPS				
	MINIMUM	MAXIMUM	PROVIDED	
BUILDING SETBACK	10 FT	15 FT	12 FT 6 INCHES	
DEPTH	5 FT	6 FT	6 FT	
WIDTH	4 FT	-	5 FT 6 INCHES	
FLOOR ELEVATION	1 FT	5 FT	1 FT 6 INCHES	
TABLE 4.4.12(F) DIMENSIONAL REQ. FOR STOOPS				
	MINIMUM	MAXIMUM	PROVIDED	
BUILDING SETBACK	10 FT	15 FT	15 FT	
DEPTH	5 FT	6 FT	5 FT	
WIDTH	4 FT	-	4 FT	
FLOOR ELEVATION	1 FT	5 FT	1 FT	
TABLE 4.4.12(F) DIMENSIONAL REQ. FOR STOOPS				
	MINIMUM	MAXIMUM	PROVIDED	
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DEPTH	5 FT	6 FT	6 FT	
WIDTH	4 FT	-	5 FT 6 INCHES	
FLOOR ELEVATION	1 FT	5 FT	1 FT 6 INCHES	

1
A-100

PROPOSED ARCHITECTURAL SITE PLAN

SCALE: 1"=10'

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NICHOLAS J. NETTA, AIA, NCARB

FL REGISTRATION # AR98615

DATE OF SIGNATURE:

09/15/2023

NICHOLAS J. NETTA

REGISTERED ARCHITECT

AR98615

DATE OF SIGNATURE:

09/15/2023

NETTAARCHITECTS

ONE PARK PLACE 621 NW 53rd STREET, SUITE 350, BOCA RATON, FL 33487

PHONE: 561-295-4500

www.nettaarchitects.com

CERTIFICATE OF AUTHORIZATION AA26003659

PROJECT:

ADVANCED DEVELOPMENT
DELRAY BEACH
RESIDENTIAL DEVELOPMENT
605 NE 2ND ST
DELRAY BEACH, FL

SHEET CONTENTS:

PROPOSED
ARCHITECTURAL SITE PLAN

SUBMISSIONS:

08.30.21 SPRAB

12.30.21 SPRAB RESUBMISSION

03.03.22 SPRAB RESUBMISSION

05.02.22 SPRAB RESUBMISSION

06.28.22 SPRAB RESUBMISSION

07.25.22 SPRAB RESUBMISSION

04.07.23 SPRAB RESUBMISSION

09.15.23 SPRAB RESUBMISSION

REVISIONS:

12.15.21 ZNG. TECH. COMMENTS

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3.22.22 PLANNER'S COMMENTS

4.20.22 PLANNER'S COMMENTS

6.02.22 PLANNER'S COMMENTS

8.04.22 PLANNER'S COMMENTS

3.03.23 PLANNER'S COMMENTS

5.30.23 PLANNING COMMENTS

8.10.23 PLANNING COMMENTS

DATE:

06.28.2022

AS SHOWN

TD

TD

TD

CB

CB

CB

CB

CB

DRAWING NO.:

2211647

0

5'

10'

15'

20'

25'

30'

GRAPHIC SCALE

1

2

3

4

5

6

7

8

9

LEGEND

PROPERTY LINE

SETBACK LINE

6FT MASONRY PRIVACY WALL

NOTE: SEE CIVIL PLANS FOR LANDSCAPING DETAILS AND DETAILS ON ALL SITE IMPROVEMENTS

1

2

3

4

5

6

7

8

9

MATERIALS LIST

1

2

3

4

5

6

7

8

9

BICYCLE RACK DETAIL

1

2

3

4

5

6

7

8

9

STREETSCAPE SECTION AT NE 2ND STREET

1

2

3

4

5

6

7

8

9

STREETSCAPE SECTION AT NE 6TH AVENUE

1

2

3

4

5

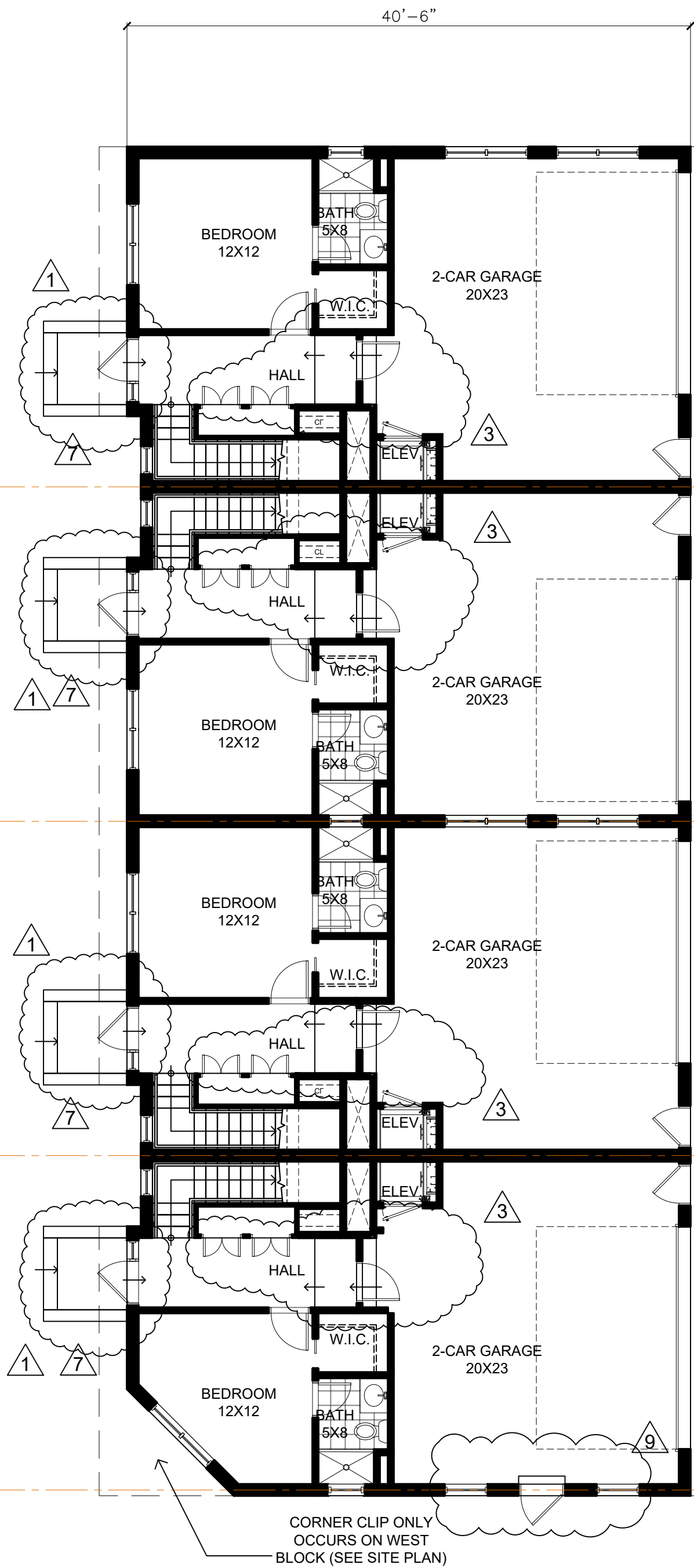
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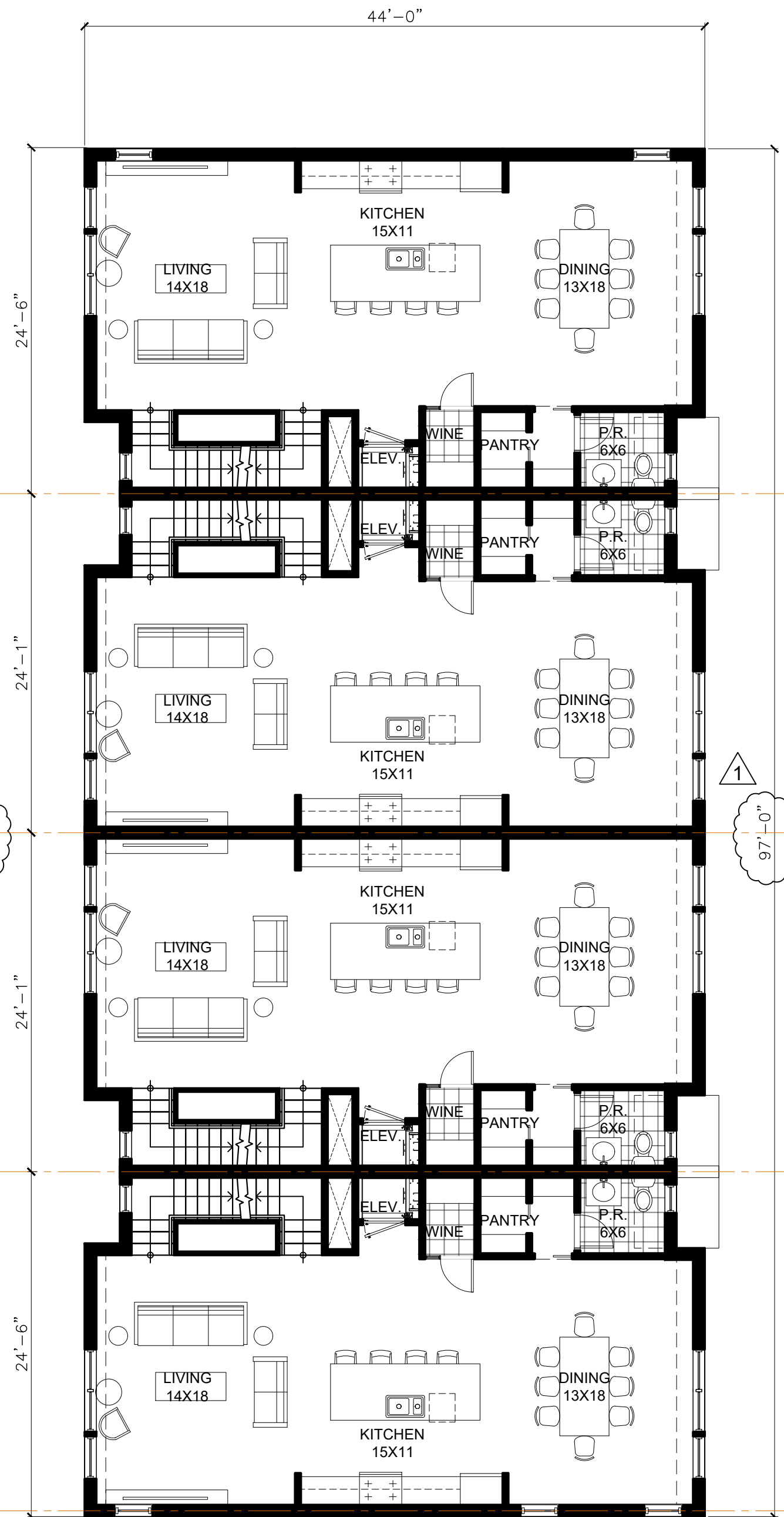
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9

PROPOSED ARCHITECTURAL SITE PLAN



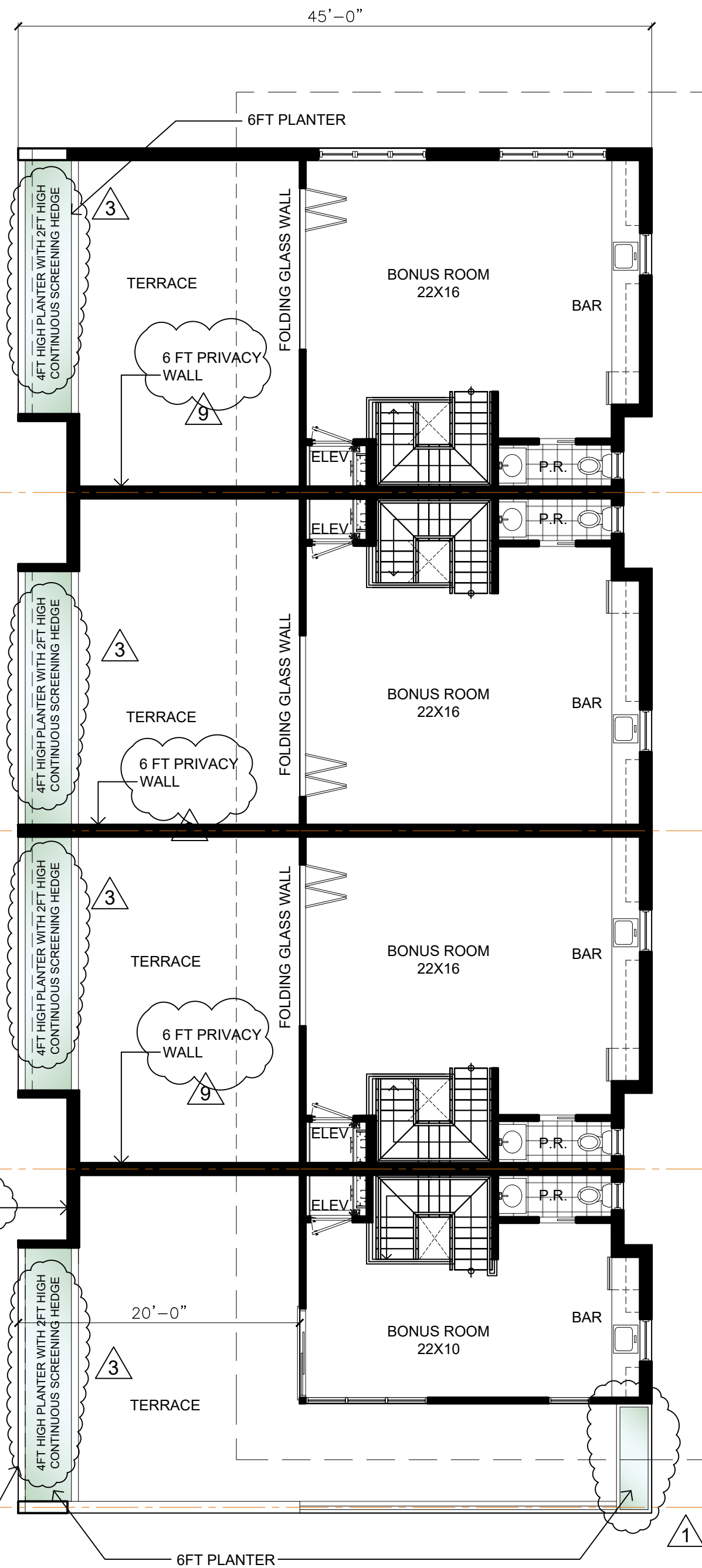
1 GROUND FLOOR PLAN
A.101 SCALE: 1/8"=1'-0"



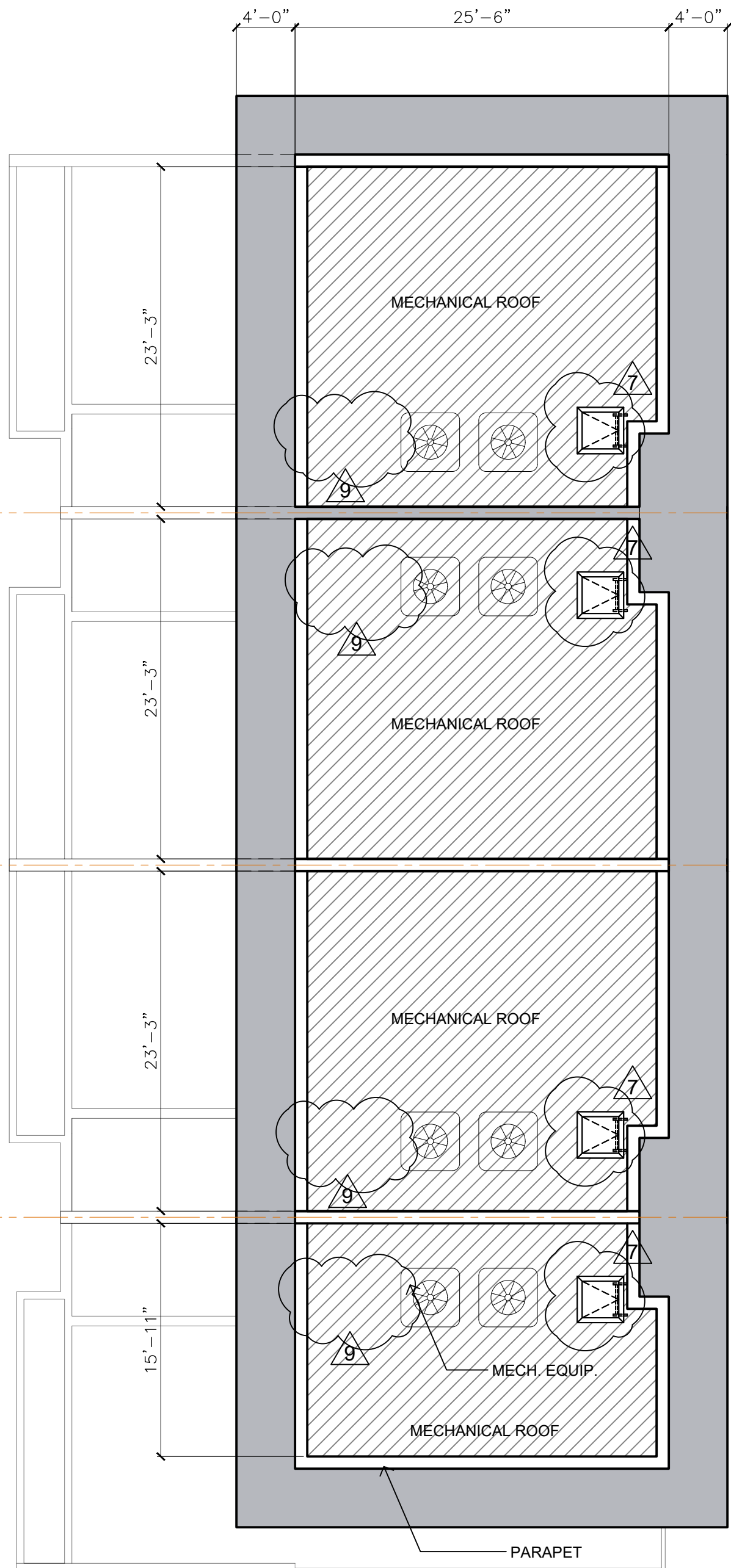
2 SECOND FLOOR PLAN
A.101 SCALE: 1/8"=1'-0"



3 THIRD FLOOR PLAN
A.101 SCALE: 1/8"=1'-0"



4 FOURTH FLOOR PLAN
A.101 SCALE: 1/8"=1'-0"



5 ROOF PLAN
A.101 SCALE: 1/8"=1'-0"

ROOFTOP LANDSCAPE PERCENTAGE UNITS 1-3,5-7		ROOFTOP LANDSCAPE PERCENTAGE UNITS 4 & 8	
TOTAL ROOF TOP SQUARE FOOTAGE	442 S.F.	TOTAL ROOF TOP SQUARE FOOTAGE	653 S.F.
TOTAL REQUIRED LANDSCAPE AT ROOF TOP	44.2 S.F. (10% MIN.)	TOTAL REQUIRED LANDSCAPE AT ROOF TOP	65 S.F. (10% MIN.)
TOTAL PROPOSED LANDSCAPE AT ROOF TOP	60 S.F. (14%)	TOTAL PROPOSED LANDSCAPE AT ROOF TOP	75 S.F. (11%)

ROOF SPECIFICATION

NOTE: THE PROJECT WILL USE ENERGY STAR ROOF-COMPLIANT, HIGH REFLECTIVE AND HIGH EMISSIVITY ROOFING (INITIAL REFLECTANCE OF AT LEAST 0.85 AND THREE-YEAR-AGED REFLECTANCE OF AT LEAST 0.5 WHEN TESTED IN ACCORDANCE WITH ASTM E903 AND EMISSIVITY OF AT LEAST 0.9 WHEN TESTED IN ACCORDANCE WITH ASTM 4080 FOR A MINIMUM OF 75% OF THE ROOF SURFACE).

HATCHED AREAS REPRESENT HIGH REFLECTIVE/EMISSIVITY ROOFING = 1,990 SF

TOTAL ROOF AREA = 2,244 SF

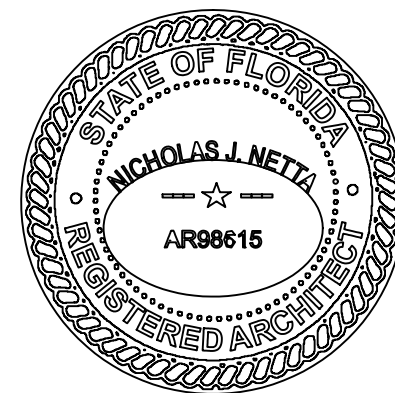
AREA OF HIGH REFLECTIVE/EMISSIVITY ROOFING = 88% OF ROOF AREA

FOR PLANTER LANDSCAPING TYPE
REFER TO LANDSCAPE SHEET LP-02.

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ONE PARK PLACE 621 NW 53rd STREET, SUITE 350, BOCA RATON, FL 33487
PHONE: 561-295-4500
www.nettaarchitects.com
CERTIFICATE OF AUTHORIZATION AA26003659

PROJECT:

ADVANCED DEVELOPMENT
DELRAY BEACH
RESIDENTIAL DEVELOPMENT
605 NE 2ND ST
DELRAY BEACH, FL

SHEET CONTENTS:

OVERALL FLOOR PLANS
BUILDING 1

SUBMISSIONS:

08.30.21	SPRAB	12.15.21	△ ZNG. TECH. COMMENTS	TD
12.30.21	SPRAB RESUBMISSION	2.18.22	△ ZNG. TECH. COMMENTS	TD
03.03.22	SPRAB RESUBMISSION	3.22.22	△ PLANNER'S COMMENTS	TD
05.02.22	SPRAB RESUBMISSION	4.20.22	△ PLANNER'S COMMENTS	TD
06.28.22	SPRAB RESUBMISSION	6.02.22	△ PLANNER'S COMMENTS	CB
07.25.22	SPRAB RESUBMISSION	8.04.22	△ PLANNER'S COMMENTS	CB
04.07.23	SPRAB RESUBMISSION	3.03.23	△ PLANNER'S COMMENTS	CB
		5.30.23	△ PLANNING COMMENTS	CB
09.15.23	SPRAB RESUBMISSION	8.10.23	△ PLANNING COMMENTS	CB

REVISIONS:

12.15.21	△ ZNG. TECH. COMMENTS	TD
2.18.22	△ ZNG. TECH. COMMENTS	TD
3.22.22	△ PLANNER'S COMMENTS	TD
4.20.22	△ PLANNER'S COMMENTS	TD
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3.03.23	△ PLANNER'S COMMENTS	CB
5.30.23	△ PLANNING COMMENTS	CB
8.10.23	△ PLANNING COMMENTS	CB

DATE:

06.28.2022	AS SHOWN
DRAWN BY:	TD
CHECKED BY:	NJN
JOB NO.:	2211647
DRAWING NO.:	

A.101



1 GROUND FLOOR PLAN
A.101 SCALE: 1/8"=1'-0"

2 SECOND FLOOR PLAN
A.101 SCALE: 1/8"=1'-0"

3 THIRD FLOOR PLAN
A.101 SCALE: 1/8"=1'-0"

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A.101 SCALE: 1/8"=1'-0"

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FOR PLANTER LANDSCAPING TYPE
REFER TO LANDSCAPE SHEET LP-02.

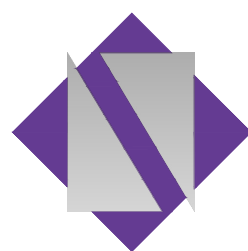
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CERTIFICATE OF AUTHORIZATION AA26003659

PROJECT:

ADVANCED DEVELOPMENT
DELRAY BEACH
RESIDENTIAL DEVELOPMENT
605 NE 2ND ST
DELRAY BEACH, FL

SHEET CONTENTS:

OVERALL FLOOR PLANS
BUILDING 2

SUBMISSIONS:

08.30.21	SPRAB
12.30.21	SPRAB RESUBMISSION
03.03.22	SPRAB RESUBMISSION
05.02.22	SPRAB RESUBMISSION
06.28.22	SPRAB RESUBMISSION
07.25.22	SPRAB RESUBMISSION
04.07.23	SPRAB RESUBMISSION
09.15.23	SPRAB RESUBMISSION

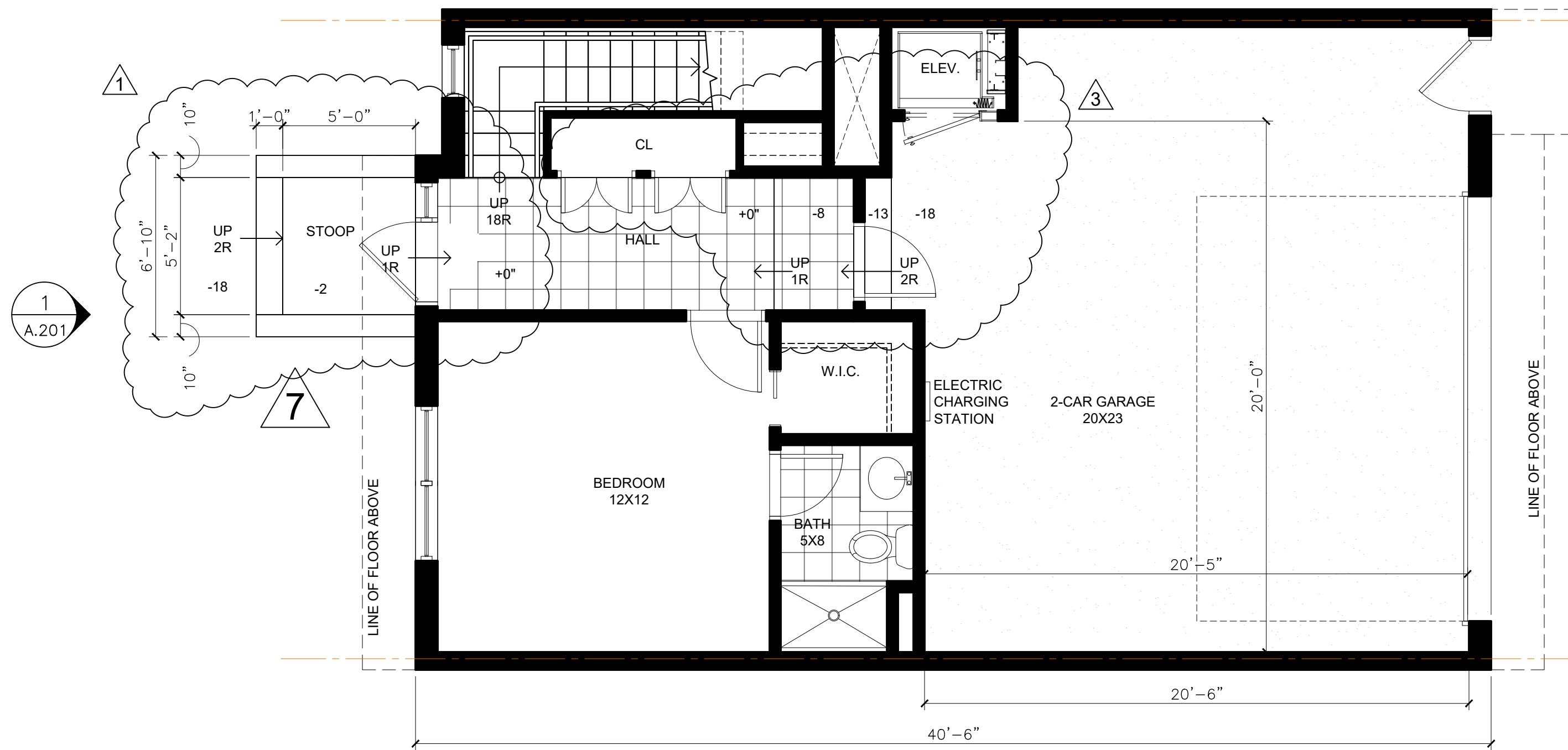
REVISIONS:

12.15.21	1. ZNG. TECH. COMMENTS	TD
2.18.22	2. ZNG. TECH. COMMENTS	TD
3.22.22	3. PLANNER'S COMMENTS	TD
4.20.22	4. PLANNER'S COMMENTS	TD
6.02.22	5. PLANNER'S COMMENTS	CB
8.04.22	6. PLANNER'S COMMENTS	CB
3.03.23	7. PLANNER'S COMMENTS	CB
5.30.23	8. PLANNING COMMENTS	CB
8.10.23	9. PLANNING COMMENTS	CB

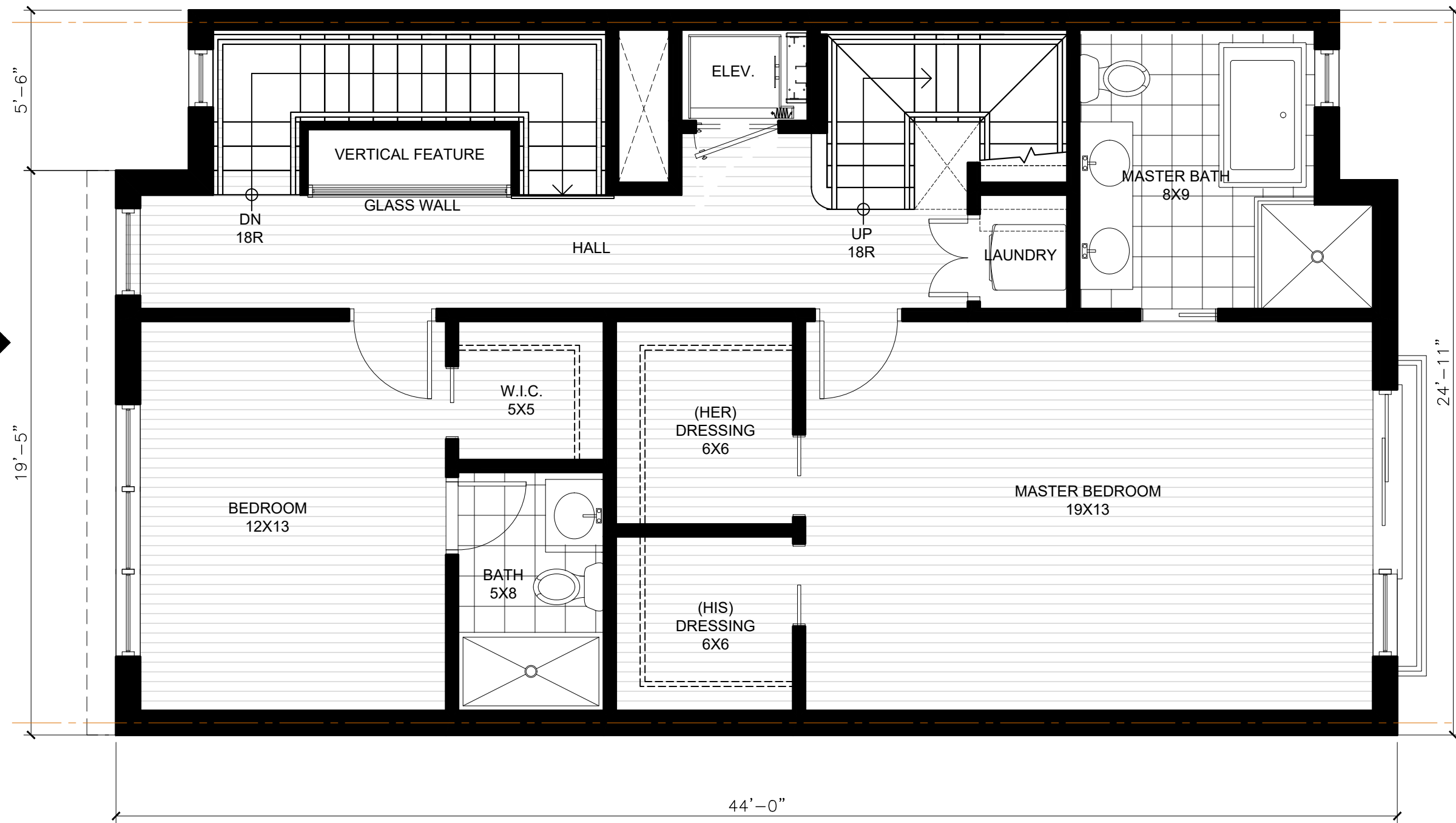
DATE:

06.28.2022
SCALE:
AS SHOWN
DRAWN BY:
TD
CHECKED BY:
NJN
JOB NO.:
2211647
DRAWING NO.:

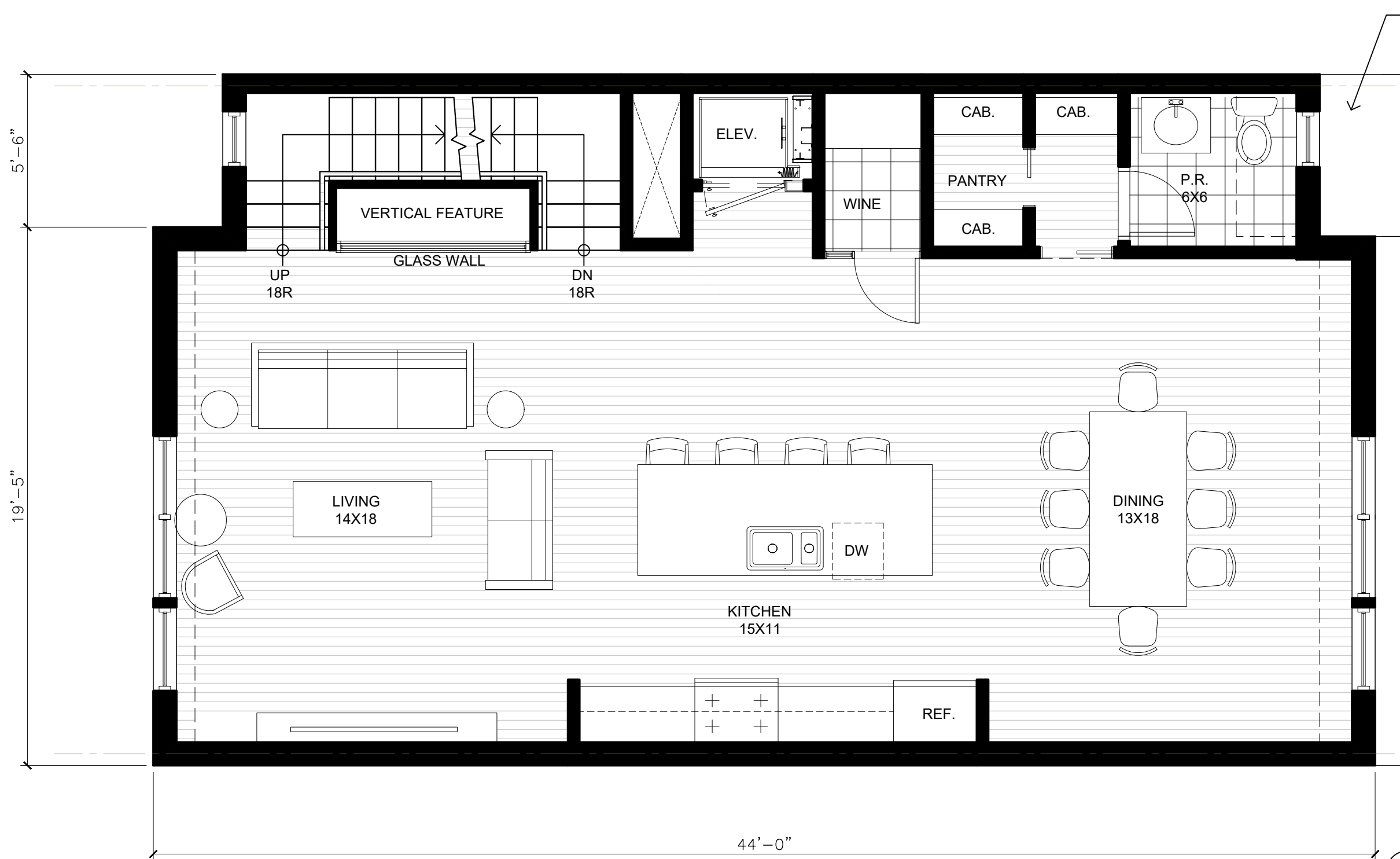
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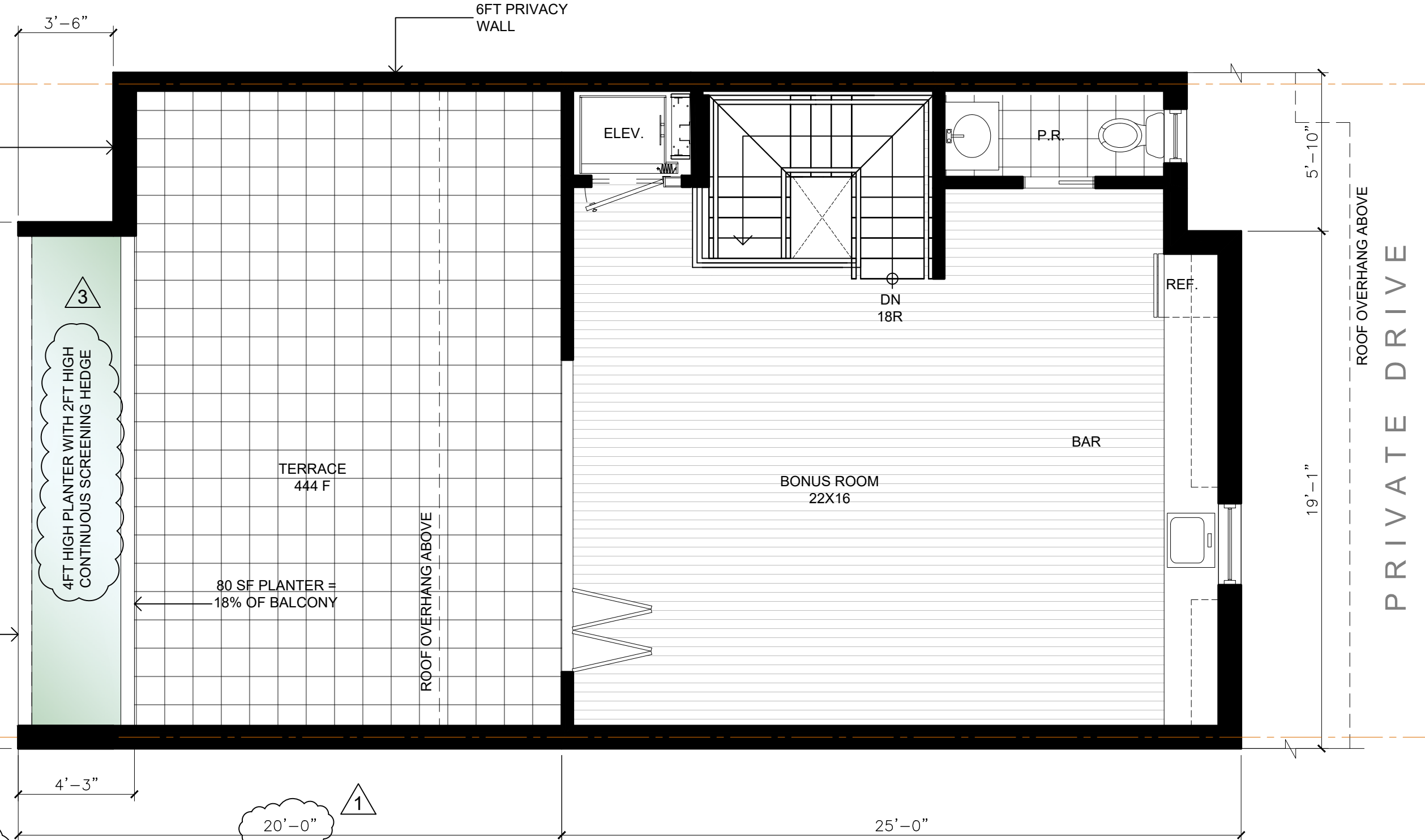
1 GROUND FLOOR PLAN (TYPICAL)
SCALE: 1/4"=1'-0"



3 THIRD FLOOR PLAN (TYPICAL)
SCALE: 1/4"=1'-0"



2 SECOND FLOOR PLAN (TYPICAL)
SCALE: 1/4"=1'-0"

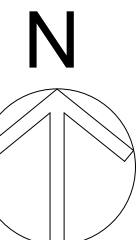


4 FOURTH FLOOR PLAN (TYPICAL)
SCALE: 1/4"=1'-0"

AREA BREAKDOWN	
FLOOR	AREA
GROUND	1,002 SF
SECOND	1,069 SF
THIRD	1,069 SF
FOURTH	610 SF
BALCONY	478 SF
TOTAL	4,228 SF

ALL UNITS HAVE 4FT PLANTERS WITH 2FT OF VEGETATION ALONG TERRACES, TOTALING FOR 6FT SCREENING (ALONG PUBLIC ALLEY). WHERE PLANTERS ARE NOT INSTALLED, A 6FT PRIVACY WALL ACTS AS REQUIRED SCREENING.

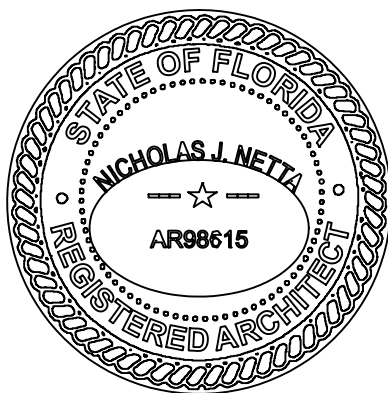
FOR PLANTER LANDSCAPING TYPE REFER TO LANDSCAPE SHEET LP-02.



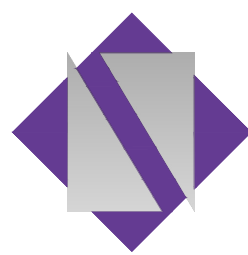
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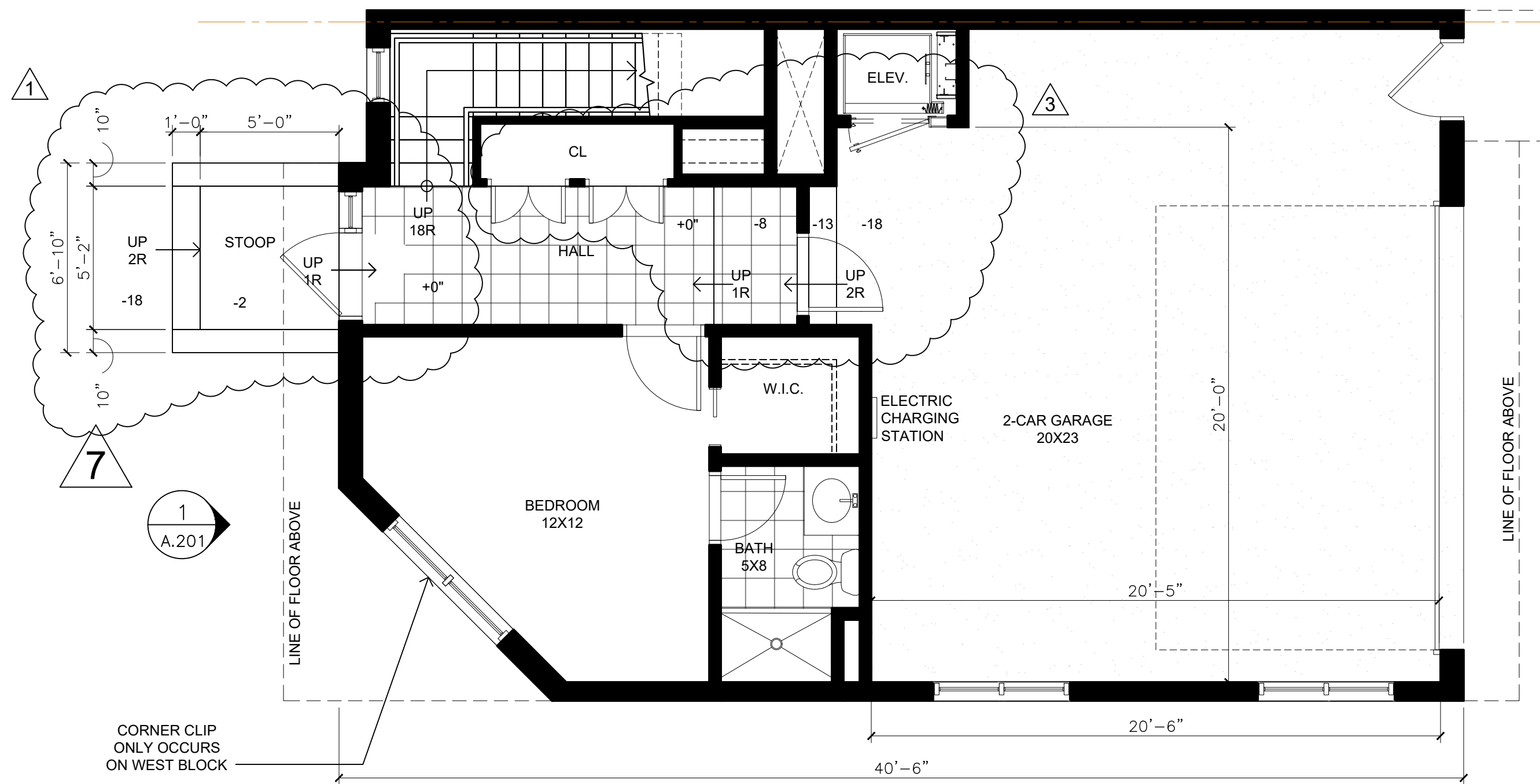
NETTAARCHITECTS
ONE PARK PLACE 621 NW 53rd STREET, SUITE 350, BOCA RATON, FL 33487
PHONE: 561-256-4501 www.nettaarchitects.com Cell: 561-436-8363
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PROJECT: ADVANCED DEVELOPMENT
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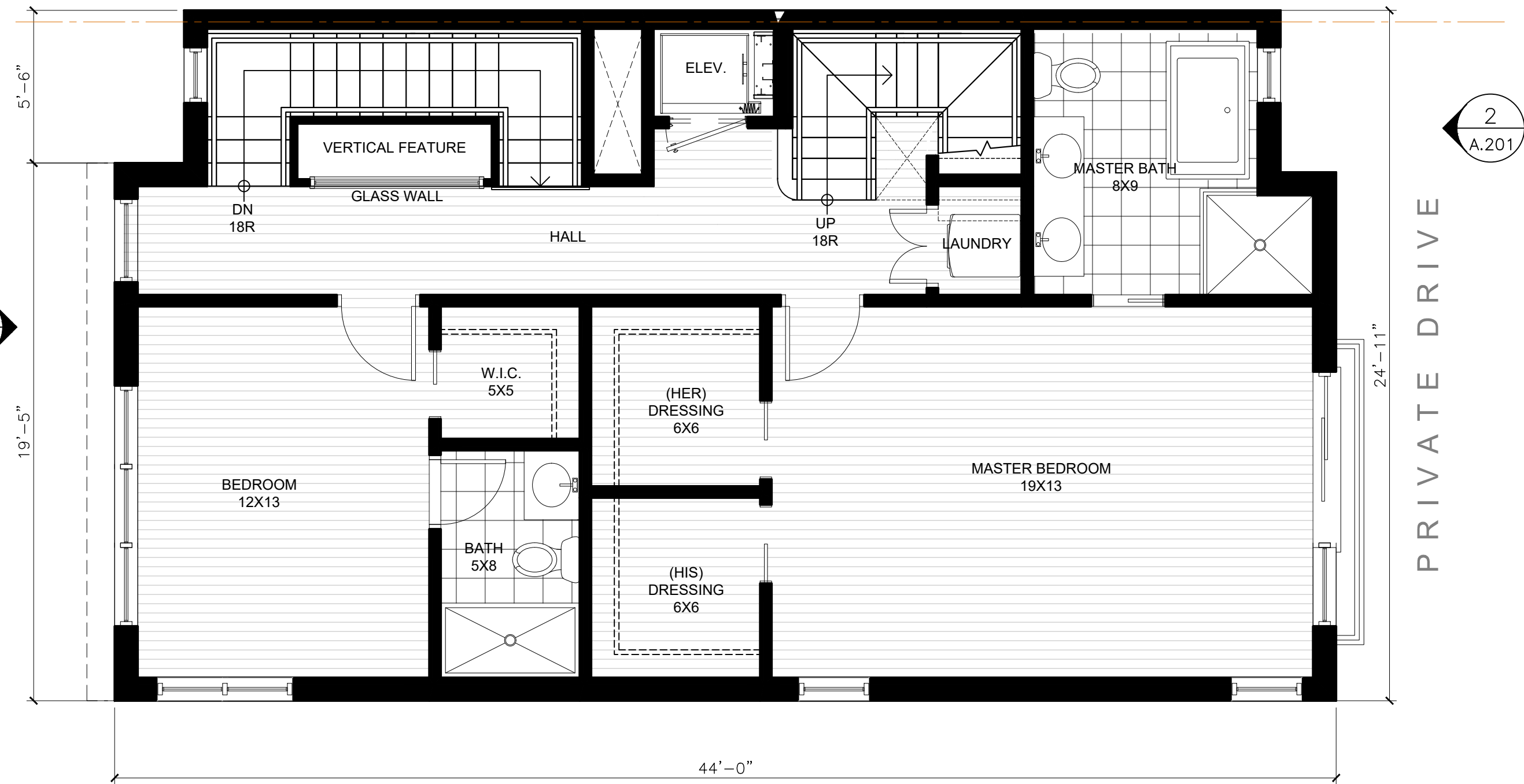
SHEET CONTENTS:
PROPOSED FLOOR
PLANS (TYPICAL UNIT)

SUBMISSIONS:		REVISIONS:		DATE:	
08.30.21	SPRAB	12.15.21	1. ZNG. TECH. COMMENTS	TD	06.28.2022
12.30.21	SPRAB RESUBMISSION	2.18.22	2. ZNG. TECH. COMMENTS	TD	AS SHOWN
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06.28.22	SPRAB RESUBMISSION	6.02.22	5. PLANNER'S COMMENTS	CB	JOB NO.: 2211647
07.25.22	SPRAB RESUBMISSION	8.04.22	6. PLANNER'S COMMENTS	CB	
04.07.23	SPRAB RESUBMISSION	3.03.23	7. PLANNER'S COMMENTS	CB	
		5.30.23	8. PLANNING COMMENTS	CB	
09.15.23	SPRAB RESUBMISSION	8.10.23	9. PLANNING COMMENTS	CB	

A.102

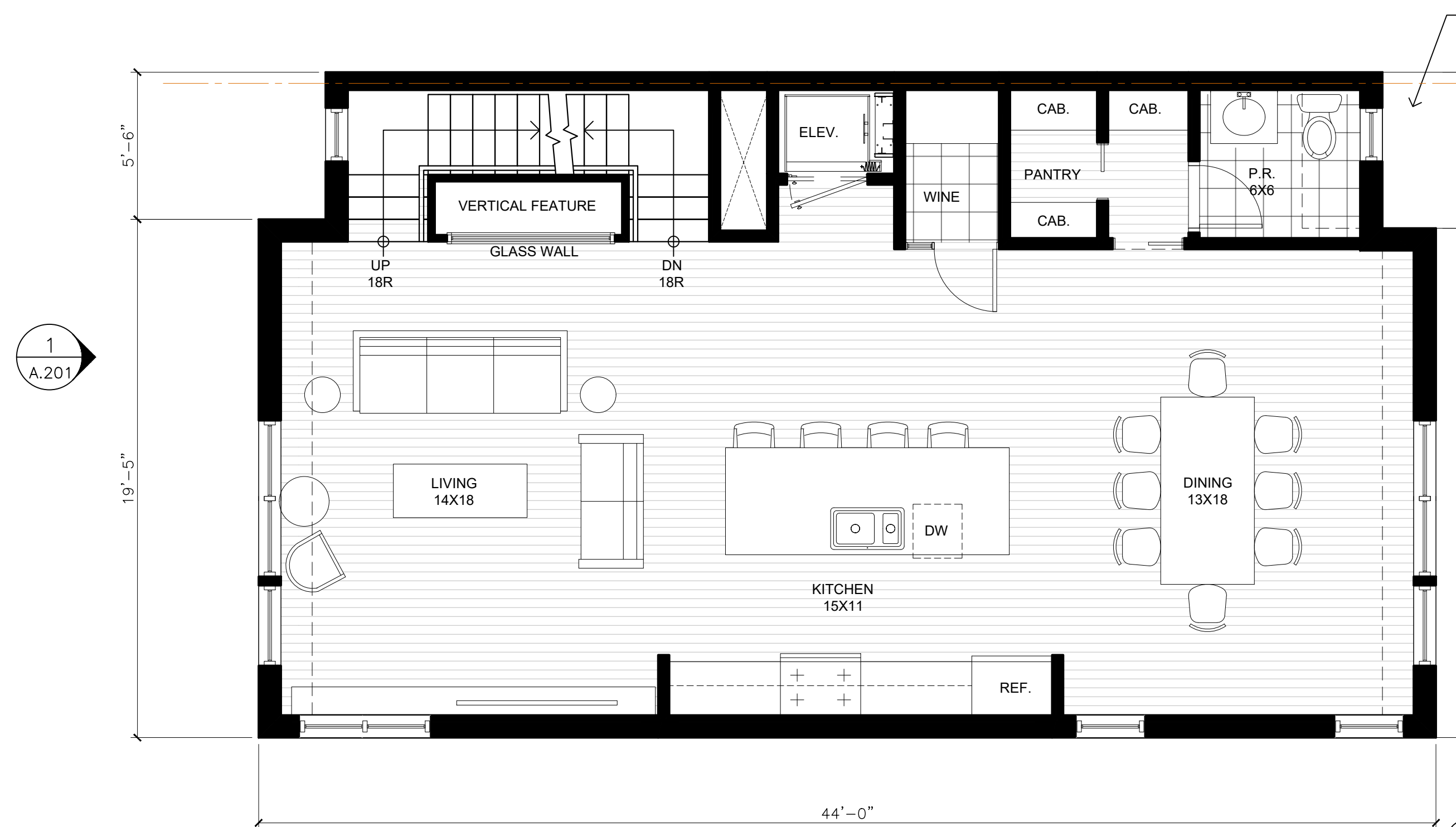


1 GROUND FLOOR PLAN (ALONG NE 2ND)
SCALE: 1/4"=1'-0"

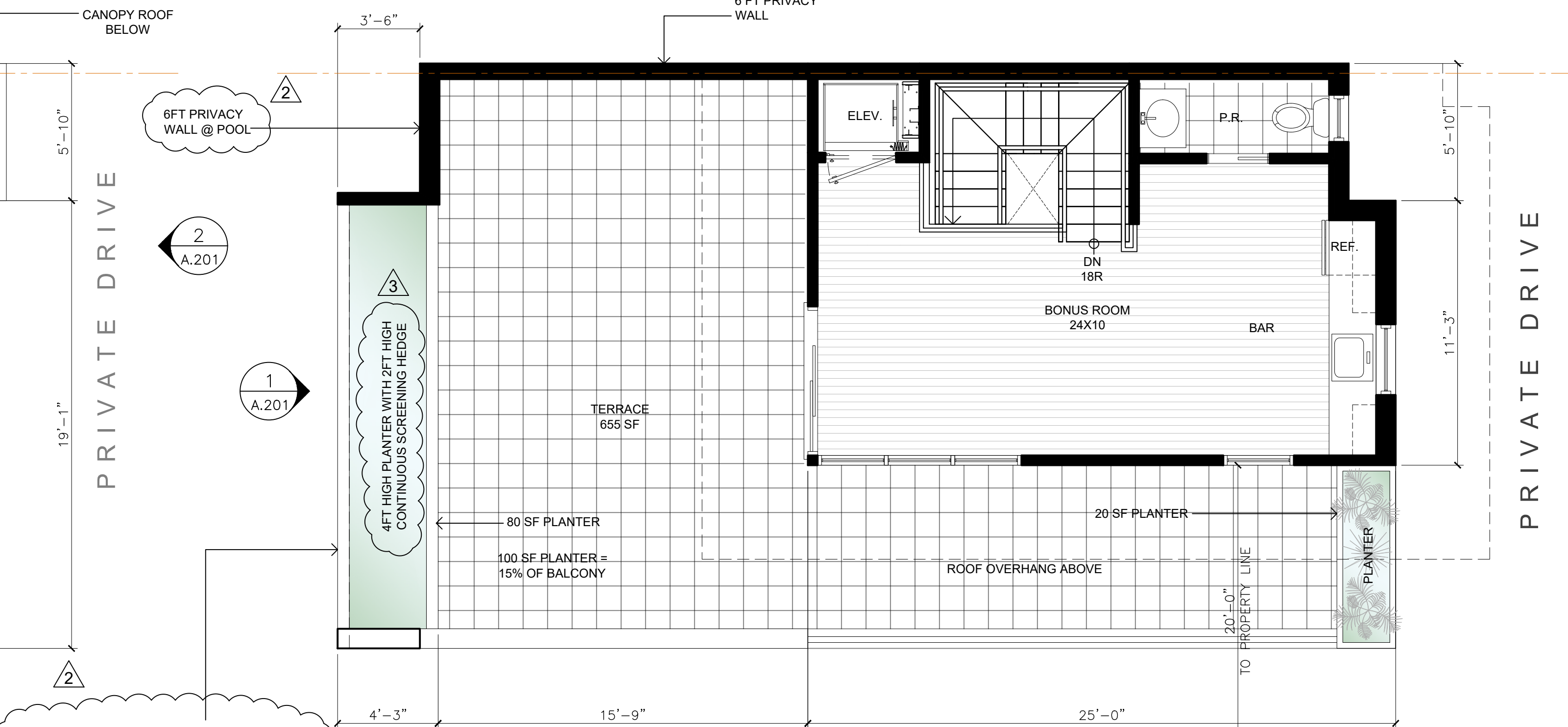


3 THIRD FLOOR PLAN (ALONG NE 2ND)
SCALE: 1/4"=1'-0"

AREA BREAKDOWN	
FLOOR	AREA
GROUND	973 SF
SECOND	1,069 SF
THIRD	1,069 SF
FOURTH	415 SF
BALCONY	673 SF
TOTAL	4,199 SF



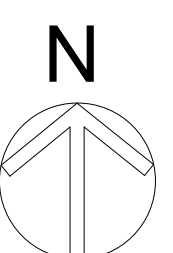
2 SECOND FLOOR PLAN (ALONG NE 2ND)
SCALE: 1/4"=1'-0"



4 FOURTH FLOOR PLAN ((ALONG NE 2ND)
SCALE: 1/4"=1'-0"

ALL UNITS HAVE 4FT PLANTERS WITH 2FT OF VEGETATION ALONG TERRACES, TOTALING FOR 6FT SCREENING (ALONG PUBLIC ALLEY). WHERE PLANTERS ARE NOT INSTALLED, A 6FT PRIVACY WALL ACTS AS REQUIRED SCREENING.

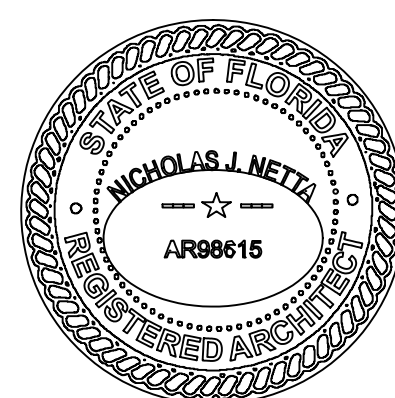
FOR PLANTER LANDSCAPING TYPE REFER TO LANDSCAPE SHEET LP-02.



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FL REGISTRATION # AR98615



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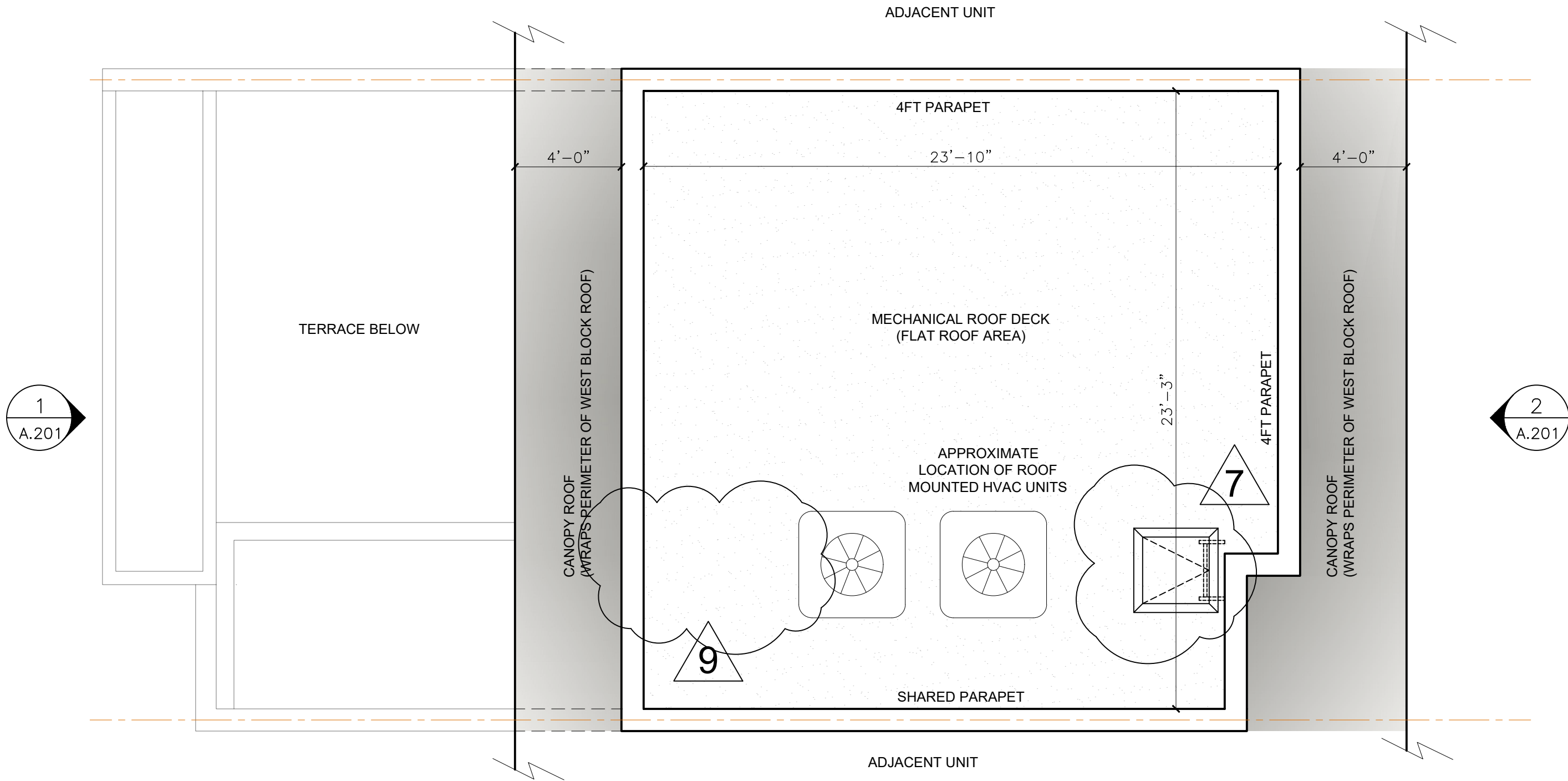


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PHONE: 561-255-4501
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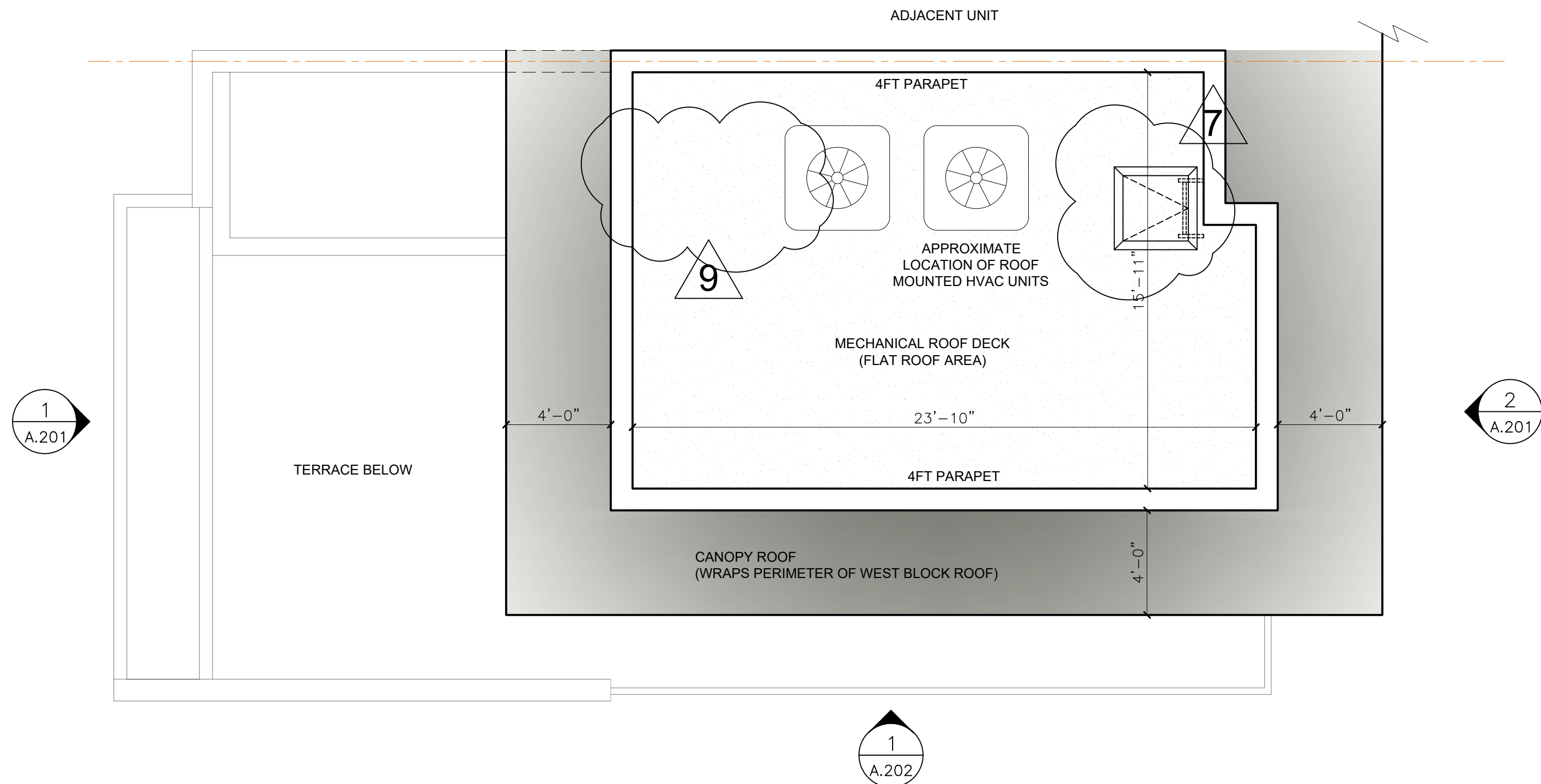
PROJECT: ADVANCED DEVELOPMENT
DELRAY BEACH
RESIDENTIAL DEVELOPMENT
605 NE 2ND ST
DELRAY BEACH, FL

SHEET CONTENTS:
PROPOSED
FLOOR PLANS
(END UNIT ALONG NE 2ND)

SUBMISSIONS:		REVISIONS:		DATE:	
08.30.21	SPRAB	12.15.21	△ ZNG. TECH. COMMENTS	TD	06.28.2022
12.30.21	SPRAB RESUBMISSION	2.18.22	△ ZNG. TECH. COMMENTS	TD	AS SHOWN
03.03.22	SPRAB RESUBMISSION	3.22.22	△ PLANNER'S COMMENTS	TD	DRAWN BY: TD
05.02.22	SPRAB RESUBMISSION	4.20.22	△ PLANNER'S COMMENTS	TD	CHECKED BY: NJN
06.28.22	SPRAB RESUBMISSION	6.02.22	△ PLANNER'S COMMENTS	CB	JOB NO.: 2211647
07.25.22	SPRAB RESUBMISSION	8.04.22	△ PLANNER'S COMMENTS	CB	DRAWING NO.: A.103
04.07.23	SPRAB RESUBMISSION	3.03.23	△ PLANNER'S COMMENTS	CB	
09.15.23	SPRAB RESUBMISSION	8.10.23	△ PLANNING COMMENTS	CB	



1
A.104
ROOF PLAN: TYPICAL UNIT
SCALE: 1/4"=1'-0"



2
A.104
ROOF PLAN: UNIT ALONG NE 2ND
SCALE: 1/4"=1'-0"

5 4
FOR PLANTER LANDSCAPING TYPE
REFER TO LANDSCAPE SHEET LP-02.

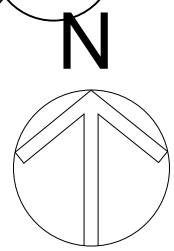
2
ROOF SPECIFICATION

NOTE: THE PROJECT WILL USE ENERGY STAR
ROOF-COMPLIANT, HIGH REFLECTIVE AND HIGH EMISSIVITY
ROOFING (INITIAL REFLECTANCE OF AT LEAST 0.65 AND
THREE-YEAR-AGED REFLECTANCE OF AT LEAST 0.5 WHEN
TESTED IN ACCORDANCE WITH ASTM E903 AND EMISSIVITY
OF AT LEAST 0.9 WHEN TESTED IN ACCORDANCE WITH ASTM
4080 FOR A MINIMUM OF 75% OF THE ROOF SURFACE).

HIGH REFLECTIVE/EMISSIVITY ROOFING = 1,990 SF

TOTAL ROOF AREA = 2,244 SF

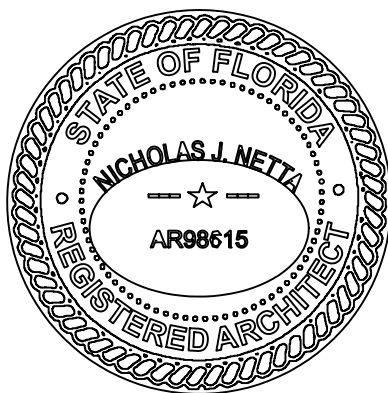
AREA OF HIGH REFLECTIVE/EMISSIVITY ROOFING = 88% OF
ROOF AREA



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PROJECT:

ADVANCED DEVELOPMENT
DELRAY BEACH
RESIDENTIAL DEVELOPMENT
605 NE 2ND ST
DELRAY BEACH, FL

SHEET CONTENTS:

PROPOSED ROOF PLANS

SUBMISSIONS:

08.30.21	SPRAB
12.30.21	SPRAB RESUBMISSION
03.03.22	SPRAB RESUBMISSION
05.02.22	SPRAB RESUBMISSION
06.28.22	SPRAB RESUBMISSION
07.25.22	SPRAB RESUBMISSION
04.07.23	SPRAB RESUBMISSION
09.15.23	SPRAB RESUBMISSION

REVISIONS:

12.15.21	1 ZNG. TECH. COMMENTS	TD
2.18.22	2 ZNG. TECH. COMMENTS	TD
3.22.22	3 PLANNER'S COMMENTS	TD
4.20.22	4 PLANNER'S COMMENTS	TD
6.02.22	5 PLANNER'S COMMENTS	CB
8.04.22	6 PLANNER'S COMMENTS	CB
3.03.23	7 PLANNER'S COMMENTS	CB
5.30.23	8 PLANNING COMMENTS	CB
8.10.23	9 PLANNING COMMENTS	CB

DATE:

06.28.2022

SCALE:

AS SHOWN

DRAWN BY:

TD

CHECKED BY:

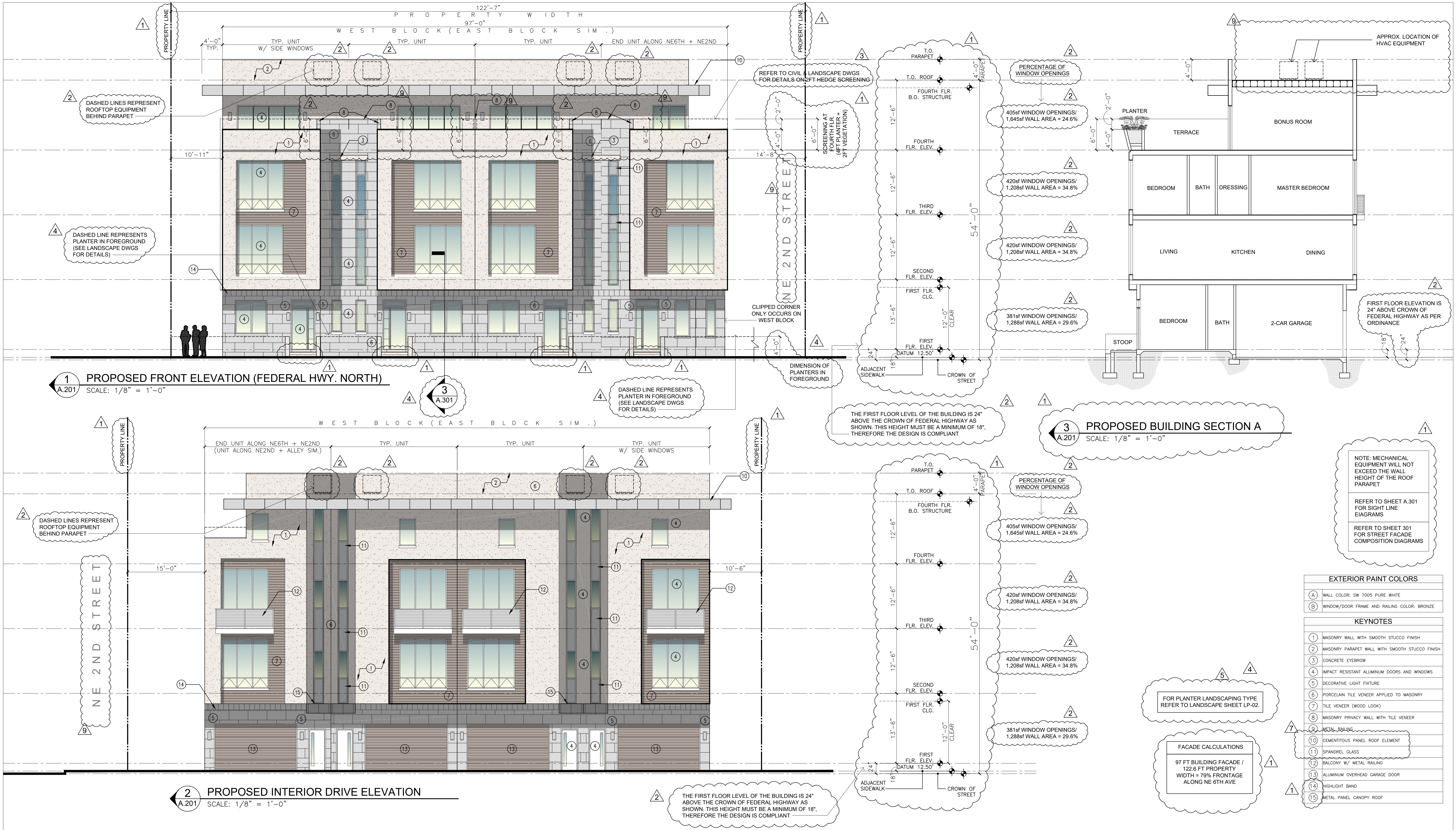
NJN

JOB NO.:

2211647

DRAWING NO.:

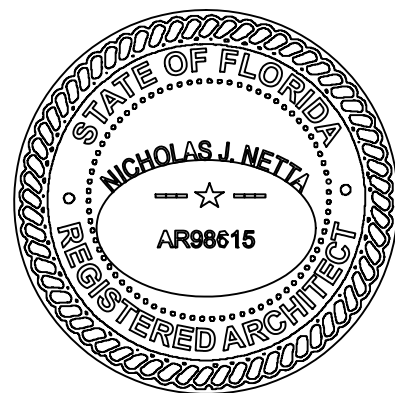
A.104



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CERTIFICATE OF AUTHORIZATION AA26003659

PROJECT:

ADVANCED DEVELOPMENT
DELRAY BEACH
RESIDENTIAL DEVELOPMENT
605 NE 2ND ST
DELRAY BEACH, FL

SHEET CONTENTS:

PROPOSED
BUILDING ELEVATIONS &
BUILDING SECTION

SUBMISSIONS:

08.30.21	SPRAB
12.30.21	SPRAB RESUBMISSION
03.03.22	SPRAB RESUBMISSION
05.02.22	SPRAB RESUBMISSION
06.28.22	SPRAB RESUBMISSION
07.25.22	SPRAB RESUBMISSION
04.07.23	SPRAB RESUBMISSION
09.15.23	SPRAB RESUBMISSION

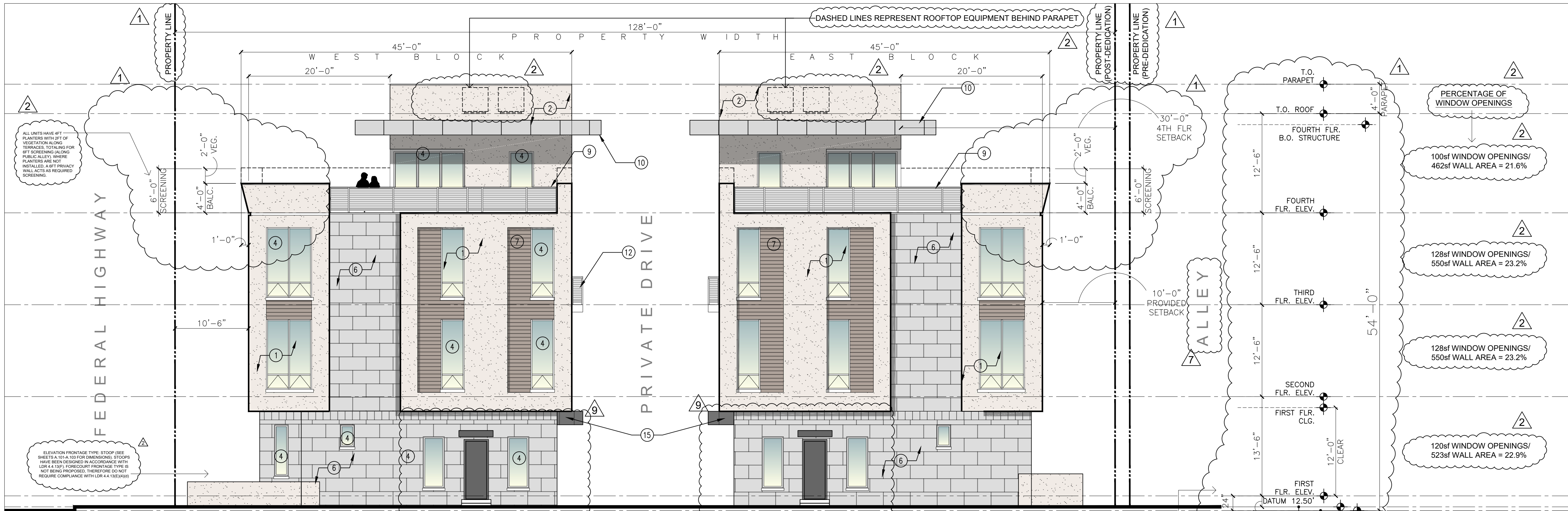
REVISIONS:

DATE	REVISION	BY	DATE
12.15.21	ZNG. TECH. COMMENTS	TD	06.28.2022
2.18.22	ZNG. TECH. COMMENTS	TD	AS SHOWN
3.22.22	PLANNER'S COMMENTS	TD	
4.20.22	PLANNER'S COMMENTS	TD	
6.02.22	PLANNER'S COMMENTS	CB	
8.04.22	PLANNER'S COMMENTS	CB	
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5.30.23	PLANNING COMMENTS	CB	
8.10.23	PLANNING COMMENTS	CB	

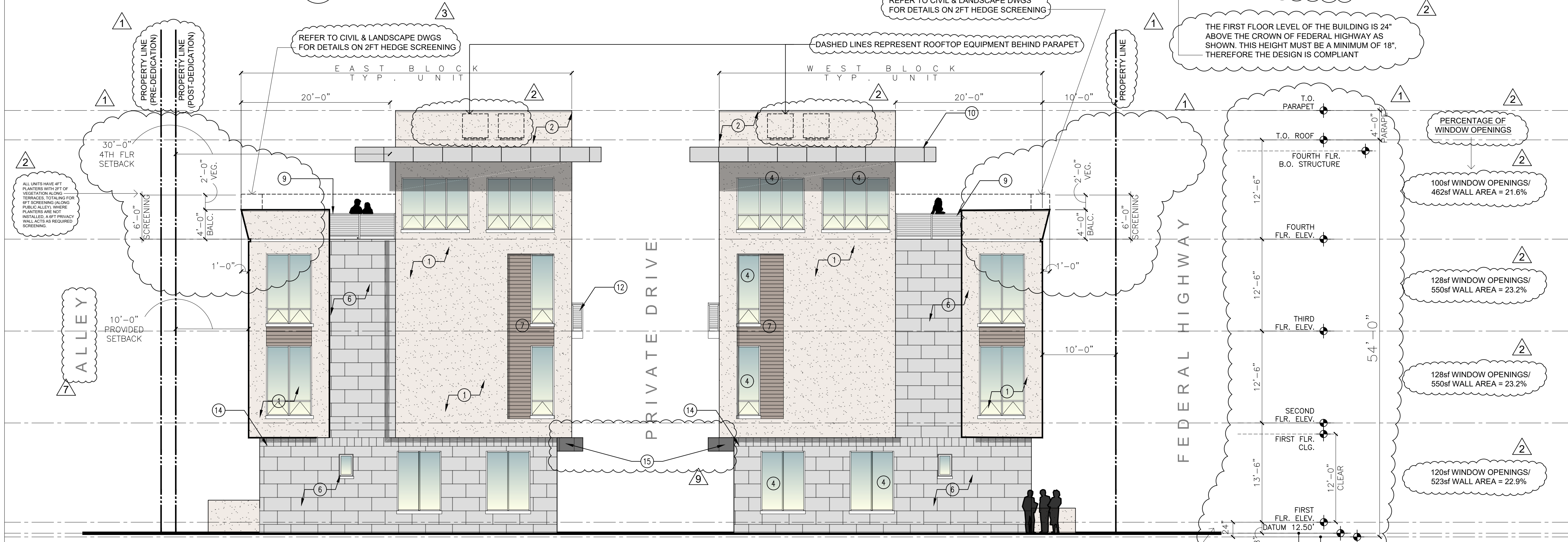
DATE:

06.28.2022
AS SHOWN
DRAWN BY: TD
CHECKED BY: NJN
JOB NO.: 2211647
DRAWING NO.:

A.201



1 PROPOSED SOUTH SIDE ELEVATION (NE 2ND AVE.)
A.202 SCALE: 1/8" = 1'-0"



2 PROPOSED NORTH SIDE ELEVATION
A.202 SCALE: 1/8" = 1'-0"

EXTERIOR PAINT COLORS	
(A)	WALL COLOR: SW 7005 PURE WHITE
(B)	WINDOW/DOOR FRAME AND RAILING COLOR: BRONZE

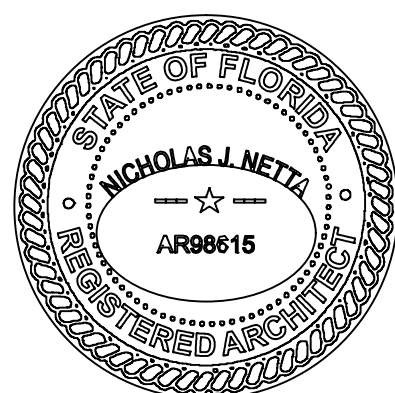
KEYNOTES	
1	MASONRY WALL WITH SMOOTH STUCCO FINISH
2	MASONRY PARAPET WALL WITH SMOOTH STUCCO FINISH
3	CONCRETE EYEBROW
4	IMPACT RESISTANT ALUMINUM DOORS AND WINDOWS
5	DECORATIVE LIGHT FIXTURE
6	PORCELAIN TILE VENEER APPLIED TO MASONRY
7	TILE VENEER (WOOD LOOK)
8	MASONRY PRIVACY WALL WITH TILE VENEER
9	METAL SOLID
10	CEMENTITIOUS PANEL ROOF ELEMENT
11	SPANDREL GLASS
12	BALCONY W/ METAL RAILING
13	ALUMINUM OVERHEAD GARAGE DOOR
14	HIGHLIGHT BAND
15	METAL PANEL CANOPY ROOF

FACADE CALCULATIONS
90 FT BUILDING FACADE /
114 FT PROPERTY WIDTH
= 79% FRONTAGE ALONG
NE 2ND AVE

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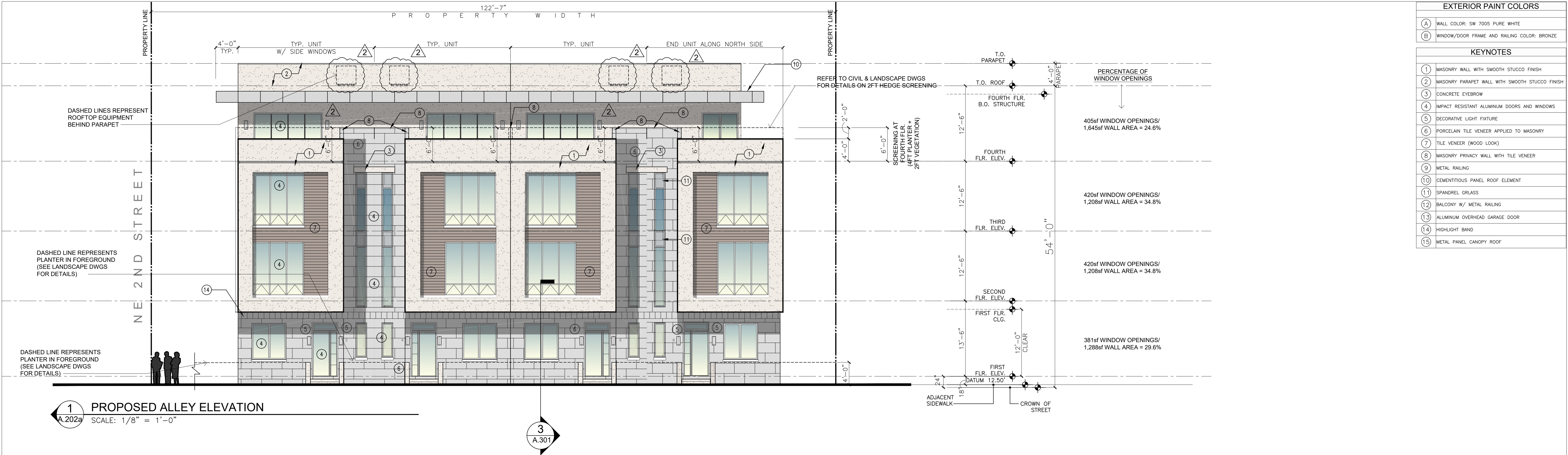
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PHONE: 561-255-4500
www.nettaarchitects.com
CERTIFICATE OF AUTHORIZATION AA26003659

PROJECT:
ADVANCED DEVELOPMENT
DELRAY BEACH
RESIDENTIAL DEVELOPMENT
605 NE 2ND ST
DELRAY BEACH, FL

SHEET CONTENTS:
PROPOSED
BUILDING ELEVATIONS

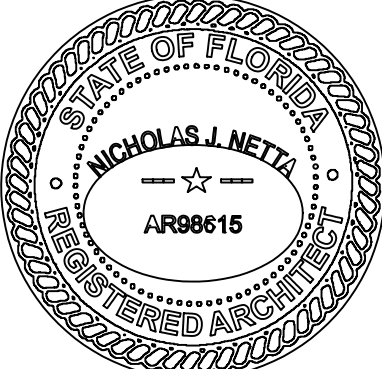
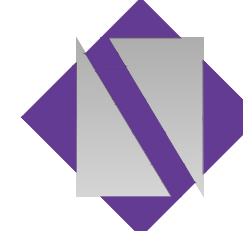
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12.30.21	SPRAB RESUBMISSION	2.18.22	2. ZNG. TECH. COMMENTS	TD	AS SHOWN
03.03.22	SPRAB RESUBMISSION	3.22.22	3. PLANNER'S COMMENTS	TD	DRAWN BY: TD
05.02.22	SPRAB RESUBMISSION	4.20.22	4. PLANNER'S COMMENTS	TD	CHECKED BY: NJN
06.28.22	SPRAB RESUBMISSION	6.02.22	5. PLANNER'S COMMENTS	CB	JOB NO.: 2211647
07.25.22	SPRAB RESUBMISSION	8.04.22	6. PLANNER'S COMMENTS	CB	DRAWING NO.:
04.07.23	SPRAB RESUBMISSION	3.03.23	7. PLANNER'S COMMENTS	CB	
		5.30.23	8. PLANNING COMMENTS	CB	
09.15.23	SPRAB RESUBMISSION	8.10.23	9. PLANNING COMMENTS	CB	

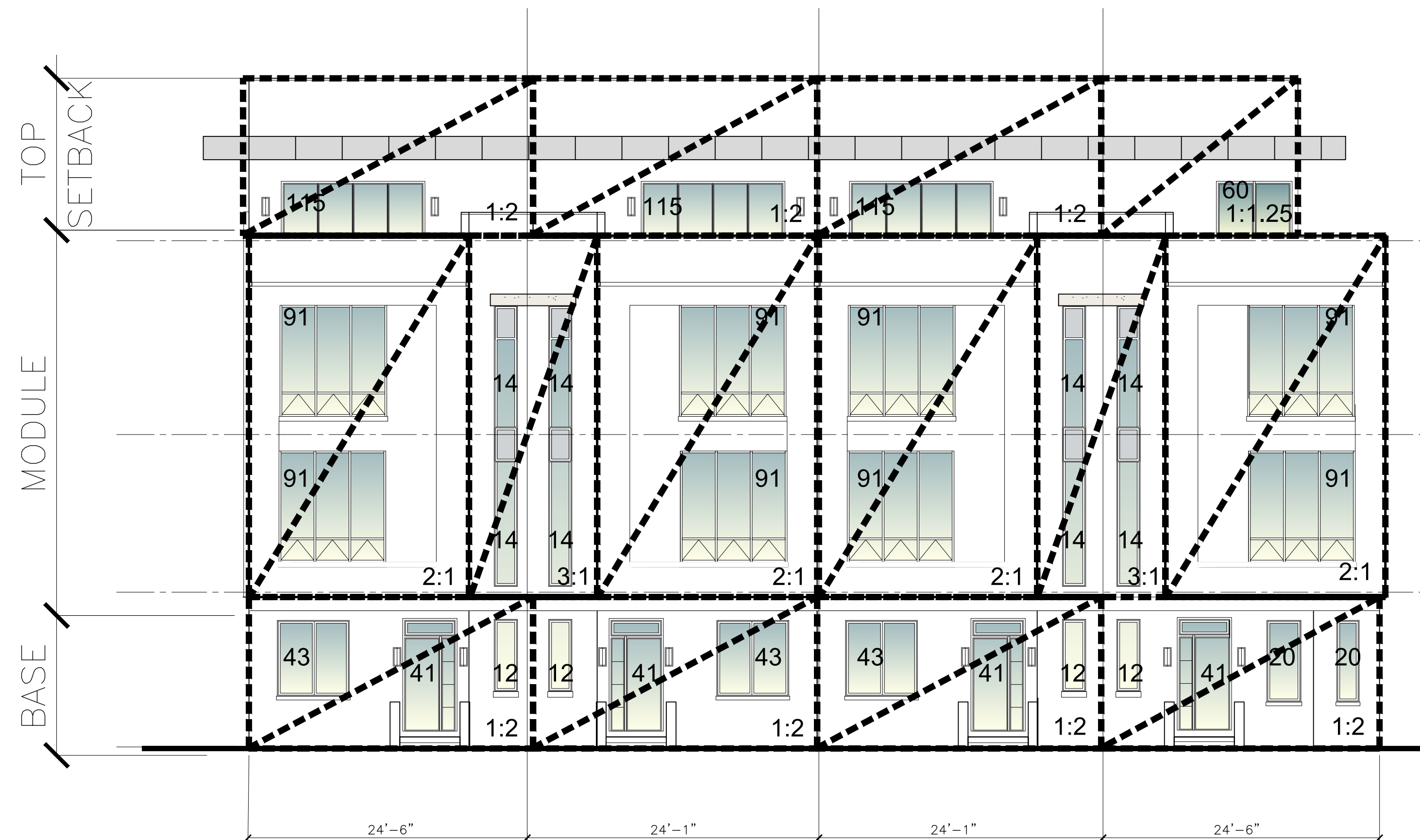
A.202



EXTERIOR PAINT COLORS	
(A)	WALL COLOR: SW 7005 PURE WHITE
(B)	WINDOW/DOOR FRAME AND RAILING COLOR: BRONZE

KEYNOTES	
(1)	MASONRY WALL WITH SMOOTH STUCCO FINISH
(2)	MASONRY PARAPET WALL WITH SMOOTH STUCCO FINISH
(3)	CONCRETE EYEBROW
(4)	IMPACT RESISTANT ALUMINUM DOORS AND WINDOWS
(5)	DECORATIVE LIGHT FIXTURE
(6)	PORCELAIN TILE VENEER APPLIED TO MASONRY
(7)	TILE VENEER (WOOD LOOK)
(8)	MASONRY PRIVACY WALL WITH TILE VENEER
(9)	METAL RAILING
(10)	CEMENTITIOUS PANEL ROOF ELEMENT
(11)	SPANDREL GLASS
(12)	BALCONY W/ METAL RAILING
(13)	ALUMINUM OVERHEAD GARAGE DOOR
(14)	HIGHLIGHT BAND
(15)	METAL PANEL CANOPY ROOF

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						08.30.21 SPRAB	12.15.21  ZNG. TECH. COMMENTS	TD	SCALE: AS SHOWN
						12.30.21 SPRAB RESUBMISSION	2.18.22  ZNG. TECH. COMMENTS	TD	DRAWN BY: TD
						03.03.22 SPRAB RESUBMISSION	3.22.22  PLANNER'S COMMENTS	TD	CHECKED BY: NJN
						05.02.22 SPRAB RESUBMISSION	4.20.22  PLANNER'S COMMENTS	TD	JOB NO.: 2211647
						06.28.22 SPRAB RESUBMISSION	6.02.22  PLANNER'S COMMENTS	CB	DRAWING NO.:
						07.25.22 SPRAB RESUBMISSION	8.04.22  PLANNER'S COMMENTS	CB	A.202a
						04.07.23 SPRAB RESUBMISSION	3.03.23  PLANNER'S COMMENTS	CB	
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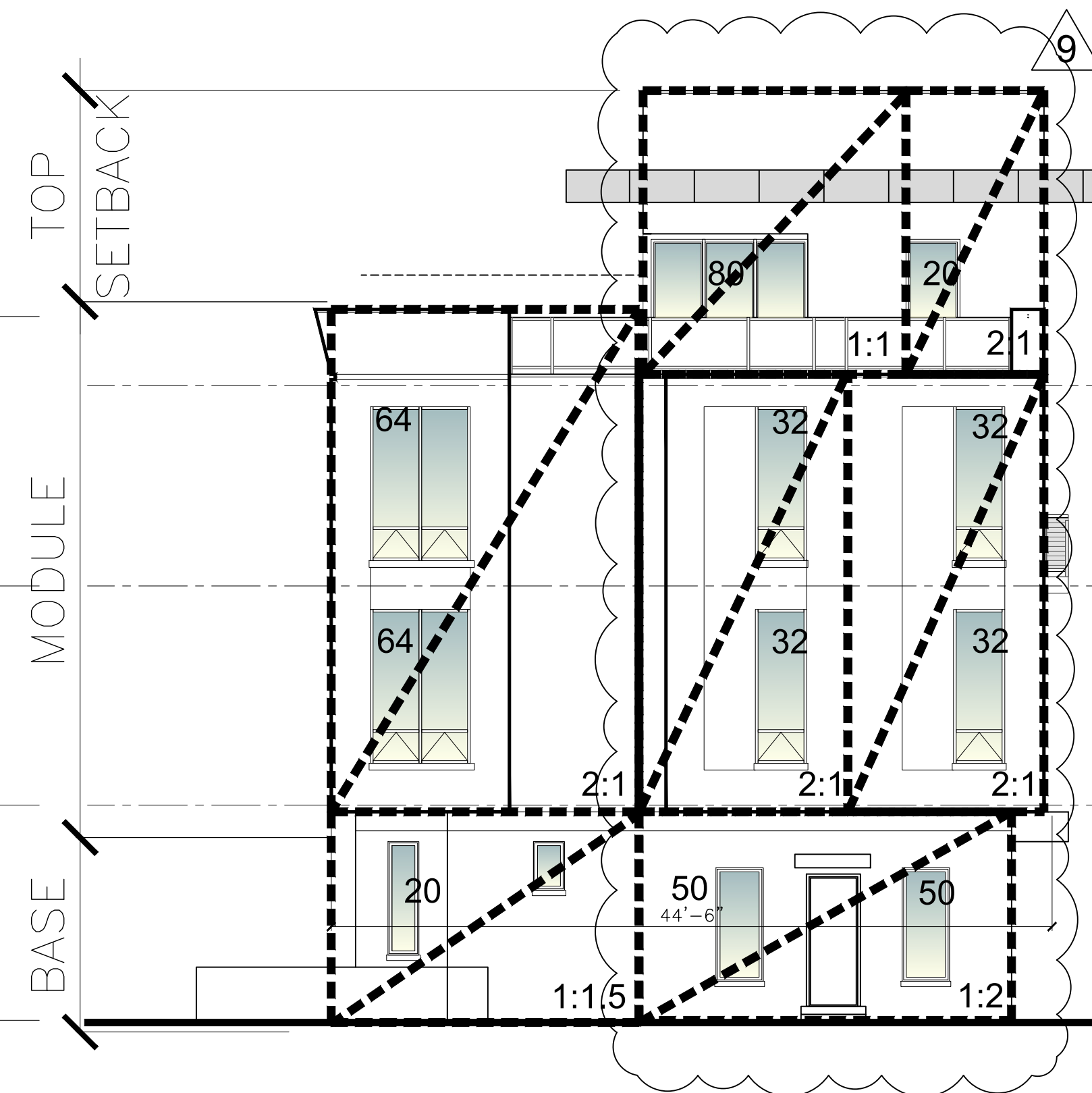
405sf WINDOW OPENINGS/
1,645sf WALL AREA = 24.6%

420sf WINDOW OPENINGS/
1,208sf WALL AREA = 34.8%

420sf WINDOW OPENINGS/
1,208sf WALL AREA = 34.8%

381sf WINDOW OPENINGS/
1,288sf WALL AREA = 29.6%

1
A.203 **FEDERAL HIGHWAY FACADE COMPOSITION**
SCALE: 1/8" = 1'-0"
FACADE COMPOSITION ALONG
ALLEY IS SAME AS FEDERAL
HIGHWAY



100sf WINDOW OPENINGS/
462sf WALL AREA = 21.6%

128sf WINDOW OPENINGS/
550sf WALL AREA = 23.2%

128sf WINDOW OPENINGS/
550sf WALL AREA = 23.2%

120sf WINDOW OPENINGS/
523sf WALL AREA = 22.9%

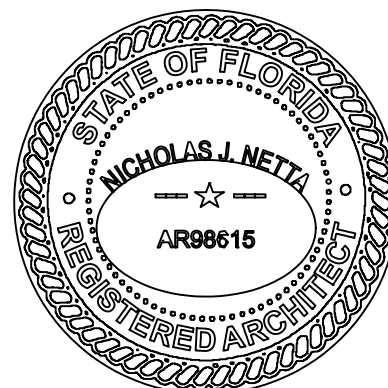
2
A.203 **NE 2ND AVE FACADE COMPOSITION**
SCALE: 1/8" = 1'-0"

FOR PLANTER LANDSCAPING TYPE
REFER TO LANDSCAPE DWGS

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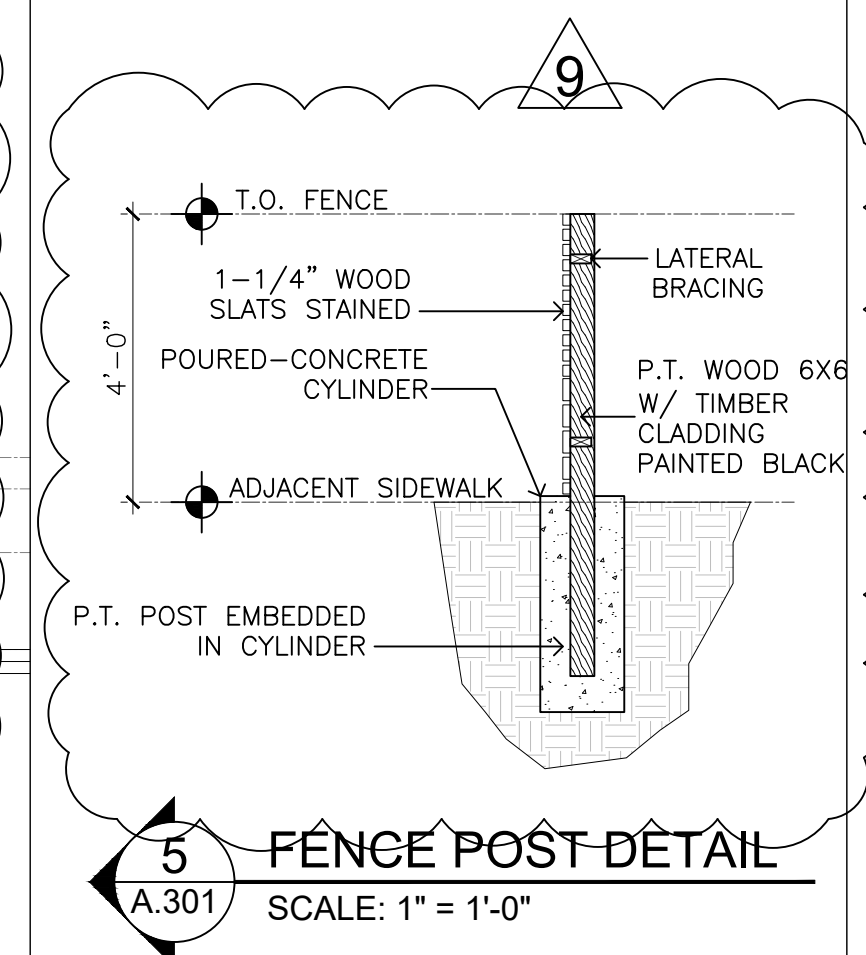
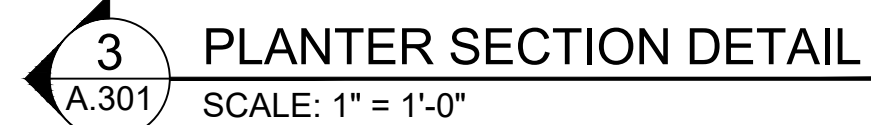
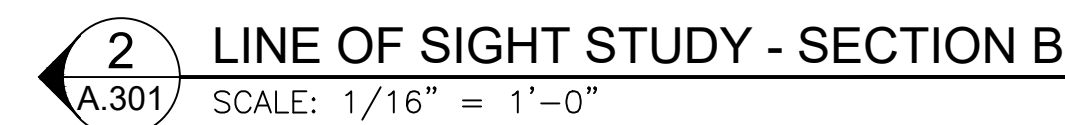
PROJECT: **ADVANCED DEVELOPMENT
DELRAY BEACH
RESIDENTIAL DEVELOPMENT**
605 NE 2ND ST
DELRAY BEACH, FL

SHEET CONTENTS:

FACADE COMPOSITION DETAILS

SUBMISSIONS:		REVISIONS:		DATE:	06.28.2022
08.30.21	SPRAB	12.15.21	ZNG. TECH. COMMENTS	TD	SCALE: AS SHOWN
12.30.21	SPRAB RESUBMISSION	2.18.22	ZNG. TECH. COMMENTS	TD	DRAWN BY: TD
03.03.22	SPRAB RESUBMISSION	3.22.22	PLANNER'S COMMENTS	TD	CHECKED BY: NJN
05.02.22	SPRAB RESUBMISSION	4.20.22	PLANNER'S COMMENTS	TD	JOB NO.: 2211647
06.28.22	SPRAB RESUBMISSION	6.02.22	PLANNER'S COMMENTS	CB	DRAWING NO.:
07.25.22	SPRAB RESUBMISSION	8.04.22	PLANNER'S COMMENTS	CB	
04.07.23	SPRAB RESUBMISSION	3.03.23	PLANNER'S COMMENTS	CB	
		5.30.23	PLANNING COMMENTS	CB	
09.15.23	SPRAB RESUBMISSION	8.10.23	PLANNING COMMENTS	CB	

A.203



A.301



1 MASSING MODEL
A.401 N.T.S.

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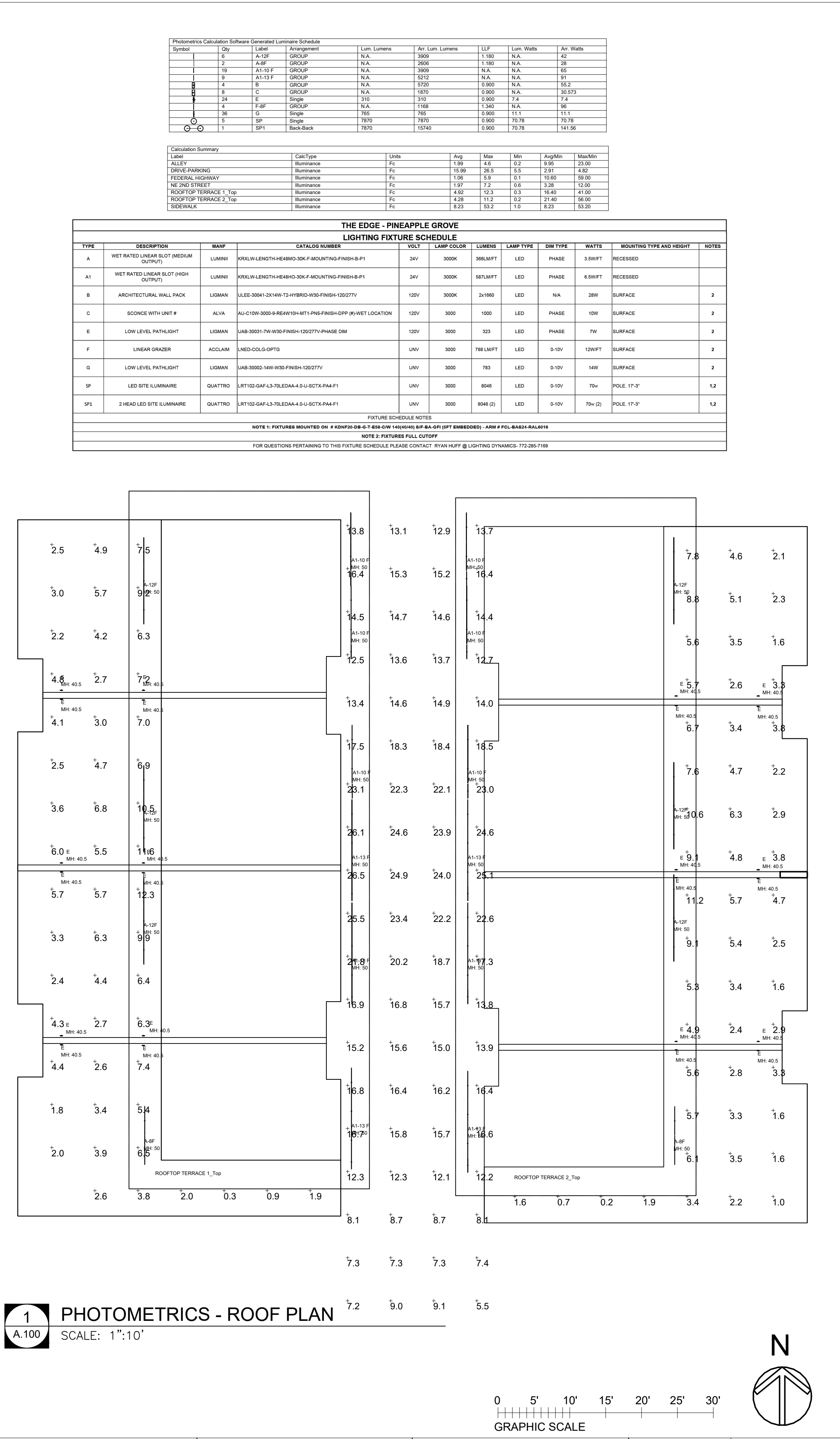
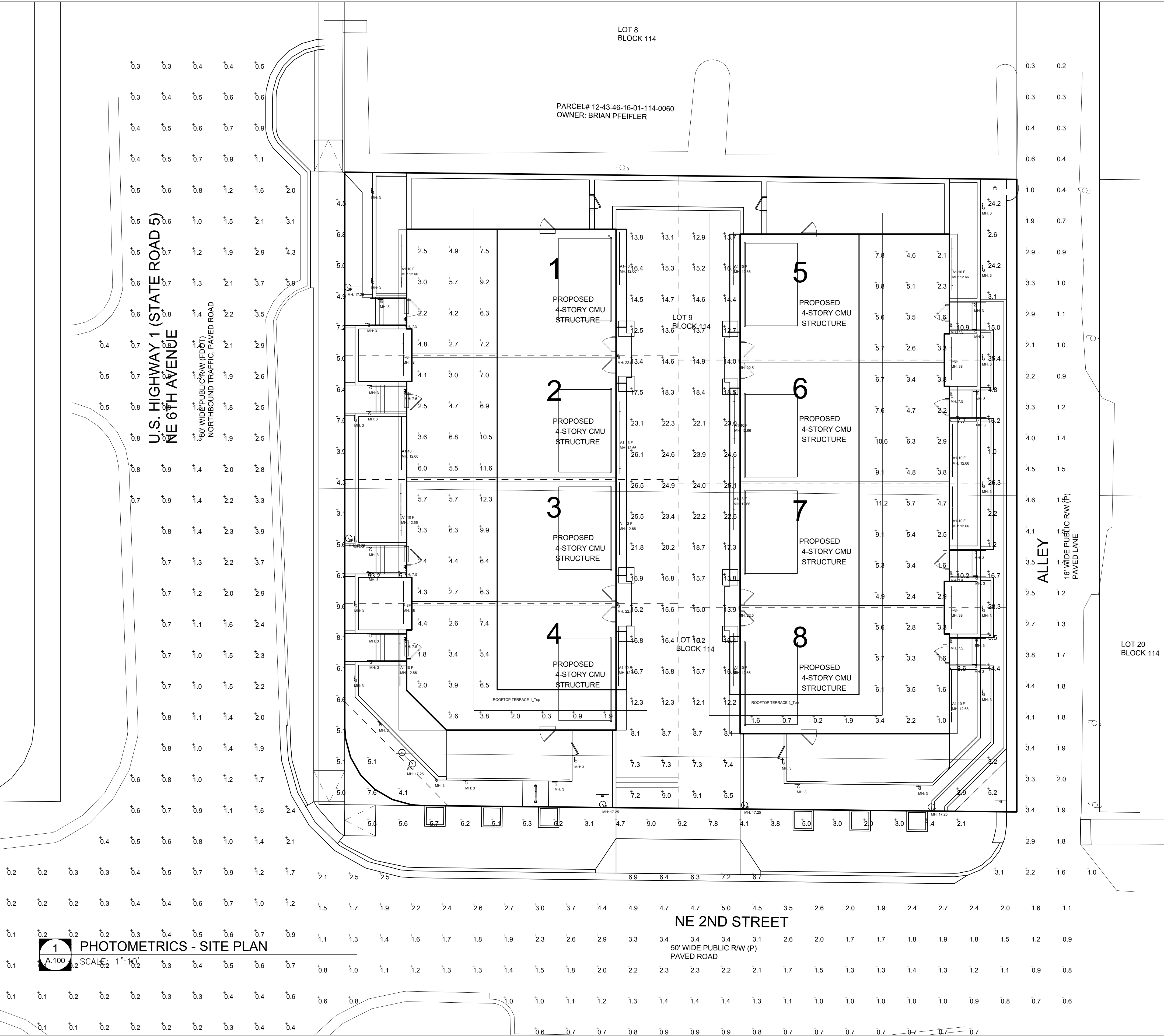


PROJECT: ADVANCED DEVELOPMENT
DELRAY BEACH
RESIDENTIAL DEVELOPMENT
605 NE 2ND ST
DELRAY BEACH, FL

SHEET CONTENTS:

MASSING MODEL

SUBMISSIONS:		REVISIONS:		DATE:	06.28.2022
08.30.21	SPRAB	12.15.21	1 ZNG. TECH. COMMENTS	TD	SCALE: AS SHOWN
12.30.21	SPRAB RESUBMISSION	2.18.22	2 ZNG. TECH. COMMENTS	TD	DRAWN BY: TD
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05.02.22	SPRAB RESUBMISSION	4.20.22	4 PLANNER'S COMMENTS	TD	JOB NO.: 2211647
06.28.22	SPRAB RESUBMISSION	6.02.22	5 PLANNER'S COMMENTS	CB	DRAWING NO.: A.401
07.25.22	SPRAB RESUBMISSION	8.04.22	6 PLANNER'S COMMENTS	CB	
04.07.23	SPRAB RESUBMISSION	3.03.23	7 PLANNER'S COMMENTS	CB	
		5.30.23	8 PLANNING COMMENTS	CB	
09.15.23	SPRAB RESUBMISSION	8.10.23	9 PLANNING COMMENTS	CB	



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PROJECT:
**ADVANCED DEVELOPMENT
DELRAY BEACH
RESIDENTIAL DEVELOPMENT**
605 NE 2ND ST
DELRAY BEACH, FL

SHEET CONTENTS:

SUBMISSIONS:	REVISIONS:	DATE:	
08.30.21 SPRAB	12.15.21 ZNG. TECH. COMMENTS	06.28.2022	AS SHOWN
12.30.21 SPRAB RESUBMISSION	2.18.22 ZNG. TECH. COMMENTS		TD
03.03.22 SPRAB RESUBMISSION	3.22.22 PLANNER'S COMMENTS		TD
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07.25.22 SPRAB RESUBMISSION	8.04.22 PLANNER'S COMMENTS		CB
04.07.23 SPRAB RESUBMISSION	3.03.23 PLANNER'S COMMENTS		CB
	5.30.23 PLANNING COMMENTS		CB
09.15.23 SPRAB RESUBMISSION	8.10.23 PLANNING COMMENTS		CB

DRAWING NO.:
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