

HISTORIC PLANNING BOARD SUBMISSION:

The Marchand Residence

DELRAY BEACH , FLORIDA

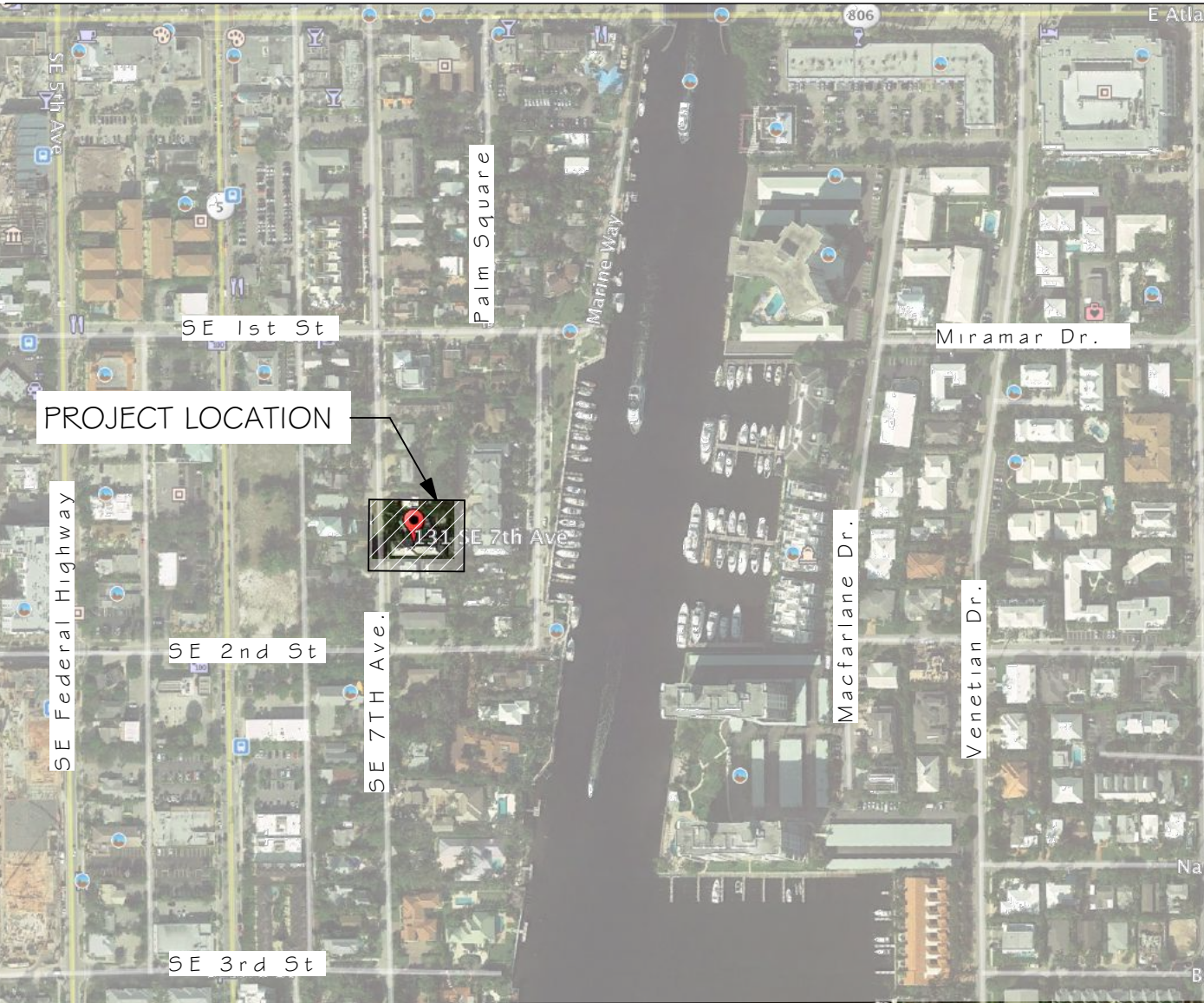
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GENERAL NOTES:

1. ALL IDEAS, DRAWINGS, PLANS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER OF RECORD. THEY WERE CREATED FOR AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. THE IDEAS, DESIGNS, DRAWINGS, PLANS AND ARRANGEMENTS OF THE SPECIFIED PROJECT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSONS, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND ENGINEER(S) OF RECORD.
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3. ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY OR CIVIL DWGS. THAT ARE INSERTED INTO THIS SET AND/OR LACK OF. THIS INCLUDES BUT NOT LIMITED TO PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC.

LOCATION MAP:



ARCHITECTURAL RENDERING:



ABBREVIATIONS:

AT	H.C.	HOLLOE CORE
ACOUSTICAL TILE	H.M.	HOLLOW METAL
ADJUSTABLE	H.V.A.C.	HEATING, VENTILATION, & AIR
ANCHOR BOLT		CONDITIONING
AIR CONDITIONING	INSUL.	INSULATION
ABOVE FINISH FLOOR	INV.	INVERT
ALUMINUM	LAM.	LAMINATED
ALTERNATE	MAT.	MATERIAL
BOARD	M.C.	MECHANICAL CONTRACTOR
BUILDING	M.H.	MAN HOLE
BENCH MARK	MLDG.	MOLDING
BRIDGING OR BEARING	MTL. MET.	METAL
CENTER TO CENTER	MIN.	MINIMUM
CENTER LINE	M.T.	METAL THRESHOLD
CABINET	N.I.C.	NOT IN CONTRACT
CATCH BASIN	NO.	NUMBER
CAST IRON	NOM.	NOMINAL
CERAMIC	O.C.	ON CENTER
CEILING	OPG.	OPENING
CLEAN OUT	O.W.	OPEN WEB
CONCRETE	P.C.	PLUMBING CONTRACTOR
COORDINATE	PL	PLATE
COLUMN	PT.	PRESSURE TREADED
CONTINUOUS	P.S.I.	POUNDS PER SQUARE INCH
DETAIL	R.A.	RETURN AIR
DOWN	RM.	ROOM
DECK	REQ'D	REQUIRED
DOWN SPOUT	REIN.	REINFORCING
DRY WALL	S.B.	SPALSH BLOCK
DRAWING	SCH.	SCHEDULE
ELECTRICAL CONTRACTOR	SEC.	SECTION
ELEVATION	S.C.	SOLID CORE
ELECTRICAL	S.S.	STAINLESS STEEL
EXISTING	S.V.B.	STRAIGHT VINYL BASE
EXPOSED OR EXPANSION	SPEC.	SPECIFICATION
FIRE EXTINGUISHER	T.O.	TOP OF
FINISHED FLOOR	T.O.F.	TOP OF FOOTING
FLOOR	T.O.P.	TOP OF PLATE
FULL SIZE	T.O.S.	TOP OF STEEL
FOOT OR FEET	TYP.	TYPICAL
FOOTING	THK.	THICK OR THICKNESS
GENERAL CONTRACTOR	T&G	TOUNGUE AND GROOVE
GLASS OR GLAZING	V.C.T.	VINYL COMPOSITION TILE
GLAZED PAINT	V.C.B.	VINYL COVE BASE
GYPSUM	VIF	VERIFY IN FIELD
HOSE BIB	W/	WITH
HEIGHT	W.I.	WROUGHT IRON
HARDENER	W.W.F.	WELDED WIRE FABRIC

WALL LEGEND:

	EXISTING CMU WALL
	EXISTING INTERIOR WALL
	EXISTING FIRE RATED PARTITION WALL
	CMU WALL
	CMU WALL, W/ ONE SIDE 1 x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 2x PT FURRING & GYPSUM BOARD
	CMU WALL, W/ ONE SIDE 1-5/8\"/>
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 1-5/8\"/>
	PARTITION WALL (PARTY WALL)- CMU WALL, W/ 2x PT FURRING & 5/8\"/>
	INTERIOR WALL
	INTERIOR FIRE RATED PARTITION WALL

ARCHITECTURAL SYMBOLS:

	REVISION MARKER
	ELEVATION MARK
	ROOM NUMBER
	DOOR TAG- REFER TO DOOR SCHEDULE
	WINDOW TAG- REFER TO WINDOW SCHEDULE
	WALL DETAIL, REFER TO PARTITION DETAILS
	FIXTURE TAG
	SECTION LETTER
	WALL SECTION
	BUILDING SECTION
	DETAIL

PROJECT DESCRIPTION:

THE PROPOSED PROJECT IS A RESTORATION OF EXISTING ROUGH WINDOW OPENINGS BACK TO ORIGINAL DIMENSIONS, THE INSTALLATION NEW IMPACT RATED WINDOWS, CONSTRUCTION OF A NEW SCREENED COVERED PORCH AND THE ADDITION OF NEW FRENCH DOORS TO AN EXISTING (1847 SF) SINGLE FAMILY HOME IN THE HISTORIC DISTRICT OF DELRAY BEACH, FLORIDA. ALSO INCLUDED IN THIS SCOPE IS THE DEMOLITION/REMOVAL OF THE EXISTING GARAGE AND THE CONSTRUCTION OF A NEW CONCRETE MASONRY GARAGE STRUCTURE.



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RENOVATION FOR:
MARCHAND RESIDENCE
131 SE 7TH AVENUE
DELRAY BEACH ,FL 33483

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PROJECT NO: 19-217
DATE: 7.01.19
DRAWN BY: BRT
CHECKED BY: S.S.
REVISIONS: COMMENTS 9.9.19

COVER SHEET

CS.1

DESIGN TEAM:

OWNER:
MR. AND MRS. MARCHAND
10 MIDDLE ROAD WAKEFIELD
RI 02879 6368
s-marchand@cox.net

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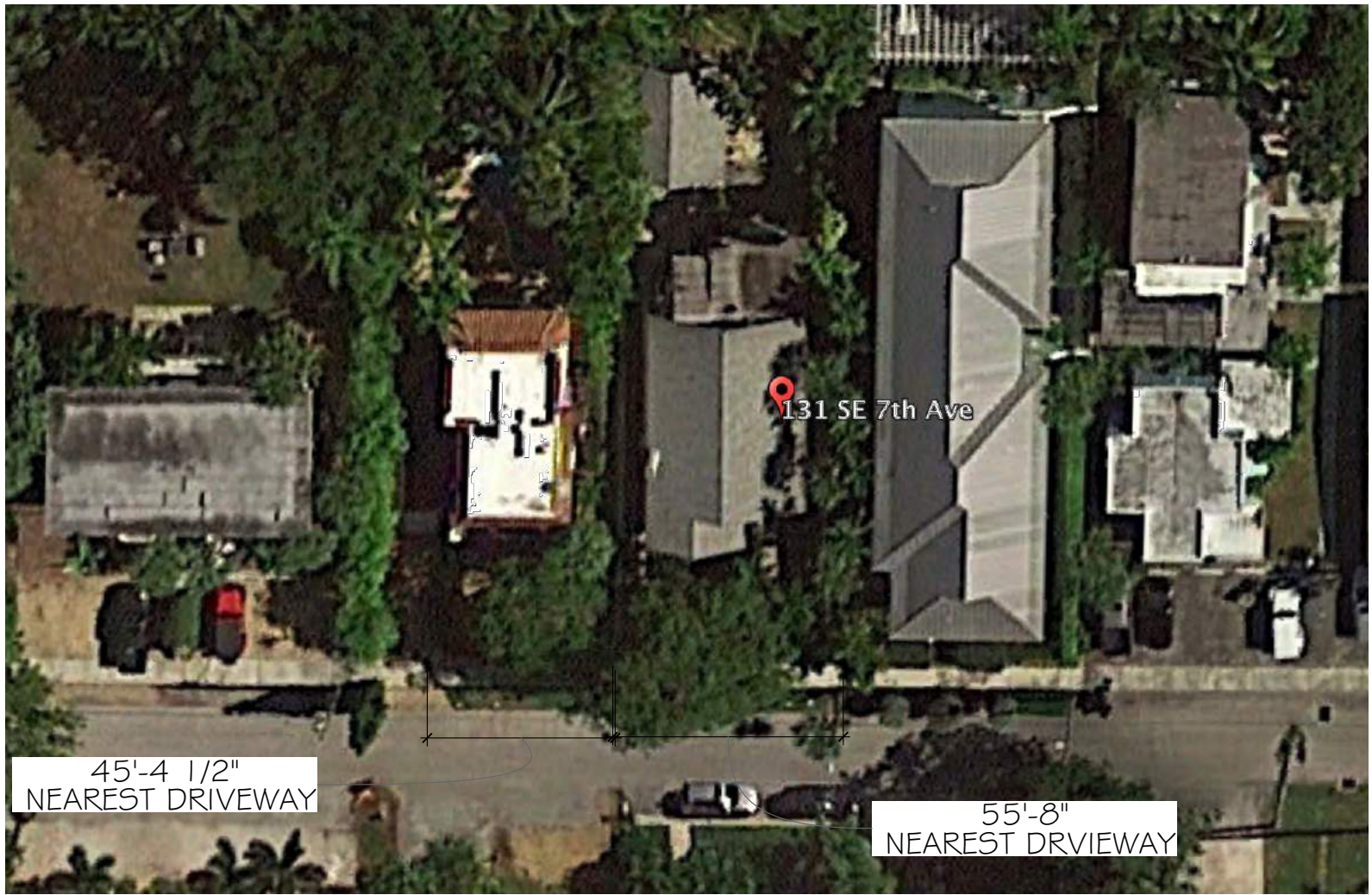
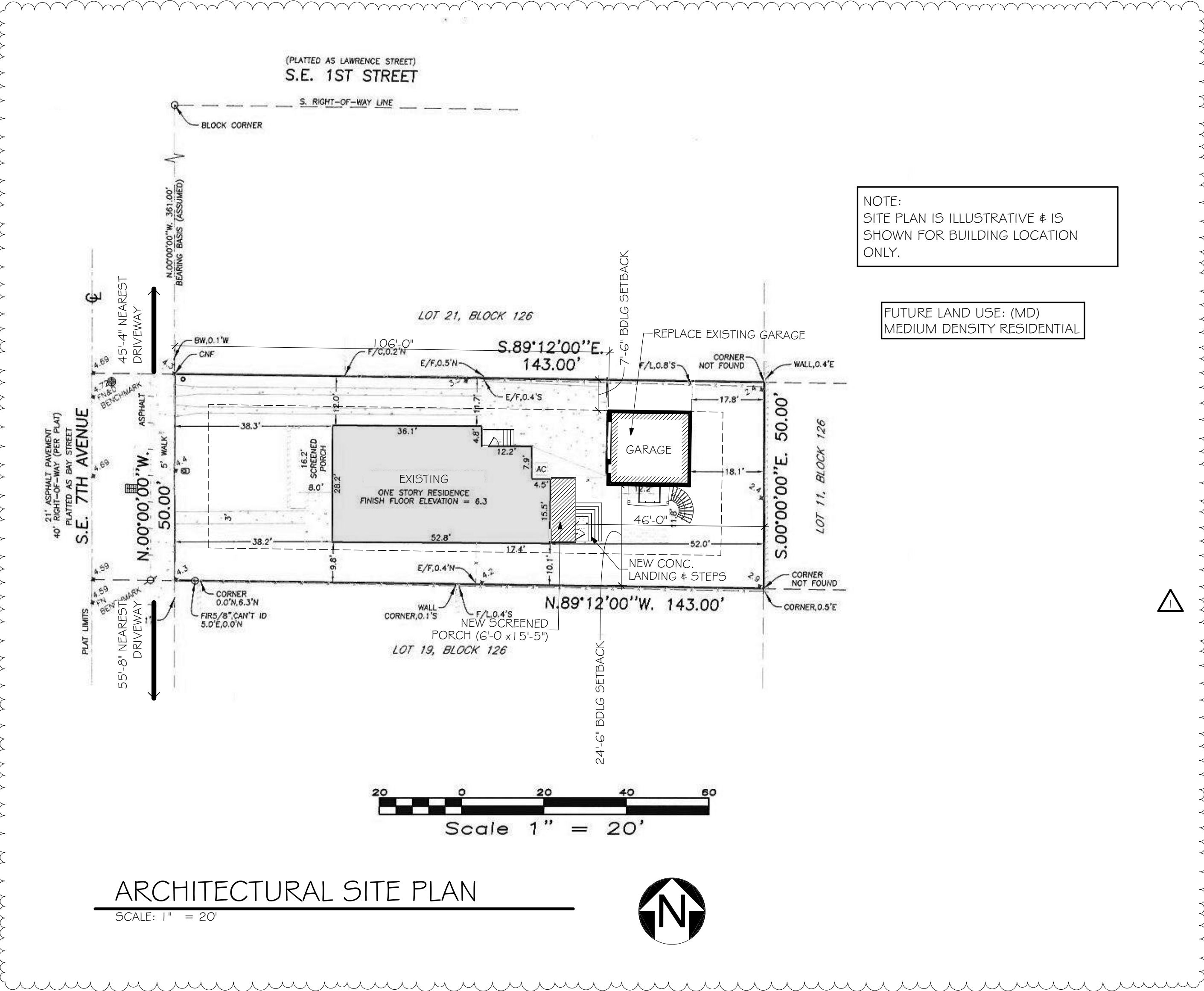
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PLANTATION, FL 33317
(561) 707-6795
JOE@CEDENGINEERING.COM

SURVEYOR:
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5615 S. UNIVERSITY DR.
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HISTORIC PLANNING BOARD SUBMISSION:

The Marchand Residence

DELRAY BEACH , FLORIDA



AERIAL VIEW
SCALE: 1" = 40'

NOTE: ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR ANY SURVEY/CIVIL WORK AND/OR ANY SUCH DRAWINGS THAT ARE INSERTED INTO THIS SET AND/OR LACK THERE OF. THIS INCLUDES BUT IS NOT LIMITED TO THE PROPOSED AND/OR EXISTING CONDITIONS OF GRADING, PARKING, DRIVEWAYS, SEWER LINES, DRAINAGE, FINISH FLOOR ELEVATIONS, PROPERTY LINE LOCATIONS, EXISTING VEGETATION LOCATIONS, AND ETC. ALL FINISH FLOOR ELEVATIONS SHALL BE CONFIRMED BY THE CITY OF BOCA RATON OR A LICENSED CIVIL ENGINEER.

PROJECT DATA:

PROJECT & OWNER INFORMATION:

OWNER: RICHARD & STEPHANIE MANCHARD
ADDRESS: 131 SE 7TH AVENUE
DELRAY BEACH, 33483
P.C.N.: 12-43-46-16-01-126-0200
LEGAL: TOWN OF DELRAY LT 20 BLK 126

ZONING AND CODE INFORMATION:

ZONING: RM - MEDIUM DENSITY RESIDENTIAL (12-DELRAY BEACH)
CONSTRUCTION TYPE: VB
CURRENT USE: SINGLE FAMILY - 0100
PROPOSED USE: SINGLE FAMILY HOME

FLORIDA BUILDING CODE:
FBC-2017 BUILDING CODE & FBC-2017 6TH EDITION RESIDENTIAL
FBC EC=FLORIDA BUILDING CODE ENERGY CONSERVATION 2017
FLORIDA FIRE PREVENTION CODE, 5TH EDITION
NEC NFPA 70 2014 EDITION, NATIONAL ELECTRICAL CODE
FS= FLORIDA STATUTES

SITE/LAND DATA:

	REQUIRED	PROPOSED
TOTAL SITE AREA:	+/- 126.4 SF (.1636 AC)	
MIN. LOT SIZE:	7,500 SF	EXISTING
MIN. LOT WIDTH:	60/80'	EXISTING
MIN. LOT DEPTH:	100'	EXISTING
LOT FRONTAGE:	60/80'	EXISTING
MIN. FLOOR AREA:	1,000 SF	1,938 SF
MAX. LOT COVERAGE:	NA	40.4% (2,877.4 SF)
MIN. OPEN SPACE:	25%	59.6% (4,249 SF)
MAX. HEIGHT:	35'	18'-1"

SETBACKS:

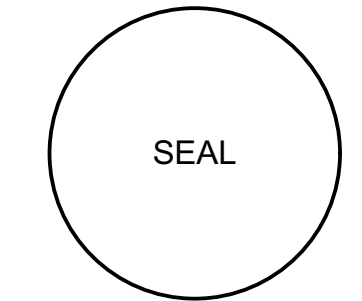
	REQUIRED	EXISTING HOUSE	EXISTING GARAGE	PROPOSED GARAGE
FRONT:	25'	38.2'	106'	106'
REAR:	10'	52'	17.8'	17.8'
SIDE INTERIOR (NORTH):	7.5'	11.7'	4.5'	7.5'
SIDE INTERIOR (SOUTH):	15'	9.8'	27.58'	24.58'

BUILDING DATA:

EXISTING HOUSE (UA)=	1,354 SF
EXISTING COVERED PORCH (UC)=	125 SF
EXISTING DETACHED GARAGE (UC)=	368 SF
TOTAL EXISTING SF=	1,847 SF
NEW COVERED PORCH SF (UC)=	91 SF
TOTAL SF=	1,938 SF
NEW GARAGE (UC)=	368 SF
NEW LOFT (UC)=	368 SF
NEW WOOD BALCONY=	46 SF
TOTAL PROPOSED GARAGE SF (UC)=	782 SF
TOTAL PROPOSED GROSS SF=	2,720 SF



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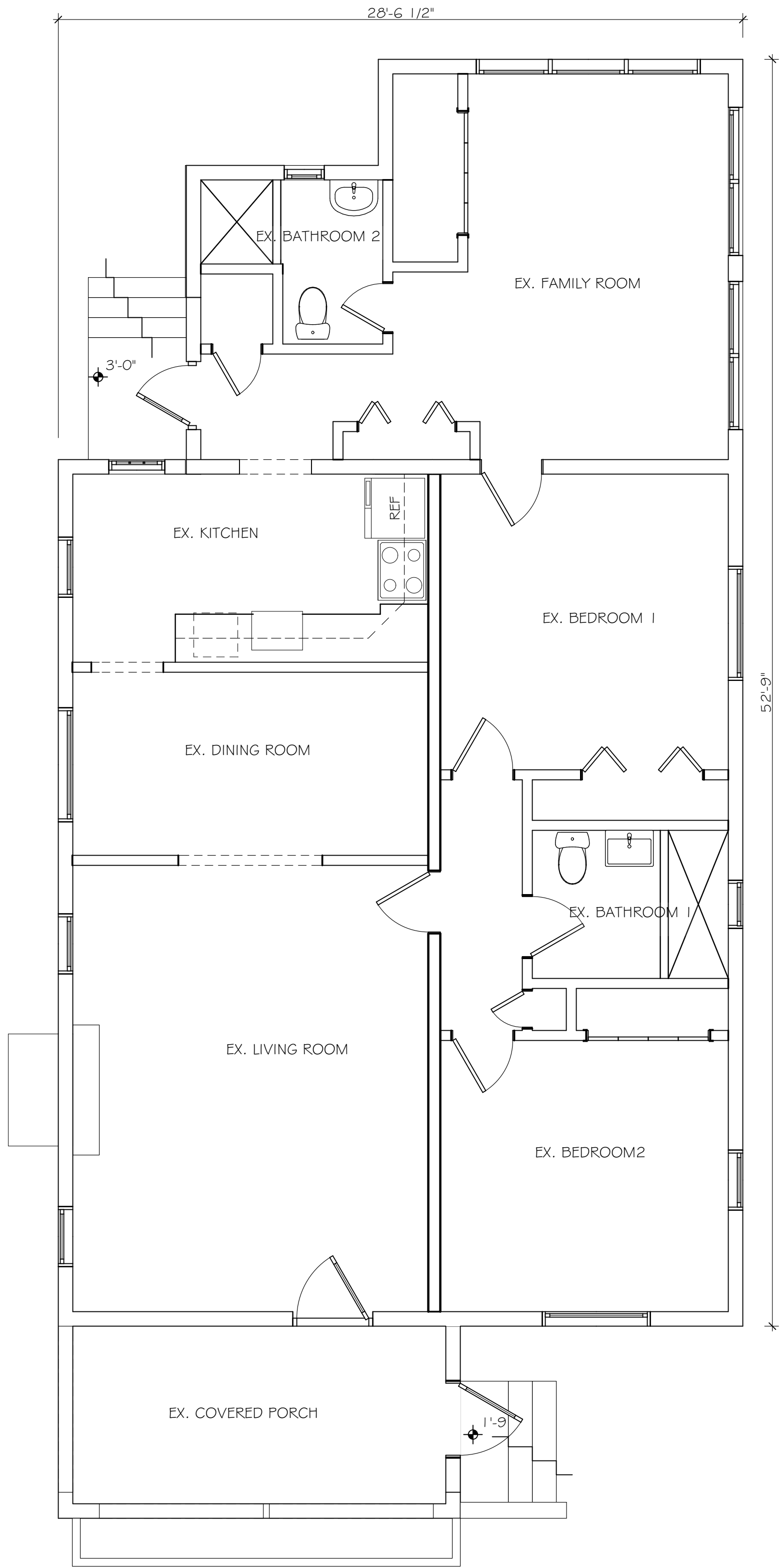
PROJECT NO: 19-217
DATE: 7.01.19
DRAWN BY: BRT
CHECKED BY: S.S.
REVISIONS:
COMMENTS 9.9.19

SITE PLAN

SP1.1



SEE EXISTING ELEVATIONS
ON SHEET A2.1



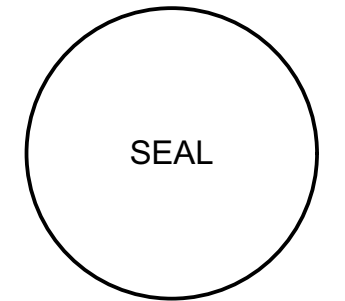
AS BUILT FLOOR PLAN

SCALE: 1/4" = 1'-0"



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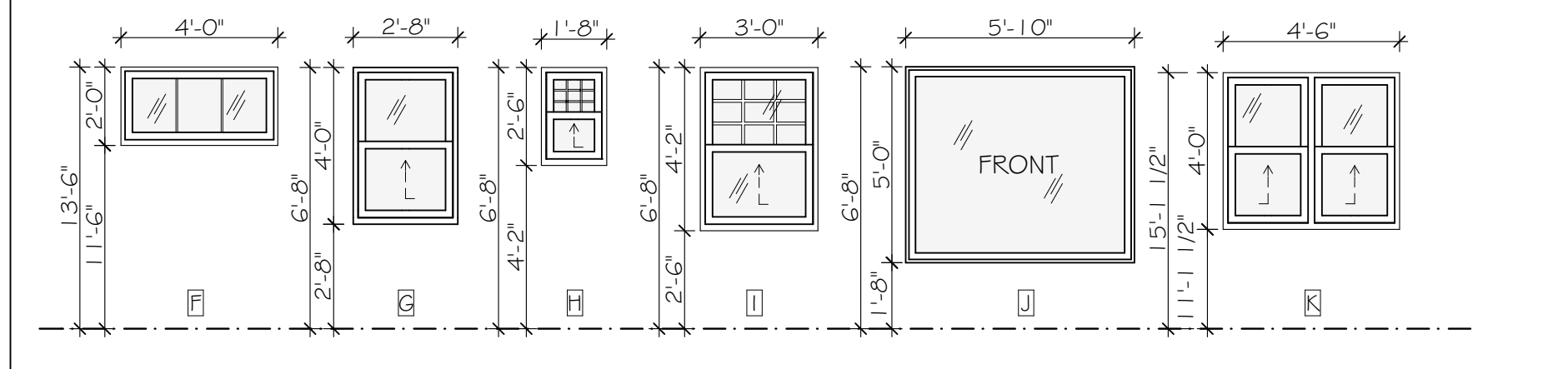
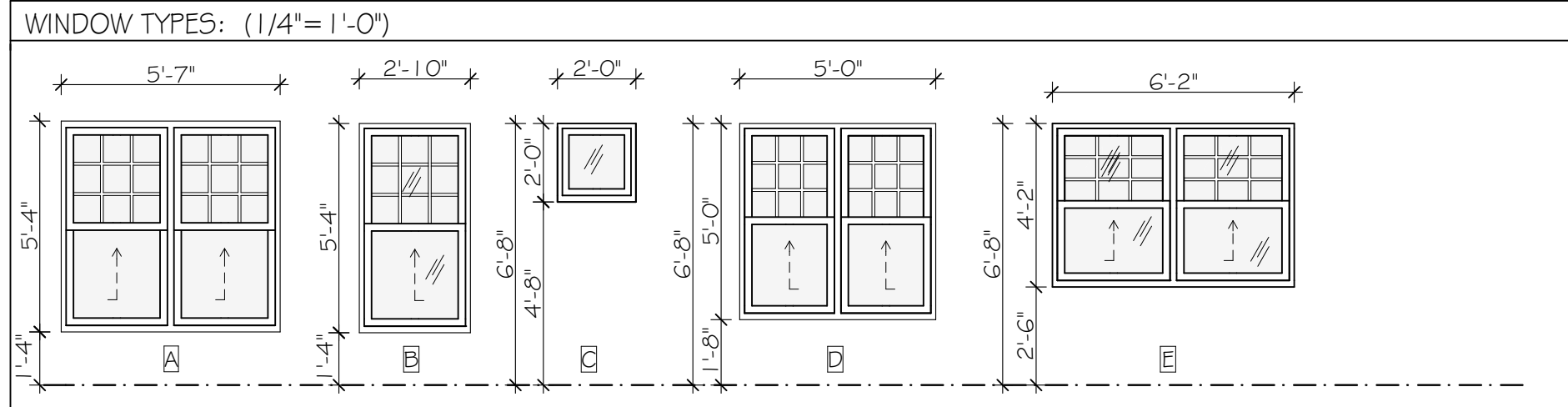
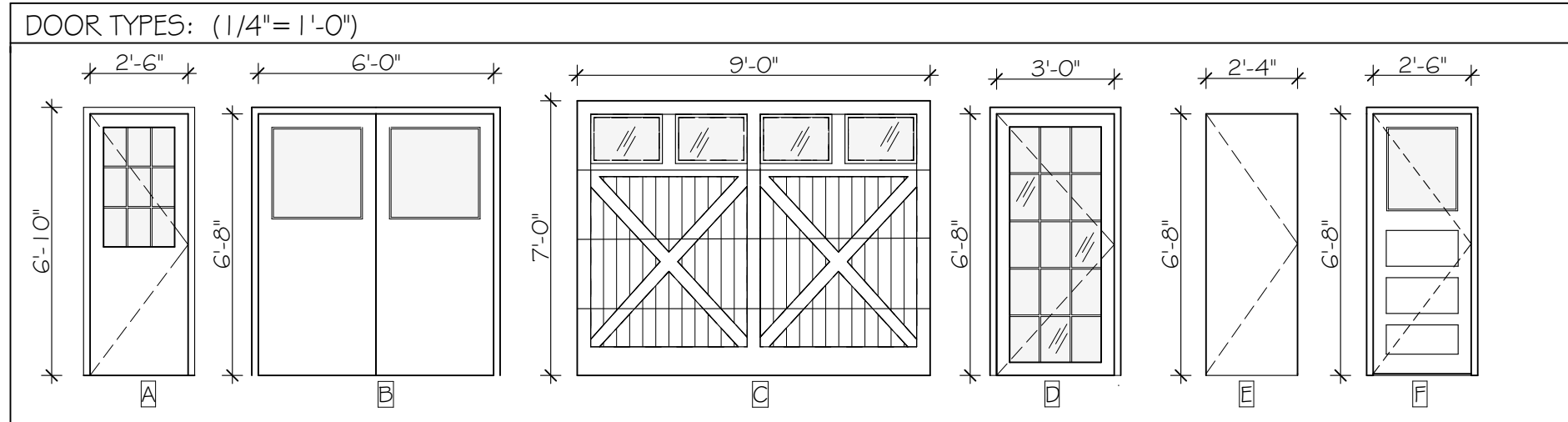
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AS BUILT FLOOR PLAN

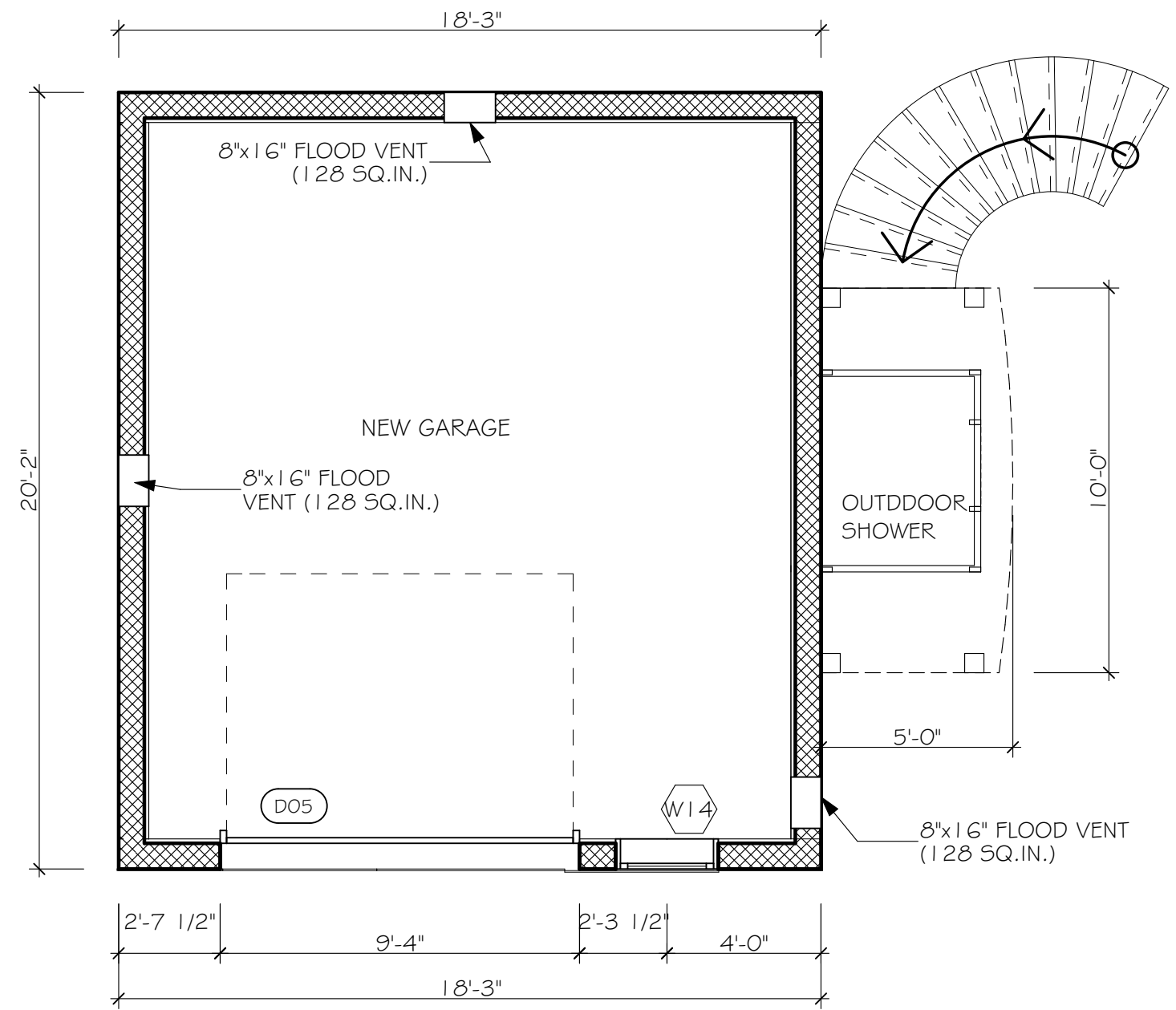
AB.1

WINDOW SCHEDULE													
NO.	ROOM	W	HT	TYPE	COLOR	MATERIAL	ZONE	REQUIRED PRESSURES	APPROVED PRESSURES	PRODUCT APPROVAL	MULLION BARS	GLASS	COMMENTS
W01	EX. LIVING RM.	5'-10"	5'-0"	J	WHT	ALUM	4	+40.4/-43.8	+/-80 PSF	NOA 17-0630.08	N	CLEAR GLASS	
W02	EX. LIVING RM.	2'-10"	5'-4"	B	WHT	ALUM	4	+40.4/-43.8	+/-80 PSF	NOA 17-0630.08	N	CLEAR GLASS	
W03	EX. LIVING RM.	2'-10"	5'-4"	B	WHT	ALUM	4	+40.4/-43.8	+/-80 PSF	NOA 17-0630.08	N	CLEAR GLASS	
W04	EX. DINING RM.	5'-7"	5'-4"	A	WHT	ALUM	4	+40.4/-43.8	+/-80 PSF	NOA 17-0630.08	Y	CLEAR GLASS	
W05	EX. KITCHEN	2'-10"	5'-4"	B	WHT	ALUM	5	+37.7/-62.9	+/-80 PSF	NOA 17-0630.08	N	CLEAR GLASS	
W06	EX. KITCHEN	3'-0"	4'-2"	I	WHT	ALUM	5	+37.7/-62.9	+/-80 PSF	NOA 17-0630.08	N	CLEAR GLASS	
W07	EX. BATH 2	1'-8"	2'-6"	H	WHT	ALUM	5	+37.7/-62.9	+/-80 PSF	NOA 17-0630.08	N	CLEAR GLASS	
W08	EX. M. BEDRM.	6'-2"	4'-2"	E	WHT	ALUM	5	+37.7/-62.9	+/-80 PSF	NOA 17-0630.08	Y	CLEAR GLASS	
W09	EX. M. BEDRM.	6'-2"	4'-2"	E	WHT	ALUM	4	+40.4/-43.8	+/-80 PSF	NOA 17-0630.08	Y	CLEAR GLASS	
W10	EX. BEDRM. 1	5'-7"	5'-4"	A	WHT	ALUM	4	+40.4/-43.8	+/-80 PSF	NOA 17-0630.08	Y	CLEAR GLASS	
W11	EX. BATH 1	2'-0"	2'-0"	C	WHT	ALUM	4	+40.4/-43.8	+/-80 PSF	NOA 18-0430.05	N	CLEAR GLASS	
W12	EX. BEDRM. 2	2'-10"	5'-4"	B	WHT	ALUM	4	+40.4/-43.8	+/-80 PSF	NOA 17-0630.08	N	CLEAR GLASS	
W13	EX. BEDRM. 2	5'-0"	5'-0"	D	WHT	ALUM	5	+37.7/-62.9	+/-80 PSF	NOA 17-0630.08	N	CLEAR GLASS	
W14	GARAGE	2'-8"	4'-0"	G	WHT	ALUM	5	+37.7/-62.9	+/-80 PSF	NOA 17-0630.08	N	CLEAR GLASS	
W21	LOFT	4'-0"	2'-0"	F	WHT	ALUM	5	+37.7/-62.9	+/-80 PSF	NOA 18-0430.05	N	CLEAR GLASS	
W22	LOFT	4'-0"	2'-0"	F	WHT	ALUM	5	+37.7/-62.9	+/-80 PSF	NOA 18-0430.05	N	CLEAR GLASS	
W23	LOFT	4'-6"	4'-0"	K	WHT	ALUM	4	+40.4/-43.8	+/-80 PSF	NOA 18-0430.05	Y	CLEAR GLASS	
W24	LOFT	4'-0"	2'-0"	F	WHT	ALUM	5	+37.7/-62.9	+/-80 PSF	NOA 18-0430.05	N	CLEAR GLASS	
W25	LOFT	4'-0"	2'-0"	F	WHT	ALUM	5	+37.7/-62.9	+/-80 PSF	NOA 18-0430.05	N	CLEAR GLASS	

DOOR SCHEDULE													
NO.	W	HT	THK	MATERIAL	ZONE	REQUIRED PRESSURES	APPROVED PRESSURES (PSF)	PRODUCT APPROVAL	STYLE	HRDWR	JAMB	COLOR	COMMENTS
D01	6'-0"	6'-8"	1 3/4"	WD/GLS	5	+37.7/-62.9	+/-75	NOA 17-0504.01	B	LOCK	WD	WHT	FRENCH DOORS
D02	3'-0"	6'-8"	1 3/4"	WD/GLS	4	+40.4/-43.8	+/-75	NOA 17-0504.01	D	LOCK	WD	WHT	ENTRY DOOR
D03	2'-6"	6'-8"	1 3/4"	WD/GLS	5	+37.7/-62.9	+/-75	NOA 17-0504.01	A	LOCK	WD	WHT	SIDE EXT. DOOR
D04	2'-6"	6'-8"	1 3/4"	5C WD	-	-	-	-	E	PASS	WD	WHT	REUSE EXISTING INT. DOOR
D05	9'-0"	7'-0"	1 3/4"	STL	5	+37.7/-62.9	+/-70	NOA 16-0906.06	C	MANU	CONC	WHT	SECTIONAL GARAGE DOOR
D06	2'-6"	6'-8"	1 3/4"	STL	4	+40.4/-43.8	+/-75	NOA 17-0504.01	F	LOCK	CONC	WHT	LOFT DOOR

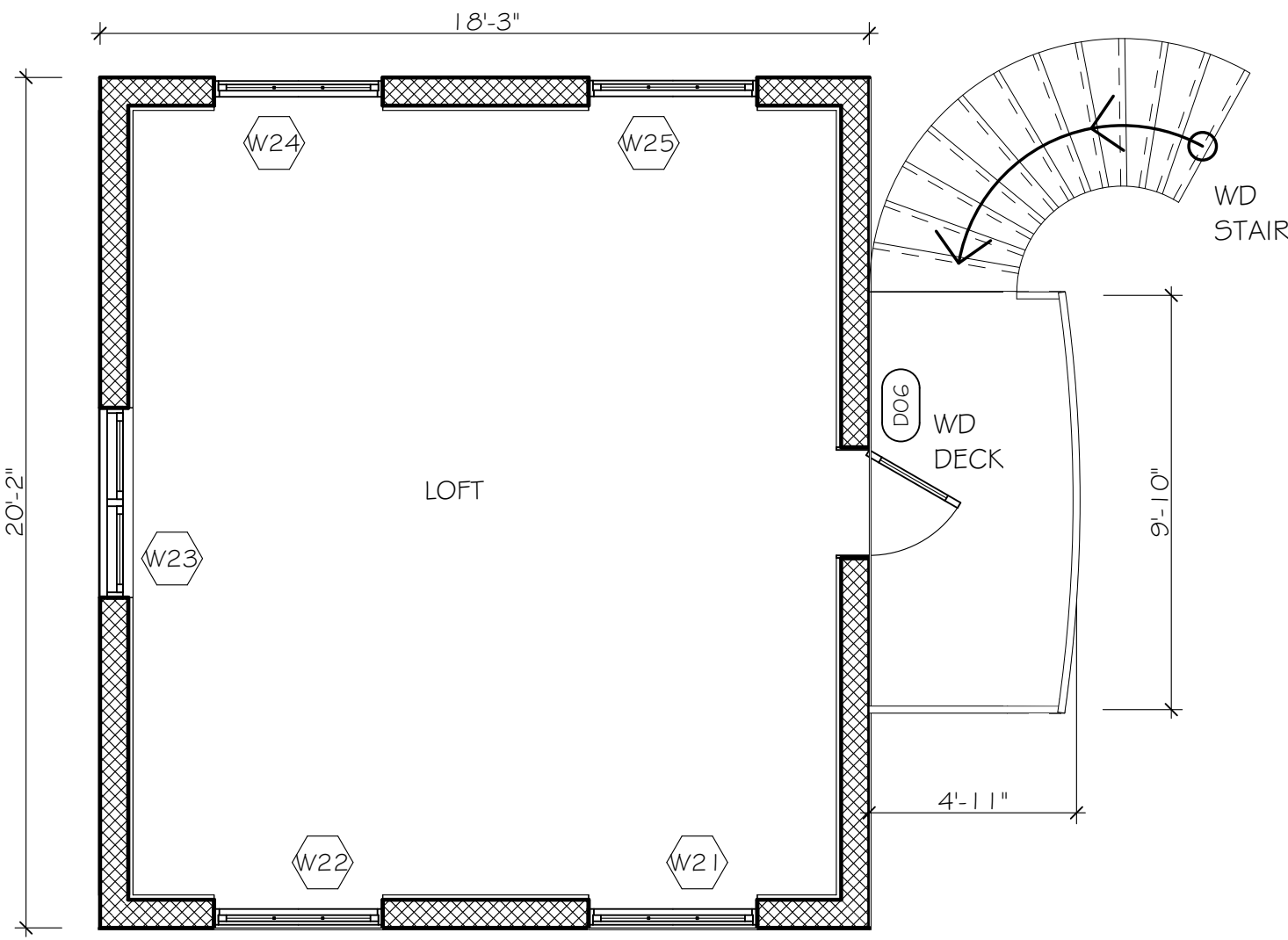


NOTE:
G.C. SHALL FIELD VERIFY ALL
ROUGH OPENING DIMENSIONS
PRIOR TO ORDERING.



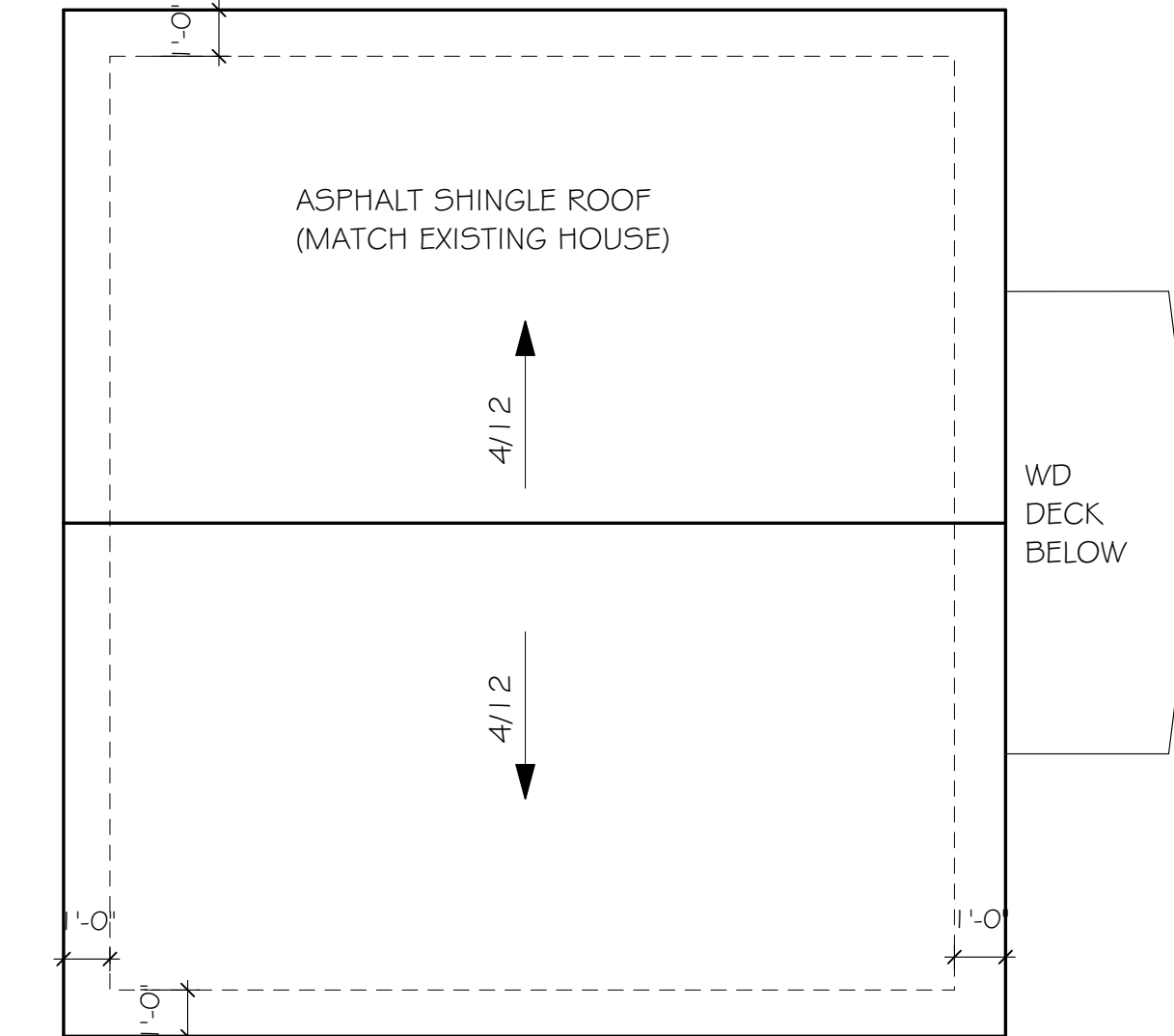
GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



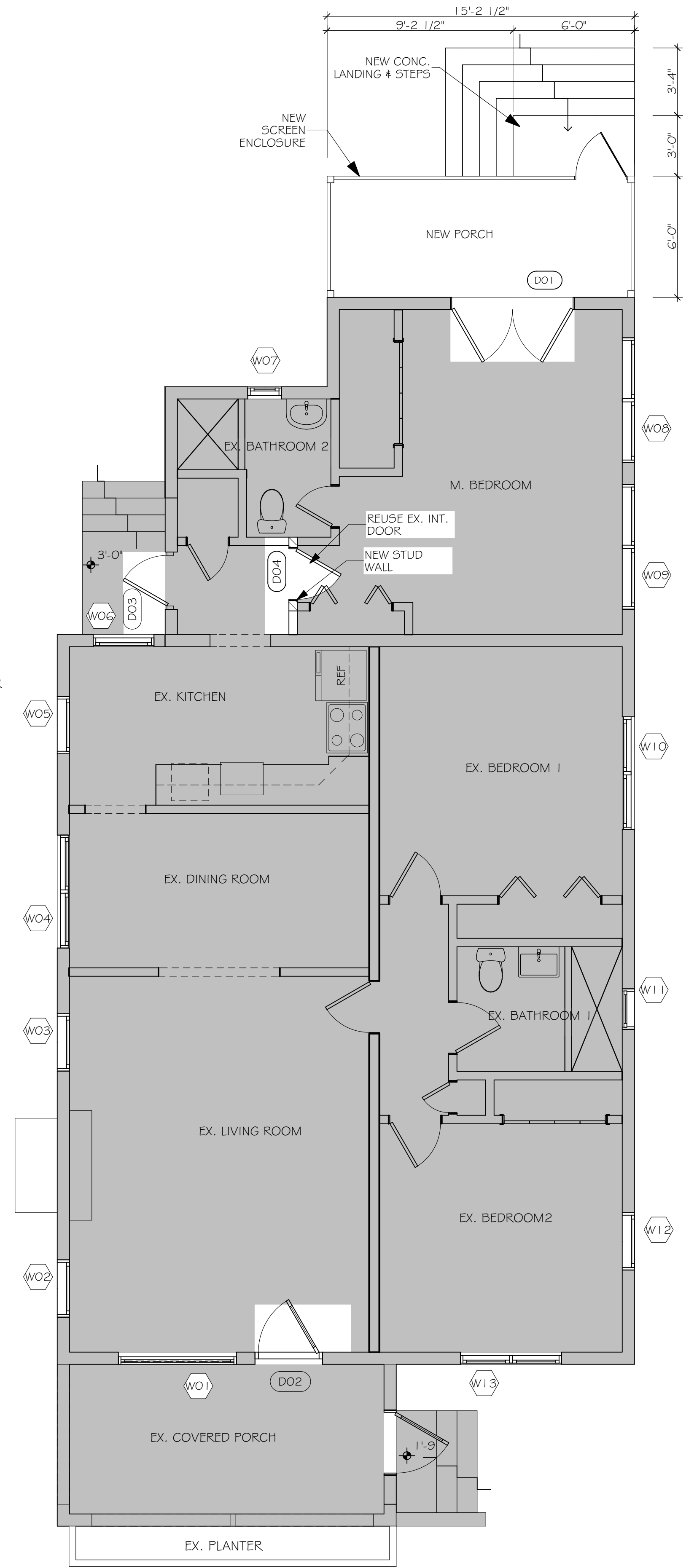
LOFT FLOOR PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"



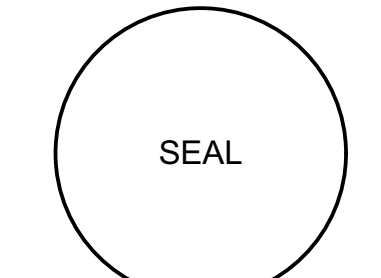
FLOOR PLAN

SCALE: 1/4" = 1'-0"



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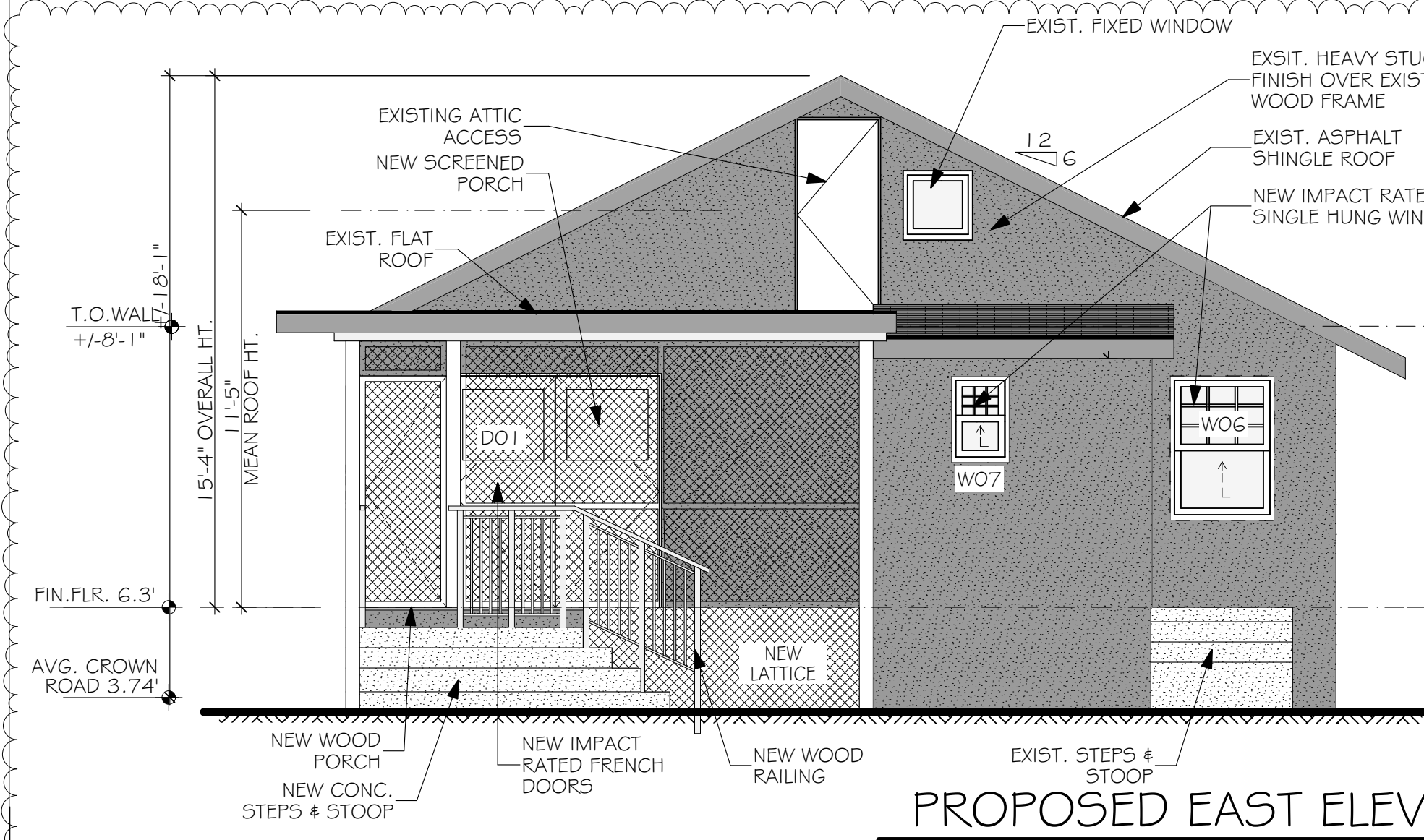
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DATE: 7.01.19
DRAWN BY: BRT
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REVISIONS:

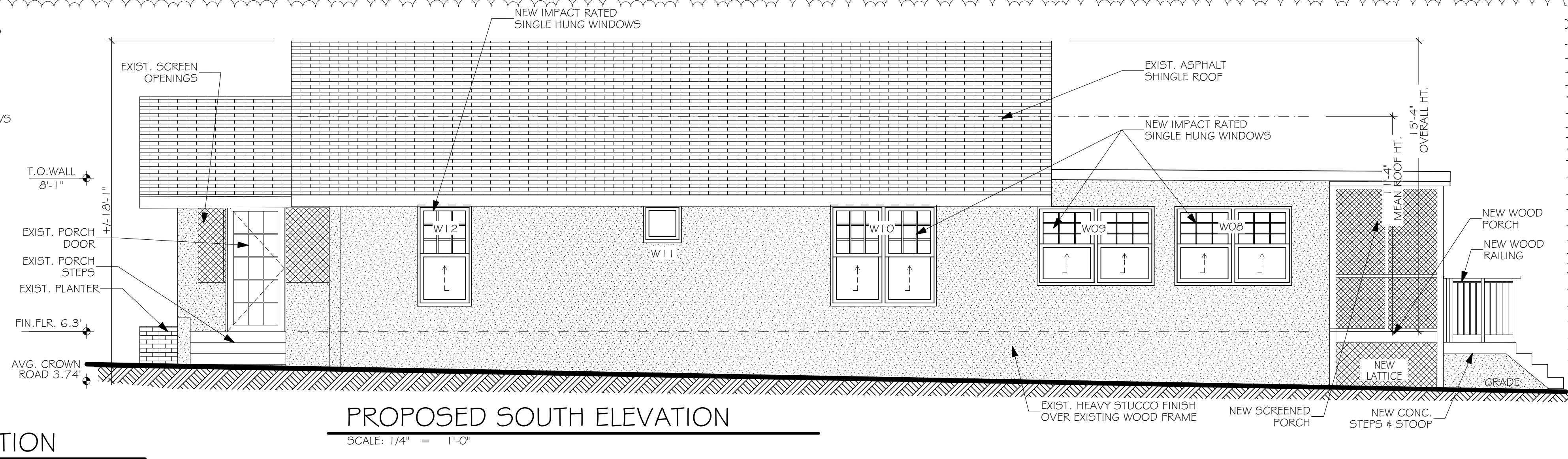
PROPOSED FLOOR PLAN

A1.1

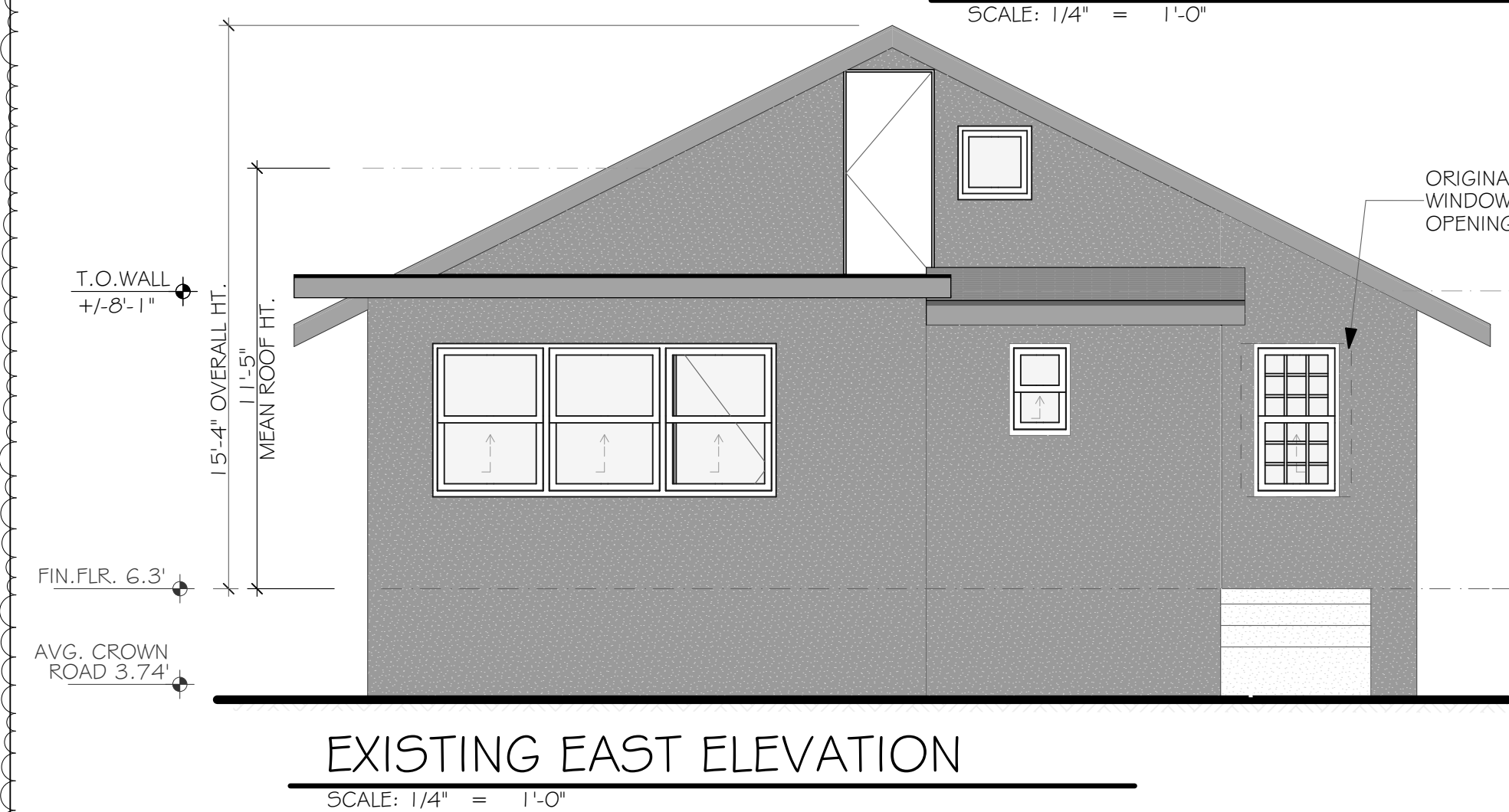
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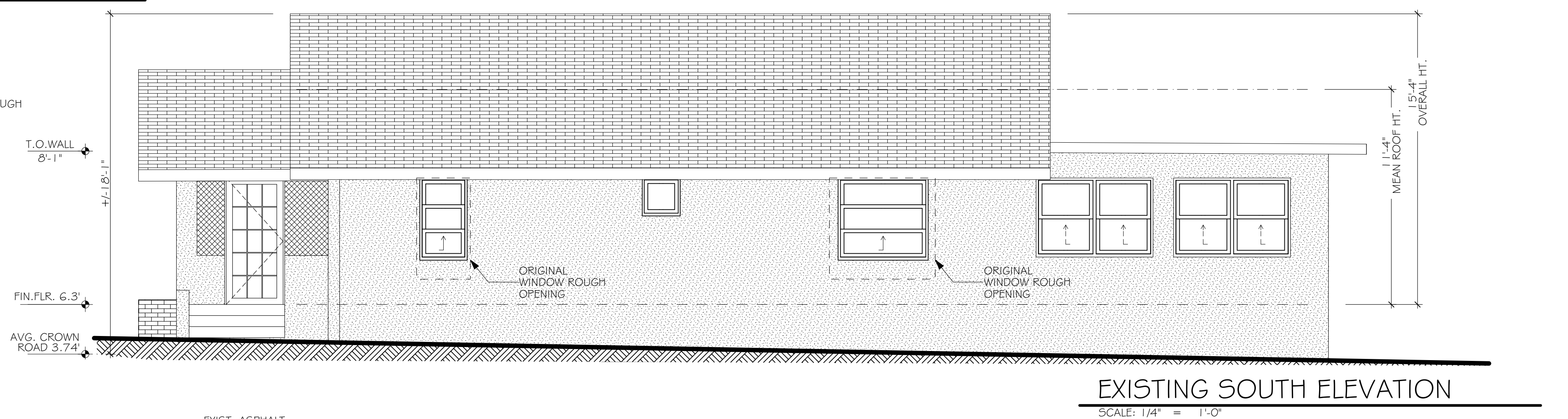
PROPOSED EAST ELEVATION



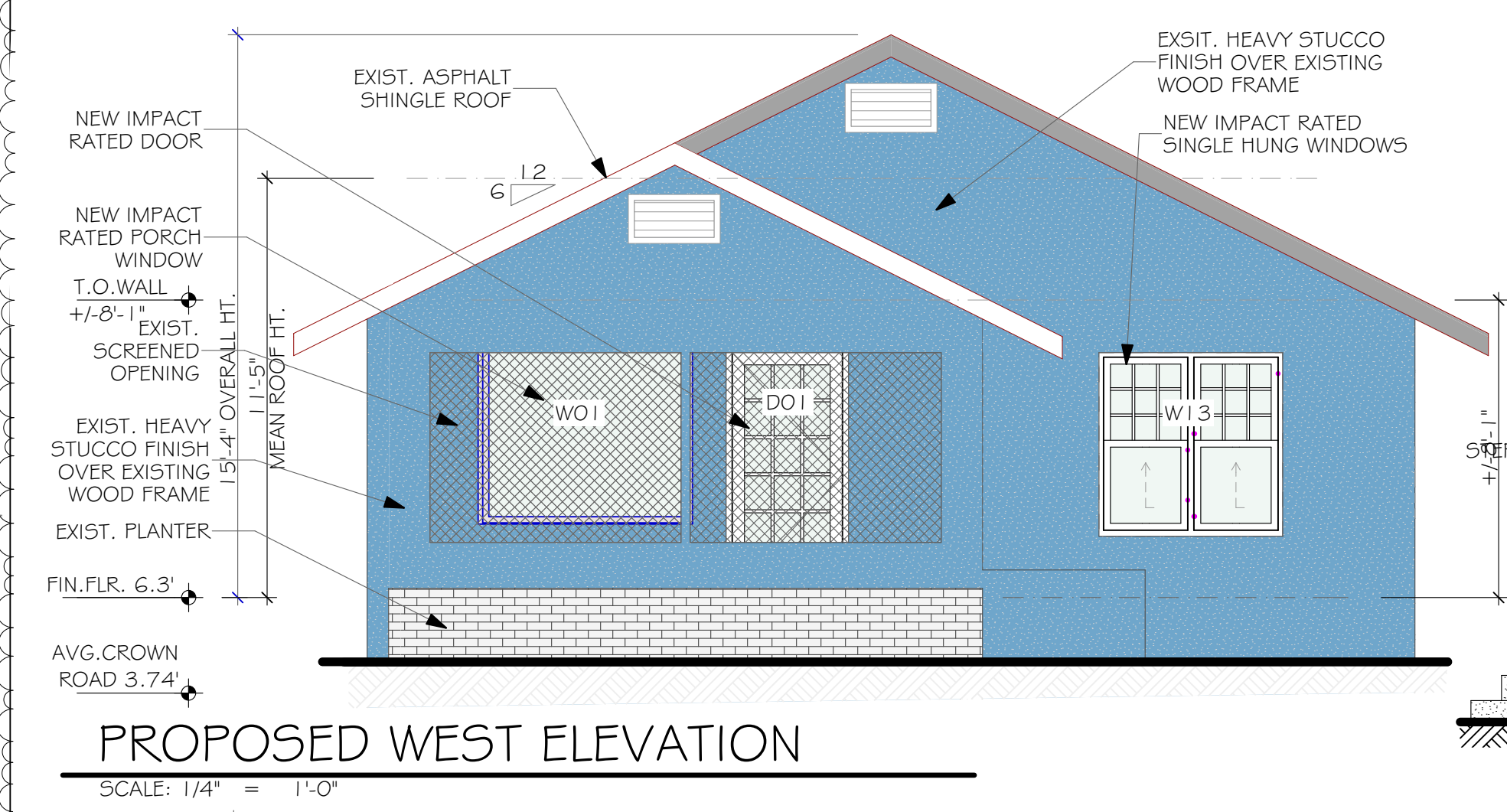
PROPOSED SOUTH ELEVATION



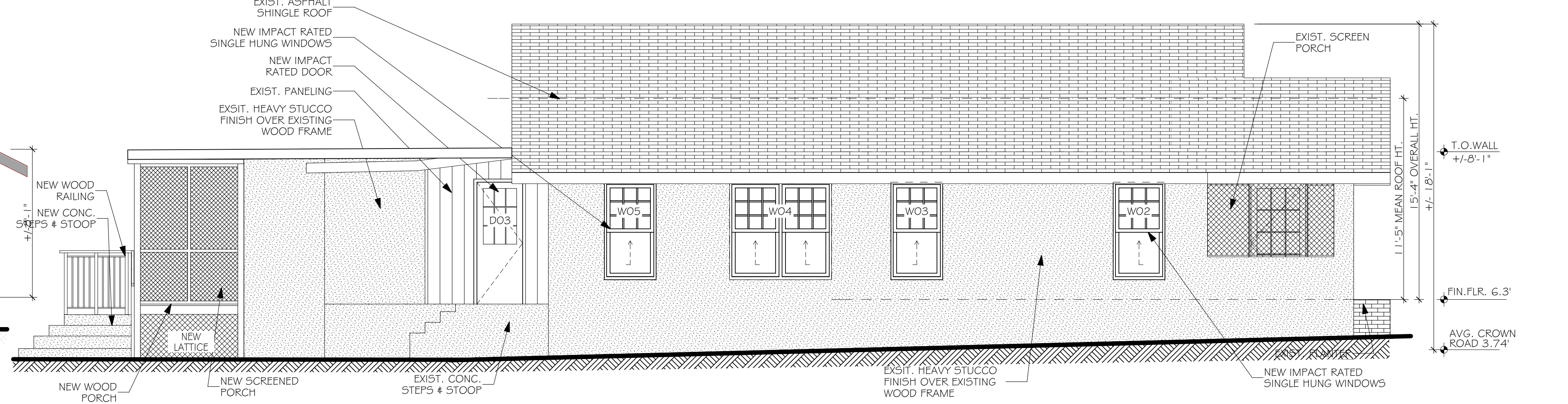
EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION



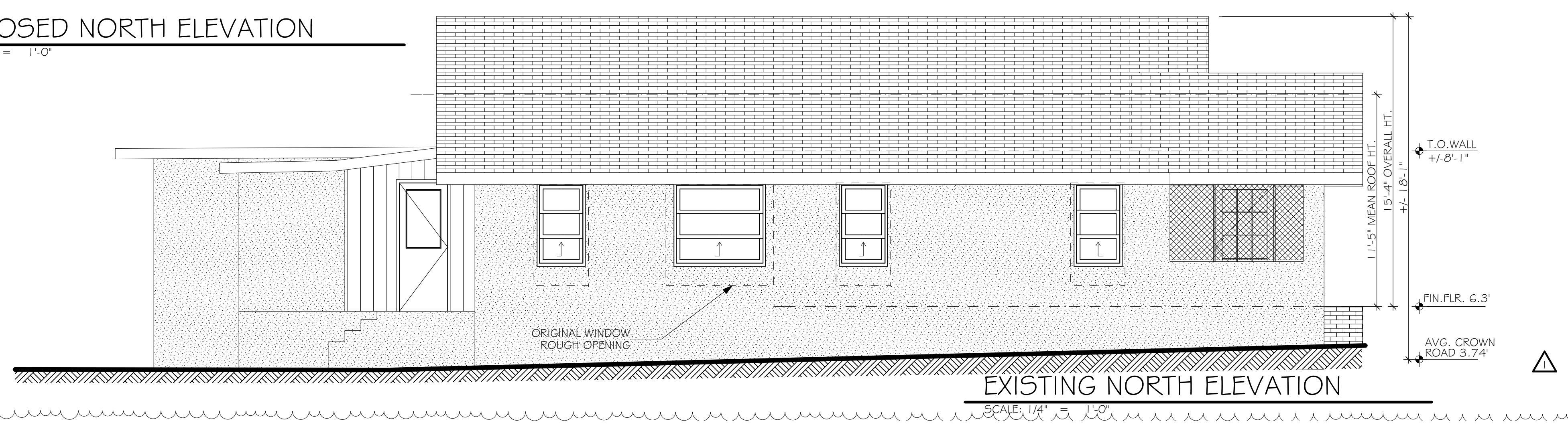
PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION



EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION



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SEAL

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TEXAS 26934

RENOVATION FOR:
MARCHAND RESIDENCE
131 SE 7TH AVENUE
DELRAY BEACH, FL 33483

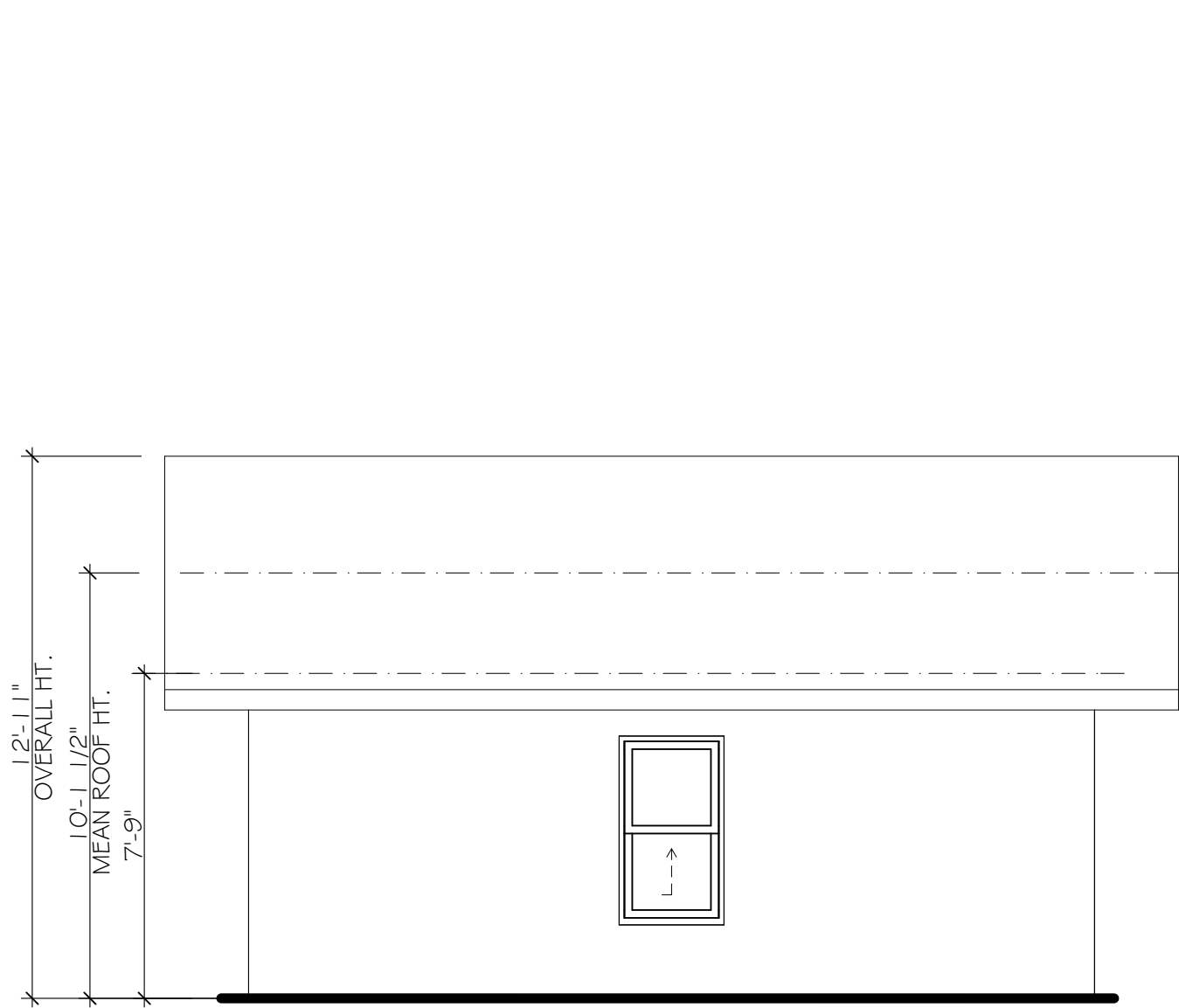
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PROJECT NO: 19-217
DATE: 7.01.19
DRAWN BY: BRT
CHECKED BY: S.S.
REVISIONS:
COMMENTS 9.9.19

PROPOSED ELEVATIONS

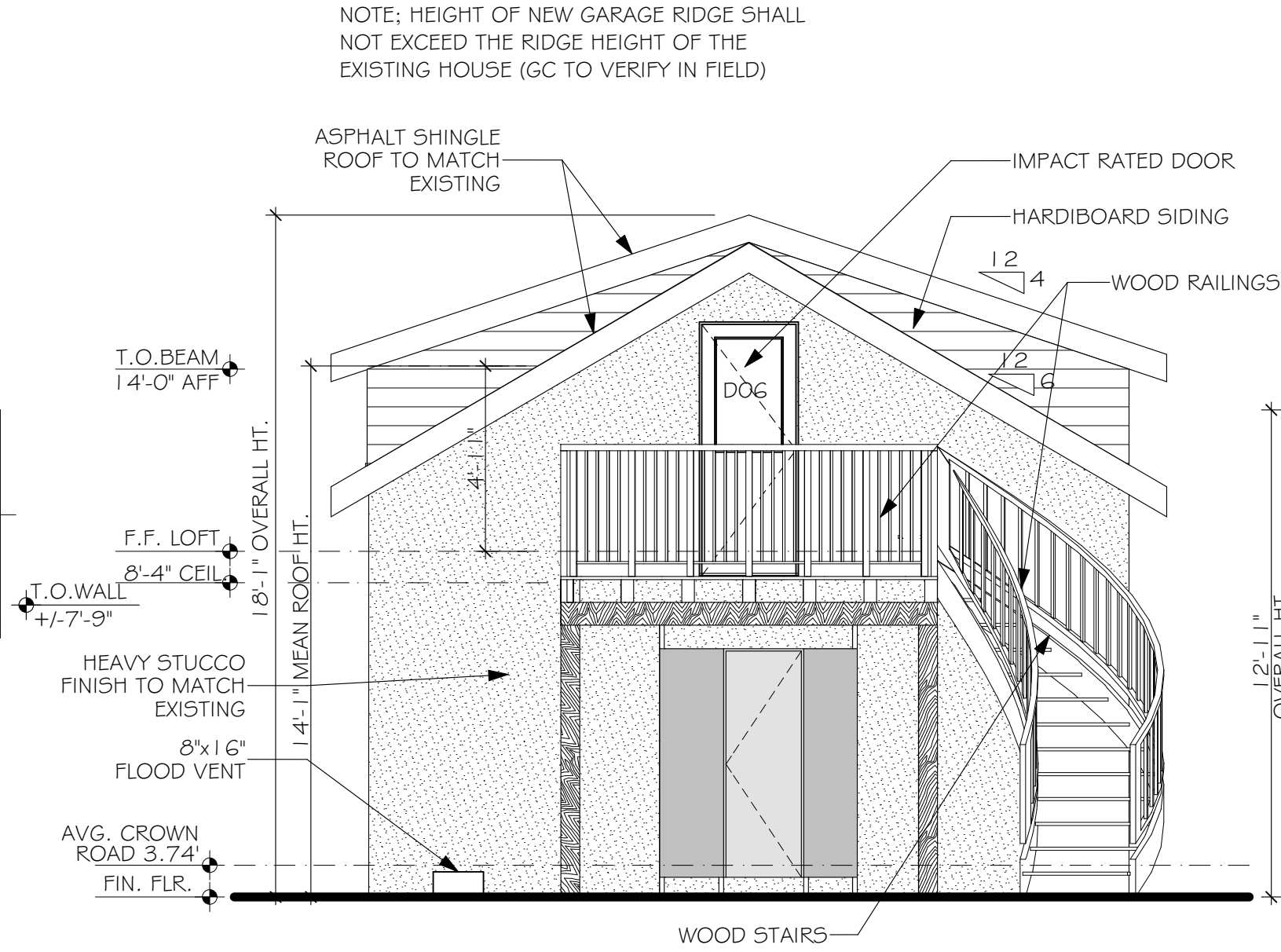
A2.1

/Volumes/SSA Projects/Active Projects/19-217 Marchand Historic Delray03 HISTORIC SUBMISSION SET/19-217-HISTORIC-ANALYSIS-03A.dwg



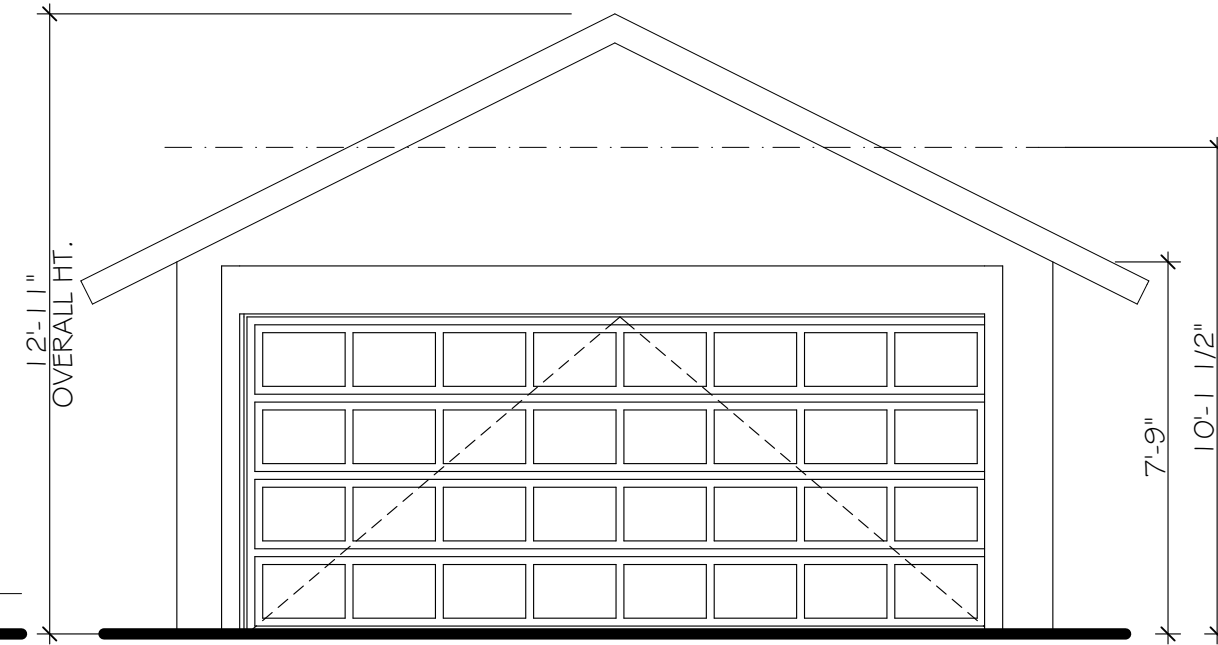
EXSITING SOUTH GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



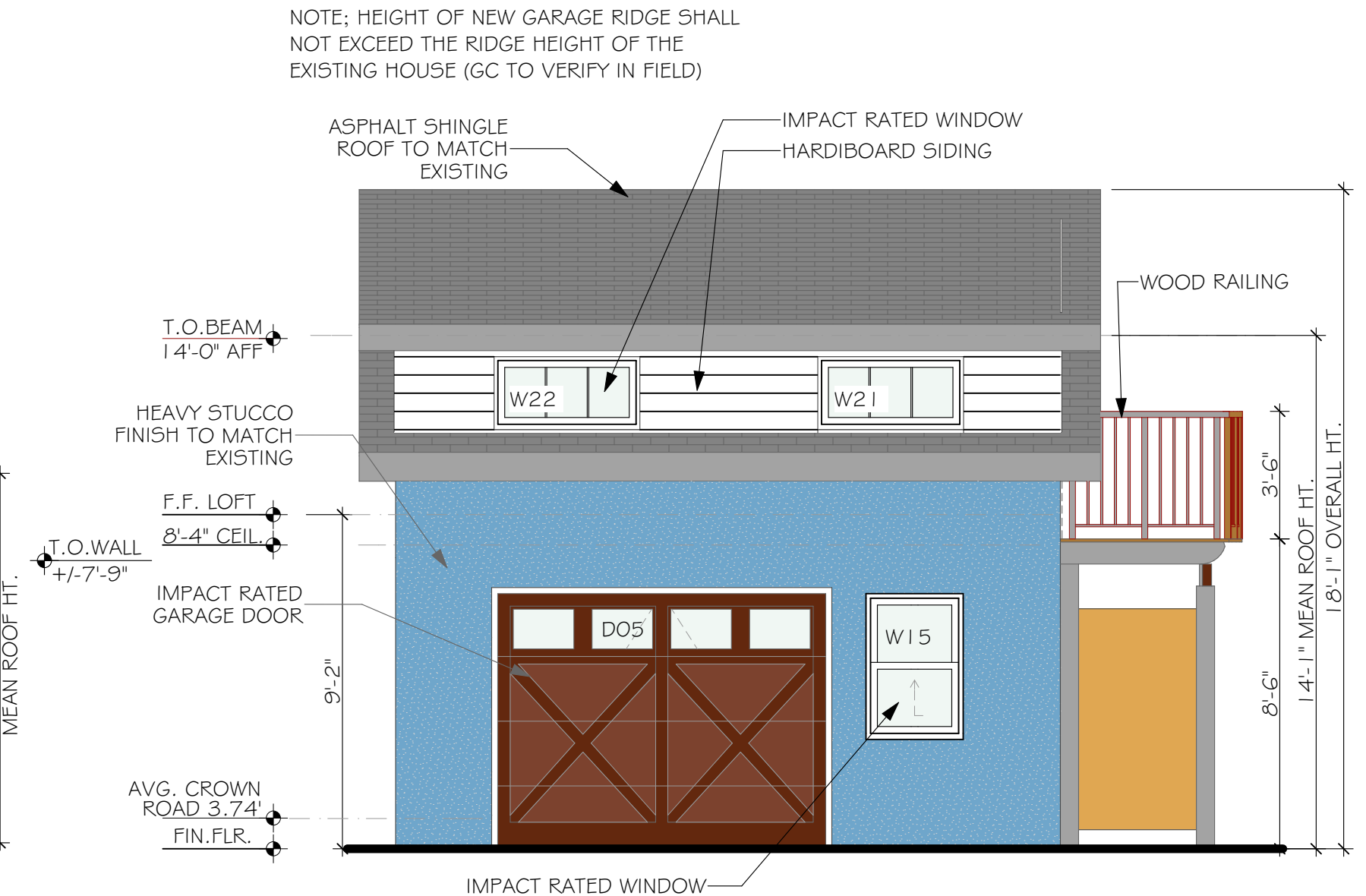
PROPOSED SOUTH GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



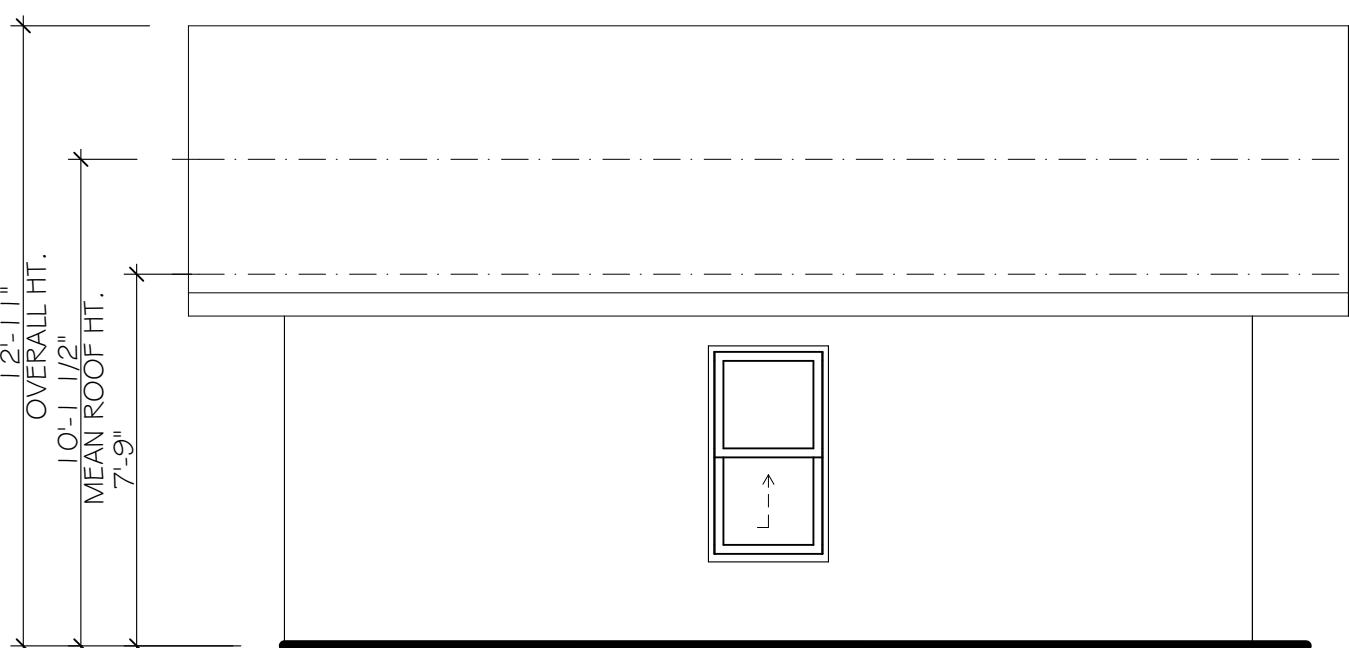
EXISTING WEST GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



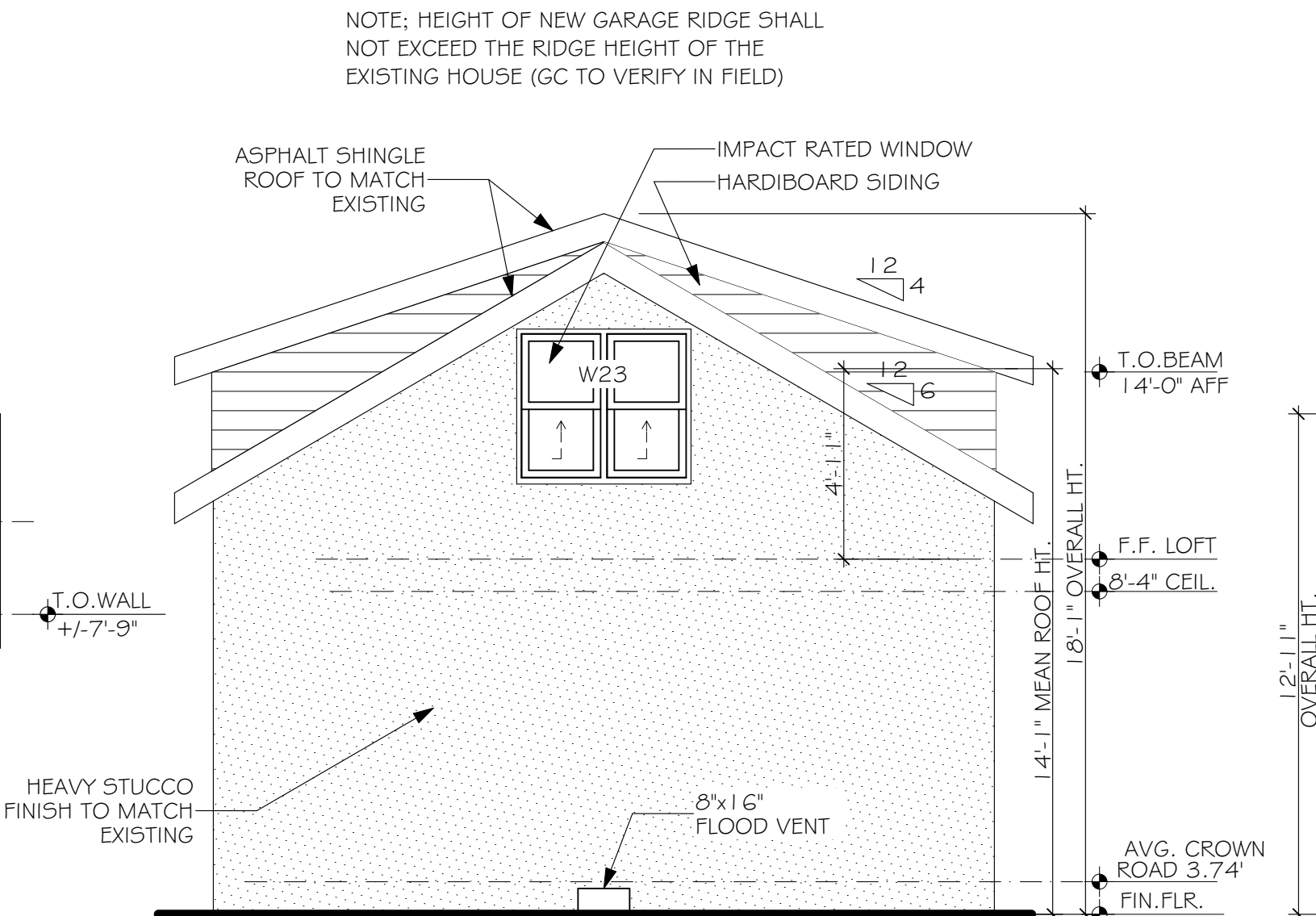
PROPOSED WEST GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



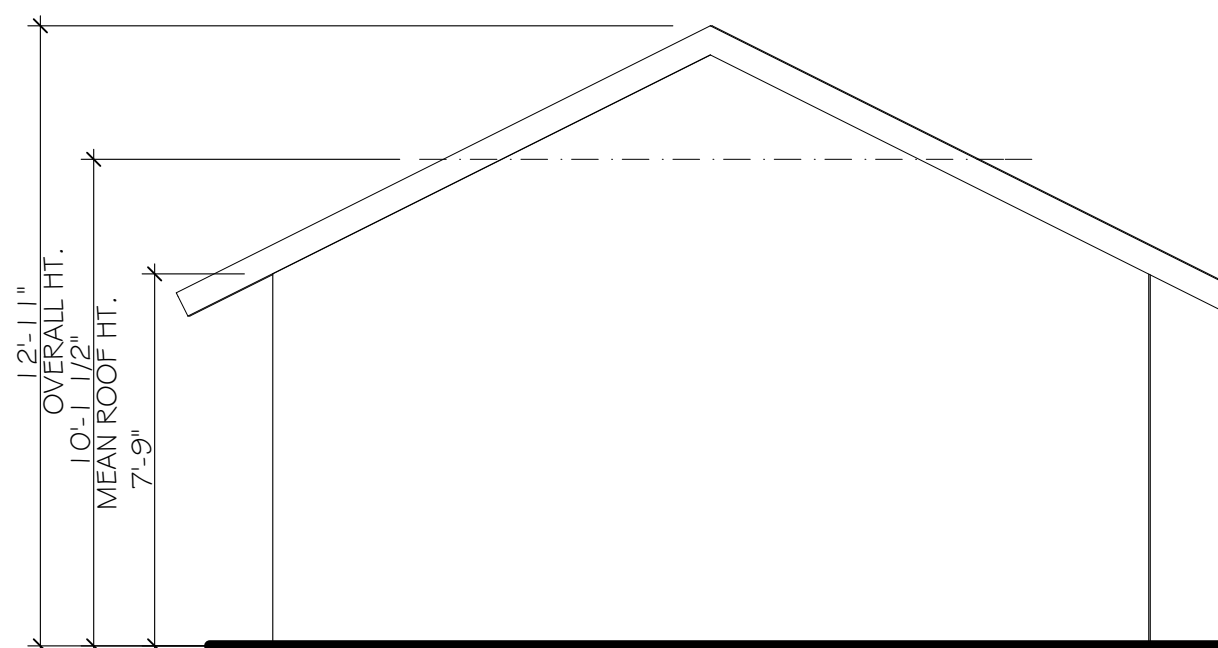
EXSITING NORTH GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



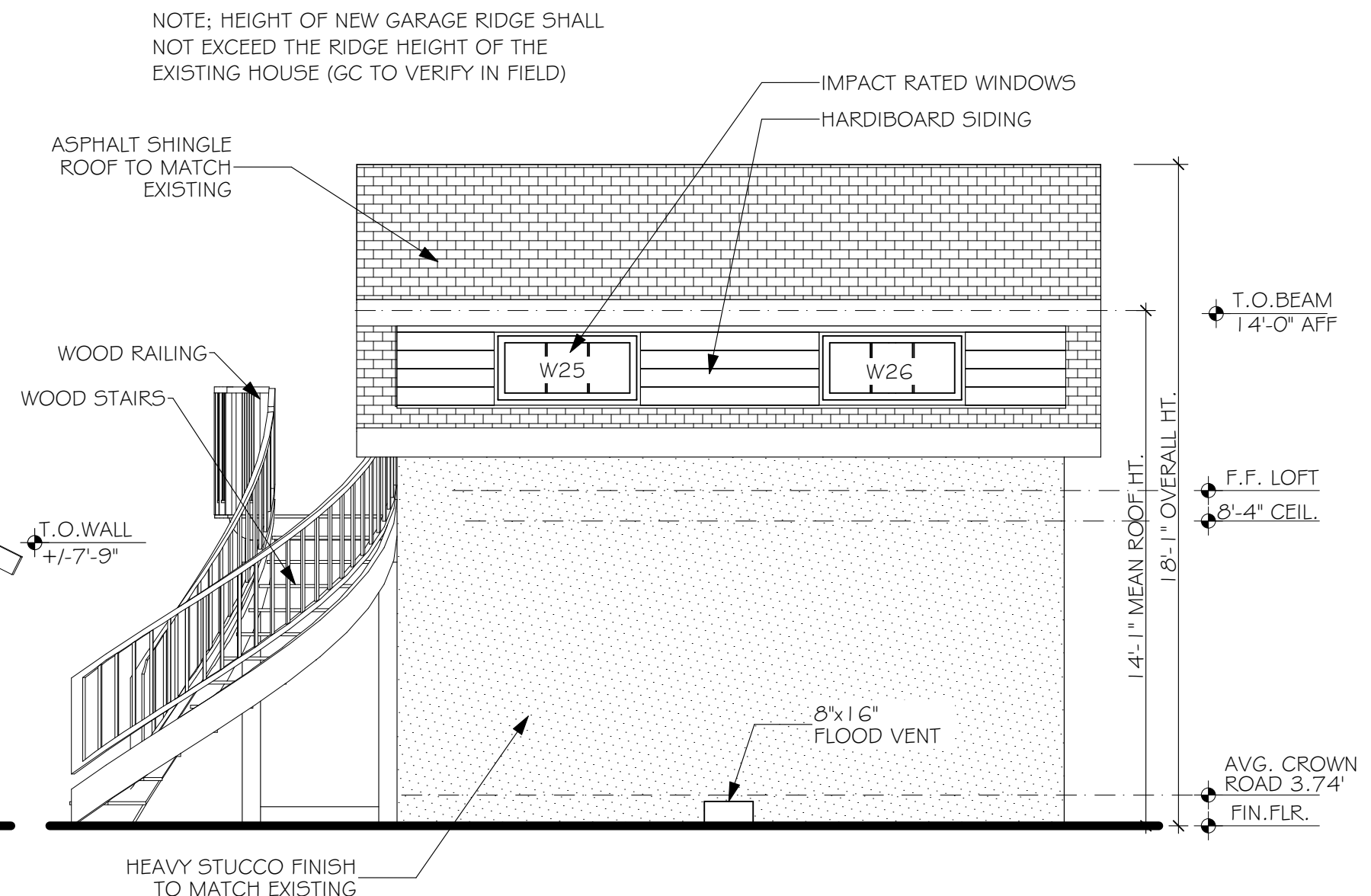
PROPOSED NORTH GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



EXSITING EAST GARAGE ELEVATION

SCALE: 1/4" = 1'-0"

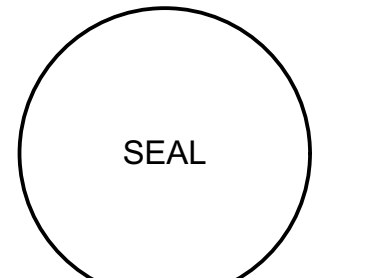


PROPOSED EAST GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



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GARAGE ELEVATIONS

A2.2



EXISTING WEST (FRONT) ELEVATION

NOT TO SCALE



EXISTING SOUTH (SIDE) ELEVATION

NOT TO SCALE



EXISTING NORTH (SIDE) ELEVATION

NOT TO SCALE



EXISTING EAST (REAR) ELEVATION

NOT TO SCALE



EXISTING GARAGE WEST (FRONT) ELEVATION

NOT TO SCALE



EXISTING GARAGE SOUTH (SIDE) ELEVATION

NOT TO SCALE



EXISTING GARAGE SOUTH (REAR) ELEVATION

NOT TO SCALE



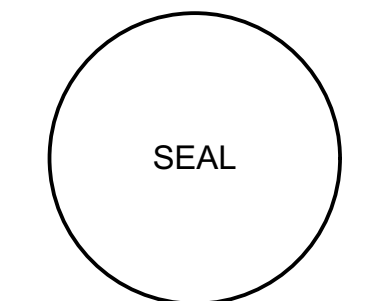
EXISTING GARAGE SOUTH (REAR) ELEVATION

NOT TO SCALE



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REVISIONS:

EXISTING PHOTOS

A3.1

- CABLE JUNCTION BOX
- CATCH BASIN
- CLEAN OUT
- CONTROL VALVE
- ELECTRIC SERVICE
- FIRE HYDRANT
- FP&L PAD
- GUY ANCHOR
- MANHOLE
- POOL EQUIPMENT
- POWER/LIGHT POLE
- SPRINKLER SYSTEM
- WATER METER
- WATER VALVE
- WELL

BRICK PAVERS
CENTERLINE
CONCRETE/CHAT
CONCRETE WALL
ELEVATION
METAL FENCE
OVERHEAD WIRES
WOOD DECK/DOCK
WOOD FENCE

BC BUILDING CORNER
BW BACK OF WALK
C CALCULATED
M MEASURED
N.T.S. NOT TO SCALE
OP OPEN PORCH
ORB OFFICIAL RECORDS BOOK
PC POINT OF CURVATURE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PG PAGE
PRC POINT OF REVERSE CURVE
PRM PERMANENT REFERENCE MONUMENT
PT POINT OF TANGENCY
E/F END OF FENCE
EP EDGE OF PAVEMENT
EW EDGE OF WATER
F/C FENCE CORNER
F/L FENCE LINE
FIP FOUND IRON PIPE
FIR FOUND IRON ROD
FN FOUND NAIL
FN&D FOUND NAIL & DISC
FP&L FLORIDA POWER AND LIGHT
R RECORD
RAD RADIAL
SN&D SET NAIL & DISC # 5495
SP SCREENED PORCH
SP&C SET 1/2" PIN & CAP # 5495
CNF CORNER NOT FOUND

FLOOD ZONE AE-6
MAP DATE 10/05/17
MAP NUMBER 125102 0979F

S. RIGHT-OF-WAY LINE

- BLOCK CORNER

N.00°00'00"W. 361.00'
BEARING BASIS (ASSUMED)

21" ASPHALT PAVEMENT
40' RIGHT-OF-WAY (PER PLAT)
PLATTED AS BAY STREET
S.E. 7TH AVENUE
PLAT LIMITS

4.00°00'00"W.

MARK
BW, 0.1'E
CORNER
0.0'N, 6.3'N
FIR 5/8", CAN'T ID
5.0'E, 0.0'N

LOT 21, BLOCK 126

S.89°12'00"E.
143.00'

F/L, 0.8'S

CORNER —
NOT FOUND

— WALL, 0.4'E

LOT 11, BLOCK 126

S.00°00'00"E. 50.00'

— CORNER
NOT FOUND

CORNER, 0.5'E

N.89°12'00''W. 143.00'

LOT 20, BLOCK 126
ONE STORY RESIDENCE
FINISH FLOOR ELEVATION = 6.3

A horizontal line with several points marked by 'x'. Labels with arrows point to specific points: 'E/F, 0.4'N' points to a point on the left, 'WALL CORNER, 0.1'S' points to a point in the middle, and 'F/L, 0.4'S' points to a point on the right. A handwritten 'A.2' is written above the line.

LOT 19, BLOCK 126

1. BASIS OF BEARINGS AS INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE SHOWN.
6. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
7. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
8. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
9. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.
10. EXISTING CORNERS FOUND OFF WITNESS PROPERTY CORNERS
11. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
12. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THAN THOSE SHOWN HEREON.




PAUL J. STOWELL
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ATLANTIC COAST SURVEYING, INC.
6129 STIRLING RD SUITE 2 DAVIE, FLORIDA 33314
OFFICE: 954.587.2100 FAX: 954.587.5418



Scale 1" = 20'