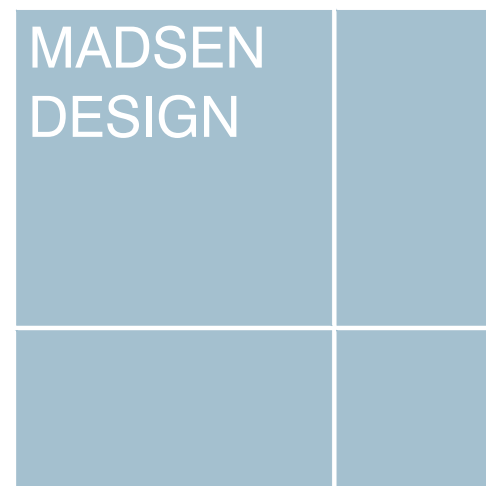


THE TACO STAND AT SUNDY VILLAGE

22 W. ATLANTIC AVENUE,
DELRAY BEACH FL, 33444



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Boca Raton FL 33432
416 SE 5th St.
Delray Beach FL 33483

P: 561 - 749 - 1234

GREG MADSEN - AR92411

THE TACO STAND

22 W. ATLANTIC AVE.
DELRAY BEACH, FL 33444

SUBMITTALS:

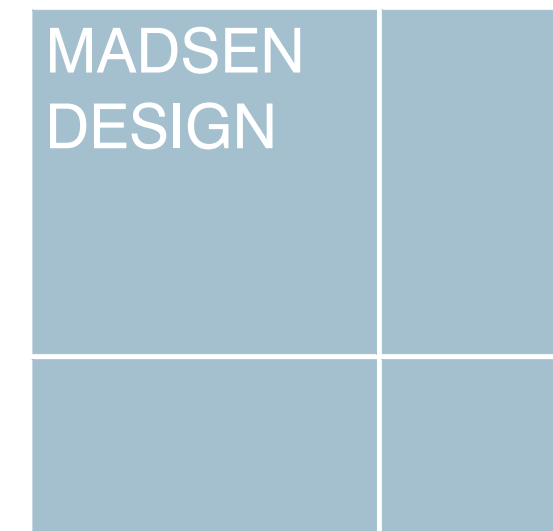
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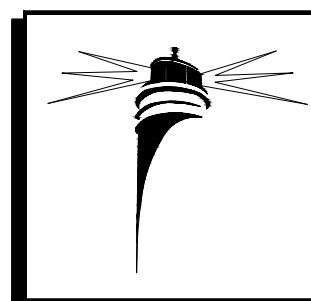
PROJECT NUMBER: 25-022



MG DESIGN DRAFTING SERVICES INC.
1700 S, Dixie HWY. Suite 507
Boca Raton FL 33432
P: 954 - 804 - 0514



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Beacon Consulting Engineers
100 N.E. 6th St. Unit 102
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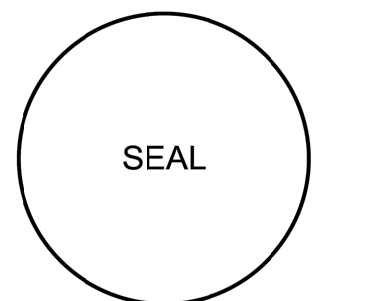
REVISED

02 / 25 / 2026

GENERAL NOTES



STEVE SIEBERT
ARCHITECTURE
1010 GATEWAY BLVD, SUIT 103
BOYNTON BEACH, FL 33426
PH. 561.880.7894
Steve@stevesiebert.com
www.stevesiebert.com



STEVEN W. SIEBERT
FLORIDA AR0017834
NEW JERSEY 21A101517500
TEXAS 26934

COA APPLICATION
SUNDY VILLAGE
BLOCK 61
22-44 W. ATLANTIC AVE.
DELRAY BEACH, FLORIDA 334444

SHEET NOTES

KEY PLAN

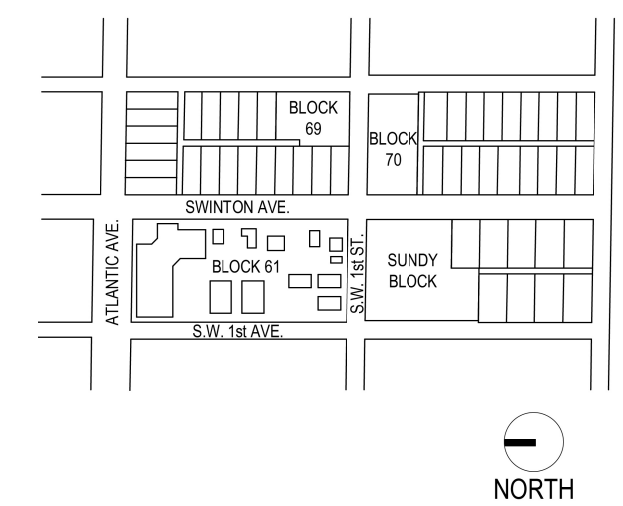
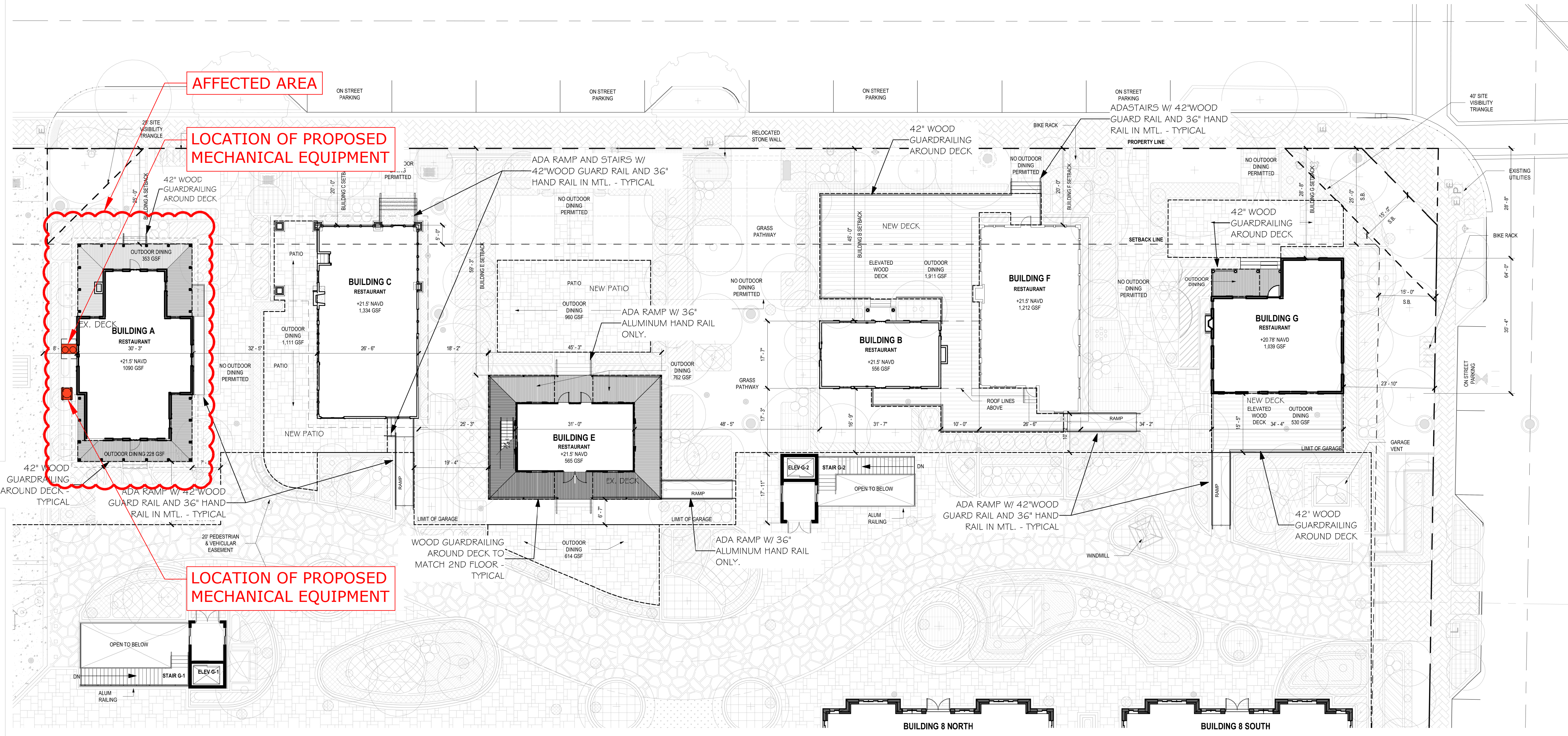
COA APPLICATION

THE WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.
COPYRIGHT STEVE SIEBERT ARCHITECTURE-UNAUTHORIZED REPRODUCTION OR ANY OTHER USE OF THIS DRAWING IS PROHIBITED.

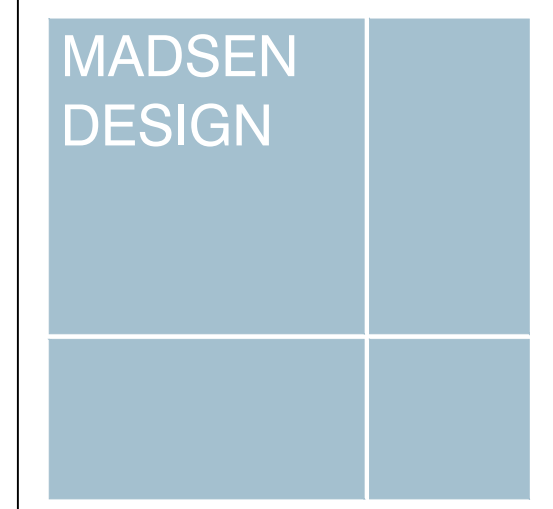
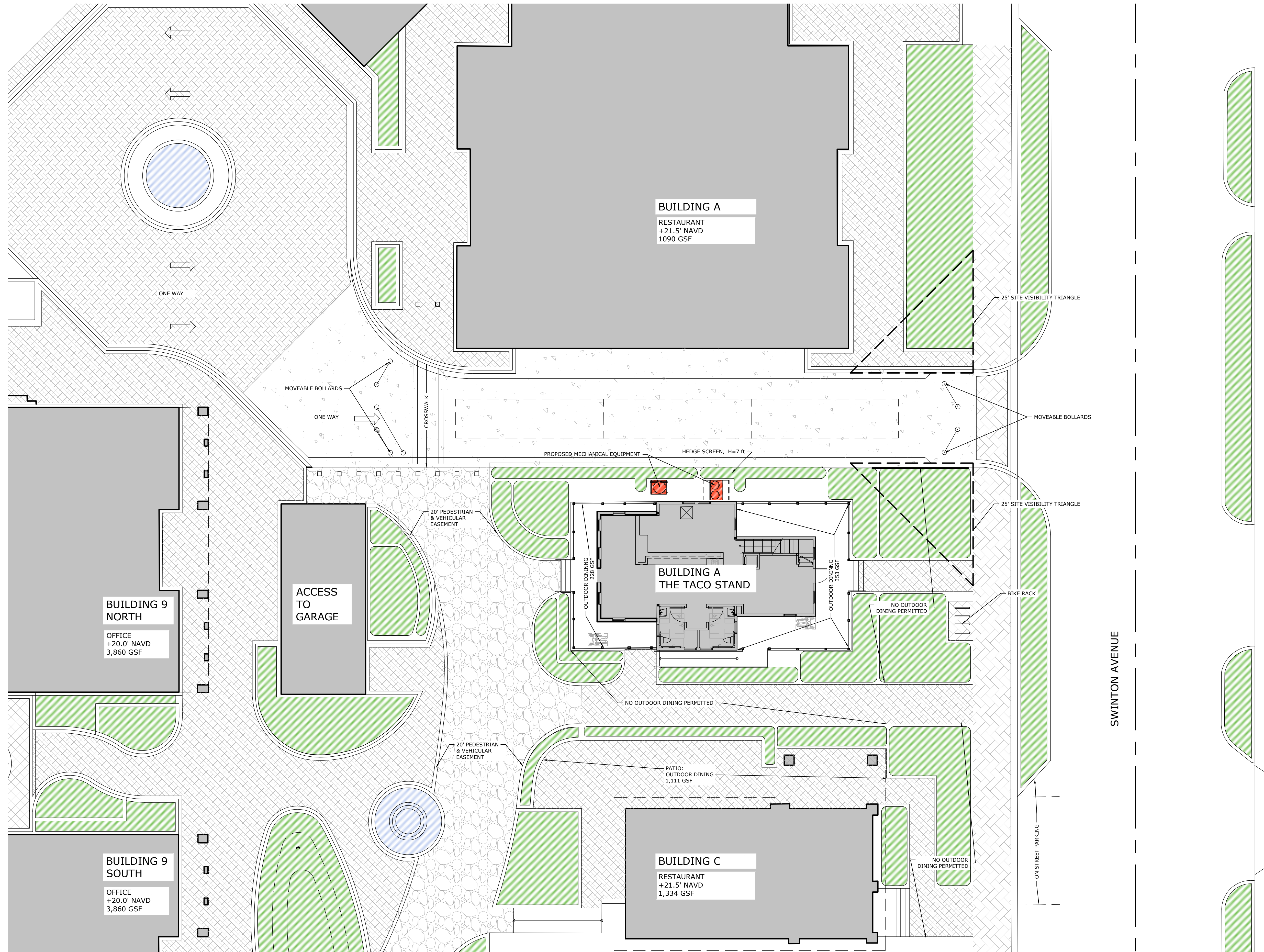
PROJECT NO: 23-534
DATE: 7.1.2024
DRAWN BY: SK/BT
CHECKED BY: S.S.
REVISIONS:
1 TAC COMMENTS (9.23.24)
2 TAC COMMENTS (10.14.24)

SITE PLAN

A1.11



1 BLOCK 61 - LEVEL 1 ENLARGED PLAN - HISTORIC STRUCTURES
SCALE: 1/16" = 1'-0"



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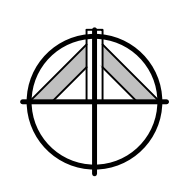
GREG MADSEN - AR92411

THE TACO STAND

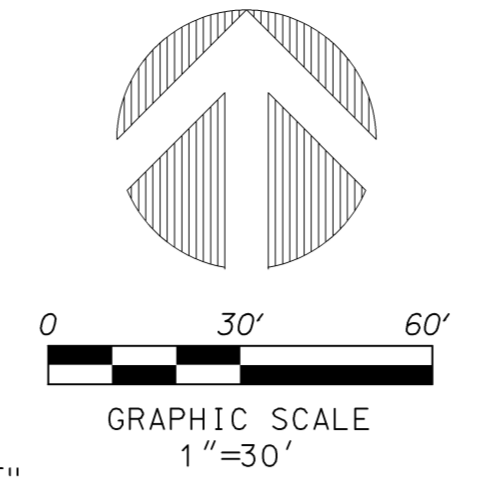
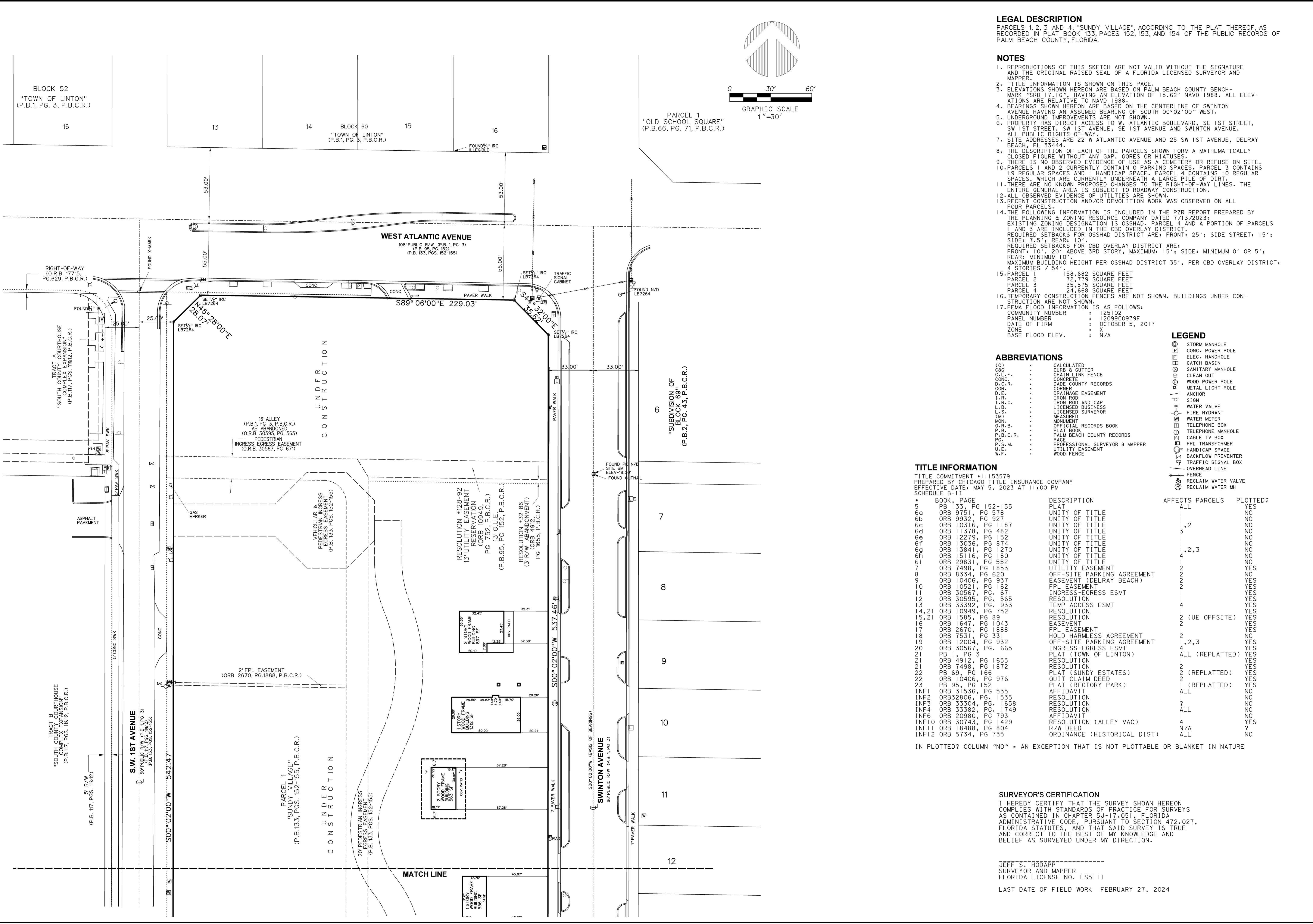
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 DELRAY BEACH, FL 33444

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LEGAL DESCRIPTION
 PARCELS 1, 2, 3 AND 4, "SUNDY VILLAGE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 133, PAGES 152, 153, AND 154 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

- NOTES**
- REPRODUCTIONS OF THIS SKETCH ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - TITLE INFORMATION IS SHOWN ON THIS PAGE.
 - ELEVATIONS SHOWN HEREON ARE BASED ON PALM BEACH COUNTY BENCHMARK "SRD 17.16", HAVING AN ELEVATION OF 15.62' NAVD 1988. ALL ELEVATIONS ARE RELATIVE TO NAVD 1988.
 - BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SWINTON AVENUE HAVING AN ASSUMED BEARING OF SOUTH 00°02'00" WEST.
 - UNDERGROUND IMPROVEMENTS ARE NOT SHOWN.
 - PROPERTY HAS DIRECT ACCESS TO W. ATLANTIC BOULEVARD, SE 1ST STREET, SW 1ST STREET, SW 1ST AVENUE, SE 1ST AVENUE AND SWINTON AVENUE.
 - ALL PUBLIC RIGHTS-OF-WAY.
 - SITE ADDRESSES ARE 22 W ATLANTIC AVENUE AND 25 SW 1ST AVENUE, DELRAY BEACH, FL 33444.
 - THE DESCRIPTION OF EACH OF THE PARCELS SHOWN FORM A MATHEMATICALLY CLOSED FIGURE WITHOUT ANY GAP, GORES OR HIATUSSES.
 - THERE IS NO OBSERVED EVIDENCE OF USE AS A CEMETERY OR REFUSE ON SITE.
 - PARCELS 1 AND 2 CURRENTLY CONTAIN 0 PARKING SPACES. PARCEL 3 CONTAINS 19 REGULAR SPACES AND 1 HANDICAP SPACE. PARCEL 4 CONTAINS 10 REGULAR SPACES WHICH ARE CURRENTLY UNDERNEATH A LARGE PILE OF DIRT.
 - THERE ARE NO KNOWN PROPOSED CHANGES TO THE RIGHT-OF-WAY LINES. THE ENTIRE GENERAL AREA IS SUBJECT TO ROADWAY CONSTRUCTION.
 - ALL OBSERVED EVIDENCE OF UTILITIES ARE SHOWN.
 - RECENT CONSTRUCTION AND/OR DEMOLITION WORK WAS OBSERVED ON ALL FOUR PARCELS.
 - THE FOLLOWING INFORMATION IS INCLUDED IN THE PZR REPORT PREPARED BY THE PLANNING & ZONING RESOURCE COMPANY DATED 7/13/2023:
 EXISTING ZONING DESIGNATION IS OSSHAD. PARCEL 4 AND A PORTION OF PARCELS 1 AND 3 ARE INCLUDED IN THE CBD OVERLAY DISTRICT.
 REQUIRED SETBACKS FOR OSSHAD DISTRICT ARE: FRONT: 25'; SIDE STREET: 15'; SIDE: 7.5'; REAR: 10'.
 REQUIRED SETBACKS FOR CBD OVERLAY DISTRICT ARE:
 FRONT: 10', 20' ABOVE 3RD STORY, MAXIMUM: 15'; SIDE: MINIMUM 0' OR 5'; REAR: MINIMUM 10'.
 MAXIMUM BUILDING HEIGHT PER OSSHAD DISTRICT 35', PER CBD OVERLAY DISTRICT: 4 STORIES / 54'.
 - PARCEL 1 158,682 SQUARE FEET
 PARCEL 2 72,779 SQUARE FEET
 PARCEL 3 35,575 SQUARE FEET
 PARCEL 4 24,668 SQUARE FEET
 - TEMPORARY CONSTRUCTION FENCES ARE NOT SHOWN. BUILDINGS UNDER CONSTRUCTION ARE NOT SHOWN.
 - FEMA FLOOD INFORMATION IS AS FOLLOWS:
 COMMUNITY NUMBER : 125102
 PANEL NUMBER : 2099C0979F
 DATE OF FIRM : OCTOBER 5, 2017
 ZONE : X
 BASE FLOOD ELEV. : N/A

- ABBREVIATIONS**
- CALCULATED
 - CURB & GUTTER
 - CHAIN LINK FENCE
 - CONCRETE
 - DADE COUNTY RECORDS
 - CORNER
 - DRAINAGE EASEMENT
 - IRON ROD
 - IRON ROD AND CAP
 - LICENSED BUSINESS
 - LICENSED SURVEYOR
 - MEASURED
 - MONUMENT
 - PLAT BOOK
 - PLAT BOOK RECORDS BOOK
 - PALM BEACH COUNTY RECORDS
 - PAGE
 - PROFESSIONAL SURVEYOR & MAPPER
 - UTILITY EASEMENT
 - WOOD FENCE

- LEGEND**
- STORM MANHOLE
 - CONC. POWER POLE
 - ELEC. HANDHOLE
 - CATCH BASIN
 - SANITARY MANHOLE
 - CLEAN OUT
 - WOOD POWER POLE
 - METAL LIGHT POLE
 - ANCHOR
 - SIGN
 - WATER VALVE
 - FIRE HYDRANT
 - WATER METER
 - TELEPHONE BOX
 - TELEPHONE MANHOLE
 - CABLE TV BOX
 - FPL TRANSFORMER
 - HANDICAP SPACE
 - BACKFLOW PREVENTER
 - TRAFFIC SIGNAL BOX
 - OVERHEAD LINE
 - RECLAIM WATER VALVE
 - RECLAIM WATER MH

TITLE INFORMATION
 TITLE COMMITMENT #11153579
 PREPARED BY CHICAGO TITLE INSURANCE COMPANY
 EFFECTIVE DATE: MAY 5, 2023 AT 11:00 PM
 SCHEDULE B-11

BOOK, PAGE	DESCRIPTION	AFFECTS PARCELS	PLOTTED?
5 PB 133, PG 152-155	PLAT	ALL	YES
6d ORB 9751, PG 578	UNITY OF TITLE	1	NO
6d ORB 9932, PG 927	UNITY OF TITLE	1	NO
6d ORB 10318, PG 1187	UNITY OF TITLE	1, 2	NO
6d ORB 1378, PG 482	UNITY OF TITLE	3	NO
6e ORB 12279, PG 152	UNITY OF TITLE	1	NO
6f ORB 13036, PG 874	UNITY OF TITLE	1	NO
6g ORB 13841, PG 1270	UNITY OF TITLE	1, 2, 3	NO
6g ORB 15116, PG 180	UNITY OF TITLE	1, 2, 3	NO
6i ORB 29831, PG 552	UNITY OF TITLE	1	NO
7 ORB 7498, PG 1853	UTILITY EASEMENT	2	YES
8 ORB 8334, PG 620	OFF-SITE PARKING AGREEMENT	2	NO
9 ORB 10406, PG 937	EASEMENT (DELRAY BEACH)	2	YES
10 ORB 10521, PG 162	FPL EASEMENT	2	YES
11 ORB 30567, PG. 671	INGRESS-EGRESS ESMT	1	YES
12 ORB 30595, PG. 565	RESOLUTION	1	YES
13 ORB 33392, PG. 933	TEMP ACCESS ESMT	4	YES
14, 21 ORB 10949, PG 752	RESOLUTION	1	YES
15, 21 ORB 1585, PG 89	RESOLUTION	2 (UE OFFSITE)	YES
16 ORB 1647, PG 1043	EASEMENT	2	YES
17 ORB 2670, PG 1888	FPL EASEMENT	1	YES
18 ORB 7531, PG 331	HOLD HARMLESS AGREEMENT	2	NO
19 ORB 12004, PG 932	OFF-SITE PARKING AGREEMENT	1, 2, 3	YES
20 ORB 30567, PG. 665	INGRESS-EGRESS ESMT	4	YES
21 PB 1, PG 3	PLAT (TOWN OF LINTON)	ALL (REPLATTED)	YES
21 ORB 4912, PG 1655	RESOLUTION	1	YES
21 ORB 7498, PG 1872	RESOLUTION	2 (REPLATTED)	YES
22 PB 69, PG 166	PLAT (SUNDY ESTATES)	2	YES
22 ORB 10406, PG 976	QUIT CLAIM DEED	2	YES
23 PB 95, PG 152	PLAT (RECTORY PARK)	1 (REPLATTED)	YES
INF1 ORB 31536, PG 535	AFFIDAVIT	ALL	NO
INF2 ORB 32806, PG. 1535	RESOLUTION	1	NO
INF3 ORB 33304, PG. 1658	RESOLUTION	2	NO
INF4 ORB 33382, PG. 1749	RESOLUTION	ALL	NO
INF6 ORB 20980, PG 793	AFFIDAVIT	1	NO
INF10 ORB 30743, PG 1429	RESOLUTION (ALLEY VAC)	4	YES
INF11 ORB 18488, PG 804	R/W DEED	N/A	?
INF12 ORB 5734, PG 735	ORDINANCE (HISTORICAL DIST)	ALL	?

IN PLOTTED? COLUMN "NO" = AN EXCEPTION THAT IS NOT PLOTTABLE OR BLANKET IN NATURE

SURVEYOR'S CERTIFICATION
 I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE FOR SURVEYS AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION.

JEFF S. HODAPP
 SURVEYOR AND MAPPER
 FLORIDA LICENSE NO. LS5111

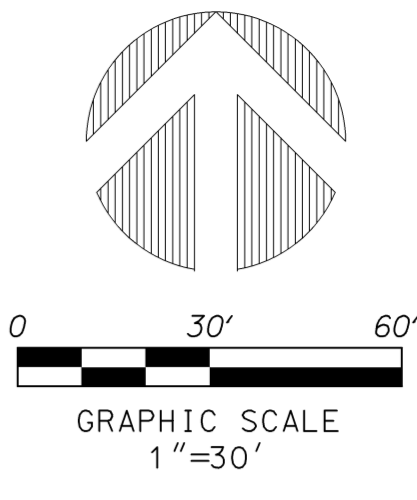
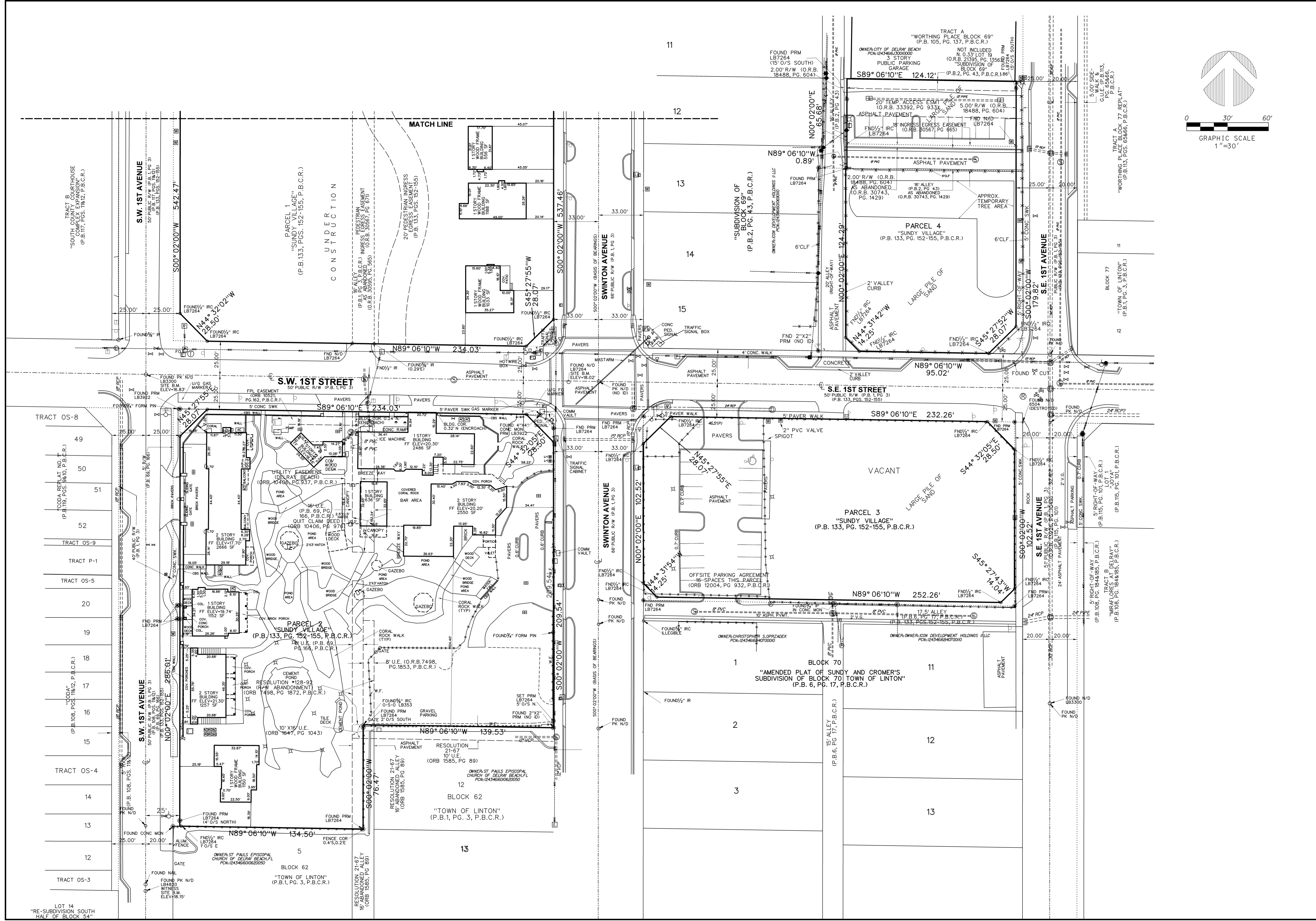
LAST DATE OF FIELD WORK FEBRUARY 27, 2024

JOB NO.	14104
SCALE	1"=30'
DRAWN	JSH
CHECKED	GY
SHEET	1 OF 2

NO.	DATE	BY	CK/D	REVISIONS:	FB/PG
1	6/21/23	JSH		ALTA SURVEY	
2	7/19/23	JSH		REVISE PER COMMENTS	
3	2/27/24	JSH		UPDATE SURVEY	
4					
5					
6					

**SUNDY VILLAGE
 BOUNDARY SURVEY**

PERIMETER
 SURVEYING & MAPPING
 Certificate of Authorization No. LB7264
 947 Clint Moore Road
 Boca Raton, Florida 33487
 Tel: (561) 241-9988
 Fax: (561) 241-5182



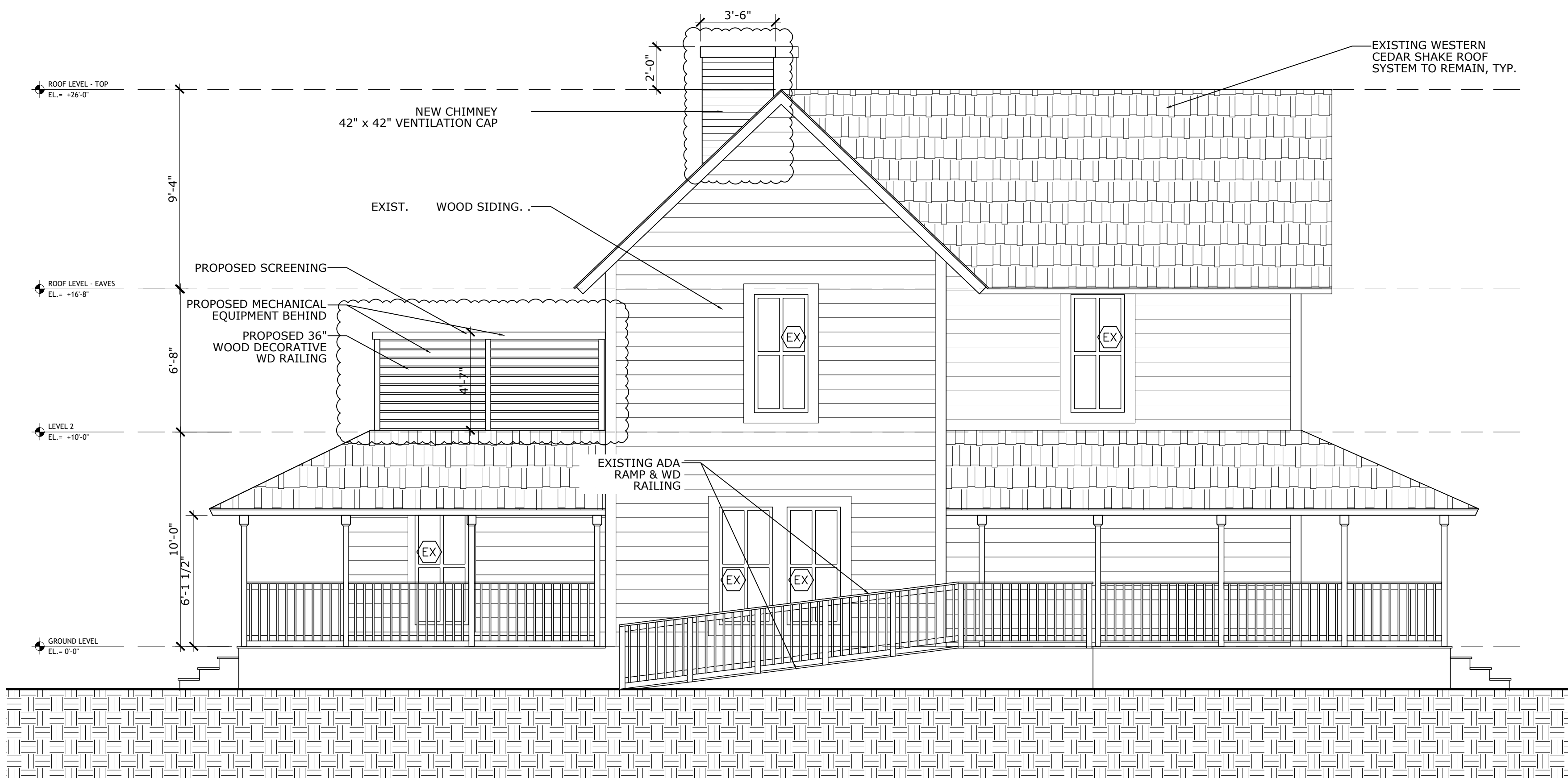
JOB NO. 14104		SCALE 1"=30'		DRAWN JSH		CHECKED GY		SHEET 2 OF 2	
NO.		DATE		BY		CK'D		REVISIONS:	
1									
2									
3									
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**SUNDY VILLAGE
BOUNDARY SURVEY**

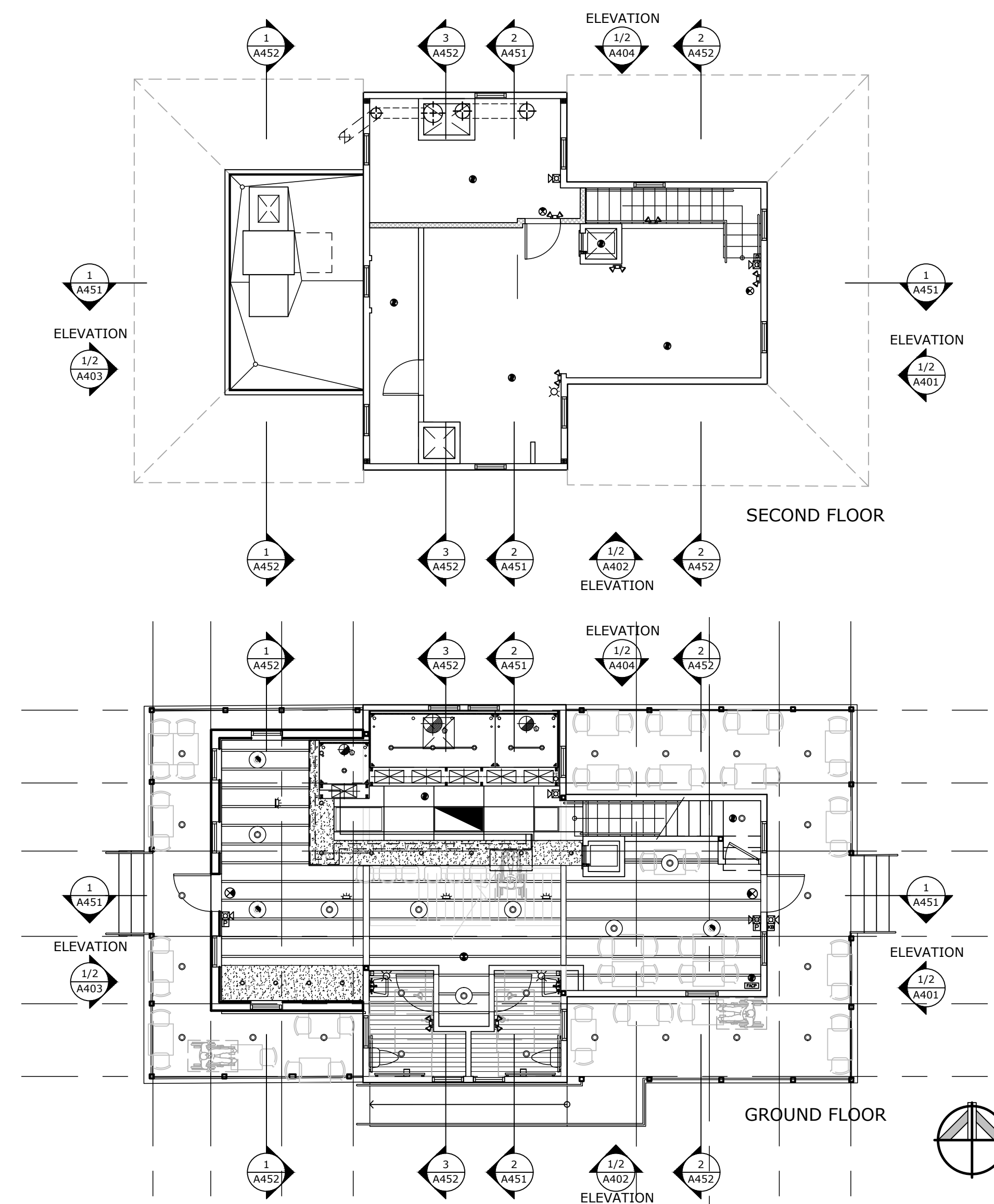
PERIMETER
SURVEYING & MAPPING
947 Clint Moore Road
Boca Raton, Florida 33487
Tel: (561) 241-9988
Fax: (561) 241-5182
Certificate of Authorization No. LB7264



EXISTING ELEVATION - SOUTH 1
SCALE: 1/4"=1'

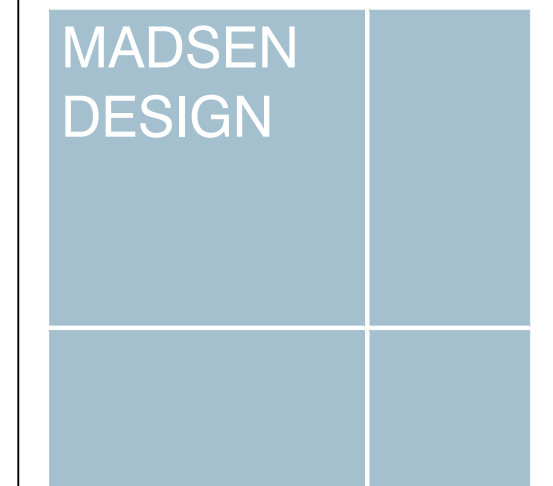
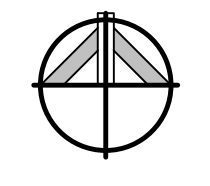


PROPOSED ELEVATION - SOUTH 2
SCALE: 1/4"=1'



SECOND FLOOR

GROUND FLOOR



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THE TACO STAND

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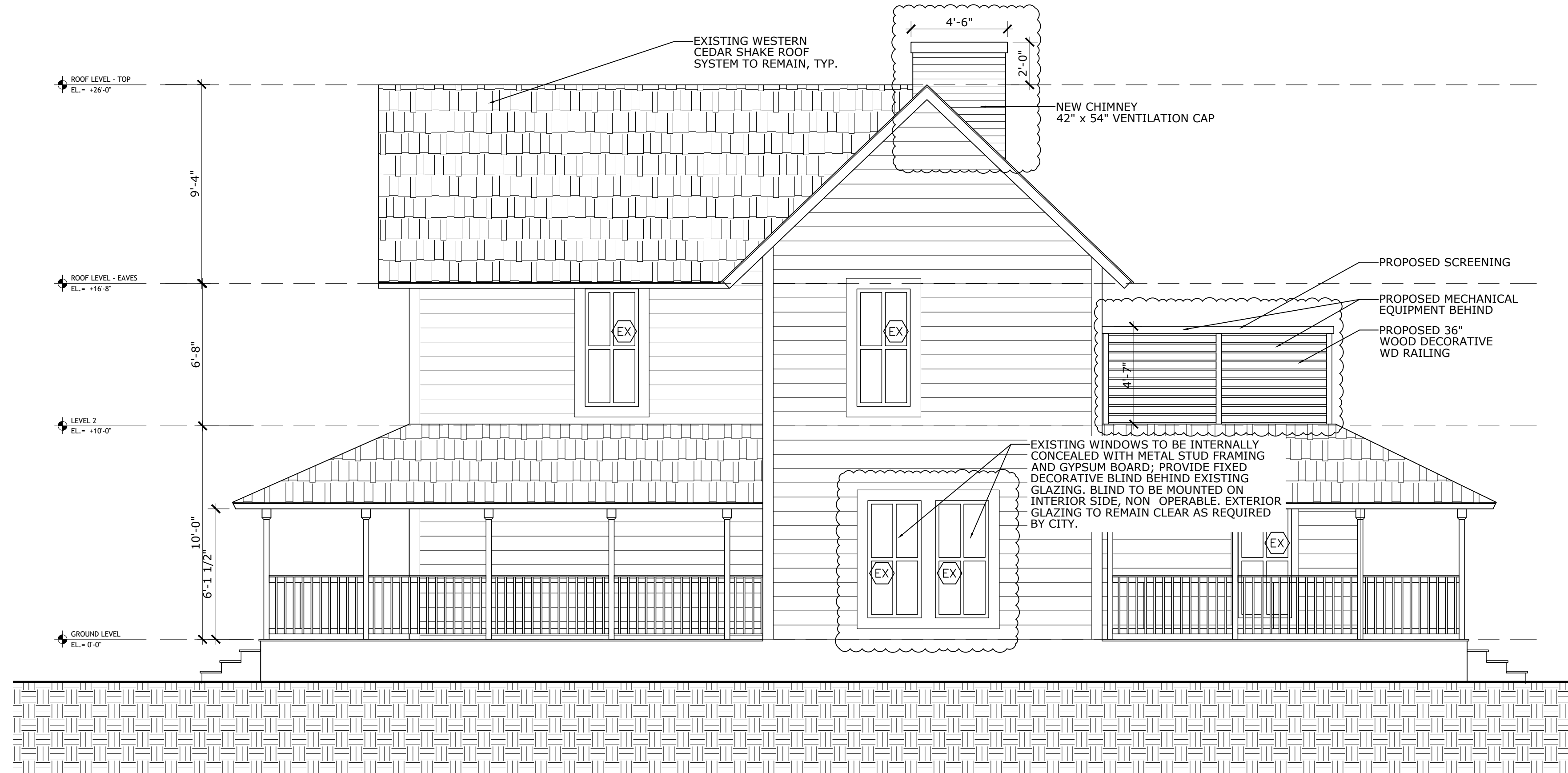
EXISTING BUILDING ELEVATIONS

A402

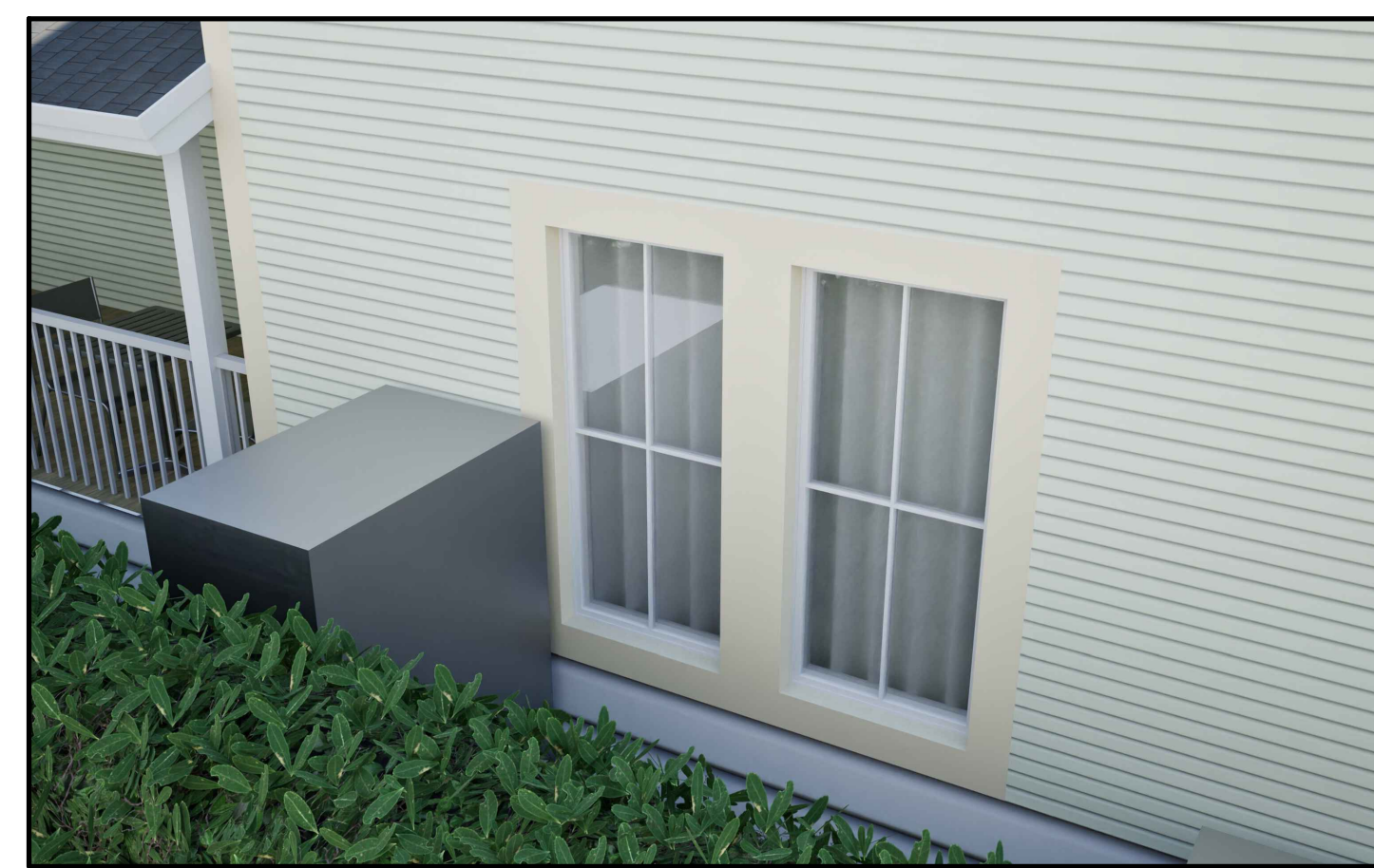
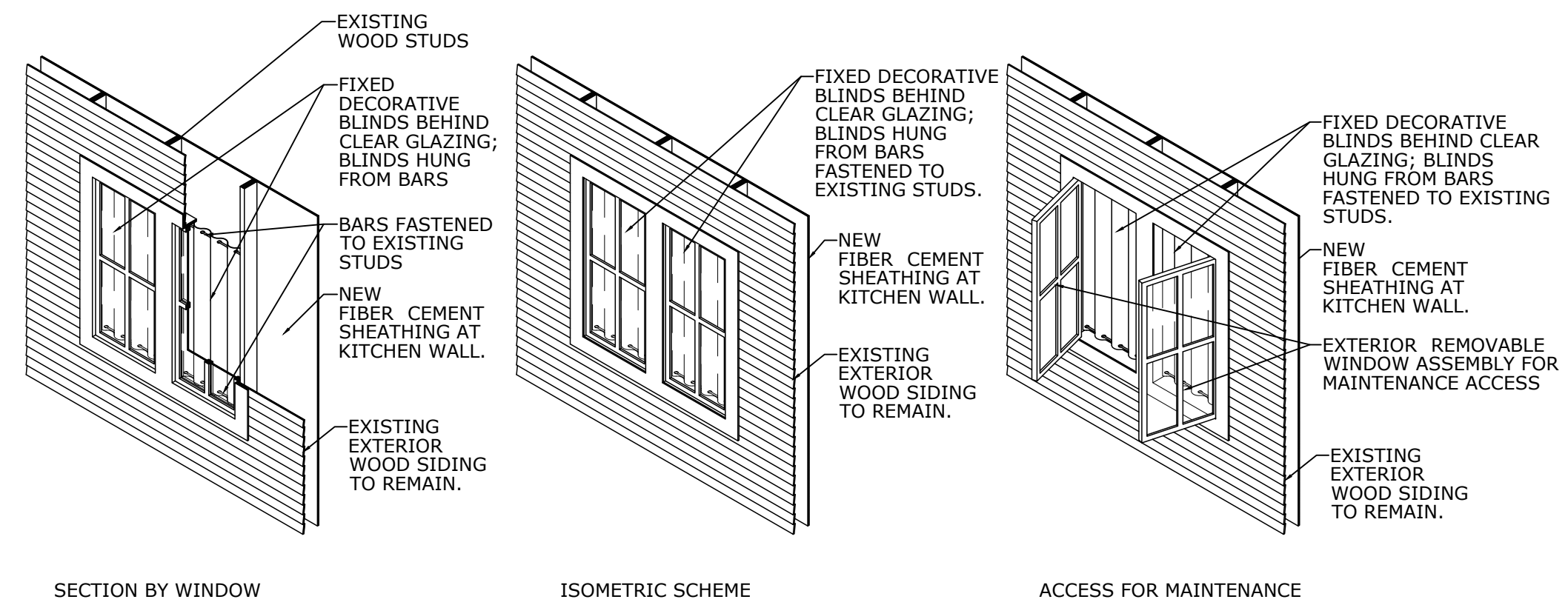
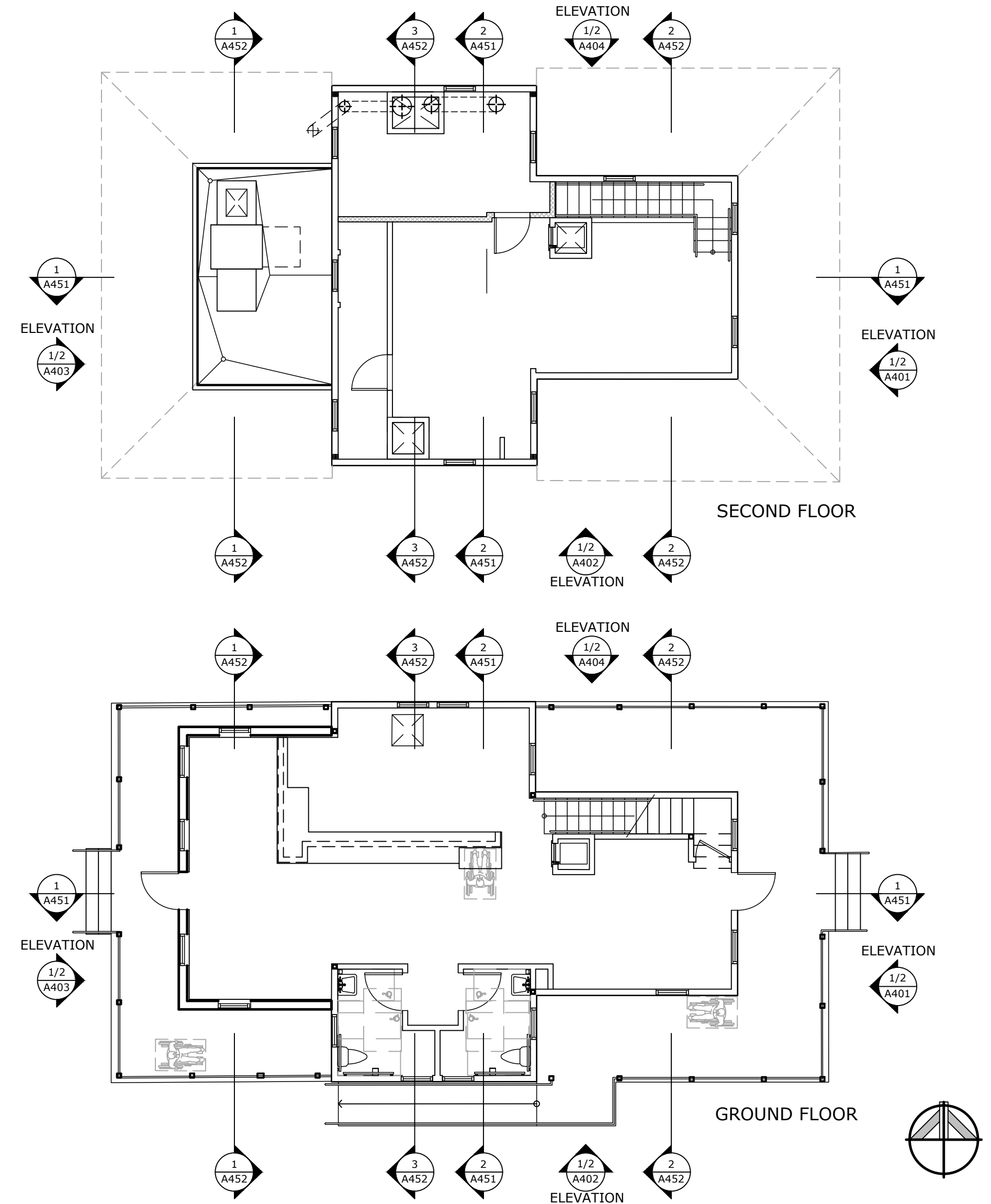
PROJECT NUMBER: 25-022



EXISTING ELEVATION - NORTH
SCALE: 1/4"=1' 1



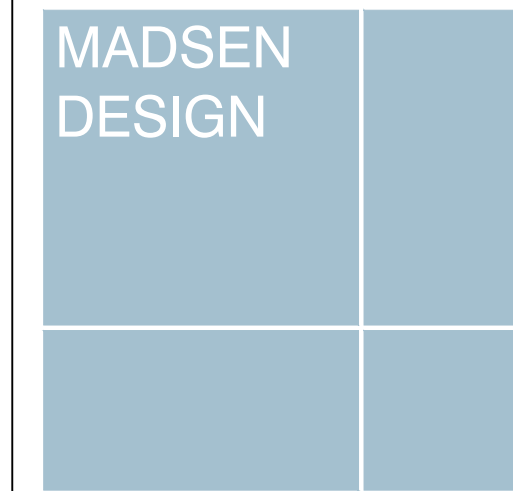
PROPOSED ELEVATION - NORTH
SCALE: 1/4"=1' 2



ARTISTIC RENDERING
NORTH WINDOW WITH DECORATIVE BLINDS

NOTE:
THIS DETAIL ILLUSTRATES THE PROPOSED WINDOW CONDITION AT THE KITCHEN WALL. A NEW LAYER OF FIBER CEMENT SHEATHING IS INSTALLED BEHIND THE EXISTING OPENING TO MEET INTERIOR REQUIREMENTS, WHILE THE EXTERIOR MAINTAINS CLEAR, TRANSPARENT GLAZING AS REQUIRED BY THE CITY. DECORATIVE BLINDS ARE PLACED BETWEEN THE GLAZING AND THE NEW SHEATHING, SUPPORTED BY BARS FASTENED TO THE EXISTING WALL STUDS. THE WINDOW ASSEMBLY IS DESIGNED TO BE REMOVABLE FROM THE EXTERIOR TO ALLOW MAINTENANCE AND CLEANING ACCESS AND FUTURE REPLACEMENT OF THE DECORATIVE BLINDS.

KITCHEN WINDOW - ISOMETRIC SCHEME
N.T.S. 3



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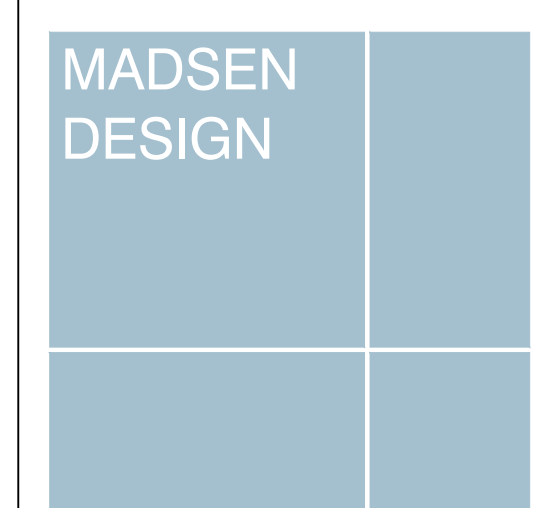
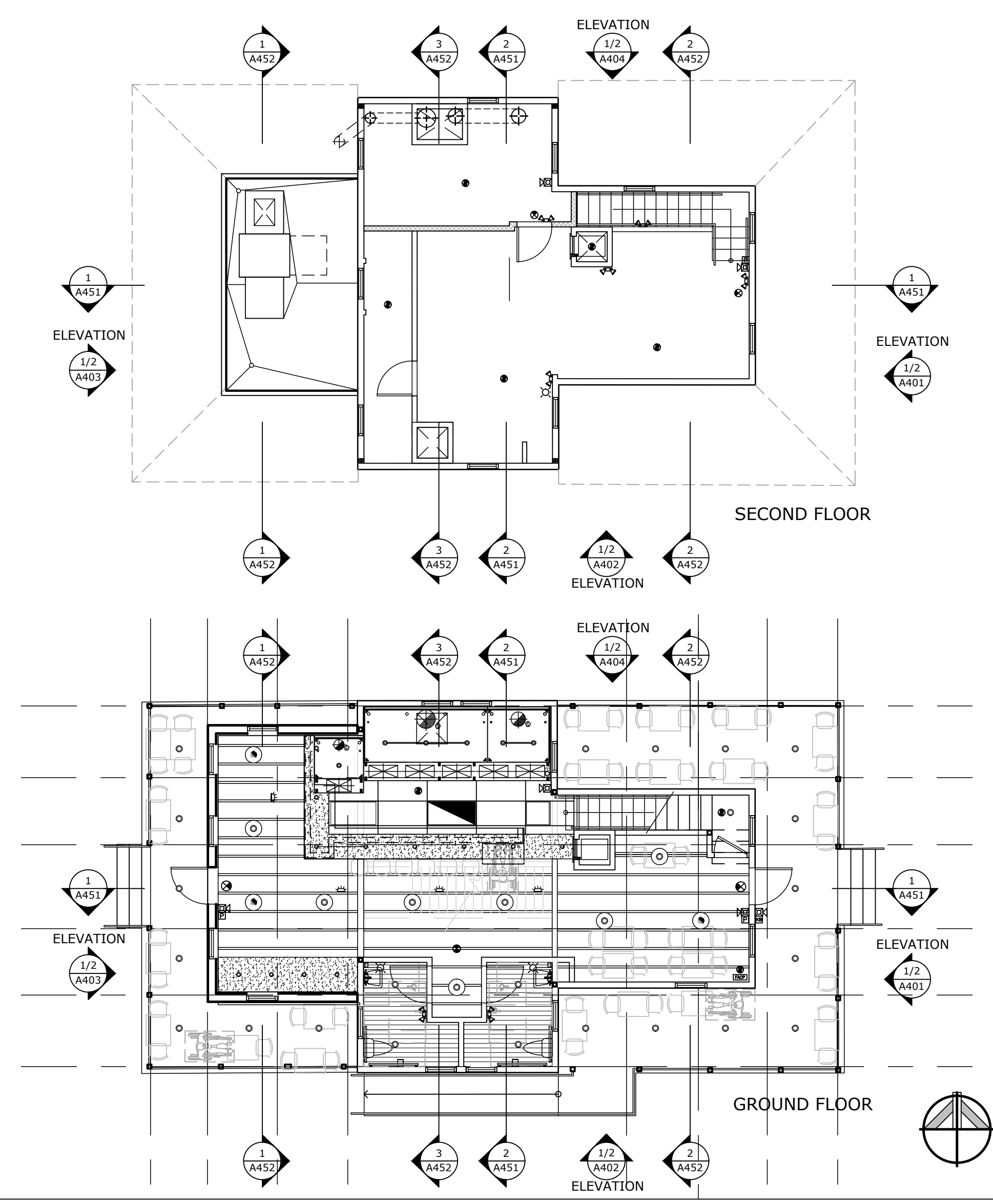
BUILDING ELEVATIONS
A404



EXISTING ELEVATION - EAST
SCALE: 1/4"=1' **2**



PROPOSED ELEVATION - EAST
SCALE: 1/4"=1' **2**



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EXISTING BUILDING ELEVATIONS
A401

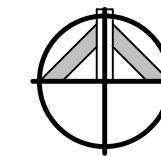
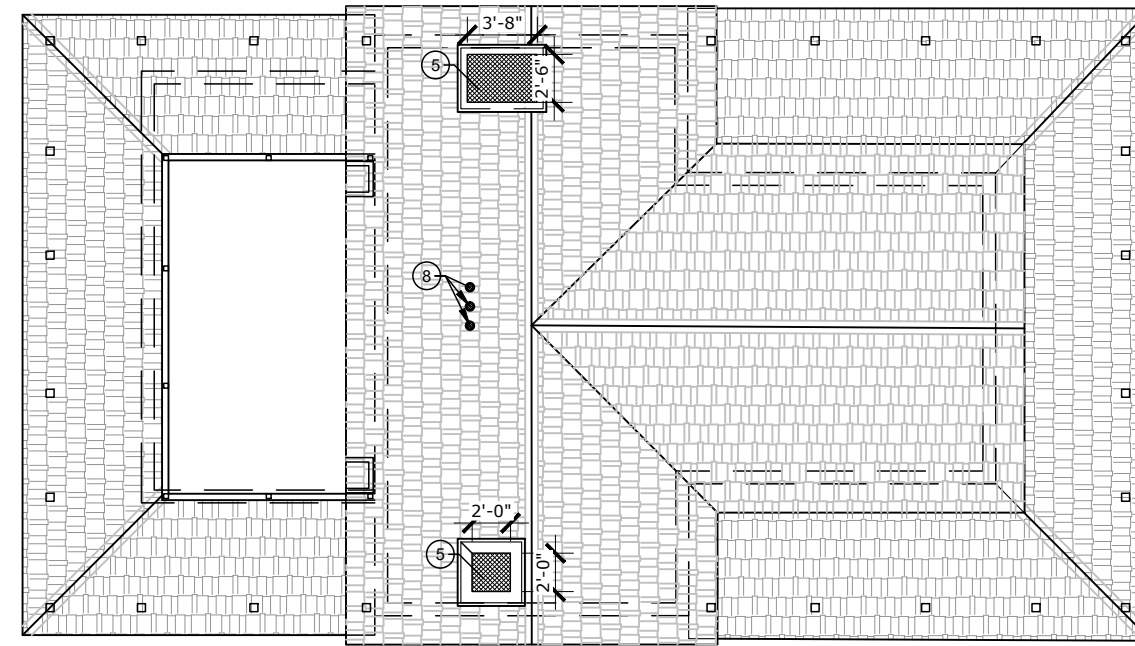
PROJECT NUMBER: 25-022

DEMOLITION KEYNOTES

- 1. EXISTING WOOD STAIRS TO BE COMPLETELY REMOVED, INCLUDING ALL FRAMING, STRINGERS, TREADS, RISERS, AND ASSOCIATED HARDWARE.
- 2. EXISTING WALL WOOD FRAMING TO BE REMOVED, INCLUDING ALL STUDS, PLATES, BLOCKING, AND ANY ATTACHED FIXTURES OR FINISHES.
- 3. PROVIDE TEMPORARY SHORING AND STRUCTURAL SUPPORT TO ALL FLOOR AND STRUCTURAL ELEMENTS ADJACENT TO ANY DEMOLITION WORK. SHORING TO BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER. INSPECT SHORING DAILY FOR STABILITY AND INTEGRITY.
- 4. PORTION OF THE STRUCTURAL FLOOR AND ASSOCIATED WOOD JOISTS BE DEMOLISHED AND REMOVED. INCLUDING REMOVAL OF DECKING, JOISTS, BLOCKING, AND ANY ATTACHED FINISHES. DEMOLITION TO BE PERFORMED CAREFULLY TO AVOID DAMAGING ADJACENT STRUCTURAL ELEMENTS.
- 5. DEMOLISH PORTION OF ROOF TO ALLOW A 54 X 30, OR 24 X 24 ROOF OPENING. INCLUDING REMOVAL OF EXISTING ROOF TILES, SHEATHING, AND WOOD FRAMING, INCLUDING CAREFUL CUTTING OF EXISTING TRUSSES TO ACHIEVE THE REQUIRED OPENING IN ACCORDANCE WITH A SEALED STRUCTURAL ENGINEERING PLAN TO MAINTAIN ROOF INTEGRITY. ENSURE PROPER SUPPORT IS IN PLACE PRIOR TO REMOVING ANY STRUCTURAL MEMBERS
- 6. REMOVE EXISTING PLYWOOD SHEATHING ABOVE WOOD JOISTS AS REQUIRED TO ALLOW INSTALLATION OF NEW MECHANICAL UNIT AND CURB ASSEMBLY ABOVE
- 7. COMPLETE REMOVAL OF ROOFING SYSTEM IN THIS AREA: FINISH, MEMBRANE, INSULATION, AND ALL ASSOCIATED LAYERS DOWN TO PLYWOOD SHEATHING. NEW ROOFING TO BE INSTALLED AFTER MECHANICAL CURBS ARE SET.
- 8. DEMOLISH PORTION OF CEDAR SHAKE ROOF AT 45° INCLINE TO ALLOW INSTALLATION OF THREE CONCENTRIC VENTS; REMOVE SHAKES AND PLYWOOD SHEATHING DOWN TO WOOD TRUSSES AS REQUIRED.

DEMOLITION NOTES

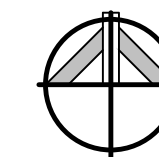
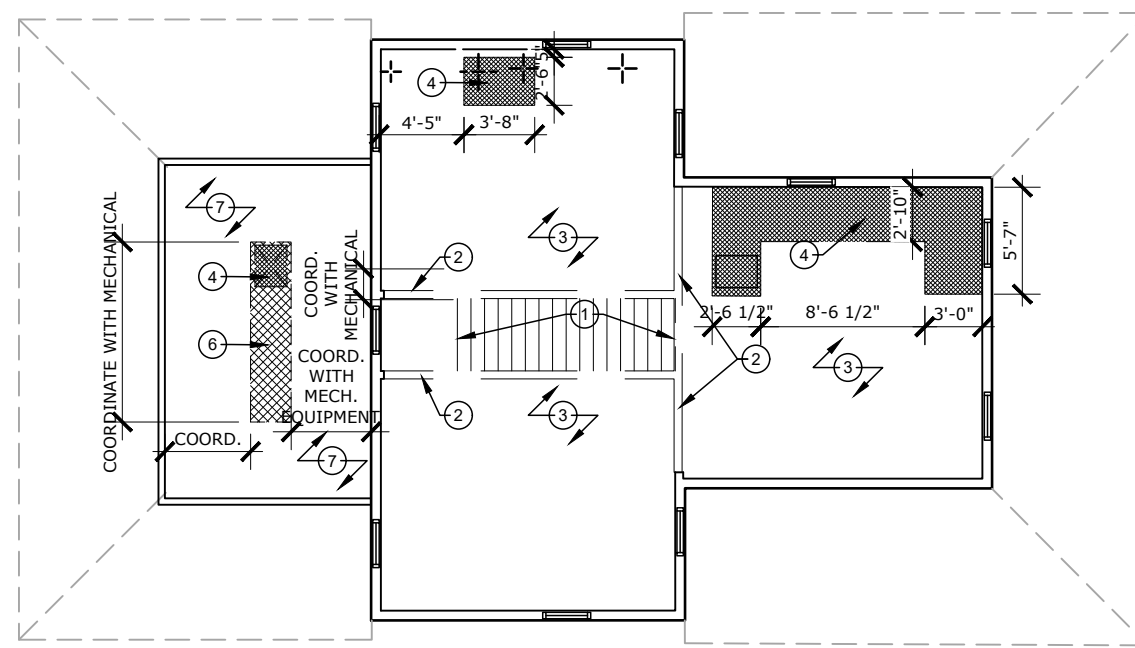
- THESE PLANS REPRESENT THE GENERAL DEMOLITION AND DOES NOT COVER ALL THE PROCEDURES REQUIRED TO COMPLETE THE PROJECT. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE RESPONSIBLE FOR THE MEANS AND METHODS, SEQUENCES AND PROCEDURES REQUIRED FOR DEMOLITION, INCLUDING BUT NOT LIMITED TO LOCATING EXISTING UTILITIES SHORING, STAGING, TEMPORARY BRACING AND THE CONSTRUCTION OF NEW SUPPORT SYSTEMS REQUIRED PRIOR TO DEMOLITION.
- 1. ALL DAMAGES TO EXISTING FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR SUCH DAMAGES AT HIS OWN EXPENSE.
 - 2. BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL SET UP A SCHEDULE OF OPERATIONS WITH THE OWNER, COORDINATING PERFORMANCE OF ALL WORK WITHIN THE OPERATION SCHEDULE OF THE FACILITY.
 - 3. THERE SHALL BE NO INTERRUPTION OF THE EXISTING PLUMBING, MECHANICAL, ELECTRICAL AND/OR FIRE-PROTECTION SERVICES WITHOUT PRIOR CONSENT OF THE OWNER. SUCH INTERRUPTION SHALL BE KEPT TO A MINIMUM AND SHALL BE CLOSELY SCHEDULED WITH THE OWNER.
 - 4. ALL DEMOLITION OPERATIONS SHALL BE COORDINATED WITH APPLICABLE UTILITY COMPANY WHERE REQUIRED.
 - 5. DASHED LINES INDICATE ITEMS TO BE REMOVED. THE LOCATIONS KEYED ON THE DRAWINGS FOR THESE NOTES ARE SCHEMATIC AND REPRESENT AREAS OF SIGNIFICANT WORK. HOWEVER, THEY DO NOT RELIEVE THE CONTRACTOR OF ANY ADDITIONAL WORK OF SIMILAR SCOPE AND NATURE IDENTIFIED THROUGH FIELD INVESTIGATIONS.
 - 6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEMOLITION PERMITS PRIOR TO BEGINNING OF ANY WORK.
 - 7. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION, REMOVAL OR RELOCATION OF EXISTING EQUIPMENT, MATERIALS, APPURTENANCES, ETC. AS INDICATED ON THE DRAWINGS OR AS HEREIN SPECIFIED OR REQUIRED. THESE CONDITIONS MAY OCCUR DURING THE PHASING OF THE EXISTING BUILDING RENOVATION.
 - 8. THE CONTRACTOR SHALL KEEP THE SITE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK. UPON COMPLETION OF THE CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE THE SITE TO THE SAME CONDITION AS BEFORE COMMENCEMENT OF THE WORK.
 - 9. THE CONTRACTOR SHALL CAREFULLY MAKE ALL INVESTIGATIONS IN THE FIELD PRIOR TO SUBMITTING HIS BID. HIS BID SHALL REFLECT ALL WORK NECESSARY FOR THE COMPLETE RENOVATION AND ADDITION TO THE EXISTING FACILITY.
 - 10. ANY ITEMS NOT SPECIFICALLY IDENTIFIED BUT REQUIRED TO BE REMOVED OR REPAIRED TO PREPARE THE BUILDING FOR NEW WORK OR TO OTHERWISE PRODUCE THE FINISHED PRODUCT SHOWN IN THE CONTRACT DOCUMENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - 11. DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING PARTITIONS AND ARE NOT INTENDED TO REPRESENT "AS BUILT" CONDITIONS. ALL INFORMATION MUST BE VERIFIED ON SITE.
 - 12. PARTITIONS AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES IN THE WALLS SHALL ALSO BE REMOVED OR RELOCATED AS REQUIRED. EDGES OF CONCRETE/MASONRY WALLS TO REMAIN SHALL BE SAW-CUT NEATLY (EXCEPT FOR BRICKWORK, REFER TO INSTRUCTIONS) TO ACCEPT NEW CONSTRUCTION. REPAIR AND PATCH EXISTING WALLS TO REMAIN.
 - 13. SALVAGED MATERIALS AS SPECIFIED BY OWNER SHALL BE CLEANED AND STORED IN APPROPRIATE AREAS AWAY FROM THE DEMOLITION UNTIL NEEDED.
 - 14. PROVIDE WEATHER PROTECTION TO EXISTING BUILDING DURING ALL PHASES OF CONSTRUCTION.
 - 15. ALL EXTERIOR SIGNAGE SHALL REMOVED AND RELOCATED AS REQUIRED BY OWNER.
 - 16. THE G.C. IS RESPONSIBLE FOR THE MAINTENANCE OF ALL EXISTING BUILDING AND FACILITY FUNCTIONS DURING THE DEMOLITION, INCLUDING BUT NOT LIMITED TO PUBLIC SAFETY, FIRE EXIT PATHWAYS, PEDESTRIAN ROUTING, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS CONTINUITY.
 - 17. THE G.C. AND HIS SUBCONTRACTORS SHALL TAKE CARE NOT TO DISTURB ANY AREAS OF THE EXISTING CONSTRUCTION TO REMAIN, AND SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AREAS DISTURBED BY DEMOLITION.
 - 18. THE G.C. SHALL PROVIDE PROTECTION FOR ALL PARTS OF THE BUILDING, ITS CONTENTS AND OCCUPANTS.
 - 19. DO NOT PROCEED WITH WORK IF UNFORESEEN CONDITIONS ARE DISCOVERED WHICH COULD CAUSE ADVERSE EFFECTS UPON THE STRUCTURE OF ITS OCCUPANTS, REPORT ANY SUCH CONDITION IMMEDIATELY TO THE ARCHITECT. TAKE PRECAUTIONS TO PROPERLY SUPPORT THE STRUCTURE.
 - 20. REPORT ALL TOXIC MATERIALS LOCATED TO OWNER, ARCHITECT AND AUTHORITIES HAVING JURISDICTION, REMOVAL OF MATERIAL WILL BE COMPLETED PER APPROVED MEANS BEFORE CONSTRUCTION CONTINUES.
 - 21. TERMINATED ELECTRICAL CONDUCTORS SHALL BE INSULATED TO PROTECT WORKERS AND PUBLIC AGAINST ELECTRIC SHOCK.
 - 22. ALL DEMOLITION WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE NFPA 241. TRASH AND CONSTRUCTION DEBRIS WILL BE REMOVED FROM THE SITE DAILY.
 - 23. FIRE PROTECTION SYSTEMS SHALL REMAIN ACTIVE DURING DEMOLITION AND RENOVATION ACTIVITIES, IN THE EVENT A FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR OVER 4 HOURS, IN A 24-HOUR PERIOD, THE BUILDING SHALL BE PLACED UNDER A FIRE WATCH.



ROOF LEVEL - DEMOLITION PLAN

SCALE: 1" = 10' - 0"

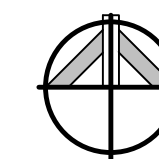
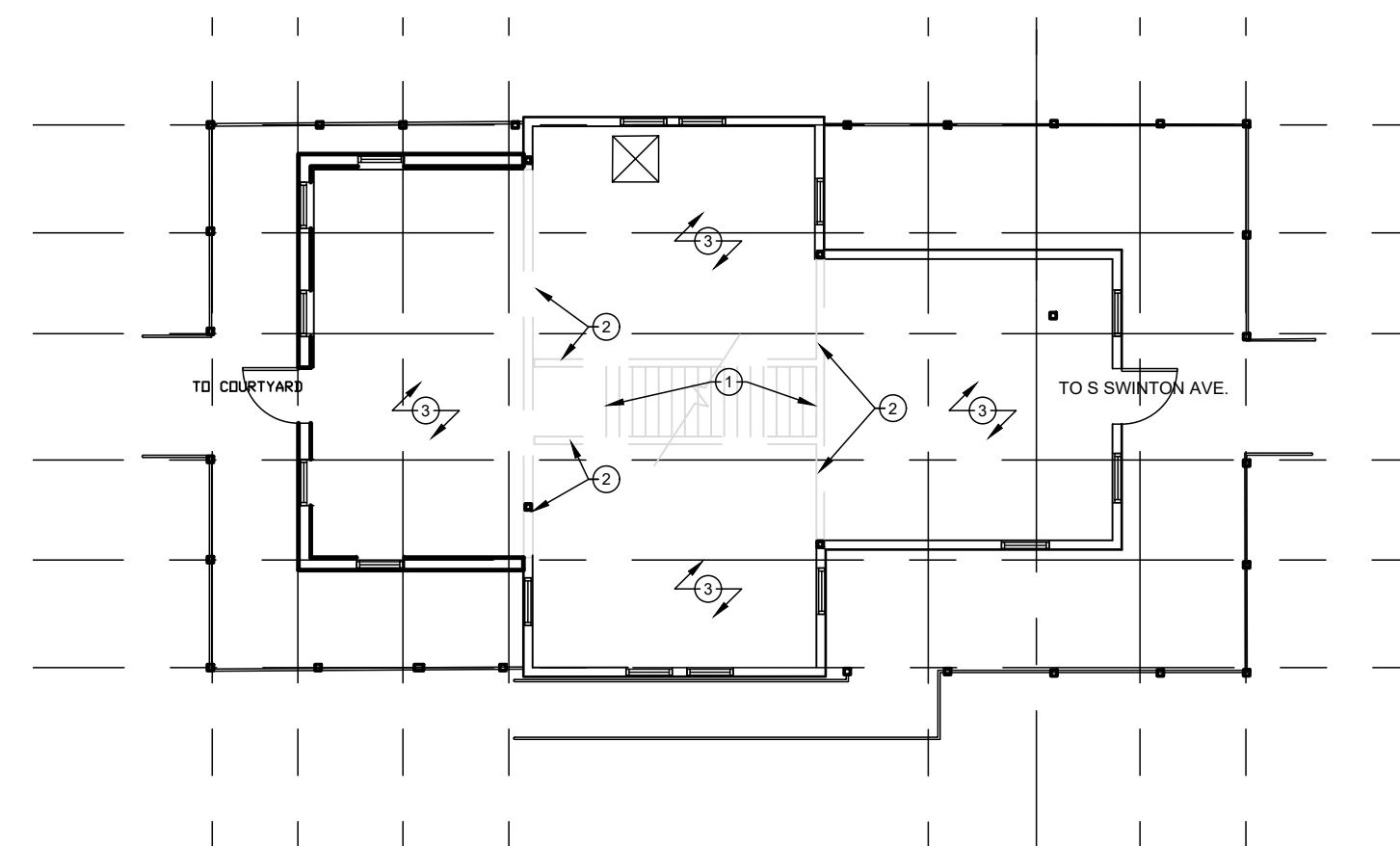
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SECOND LEVEL - DEMOLITION PLAN

SCALE: 1" = 10' - 0"

2



GROUND LEVEL - DEMOLITION PLAN

SCALE: 1" = 10' - 0"

1

EXISTING CONDITIONS

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GREG MADSEN - AR92411

THE TACO STAND

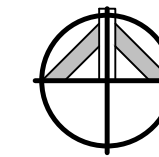
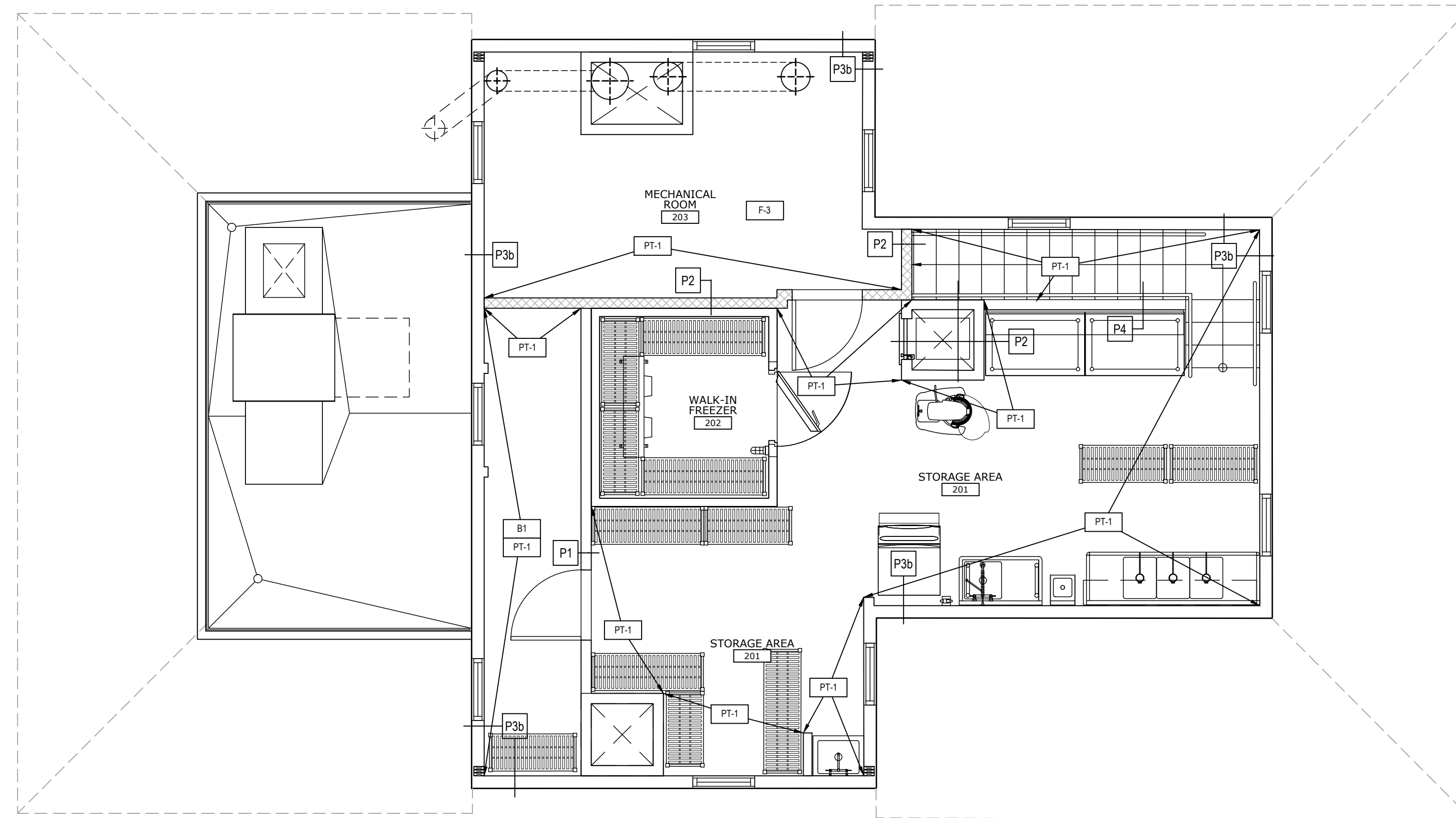
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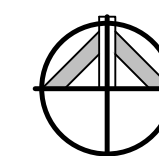
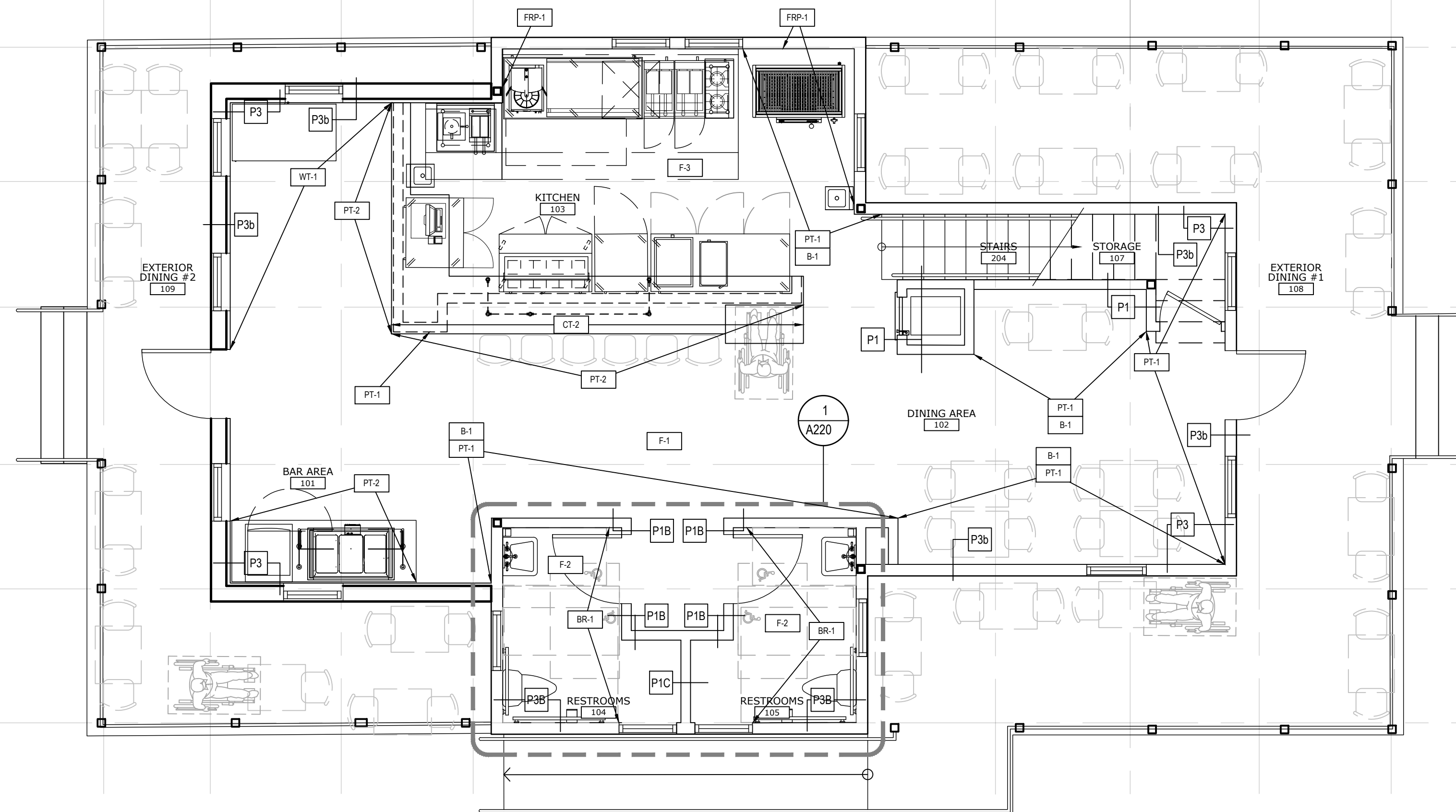
DEMOLITION PLANS
A150

PROJECT NUMBER: 25-022



SECOND FLOOR PLAN
SCALE: 1/4"=1'

2



GROUND FLOOR PLAN
SCALE: 1/4"=1'

1

FINISH SCHEDULE

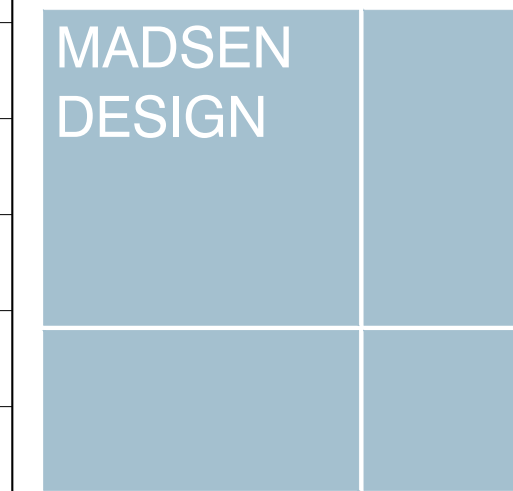
MARK	MATERIAL / FINISH	LOCATION
PT-1	SHERWIN-WILLIAMS: 7W755 HIGH REFLECTIVE WHITE - GLOSS	CEILING & SOFFITS
PT-2	CORRUGATED METAL PANEL, PAINTED.	BAR WALL, UNDER AND ABOVE THE COUNTER
PT-4	SHERWIN-WILLIAMS: BLUE - EGGSHELL	DINING ROOM ACCENT WALL
PT-5	SHERWIN-WILLIAMS: GOLD - EGGSHELL	DINING ROOM ACCENT WALL
PT-6	SHERWIN-WILLIAMS: RED - EGGSHELL	DINING ROOM ACCENT WALL
WD	WOOD FLOOR STAIN	FLOORING IN DINING, BAR AND CORRIDOR
CT-1	COUNTERTOP: CONCRETE	MILLWORK IN RESTAURANT
CT-2	COUNTERTOP: STAINLESS STEEL	MILLWORK IN DINING AREA
FRP-1	FIBERGLASS REINFORCED POLYESTER PANELS: COLOR: P-100 WHITE - FINISH: PEBBLED	KITCHEN WALLS
PL-1	PLASTIC LAMINATE: WILSONART: DESIGNER WHITE D354 (WHITE) - FINISH: MATTE #60	MILLWORK
WT-1	CERAMIC TILE: 4" X 4" - GROUT: TBD	DINING ROOM
COR	PATINA GALVANIZED CORRUGATED METAL PANELS	MILLWORK
BR-1	BRICK VENEER PANELS - TBD	DINING AREA WALLS
B-1	6" H. COVE BASE: STAIN: TBD	RESTAURANT DINING AREA
B-2	6" VINYL BASE:ROPPE: 100 BLACK	DINING AREA
BR-2	STAINLESS STEEL CLADDING	UNDER HOODS
BR-3	USG 'CLIMAPLUS' #3260 VINYL FACED 24"x 48"x 1/2", SQ. EDGED LAY-IN CLNG PANEL & METAL GRID (WHITE). CLASS 'A' IF USED IN 1 HR. CLG/FLOOR ASSEMBLY.	KITCHEN & OFFICE CEILING
F-1	STAINED WOOD FINISH	TBD
F-2	TILE FLOORS (TBD)	RESTROOMS
F-3	QUARRY TILE	KITCHEN

FINISH NOTES

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THE TACO STAND

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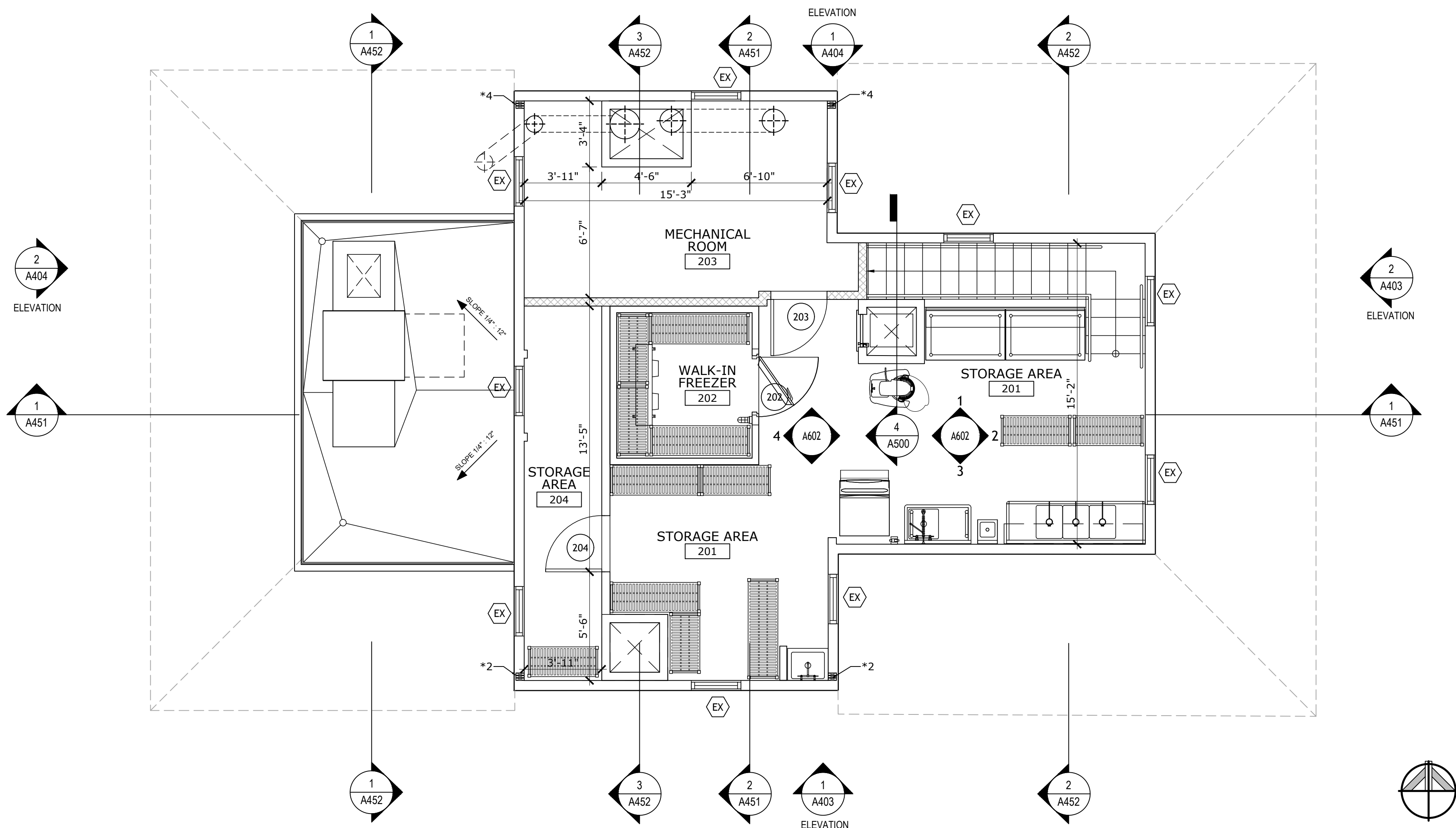
SUBMITTALS:

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FINISH, PLANS

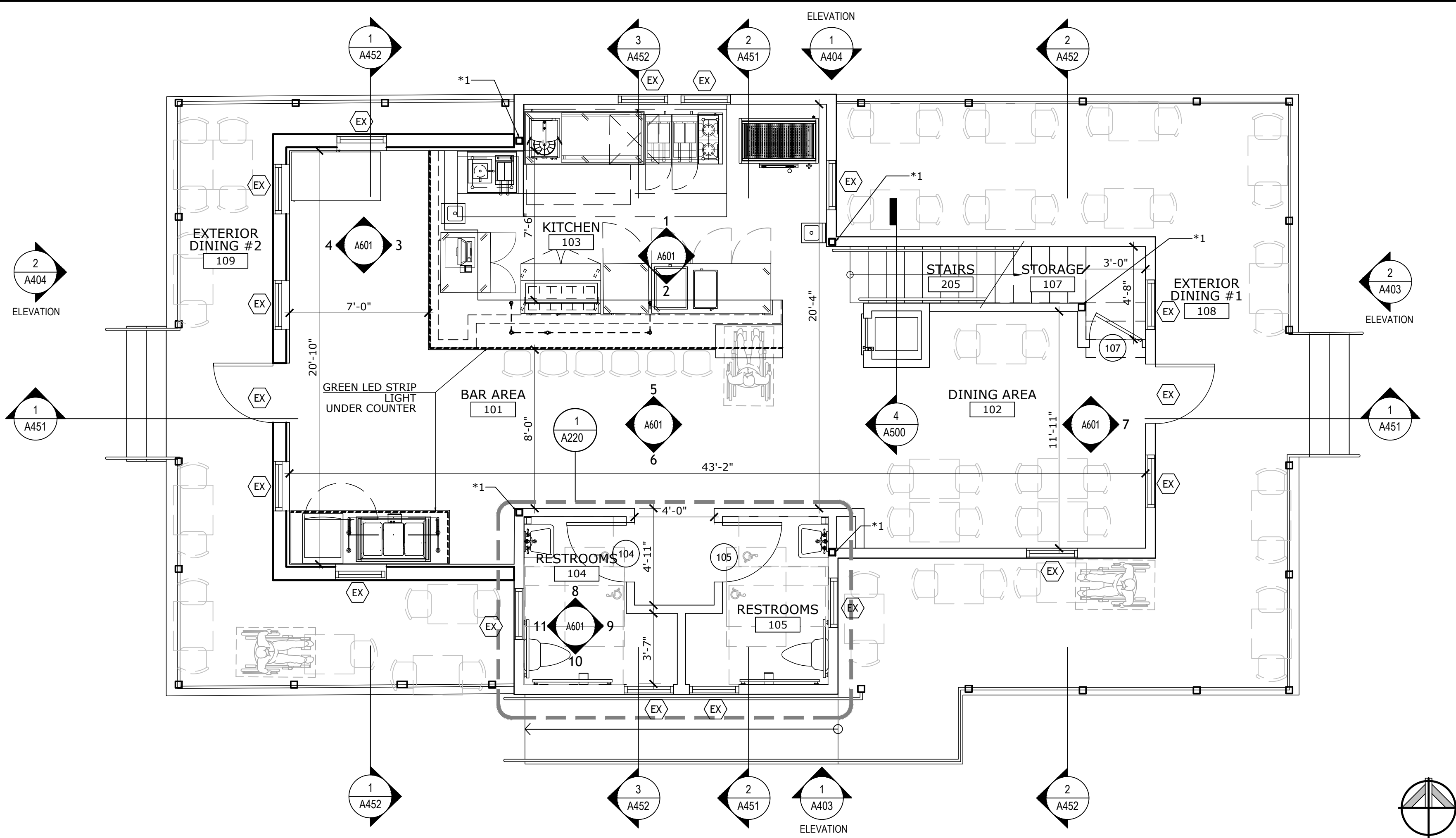
A202

PROJECT NUMBER: 25-022



SECOND FLOOR PLAN
SCALE: 1/4"=1'
2

AREA CALCULATION		
#	ROOM	GROSS AREA
101	BAR AREA STOOLS	428 SF
	BAR AREA	
102	DINING AREA	182 SF
103	KITCHEN	224 SF
104	RESTROOMS	53 SF
105	RESTROOMS	55 SF
106	JANITOR	12 SF
107	STORAGE	71 SF
108	EXTERIOR DINING #1	470 SF
109	EXTERIOR DINING #2	257 SF
201	STORAGE AREA	356 SF
202	WALK-IN FREEZER	61 SF
203	MECHANICAL ROOM	176 SF
204	STORAGE	91 SF
205	STAIRS	69 SF
TOTAL INTERIOR		1,778 SF
TOTAL EXTERIOR		727 SF
TOTAL		2,505 SF



GROUND FLOOR PLAN
SCALE: 1/4"=1'
1

SEATING CALCULATION				
1 - SEAT				
101	BAR STOOLS	6 UNITS	x 1	6 SEATS
101	ADA STOOLS	1 UNITS	x 1	1 SEAT
2 - SEAT				
102	DINING AREA	5 UNITS	x 2	10 SEATS
108	EXTERIOR DINING #1	13 UNITS	x 2	26 SEATS
109	EXTERIOR DINING #2	8 UNITS	x 2	16 SEATS
TOTAL				59 SEATS

NOTES:
*1 NEW STEEL COLUMN, REFER TO STRUCTURAL DRAWINGS
*2 NEW WOOD COLUMN, REFER TO STRUCTURAL DRAWINGS

EXISTING CONDITIONS
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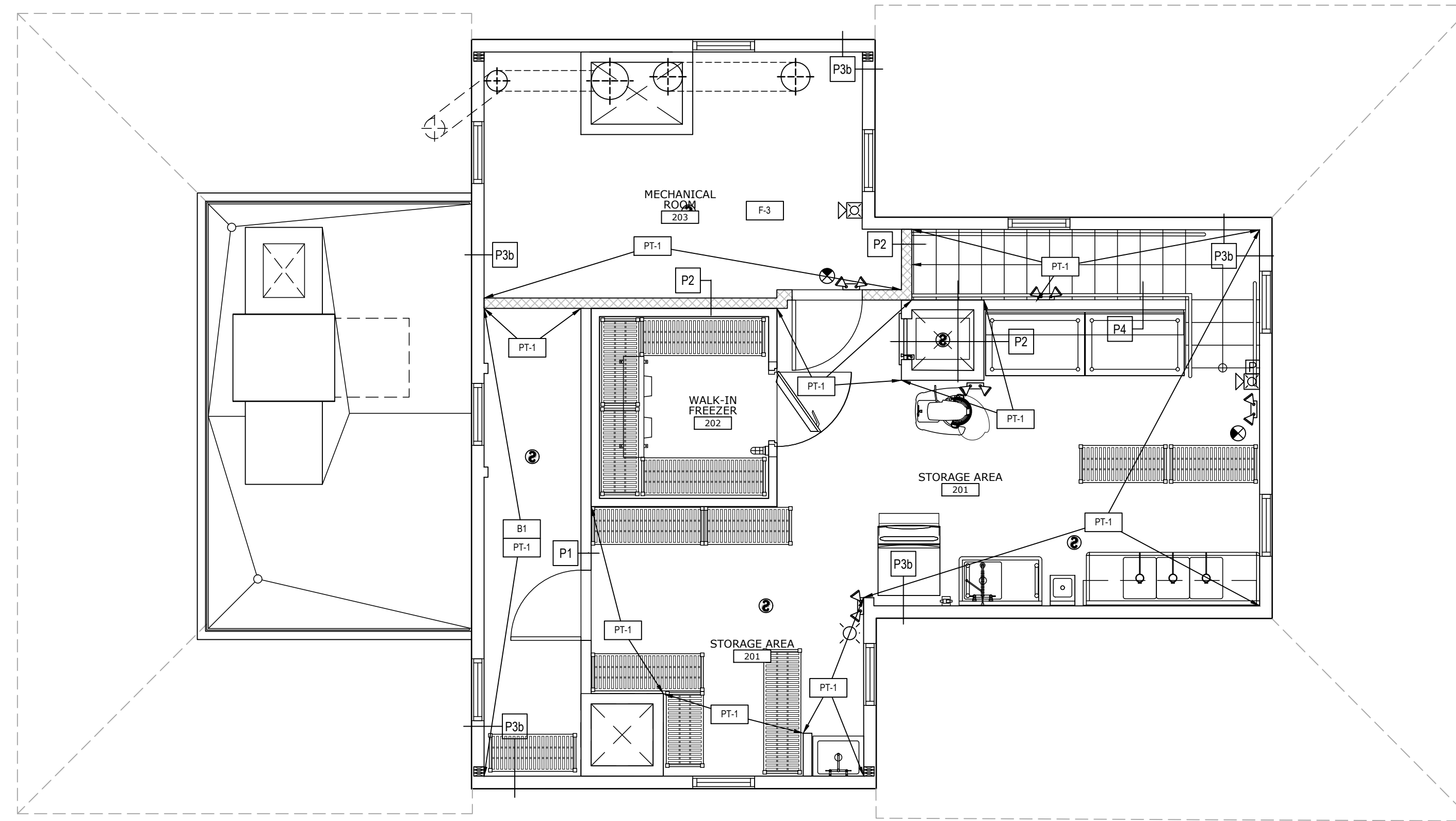
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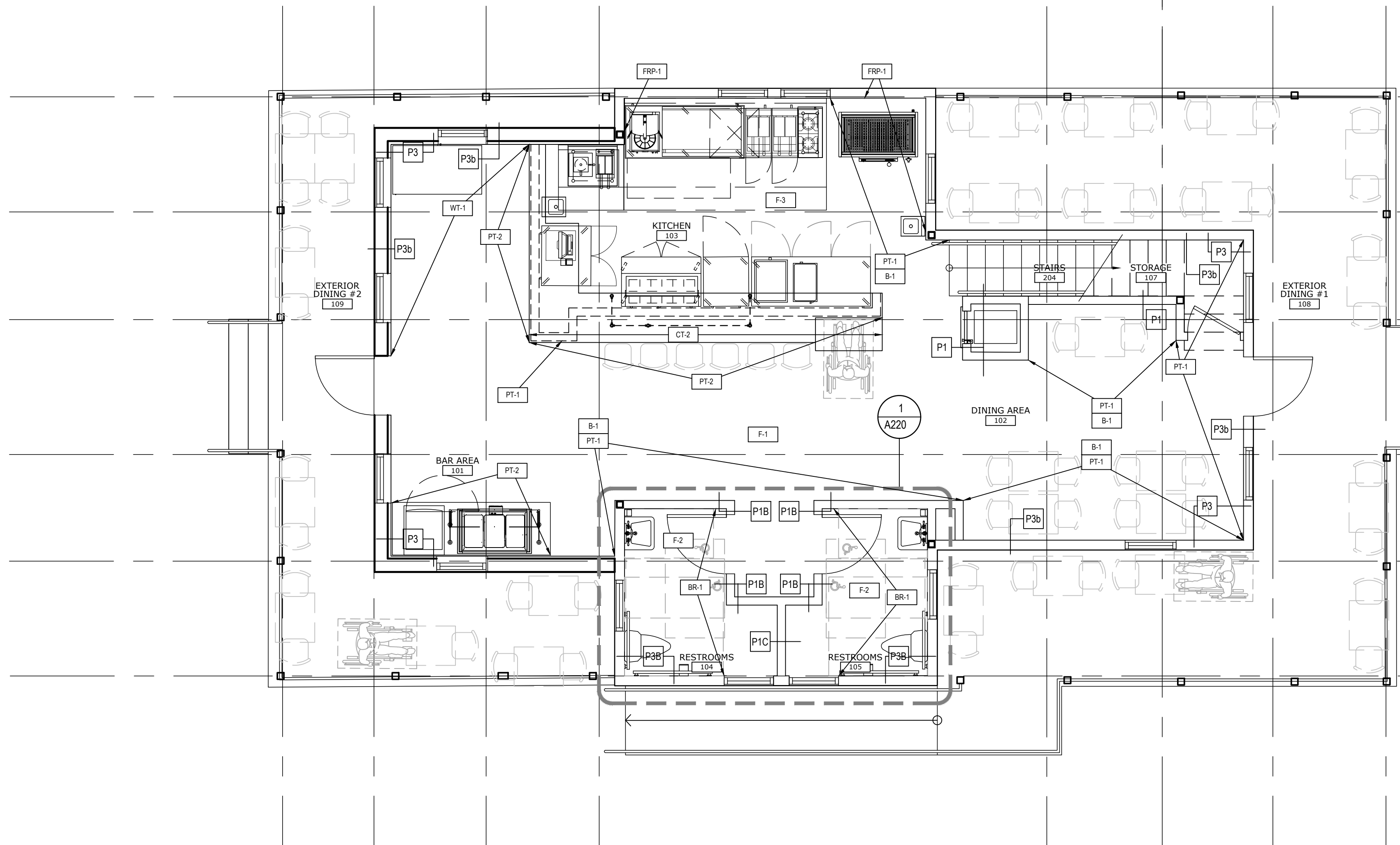
DIMENSIONED FLOOR PLANS
A201

PROJECT NUMBER: 25-022



SECOND FLOOR PLAN
SCALE: 1/4"=1'

2



GROUND FLOOR PLAN
SCALE: 1/4"=1'

1

FINISH SCHEDULE

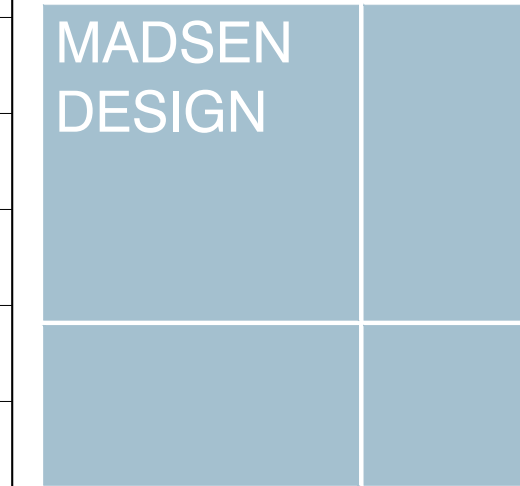
MARK	MATERIAL / FINISH	LOCATION
PT-1	SHERWIN-WILLIAMS: 7W755 HIGH REFLECTIVE WHITE - GLOSS	CEILING & SOFFITS
PT-2	CORRUGATED METAL PANEL, PAINTED.	BAR WALL, UNDER AND ABOVE THE COUNTER
PT-4	SHERWIN-WILLIAMS: BLUE - EGGSHELL	DINING ROOM ACCENT WALL
PT-5	SHERWIN-WILLIAMS: GOLD - EGGSHELL	DINING ROOM ACCENT WALL
PT-6	SHERWIN-WILLIAMS: RED - EGGSHELL	DINING ROOM ACCENT WALL
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B-1	6" H. COVE BASE: STAIN: TBD	RESTAURANT DINING AREA
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F-1	STAINED WOOD FINISH	TBD
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F-3	QUARRY TILE	KITCHEN

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THE TACO STAND

22 W. ATLANTIC AVE.
DELRAY BEACH, FL 33444

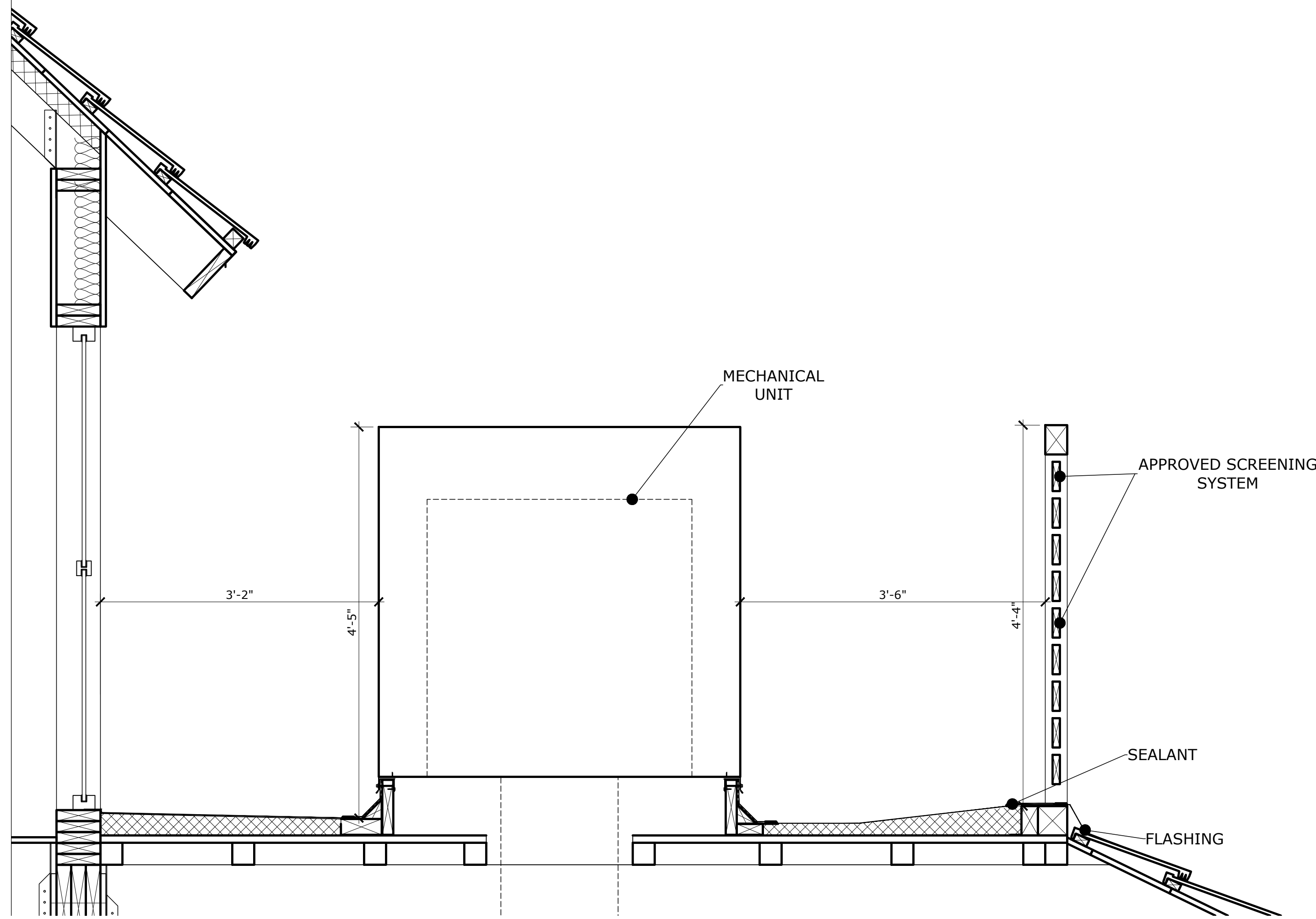
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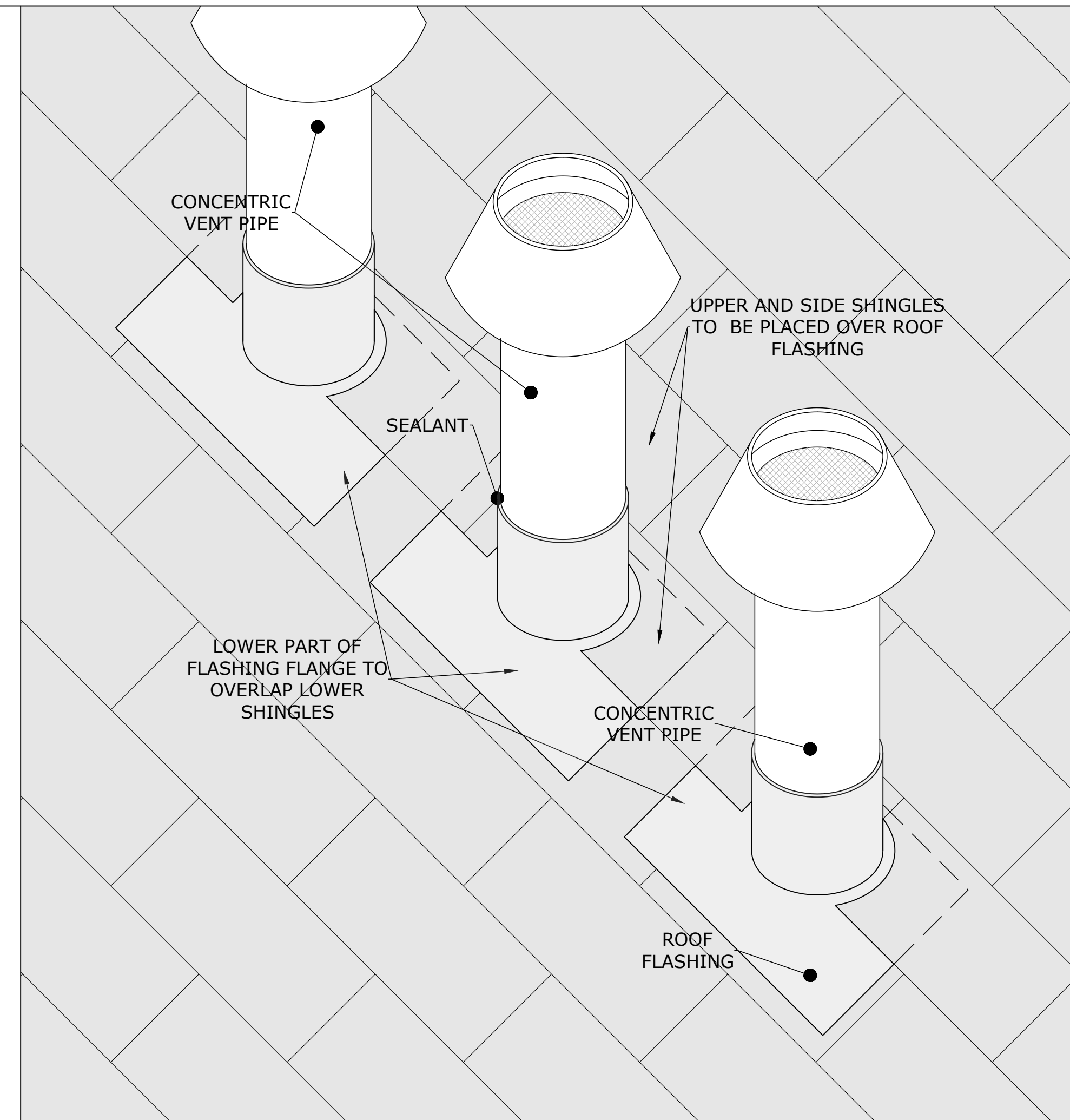
FINISH, PLANS

A202

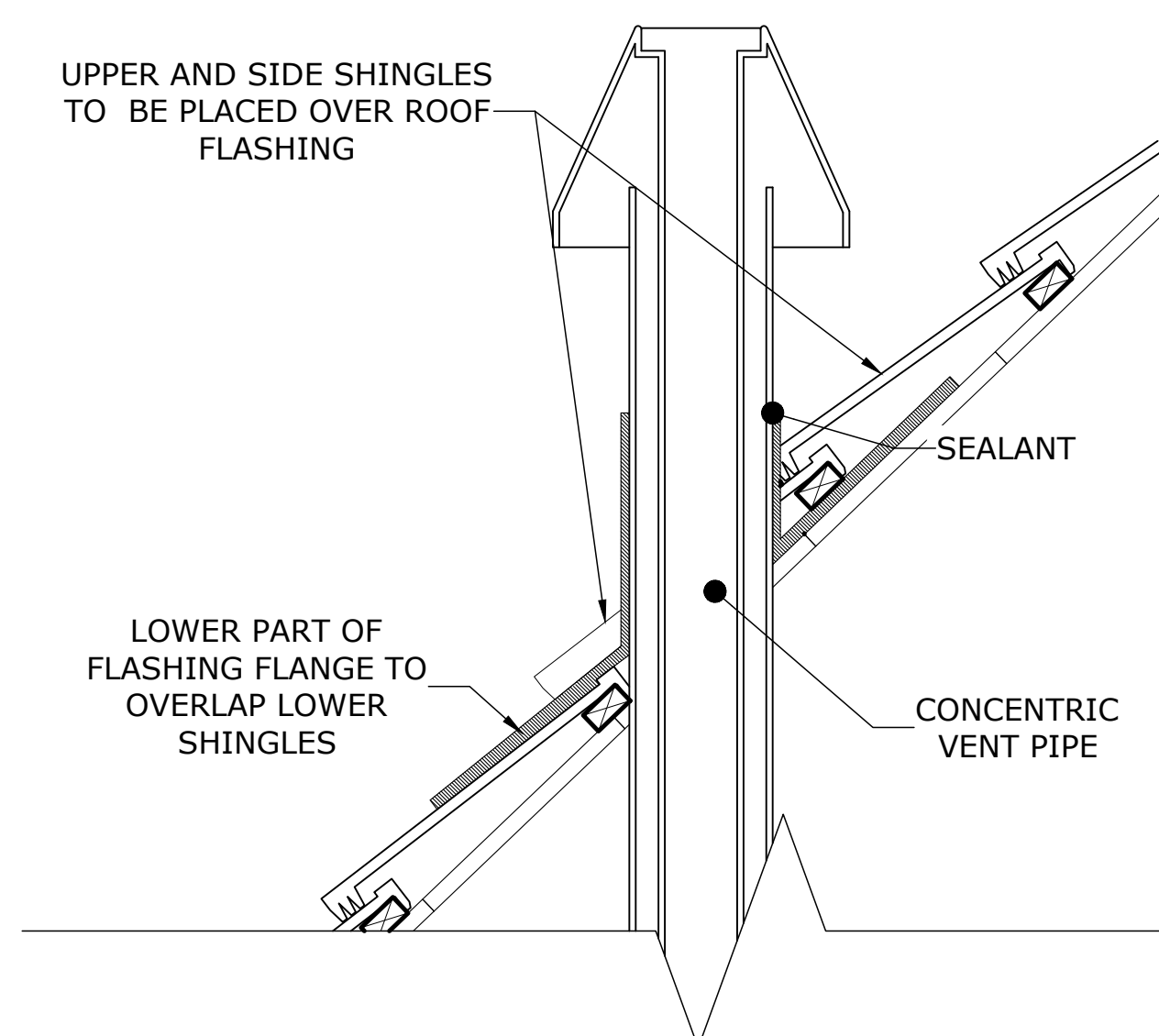
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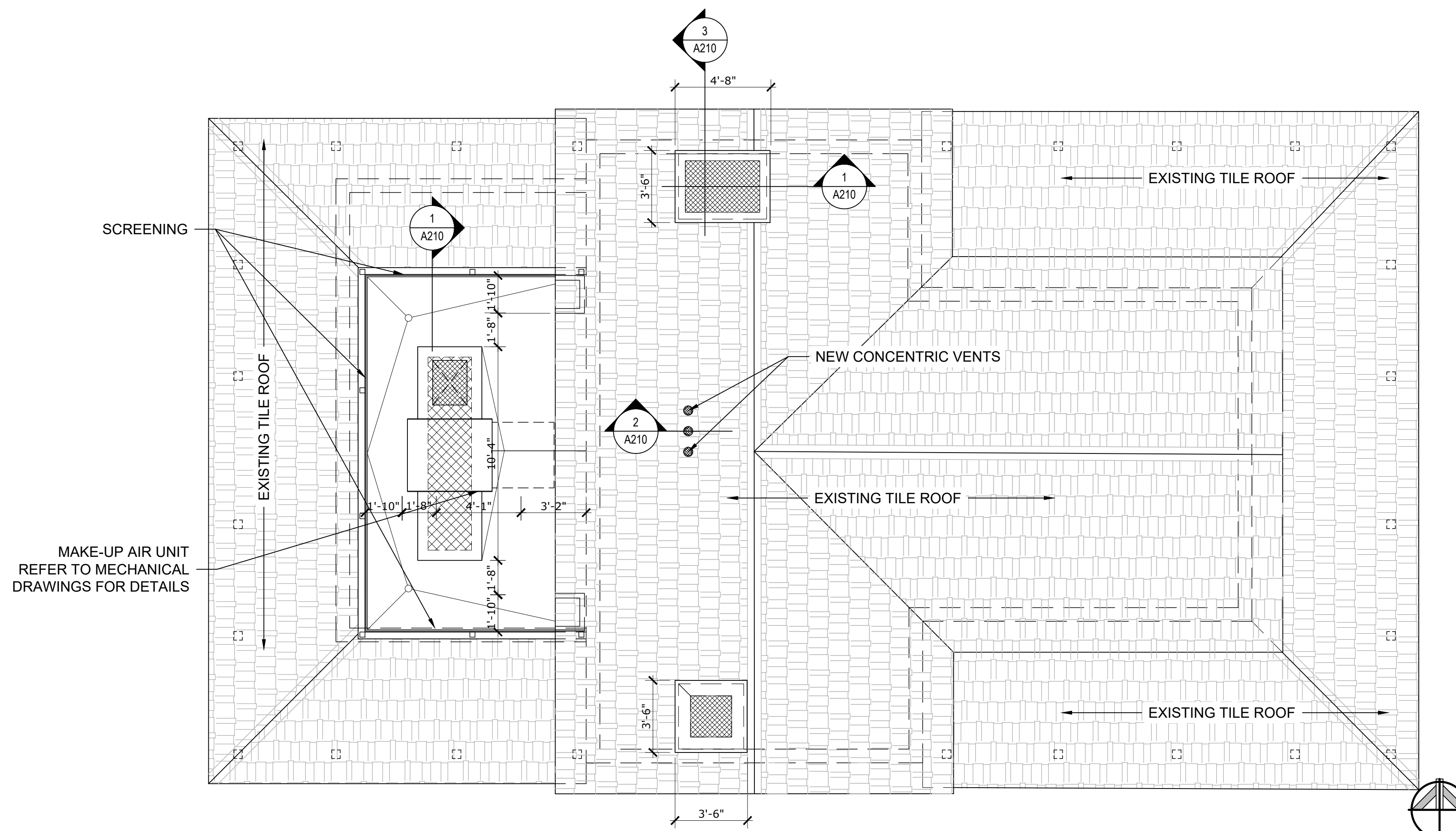
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SCALE: 1"=1' **4**



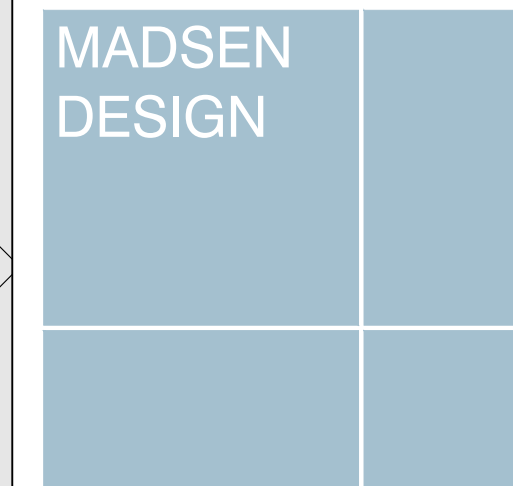
DETAIL OF ROOF FLASHING ATTACHMENT
SCALE: 1-1/2"=1' **3**



ROOF FLASHING ATTACHMENT TO CONCENTRIC VENT
SCALE: 1-1/2"=1' **2**



GROUND FLOOR PLAN
SCALE: 1/4"=1' **1**



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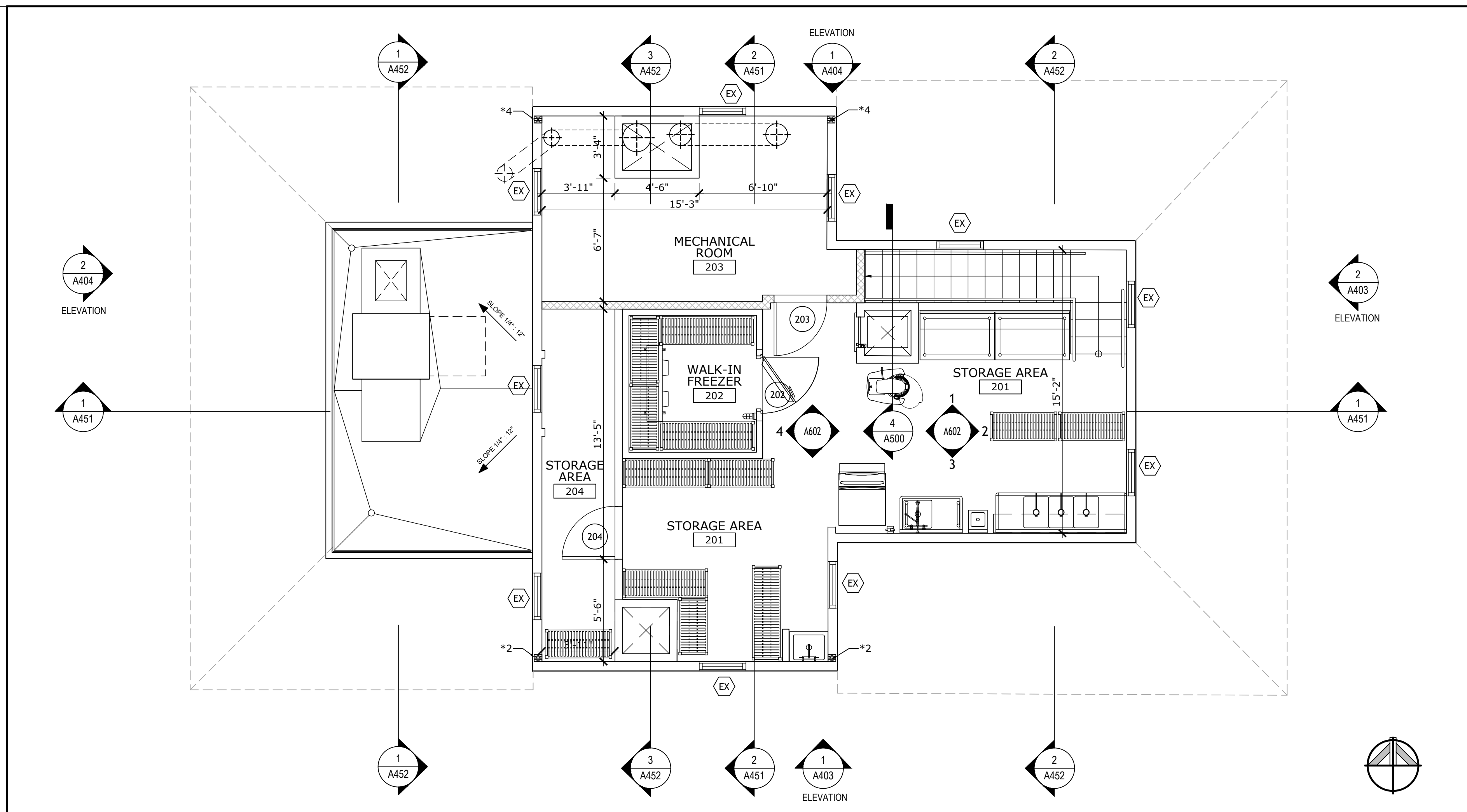
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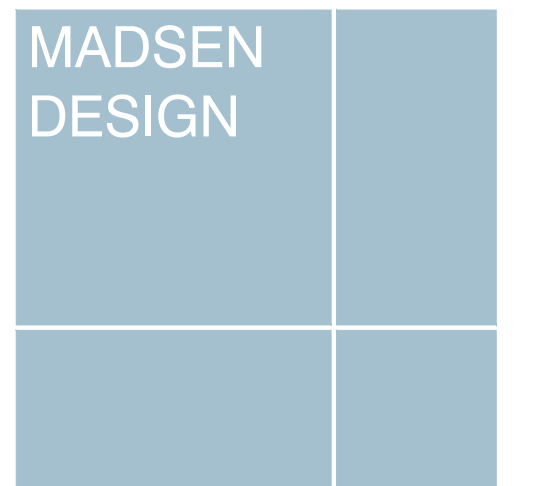
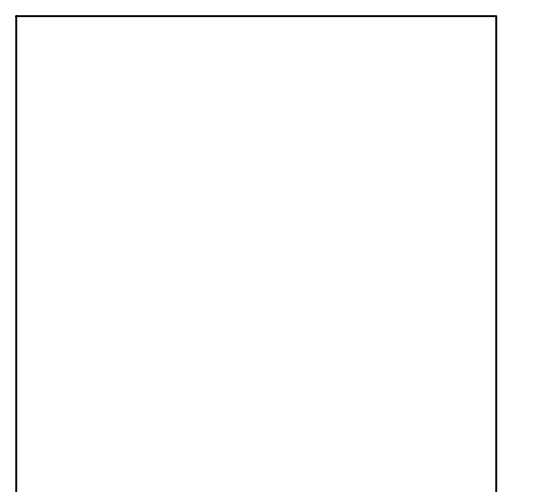
ROOF PLAN, DETAILS
A210

PROJECT NUMBER: 25-022



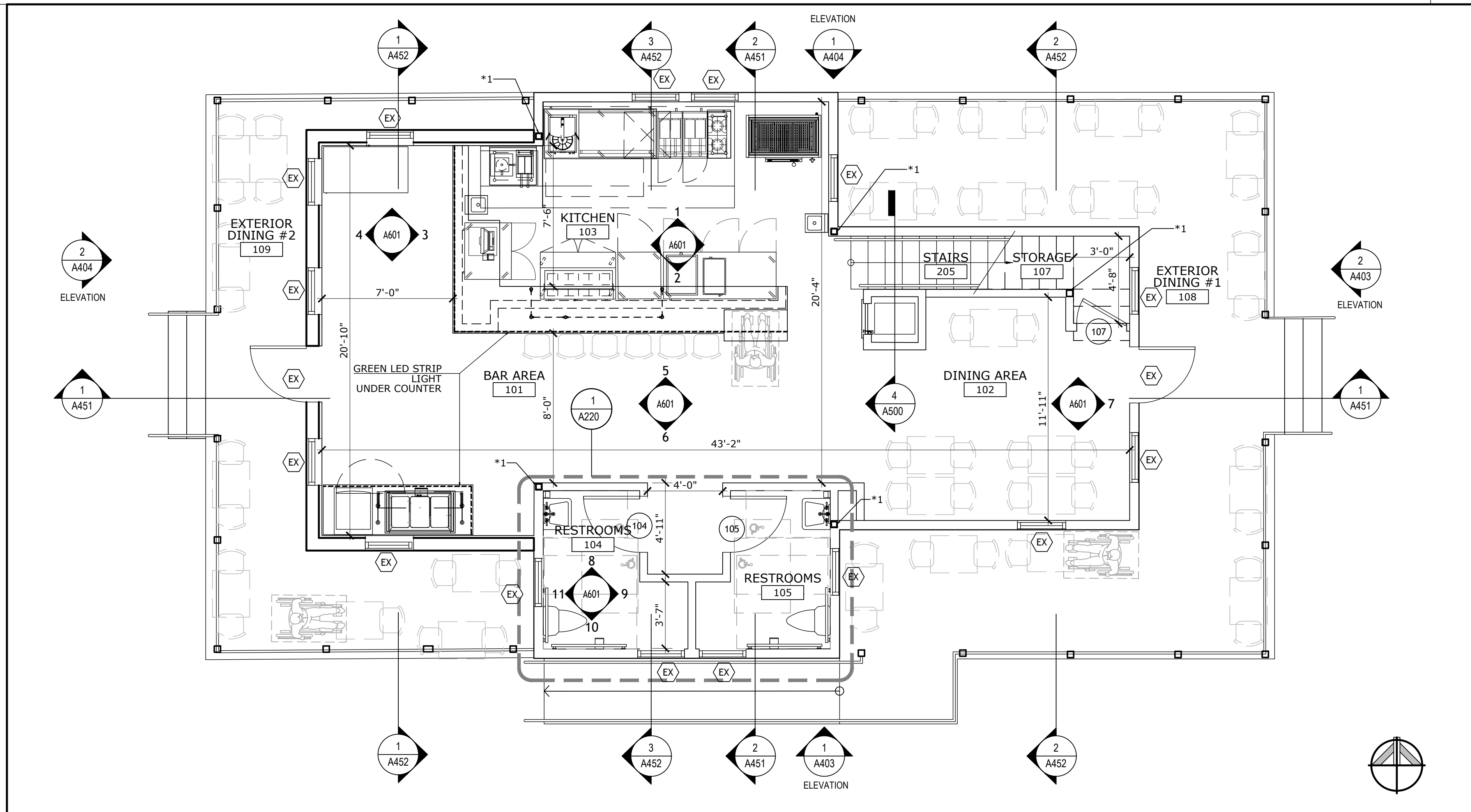
SECOND FLOOR PLAN
SCALE: 1/4"=1'

AREA CALCULATION		
#	ROOM	GROSS AREA
101	BAR AREA STOOLS	428 SF
	BAR AREA	
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GROUND FLOOR PLAN
SCALE: 1/4"=1'

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1 - SEAT				
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EXISTING CONDITIONS
THESE DRAWINGS HAVE BEEN MADE BASED ON A VISUAL INSPECTION OF THE EXISTING SURFACES. SOME ASSUMPTIONS HAVE BEEN MADE AS TO ACTUAL CONSTRUCTION, MATERIALS, AND METHODS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL ACTUAL FIELD CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS, AND UNFORESEEN CONDITIONS. IN ADDITION, THESE DRAWINGS ASSUME THAT ALL EXISTING MATERIALS ARE IN GOOD STRUCTURAL SHAPE, GOOD WORKING ORDER, AND MEET ALL APPLICABLE CODES. THE GENERAL CONTRACTOR IS RESPONSIBLE TO INSPECT ALL THE EXISTING ELEMENTS OF THE STRUCTURE AND REPORT TO THE CLIENT AND TO THE ARCHITECT OF ANY SIGNS OF POTENTIAL PROBLEMS WITH THE STRUCTURE INCLUDING, BUT NOT LIMITED TO, WOOD DECAYING ORGANISMS, WATER PENETRATION, STRUCTURAL FRACTURES, STRESSED SURFACES, BRICK AND MASONRY WEAKENING AND WEAK STRUCTURAL CONNECTIONS.

THE TACO STAND
22 W. ATLANTIC AVE.
DELRAY BEACH, FL 33444

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DIMENSIONED FLOOR PLANS
A201

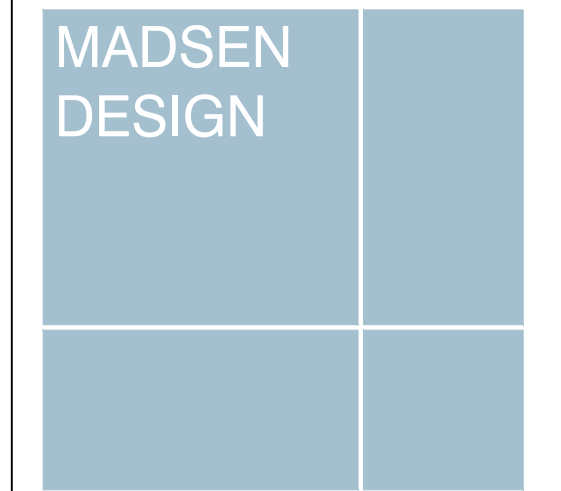
PROJECT NUMBER: 25-022



RENDERED VIEW OF EQUIPMENT SCREENING AT BALCONY



RENDERED VIEW OF EQUIPMENT SCREENING AT BALCONY



MADSEN
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- Architects
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THE TACO STAND

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RENDERED VIEWS
A300

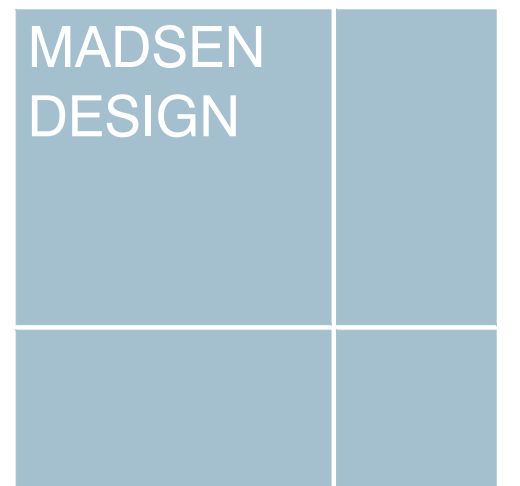
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RENDERED VIEW OF HEDGE SCREENING **2**



RENDERED VIEW OF HEDGE SCREENING **1**



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RENDERED VIEWS
A301

PROJECT NUMBER: 25-022



MADSEN
DESIGN



MADSEN
DESIGN



MADSEN
DESIGN



MADSEN
DESIGN



MADSEN
DESIGN



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DESIGN



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MADSEN
DESIGN



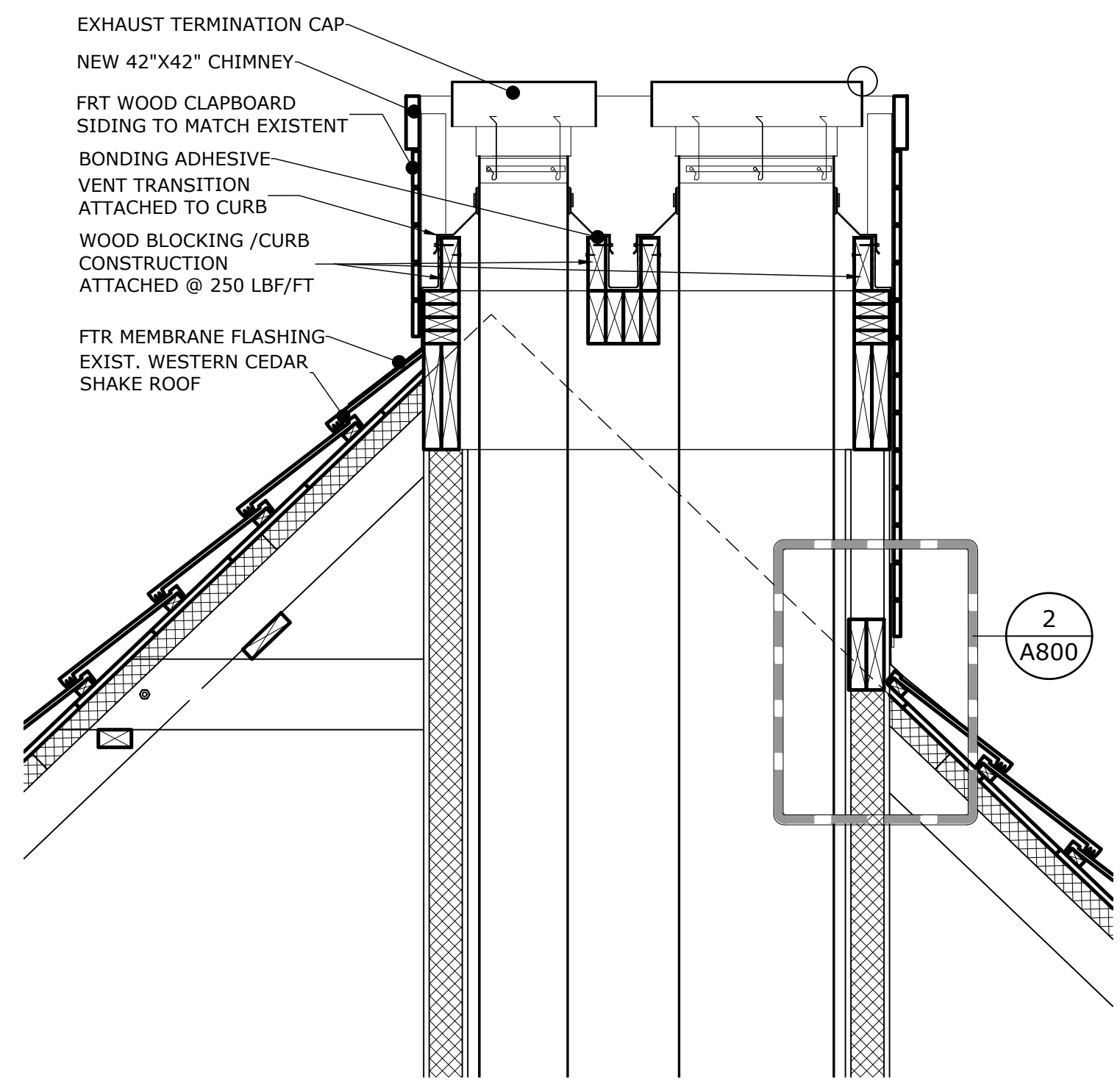
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DESIGN



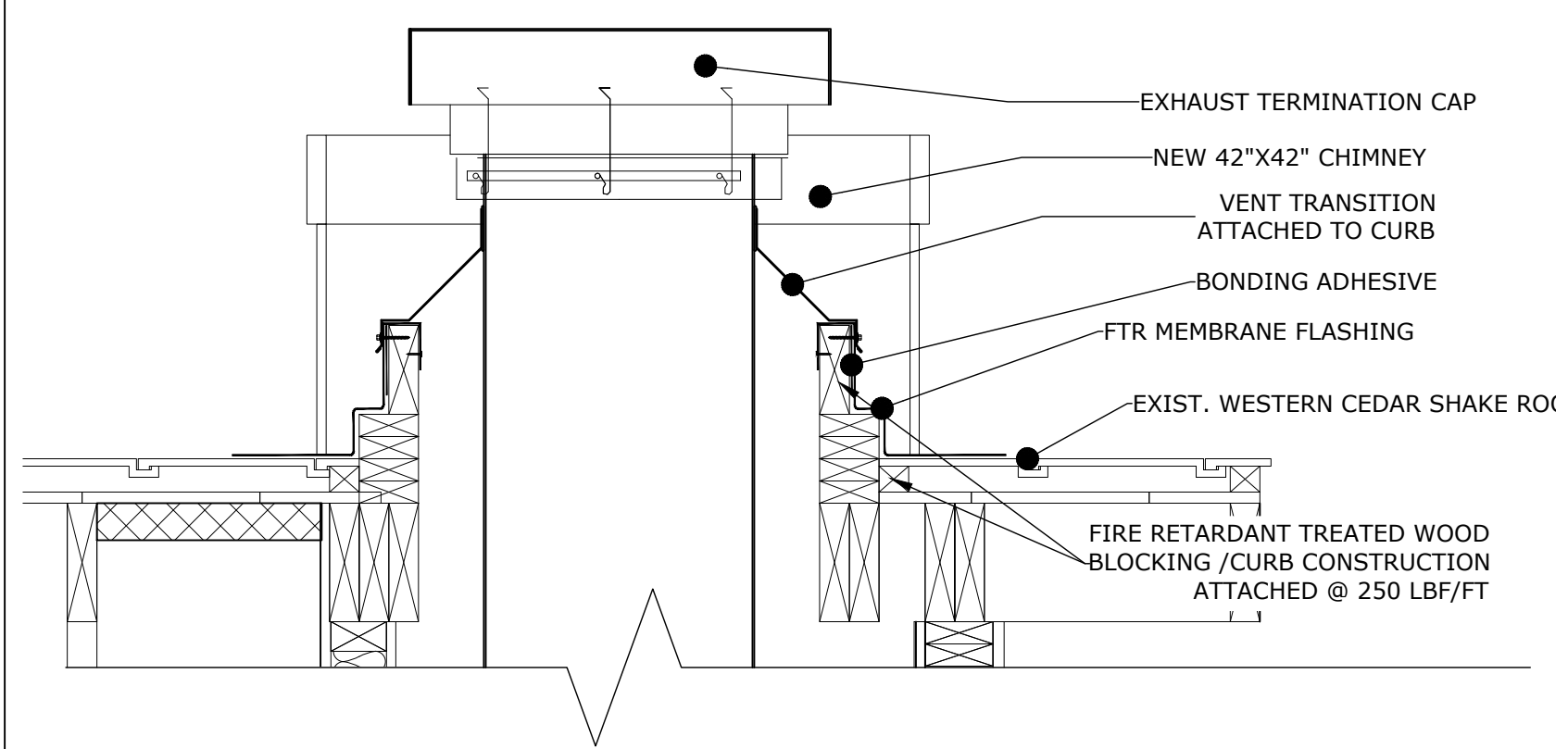
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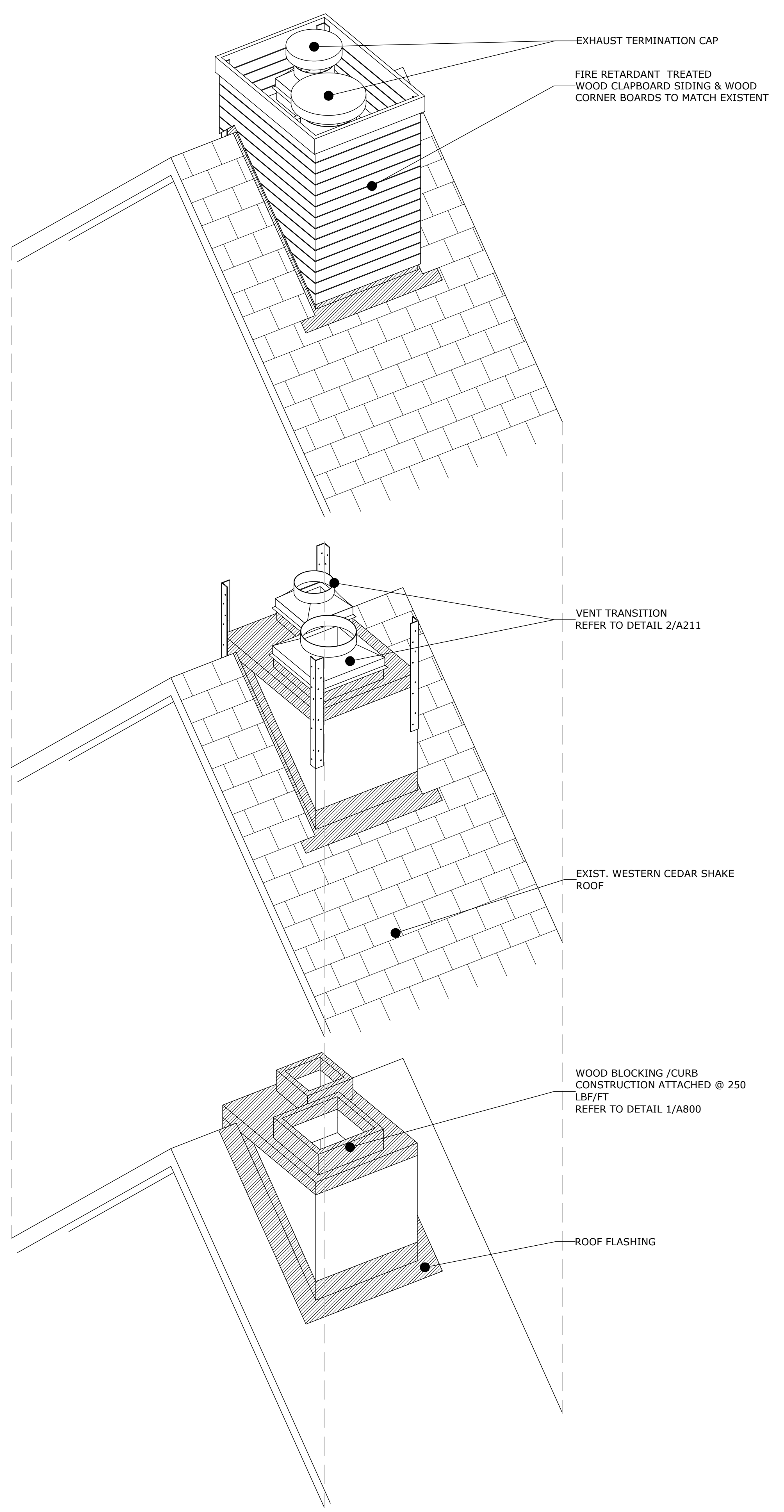
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DESIGN



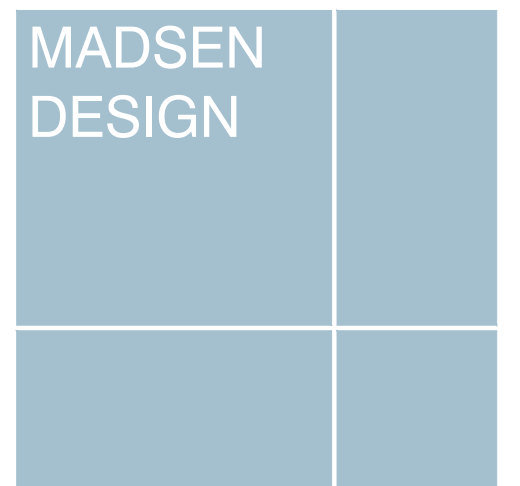
ENLARGED DETAIL OF EXHAUST VENT AND CHIMNEY 3
SCALE: 3/4"=1"



ENLARGED DETAIL OF EXHAUST VENT AND CHIMNEY 2
SCALE: 1"=1"



ASSEMBLY OF CHIMNEY... 1
SCALE: 1/2"=1"



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THE TACO STAND

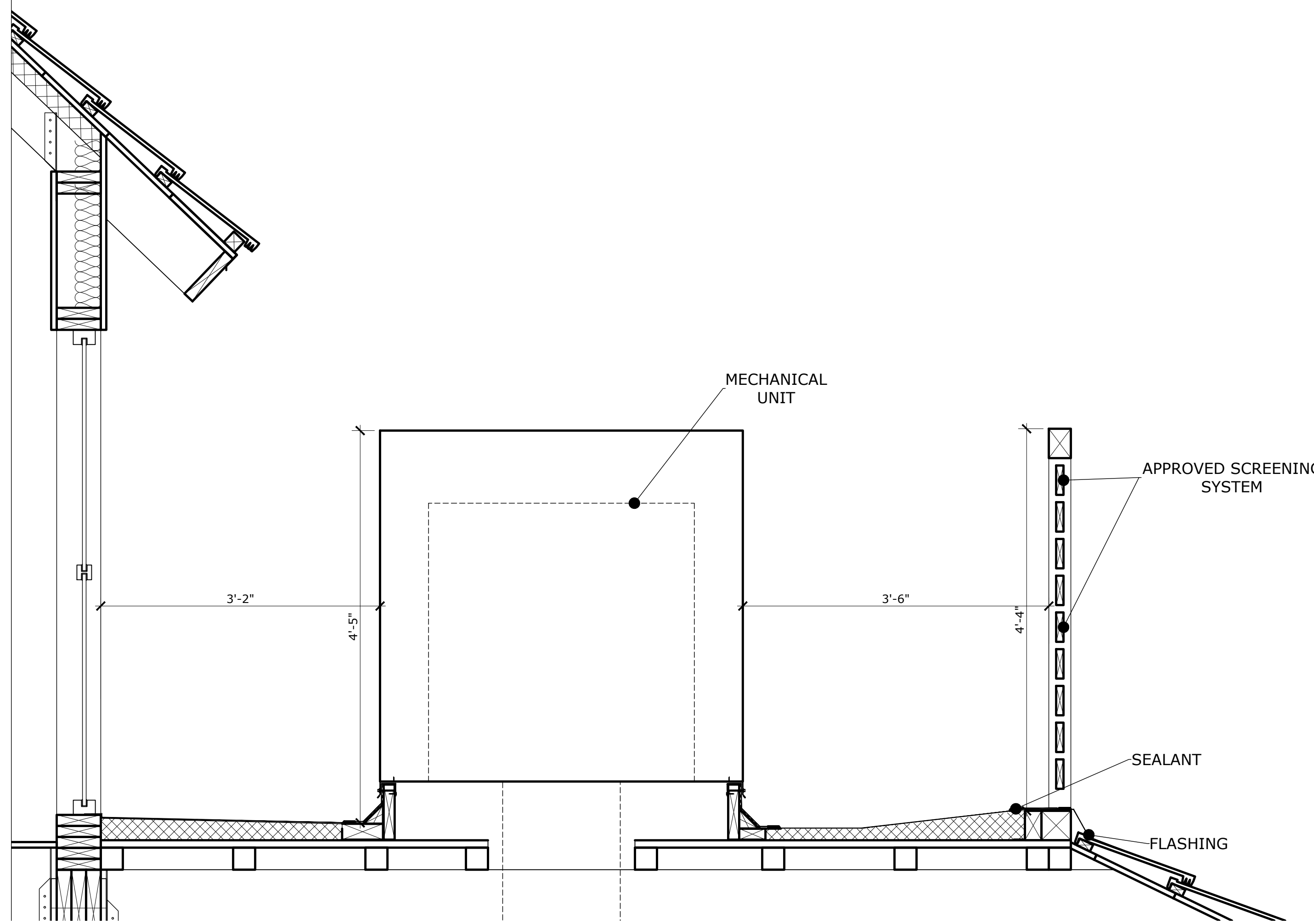
22 W. ATLANTIC AVE.
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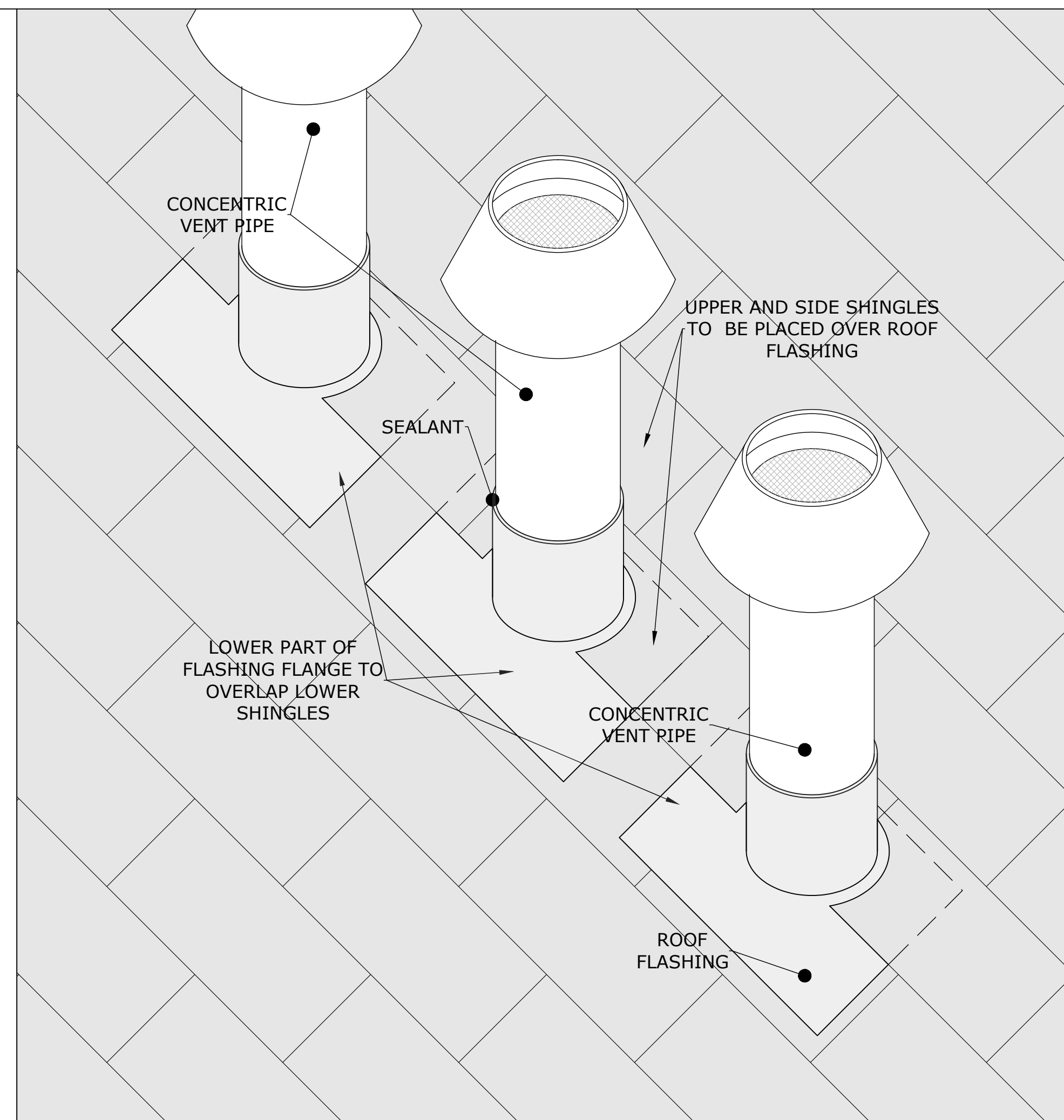
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ROOF DETAILS
A211

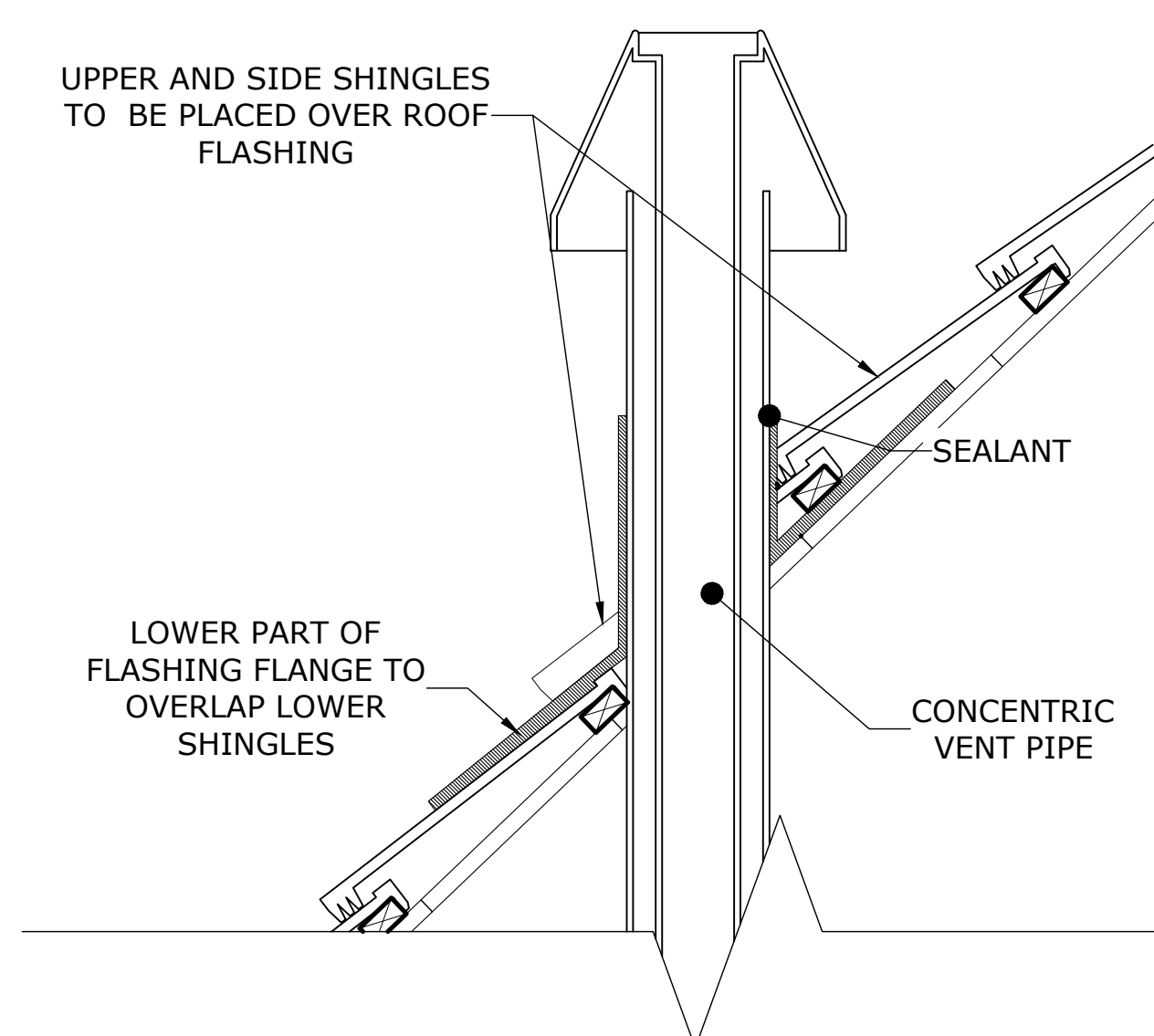
PROJECT NUMBER: 25-022



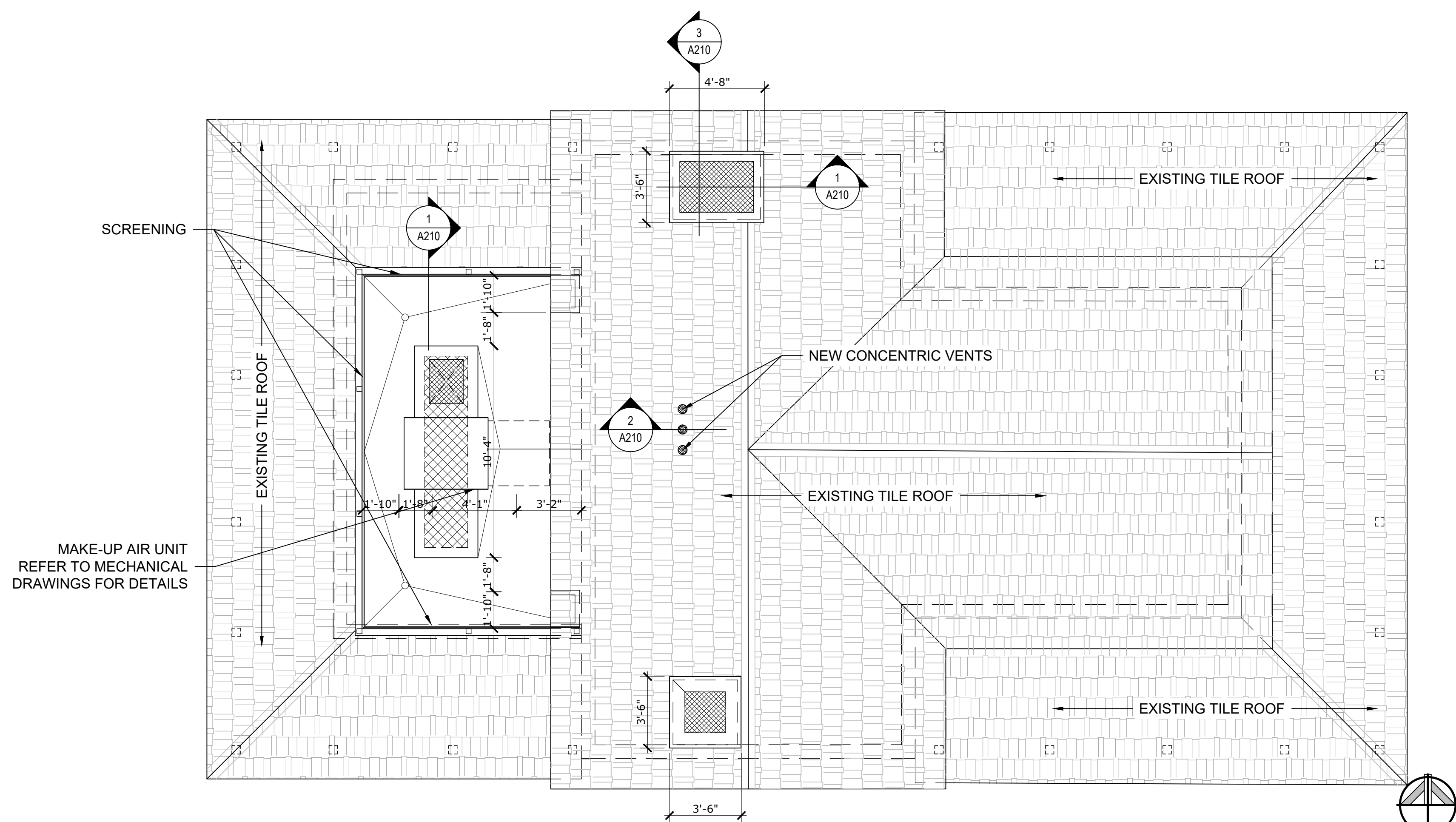
ENLARGED DETAIL OF MECHANICAL PLANTER SCREEN
SCALE: 1"=1' **4**



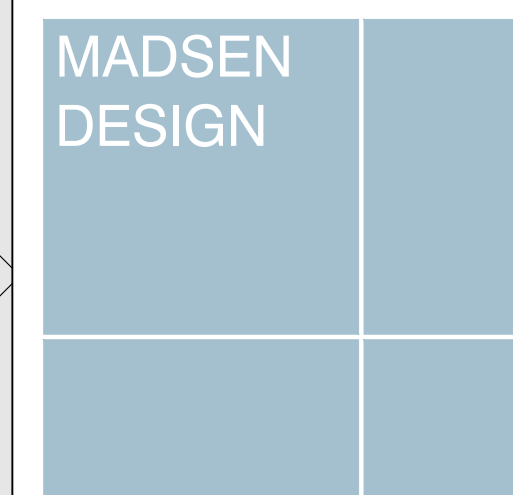
DETAIL OF ROOF FLASHING ATTACHMENT
SCALE: 1-1/2"=1' **3**



ROOF FLASHING ATTACHMENT TO CONCENTRIC VENT
SCALE: 1-1/2"=1' **2**



GROUND FLOOR PLAN
SCALE: 1/4"=1' **1**



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THE TACO STAND

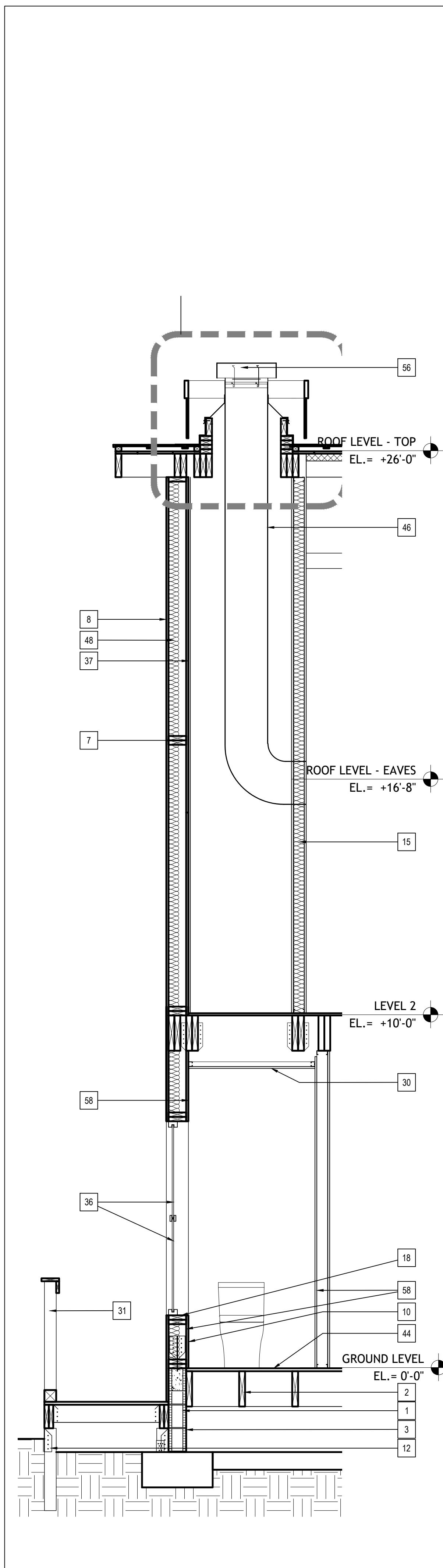
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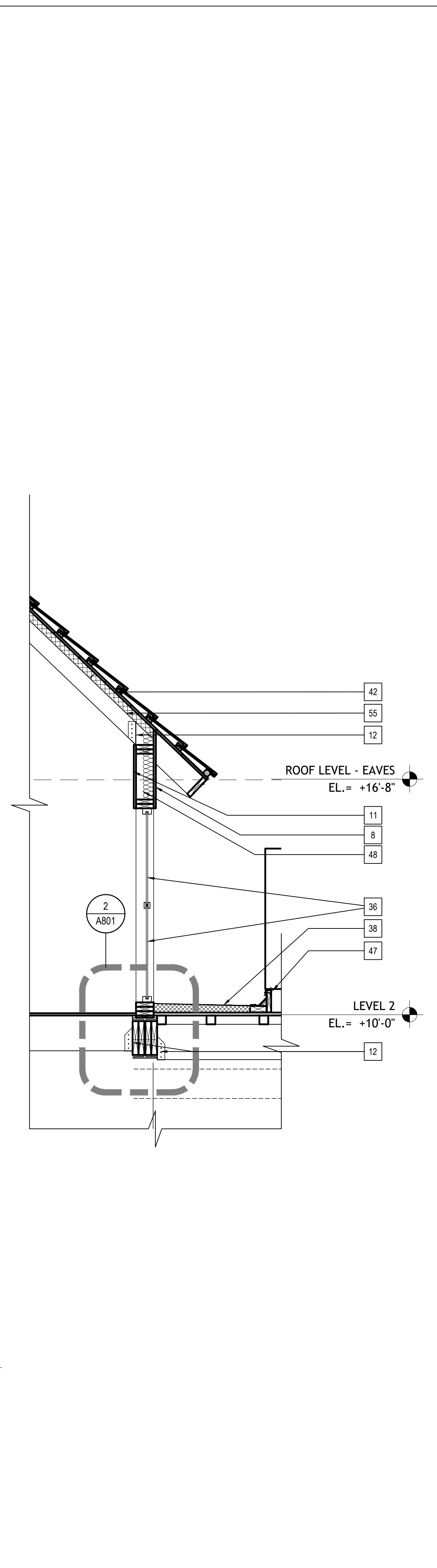
PERMIT APP SET	MM/DD/20YY

ROOF PLAN, DETAILS
A210

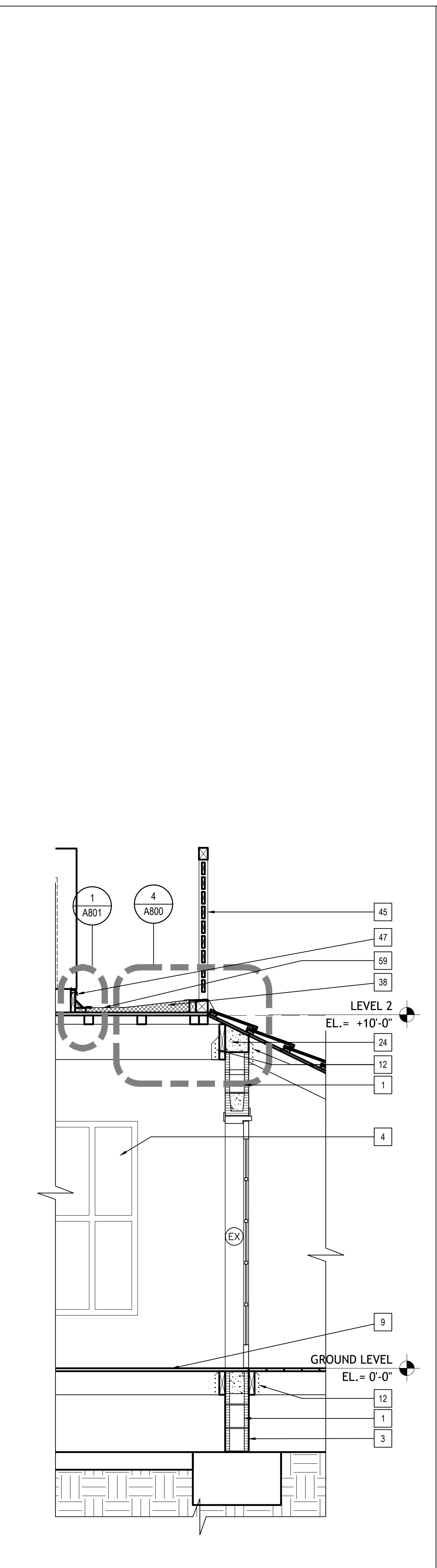
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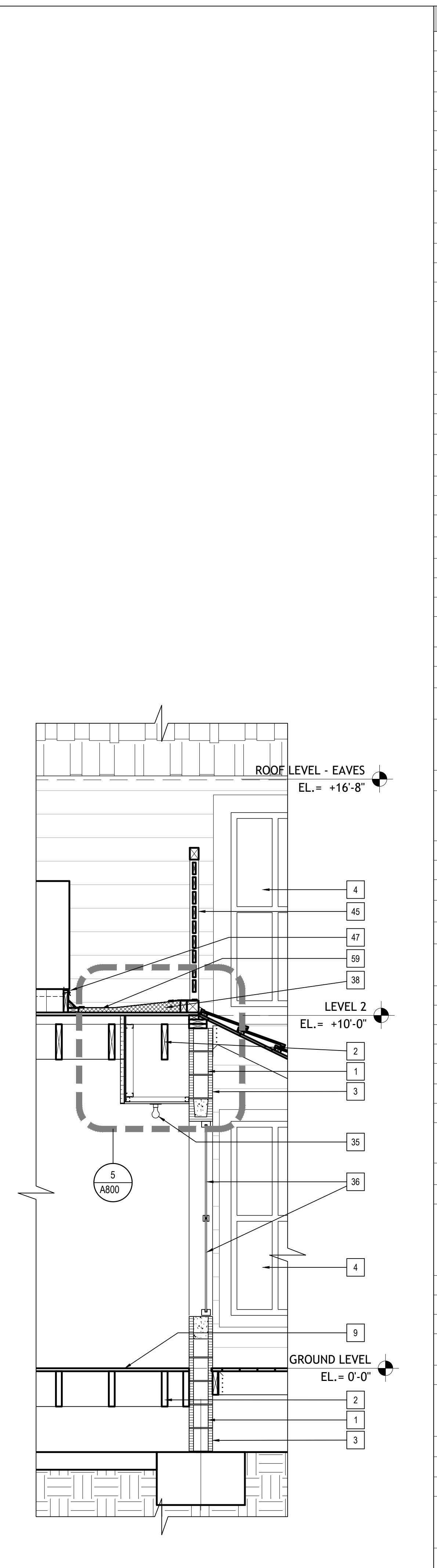
WALL SECTION 4
1/2" = 1'-0"



WALL SECTION 3
1/2" = 1'-0"



WALL SECTION 2
1/2" = 1'-0"



WALL SECTION 1
1/2" = 1'-0"

SECTION KEYNOTES	
1	8" MASONRY WALL. REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND SPECIFICATIONS
2	EXISTING WOOD FRAMING TO REMAIN, REFER TO STRUCTURAL DRAWINGS FOR REINFORCEMENTS
3	PAINTED, STUCCO SYSTEM (MIN. 5/8" THICK) WITH SMOOTH FINISH OVER MASONRY SUBSTRATE
4	EXISTING WINDOW SYSTEM TO REMAIN
5	WOOD STUD WALL FRAMING, 2X8 @ 16" O.C.
6	EXISTING PRE-FAB WOOD TRUSS SYSTEM
7	DIAGONAL BRACING, CONCEALED WITHIN STUD BAYS FOR HURRICANE WIND RESISTANCE
8	EXISTING EXTERIOR ENCLOSURE, CONTINUOUS VAPOR BARRIER AND RIGID INSULATION, BEHIND EXTERIOR FINISH, VENTILATED CAVITY WALL DETAIL.
9	WOOD FINISH FLOORING, ENGINEERED WOOD PLANK HIGH TRAFFIC, ELEVATED ON VAPOR BARRIER. REFER TO FINISH SCHEDULE. PROVIDE UNDERLAYMENT AT ALL UPPER FLOOR HARD SURFACE AREAS TO MAINTAIN IMPACT INSUL. RATINGS OF 50 (MIN.) PER IRC 2023 (9th E.D.)
10	CERAMIC TILE BASE COURSE, MOISTURE-RESISTANT, KITCHEN AND BATHROOMS, CEMENT BOARD TILE UNDERLAYMENT.
11	INTERIOR WALL SHEATING, GYPSUM BOARD WITH LIMEWASH OR PAINT
12	HURRICANE TIE-DOWNS + ANCHOR BOLTS
13	SOLID WOOD STRINGERS, PRESSURE-TREATED, RESISTANT TO HUMIDITY AND TERMITES
14	INTERIOR WOOD FRAMED STAIR AND LANDINGS, PROVIDE COMPLETE WOODFRAMED STAIR AND ASSEMBLIES, IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS, PROVIDE SLIP RESISTANT WATERPROOF FINISH SUITABLE FOR INTERIOR USE, ENSURE COORDINATE WITH STRUCTURAL DRAWINGS FOR DETAILS, SUPPORTS AND ANCHORAGE REQUIREMENTS, VERIFY DIMENSIONS ON SITE PRIOR TO INSTALLATION.
15	INTERIOR PARTITION, WOOD STUDS, 1 HOUR FIRE RATING, ASSEMBLY # UL-U305, REFER TO FIRE RATING ASSEMBLIES IN SHEET A900
16	FLOOR CEILING ASSEMBLY, WOOD JOISTS, 1 1/2 HOUR FIRE RATING, ASSEMBLY # UL-L510, REFER TO FIRE RATING ASSEMBLIES IN SHEET A900
17	1 1/2" HANDRAIL MOUNTED AT 2'-10"
18	INTERIOR WOOD WINDOW SILL: SOLID MDF, CUSTOM PROFILED, FINISH TO MATCH INTERIOR TRIM. INSTALL PER SECTION 06 2000 - CAULKED AND PAINTED AT WALL INTERSECTIONS.
19	PERLICK STAINLESS STEEL STUDS - MODULAR BAR SUPPORT SYSTEM, CORROSION-RESISTANT FOR HUMID/TROPICAL ENVIRONMENTS
20	STUD ANCHORAGE TO FLOOR SLAB - STAINLESS STEEL BASE PLATES WITH MECHANICAL FASTENERS, SEALED AGAINST MOISTURE
21	
22	PLYWOOD SUBBASE, 3/4" EXTERIOR GRADE, MOISTURE-RESISTANT, SCREWED TO STUD FRAME
23	SERVICE CHASE INTEGRATION, CONCEALED CONDUIT FOR BAR / KITCHEN UTILITIES (ELECTRICAL, PLUMBING, REFRIGERATION LINES)
24	GLASS-FIBER REINFORCED CONCRETE (GRFC) COUNTERTOP, FINISH THICKNESS: 3/4" OVER PLYWOOD, APPLIED WITH BONDING AGENT FOR ADHESION, CHAMFERED EDGES.
25	STAINLESS STEEL PEANUT RAIL
26	NEW WALK-IN COOLER / FREEZER, CEILING, FLOOR AND WALLS, PROVIDE SHOP DRAWINGS.
27	LIGHTING RECESS UNDER COUNTER EDGE - AMBIENT GLOW, GREEN LED STRIP.
28	SUSPENDED ACOUSTIC CEILING GRID, 2X2 PANELS, CORROSION-RESISTANT SUSPENSION SYSTEM - GALVANIZED STEEL, ACCESS PANELS INTEGRATED FOR MEP MAINTENANCE IN BAR/KITCHEN AREAS
29	EDGE TRIM DETAIL, ALUMINUM ANGLE.
30	NEW TONGUE AND GROOVE STAINED WOOD CEILING, REFER TO REFLECTED CEILING PLAN
31	EXTERIOR WOOD RAILING, 4X4 WOOD POSTS PRESSURE-TREATED HARDWOOD ANCHORED TO DECK FRAMING, RESISTANT TO HUMIDITY AND TERMITES, TOP RAIL: 2X6 TROPICAL HARDWOOD PLANK, BALUSTER SPACING ≤ 4" O.C. - CODE-COMPLIANT FOR SAFETY
32	PLANTER BOX FRAMING: PRESSURE-TREATED WOOD STUDS/PANELS, RAISED BASE WITH DRAINAGE LAYER - GRAVEL TO PREVENT WATERLOGGING. INTEGRATED WATERPROOF LINER ANCHORAGE TO TERRACE SLAB/DECK FRAMING - CONCEALED BRACKETS FOR STABILITY IN WIND LOADS, EXTERIOR WOOD CLADDING, TROPICAL HARDWOOD SLATS - CONTINUOUS WITH TERRACE RAILING AND ENCLOSURE AESTHETIC, DRAINAGE OUTLET AT PLANTER BASE.
33	UNDER COUNTER KITCHEN EQUIPMENT, REFER TO KITCHEN EQUIPMENT PLANS FOR SPECIFICATIONS
34	DECORATIVE CORRUGATED METAL SHEET CLADDING INSTALLED AS FINISH UNDER BAR COUNTER, GALVANIZED STEEL, PRIMED AND PAINTED, WHITE BASE COAT WITH DECORATIVE PAINT TREATMENT BY OWNER, CONCEALED BRACKETS OR CLIPS TO COUNTER SUBFRAME. INSTALLATION COORDINATED WITH BAR COUNTER PLYWOOD SUBBASE + CONCRETE LIKE FINISH ABOVE.
35	NEW LIGHT FIXTURE, REFER TO MEP DRAWINGS
36	EXISTING GLAZING
37	NEW 5/8" GYPSUM BOARD FASTENED TO WOOD FRAMING. REFER TO FLOOR PLANS, ENLARGED UNIT PLANS AND WALL TYPES ON SHEET A-900.
38	TAPERED INSULATION, ENSURING A MINIMUM 1/4" PER FOOT SLOPE.
39	NEW 5/8" GYPSUM BOARD SOFFIT ABOVE FASTENED TO WOOD STUD FRAMING, PRIMED AND PAINTED, REFER TO WALL TYPES IN SHEET A900.
40	WOOD STUD PARTITION WALL, NON-LOAD-BEARING INTERIOR WALL CONSTRUCTED OF NOMINAL 2X4 (ACTUAL 1.5"X3.5") STUDS, SPACED AT 16" O.C., WITH CONTINUOUS TOP AND SOLE PLATES. SHEATHED BOTH SIDES WITH 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE. PROVIDES SPATIAL DIVISION ONLY; NOT INTENDED FOR STRUCTURAL LOAD-BEARING.
41	NEW INTERIOR DOOR AND FRAME, REFER TO DOOR SCHEDULE
42	RIGID BOARD SHEATING
43	WALL BASE, REFER TO FINISH FLOOR PLANS AND INTERIOR ELEVATIONS
44	INTERIOR FLOOR FINISH, REFER TO FINISH FLOOR PLANS
45	PROPOSED SCREENING
46	EXHAUST PIPE FROM KITCHEN HOOD, REFER TO MEP DRAWINGS FOR DETAILS.
47	PARAPET DETAIL REFER TO SHEET 800 FOR CLARIFICATION
48	NEW 3" THICK MINERAL FIBER SOUND BATT. INSULATION IN STUD CAVITIES, TYP. (SEE WALL TYPES)
49	HILTI CFS-CID M CAST-IN FIRESTOP SLEEVE, FOR Ø18" AND Ø12" STEEL KITCHEN EXHAUST PIPES THROUGH WOOD DECK, INSTALLED PER UL SYSTEM AND MANUFACTURER'S INSTRUCTIONS.
50	NEW WOOD FRAMING, REFER TO STRUCTURAL DRAWINGS FOR DETAILS
51	MODIFY EXISTING ALUMINUM WINDOW ASSEMBLY TO BE FULLY DISMOUNTABLE FROM THE EXTERIOR FOR CLEANING, MAINTENANCE, AND REPLACEMENT OF DECORATIVE BLINDS. PROVIDE 1 1/2" x 1 1/2" STRUCTURAL STEEL ANGLE AT INTERIOR FACE, SECURED WITH EXTERIOR ACCESSIBLE BOLTS TO RESIST REQUIRED WIND LOADS. ENSURE ASSEMBLY MAINTAINS CLEAR EXTERIOR GLAZING AS REQUIRED BY CITY. COORDINATE ALL FASTENERS, WEATHER SEALS, AND INSTALLATION DETAILS WITH STRUCTURAL AND WINDOW MANUFACTURER REQUIREMENTS. REFER TO ISOMETRIX SCHEME (3 / A404), AND NEW WALL DETAIL (2 / A900).
52	DUMB WAITER, REFER TO KITCHEN EQUIPMENT DRAWINGS
53	HOOD, REFER TO KITCHEN EQUIPMENT DRAWINGS
54	BACKING BOARD SHEATING
55	HUNTER XCI PLY INSULATED PANEL, POLYISOCYANURATE RIGID INSULATION LAMINATED TO 5/8" APA-RATED PLYWOOD, INSTALLED TO THE INTERIOR FACE OF EXISTING ROOF SHEATHING. 3.5" THICK, COMPLIES WITH FLORIDA BUILDING CODE FOR INTERIOR RETROFIT APPLICATIONS.
56	EXHAUST TERMINATION CAP
57	INSTALL CONTINUOUS STEEL ROD TO SUPPORT DECORATIVE BLINDS. ROD TO BE MOUNTED TO EXISTING VERTICAL WOOD STUDS USING BOLTED STEEL PLATES OR BRACKETS, PROVIDING ADEQUATE CAPACITY FOR BLIND WEIGHT AND MAINTENANCE ACCESS. ALIGN ROD PARALLEL TO GLAZING AND COORDINATE LOCATION WITH INTERIOR SHEATHING AND WINDOW ASSEMBLY. REFER TO ISOMETRIX SCHEME (3 / A404), AND NEW WALL DETAIL (2 / A900).
58	MOISTURE-RESISTANT GYPSUM WALL BOARD SHEATING IN BATHROOMS, TILE FINISH TO 7'-0", PAINT ABOVE
59	RIGID INSULATION, 2.5" THICK, MECHANICALLY FASTENED TO PLYWOOD SUBBASE; CONTINUOUS THERMAL BARRIER
60	CONCENTRIC VENTS
61	PROVIDE FIXED DECORATIVE WHITE BLINDS INSTALLED BETWEEN EXISTING CLEAR GLAZING AND NEW INTERIOR FIBER CEMENT SHEATHING. BLINDS TO BE NON OPERABLE AND MOUNTED TO STEEL ROD SUPPORT SYSTEM. ENSURE BLINDS PROVIDE FULL VISUAL SCREENING OF KITCHEN WALL WHILE MAINTAINING REQUIRED EXTERIOR TRANSPARENCY. REFER TO ISOMETRIX SCHEME (3 / A404), AND NEW WALL DETAIL (2 / A900).

WALL KEYNOTES
N.T.S.

MADSEN DESIGN

- Architects
- Planners
- Interior Design

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Boca Raton FL 33432

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GREG MADSEN - AR92411

THE TACO STAND

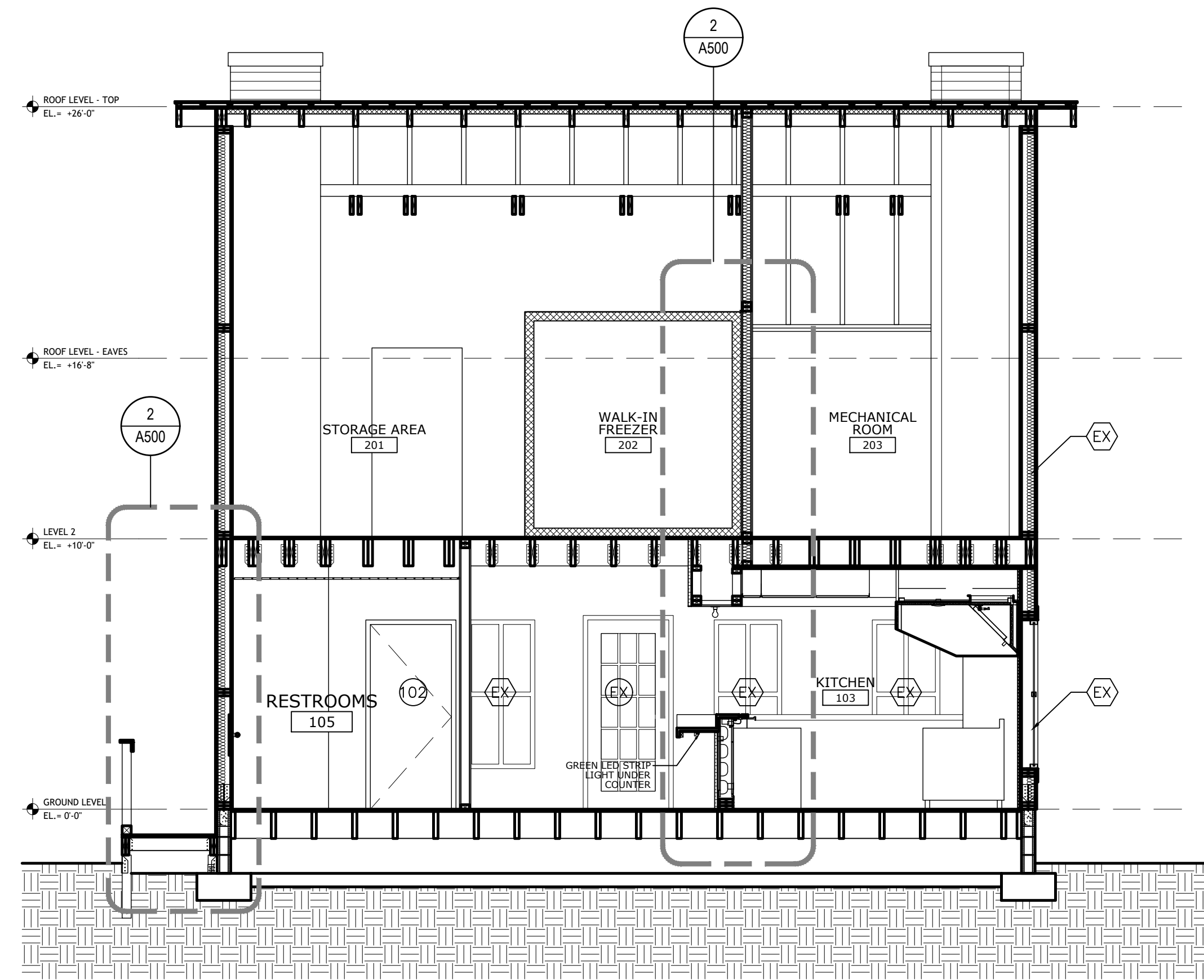
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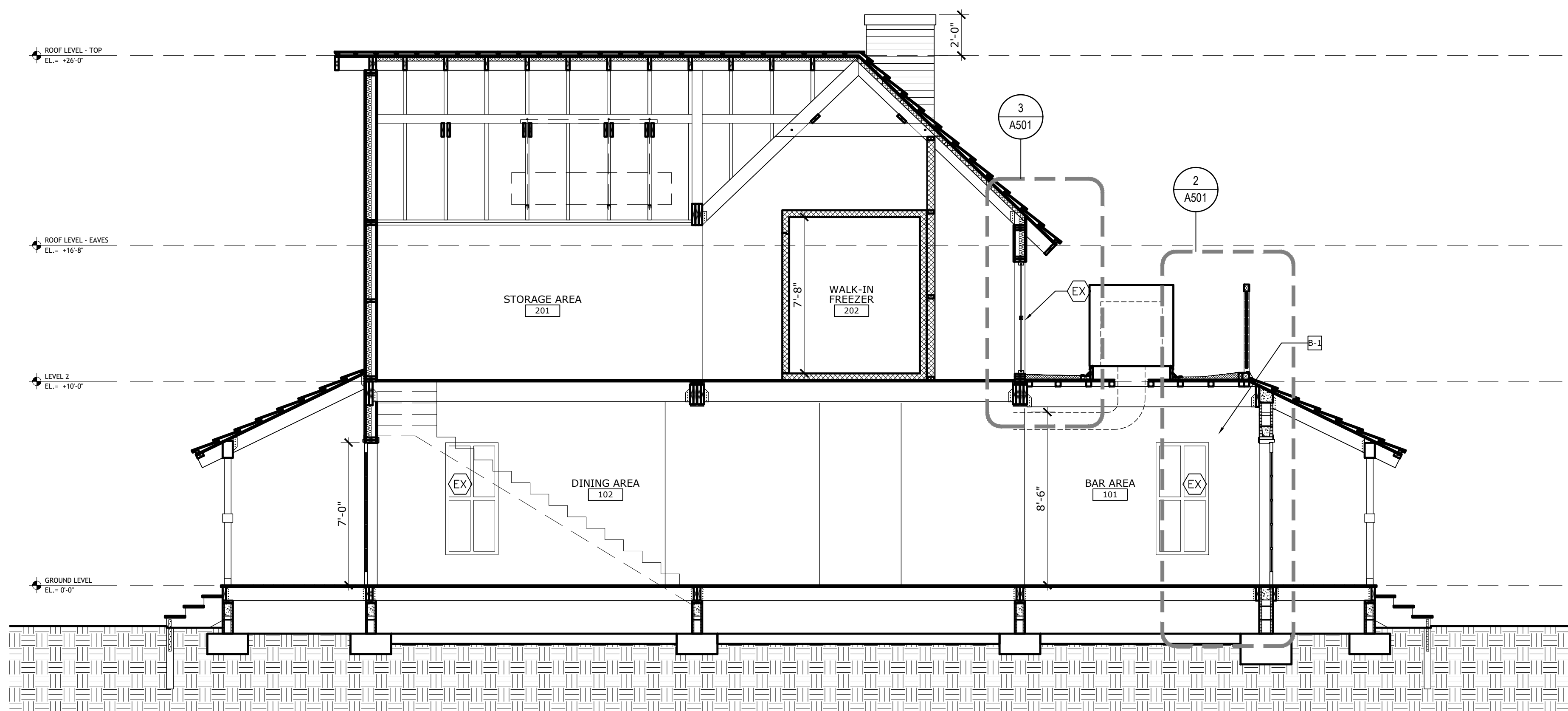
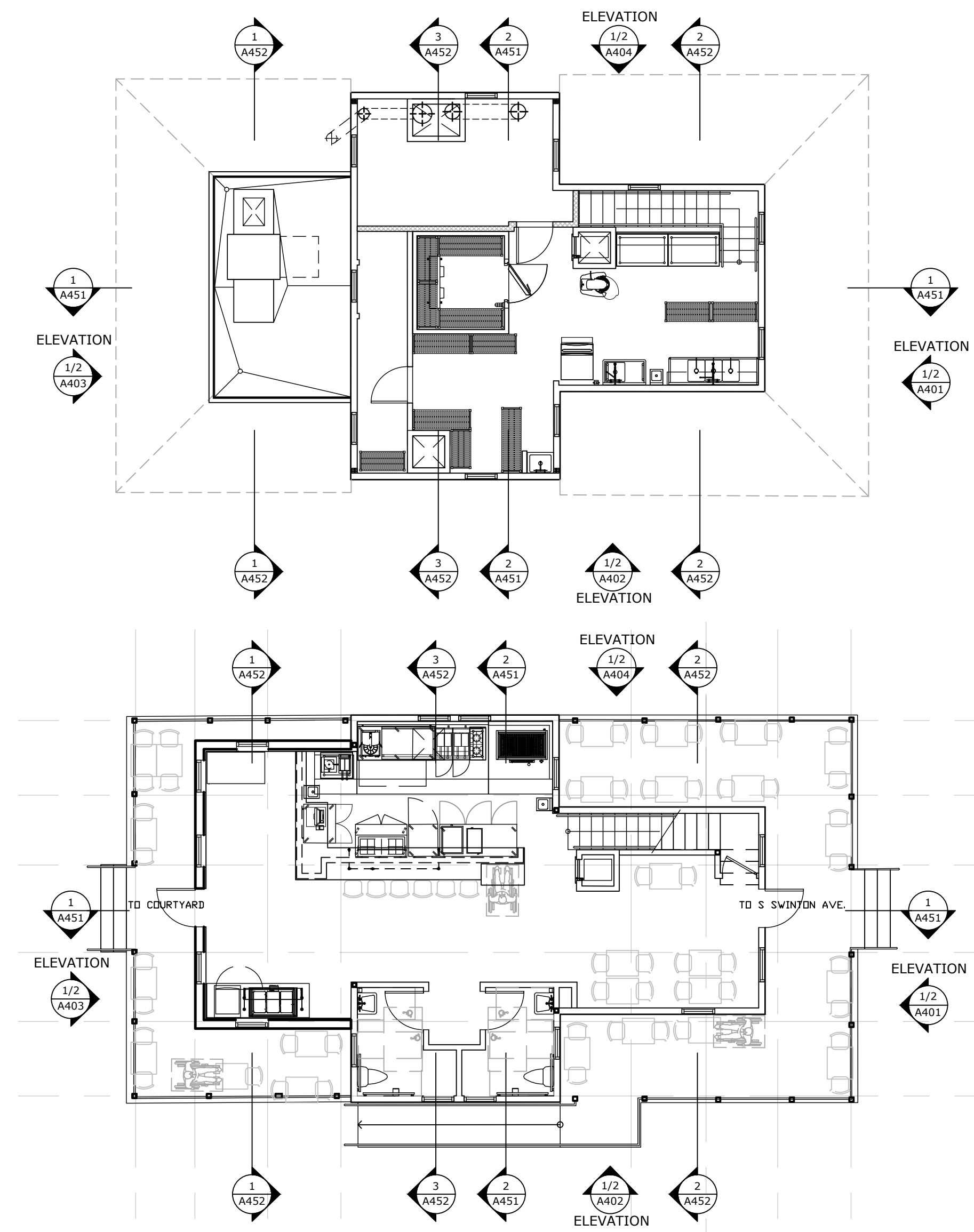
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WALL SECTIONS
A501

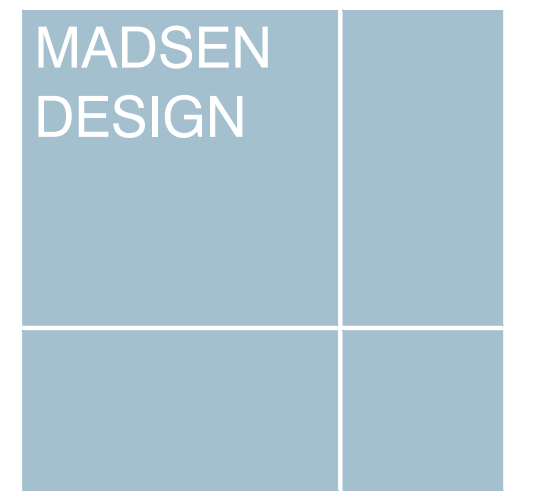
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SECTION 2
SCALE: 1/4"=1'



SECTION 1
SCALE: 1/4"=1'



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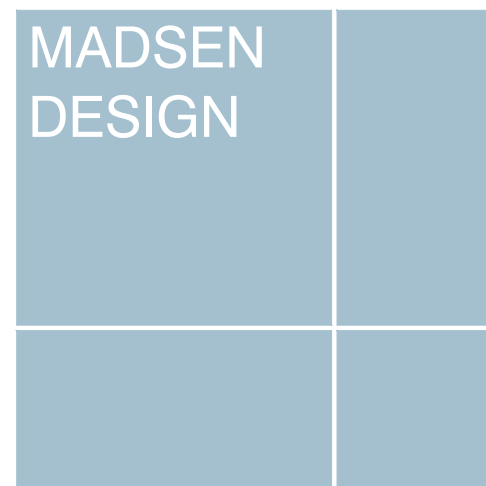
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BUILDING SECTIONS
A451

PROJECT NUMBER: 25-022



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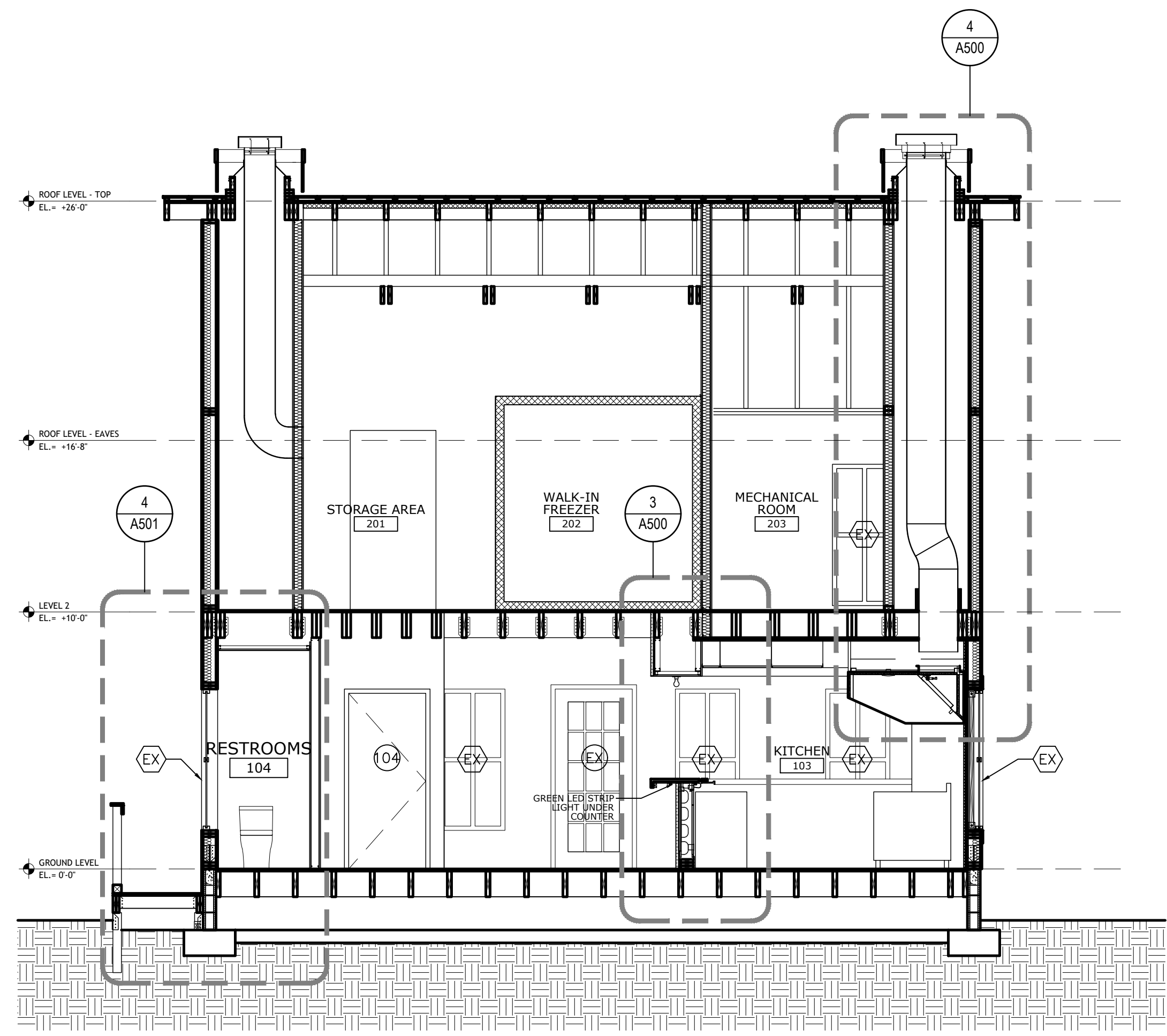
THE TACO STAND
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 DELRAY BEACH, FL 33444

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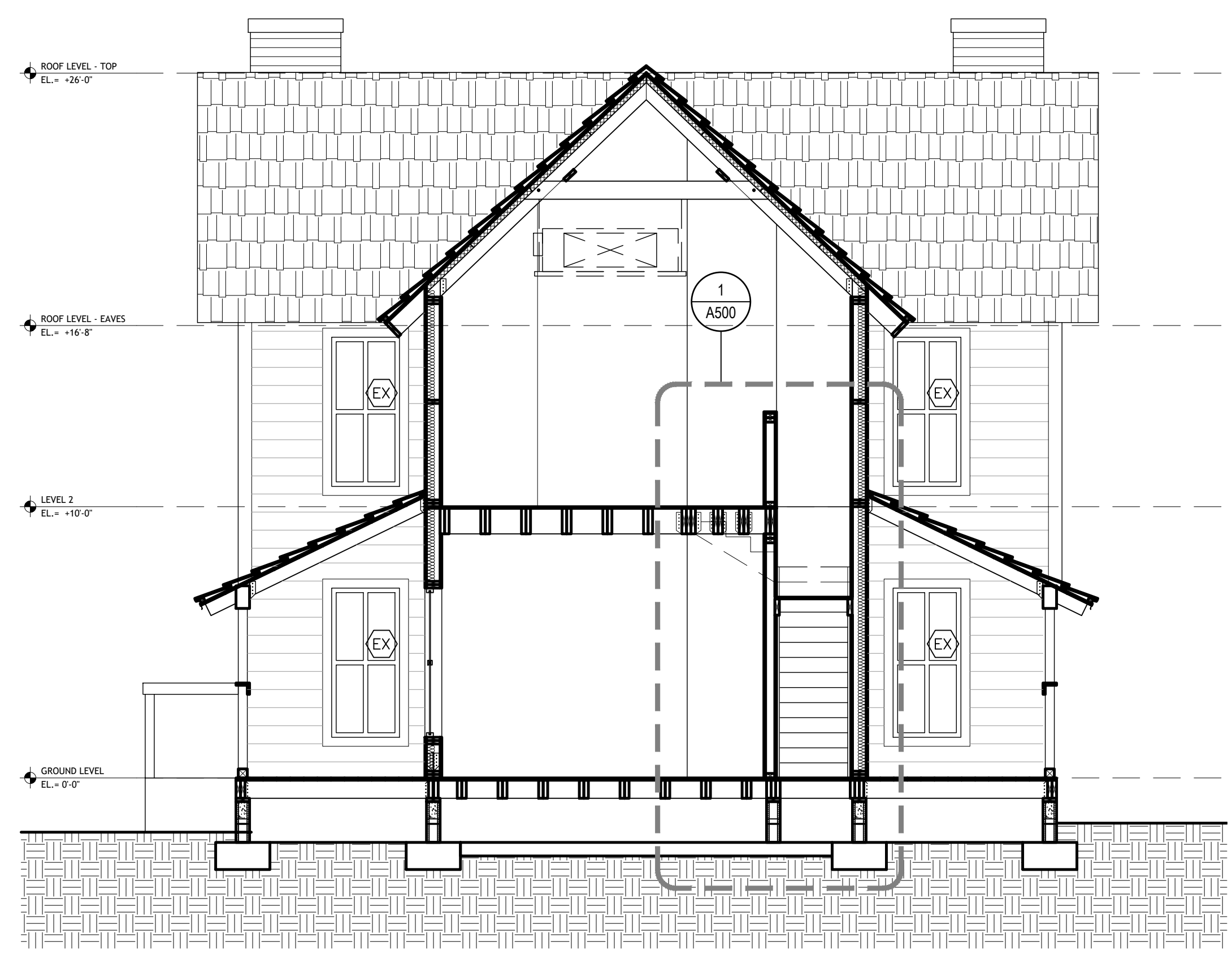
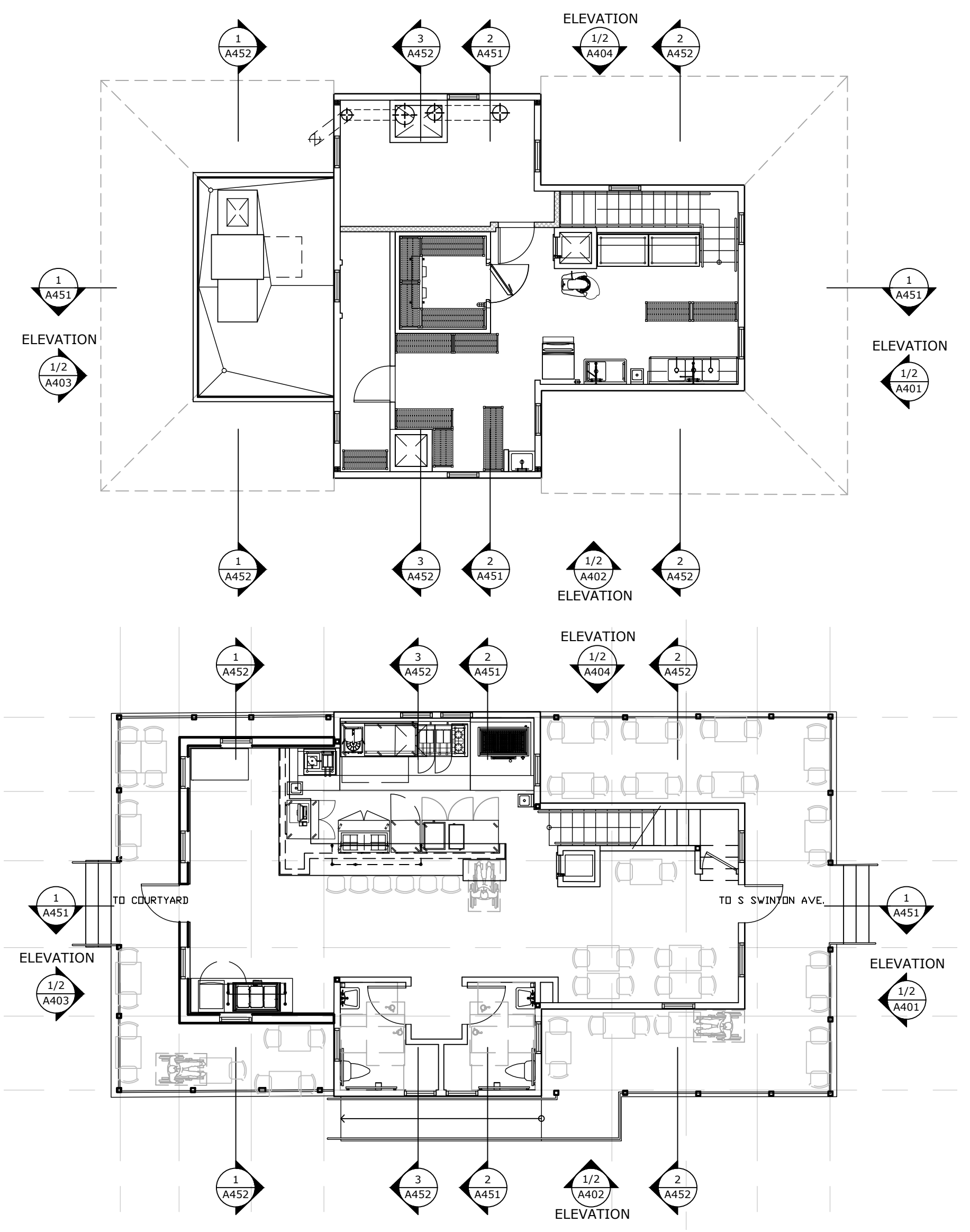
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BUILDING SECTIONS
A452

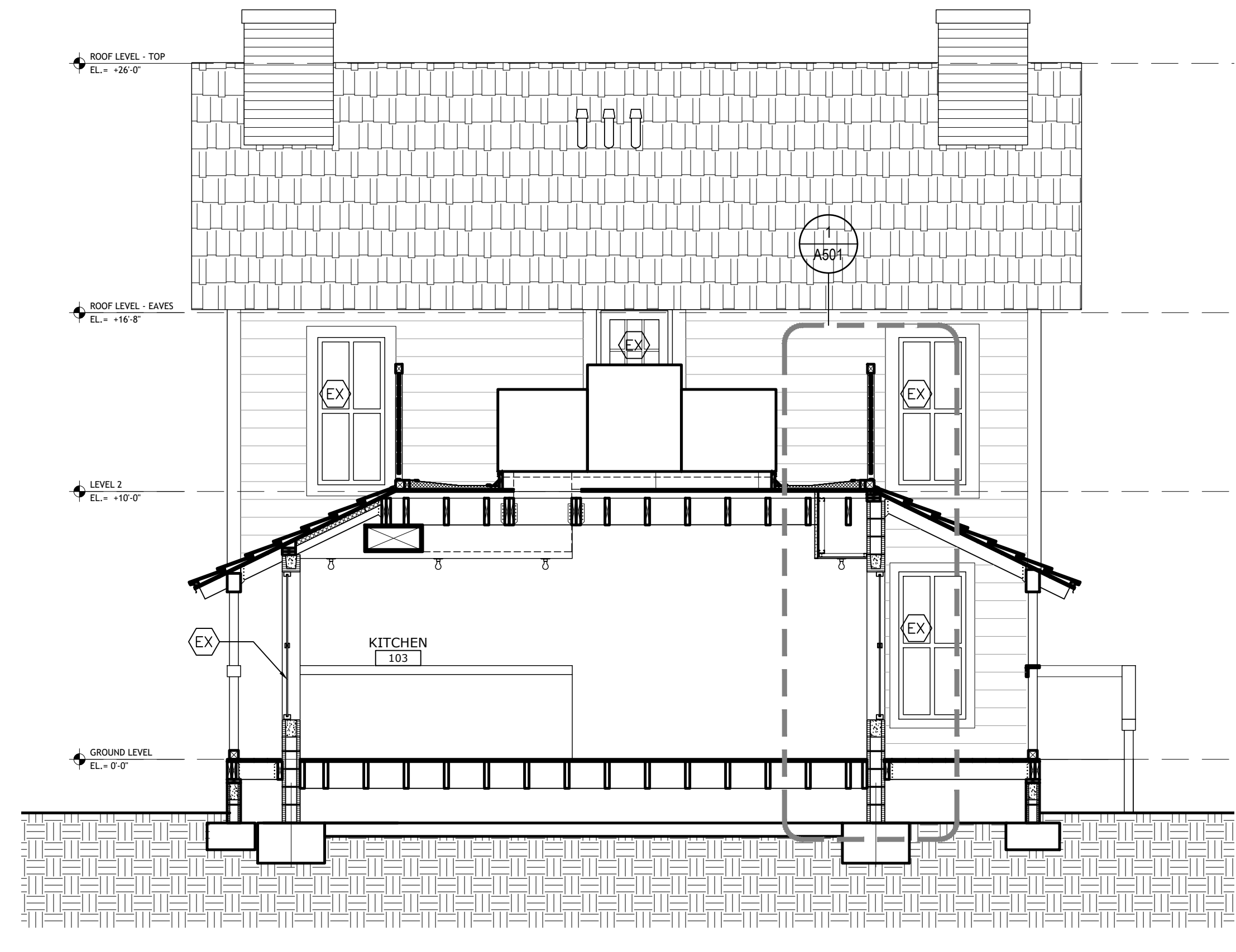
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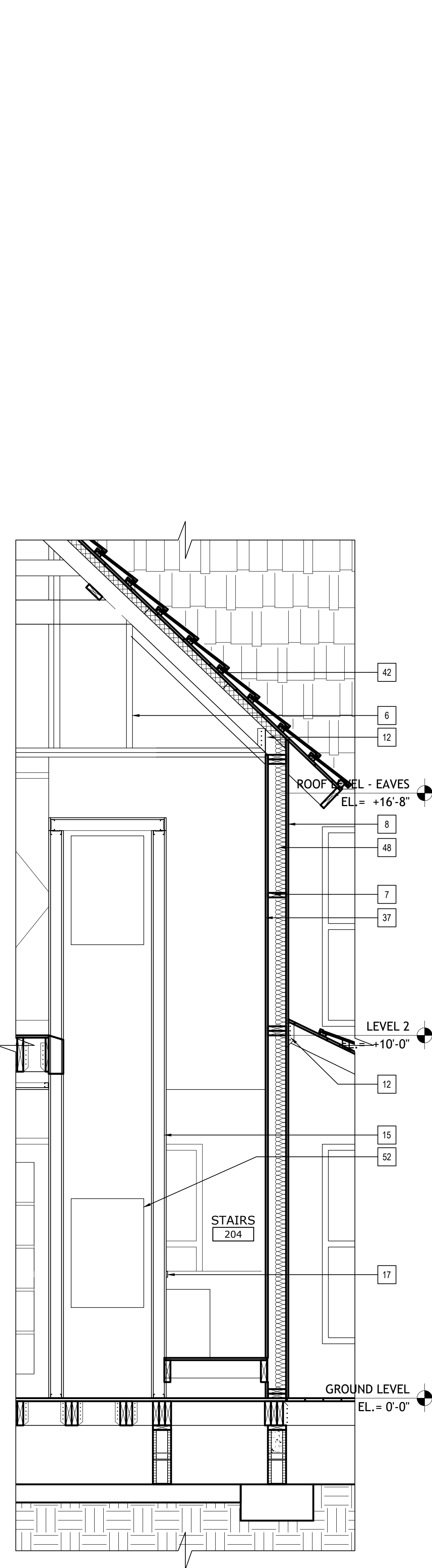
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 SCALE: 1/4"=1'



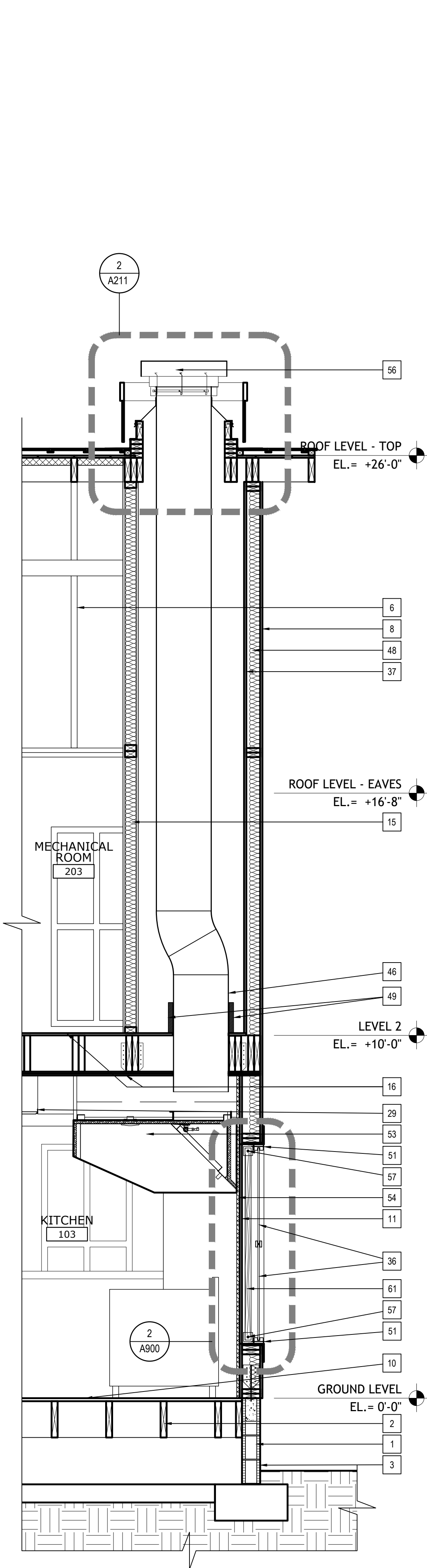
SECTION 2
 SCALE: 1/4"=1'



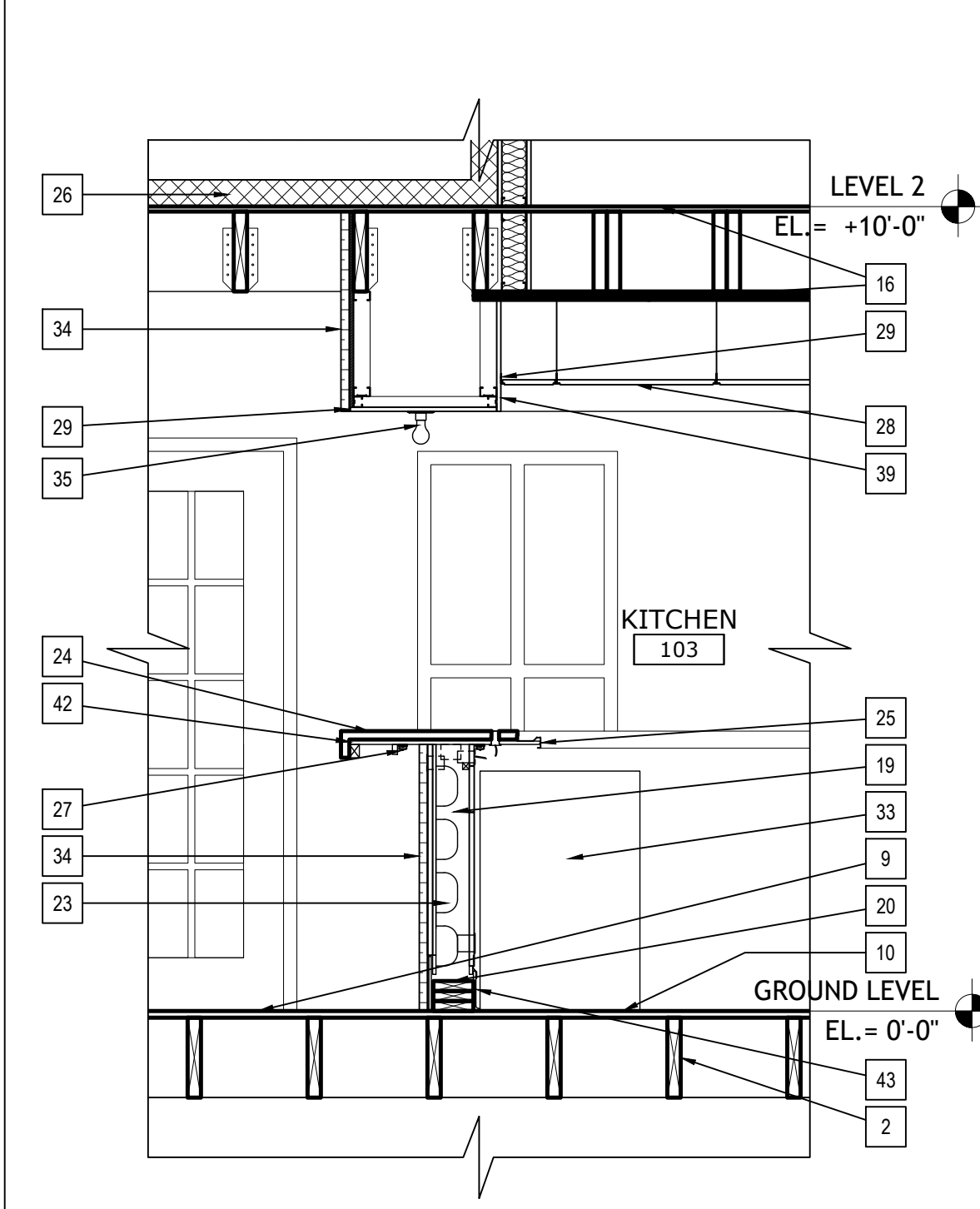
SECTION 1
 SCALE: 1/4"=1'



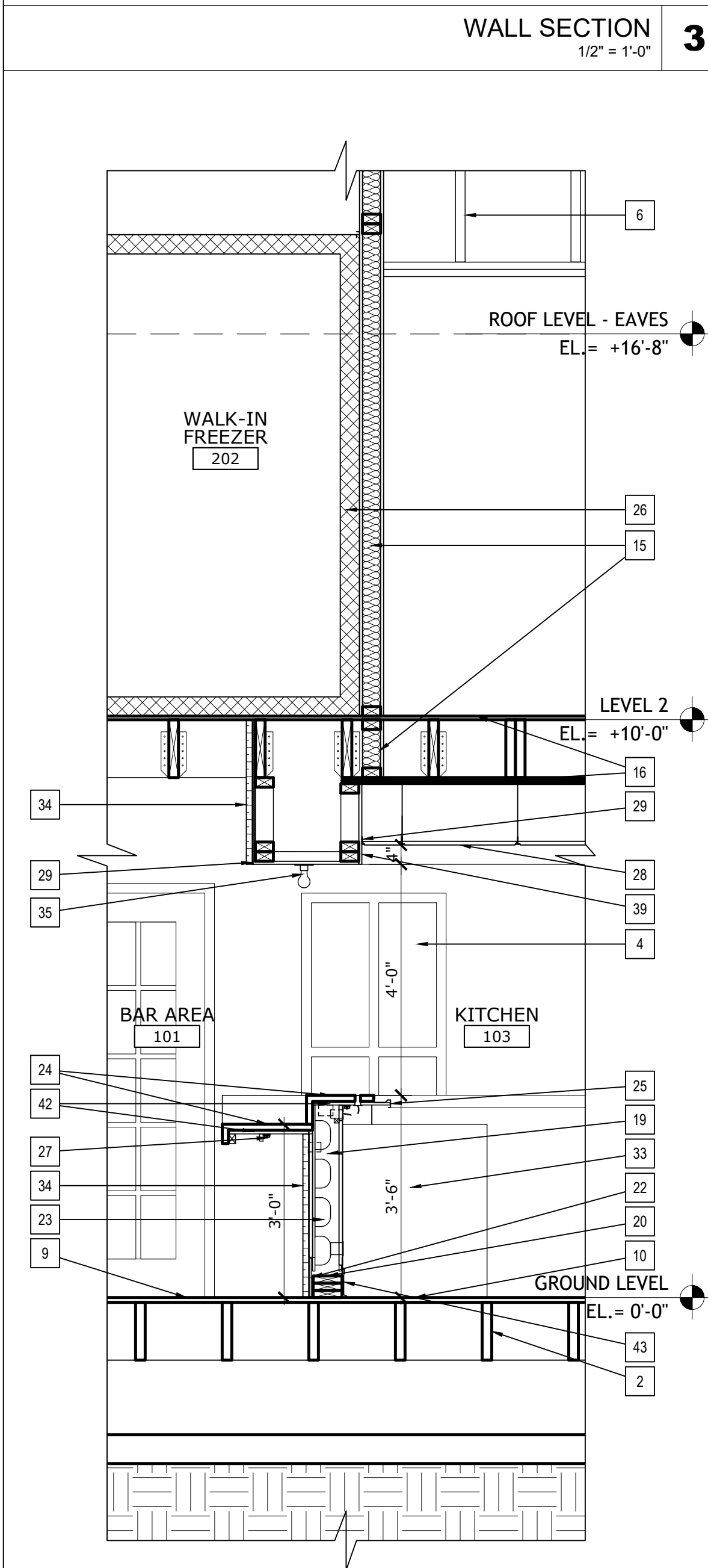
WALL SECTION 5
1/2" = 1'-0"



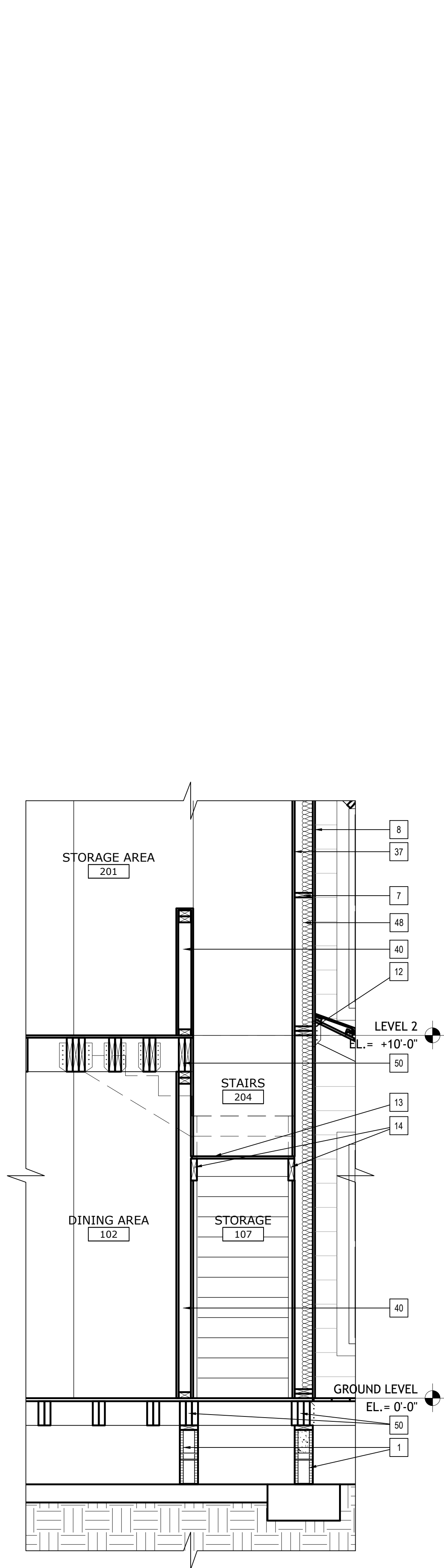
WALL SECTION 4
1/2" = 1'-0"



WALL SECTION 3
1/2" = 1'-0"



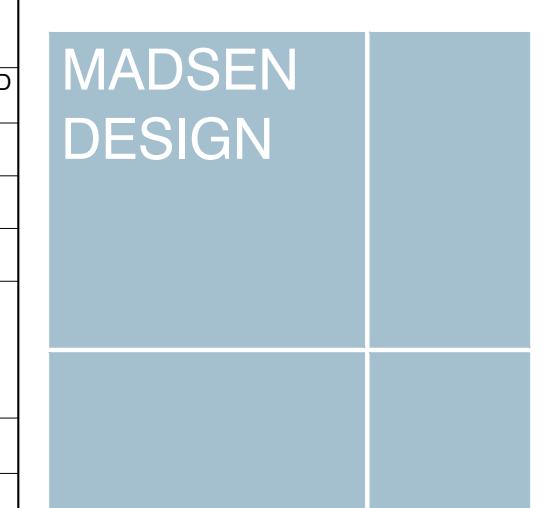
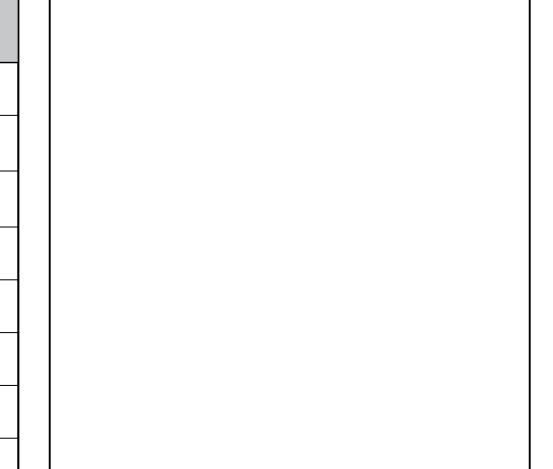
WALL SECTION 2
1/2" = 1'-0"



WALL SECTION 1
1/2" = 1'-0"

SECTION KEYNOTES	
1	8" MASONRY WALL. REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND SPECIFICATIONS
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12	HURRICANE TIE-DOWNS + ANCHOR BOLTS
13	SOLID WOOD STRINGERS, PRESSURE-TREATED, RESISTANT TO HUMIDITY AND TERMITES
14	INTERIOR WOOD FRAMED STAIR AND LANDINGS, PROVIDE COMPLETE WOODFRAMED STAIR AND ASSEMBLIES, IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS, PROVIDE SLIP RESISTANT WATERPROOF FINISH SUITABLE FOR INTERIOR USE, ENSURE COORDINATE WITH STRUCTURAL DRAWINGS FOR DETAILS, SUPPORTS AND ANCHORAGE REQUIREMENTS, VERIFY DIMENSIONS ON SITE PRIOR TO INSTALLATION.
15	INTERIOR PARTITION, WOOD STUDS, 1 HOUR FIRE RATING, ASSEMBLY # UL-U305, REFER TO FIRE RATING ASSEMBLIES IN SHEET A900
16	FLOOR-CEILING ASSEMBLY, WOOD JOISTS, 1 1/2 HOUR FIRE RATING, ASSEMBLY # UL-L510, REFER TO FIRE RATING ASSEMBLIES IN SHEET A900
17	1 1/2" HANDRAIL MOUNTED AT 2'-10"
18	INTERIOR WOOD WINDOW SILL: SOLID MDF, CUSTOM PROFILED, FINISH TO MATCH INTERIOR TRIM. INSTALL PER SECTION 06 2000 - CAULKED AND PAINTED AT WALL INTERSECTIONS.
19	PERLICK STAINLESS STEEL STUDS - MODULAR BAR SUPPORT SYSTEM, CORROSION-RESISTANT FOR HUMID/TROPICAL ENVIRONMENTS
20	STUD ANCHORAGE TO FLOOR SLAB - STAINLESS STEEL BASE PLATES WITH MECHANICAL FASTENERS, SEALED AGAINST MOISTURE
21	
22	PLYWOOD SUBBASE, 3/4" EXTERIOR GRADE, MOISTURE-RESISTANT, SCREWED TO STUD FRAME
23	SERVICE CHASE INTEGRATION, CONCEALED CONDUIT FOR BAR / KITCHEN UTILITIES (ELECTRICAL, PLUMBING, REFRIGERATION LINES)
24	GLASS-FIBER REINFORCED CONCRETE (GRFC) COUNTERTOP, FINISH THICKNESS: 3/4" OVER PLYWOOD, APPLIED WITH BONDING AGENT FOR ADHESION, CHAMFERED EDGES.
25	STAINLESS STEEL PEANUT RAIL
26	NEW WALK-IN COOLER / FREEZER, CEILING, FLOOR AND WALLS, PROVIDE SHOP DRAWINGS.
27	LIGHTING RECESS UNDER COUNTER EDGE - AMBIENT GLOW, GREEN LED STRIP.
28	SUSPENDED ACOUSTIC CEILING GRID, 2X2 PANELS, CORROSION-RESISTANT SUSPENSION SYSTEM - GALVANIZED STEEL, ACCESS PANELS INTEGRATED FOR MEP MAINTENANCE IN BAR/KITCHEN AREAS
29	EDGE TRIM DETAIL, ALUMINUM ANGLE.
30	NEW TONGUE AND GROOVE STAINED WOOD CEILING, REFER TO REFLECTED CEILING PLAN
31	EXTERIOR WOOD RAILING, 4X4 WOOD POSTS PRESSURE-TREATED HARDWOOD ANCHORED TO DECK FRAMING, RESISTANT TO HUMIDITY AND TERMITES, TOP RAIL: 2X6 TROPICAL HARDWOOD PLANK, BALUSTER SPACING ≤ 4" O.C. - CODE-COMPLIANT FOR SAFETY
32	PLANTER BOX FRAMING: PRESSURE-TREATED WOOD STUDS/PANELS, RAISED BASE WITH DRAINAGE LAYER - GRAVEL TO PREVENT WATERLOGGING. INTEGRATED WATERPROOF LINER ANCHORAGE TO TERRACE SLAB/DECK FRAMING - CONCEALED BRACKETS FOR STABILITY IN WIND LOADS, EXTERIOR WOOD CLADDING, TROPICAL HARDWOOD SLATS - CONTINUOUS WITH TERRACE RAILING AND ENCLOSURE AESTHETIC, DRAINAGE OUTLET AT PLANTER BASE.
33	UNDER COUNTER KITCHEN EQUIPMENT, REFER TO KITCHEN EQUIPMENT PLANS FOR SPECIFICATIONS
34	DECORATIVE CORRUGATED METAL SHEET CLADDING INSTALLED AS FINISH UNDER BAR COUNTER, GALVANIZED STEEL, PRIMED AND PAINTED, WHITE BASE COAT WITH DECORATIVE PAINT TREATMENT BY OWNER, CONCEALED BRACKETS OR CLIPS TO COUNTER SUBFRAME. INSTALLATION COORDINATED WITH BAR COUNTER PLYWOOD SUBBASE + CONCRETE LIKE FINISH ABOVE.
35	NEW LIGHT FIXTURE, REFER TO MEP DRAWINGS
36	EXISTING GLAZING
37	NEW 5/8" GYPSUM BOARD FASTENED TO WOOD FRAMING. REFER TO FLOOR PLANS, ENLARGED UNIT PLANS AND WALL TYPES ON SHEET A-900.
38	TAPERED INSULATION, ENSURING A MINIMUM 1/4" PER FOOT SLOPE.
39	NEW 5/8" GYPSUM BOARD SOFFIT ABOVE FASTENED TO WOOD STUD FRAMING, PRIMED AND PAINTED, REFER TO WALL TYPES IN SHEET A900.
40	WOOD STUD PARTITION WALL, NON-LOAD-BEARING INTERIOR WALL CONSTRUCTED OF NOMINAL 2X4 (ACTUAL 1.5"X3.5") STUDS, SPACED AT 16" O.C., WITH CONTINUOUS TOP AND SOLE PLATES. SHEATHED BOTH SIDES WITH 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE. PROVIDES SPATIAL DIVISION ONLY; NOT INTENDED FOR STRUCTURAL LOAD-BEARING.
41	NEW INTERIOR DOOR AND FRAME, REFER TO DOOR SCHEDULE
42	RIGID BOARD SHEATING
43	WALL BASE, REFER TO FINISH FLOOR PLANS AND INTERIOR ELEVATIONS
44	INTERIOR FLOOR FINISH, REFER TO FINISH FLOOR PLANS
45	PROPOSED SCREENING
46	EXHAUST PIPE FROM KITCHEN HOOD, REFER TO MEP DRAWINGS FOR DETAILS.
47	PARAPET DETAIL REFER TO SHEET 800 FOR CLARIFICATION
48	NEW 3" THICK MINERAL FIBER SOUND BATT. INSULATION IN STUD CAVITIES, TYP. (SEE WALL TYPES)
49	HILTI CFS-CID M CAST-IN FIRESTOP SLEEVE, FOR Ø18" AND Ø12" STEEL KITCHEN EXHAUST PIPES THROUGH WOOD DECK, INSTALLED PER UL SYSTEM AND MANUFACTURER'S INSTRUCTIONS.
50	NEW WOOD FRAMING, REFER TO STRUCTURAL DRAWINGS FOR DETAILS
51	MODIFY EXISTING ALUMINUM WINDOW ASSEMBLY TO BE FULLY DISMOUNTABLE FROM THE EXTERIOR FOR CLEANING, MAINTENANCE, AND REPLACEMENT OF DECORATIVE BLINDS. PROVIDE 1 1/2" x 1 1/2" STRUCTURAL STEEL ANGLE AT INTERIOR FACE, SECURED WITH EXTERIOR ACCESSIBLE BOLTS TO RESIST REQUIRED WIND LOADS. ENSURE ASSEMBLY MAINTAINS CLEAR EXTERIOR GLAZING AS REQUIRED BY CITY. COORDINATE ALL FASTENERS, WEATHER SEALS, AND INSTALLATION DETAILS WITH STRUCTURAL AND WINDOW MANUFACTURER REQUIREMENTS. REFER TO ISOMETRIX SCHEME (3 / A404), AND NEW WALL DETAIL (2 / A900).
52	DUMB WAITER, REFER TO KITCHEN EQUIPMENT DRAWINGS
53	HOOD, REFER TO KITCHEN EQUIPMENT DRAWINGS
54	BACKING BOARD SHEATING
55	HUNTER XCI PLY INSULATED PANEL, POLYISOCYANURATE RIGID INSULATION LAMINATED TO 5/8" APA-RATED PLYWOOD, INSTALLED TO THE INTERIOR FACE OF EXISTING ROOF SHEATHING. 3.5" THICK, COMPLIES WITH FLORIDA BUILDING CODE FOR INTERIOR RETROFIT APPLICATIONS.
56	EXHAUST TERMINATION CAP
57	INSTALL CONTINUOUS STEEL ROD TO SUPPORT DECORATIVE BLINDS. ROD TO BE MOUNTED TO EXISTING VERTICAL WOOD STUDS USING BOLTED STEEL PLATES OR BRACKETS, PROVIDING ADEQUATE CAPACITY FOR BLIND WEIGHT AND MAINTENANCE ACCESS. ALIGN ROD PARALLEL TO GLAZING AND COORDINATE LOCATION WITH INTERIOR SHEATHING AND WINDOW ASSEMBLY. REFER TO ISOMETRIX SCHEME (3 / A404), AND NEW WALL DETAIL (2 / A900).
58	MOISTURE-RESISTANT GYPSUM WALL BOARD SHEATING IN BATHROOMS, TILE FINISH TO 7'-0", PAINT ABOVE
59	RIGID INSULATION, 2 5/8" THICK, MECHANICALLY FASTENED TO PLYWOOD SUBBASE; CONTINUOUS THERMAL BARRIER
60	CONCENTRIC VENTS
61	PROVIDE FIXED DECORATIVE WHITE BLINDS INSTALLED BETWEEN EXISTING CLEAR GLAZING AND NEW INTERIOR FIBER CEMENT SHEATHING. BLINDS TO BE NON-OPERABLE AND MOUNTED TO STEEL ROD SUPPORT SYSTEM. ENSURE BLINDS PROVIDE FULL VISUAL SCREENING OF KITCHEN WALL WHILE MAINTAINING REQUIRED EXTERIOR TRANSPARENCY. REFER TO ISOMETRIX SCHEME (3 / A404), AND NEW WALL DETAIL (2 / A900).

WALL KEYNOTES
N.T.S.



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SUBMITTALS:

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WALL SECTIONS
A500

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