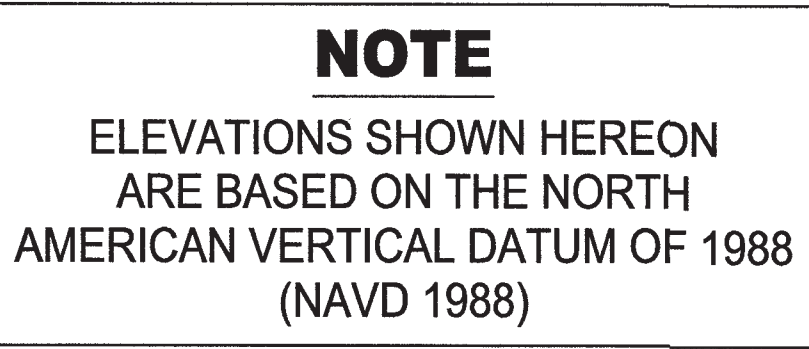
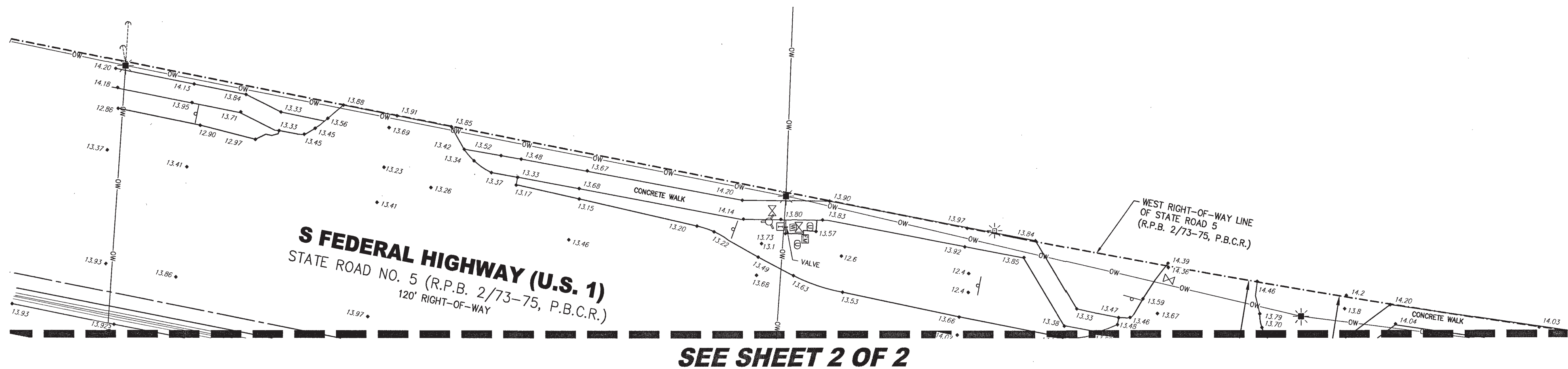
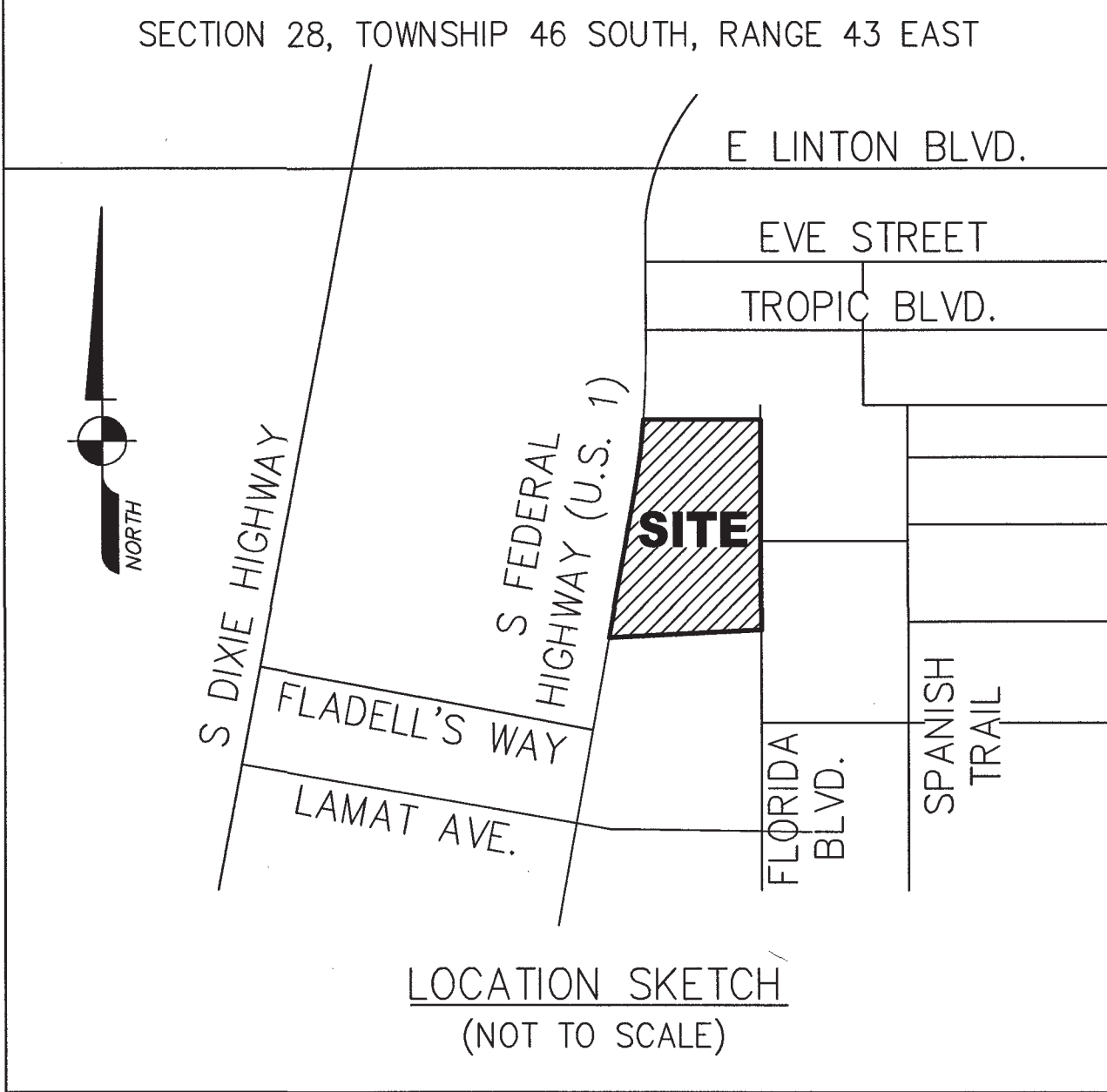




SUMMARY TABLE FOR: CERTIFICATE OF TITLE (SEE SURVEYOR'S REPORT #2)		
CERTIFICATE OF TITLE FOR KNA DELAWARE PARCEL FOR: KNO. 12-343-26-267-021-0010		
RECORDING INFORMATION	AFFECTS SUBJECT PROPERTY	ACTION TAKEN
O.R.B. 30374/1185	YES, Both Parcels 1 & 2	Deed of overall land
P.B. 149	YES, Both Parcels 1 & 2	As shown
D.B. 10634/486	YES, Both Parcels 1 & 2	Not plottable
D.B. 11533/37	YES, Both Parcels 1 & 2	As shown
O.R.B. 34441/132	YES, Only Parcel 2	Not plottable
O.R.B. 45777/238	YES, Only Parcel 1	As shown
D.B. 485141/179	YES, Both Parcels 1 & 2	As shown
O.R.B. 53541/86	YES, Only Parcel 1	As shown
O.R.B. 53541/191	NO	Not shown, Offsite
O.R.B. 32919/1277	YES, Both Parcels 1 & 2	As shown
O.R.B. 32926/133	YES, Both Parcels 1 & 2	As shown

TREE LEGEND	
	Button Wood
	Palm
	Unknown Species
	Denotes 12" Diameter Trunk (Typical)

	BACK FLOW PREVENTOR VALVE
	BENCHMARK
	BOLLARD (UNLESS NOTED)
	CATCH BASIN
	CLEAN OUT
	CONCRETE LIGHT POLE
	CONCRETE UTILITY POLE
	CONCRETE UTILITY POLE WITH LIGHT
	ELECTRIC METER
	ELECTRIC SERVICE BOX
	ELECTRIC SERVICE PANEL
	EXISTING ELEVATION
	FIRE HYDRANT
	GREASE TRAP
	GUY ANCHOR
	HAND HOLE
	HANDICAP PARKING
	IRRIGATION CONTROL BOX
	IRRIGATION CONTROL VALVE
	MAIL BOX
	MONITORING WELL
	NUMBER OF REGULAR CIRCULAR OVERHEAD WIRES
	SANITARY MANHOLE
	SIGN (UNLESS NOTED)
	TELEPHONE RISER
	UNKNOWN UTILITY SERVICE BOX
	UNDERGROUND UTILITY MARKER
	VAULT
	WATER METER
	WATER VALVE
	WOOD UTILITY POLE
	WOOD UTILITY POLE WITH LIGHT
	YARD DRAIN



Said lands situate in the City of Delray Beach, Palm Beach County, Florida and containing 133,740 square feet (3.070 acres) more or less.

1. Reproductions of this Sketch are not valid without the signature and the original seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
2. The property shown hereon is subject to agreements, covenants, easements, restrictions and other matters contained in the Certificate of Title for KIA Delray for Parcel ID No. 12-43-46-28-07-021-0010 signed and certified on September 19, 2024. Where applicable, these instruments are shown on the survey (see SUMMARY TABLE). Aviron & Associates, Inc. did not research the public records for easements, rights-of-way, ownership or other instruments of record.
3. The land description shown hereon is in accord with lands described in Warranty Deed recorded in Official Records Book 30774, Page 1181 of the Public Records of Palm Beach County, Florida.
4. No underground improvements were located.
5. Distances shown hereon are in accord with the plat of record and agree with the survey measurements, unless otherwise noted. Bearings are assumed based on the east line of Block 37, having a bearing of S0318°59'E.
6. The property described hereon lies within Flood Zone X, as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map Number 12099C0987F, Community No. 125102, dated 10/5/2017.
7. Elevations shown hereon are in feet and based on the North American Vertical Datum of 1988 (NAVD 1988).
8. Benchmark Description: Florida Department of Transportation Benchmark# B03, Elevation = 14.54 feet (NAVD 1988).
9. Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or location of the object.
10. The common name of trees as shown hereon were identified to the best of knowledge and ability of the surveyor, without the benefit of an arborist or biologist. It is the responsibility of the end user to verify the identity of the species.
11. This map is intended to be displayed at a scale of 1" = 20'.
12. Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'.
13. Adjacent property owner information shown hereon was obtained from the Palm Beach County Property Appraiser's website.
14. Address: 2255 S. Federal Highway, Delray Beach, Florida.
15. Abbreviation Legend: ALTA = American Land Title Association; ASPH. = Asphalt; BLVD. = Boulevard; (C) = Calculated; Δ = Central Angle; C/L = Centerline; C.M. = Concrete Monument; C.M.P. = Corrugated Metal Pipe; COR = Corner; CONC. = Concrete; D = Per Deed; D.B. = Deed Book; F.B. = Field Book; F.D.O.T. = Florida Department of Transportation; F.F. = Finished Floor; F.P.L. = Florida Power & Light Company; G.U.E. = General Utility Easement; INV. = Invert; L = Arc Length; L.B. = Licensed Business; NAVD = North American Vertical Datum; N/D = Nail & Disk; NSPSS = National Society of Professional Surveyors; O.R.B. = Official Records Book; OW = Overhead Wires; P = Per Record Plat; P.B. = Plot Book; P.B.C.R. = Palm Beach County Records; PGS. = Pages; P.L.S. = Professional Land Surveyor; P.R.M. = Permanent Reference Monument; P/O = Portion of; P.V.C. = Polyvinyl Chloride; P.U.E. = Public Utility Easement; R = Radius; R.P.B. = Road Plat Book; S.F. = Square Feet; TYP. = Typical; W/ = With; W/CAP = With Surveyors Cap.

Date: 12/19/2024

Digitally signed
by John T.
Doogan, P.L.S.
Date: 2025.02.28
09:57:58 -05'00'

John T. Doogan
JOHN T. DOOGAN, P.L.S.
Florida Registration No. 4409
AVIROM & ASSOCIATES, INC.
L.B. No. 3300

AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
50 S.W. 2nd AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
(561) 392-2594 / www.AVIROMSURVEY.com
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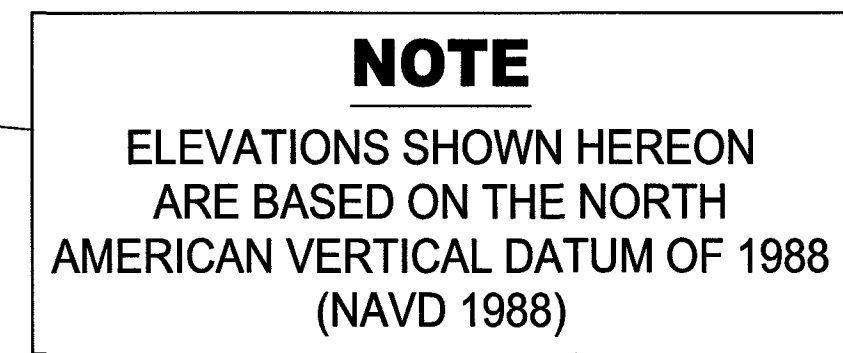
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BOUNDARY SURVEY
2255 S. FEDERAL HIGHWAY
LOTS 1-18 & 29-46, BLOCK 37 & A PORTION OF LOTS 1 & 4, BLOCK 21
& A PORTION OF FREDERICK BOULEVARD & AVENUE
DEL-RATON PARK (P.B. 14, PGS. 09-10, P.B.C.R.)
LYING IN SECTION 28, TOWNSHIP 46 SOUTH, RANGE 43 EAST
CITY OF DEL BEACH, RAIL BEACH, COUNTY OF ORLA

SCALE:	1" = 20'
DATE:	09/25/2023
BY:	S.K.
CHECKED:	J.T.D.
F.B./PG.	2188/24-36
SHEET	1 OF 3

NOT VALID WITHOUT SHEETS 1 AND 2

S FEDERAL HIGHWAY (U.S. 1)
STATE ROAD NO. 5 (R.P.B. 2/73-75, P.B.C.R. 120') RIGHT-OF-WAY

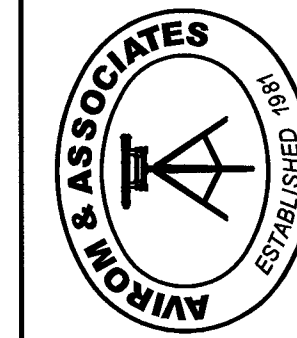


	BACK FLOW PREVENTOR VALVE
	BENCHMARK
	BOLLARD (UNLESS NOTED)
	CATCH BASIN
	CLEAN OUT
	CONCRETE LIGHT POLE
	CONCRETE UTILITY POLE
	CONCRETE UTILITY POLE WITH LIGHT
	ELECTRIC METER
	ELECTRIC SERVICE BOX
	ELECTRIC SERVICE PANEL
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	MONITORING WELL
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	YARD DRAIN

	Button Wood
	Palm
	Unknown Species
 12" Denotes 12" Diameter Trunk (Typical)	

(P.B. 14/09-10, P.B.C.R. & P.B. 57/10, P.B.C.R.)

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[illegible]

BOUNDARY SURVEY
2255 S. FEDERAL HIGHWAY
LOTS 1-18 & 29-46; BLOCK 37 & A PORTION OF LOTS 1 & 4, BLOCK 21
& A PORTION OF FREDERICK BOULEVARD & AVENUE B
DEL-RATON PARK (P.B. 14, PGS. 09-10, P.B.C.R.)
LYING IN SECTION 28, TOWNSHIP 46 SOUTH, RANGE 9 EAST

SCALE:	1" = 20'
DATE:	09/25/2023
BY:	S.K.
CHECKED:	J.T.D.
F.B./PG.	2188/24-36

JOB #: **12882**