



# LDR Text Amendment, In-Lieu of Parking Fee

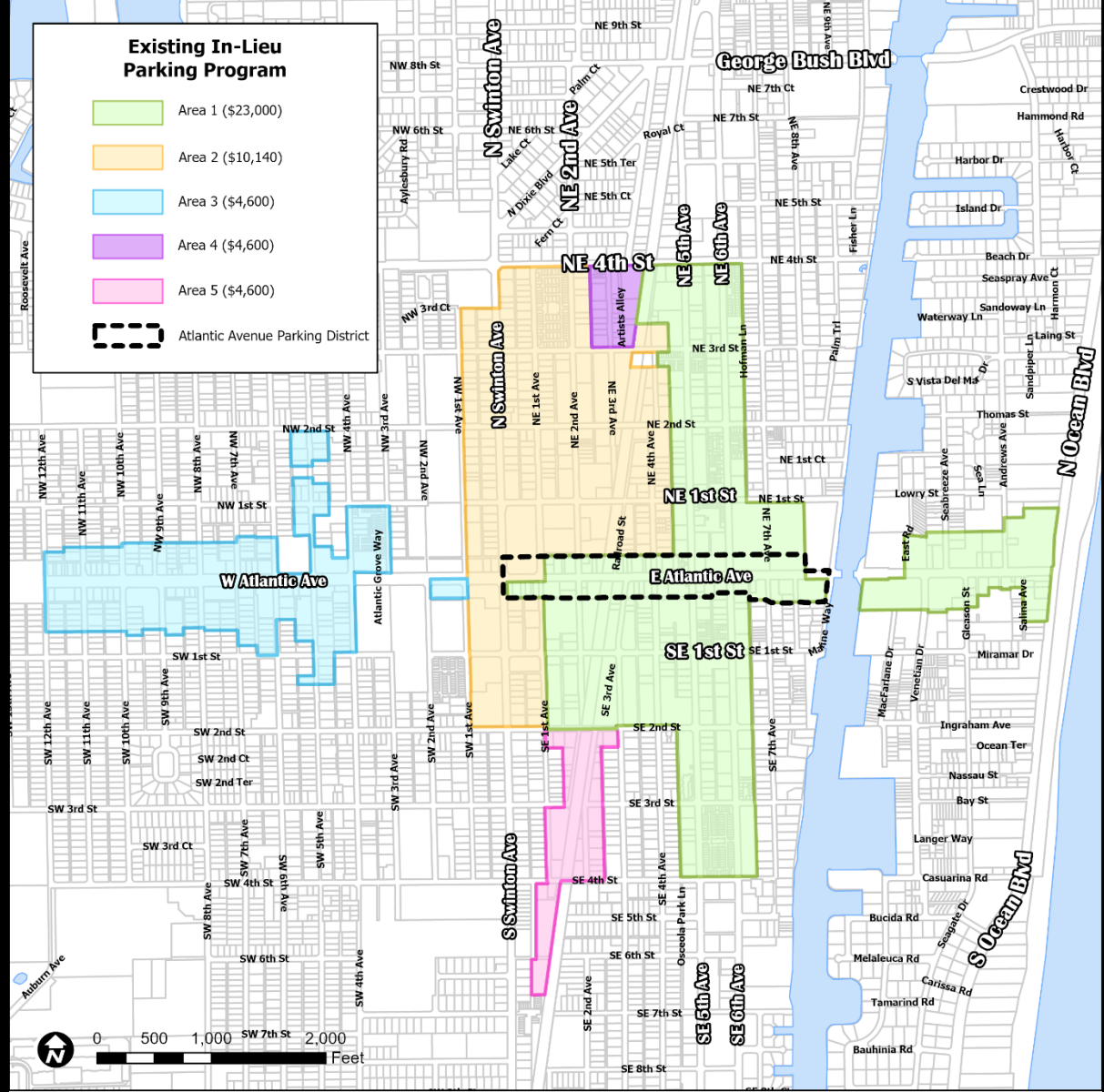
File No. 2024-078



# In Lieu of Parking Fee, LDR Amendment

## Request

Provide a recommendation on Ordinance No. 14-24, a City-initiated amendment to Section 2.4.11, "Relief," Section 4.4.13, "Central Business (CBD) District," and Section 4.6.9, "Off-street parking regulations" of the Land Development Regulations (LDR) to modify the fee in-lieu of parking program.

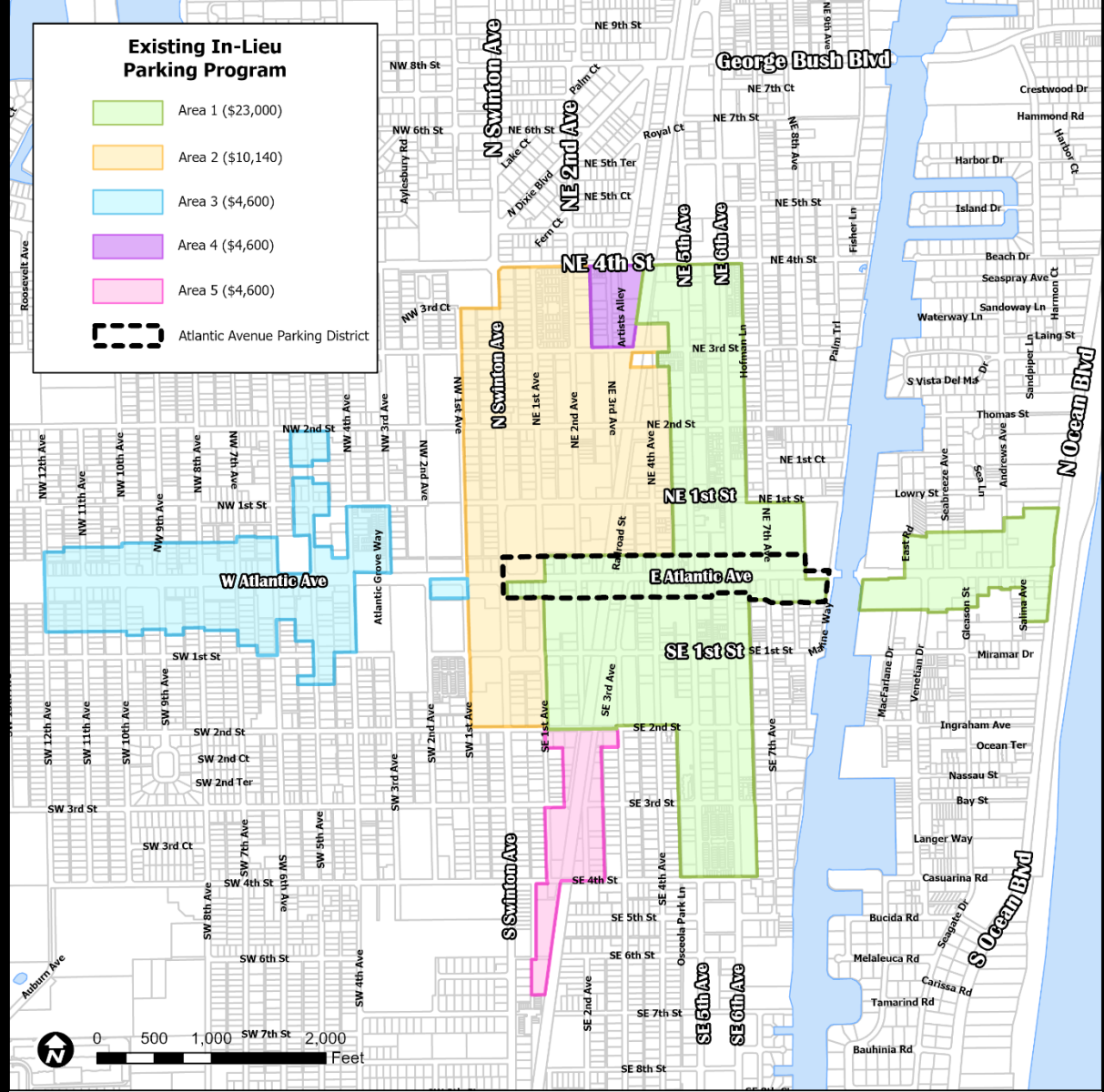




# In Lieu of Parking Fee, LDR Amendment

## Background

- **1970s.** A fee in-lieu of parking has been available as an alternative to off-street parking.
- **May 2, 2023.** A “zoning in progress” relative to the in-lieu parking program was adopted by the City Commission via Resolution No. 102-23, and extended to April 26, 2024 via Resolution 196-23.

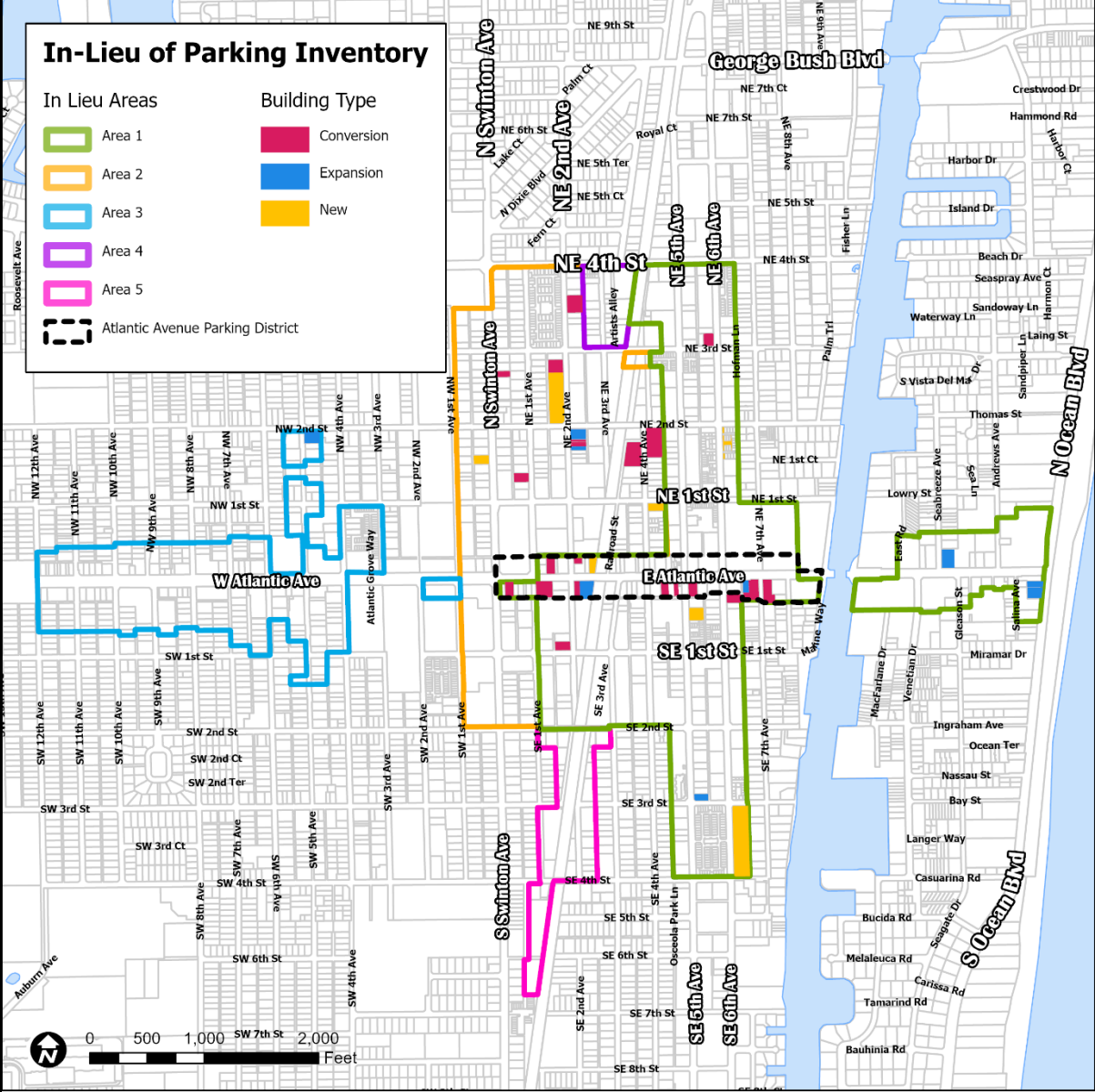




# In Lieu of Parking Fee, LDR Amendment

Since the adoption of the in-lieu of parking fee, 42 requests have been approved:

- 24 use **conversions**,
- 9 **expansions**, and
- 9 **new builds**.

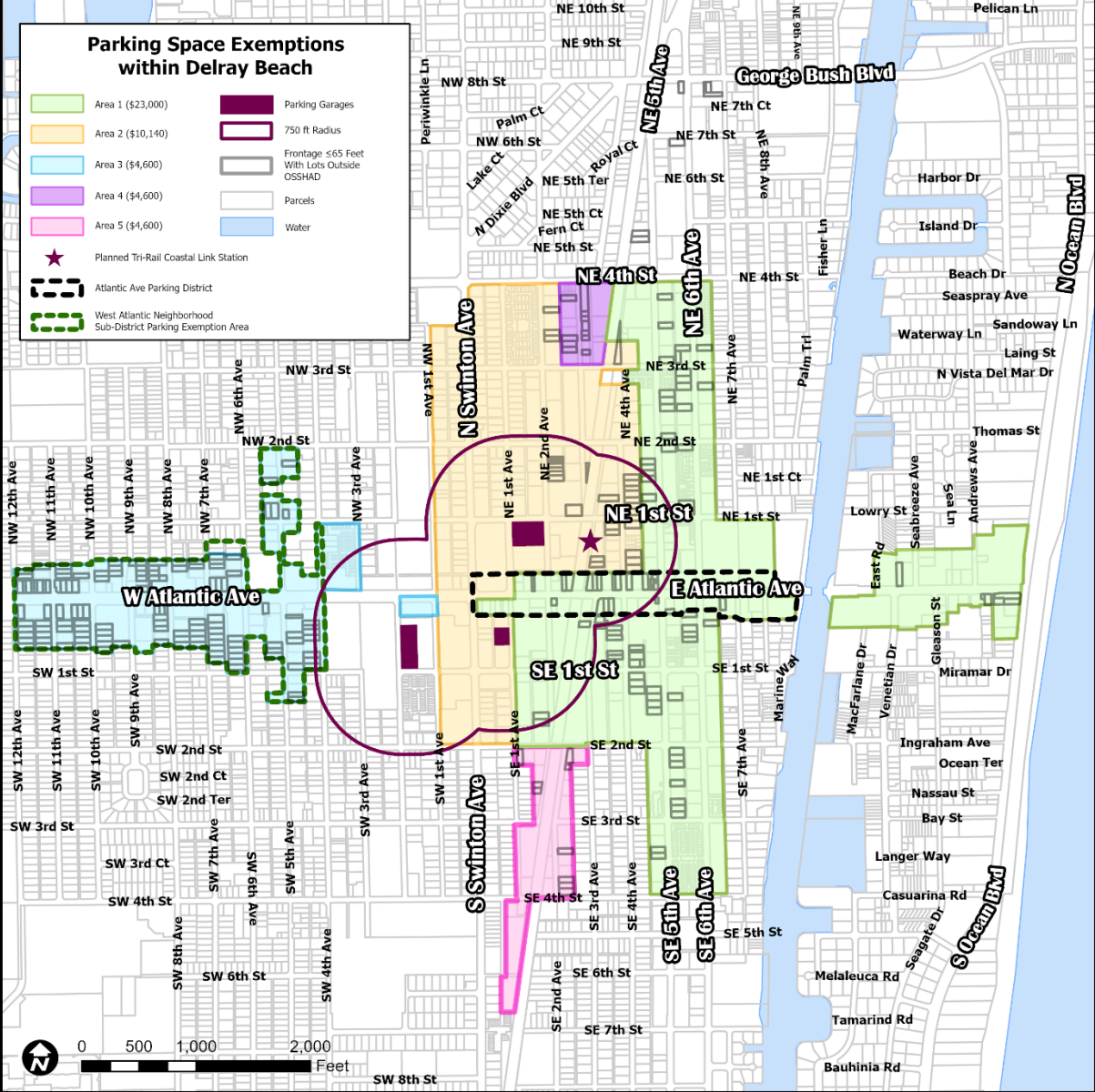




# In Lieu of Parking Fee, LDR Amendment

## Other Types of Parking Relief

- Properties less than 65 feet in width with a building no more than two stories in height are not required to provide off-street parking, except for restaurant and lounge uses.
- Within the West Atlantic Neighborhood Sub-District, existing commercial buildings and existing commercial buildings with an outdoor use area, are exempt from providing additional on-site parking, through December 31, 2026.

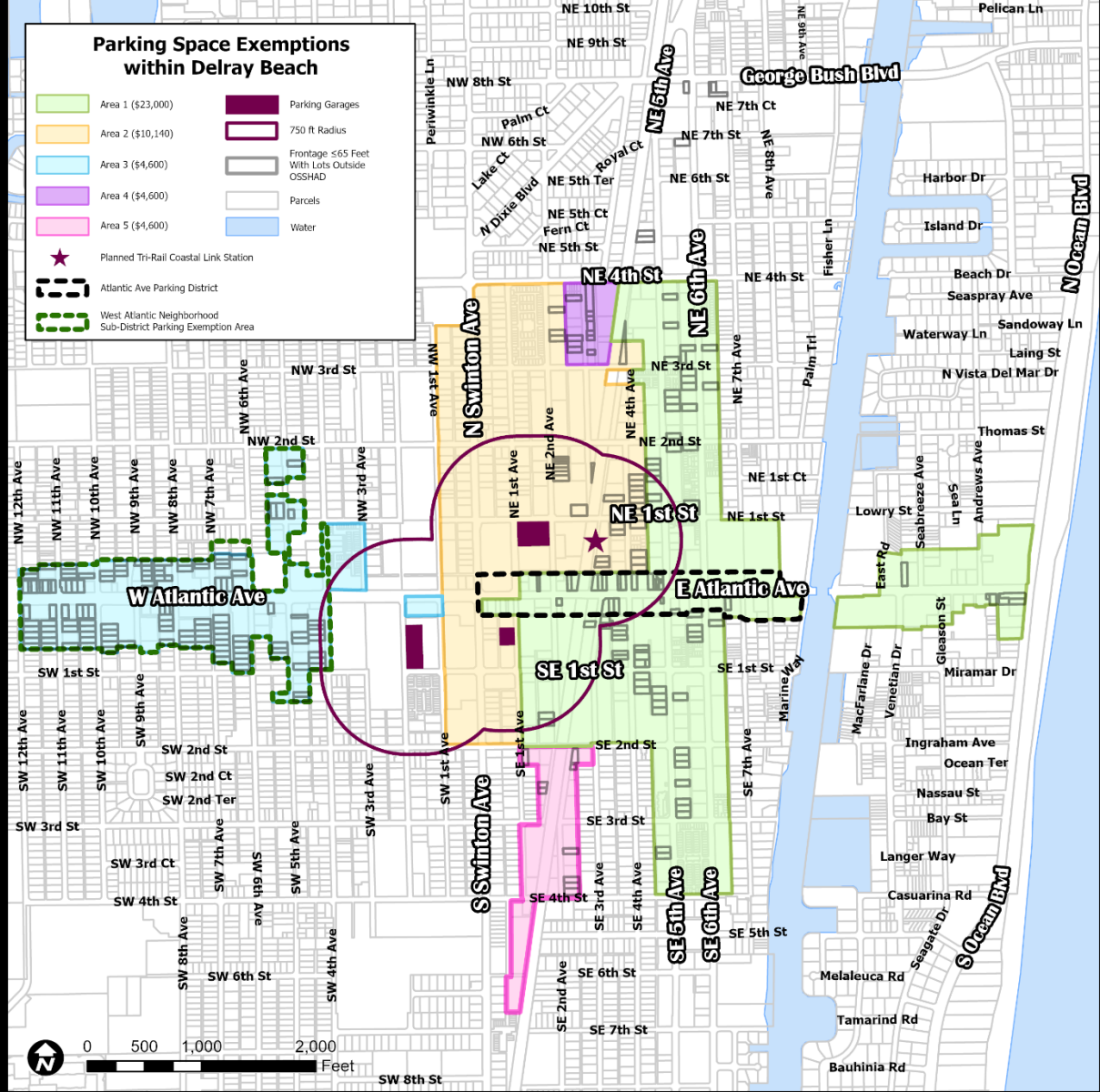




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## Other Types of Parking Relief

- Properties located within 750 feet of a public parking garage or the Planned Tri-Rail Coastal Link station:
- Business and Professional Office uses have lower parking requirements.
- Properties are not required to provide additional parking resulting from a change in use, except for new restaurant and lounge uses within an existing building if additional floor area is not created.

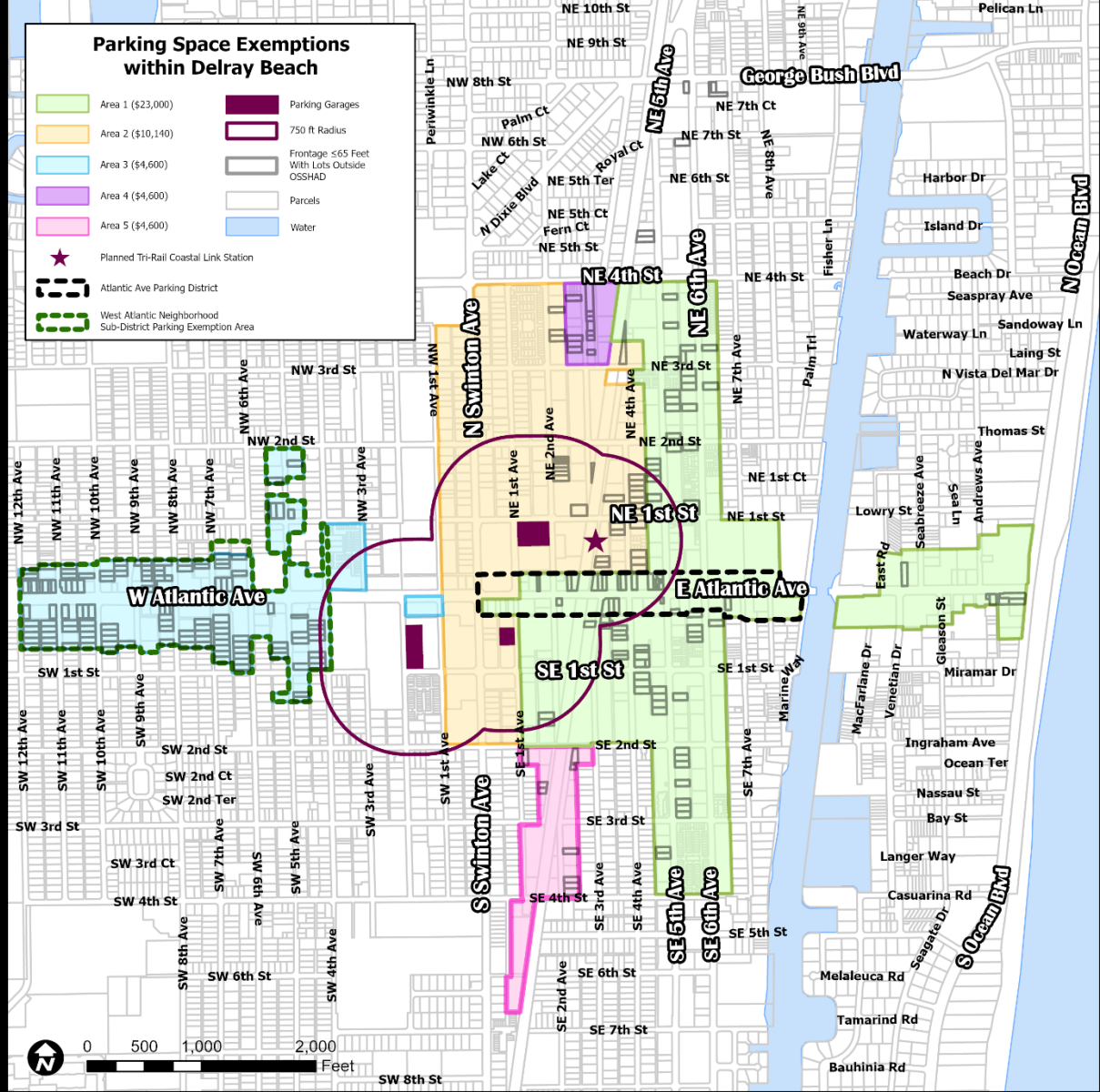




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## Other Types of Parking Relief

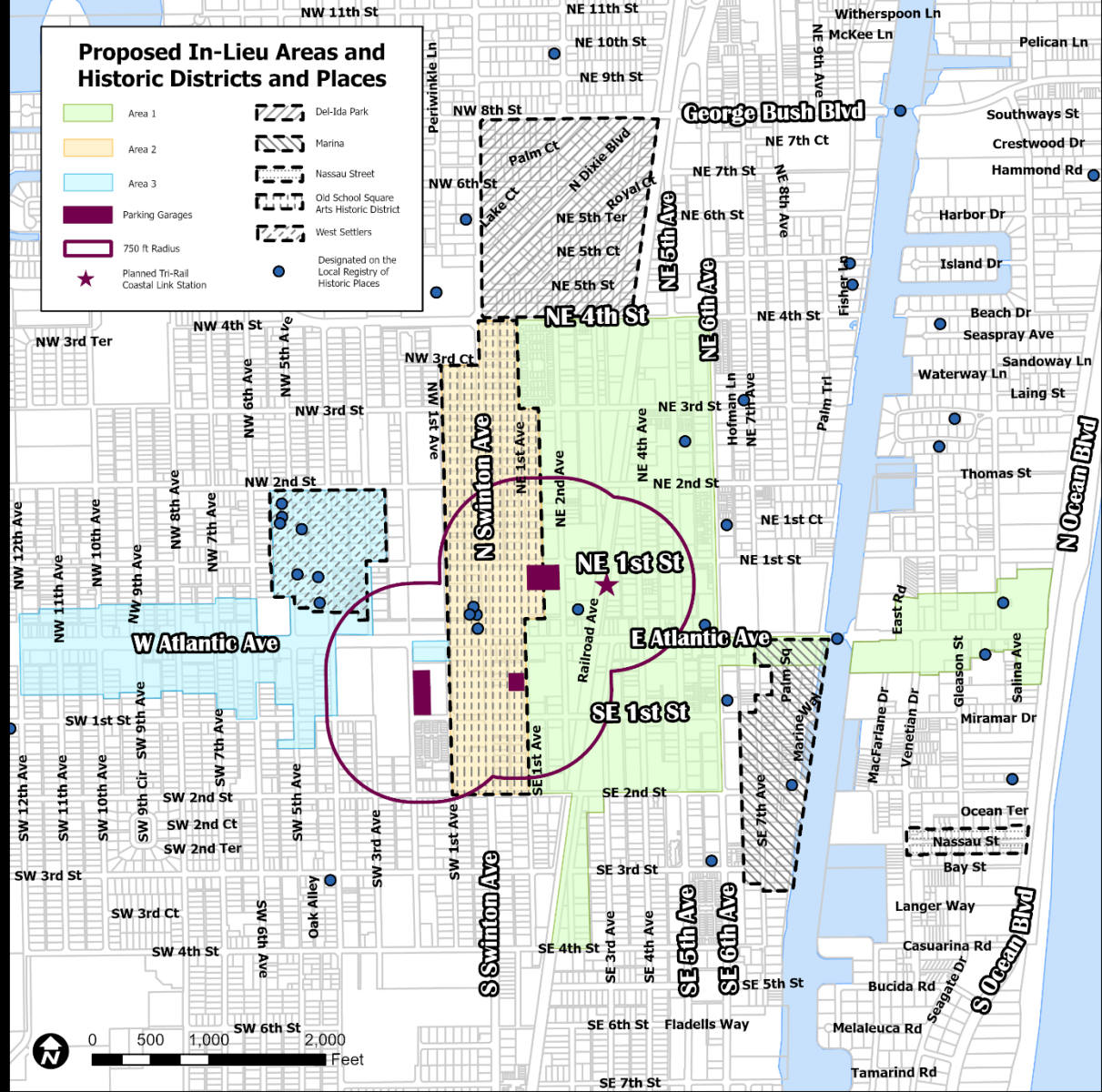
- When new development or expansion of an existing results in the requirement of only one new parking space, a one space exemption shall be allowed, and only once per property.
- Restaurants, Cocktail Lounges, Hotels, and Residential Type Inns may provide their required vehicular parking as valet parking.
- Off-site parking and off-site parking agreements.





# In Lieu of Parking Fee, LDR Amendment

## Historic Districts and Properties









# In Lieu of Parking Fee, LDR Amendment

## Proposed Language, Ordinance No. 14-24

### LDR Section 4.6.9

- Creates a new Subsection (G) for in-lieu parking
- Collapses the in-lieu fee areas from 5 to 3
- Approved in-lieu requests run with the property

### LDR Section 2.4.11

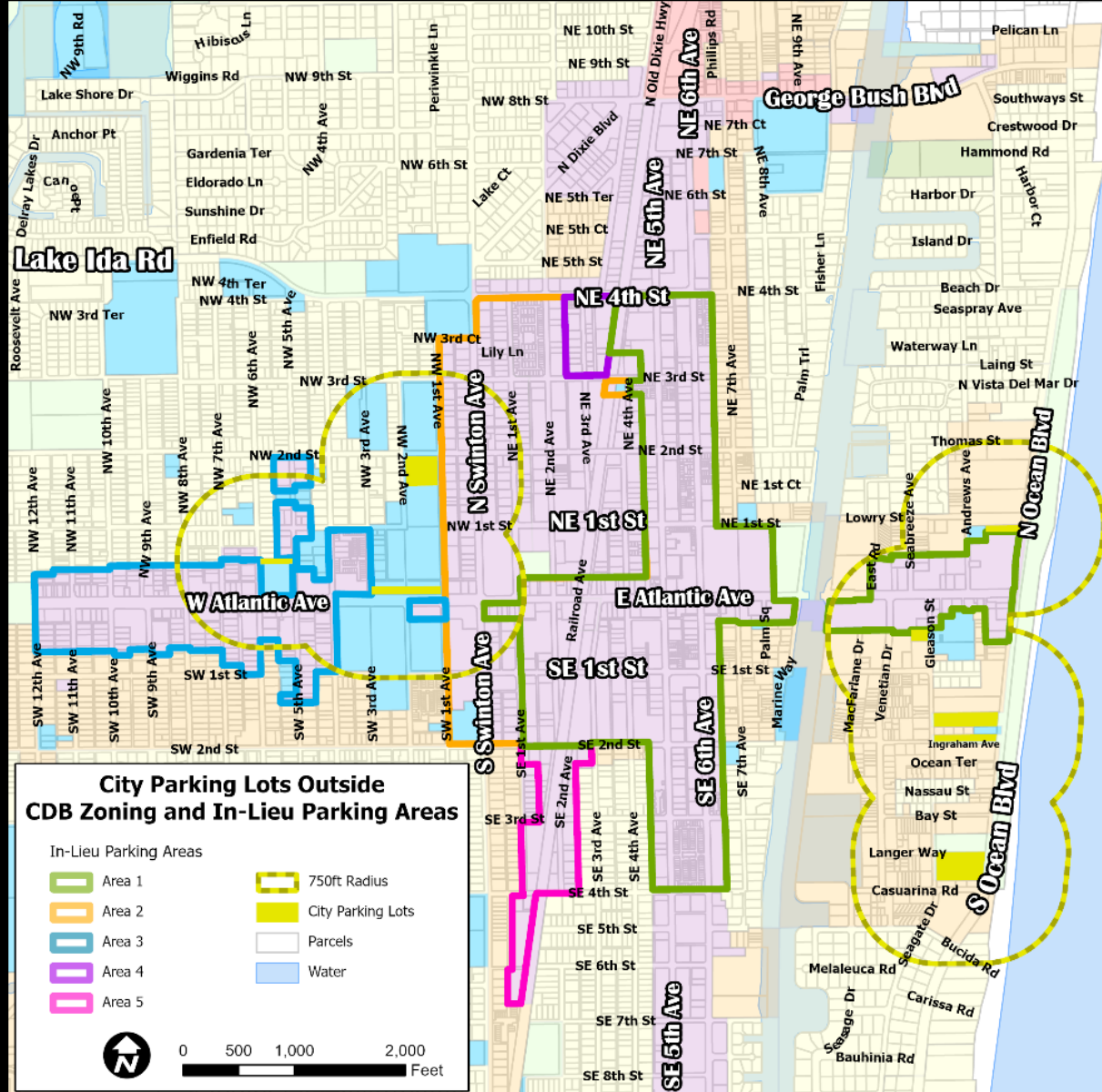
- Strengthens the required findings. It must support at least one of the following City policy-driven goals:
  1. Preservation of a historic structure by allowing for its use, re-use, or expansion and/or maintenance of the character of a historic district by avoiding excessive use of historic properties and/or properties located in historic districts for parking.
  2. Investment in the West Atlantic Neighborhood Sub-district.
  3. Adaptive reuse of an existing building.
- Absorbs procedural items eliminated from Section 4.6.9



# In Lieu of Parking Fee, LDR Amendment

## Proposed Language, Ordinance No. 14-24

- Elimination of the Public Parking Fee is proposed.
- Section 4.4.13 is updated for consistency with the updates in Section 4.6.9 and Section 2.4.11





# In Lieu of Parking Fee, LDR Amendment

## LDR Section 2.4.5(M)(5) Findings

That the text amendment is consistent with and furthers the Goals, Objectives and Policies (GOP) of the **Comprehensive Plan**.

### **Objective NDC 2.2 Downtown and Surrounding Neighborhoods**

Protect and enhance the "Village by the Sea" character of the downtown and neighborhoods located east of I-95.

### **Policy NDC 2.2.3**

Encourage the adaptive reuse of existing structures located within mixed-use and commercial land use designations, particularly those that were originally established as single-family homes or are over 50 years old, by providing incentives, such as relief in the Land Development Regulations, grants to facilitate retrofitting or rehabilitation, etc. [Complete by 2025-2040]

### **Policy NDC 2.2.4**

Provide incentives in the Land Development Regulations that encourage the long-term viability, adaptive reuse, and redevelopment of small properties located within mixed-use and commercial land use designations to maintain the historic development pattern over time. [Complete by 2025-2040]

### **Policy NDC 2.2.6**

Accommodate automobile access through innovative approaches, including creating district-wide parking programs, strategically locating public garages and lots to maximize access without conflicting with pedestrian activity, providing on-street parking, designating ride-share drop off and pick up locations, and developing "park once" areas that facilitate walking among multiple destinations in a safe, attractive environment.



# In Lieu of Parking Fee, LDR Amendment

## LDR Section 2.4.5(M)(5) Findings

That the text amendment is consistent with and furthers the Goals, Objectives and Policies (GOP) of the **Comprehensive Plan**.

### **Objective NDC 3.5 Update Land Development Regulations**

Regularly review and update the Land Development Regulations to provide timely, equitable and streamlined processes including, but not limited to, building permit processes for residential developments and to accommodate mixed-use developments, address market changes and development trends, and other innovative development practices.

### **Policy NDC 3.5.5**

Continue to develop new land use and zoning incentives for eligible and historic resources within the Land Development Regulations, such as encouraging the adaptive reuse of historic structures within mixed-use zoning districts and providing parking relief strategies.

### **Policy MBL 3.4.1**

Regularly analyze, assess, and update parking requirements in the Land Development Regulations to reflect actual parking trends and needs. Parking requirements may be customized for various parts of the City (e.g. Downtown, West of Congress Avenue).



# In Lieu of Parking Fee, LDR Amendment

## Reviewing Bodies

**Parking Management Advisory Board.** Review on May 29, 2024.

**Downtown Development Authority.** Review on June 10, 2024.

**Historic Preservation Board.** Anticipated for July 17, 2024.

**Planning and Zoning Board.** Anticipated for August 12, 2024.

**City Commission.** Ordinance No. 14-24 is anticipated to go before the City Commission for first and second reading in September 2024.



# 10.A – In Lieu of Parking Fee, LDR Amendment

## **Options for Board Action**