



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 105 NE 7th Street (2020-241)

Project Location: 105 NE 7th Street, Del-Ida Park Historic District

PCN: 12-43-46-09-29-001-0080

Request: Certificate of Appropriateness

Board: Historic Preservation Board

Meeting Date: April 7, 2021

Board Vote: Approved on a 4-0 vote

Board Actions:

Certificate of Appropriateness (2020-241) request associated with the construction of a two-car garage adjacent to the existing, contributing residence and a 143 square foot addition to the rear of the existing two-story non-contributing structure.

Project Description:

The residence at 105 NE 7th Street was constructed in 1941 and is considered a contributing building within the Del-Ida Park Historic District. The subject property is located on the north side of NE 7th Street, between North Swinton Avenue and NE 2nd Avenue, and is zoned R-1-AA (Single Family Residential). The property consists of two lots with a total frontage of 100' and a depth of 120'.

At its meeting of July 17, 2002, the Historic Preservation Board (HPB) approved a Certificate of Appropriateness (COA) application for demolition of the one-car garage that previously existed on the property, construction of a 2-story 1,583 sq. ft. addition (resulting in a 2,794 sq. ft. air-conditioned space), installation of a swimming pool, and various site improvements such as installation of Chicago brick paver walkways, deck, and driveway and installation of a fence and gate.

A Historic Property Ad Valorem Tax Exemption was later approved for the improvements noted above.

On September 10, 2020, staff administratively approved a COA for modification to the rear elevation to allow for installation of new exterior doors.

The subject request was for construction of a new 1-story, 2-car garage addition to the side (west side) of the existing contributing 1-story structure and forward of the existing non-contributing, 2-story addition. Also, proposed is a 1-story, 143 square foot addition to the rear (north side) of the 2-story non-contributing addition. Other exterior improvements included a trellis entryway feature to be constructed between the proposed garage and 1-story existing structure, and brick paver driveway.

Board Comments:

All members of the board were supportive of the proposal.

Public Comments:

There was no public comment.

Associated Actions:

N/A

Next Action:

The HPB action is final unless appealed by the City Commission.



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING
100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444
(561) 243-7040

HISTORIC PRESERVATION BOARD STAFF REPORT

105 NE 7th Street

Meeting	File No.	Application Type
April 7, 2021	2020-241	Certificate of Appropriateness

REQUEST

The item before the Board is in consideration of a Certificate of Appropriateness (2020-241) request associated with the construction of a two-car garage adjacent to the existing, contributing residence and a 143 square foot addition to the rear of the existing two-story non-contributing structure on the property located at **105 NE 7th Street, Del-Ida Park Historic District**.

GENERAL DATA

Agent: Ames International Architecture

Owner Alan and Ruth Baum

Location: 105 NE 7th Street

PCN: 12-43-46-09-29-001-0080

Property Size: 0.28 Acres

Zoning: R-1-AA - Single-Family Residential

LUM Designation: LD (Low Density)

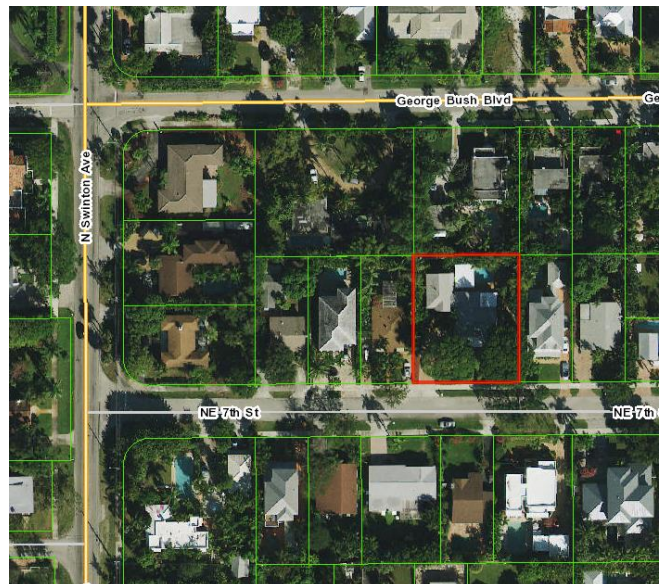
Historic District: Del-Ida Park Historic District

Adjacent Zoning:

- R-1-AA - Single-Family Residential (North)
- R-1-AA - Single-Family Residential (West)
- R-1-AA - Single-Family Residential (South)
- R-1-AA – Single-Family Residential (East)

Existing Land Use: Residential

Proposed Land Use: Residential



BACKGROUND INFORMATION AND PROJECT DESCRIPTION

The residence at 105 NE 7th Street was constructed in 1941 and is considered a contributing building within the Del-Ida Park Historic District. The subject property is located on the north side of NE 7th Street, between North Swinton Avenue and NE 2nd Avenue, and is zoned R-1-AA (Single Family Residential). The property consists of two lots with a total frontage of 100' and a depth of 120'.

At its meeting of July 17, 2002, the Historic Preservation Board (HPB) approved a Certificate of Appropriateness (COA) application for demolition of the one-car garage that previously existed on the property, construction of a 2-story 1,583 sq. ft. addition (resulting in a 2,794 sq. ft. air-conditioned space), installation of a swimming pool, and various site improvements such as installation of Chicago brick paver walkways, deck, and driveway and installation of a fence and gate.

A Historic Property Ad Valorem Tax Exemption was later approved for the improvements noted above.

Project Planner:

Project Planner: Katherina Paliwoda, Planner
PaliwodaK@mydelraybeach.com

Review Dates:

HPB: April 7, 2021

Attachments:

1. Plans
2. Justification Statements
3. Photographs

On September 10, 2020, staff administratively approved a COA for modification to the rear elevation to allow for installation of new exterior doors.

The subject request is for construction of a new 1-story, 2-car garage addition to the side (west side) of the existing contributing 1-story structure and forward of the existing non-contributing, 2-story addition. Also, proposed is a 1-story, 143 square foot addition to the rear (north side) of the 2-story non-contributing addition. Other exterior improvements include a trellis entryway feature to be constructed between the proposed garage and 1-story existing structure, and brick paver driveway. The COA is now before the board.

REVIEW AND ANALYSIS

Pursuant to Land Development Regulation (LDR) Section 2.4.6(H)(5), prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective 1.4 of the Historic Preservation Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

Pursuant to Land Development Regulation (LDR) Section 2.4.5(I)(5), Architectural (appearance) elevations, the Site Plan Review and Appearance Board or the Historic Preservation Board, as appropriate, may approve subject to conditions or deny architectural elevations or plans for a change in the exterior color of a building or structure, or for any exterior feature which requires a building permit.

ZONING AND USE REVIEW

Pursuant to LDR Section 4.4.3(B)(1) – A conventionally sited single-family detached residences is a Principal use and structure permitted.

The proposal meets the intent of this standard as the use is a single-family detached residence.

Pursuant to LDR Section 4.3.4(K) - Development Standards: properties located within the R-1-AA zoning district shall be developed according to the requirements noted in the chart below.

The proposal is in compliance with the applicable requirements; therefore, positive findings can be made.

Development Standards	Required	Existing	Proposed
Open Space (Minimum, Non-Vehicular)	25%	54%	50%
Setbacks (Minimum): Front (South)	30'	31' (Main Structure) 71' (2 nd Story)	50' (Garage) 46' (Trellis)
Side Interior (West)	10'	39' (Main Structure) 10'-4 1/8" (2 nd Story)	10'-1 5/8" (Garage) 10'-4 1/8" (Addition)
Side Interior (East)	10'	24 1/4' (Main Structure) 66' (2 nd Story)	No Change
Rear (North)	10'	33 1/2' (Main Structure) 18 1/2' (2 nd Story)	10'- 8 3/8" (Addition)
Height (Maximum)	35' Max.	17'-1 3/8" (Main Structure) 24'-5 3/4" (2 nd Story)	14'-8 5/16" (Garage & Addition)

LDR SECTION 4.5.1

HISTORIC PRESERVATION: DESIGNATED DISTRICTS, SITES, AND BUILDINGS

Pursuant to LDR Section 4.5.1(E), Development Standards, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

Pursuant to LDR Section 4.5.1(E)(2) – Major Development.

The subject application is considered "Major Development" as it involves "over a 25% modification to a contributing structure within the R-1-AA zoning district."

Pursuant to LDR Section 4.5.1(E)(3) – Buildings, Structures, Appurtenances and Parking: Buildings, structures, appurtenances and parking shall only be moved, reconstructed, altered, or maintained, in accordance with this chapter, in a manner that will preserve the historical and architectural character of the building, structure, site, or district:

Appurtenances: Appurtenances include, but are not limited to, stone walls, fences, light fixtures, steps, paving, sidewalks, signs, and accessory structures.

Fences and Walls: The provisions of Section 4.6.5 shall apply, except as modified below:

- a. Chain-link fences are discouraged. When permitted, chain-link fences shall be clad in a green or black vinyl and only used in rear yards where they are not visible from a public right of way, even when screened by a hedge or other landscaping.
- b. Swimming pool fences shall be designed in a manner that integrates the layout with the lot and structures without exhibiting a utilitarian or stand-alone appearance.
- c. Fences and walls over four feet (4') shall not be allowed in front or side street setbacks.
- d. Non-historic and/or synthetic materials are discouraged, particularly when visible from a public right of way.
- e. Decorative landscape features, including but not limited to, arbors, pergolas, and trellises shall not exceed a height of eight feet (8') within the front or side street setbacks.

A 4' chain link fence exists that encompasses the rear (north) and sides (east and west) of the property behind the front wall plane of the main 1-story contributing structure. The fence is screened with shrubs to the rear of property and additional landscaping screens the side fences, so they are not visible from the public right of way. A 3' high wood picket fence exists on the south, east and west sides of the property within the front setback. A 5' PVC fence is also currently existing on site which are located on the west side of the existing structure behind the front wall plane. It is important to note that PVC is not a permitted material for use within an historic district, however, permit # 02-80452 documents that the existing fence on this property was approved and is an existing non-conformity. Finally, an added site plan technical item is that the existing wood picket fence on the south property line be illustrated on the site plan.

Garages and Carports:

- a. Garages and carports are encouraged to be oriented so that they may be accessed from the side or rear and out of view from a public right of way.
- b. The orientation of garages and carports shall be consistent with the historic development pattern of structures of a similar architectural style within the district.
- c. The enclosure of carports is discouraged. When permitted, the enclosure of the carport should maintain the original details, associated with the carport, such as decorative posts, columns, roof planes, and other features.
- d. Garage doors shall be designed to be compatible with the architectural style of the principal structure and should include individual openings for vehicles rather than two car expanses of doors. Metal two car garage doors are discouraged; however, if options are limited and metal is proposed, the doors must include additional architectural detailing appropriate to the building.

The subject proposal includes the construction of a 2-car garage, which faces NE 7th Street. The property originally contained a 1-story detached garage that was located on the west side of the property. While garages are encouraged to be oriented from the side or rear, such orientation would require the new garage addition to be constructed forward of the existing front wall plane of the historic structure. The proposed configuration sets the garage back behind the front façade plane ensuring the Secretary of the Interior's Standards and the Delray Beach Visual Compatibility Standards can be met. As a garage once existed on the subject property facing the front of the property, the proposed garage addition can be considered an appropriate modification to the property.

The design of the proposed garage includes two individual, steel garage doors within individual door openings. Pursuant to the code requirements, the garage door should include individual openings for vehicles rather than two car expanses of doors; thus, the proposal can be considered in compliance with this code requirement. Additionally, the code also states that if metal garage doors are to be used, that additional architectural detailing be included appropriate to the building. The proposed metal, single garage doors have a decorative composite wood overlay to ensure a residential appearance. These features can be considered in compliance with this code requirement.

Parking: Parking areas shall strive to contribute to the historic nature of the properties/districts in which they are located by use of creative design and landscape elements to buffer parking areas from adjacent historic structures. At a minimum, the following criteria shall be considered:

- a. Locate parking adjacent to the building or in the rear.
- b. Screen parking that can be viewed from a public right-of-way with fencing, landscaping, or a combination of the two.
- c. Utilize existing alleys to provide vehicular access to sites.
- d. Construct new curb cuts and street side driveways only in areas where they are appropriate or existed historically.
- e. Use appropriate materials for driveways.
- f. Driveway type and design should convey the historic character of the district and the property.

The subject proposal complies with the requirements of this subject regulation, as there is an existing brick paver driveway that complies with residential parking. The proposal includes construction of a new garage, which will provide parking for two cars.

Pursuant to LDR Section 4.5.1(E)(4) – Alterations: in considering proposals for alterations to the exterior of historic buildings and structures and in applying development and preservation standards, the documented, original design of the building may be considered, among other factors.

The subject request is for the construction of 2-car garage to the front (southwest) corner of the property, adjacent to the west side of the existing 1-story, contributing structure and directly in front the existing non-contributing 2-story addition. A 143 square foot addition to the rear of the 2-story addition is also proposed. The original design of the structure has been considered with respect to the proposed improvements.

Pursuant to LDR Section 4.5.1(E)(5) - Standards and Guidelines: a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

Standard 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Standard 6

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard 10

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Standard 1, 2, 5, 9, & 10 are applicable. The proposal is for the construction of a 2-car garage adjacent to the west side of the existing contributing 1-story structure, and placed directly in front of the existing non-contributing, 2-story addition. A 1-story 143 square foot addition is proposed to the rear of the 2-story non-contributing structure. Like the existing structure, the proposed garage and rear addition will have the same residential use as is existing on the property and to which its surrounding environment was historically used. Regarding Standard 1, 5, and 9, the architectural style of the proposed garage and rear addition are defined as a Minimal Traditional, which is compatible with the existing Minimal Traditional residence. It is also a style that is very common within the Del-Ida Park Historic District. Regarding Standard 2, both the garage and rear addition have been designed so that they do not alter the appearance of the original contributing 1-story structure, ensuring that the historic integrity of the residence will not be harmed. There is, however, concern with respect to the proposed change of the window on the west side of the existing structure. An added condition of approval is that the existing window placement be retained. Other than the window change, there are minimal alterations proposed to the main structure. Therefore, provided the condition of approval is address, the historic character of the property can be considered retained and preserved.

Pursuant to LDR Section 4.5.1(E)(7) - Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m) below.

- a. Height:** The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.1(E)(2)(a), shall also be determined through application of the Building Height Plane.
- b. Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.

- c. **Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- d. **Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- e. **Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- f. **Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- g. **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- h. **Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- i. **Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
- j. **Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:
 - a. For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line:
 - b. For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line:
- k. **Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
- l. **Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.
- m. **Additions to individually designated properties and contributing structures in all historic districts:** Visual compatibility shall be accomplished as follows:
 - 1. Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.

2. **Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.**
3. **Characteristic features of the original building shall not be destroyed or obscured.**
4. **Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.**
5. **Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design but shall be coherent in design with the existing building.**
6. **Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.**

Regarding the visual compatibility requirement for **Proportion of Openings (Windows and Doors)** it states that **the openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district. In addition, The Secretary of the Interior's Standard for the Treatment of Historic Properties (pg. 102) do not recommend changing the appearance of windows that contribute to the historic character of the building by replacing materials, finishes, or colors which noticeably change the sash, depth of the reveal, and muntin configurations; the reflectivity and color of the glazing; or the appearance of the frame.**

There is a proposed relocation of a window on the west side of the main contributing structure to be shifted slightly forward 2' on its existing wall with the purpose of aligning with the new interior space. It is important to note that the reconfiguration of interior spaces should not reflect on exterior elevation changes such as window profiles, as this is not an appropriate alteration for a contributing structure. An added condition of approval is that the original window configuration be retained.

Regarding the visual compatibility requirement of **Relationship of Materials, Texture, and Color:** which requires **the relationship of materials, texture, and color of the facade of a building and/or hardscaping to be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district** - the exterior finish of the proposed accessory structure includes wood siding (painted Benjamin Moore Moonlight White 2143-60) to match the existing residence. Vertical board and baton wood siding on the gable, wood colonial shutters painted black will be added to new windows, and the wood fascia will be painted Benjamin Moore Super White OC152, railings, and columns will also match what is existing. The roof of the garage and rear addition will both be gray 3-dimensional asphalt shingle to match the existing structure. The garage doors will be painted black (Sherwin Williams 6990 Caviar). Proposed windows will be white framed aluminum with clear, non-reflective glass. Additionally, a wooden trellis entryway is also proposed. Historically, the predominant materials used in and on historic structures within the Del-Ida Park Historic District are authentic such as wood or metal. It is noted that there are two clerestory windows proposed to rear of the new 1-story addition. Clerestory windows are considered a modern style and is not window style that currently exists on the existing structure. However, the design of these two windows have been given dimensional muntins and shutters to match what is existing on the residence and as the clerestory windows are proposed within a later addition that is out of view from the public right of way. The approval for use of clerestory windows is at the discretion of the Historic Preservation Board.

Overall, the use of authentic materials guarantees the longevity and authenticity of the district, ensuring there will be future resources that will contribute to the architectural and historical context of the historic district.

With regards to **Architectural Style**, it states that all major and minor development shall consist of only one architectural style per structure or property and not introduce elements definitive of another style. The architectural style is Minimal Traditional, and the proposed garage and rear addition are also proposed in the Minimal Traditional style; thus, are compatible with the existing contributing structure, as well as the overall streetscape as it is an historic style that exists within the Del-Ida Park Historic District.

With regards to **Additions**, it states that additions shall be located to the rear or least public side of a building and be as inconspicuous as possible. Additions or accessory structures shall not be located in front of the established front wall plane of a historic building. The subject request is for the construction of a 1-story, 2-car garage adjacent to the west side of the existing 1-story contributing structure, and 143 square foot addition to the rear of the existing non-contributing 2-story addition. As previously mentioned, the proposed garage will be constructed behind the front wall plane of the existing 1-story contributing structure. It is noted the double lot size of the subject being 100' x 120' is larger than the minimum requirement for the zoning; thus, placing the addition adjacent to the existing structure would be an appropriate use of the large lot size. Also, the proposed rear addition is 1-story and will be placed to the rear of the 2-story addition which is not visible from the public right of way. Therefore, the accessory garage and rear addition both can be considered as meeting the secondary and subordinate standard.

COMPREHENSIVE PLAN

Pursuant to the Historic Preservation Element (HPE), Objective 1.4, Historic Preservation Planning: Implement appropriate and compatible design and planning strategies for historic sites and properties within historic districts.

The objective shall be met through continued adherence to the City's Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

HPE Policy 1.4.1

Continue to require that the Historic Preservation Board make findings that any land use or development application for a historic structure, site or within a historic district, is consistent with the provisions of the Secretary of the Interior's Standards for Rehabilitation, the Land Development Regulations, and Delray Beach Historic Preservation Design Guidelines.

The development proposal involves the construction of a 1-story 2-car garage adjacent to the west side of the existing 1-story, contributing residence and forward of the existing 2-story non-contributing addition. In addition, a 143 square foot addition is proposed to the rear (north side) of the existing 2-story non-contributing addition. A wooden trellis is also proposed within the front walkway of the proposed garage and existing 1-story structure. There are no concerns with respect to soil, topographic or other physical considerations. With respect to the adjacent land uses, the property is in an area surrounded by single-family and multi-family residential uses. The proposal can be found to be consistent with the requirements of the Comprehensive Plan and provided the conditions of approval are addressed, the request will be considered to be consistent with the provisions of LDR Section 4.5.1 relating to historic sites and districts as well as the Delray Beach Historic Preservation Design Guidelines.

OPTIONAL BOARD MOTIONS FOR ACTION ITEMS

- A. Move to continue with direction.
- B. Approve Certificate of Appropriateness (2020-241), request for the property located at **105 NE 7th Street, Del-Ida Park Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations.
- C. Approve Certificate of Appropriateness (2020-241), requests for the property located at **105 NE 7th Street, Del-Ida Park Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations subject to the following conditions:
1. That the original window configuration on the west side of the contributing structure be retained.

Site Plan Technical Items

1. That the site plan be revised to match the scale of the survey, which is 1"-10'.
 2. That setbacks for all existing structures be added to the site data table and illustrated on the site plan.
 3. That the existing wood picket fence on the south property line be illustrated on the site plan.
 4. That the proposed setbacks for the garage and master closet addition be included on the site data table and illustrated on the site plan.
 5. That the existing and proposed percentage for open space be included on the site data table.
 6. That the height the existing and proposed structures be included on the site data table and illustrated on the elevation drawings.
- D. Deny Certificate of Appropriateness (2020-241), requests for the property located at **105 NE 7th Street, Del-Ida Park Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations.

PUBLIC AND COURTESY NOTICES

☒ Courtesy Notices were provided to the following, at least 5 working days prior to the meeting:

Del-Ida Park Neighborhood Association

☒ Agenda was posted on (3/31/21), 5 working days prior to meeting.

8/10/2020

Historic Preservation Board

Re: 105 NE 7th Street
Mr. Alan & Ruth Baum's Residence
Waiver Application

Dear Sir or Madam,

We respectfully seek relief from the Historic Preservation Board to for a front-loading garage versus a side loading garage. While we understand the rich history and significance of preserving this property the current home has no secure means of parking in addition to that the side access does not allow proper maneuvering for a side access to the parking garage. Consequently, we seek only to enjoy the standard benefits of a home making the space more comfortable for our family.

1. Pursuant LDR Section (E) (5)- Standards and guidelines.

A historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

In conforming to Land Development Regulations (LDR) section (5) for contributing historic properties, we want to highlight that the front façade of the existing structure will not be altered except for the front left (south) of the existing structure and the addition of the master closet at the rear(north) of the existing structure. The addition will entail repairs if needed, the matching of colors, material, style, size, windows & doors to the existing Historic structure. Also, we would like to highlight that no portion of the proposed addition will be above the Building Height Plane. The existing porch is 34 feet from the front property line and the proposed garage addition is 50 feet from the front property line significantly behind the Building Height Plane. Kindly refer to sheets A07-A10 for elevations and renderings.

2. Pursuant LDR Section 4.5.1 (7)- Visual Compatibility Standards.

New construction and all improvements to both contributing and noncontributing buildings, structures, and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a) through (m) below.

a. The design of the proposed garage addition was done meticulously to seamlessly match the existing historic structure keeping the architectural style preserved and intact. It was due to extensive coordination, planning and research study of the solid to void proportions, we have managed to achieve this and in addition merge the proposed with the existing structure beyond. In summation the building height plane will not be affected by the addition of the garage.

b. First floor maximum height is not breached as the proposed garage roof line is below the original structures roof ridge. Also, the second floor is existing and will remain intact.

c. As described in the section above regarding the front façade we are not proposing any modifications to the existing original front structure, all elements, style, and materials will remain intact to preserve the original look of the residence

d. Proportion of openings (windows and doors) is being accomplished in the following ways:

front and side facades of the existing structure are keeping the same window and door openings and windows and doors

are being updated to meet current wind loads. Finish to be white, painted aluminum glazed products for the windows and new wood entry door to match existing. All in keeping with the original style.

For the proposed side and rear elevations of the additions the windows and doors are designed with sizes proportional to the original windows. To the proposed south side by the pool we are proposing sliding glass doors with muntins at the top to tie it back into the original muntin style colonial look of the original windows. Same for the rear as well. We are making every effort to keep a balanced look with existing and new.

e. We understand that its critical to maintain the rhythm of buildings in the Historic District and we are making every effort to do so, hence no structural modification to the front façade. We aim to maintain the original style of the Banker's Row. We trust the board will appreciate this initiative.

f. No changes are proposed for the rhythm of entrance and existing porch is not proposed to be extended therefore we believe we have met the historic intent.

g. All materials, color & texture will be visually compatible to the Historic District material as follows:

- Walls: Cream or Off White with White railings.
- Roof: Gray shingles to match existing roof finish.
- Fascia: White, like existing.
- Shutters: Existing painted in Black.
- Windows: White frames with muntin to match existing. Glass to be non-reflective type hurricane impact with Low-E coating for energy conservation.

h. Roof Shape will be in line with the original structure sloped gabled roof with sections of flat roof that are not visible. Flat areas area designed to reduce overall height-not visible from eye view or front property line.

i. Existing fence will remain for all areas.

j. With respects to the scale of the building, the building setback requirement for the addition has been satisfied per [Amd. Ord. 38-07 2/5/08] the required distance of the façade from the setback is 16'-0" the proposed façade is 16'-2".

k. The directional expression of the front elevation is not being compromised or changed from the original design intent preserving and returning the front façade like the existing time frame, condition, and style. As noted above, the original front façade with window sizes and materials remaining like existing design as much as possible while complying with current building codes and standards.

l. The architectural style is remaining true to its existing style and presence of the Historic District. The scope of work will be maintained and kept in line with the existing architectural style. Techniques to achieve this include but are not limited to uniform wood siding to match the existing, window sizes in line with those on the original structure with similar muntin pattern, all visible roofing will match the existing. The large French door at the Family Room / pool area are scaled proportionally to fit within the style and scale of the existing structure (refer to sheet A07-A10). The architecture is will remain true to the Historic Standards.

m. Additions to individually designated properties and contributing structures in all historic districts. *Visual compatibility shall be accomplished as follows: [Amd. Ord. 01-12 8/21/12]; [Amd. Ord. 38-07 2/5/08]*

With regards to the addition, the visual compatibility is achieved in response to subparts 1 through 6:

1 The addition blends with the original structure. It will not be seen from the front of the property and as stated before it is not located within the Building Height Plane (refer to sheet A08.1). Only the existing front façade will be seen.

2 All major construction will be to the front / south west corner and rear/ north west of the property per Historic District guidelines.

3 The design will be kept in line with the existing style and characteristics, nothing in our proposed design will destroy or change the original essence or look of the existing style. The original structure will be preserved and rehabilitate to the original state. We will also ascertain the proper engineering inspections and evaluation to ensure the existing structure is in-tact.

4 The addition meets the full intent of subpart 4.' Nothing proposed diminishes the basic form of the original building down to the original perimeter walls, rafters, and landscape. The proposed floor plan clearly demonstrates how the proposed addition will conform to the existing structure/architecture.

5 No new architectural styles are introduced as you can see in the proposed elevations; we are simply using the original language and style to blend the new with existing. The design does extremely well job to maintain the existing style of the original structure to influence the balance of the design. We are taking extensive steps to keep to the historic pattern of the contributing structure.

6 As demonstrated the additional structure is behind the original structure and not over the BHP. We believe we have met all the intents of this section.

5. Pursuant to LDR Section 2.4.7(A)(5) Variance Findings

- a. The location of the existing structure creates special and nonconforming conditions forcing this proposed alteration that minimally affects the existing contributing structure. The distance from the existing and proposed structure to the west boundary line varies between 10'-1" & 10'-6" from the side property line, not allowing a side loading garage. Hence a waiver to have a front-loading garage is being requested.
- b. The areas requested for a waiver would facilitate a common to residential element aiming to enhance the residence within the same zone classification. A rejection of this waiver request would not only prevent the comfort and expansion of our standard of living as a family but also lose the opportunity to uplift and maintain the beauty of the neighborhood.
- c. The condition or circumstance leading to this request is not a result of the applicants doing. It is an existing condition we seek to improve. Nothing the applicant has done since ownership has led to any special conditions.
- d. There are no special privileges afforded to the applicant but will only ensure the applicant enjoys as the standard privileges enjoyed by residence of the same zoning.
- e. The applicant has presented a reasonable and most, importantly minimum waiver required for expansion, with minimal alteration of the existing structure, with the expansion integrating into the property. By allowing this waiver for the front loading garage it is a guarantee that proposed addition does not remove the historic pattern of the property but would rather strengthen and preserve the historic presence since all material and aesthetic will match the existing.
- f. The granting of this waiver will keep the harmony preserved by these regulations and will not have any adverse effect on the neighborhood or public safety.

Pursuant to LDR Section 2.4.7(A)(6) Historic findings of the Historic Preservation Board.

Should the Historic Preservation Board need alternative reasons to approve this waiver application we put forward the following findings below:

- a. The approval of the waiver will not affect the existing front façade of the historic structure, its historic pattern/features or public safety. Not granting this waiver would prevent the means to a secure parking garage. The aim is enhancing the rich historic features and blend in with the existing context as well as create high quality of architecture in this area.
- b. As mentioned before the existing west side of the proposed contributing structure does not allow for a side loading garage, we are seeking a waiver to have a front-loading garage on the south west corner at the existing driveway. The proposed usage of this area does not in any way diminish or change the character of the existing structure but will facilitate better maneuvering in addition the front loading garage will blend with the character of the existing structure per Historic Preservation guidelines. Kindly refer to sheets A07-A10 for elevations and renderings. Our findings per site visits and the survey confirm that the varying distances of 10'-1" & 10'-6" is not enough to achieve side maneuvering of side load access to the proposed garage.

- c. The historic character of the existing historic structure will be preserved. The level of alteration is minimal and is in keeping with the Land Development Regulation (LDR).
- d. The waiver requested will not diminished the historic character. Firstly, the proposed roof line does not exceed the highest existing roof, secondly, the solid to void character is being maintained, thirdly the windows will be colonial style with muntins to match existing and all proposed exterior finishes to match existing. The elevations r and the new material will match the existing. All the above is to preserve the existing vernacular of the home in the time frame of when it was constructed while meeting the current building codes and regulations.
- e. The requested waiver is necessary to accommodate the reuse of this historic property for basic residential security basic family needs and standard quality of life.

Shane Ames

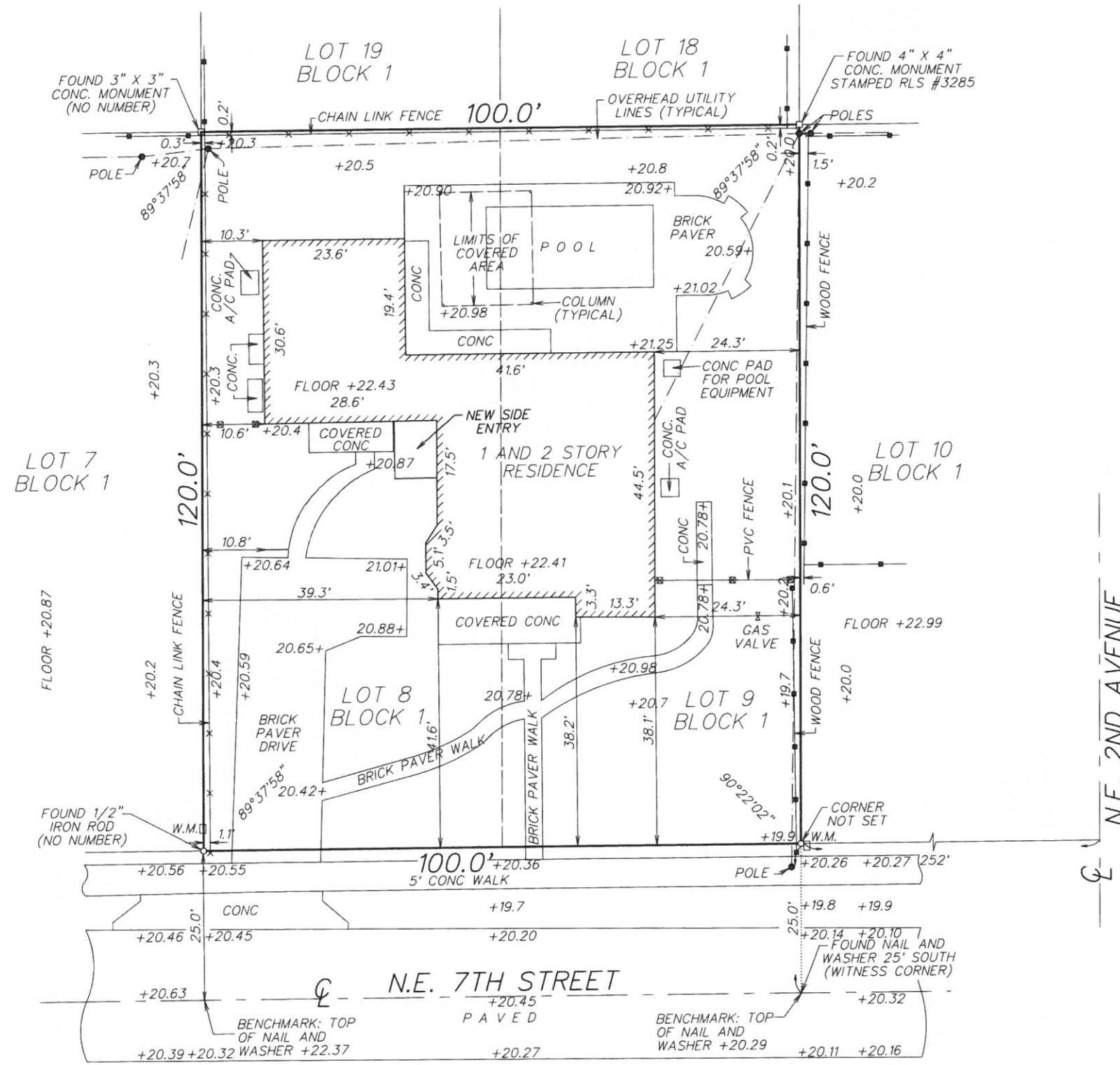
Architect CEO & Interior Designer



AMES INTERNATIONAL ARCHITECTURE
203 Dixie Blvd. Delray Beach, Florida 33444.
t: 561.274.6444 • f: 561.274.6449
www.amesint.com

FL AR 0012001

FL AA 0002307



SURVEYOR'S REPORT/LEGEND:

CL = CENTERLINE
 CONC = CONCRETE
 WM = WATER METER
 FLOOD ZONE: X
 COMMUNITY PANEL NO. 02502
 MAP NO. 1008009776
 SUFFIX: F
 MAP DATE: OCTOBER 5, 2017
 +2029 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988 SOURCE "L-NET GPS NETWORK"

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD US FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE. WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL, AND ANGULAR DIMENSIONS.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

DESCRIPTION:

LOTS 8 AND 9, BLOCK 1, DEL-DA PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 9, PAGE 52, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

MAP OF BOUNDARY SURVEY
 SITE ADDRESS: 105 N.E. 7TH STREET,
 DELRAY BEACH, FLORIDA 33444
 PARCEL CONTROL NO. 12-43-45-09-29-001-0080

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle
 PAUL D. ENGLE
 SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL BASED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.
 LAND SURVEYORS
 CERTIFICATE OF AUTHORIZATION #LB353
 SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
 955 N.W. 17TH AVENUE, SUITE 401 DELRAY BEACH, FLORIDA 33445
 (561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY MARCH 15 2020	REVISED: 03/25/20 - ADDED PROPOSED ADDITIONS	SCALE: 1" = 10'
FIELD BOOK D.264	PAGE NO. 32	ORDER NO.: 01-910b



INTERIOR RENOVATION FOR 105 NE 7TH STREET.

GENERAL NOTES:

- CONSTRUCTION SHALL FOLLOW "F.B.C. 6TH EDITION 2017" AS ADOPTED BY THE COUNTY AND AS APPLICABLE TO THE AREA IN WHICH THE BUILDING IS TO BE CONSTRUCTED WITH ALL APPLICABLE AMENDMENTS.
- BUILDER SHOULD COORDINATE ALL THE WORK OF ALL THE TRADES.
- BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ETC. PRIOR TO STARTING ANY WORK AND WITHIN SEVEN (7) CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT). OTHERWISE THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE.
- TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE, CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- SITE WORK: FILL UNDER ALL SLABS SHALL BE CLEAN SAND AND SHALL BE COMPACTED TO A MINIMUM OF 95% AND A MAXIMUM DENSITY AS PER ASTM D-1557, CONTRACTOR SHALL VERIFY UNDER COMPACTION. ALLOWABLE SOIL BEARING PRESSURE 2500 P.S.F. MIN. SEE GEOTECHNICAL ENGINEER RECOMMENDATIONS.
- WOOD: ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH NO.2 OR BETTER. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED. SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ROOF TRUSSES BEARING THE SIGNATURE AND SEAL OF A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- DOORS AND WINDOWS: WINDOWS INDICATED WITH (E) MUST BE MANUFACTURED TO CONFORM WITH THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS. ALL SLIDING GLASS DOORS SHALL BE TEMPERED. ALL WINDOWS AND DOORS SHALL BE CALKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS COMPLIANCE WITH FLORIDA STATE MODEL CODE SECTION 602.4. WINDOW AND DOOR MANUFACTURERS SHALL ALSO COORDINATE WITH BUILDER FIELD VERIFY ALL OPENING SIZES PRIOR TO FABRICATION.

- THE AMES INTERNATIONAL ARCHITECTURE RESERVES, MAINTAINS AND RETAINS ITS COMMON LAW COPYRIGHT RIGHTS AND ANY OTHER RIGHTS (EXPRESSED AND/IMPLIED) IN THESE PLANS, DESIGNS, IDEAS, SPECIFICATIONS, ETC. THESE PLANS, IDEAS, DESIGNS, ETC. ARE NOT TO BE REPRODUCED, COPIED, DUPLICATED, ETC. IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE NOR ARE THEY TO BE LOANED OR ASSIGNED TO ANY PERSONS, FIRMS, ASSOCIATIONS, CORPORATIONS, ETC. WITHOUT FIRST OBTAINING A WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE, IN EACH AND EVERY INSTANCE.
- ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR BY THE OWNER TO THE AMES INTERNATIONAL ARCHITECTURE ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE AMES INTERNATIONAL ARCHITECTURE FROM ANY AND ALL RESPONSIBILITY, CLAIMS AGAINST THE AMES INTERNATIONAL ARCHITECTURE FOR CULPABILITY, ETC. FROM THE DATE SHOWN ON THE PLANS ORIGIN UNTIL THE END OF TIME.
- BUILDER SHALL PROVIDE INSULATION AS PER ENERGY CALCULATIONS AND/OR PLAN SPECIFICATIONS.
- ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED WITH MANUFACTURERS RECOMMEND AND SPECIFICATIONS.
- APPROVED MANUF. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DETAILS AND SPECIFICATIONS FOUND IN THESE PLANS. DEVIATIONS FROM THESE PLANS, SPECIFICATIONS AND NOTES MUST CONFORM TO LOCAL BUILDING CODE REQUIREMENTS. AND MUST BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- NO ONE SHALL ASSUME ANY DIMENSION BY DIRECTLY SCALING CONSTRUCTION DOCUMENTS OR ANY REPRODUCTIONS AND SAME. IF ANY ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR AND/OR RESIDENT, CONTACT THE AMES INTERNATIONAL ARCHITECTURE FOR VERIFICATION. OTHERWISE, THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERROR NOR WILL THEY CORRECT ANY ERROR AT THEIR EXPENSE.
- ALL WINDOWS USED AS EMERGENCY EGRESS OPENING TO COMPLY WITH "F.B.C. 6TH EDITION 2017".
- ALL SHOWER ENCLOSURES AND DOORS TO HAVE TEMPERED GLASS.
- ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS.
- GLAZING CONTRACTOR SHALL INSTALL ALL GLASS IN ACCORDANCE WITH "F.B.C. 6TH EDITION 2017".
- ALL EXTERIOR FIXED GLASS (EXCEPT AT WINDOWS) AND ALL INTERIOR FIXED GLASS SHALL HAVE TEMPERED GLASS.
- ALL SHOWERS MUST BE EQUIPPED WITH ANTI-SCALE FAUCETS

INDEX OF DRAWINGS	
DRAWING NO.	DRAWING CONTENTS
A01	COVER SHEET & GENERAL NOTES
A02	SITE PLAN, ARCHITECTURAL
A02.1	COMPOSITE OVERLAY
A03	DEMOLITION PLAN
A04	1ST FLOOR PLAN
A05	2ND FLOOR PLAN
A06	ROOF PLAN
A07	BUILDING ELEVATION
A08	BUILDING ELEVATION
A09	BUILDING ELEVATION
A10	BUILDING ELEVATION
A11	PERSPECTIVES
A12	EXISTING HOUSE PHOTOS
A13	DOOR & WINDOW SCHEDULE
C-1	CIVIL PLAN & CALCULATIONS
C-2	EROSION & SEDIMENT CONTROL PLAN

COVER SHEET
OF XX SHEETS

DRAWN A.G.
CHECKED
DATE 10/22/2019
SCALE AS NOTED
JOB NO. 19-4861
SHEET A01



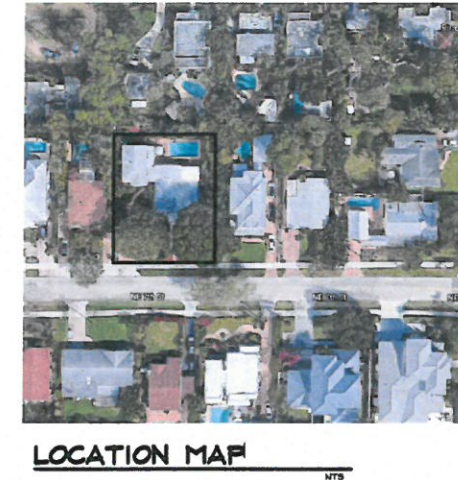
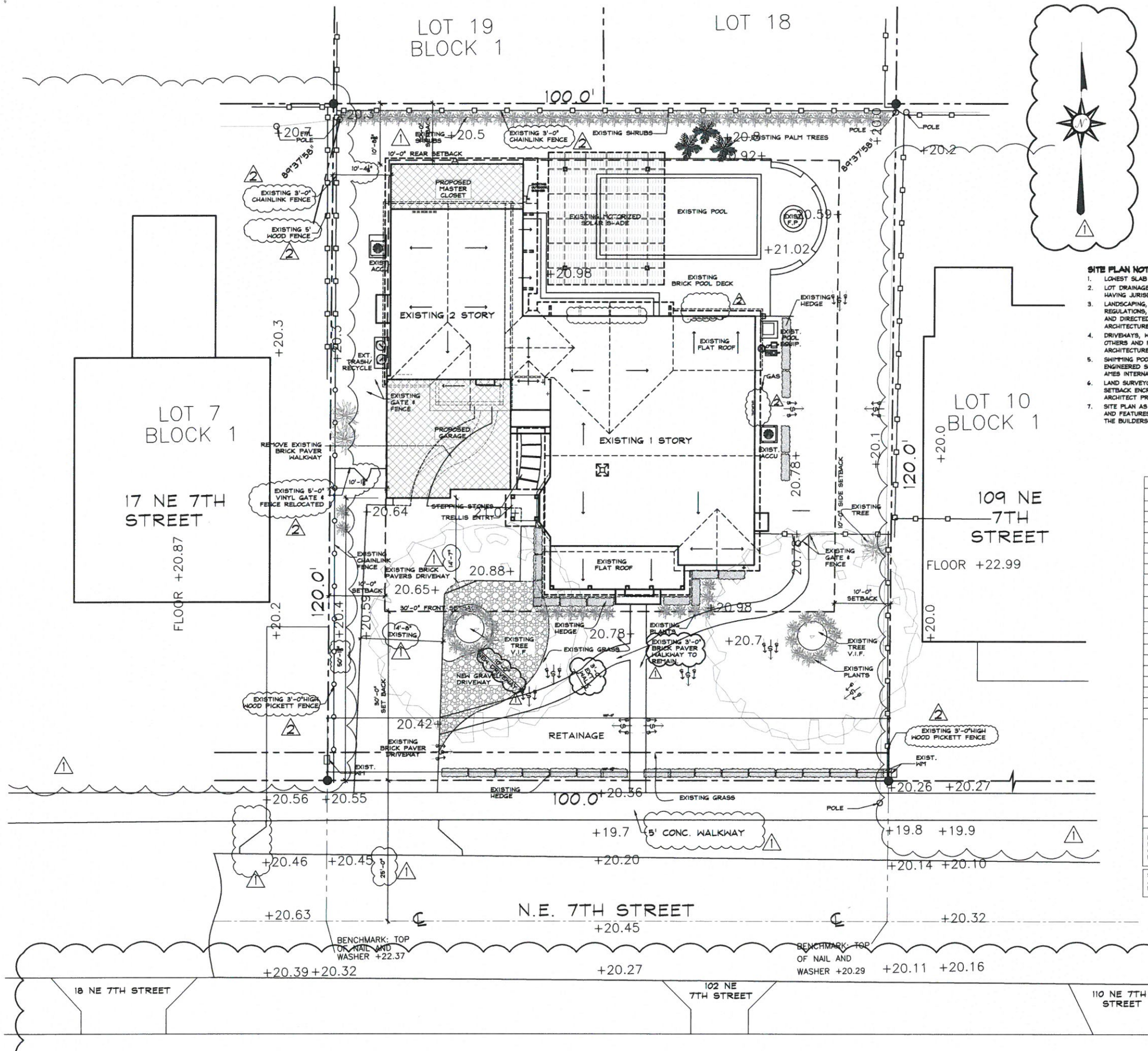
Shane Ames - Architect

HISTORIC PRESERVATION BOARD

ALAN & RUTH BAUM
105 NE 7TH STREET
DEL-IDA, DELRAY BEACH, 33444

REVISIONS	BY
A 2/17/2021 CITY/HISTORIC COMM.	AG
A 3/18/2021 HISTORIC COMM.	AG

ADDRESS - 105 NE 7TH STREET, DELRAY BEACH, FLORIDA 33444 PHONE - 904.257.4644 FAX - 904.257.4644



- SITE PLAN NOTES**
1. LOWEST SLAB AT LIVING AREA SHALL BE MINIMUM 18" ABOVE CROWN OF ROAD.
 2. LOT DRAINAGE SHALL BE AS ALL LOCAL CODES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION.
 3. LANDSCAPING, IRRIGATION, BERMING, ETC., SHALL BE AS ALL LOCAL CODES, REGULATIONS, RESTRICTIONS HAVING JURISDICTION, AND FURTHER, AS SELECTED AND DIRECTED BY BUILDER. (NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT).
 4. DRIVEWAYS, WALKWAYS, SLABS ON GRADE, POOL DECKS, SWIMMING POOL ARE BY OTHERS AND PERMITTED SEPARATELY. (NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT, CONTRACT).
 5. SWIMMING POOL, DECK, SPA, ETC., BY OTHERS, SEE POOL SUBCONTRACTORS ENGINEERED SHOP DRAWINGS. PERMITTED SEPARATELY AND NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT. SEE OWNER.
 6. LAND SURVEYOR SHALL VERIFY LOCATION OF HOUSE ON SITE AND ANY OCCURRING SETBACK ENCROACHMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING DONE.
 7. SITE PLAN AS DRAWN REFLECTS ARCHITECTS CONCEPTION OF OVERALL SITE LAYOUT AND FEATURES, AND MAY NOT NECESSARILY BE AN ACCURATE REPRESENTATION OF THE BUILDERS STANDARD INCLUDED FEATURES OR LAYOUT AND DESIGN.

AREA CALCULATIONS			
	REQUIRED/ PERMITTED	EXISTING	PROPOSED
FRONT SETBACK	30'-0"	30'-0"	30'-0"
SIDE INTERIOR SETBACK	10'-0"	10'-0"	10'-0"
SIDE STREET SETBACK	N/A	N/A	N/A
REAR SETBACK	10'-0"	10'-0"	10'-0"
HEIGHT/FLOORS	35'-0"	10'-0"	10'-0"
WIDTH OF SITE	75'-96"	100'-0"	100'-0"
DEPTH OF SITE	100'-0"	120'-0"	100'-0"
FRONTAGE	75'-96"	100'-0"	100'-0"
TOTAL SITE AREA	9,500 ^{sq} ft.	12,000	12,000
PERVIOUS AREA		6,580.75	6,021.83
IMPERVIOUS AREA		5,419.25	5,978.17
OPEN SPACE(LANDSCAPE)		6,580.75	6,021.83
WATER BODIES	N/A	N/A	N/A
GROUND FLOOR AREA		2,537	3,014
TOTAL FLOOR AREA		2,866	3,575
LOT COVERAGE	35%	21% (2,537)	25.1% (3,014)
FLOOR AREA RATIO	N/A	N/A	N/A
NUMBER OF DWELLING UNITS		1	1
DENSITY (UNITS PER ACRE)	N/A	N/A	N/A

CODE PARAMETERS	
GOVERNING CODE	2017 F.B.C.
MUNICIPALITY	CITY OF DELRAY BEACH
OCCUPANCY CLASS	SINGLE FAMILY RESIDENTIAL
MAX. BUILDING HEIGHT	35'-0" ABOVE GRADE
FRONT SETBACK	30'-0"
REAR SETBACK	10'-0"
SIDE SETBACK	10'-0"
POOL SETBACK	10'-0"
ZONING	RIA
LAND USE DESIGNATION	DEL-IDA PARK
FLOOD ZONE	LD-LOW DENSITY

LEGAL DESCRIPTION

LOT 8 & 9, BLOCK 1 DEL-IDA PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 52 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SCOPE:
ADDITION OF GARAGE, MASTER CLOSET & INTERIOR RENOVATION.

HISTORIC PRESERVATION BOARD

ALAN & RUTH BAUM
105 NE 7TH STREET
DEL-IDA, DELRAY BEACH, 33444

REVISIONS	BY
2117/2021 CITY/HISTORIC COMM.	AG
3192/2021 HISTORIC COMM.	AG

Shane Ames - Architect

Ames
INTERNATIONAL
ARCHITECTURE

DRAWN
A.G.
CHECKED

DATE
10/22/2019

SCALE
1/8" = 1'-0"

JOB NO.
19_4861

SHEET
A02

OF XX SHEETS

SITE PLAN

ADDRESS - 105 NE 7TH STREET, DEL-IDA PARK, PROFESSIONAL DISTRICT, 33444 DEL-IDA PARK, DELRAY BEACH, FLORIDA, 33444. PHONE - 561.857.6444. FAX - 561.857.6444.

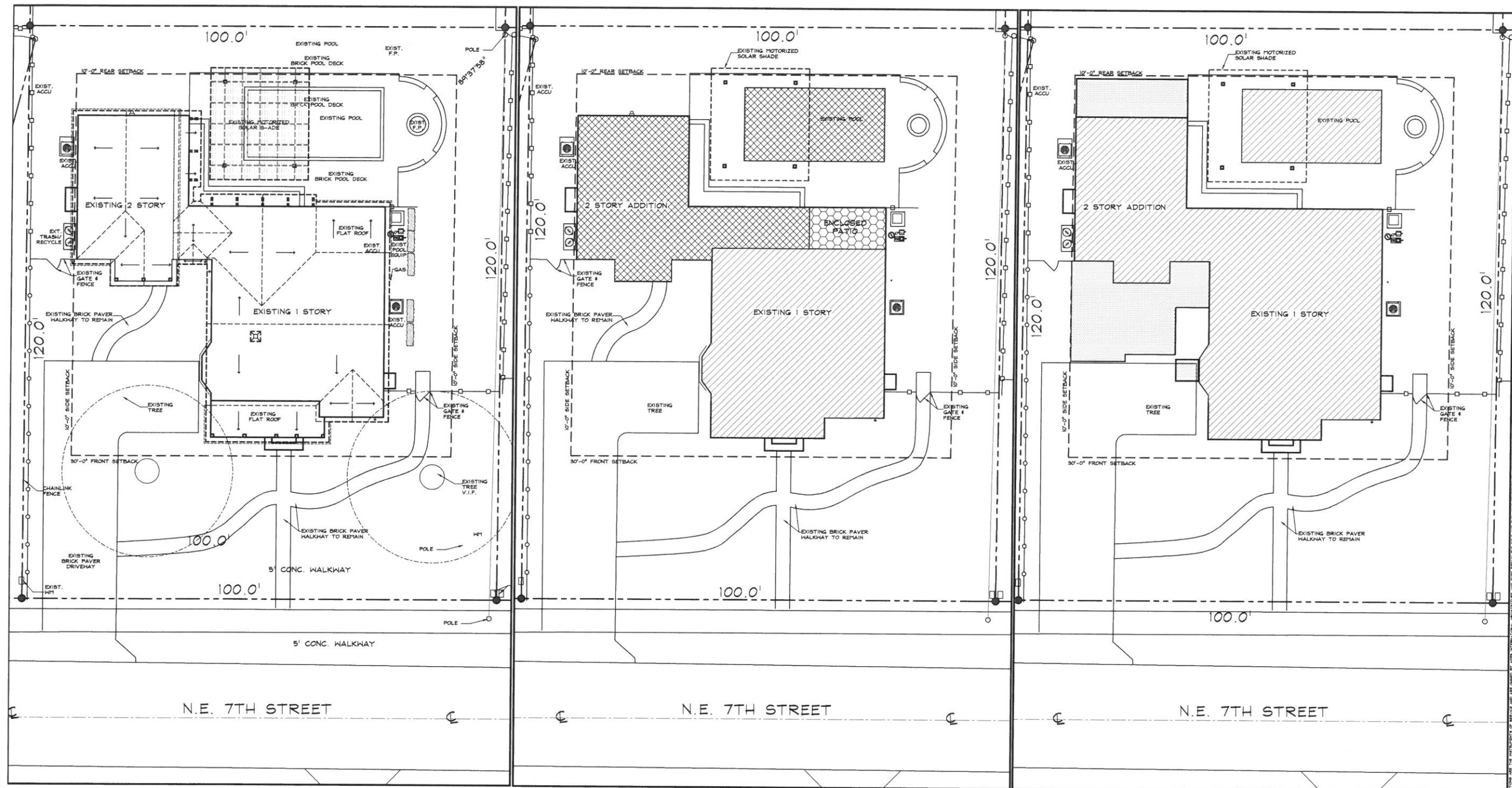


DIAGRAM OF PROPERTY HISTORY
SCALE: 1/8"=1'-0"

- 1942 BUILT-EXISTING STRUCTURE
- 1950 ENCLOSURE OF PATIO
- 2001 ADDITION



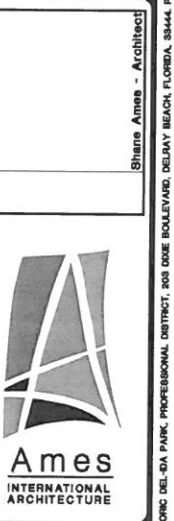
EXISTING/PROPOSED SITE OVERLAY DIAGRAM
SCALE: 1/8"=1'-0"

- 1942 BUILT-EXISTING STRUCTURE
- 1950 ENCLOSURE OF PATIO
- 2001 ADDITION
- 2021 PROPOSED ADDITION

HISTORIC PRESERVATION BOARD

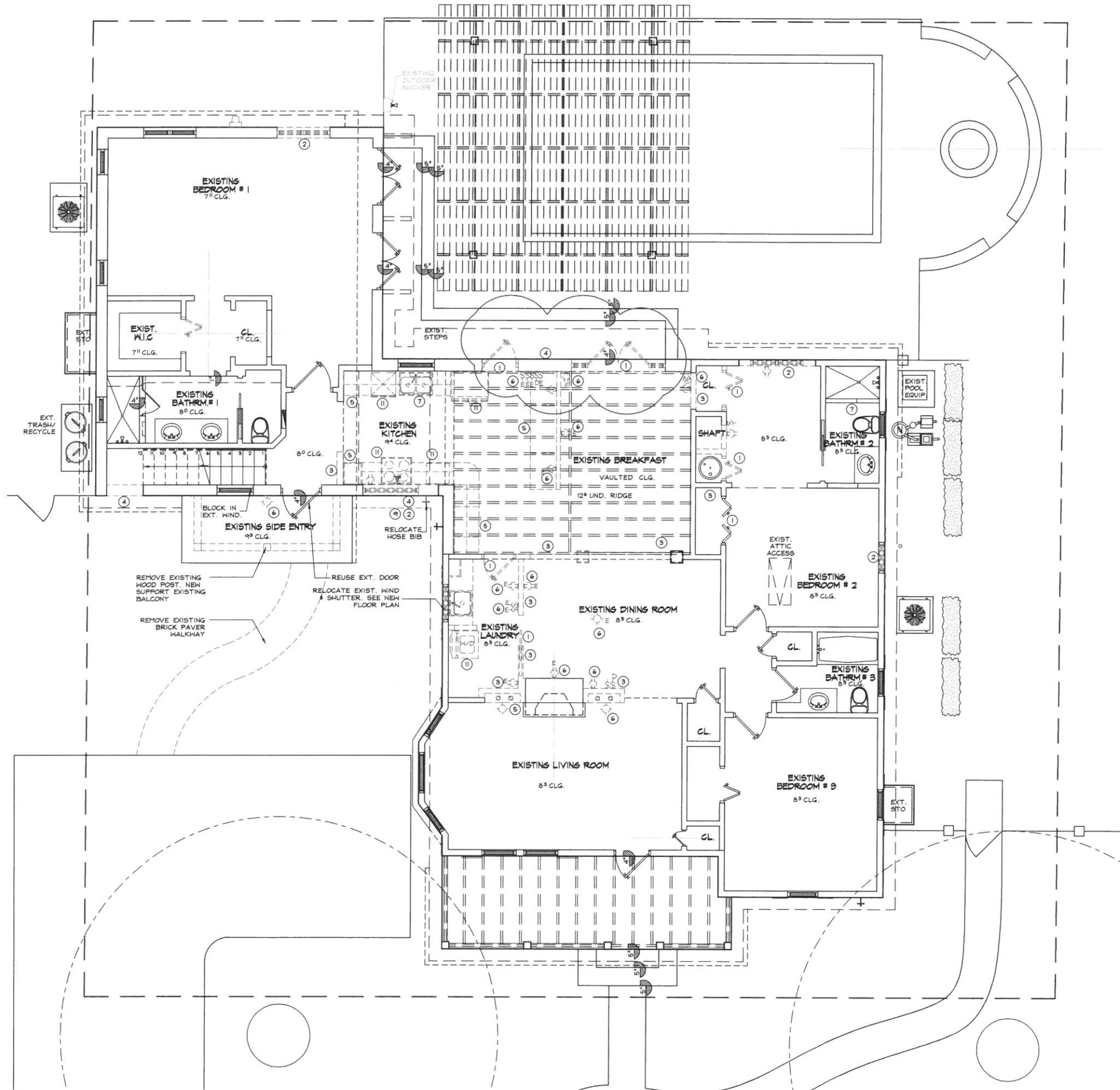
ALAN & RUTH BAUM
105 NE 7TH STREET
DEL-IDA DELRAY BEACH, 33444

REVISIONS	BY
2/17/2021 CITY/HISTORIC COMM.	AG
3/19/2021 HISTORIC COMM.	AG



COMPOSITE OVERLAY

DRAWN A.G.	CHECKED
DATE 10/22/2019	SCALE 1/8" = 1'-0"
JOB NO. 19_4861	SHEET A02.1
OF XX	SHEETS



DEMOLITION NOTES:

1. DOTTED LINES DENOTES ITEMS BEING REMOVED. COOR. WITH NEW PLAN FOR EXTENT OF DEMO.
2. GENERAL CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING PRIOR TO ANY DEMOLITION, OF THE PORTION OF THE STRUCTURE.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND COORDINATE THE DEMO. PLAN WITH THE NEW LAY OUT IN ORDER TO DETERMINE THE EXTENT OF DEMOLITION AND ADVISE THE ARCHITECT OF ANY DISCREPANCY PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
4. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE.
5. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DISTURBED AREAS AS PER CODE TO MATCH EXISTING ADJACENT FINISHES.
6. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
7. REMOVED ELEC. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
8. FOR MODIFICATION TO A/C, SEE A/C PLAN BY OTHERS.
9. REMOVED PLUMB. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
10. ALL AREAS HAVING PORTION OF WALLS, FLOORS, AND CEILINGS REMOVED SHALL BE PATCHED AND FINISHED TO MATCH EXIST. MATERIALS AND CONDITIONS. EXISTING SURFACES SHALL BE PREPARED TO RECEIVE NEW FINISHES AS INDICATED ON TYPICAL WALL SECTION, TYP. PARTITION DETAILS, ETC. LOCAL CODE.
11. ALL ITEMS DETERMINED BY OWNER TO BE SALVAGEABLE SHALL BE REMOVED PRIOR TO START OF DEMOLITION. SEE OWNER FOR STORAGE.
12. REMOVAL OF ANY PORTION OF WALL, FLOOR, OR CEILING WHICH CONTAIN ELECTRICAL, HVAC OR PLUMBING SHALL HAVE SUCH ITEMS REROUTED OR REESTABLISHED AS PER ELECTRICAL, HVAC, OR PLUMBING PLANS PROVIDED. SEE CONSTRUCTION DOCUMENTS.
13. NEIGHBORING EXISTING STRUCTURES AROUND THE BUILDING UNDER DEMOLITION ARE TO BE SURVEYED FOR ANY EXISTING CRACKS IN THE STRUCTURAL ELEMENTS, AND NEIGHBORS ARE TO BE NOTIFIED.
14. GC AND ALL TRADES INVOLVED IN THE PROJECT SHALL SURVEY THE EXIST. CONDITIONS PRIOR TO ANY WORK AND BE FAMILIAR WITH THE EXTENT OF WORK AND ALL NECESSARY STEPS IN ORDER TO COMPLETE THE PROJECT.

DEMOLITION LEGEND:

- 1 REMOVE DOOR
- 2 REMOVE WINDOW
- 3 REMOVE INTERIOR WALL
- 4 REMOVE EXTERIOR CMU WALL
- 5 REMOVE BUILT-IN
- 6 REMOVE ELECTRICAL FIXTURES
- 7 REMOVE PLUMBING FIXTURES
- 8 REMOVE A/C DUCTS & ALL RELATED A/C COMPONENTS
- 9 REMOVE/MODIFY ROOF STRUCTURE
- 10 REMOVE FLOOR COVERING
- 11 REMOVE APPLIANCES
- 12 ALTER FINISH FLOOR ELEVATION AS REQUIRED SEE NEW PLANS
- 13 REMOVE SOFFIT/BEAM
- 14 NEW OPENING
- 15 REMOVE EXISTING DRIVEWAY/WALKWAY
- 16 REMOVE EXISTING CONDENSER UNIT
- 17 TO BE REMODELED
- 18 REMOVE CEILING

NOTE:
1. FOR REMODELED & NEW PLUMBING FIXTURES RECONNECT TO EXISTING PLUMBING.
2. ALL ABANDONED PLUMBING TO BE CAPPED OFF AT FLOOR. GC TO COORDINATE AS REQUIRED

NOTE:
1. CONNECT NEW TO EXISTING PLUMBING LINES.
2. GC TO VERIFY ALL EXISTING PLUMBING LINE IN THE FIELD.

DEMOLITION LEGEND	
SYMBOL	TYPE OF WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

HISTORIC PRESERVATION BOARD

ALAN & RUTH BAUM
106 NE 7TH STREET
DEL-IDA, DELRAY BEACH, 33444

REVISIONS	BY
2/17/2021 CITY/HISTORIC COMM.	AG
3/19/2021 HISTORIC COMM.	AG

Shane Ames - Architect

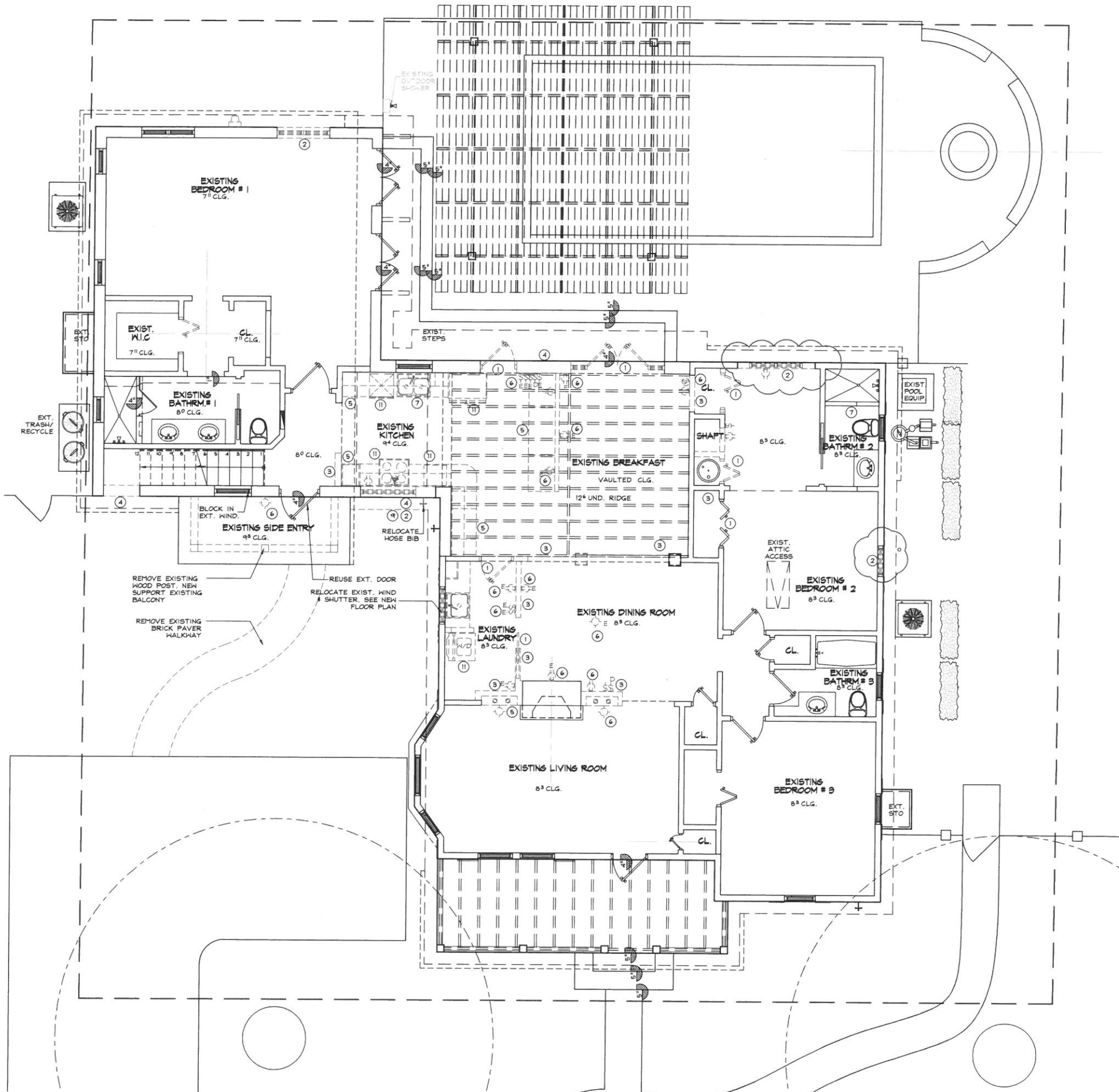


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SCALE 1/4" = 1'-0"
JOB NO. 19_4861
SHEET A03
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DEMOLITION PLAN - PHASE 2

ADDRESS: 106 NE 7TH STREET, DEL-IDA, DELRAY BEACH, FLORIDA 33444. PHONE: (561) 857-8444. FAX: (561) 857-8444.



DEMOLITION NOTES:

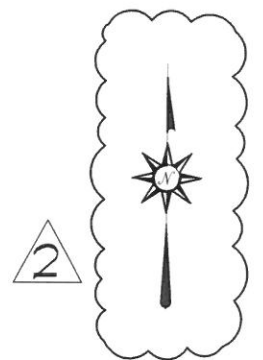
1. DOTTED LINES DENOTES ITEMS BEING REMOVED. COOR. WITH NEW PLAN FOR EXTENT OF DEMO.
2. GENERAL CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING PRIOR TO ANY DEMOLITION, OF THE PORTION OF THE STRUCTURE.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND COORDINATE THE DEMO PLAN WITH THE NEW LAY OUT IN ORDER TO DETERMINE THE EXTENT OF DEMOLITION AND ADVISE THE ARCHITECT OF ANY DISCREPANCY PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
4. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE.
5. GENERAL CONTRACTOR TO PERFORM ALL WORK ACCORDING TO ALL APPLICABLE CODES AND AS PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
6. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DISTURBED AREAS AS PER CODE TO MATCH EXISTING ADJACENT FINISHES.
7. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
8. REMOVED ELEC. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
9. FOR MODIFICATION TO A/C, SEE A/C PLAN BY OTHERS.
10. REMOVED PLUM. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
11. ALL AREAS HAVING PORTION OF WALLS, FLOORS, AND CEILINGS REMOVED SHALL BE PATCHED AND FINISHED TO MATCH EXIST. MATERIALS AND CONDITIONS. EXISTING SURFACES SHALL BE PREPARED TO RECEIVE NEW FINISHES AS INDICATED ON TYPICAL WALL SECTION, TYP. PARTITION DETAILS, ETC. LOCAL CODE.
12. ALL ITEMS DETERMINED BY OWNER TO BE SALVAGEABLE SHALL BE REMOVED PRIOR TO START OF DEMOLITION. SEE OWNER FOR STORAGE.
13. REMOVAL OF ANY PORTION OF WALL, FLOOR, OR CEILING WHICH CONTAIN ELECTRICAL, HVAC OR PLUMBING SHALL HAVE SUCH ITEMS REROUTED OR REESTABLISHED AS PER ELECTRICAL, HVAC, OR PLUMBING PLANS PROVIDED, SEE CONSTRUCTION DOCUMENTS.
14. NEIGHBORING EXISTING STRUCTURES AROUND THE BUILDING UNDER DEMOLITION ARE TO BE SURVEYED FOR ANY EXISTING CRACKS IN THE STRUCTURAL ELEMENTS, AND NEIGHBORS ARE TO BE NOTIFIED.
15. GC AND ALL TRADES INVOLVED IN THE PROJECT SHALL SURVEY THE EXIST. CONDITIONS PRIOR TO ANY WORK AND BE FAMILIAR WITH THE EXTENT OF WORK AND ALL NECESSARY STEPS IN ORDER TO COMPLETE THE PROJECT.

DEMOLITION LEGEND:

- 1 REMOVE DOOR
- 2 REMOVE WINDOW
- 3 REMOVE INTERIOR WALL
- 4 REMOVE EXTERIOR CMU WALL
- 5 REMOVE BUILT-IN
- 6 REMOVE ELECTRICAL FIXTURES
- 7 REMOVE PLUMBING FIXTURES
- 8 REMOVE A/C DUCTS & ALL RELATED A/C COMPONENTS
- 9 REMOVE/MODIFY ROOF STRUCTURE
- 10 REMOVE FLOOR COVERING
- 11 REMOVE APPLIANCES
- 12 ALTER FINISH FLOOR ELEVATION AS REQUIRED SEE NEW PLANS
- 13 REMOVE SOFFIT/BEAM
- 14 NEW OPENING
- 15 REMOVE EXISTING DRIVEWAY/WALKWAY
- 16 REMOVE EXISTING CONDENSER UNIT
- 17 TO BE REMODELED
- 18 REMOVE CEILING

NOTE:
1. FOR REMODELED & NEW PLUMBING FIXTURES RECONNECT TO EXISTING PLUMBING.
2. ALL ABANDONED PLUMBING TO BE CAPPED OFF AT FLOOR. GC TO COORDINATE AS REQUIRED

NOTE:
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DEMOLITION LEGEND	
SYMBOL	TYPE OF WALL
---	EXISTING WALL TO REMAIN
---	EXISTING WALL TO BE REMOVED

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Shane Ames - Architect



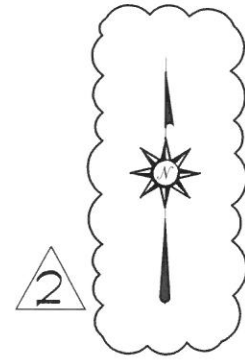
DEMOLITION PLAN - PHASE 2

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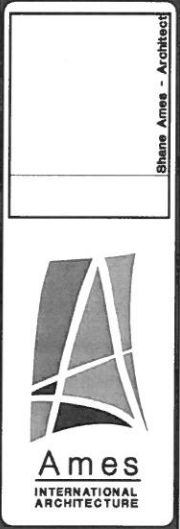
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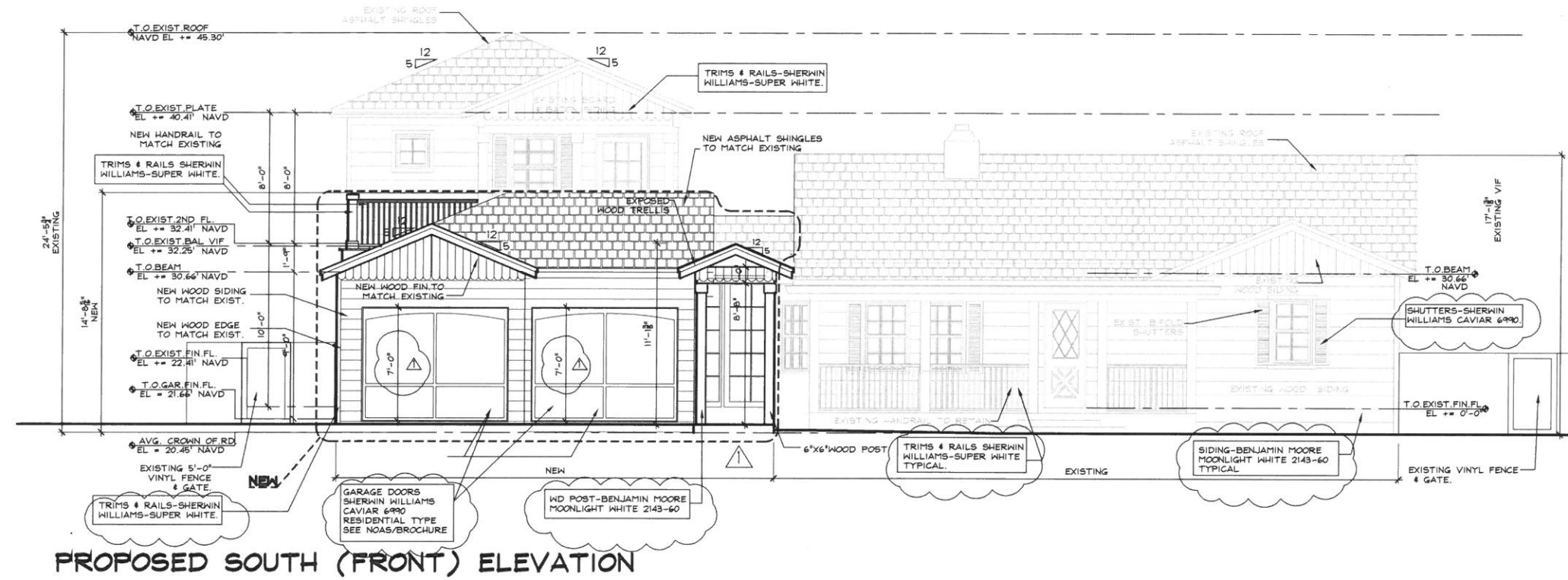


Shane Ames - Architect

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OF XX SHEETS

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BUILDING ELEVATIONS

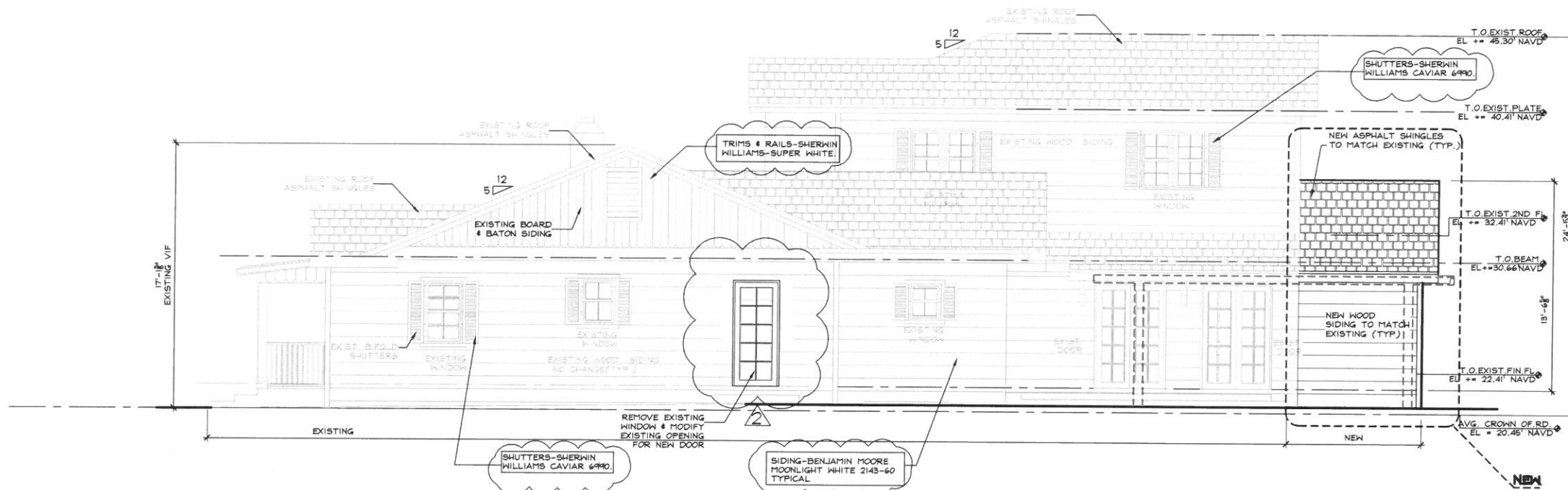
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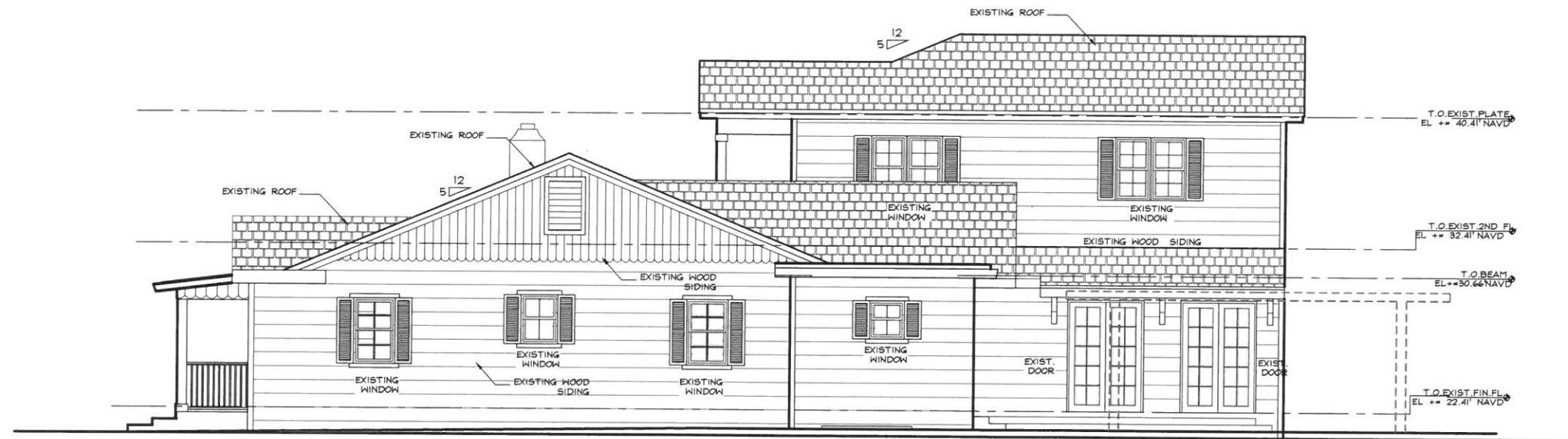
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PROPOSED EAST (LEFT) ELEVATION



EXISTING EAST (RIGHT) ELEVATION

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Share Ames - Architects

Ames
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ARCHITECTURE

BUILDING ELEVATIONS

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SCALE
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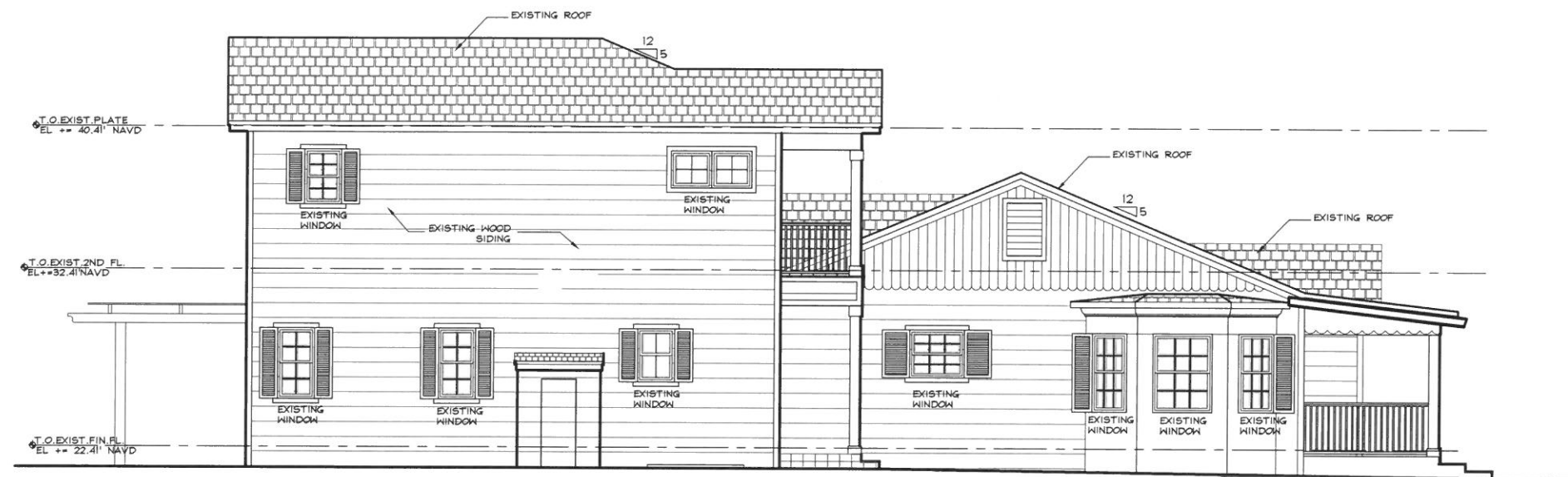
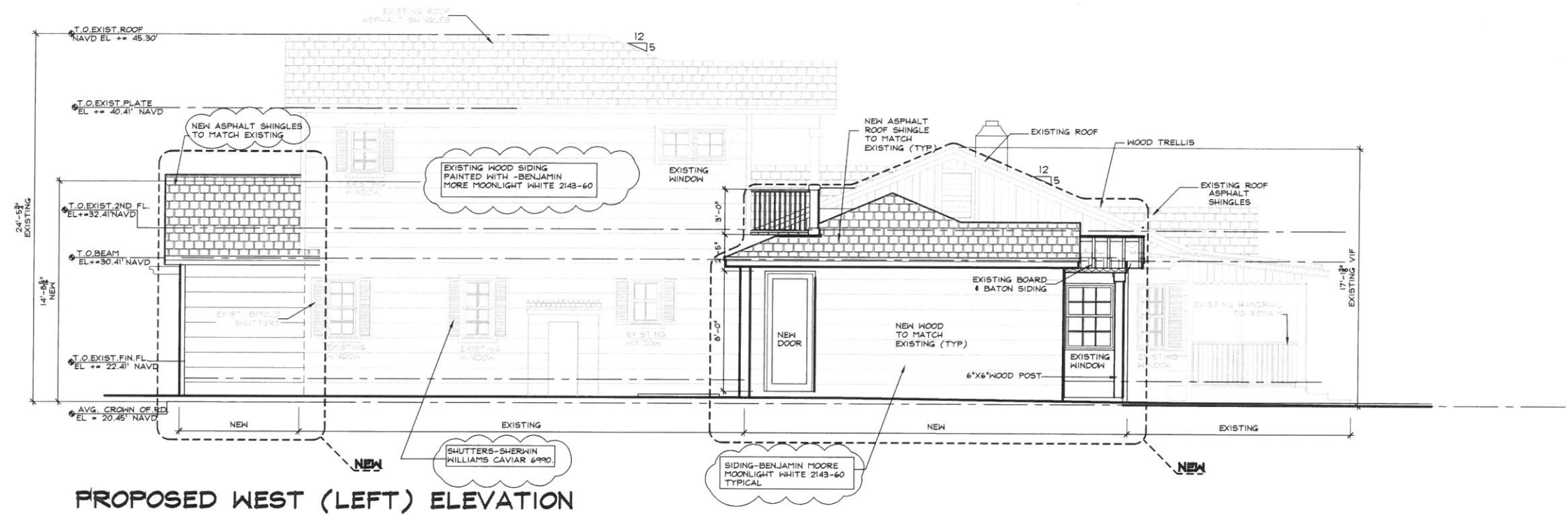
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BUILDING ELEVATIONS

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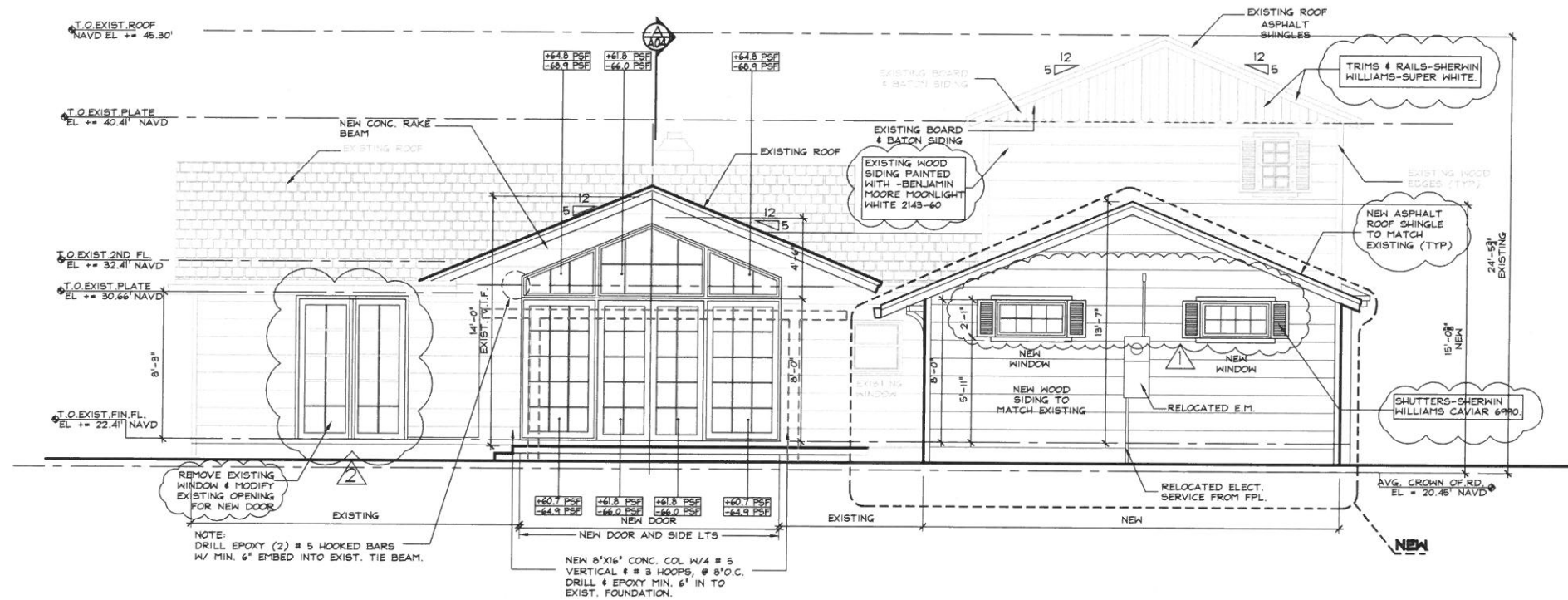
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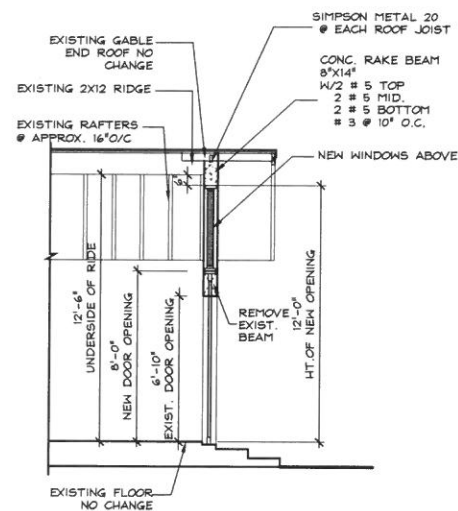
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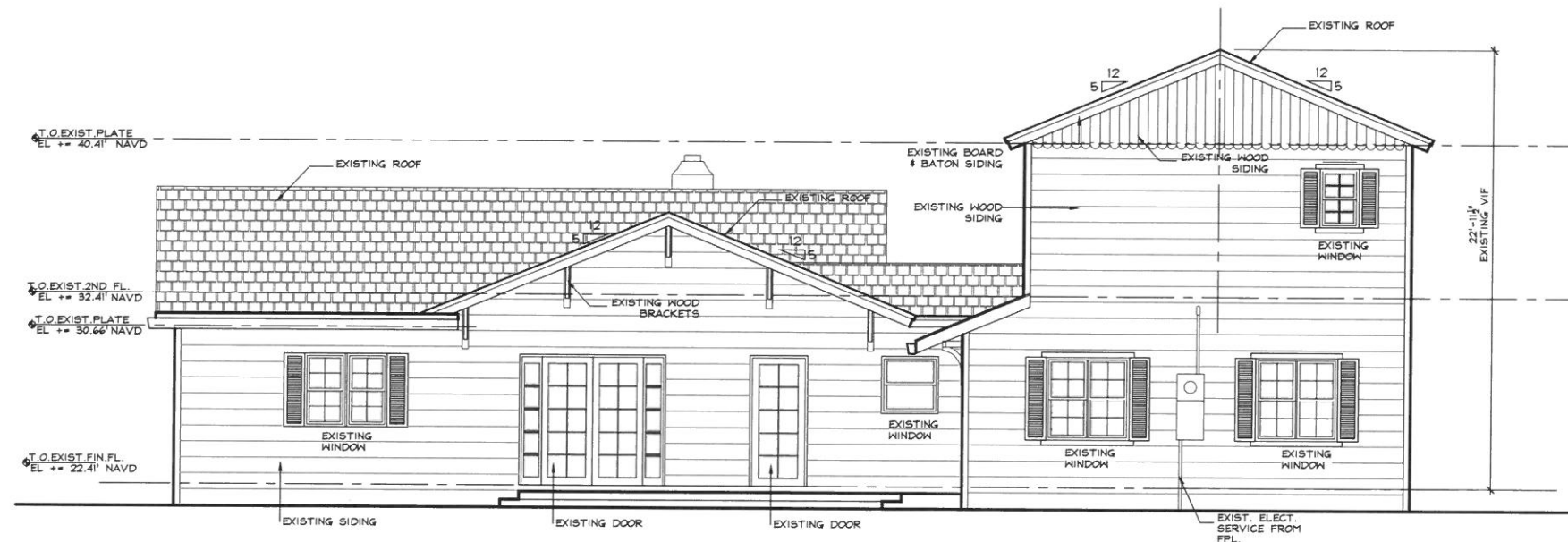
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PROPOSED NORTH (REAR) ELEVATION



SECTION A

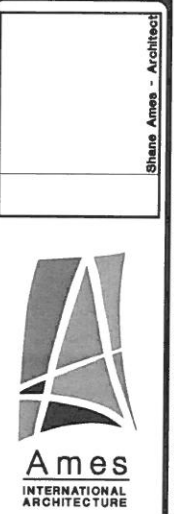


EXISTING NORTH (REAR) ELEVATION

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BUILDING SECTIONS

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SOUTHWEST PERSPECTIVE



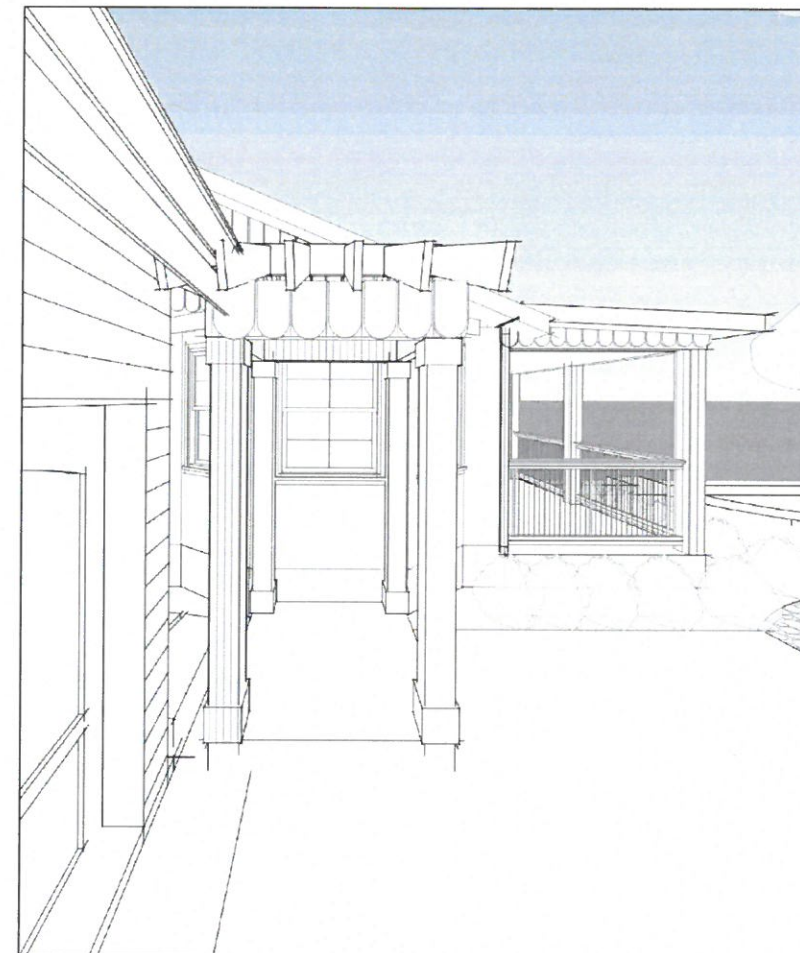
SOUTH PERSPECTIVE



NORTH EAST PERSPECTIVE



NORTH EAST PERSPECTIVE



TRELLIS CENTERED ON BAY WINDOW

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Shane Ames - Architect

Ames
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PERPECTIVES

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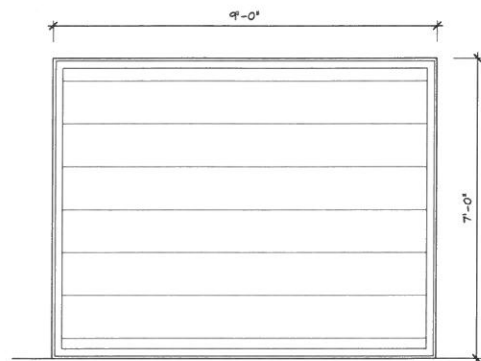
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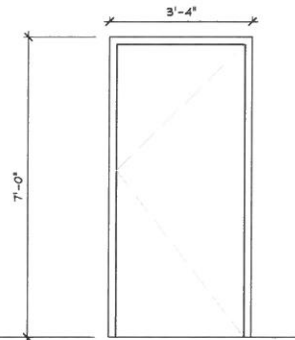
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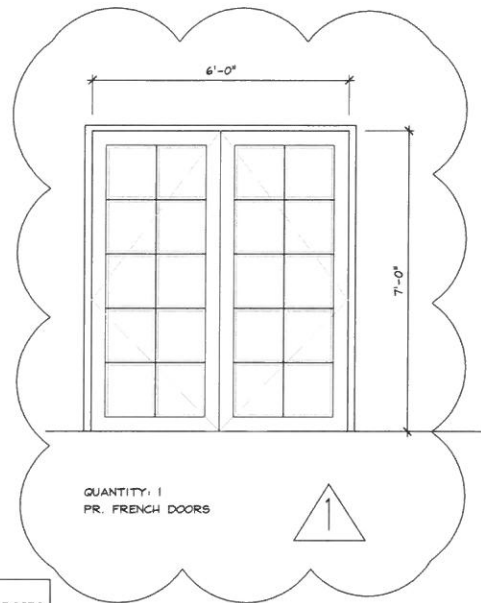
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QUANTITY: 2
OVERHEAD GARAGE DOOR

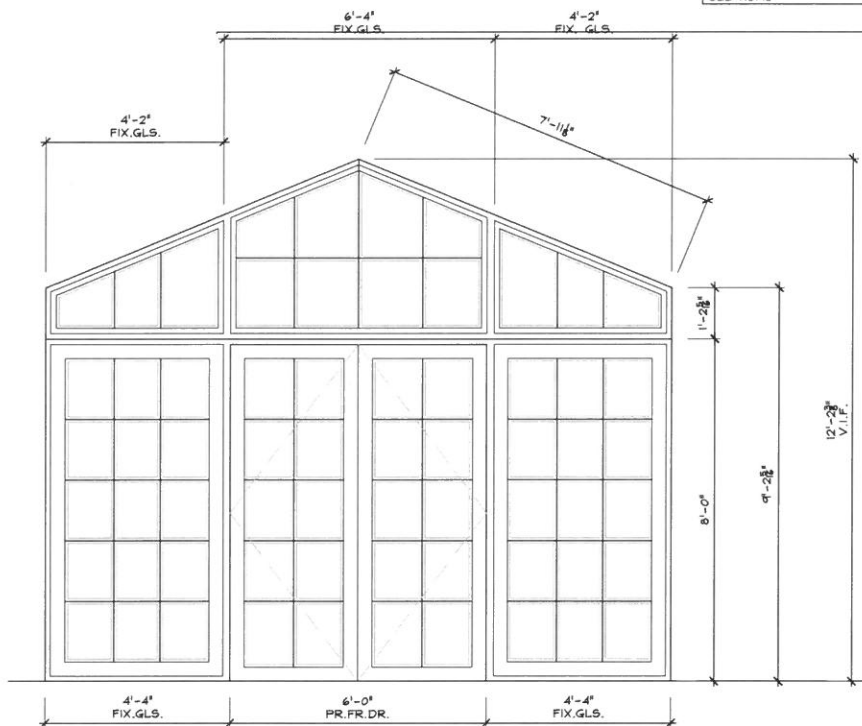


QUANTITY: 1
FL. PNL GARAGE SIDE DOOR

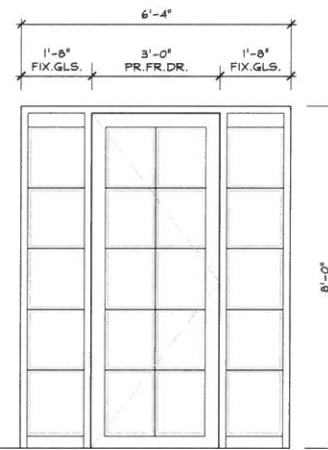


QUANTITY: 1
FR. FRENCH DOORS

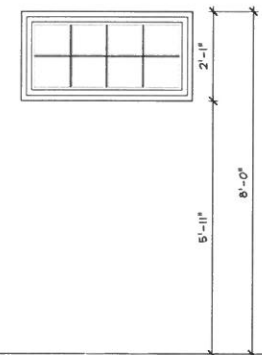
NOTE:
IMPACT GLASS FOR ALL WINDOWS AND DOORS.
SEE NOAS



QUANTITY: 1
NEW DBL.FR.DR. W/SIDE LTS AT FAMILY ROOM



QUANTITY: 1
NEW SIDE ENTRY DOOR



QUANTITY: 2
NEW FIXED CLERESTORY AT
MASTER CLOSET

DOOR / WINDOW NOTES

1. SEE PLAN AND ELEVATIONS FOR HIGH GLASS SIZE AND LOCATIONS.
2. ALL GLAZING SHALL COMPLY WITH CHAPTER 24. OF F.B.C. 2010 RES.
3. SEE DETAIL SHEETS FOR ANCHORAGE OF ALL DOOR JAMBS, HEADS AND SILLS. ALSO REFER TO DETAIL SHEET FOR ANCHORAGE OF GARAGE DOOR BUCKS.
4. ALL WINDOWS AND GLASS IN EXT. DOOR TO BE IMPACT-RESISTANT GLASS.
5. EGRESS WINDOWS SHALL COMPLY WITH SEC. 1005.4.2/F.B.C. 2010 RES. EACH EGRESS WINDOW SHALL PROVIDE A CLEAR OPENING NOT LESS THAN 20" IN WITH, 24" IN HEIGHT AND MIN. OF 5.7 S.F. IN AREA. BOTTOM EDGE OF SUCH OPENING SHALL NOT BE MORE THAN 44" AFF. AND NO PART OF THE OPERATING MECHANISM SHALL BE MORE THAN 54" AFF. THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT.
6. ALL GLASS SHOWER & TUB ENCLOSURES SHALL BE TEMPERED GLASS.
7. EMERGENCY EGRESS DOOR - DO NOT SHUTTER.
8. DOORS BETWEEN GARAGE & HOUSE MUST BE SOLID CORE 1 3/4" THICK W/ 2x4 SOLID RABBETED JAMB, OR A C-LABEL METAL DOOR & JAMB. DOORS TO HAVE AUTOMATIC CLOSER AS INDICATED IN DOOR SCHEDULE.
9. GENERAL CONTRACTOR TO FIELD VERIFY ALL WINDOW & DOOR SIZES/OPENINGS PRIOR TO ORDERING FROM SUPPLIER.
10. FOR ALL EXTERIOR DOORS/WINDOWS, PRODUCT APPROVAL IS REQUIRED. SUBMIT TO ARCHITECT OR ENGINEER FOR REVIEW AND TO BUILDING DEPT. FOR APPROVAL.
11. GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZED WHERE LESS THAN 60" ABOVE FLOOR OF TUB OR SHOWER.
12. ALL GLASS IN DOORS & ALL SLIDING GLASS DOORS TO BE TEMPERED GLASS.
13. G.C. TO COORDINATE THRESHOLD FOR ALL DOORS ON MASONRY WALL.
14. OPERABLE WINDOWS WITH MORE THEN ONE LOCKING POINT SHALL HAVE ONLY ONE POINT OF OPERATION.

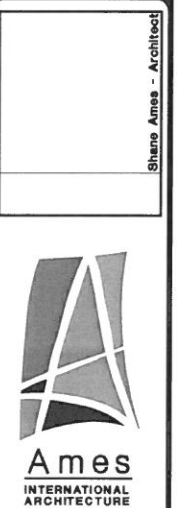
NOTE:
WINDOWS AND DOORS CO. TBD

1. ALL DR. TO BE 1.75" THICK. V.I.F. W/ OWNER & MANUFACTURER
2. VERIFY ALL ROUGH OPENINGS IN FIELD FOR PROPOSED WINDOW OR DOOR FIT.
3. PROVIDE ST. STL OR BRASS HARDWARE FOR ALL DOOR & WINDOWS. (V.I.F.)
4. BUILDER TO V.I.F. W/ OWNER ALL PRODUCT & MATERIAL SELECTIONS
5. GC TO FIELD VERIFY ALL SIZES PRIOR TO FABRICATION OF THE WINDOWS
6. WINDOW STYLE, COLOR & FRAME CLIENT SELECT
7. CLEAR GLASS FOR ALL WINDOWS AND DOORS PROPOSED

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WINDOW / DOOR SCHEDULE

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