

GENERAL NOTES

THE ARCHITECT AND HIS AUTHORIZED REPRESENTATIVES AND AGENTS SHALL HAVE ACCESS TO AND BE PERMITTED TO INSPECT ALL WORK, MATERIALS AND OTHER RELEVANT DATA AND RECORDS WHEREVER THEY ARE IN PREPARATION AND PROGRESS. WHEN REQUESTED, THE CONTRACTOR SHALL FURNISH DUPLICATE COPIES OF THE AFOREMENTIONED DATA.

THE GENERAL CONTRACTOR WILL MAKE EVERY EFFORT TO EXPEDITIOUSLY COORDINATE ALL PHASES OF THE WORK TO OBTAIN THE END RESULT WITHIN THE FULL PURPOSE AND INTENT OF THE DRAWINGS FOR THE PROJECT.

ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENT DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S / CONTRACTOR'S ATTENTION PRIOR TO COMMENCEMENT OF WORK OR CONSTRUCTION, SO THAT CORRECTIVE MEASURES MAY BE TAKEN.

ANY UNFORESEEN CONDITIONS IN FIELD AFFECTING THE DESIGN, CONCEPT OF THE BUILDING, OR THAT ARE IN CONFLICT WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 EDITION AND ALL APPLICABLE NATIONAL, STATE, AND LOCAL RULES, REGULATIONS AND ORDINANCES.

ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER.

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND SHALL COORDINATE WORK OR CONSTRUCTION BETWEEN TRADES.

THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT SIX (6) PRINTS OF DETAIL SHOP DRAWINGS OF ALL APPLICABLE CONSTRUCTION SUCH DRAWINGS SHALL SHOW THE DESIGN, DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO INSURE THAT THEY ACCURATELY INTERPRET THE DRAWINGS. THE CONTRACTOR WILL RETAIN RESPONSIBILITY FOR FURNISHING THE MATERIALS, APPARATUS, DEVICES, ETC. OF PROPER DIMENSION, SIZE, QUANTITY, AND QUALITY AS SHOWN ON THE DRAWINGS, AND THE RESPONSIBILITY FOR ANY ERRORS OF THE SHOP DRAWINGS. ALLOW TWO WEEKS FOR REVIEW TIME.

THE DRAWINGS ARE NOT INTENDED TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH ALL ITEMS FOR A COMPLETE STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER IN CONFORMANCE WITH LOCAL STANDARDS AND APPLICABLE CODES HAVING JURISDICTION.

DIMENSIONS INDICATED ON THE PLANS ARE FROM FACE OF FINISH WALL. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. USE FIGURED DIM. ONLY. DO NOT SCALE DRAWINGS. DO NOT DEVIATE FROM THE WRITTEN DIM. MORE THAN 1" WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. DEVIATION IS NOT PERMITTED WHERE "CLEAR" OR "HOLD" DIMENSIONS ARE INDICATED NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES IN THE PLANS OR SPECS.

THE INTERPRETATION OF DRAWINGS, SPECIFICATIONS, OR OTHER BIDDING DOCUMENTS SHALL NOT BE MADE VERBALLY TO THE BIDDER. IF THE BIDDER IS IN DOUBT AS TO THE MEANING OF ANY DISCREPANCIES OR CONFLICT HERE IN, THE BIDDER SHALL TELEPHONE / E-MAIL, OR SUBMIT IN WRITING TO THE ARCHITECT A REQUEST FOR INTERPRETATION. IN THE EVENT THAT THE BIDDER IS DEMANDING TO HAVE ESTIMATED, THEN THE MOST EXPENSIVE WAY OF PERFORMING THE WORK SHALL TAKE PRECEDENCE.

THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES.

THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF ALL SYSTEMS SO THAT THEY ARE COMPLETE AND FULLY FUNCTIONING (EXCEPT AS NOTED HEREIN).

DO NOT SCALE THE DRAWINGS.

ALL AREA CALCULATIONS ARE APPROXIMATE.

FIELD VERIFY ALL DIMENSIONS.

ALL INTERIOR FINISHES TO BE SUPPLIED BY CONTRACTOR AND APPROVED BY OWNERS, UNO.

THE CONTRACTOR SHALL PROVIDE THE OWNERS / ARCHITECT WITH A WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT.

THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER/ARCHITECT FOR THE ACTS AND OMISSIONS OF ITS COMPLETION OF THE WORK.

NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT / OWNERS.

DETAILS MARKED AS TYPICAL APPLY TO SIMILAR CONDITIONS INCLUDING CONDITIONS NOT MARKED AS SIMILAR, UNO. TYPICAL DETAILS NOT SHOWN BUT NECESSARY FOR CONFORMANCE WITH APPLICATION.

PROVIDE A WEATHER-RESISTIVE BARRIER AT ALL OPENINGS AND PENETRATIONS OF THE BUILDING ENVELOPE. SUPERFLOOR, ALL WEATHER-EXPOSED SURFACES AND INSTALL ALL THERMAL BARRIERS AS TO FORM A COMPLETE INSULATING BLANKET AROUND THE HEATED / COOLING AREAS OF THE BUILDING.

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED. ALL METAL FASTENERS, NAILS, AND BOLTS TO BE HOT DIPPED GALVANIZED/ALL EXTERIOR SOFFIT FASCIA BOARDS TO BE ATTACHED W/ STAINLESS STEEL NAILS).

FLASHING, CRICKETS, DRIPS, ETC. TO BE 16 OZ. COPPER, OR SIMILAR MATERIAL TO ROOFING SYSTEM.

PROVIDE FIRE STOPPING AT ROOF, WALLS, AND CEILING AS REQUIRED.

ELEVATIONS ARE TAKEN FROM AN ASSUMED DATUM OF 0'-0" TOP OF EACH UNITS CONCRETE SLAB. (B.31' NAVD. EXISTING SLAB OF BOTH UNITS).

THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY CODE REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES. - NOTE ALL CEILING PENETRATIONS - LIGHTS, VENTS, ETC. TO BE SEALED @ EDGES AS PER FLORIDA BUILDING CODE 2020 EDITION) - IF APPLICABLE.

WHERE POSSIBLE, ALL EXISTING FRAMED EXTERIOR WALLS TO RECEIVE R-11 BATT. CONTRACTOR TO PROVIDE ALTERNATE PRICE FOR ROOF/ATTIC TO RECEIVE BLOWN ON R-20 "CYNENE" INSULATION BY "GALE INSULATION" OR EQUAL TO UNDERSIDE OF EXISTING ROOF SHEATHING & SEALING UP ALL EXISTING VENTS TO CREATE A "CLOSED SYSTEM" (NOTE: ALL EXISTING INSULATION WOULD BE REMOVED).

INSTALL PVC PLASTER STOPS AROUND PERIMETER OF ALL AREAS WHERE PLASTER ABUTS OTHER MATERIAL. STOPS SHALL BE CAREFULLY MITERED AT CORNERS. ALL EXTERIOR CORNERS AND WINDOW AND DOOR OPENING TO RECEIVE PVC CORNER BEADS.

ALL GYPSUM WALLBOARD TO BE SCREW APPLIED AS PER THE GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION.

PRIOR TO PLACEMENT OF ANY STUCCO OVER CONCRETE SURFACES, SUCH SURFACES SHALL BE TREATED WITH BONDING AGENT APPLIED IN FULL CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS (IF APPLICABLE).

CURE ALL APPLIED STUCCO WITH FOG SPRAYED WATER FOR SEVERAL DAYS AFTER APPLICATION. PRIOR TO PAINTING EXTERIOR - ALL STUCCO HAIR LINE CRACKS TO BE CAULKED & FILLED. (STUCCO SUBCONTRACTOR TO PROVIDE 4'-0" x 4'-0" SAMPLE FOR APPROVAL FOR TEXTURE - MATCH EXISTING).



APPLICABLE CODES

- 2020 FLORIDA EXISTING BUILDING CODE
- 2020 FLORIDA BUILDING CODE
- 2020 FLORIDA ELECTRICAL CODE
- 2020 FLORIDA PLUMBING CODE
- 2020 FLORIDA MECHANICAL CODE

LEGAL DESCRIPTION

LOT 2, NASSAU POINT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 68, PAGE 74, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PROPOSED MULTI-FAMILY
TOWNHOUSE EXTERIOR
RENOVATION
1180 & 1190 NASSAU STREET
"HISTORIC NASSUA DISTRICT"
DELRAY BEACH
PALM BEACH COUNTY, FL

SHEET SCHEDULE		
SHEET NO.	SHEET TITLE	
S.1	EXISTING SURVEY	SCALE: 1" = 10'-0"
ARCHITECTURAL		
A1.00E	EXISTING SITE PLAN (FOR REFERENCE ONLY.)	SCALE: 1/8" = 1'-0"
A1.01	PROPOSED SITE PLAN	SCALE: 1/8" = 1'-0"
A1.01C	PROPOSED SITE PLAN (COORDINATION)	SCALE: 1" = 10'-0"
A1.02	EXISTING SITE CONTEXT PLAN	SCALE: 3/32" = 1'-0"
A2.00E	EXISTING GROUND FLOOR PLAN (FOR REFERENCE ONLY.)	SCALE: 1/4" = 1'-0"
A2.00	PROPOSED GROUND FLOOR PLAN	SCALE: 1/4" = 1'-0"
A2.01E	EXISTING SECOND FLOOR PLAN (FOR REFERENCE ONLY.)	SCALE: 1/4" = 1'-0"
A2.01	PROPOSED SECOND FLOOR PLAN	SCALE: 1/4" = 1'-0"
A2.02E	EXISTING SECOND FLOOR PLAN (FOR REFERENCE ONLY.)	SCALE: 1/4" = 1'-0"
A2.02	PROPOSED THIRD FLOOR PLAN	SCALE: 1/4" = 1'-0"
A2.03E	EXISTING ROOF PLAN	SCALE: 1/4" = 1'-0"
A2.03	PROPOSED ROOF PLAN	SCALE: 1/4" = 1'-0"
A3.00	NORTH ELEVATIONS	SCALE: 1/4" = 1'-0"
A3.01	EAST ELEVATIONS	SCALE: 1/4" = 1'-0"
A3.02	SOUTH ELEVATIONS	SCALE: 1/4" = 1'-0"
A3.03	WEST ELEVATIONS	SCALE: 1/4" = 1'-0"
A9.00	PROPOSED WINDOW AND DOOR SCHEDULES	SCALE: N.T.S.

SURVEYOR	ARCHITECTS	
ENGLE LAND SURVEYING LLC 955 N.W. 17th Ave Suite K-1 Delray Beach, FL 33445	ge architecture, inc. 1045 e. atlantic ave. delray beach, fl 33483 fl. lic. AA-26002044	
PH. (561) 276-4501 FAX (561) 276-2390	PH. (561) 276-6011 FAX (561) 276-6129	

1. REVISED 3-21-23 AS PER TAG COMMENTS:
1. UPDATED INDEX
2. REMOVED VARIANCE CHART

OCCUPANCY CLASSIFICATION

GROUP RM – HISTORIC DISTRICT

TYPE OF CONSTRUCTION

TYPE VB UNPROTECTED / UNSPRINKLERED

LEVEL III ALTERATION

SCOPE OF WORK

SCOPE: PROJECT INVOLVES EXTERIOR RENOVATIONS OF EXISTING TOWNHOUSES – NEW FLOOR PLANS FOR ENCLOSING GROUND FLOOR COVERED PORCHES, EXPANDING SECOND FLOOR BALCONIES, CHANGING OUT SOME DOORS & ARCHED WINDOWS TO BE REPLACED W/ NEW IMPACT RATED WINDOWS, EXISTING EXTERIOR STUCCO & BANDING TO BE REMOVED & REPLACED W/ SMOOTH STUCCO BASE & BOARD-N-BATTEN FOR UPPER FLOORS. NEW CONCRETE ROOF TILE, ROOF OVERHANG & PITCH BREAK. SEE COLORED ELEVATION FOR NEW COLOR SCHEME.

HEPTACHLOR, TECHNICAL CHLORDANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS IN COMPLIANCE WITH EPA REGULATIONS (ALL PRODUCTS TO BE NON-VOC). -VERIFY W/ OWNERS.

DRYWALL PRODUCTS BY GOLD BOND, USG, CELOTEX, GEORGIA PACIFIC, MILCOR PRODUCTS ARE ACCEPTABLE.

ALL EXTERIOR DEPICTED PAINT COLORS TO BE SELECTED BY ARCHITECT AND OWNERS. COLORS ON PLANS FOR PRICING PURPOSES ONLY. (PAINTING SUBCONTRACTOR TO PROVIDE PAINT SAMPLES FOR APPROVAL.)

ALL WORK, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE CLOSING DATE.

TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND DAILY OPERATIONS.

DISPOSAL: CONTRACTOR IS RESPONSIBLE FOR REMOVAL FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.

CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL OF ARCHITECT / OWNERS FOR SUBSTITUTIONS MADE IN SPECIFIED EQUIPMENT, MATERIALS AND COLORS.

THE CONTRACTOR SHALL PROVIDE THE OWNERS WITH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER.

CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. HERE, PLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKSMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.

ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED 1/2" THICK FIBERGLASS PIPE INSULATION - SEE PLUMBING DRAWINGS.

CONTRACTOR TO PROVIDE DRAWINGS TO BOTH TRUSS MANUFACTURER & MECHANICAL SUBCONTRACTOR TO COORDINATE ALL REQUIRED AC-DUCT WORK PENETRATIONS THROUGH THE ENTIRE STRUCTURE.

ALL TRUSSES & GIRDERS SHALL BE ANCHORED TO BEARING PARTITIONS, WALLS, AND/OR TIE BEAMS WITH APPROVED ANCHORS. - SEE STRUCTURAL DUGS.

ALL INTERIOR DEPICTED PAINT COLORS TO BE SELECTED BY OWNERS. COLORS ON PLANS FOR PRICING PURPOSES ONLY. (NOTE: ALL PRODUCTS TO BE 'NON-VOC' - VERIFY W/ OWNERS).

NOTE: PRODUCTS BY ANY OF THESE MANUFACTURERS ARE ACCEPTABLE COATINGS: BENJAMIN MOORE, SHERWIN WILLIAMS, PITTSBURGH, DEVCO, DUFONT, & PORTER ARE CONSIDERED EQUAL (ALL ARE TO BE NON-VOC - VERIFY W/ OWNERS).

ALL WOOD IS REQUIRED TO BE SEALED ON ALL SIDES (INCLUDING ALL CONCEALED AND BACK SURFACES) TO MINIMIZE EXPANSION AND CONTRACTION. CONTRACTOR SHALL DELIVER TO OWNERS PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.

PROVIDE WATERPROOF GYPSUM WALL BOARD IN ALL BATHROOMS, KITCHEN & LAUNDRY ROOMS (IF APPLICABLE).

NOTE: CONTRACTOR TO FIELD VERIFY W/ OWNERS, WALLS TO RECEIVE (1) ADDITIONAL LAYER OF 1/2" HOMASOTE 440 SOUND BARRIER BOARD OR EQUAL).

ALL CONTRACTORS AND SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS. VERIFY EXISTG CONDITIONS COMPLY WITH CURRENT CODE REQUIREMENTS. NOTIFY ARCHITECT IN WRITING IF CHANGES ARE NECESSARY. NO EXTRAS WILL BE GIVEN. REPORT ANY DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO SUBMITTING PROPOSAL. - NO NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY AND ALL ABANDEN UNDER GROUND UTILITIES, PIPES, WIRES TREE ROOTS SEPTIC TANK ETC. - PRIOR TO COMPACTING SITE.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND OBTAIN ACCESS TO THE SITE WITH OWNERS.

THE CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL REQUIRED PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE COMPLETION OF THE WORK.

ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION OF OWNERS AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.

THE CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WITH EACH OTHER TO PREVENT OVERSTEPPING EACH OTHER. THE CONTRACTOR SHALL PROVIDE LABOR & MATERIALS NECESSARY TO MAINTAIN CONSTRUCTION SCHEDULING. THE SUB - CONTRACTOR SHALL BE RESPONSIBLE TO MEET THE SCHEDULE AS PROVIDED AND AGREED TO WITH THE CONTRACTOR PRIOR TO CONSTRUCTION.

ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY THE ENGINEER /ARCHITECT MUST BE A CONDITION OF THE CONTRACT BETWEEN THE GEN. CONTRACTOR AND OWNERS.

THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING WORK:

- MAKE-WAY/HOOK UP SCHEDULING OF ALL TRADES AND WORK (INCLUDING WORK OF OTHERS WHERE NO CONTRACTUAL RELATIONSHIP EXIST).
- PROVIDING BARRICADES, TEMPORARY POWER, LIGHTING, TELEPHONE SERVICES, ETC. AS REQ'D, TO COMPLETE WORK.
- TEMPORARY UTILITIES, CONNECTIONS AND PAYMENT OF ALL UTILITY CHARGES DURING CONSTRUCTION.
- COORDINATION WITH OWNER OR AGENT OF DELIVERY AND REMOVAL IF MATERIALS, EQUIPMENT, AND OTHER ITEMS TO /FROM SITE.
- REMOVAL OF TRASH AND DEBRIS. PLACE IN DESIGNATED CONTAINERS AS DIRECTED BY OWNER /AGENT. REMOVE ALL TRASH FROM PREMISES.
- ISSUE ALL ADDENDUMS (RFS), REVISIONS AND UPDATES TO SUBCONTRACTORS IN A TIMELY MANNER.

ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE ARCHITECT'S PROPERTY. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF COMPLETE AND CURRENT DRAWINGS AVAILABLE FOR REVIEW AT THE JOBSITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNERS RECORD COPY.

ALL WORK SHALL BE LAID OUT TRUE, SQUARE AND PLUMB TO EXACT AND CORRECT DIMENSIONS. IF DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER/ ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE ARCHITECT WILL ISSUE A DIMENSIONAL OR LAYOUT CORRECTION NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT DIMENSIONAL ERRORS.

ALL MATERIALS USED IN THE PERMANENT CONSTRUCTION OF THE WORK MUST BE NEW AND UNUSED (UNO.) FIRST QUALITY, FREE FROM DEFECTS AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS FOR THE APPLICATION AT HAND. ALL WORKSMANSHIP SHALL BE OF FIRST CLASS QUALITY.

CONTRACTOR SHALL PROVIDE CUT-SHEETS AND SPECIFICATIONS OF ALL ITEMS FOR SUBMISSION TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION.

PRODUCT MANUFACTURERS INDICATED IN SCHEDULES AND/OR ON PLANS WERE SELECTED BASED UPON QUALITY, STYLE, SIZE, COLOR, ETC. AND ARE NOT INTENDED TO RESTRICT THE COMPETITIVE BIDDING. PRODUCTS EQUAL TO OR INTENDED TO BE USED AS SUBSTITUTES ARE SUBJECT TO ARCHITECTS / OWNERS APPROVAL IN WRITING PRIOR TO PURCHASE OR INSTALLATION.

ALL DOOR FRAMES TO BE LOCATED 5' TO 6' FROM ADJACENT PARTITIONS, UNO.

ALL DRYWALL PARTITIONS WILL BE TAPED, SPARKLED, SANDED, PRIMED AND PAINTED. CONCEAL ALL FASTENERS AND ATTACHMENTS FROM VIEW.

OWNER SHALL REVIEW THESE CONSTRUCTION DOCUMENTS AND VERIFY THAT THEY ARE CORRECT AND COMPLETE PRIOR TO BIDDING AND START OF CONSTRUCTION. NOTE: CONTRACTOR TO ESTABLISH CONSTRUCTION BUDGET WITH OWNERS, PRIOR TO STARTING CONSTRUCTION.

OWNER SHALL APPROVE ALL MATERIAL AND FINISH SAMPLES ALONG WITH ALL EQUIPMENT SPECIFICATIONS PRIOR TO ORDERING AND INSTALLATION.

ALL DOORS & WINDOWS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS ('FGT' OR EQUAL.)

ALL INTERIOR WALLS THAT RECEIVE TILE /MARBLE - TO BE BACKED W/ 5/8" 'DENS-SHIELD' OR EQUAL (IF APPLICABLE).

ALL WALKWAYS TO BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE.

NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.

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**EXISTING MULTI
FAMILY
TOWNHOUSE
EXTERIOR
RENOVATION**

**1180/1190 NASSAU ST.
DELRAY BEACH, FL.**

1. REVISED 3-27-23 AS PER TAC COMMENTS.
2. REMOVED NOTES ABOUT PROPOSED PORCH ENCLOSURE.
3. UPDATED ROOF MATERIAL TO SHOW EXISTING BARREL TILE.
4. PROVIDED EXISTING AREA CALCULATIONS.

**EXISTING
SITE PLAN
(FOR REF.
ONLY).**



PROPOSED PROJECT IS LOCATED
AT THE CORNER OF NASSAU ST. AND
S. OCEAN BLVD., SOUTH EAST CORNER.

VICINITY MAP



DESCRIPTION:

LOT 3, NASSAU POINT, ACCORDING TO THE PLAT
THEREOF, AS RECORDED IN PLAT BOOK 68, PAGE 14,
OF THE PUBLIC RECORDS OF PALM BEACH COUNTY,
FLORIDA.

GENERAL NOTES:

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

**EXISTING AREA CALCULATIONS
FOR TOWNHOUSE 1180**

EXISTING GROUND FLOOR AREA UNDER A/C	846 S/F
EXISTING TWO CAR GARAGE	421 S/F
EXISTING SIDE COVERED ENTRY	16 S/F
EXISTING FRONT COVERED PORCH	11 S/F
EXISTING REAR COVERED PORCH	31 S/F
EXISTING GROUND FLOOR AREA UNDER ROOF	1403 S/F

EXISTING SECOND FLOOR AREA UNDER A/C	1073 S/F
EXISTING SIDE BALCONY	22 S/F
EXISTING FRONT COVERED PORCH	134 S/F
EXISTING SECOND FLOOR AREA UNDER ROOF	1229 S/F

EXISTING THIRD FLOOR AREA UNDER A/C	1038 S/F
EXISTING FRONT COVERED PORCH	108 S/F
EXISTING THIRD FLOOR AREA UNDER ROOF	1146 S/F

TOTAL EXISTING UNDER A/C	2,957 S/F
TOTAL EXISTING UNDER ROOF	3,118 S/F

**EXISTING AREA CALCULATIONS
FOR TOWNHOUSE 1190**

EXISTING GROUND FLOOR AREA UNDER A/C	846 S/F
EXISTING TWO CAR GARAGE	421 S/F
EXISTING SIDE COVERED ENTRY	16 S/F
EXISTING FRONT COVERED PORCH	11 S/F
EXISTING REAR COVERED PORCH	31 S/F
EXISTING GROUND FLOOR AREA UNDER ROOF	1403 S/F

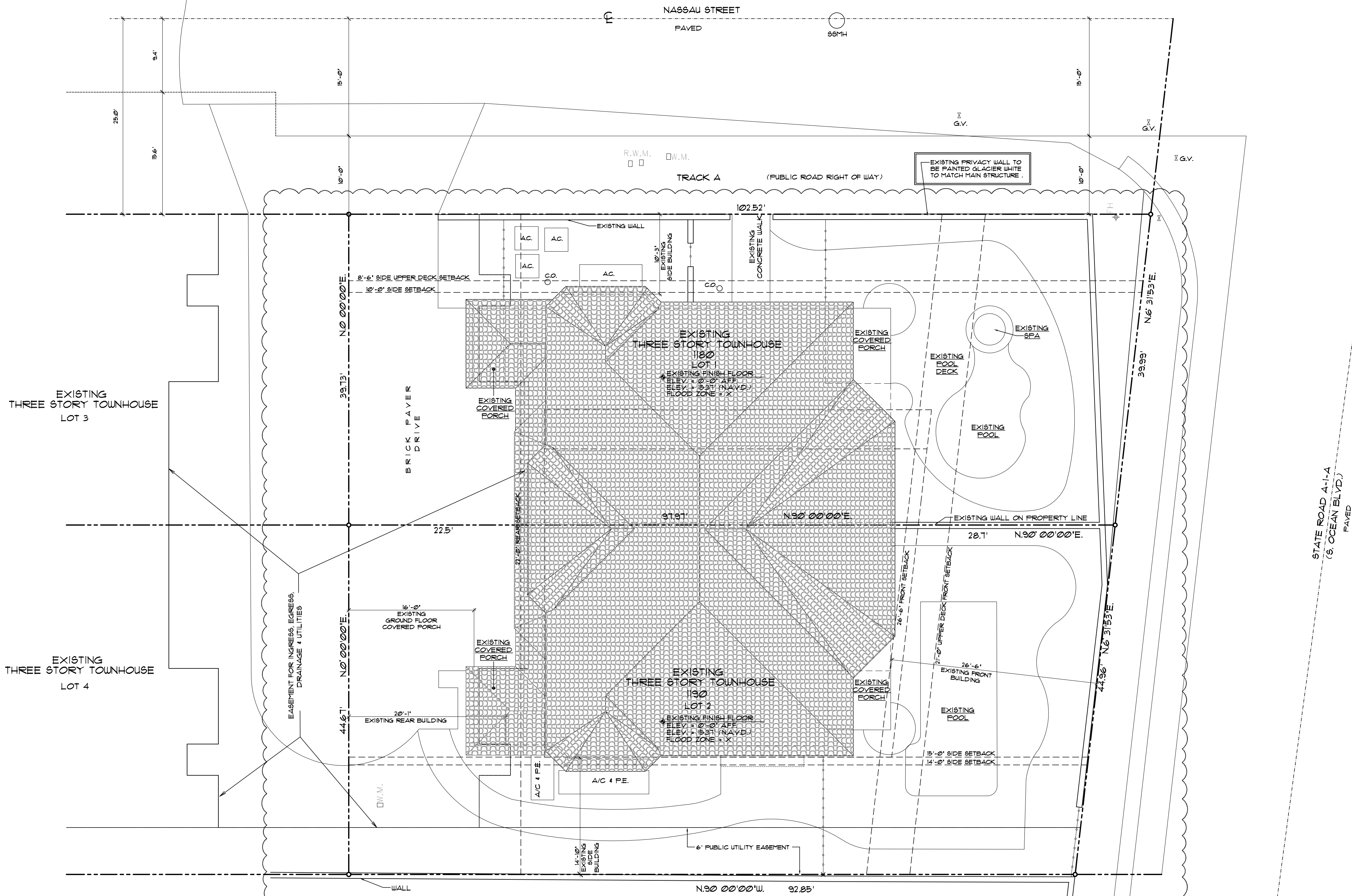
EXISTING SECOND FLOOR AREA UNDER A/C	1073 S/F
EXISTING SIDE BALCONY	22 S/F
EXISTING FRONT COVERED PORCH	134 S/F
EXISTING SECOND FLOOR AREA UNDER ROOF	1229 S/F

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TOTAL EXISTING UNDER A/C	2,957 S/F
TOTAL EXISTING UNDER ROOF	3,118 S/F

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY IN DRAWINGS. (SEE GENERAL NOTES).
- ALL AREA CALCULATIONS ARE APPROX.

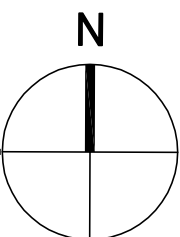


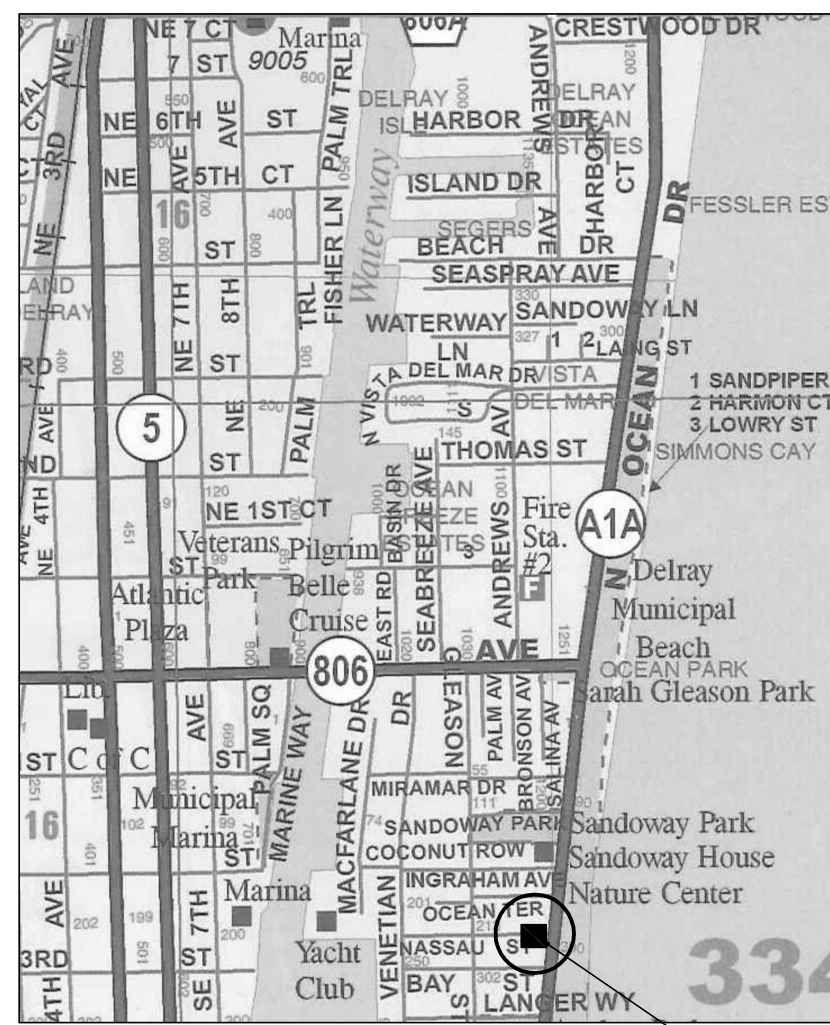
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A1.00E

EXISTING SITE PLAN

SCALE : 1/8" = 1'-0"

(FOR REFERENCE ONLY)





PROPOSED PROJECT IS LOCATED
AT THE CORNER OF NASSAU ST. AND
S. OCEAN BLVD, SOUTH EAST CORNER

VICINITY MAP



SITE DATA:

LOT 1

TOTAL SITE AREA	3,983 S/F
TOTAL BLDG FOOTPRINT	1,311 S/F
TOTAL LOT COVERAGE *	1,311 / 3,983 = 34.6%
TOTAL IMPERVIOUS VS PERVIOUS AREA:	
TOTAL IMPERVIOUS AREA: (BUILDING FOOTPRINT, PAVERS, POOL ETC.)	3,014 S/F
TOTAL PERVIOUS AREA (OPEN SPACE)	969 S/F
TOTAL IMPERVIOUS AREA *	3,014 / 3,983 = 76%
TOTAL PERVIOUS AREA (OPEN SPACE) *	969 / 3,983 = 24%
TOTAL PERVIOUS + IMPERVIOUS AREA *	969 + 3,014 + 3,983 = 100%

LOT 2

TOTAL SITE AREA	4,262 S/F
TOTAL BLDG FOOTPRINT	1,481 S/F
TOTAL LOT COVERAGE *	1,481 / 4,262 = 34.9%
TOTAL IMPERVIOUS VS PERVIOUS AREA:	
TOTAL IMPERVIOUS AREA: (BUILDING FOOTPRINT, PAVERS, POOL ETC.)	3,111 S/F
TOTAL PERVIOUS AREA (OPEN SPACE)	1,091 S/F
TOTAL IMPERVIOUS AREA *	3,111 / 4,262 = 74%
TOTAL PERVIOUS AREA (OPEN SPACE) *	1,091 / 4,262 = 26%
TOTAL PERVIOUS + IMPERVIOUS AREA *	1,091 + 3,111 + 4,262 = 100%

SET BACKS: ** SEE APPROVED VARIANCE CHART

	REQUIRED	EXISTING
FRONT(EAST)	25'-0" (1ST + 2ND FLOOR) 30'-0" (3RD FLOOR)	25'-2"
REAR (WEST)	25'-0"	16'-8"
SIDE INTERIOR (SOUTH)	15'-0"	14'-9"
SIDE STREET (NORTH)	30'-0" (THIRD FLOOR) 25'-0" (1ST + 2ND FLOOR) 30'-0" (THIRD FLOOR)	10'-3"
ALLOWABLE HEIGHT	35'-0" (MEAN ROOF HT.)	34'-9" (ABOVE AVG. GROUND OF ROAD)

ZONING RM (HISTORIC NASSAU DISTRICT)

PROPOSED AREA CALCULATIONS
FOR TOWNHOUSE 1180

GROUND FLOOR AREA UNDER A/C	883 S/F
EXISTING TWO CAR GARAGE	421 S/F
EXISTING SIDE COVERED ENTRY	16 S/F
EXISTING FRONT COVERED PORCH	11 S/F
PROPOSED GROUND FLOOR AREA UNDER ROOF	1,403 S/F
EXISTING SECOND FLOOR AREA UNDER A/C	1,073 S/F
PROPOSED WRAP-AROUND FRONT PORCH	285 S/F
PROPOSED SECOND FLOOR AREA UNDER ROOF	1,358 S/F
EXISTING THIRD FLOOR AREA UNDER A/C	1,038 S/F
EXISTING FRONT COVERED PORCH	108 S/F
EXISTING THIRD FLOOR AREA UNDER ROOF	1,146 S/F
TOTAL UNDER A/C	2,994 S/F
TOTAL UNDER ROOF	3,907 S/F

PROPOSED AREA CALCULATIONS
FOR TOWNHOUSE 1190

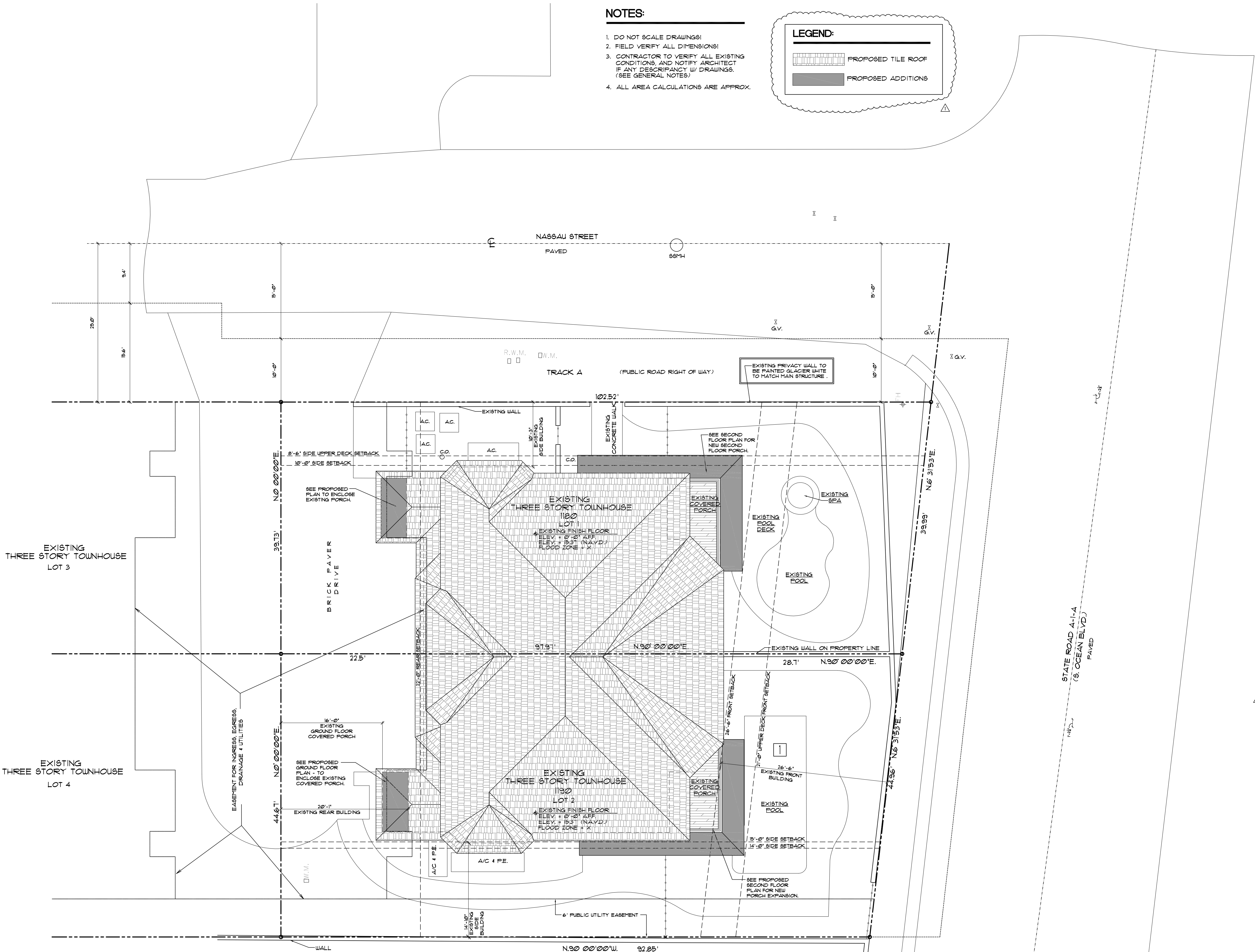
GROUND FLOOR AREA UNDER A/C	883 S/F
EXISTING TWO CAR GARAGE	421 S/F
EXISTING SIDE COVERED ENTRY	16 S/F
EXISTING FRONT COVERED PORCH	11 S/F
PROPOSED GROUND FLOOR AREA UNDER ROOF	1,403 S/F
EXISTING SECOND FLOOR AREA UNDER A/C	1,073 S/F
PROPOSED WRAP-AROUND FRONT PORCH	285 S/F
PROPOSED SECOND FLOOR AREA UNDER ROOF	1,358 S/F
EXISTING THIRD FLOOR AREA UNDER A/C	1,038 S/F
EXISTING FRONT COVERED PORCH	108 S/F
EXISTING THIRD FLOOR AREA UNDER ROOF	1,146 S/F
TOTAL UNDER A/C	2,994 S/F
TOTAL UNDER ROOF	3,907 S/F

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES).
- ALL AREA CALCULATIONS ARE APPROX.

LEGEND:

- PROPOSED TILE ROOF
- PROPOSED ADDITIONS



FLOOD ZONE: X

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

PRIOR APPROVED VARIANCE FOR 'NASSAU COVE' #28-4

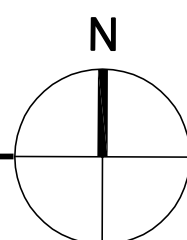
LOCATION	REQUIRED SETBACK	APPROVED SETBACK
FRONT (EAST SIDE)	1ST / 2ND STORIES - 25'-0"	2ND STORY DECK - 21'-0"
3RD STORY - 30'-0"	2ND STORY - 26'-6"	
SIDE INTERIOR (SOUTH SIDE)	1ST / 2ND STORIES - 15'-0"	2ND STORY - 14'-0"
3RD STORY - 25'-0"	2ND STORY - 15'-0"	
SIDE STREET (NORTH SIDE)	1ST / 2ND STORIES - 25'-0"	1ST / 2ND STORIES - 10'-0"
3RD STORY - 30'-0"	3RD STORY - 10'-0"	
REAR (WEST SIDE)	ENTIRE BUILDING - 25'-0"	2ND STORY DECK - 22'-0"
POOL	WHEN ADJACENT TO ANY STREET RIGHT-OF-WAY LINE - 15'-0"	9'-0"
PARKING	TWO OR MORE BEDROOMS REQUIRE 2 SPACES PER UNIT, GUEST PARKING REQUIRES 3 SPACES PER DWELLING UNIT + 10 SPACES REQUIRED FOR TOTAL PLAN.	8 TOTAL SPACES

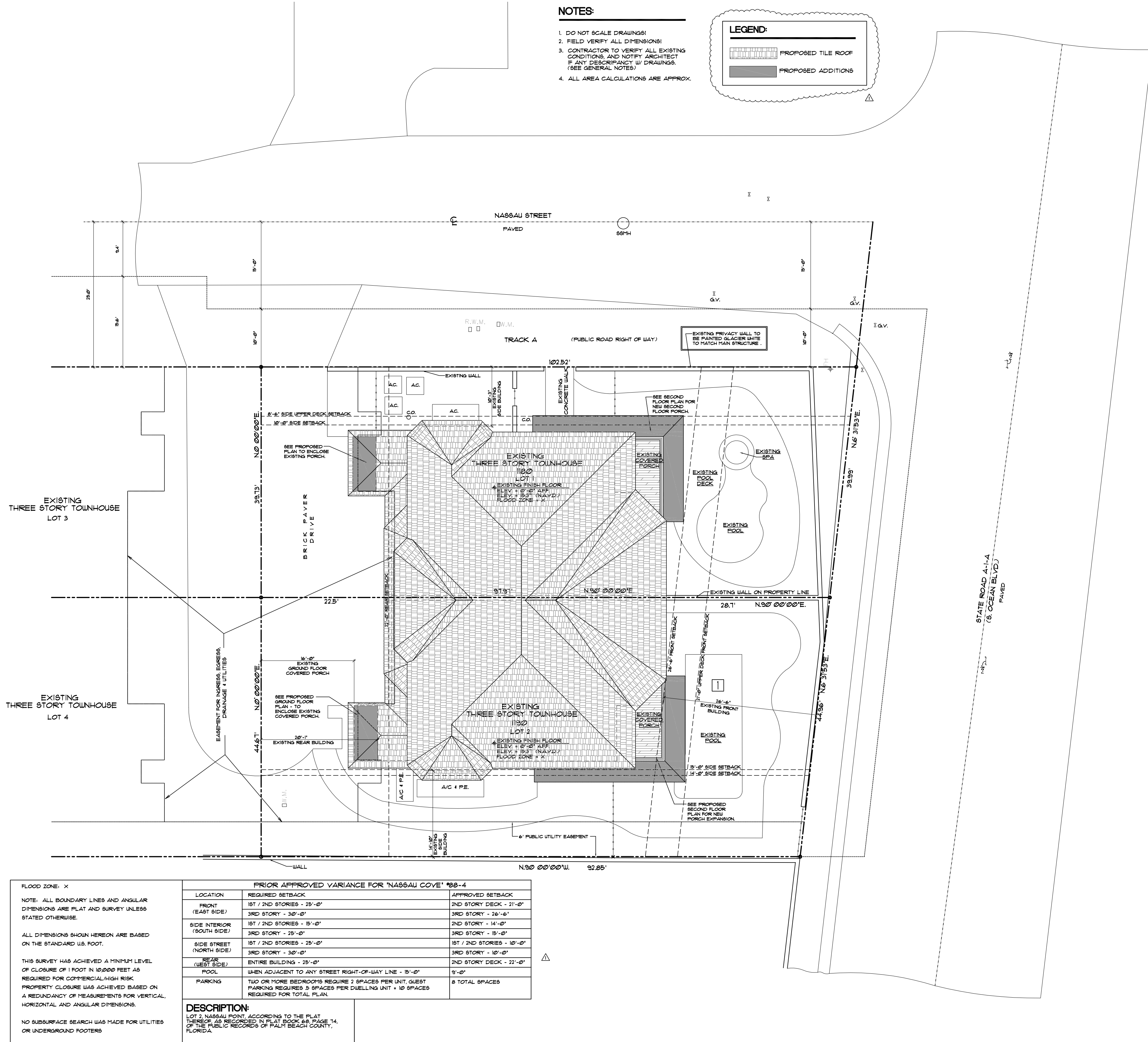
DESCRIPTION:

LOT 2, NASSAU POINT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 68, PAGE 14, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PROPOSED
SITE PLAN

SCALE: 1/8" = 1'-0"





1 PROPOSED SITE PLAN
SCALE: 1" = 10'-0"



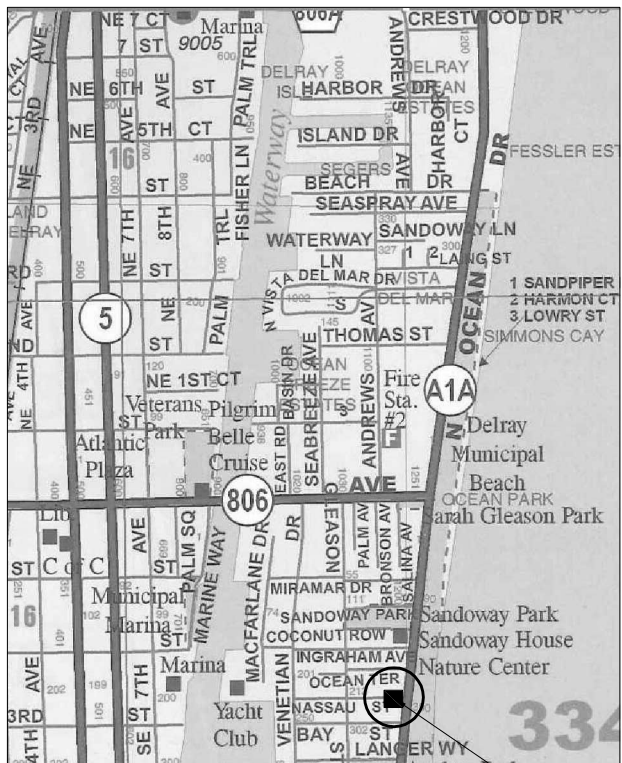
1119 NASSAU ST.



1127 NASSAU ST.



226 S OCEAN BLVD.



PROPOSED PROJECT IS LOCATED AT THE CORNER OF NASSAU ST. AND S OCEAN BLVD. SOUTH EAST CORNER.

VICINITY MAP

NOTES:

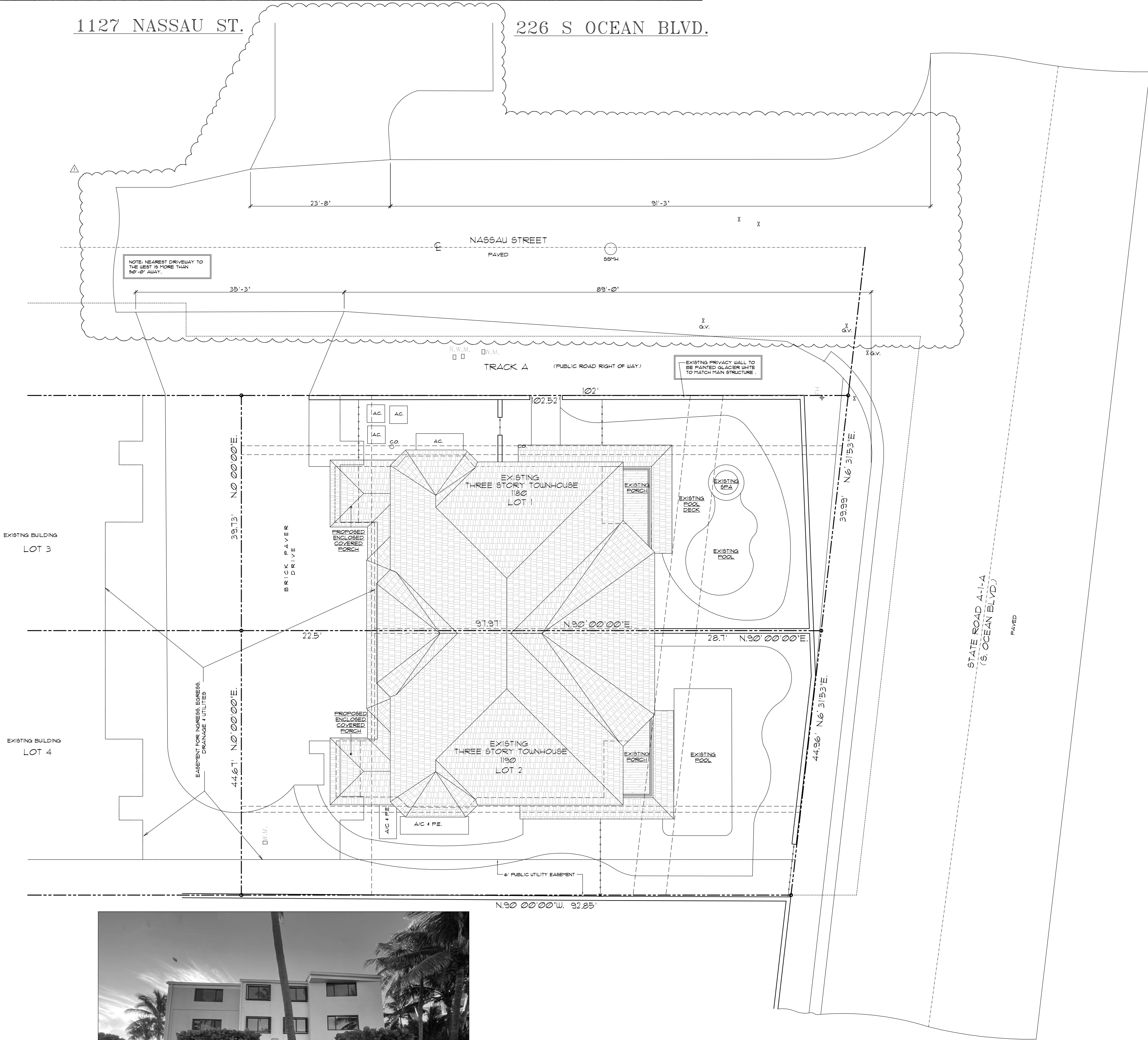
1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY IN DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.



1122 NASSAU ST.



1160 & 1170 NASSAU ST.



250 S OCEAN BLVD.

EXISTING CONTEXT SITE PLAN

SCALE : 3/32" = 1'-0"

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architect, planner and designer

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Delray Beach, Florida 33483
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR 1/6/23

BIDS

PERMIT HPB

CONSTRUCTION

PROJECT TITLE

EXISTING MULTI FAMILY TOWNHOUSE EXTERIOR RENOVATION

1180/1190 NASSAU ST.
DELRAY BEACH, FL.

REVISIONS

- REVISIONS
1. REVISED 3-27-23 AS PER TAC COMMENTS. ADDED NORTH DRIVEWAY WITH DIMENSION

FILE NUMBER

815A102

DRAWING TITLE

EXISTING CONTEXT SITE PLAN

DATE

08.15.22

DRAWN BY

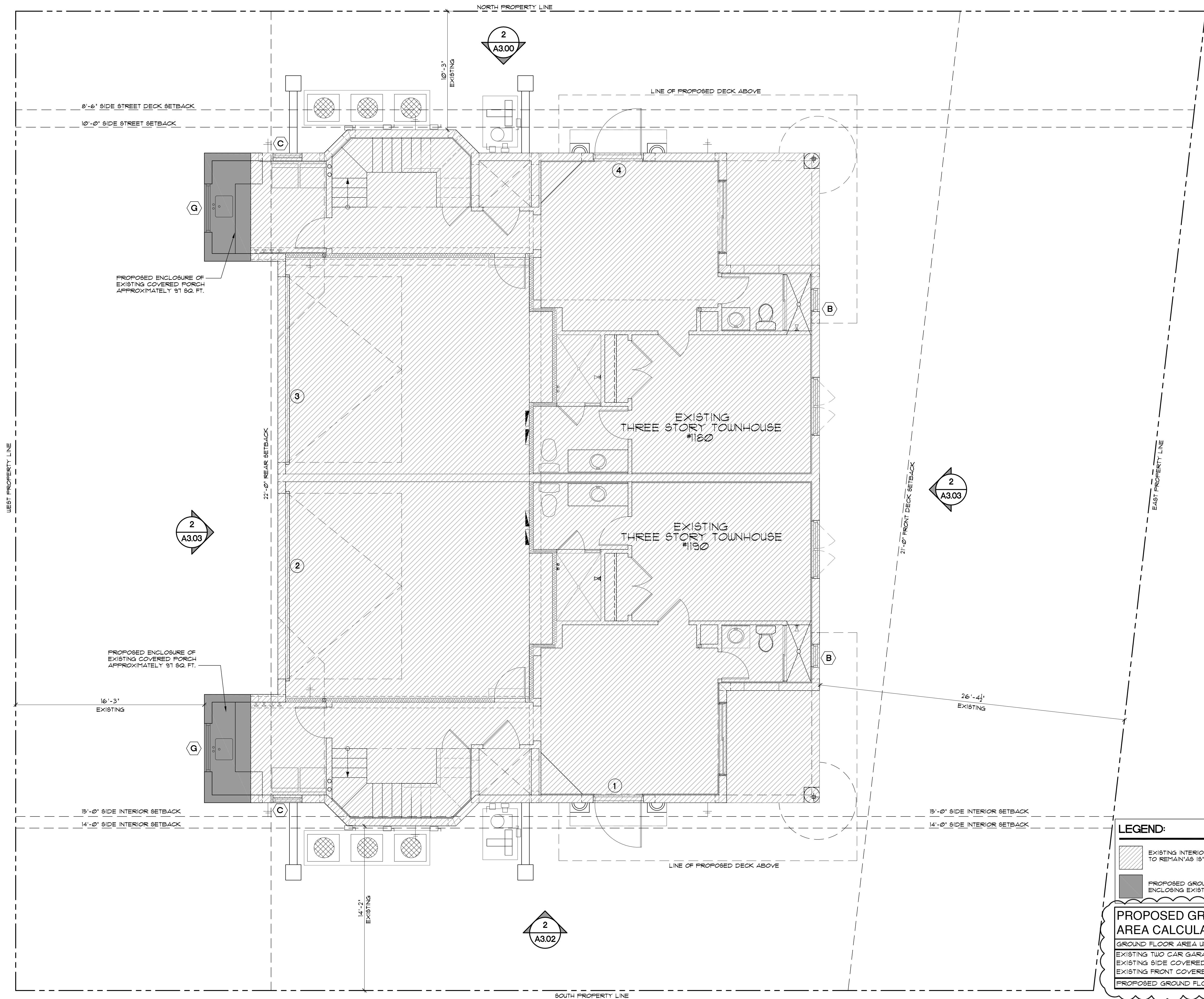
JE

JOB NUMBER

20220815

DRAWING NUMBER

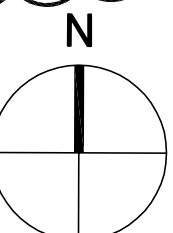
A1.02



1
A2.00

PROPOSED GROUND FLOOR PLAN

SCALE : 1/4" = 1'-0"



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BIDS

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CONSTRUCTION

PROJECT TITLE

EXISTING MULTI FAMILY TOWNHOUSE EXTERIOR RENOVATION

1180/1190 NASSAU ST.
DELRAY BEACH, FL.

REVISIONS

REVISOR 3-27-23 AS PER TAG COMMENTS.
1. ADDED AREA CALCULATIONS.

FILE NUMBER

815A201

DRAWING TITLE

PROPOSED GROUND FLOOR PLAN

DATE

08.15.22

DRAWN BY

JE

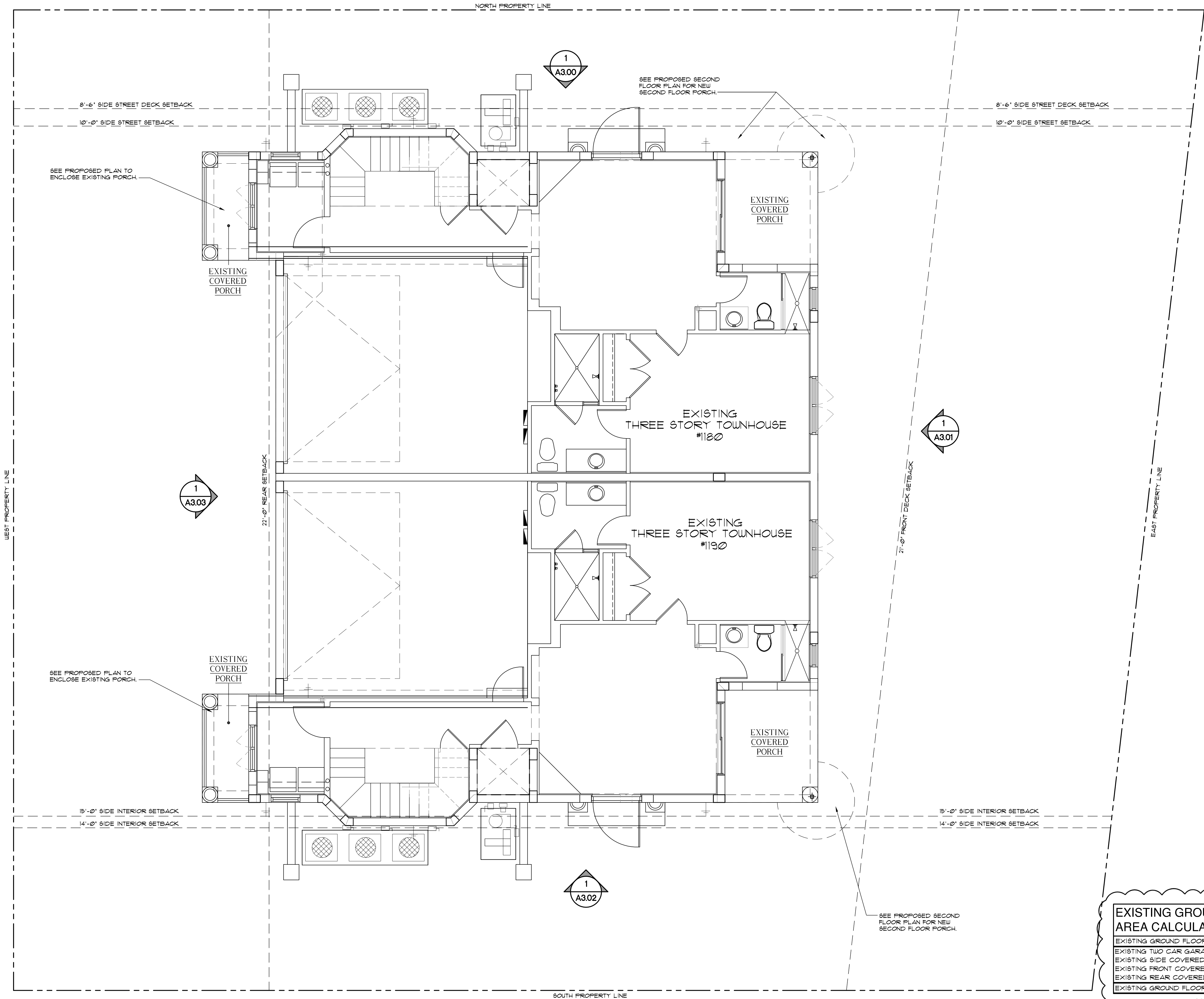
JOB NUMBER

20220815

DRAWING NUMBER

A2.00

12/27/2023 7:50:01 AM



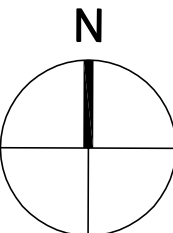
EXISTING GROUND FLOOR AREA CALCULATIONS	
EXISTING GROUND FLOOR AREA UNDER A/C	846 S/F
EXISTING TWO CAR GARAGE	421 S/F
EXISTING SIDE COVERED ENTRY	16 S/F
EXISTING FRONT COVERED PORCH	11 S/F
EXISTING REAR COVERED PORCH	31 S/F
EXISTING GROUND FLOOR AREA UNDER ROOF	1,403 S/F

1
A2.00E

EXISTING GROUND FLOOR PLAN

SCALE : 1/4" = 1'-0"

(FOR REFERENCE ONLY)



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CONSTRUCTION

PROJECT TITLE

EXISTING MULTI
FAMILY
TOWNHOUSE
EXTERIOR
RENOVATION

1180/1190 NASSAU ST.
DELRAY BEACH, FL.

REVISIONS

Δ REVISED 3-27-23 AS PER TAC COMMENTS.
1. ADDED EXISTING AREA CALCULATIONS.

FILE NUMBER

815A200

DRAWING TITLE

EXISTING
GROUND FLR
PLAN
(FOR REF.)

DATE

08.15.22

DRAWN BY

JE

JOB NUMBER

20220815

DRAWING NUMBER

A2.00E

12/27/2023 7:50:53 AM



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designer

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BIDS

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CONSTRUCTION

PROJECT TITLE

**EXISTING MULTI
FAMILY
TOWNHOUSE
EXTERIOR
RENOVATION**

**1180/1190 NASSAU ST.
DELRAY BEACH, FL.**

REVISIONS

- REVISD 3-21-23 AS PER TAG COMMENTS:
1. ADDED PROPOSED AREA
CALCULATIONS.
REVISD 5-26-23 AS PER TAG COMMENTS:
1. PROVIDED ADDITIONAL DIMENSIONS FOR
PROPOSED BALCONY ADDITIONS.

FILE NUMBER

815A201

DRAWING TITLE

**PROPOSED
SECOND FLOOR
PLAN**

DATE

08.15.22

DRAWN BY

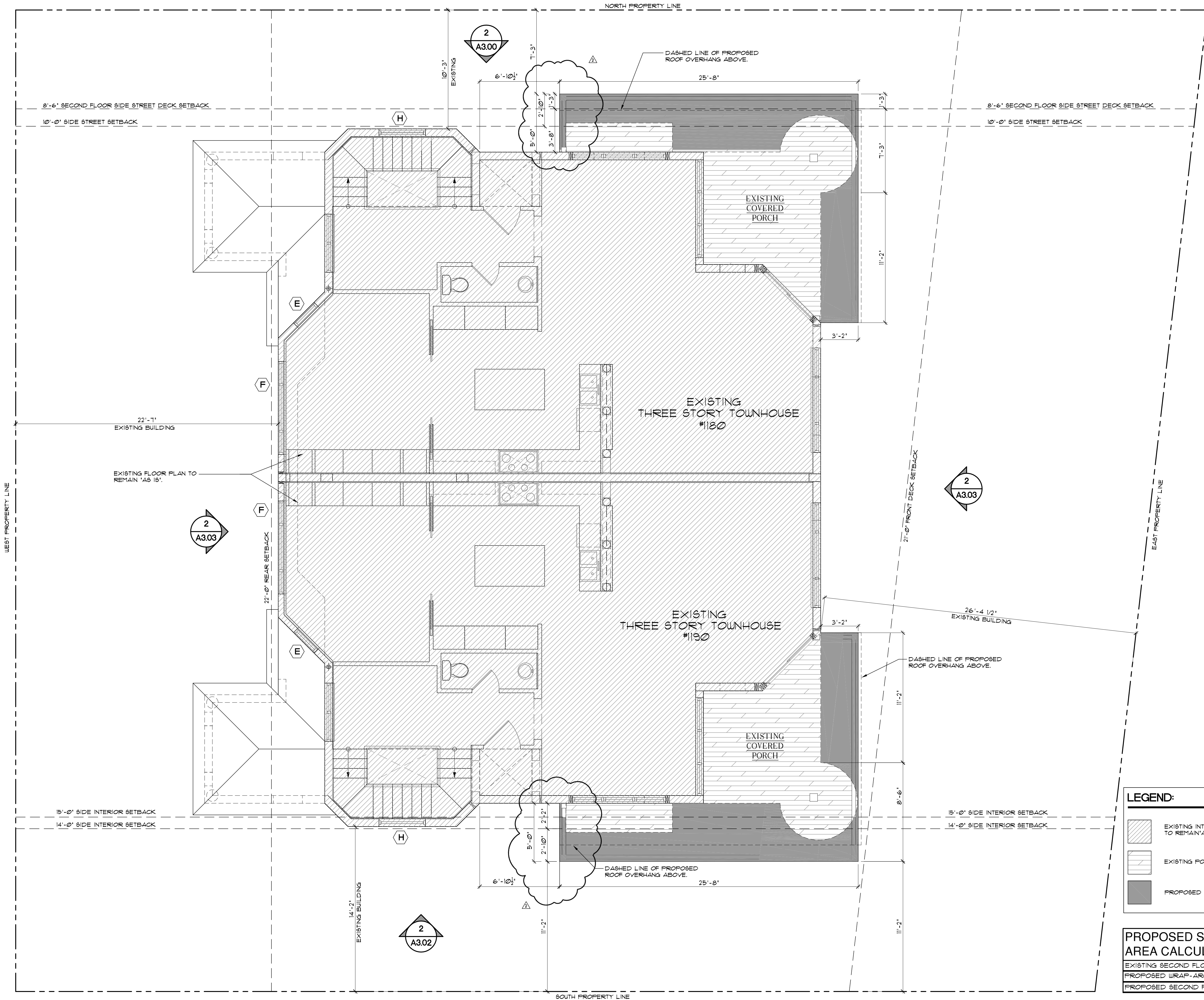
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JOB NUMBER

20220815

DRAWING NUMBER

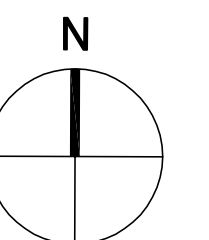
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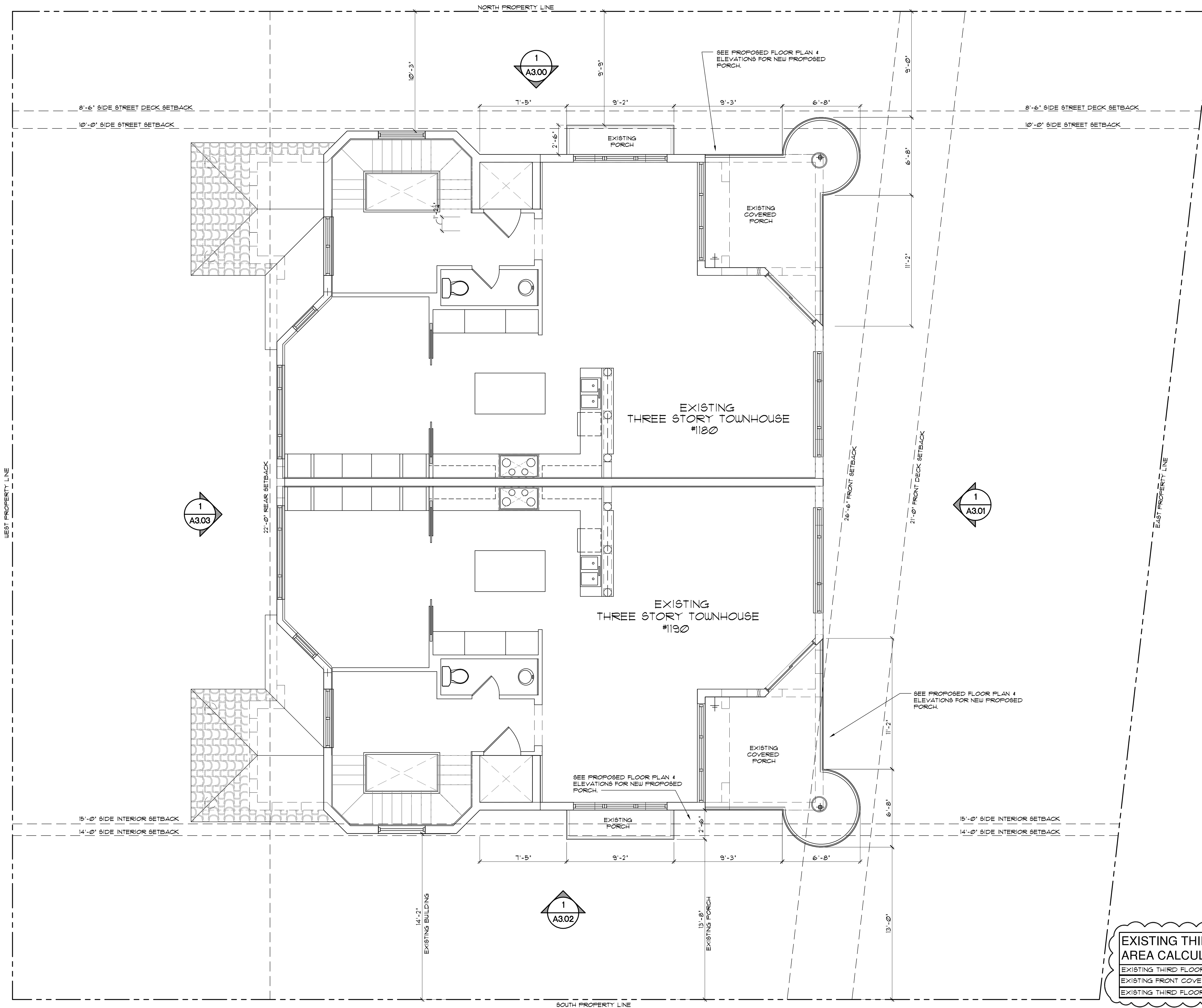


1
A2.01

PROPOSED SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"





WEST PROPERTY LINE

NORTH PROPERTY LINE

SOUTH PROPERTY LINE

EAST PROPERTY LINE

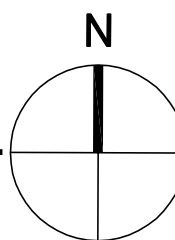
EXISTING THIRD FLOOR AREA CALCULATIONS	
EXISTING THIRD FLOOR AREA UNDER A/C	1,038 S/F
EXISTING FRONT COVERED PORCH	108 S/F
EXISTING THIRD FLOOR AREA UNDER ROOF	1,146 S/F

1
A2.01E

EXISTING SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"

(FOR REFERENCE ONLY)



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CONSTRUCTION

PROJECT TITLE

EXISTING MULTI
FAMILY
TOWNHOUSE
EXTERIOR
RENOVATION

1180/1190 NASSAU ST.
DELRAY BEACH, FL.

REVISIONS

Δ REVISED 3-27-23 AS PER TAG COMMENTS:
1. ADDED EXISTING AREA CALCULATIONS.

FILE NUMBER

815A201E

DRAWING TITLE

EXISTING
SECOND
FLOOR PLAN
(FOR REF. ONLY).

DATE

08.15.22

DRAWN BY

JE

JOB NUMBER

20220815

DRAWING NUMBER

A2.01E

12/27/2023 7:53:02 AM



SUED FOR 11623

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PERMIT HPB

CONSTRUCTION

PROJECT TITLE

EXISTING MULTI-FAMILY TOWNHOUSE EXTERIOR RENOVATION

**180/1190 NASSAU ST
ELRAY BEACH, FL.**

DISCUSSION

1. ADDED EXISTING AREA CALCULATIONS
(NOTE: PROPOSED THIRD FLOOR AREA
CALCULATIONS REMAIN 'AS IS').

FILE NUMBER **815A202**

DRAWING TITLE

PROPOSED THIRD FLOOR PLAN

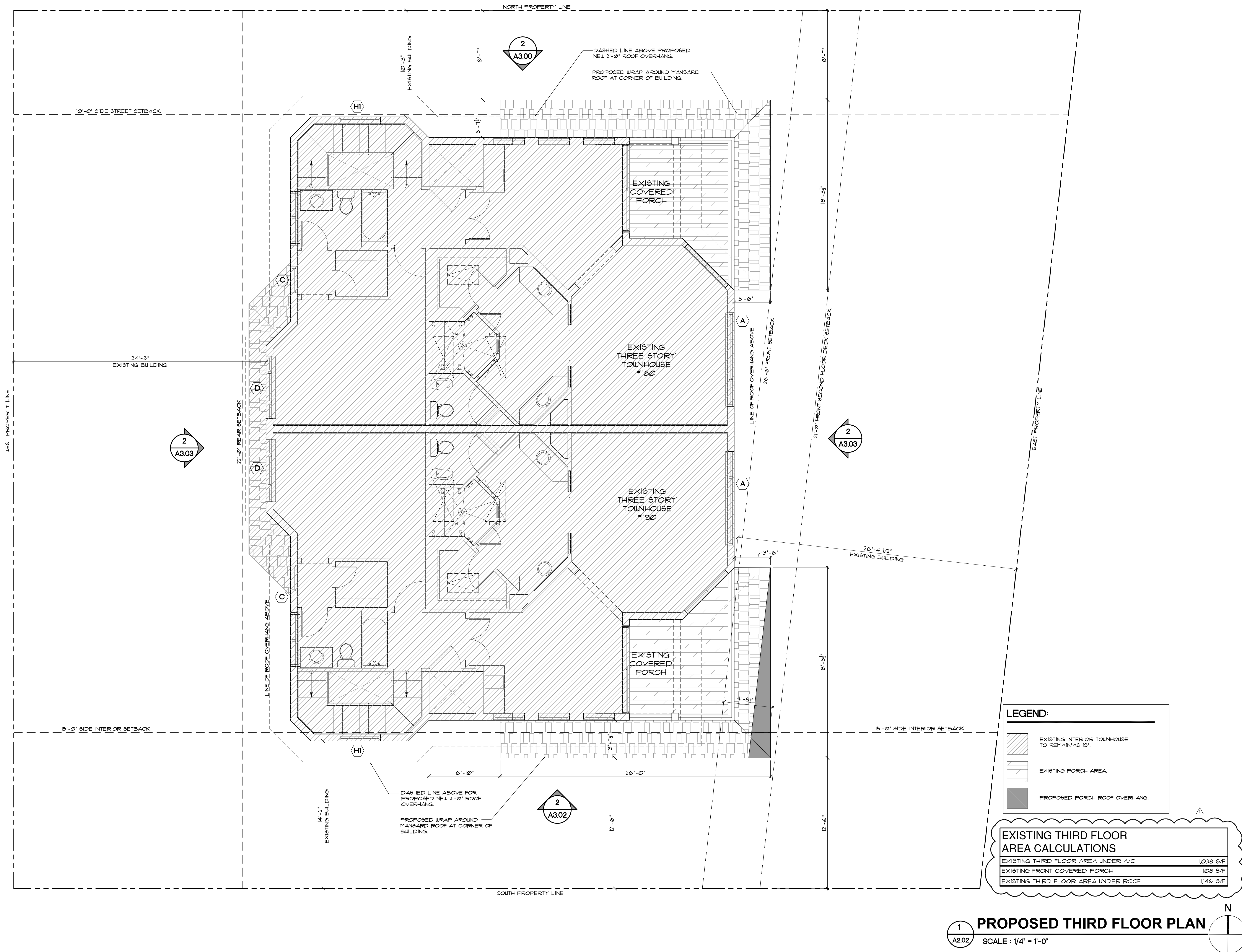
DATE _____ | DRAWN BY _____

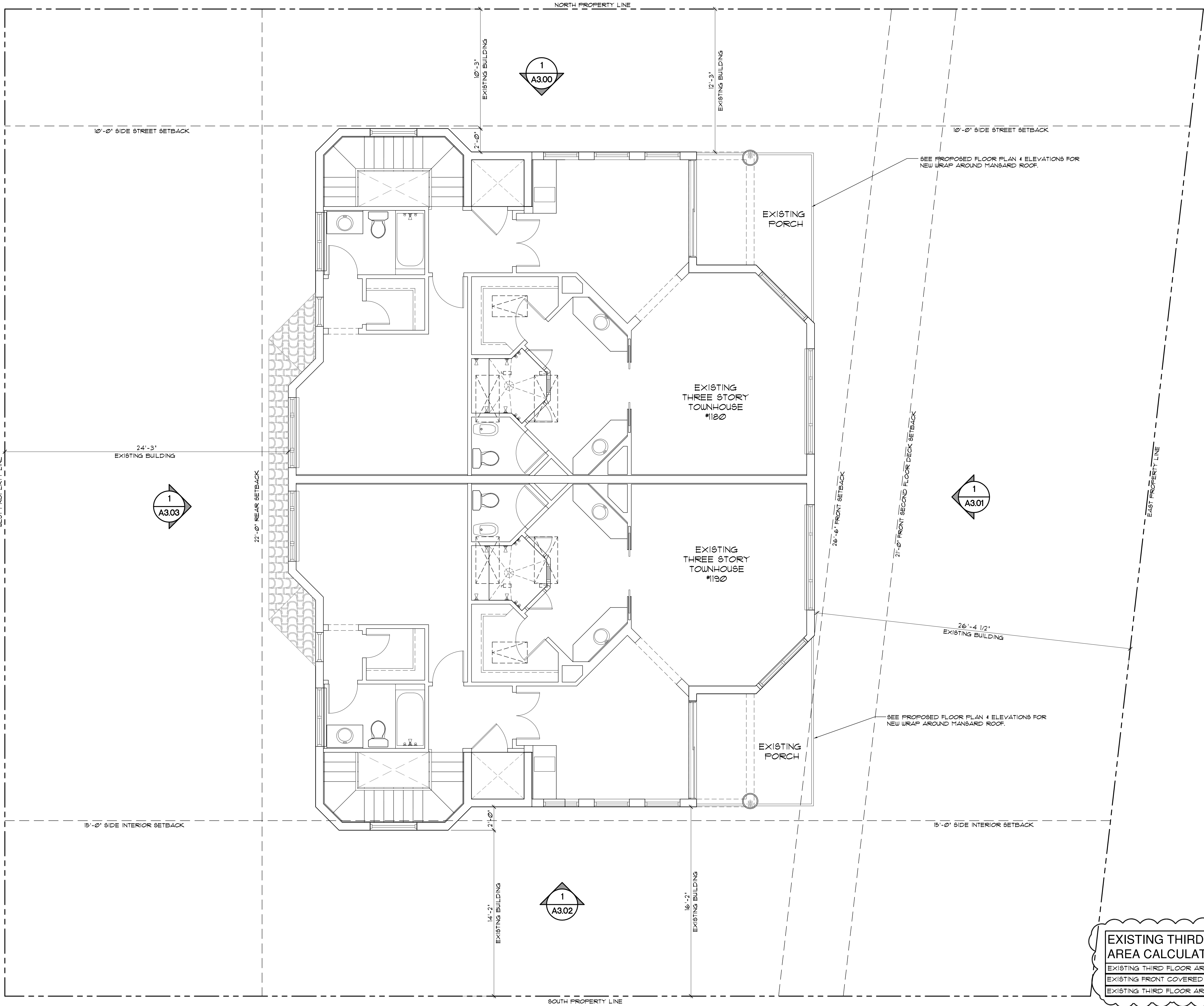
8.15.22 | JE

B. NUMBER

DRAWING NUMBER

A2.02





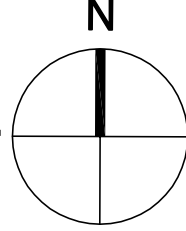
EXISTING THIRD FLOOR AREA CALCULATIONS	
EXISTING THIRD FLOOR AREA UNDER A/C	1,038 S/F
EXISTING FRONT COVERED PORCH	108 S/F
EXISTING THIRD FLOOR AREA UNDER ROOF	1,146 S/F

1
A2.02E

EXISTING THIRD FLOOR PLAN

SCALE : 1/4" = 1'-0"

(FOR REFERENCE ONLY)



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CONSTRUCTION

PROJECT TITLE

EXISTING MULTI
FAMILY
TOWNHOUSE
EXTERIOR
RENOVATION

1180/1190 NASSAU ST.
DELRAY BEACH, FL.

REVISIONS

REVISOR 3-21-23 AS PER TAG COMMENTS:
1. ADDED EXISTING AREA CALCULATIONS.

FILE NUMBER

815A202E

DRAWING TITLE

EXISTING
THIRD
FLOOR PLAN
(FOR REF. ONLY).

DATE

08.15.22

DRAWN BY

JE

JOB NUMBER

20220815

DRAWING NUMBER

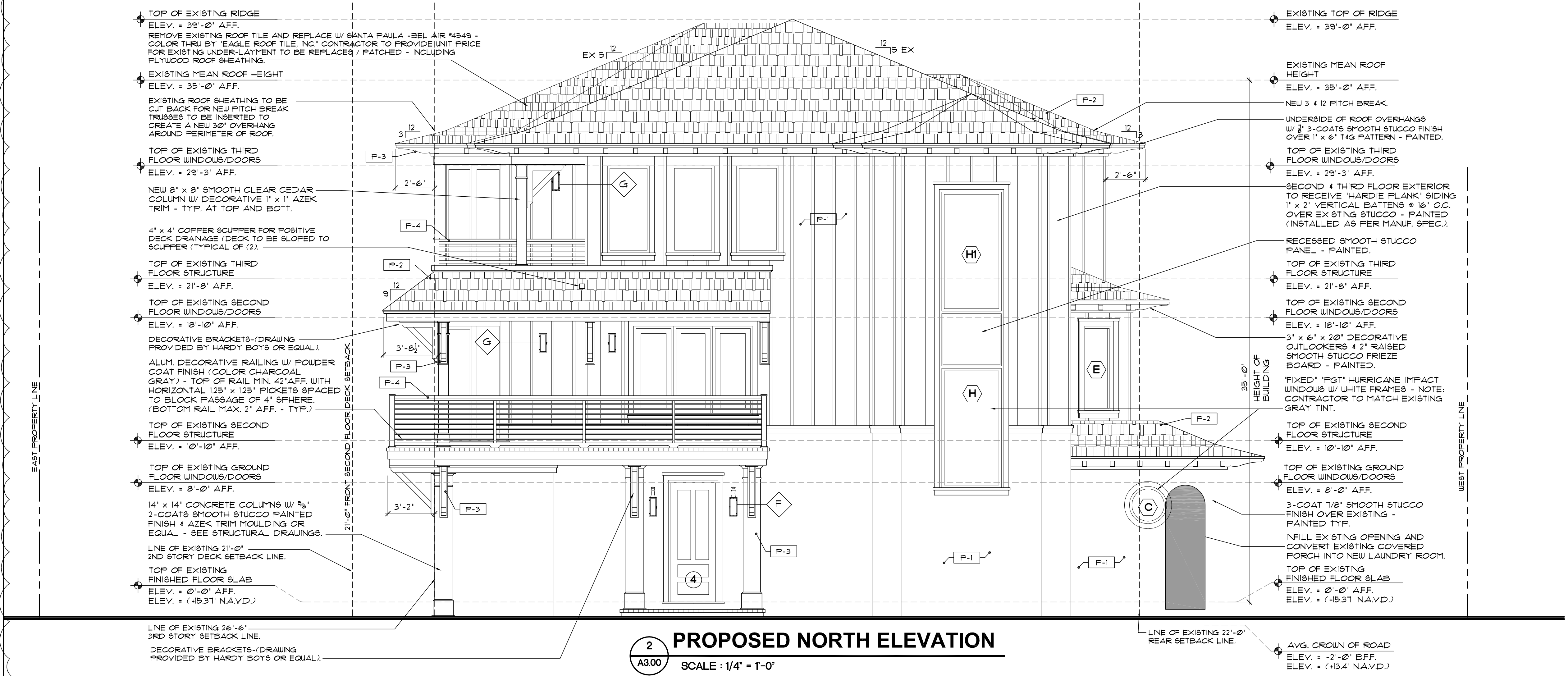
A2.02E

1/27/2023 7:56:41 AM

EXTERIOR STUCCO:

METAL LATH APPLICATION:

1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROWEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.
4. TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS. TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH. TOTAL (1) INCH THICK. AREAS: TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.
8. ALL SHAPE BOARD SHALL BE CELLOFOAM SHAPE FORMS WITH CELLOFOAM EPS PER INSTRUCTIONS AND ADHERED PER SPECIFICATIONS FOR ROOFS, EXTERIORS WITH HIGH R-VALUES. (CELLOFOAM EPS INSULATION ASTM-C618).
9. APPLY ENERFOAM PROFESSIONAL FOAM SEALANT, TO FORM A DURABLE, AIRTIGHT WATER RESISTANT, ENERFOAM SEALANT ASTM-C223. BOND EFFICIENTLY, TO ALL MATERIALS PER SPECIFICATIONS AND METHODS.
10. APPLY SPRAYABLE URETHANE ELASTOMER COATING, UTC-2061, FOR A TOUGH MEMBRANE. IS REQUIRED, APPLY FOR MOLD SPRAYING, MOLD FABRICATION, IMPACT PROTECTION FOR EPS AND CUT SHAPES, OR WHEREVER A HIGHLY DURABLE IMPACT MOISTURE AND CORROSION RESISTANT FINISH IS REQUIRED.



LIGHT FIXTURES

- F TROY LIGHTING 'NEWTON' #CD90080BZ - ELECT. WALL MOUNTED.
- G TROY LIGHTING 'NEWTON' #CD90010BZ - ELECT. WALL MOUNTED.

- ALL LIGHT FIXTURES TO BE APPROVED BY OWNERS / ARCHITECT
- ALL EXTERIOR LUMINARIES TO BE SHIELDED SO AS NOT TO BE FULLY EXPOSED & SHALL BE DESIGNED AND SPECIFIED TO AVOID SPILLING INTO ADJACENT PROPERTIES.

PAINT LEGEND

- ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE.

- P-1 GLACIER WHITE #OC-37 (STUCCO BASE- MAIN BODY OF TOWNHOUSE)
- P-2 EAGLE ROOF TILE - #4549 SANTA PAULA - BEL AIR (COLOR THRU)
- P-3 BRILLIANT WHITE - COLUMNS, BANDING, FASCIA & OUTLOOKERS/BRACKETS.
- P-4 KENDAL CHARCOAL #C-66 DOORS & ALUM. RAILINGS.

NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY, CONTRACTOR TO PROVIDE SAMPLES FOR OWNERS APPROVAL.

PROPOSED ENCLOSURE FOR EXISTING GROUND FLOOR COVERED PORCH.

EXTERIOR STUCCO:

METAL LATH APPLICATION:

1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROUPEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.
4. TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS. TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH. TOTAL (1) INCH THICK. AREAS: TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEEDING OF RAIN WATER.
8. ALL SHAPE BOARD SHALL BE CELLOFOAM SHAPE FORMS WITH CELLOFOAM EPS PER INSTRUCTIONS AND ADHERED PER SPECIFICATIONS FOR ROOFS, EXTERIORS WITH HIGH R-VALUES. CELLOFOAM EPS INSULATION ASTM-C818.
9. APPLY ENERFOAM PROFESSIONAL FOAM SEALANT, TO FORM A DURABLE AIRTIGHT WATER RESISTANT. ENERFOAM SEALANT ASTM-C823. BOND EFFICIENTLY, TO ALL MATERIALS PER SPECIFICATIONS AND METHODS.
10. APPLY SPRAYABLE URETHANE ELASTOMER COATING UTC-5061. FOR A TOUGH MEMBRANE. IS REQUIRED, APPLY FOR MOLD SPRAYING, MOLD FABRICATION, IMPACT PROTECTION FOR EPS AND CUT SHAPES, OR WHEREVER A HIGHLY DURABLE IMPACT MOISTURE AND CORROSION RESISTANT FINISH IS REQUIRED.

LINE OF EXISTING 1ST AND 2ND STORIES 10'-0" SIDE STREET SETBACK LINE.
TOP OF EXISTING RIDGE
ELEV. = 39'-0" AFF.
EXISTING MEDITERRANEAN ROOF TILE TO BE REMOVED & REPLACED W/ CHARCOAL GRAY T&G CONCRETE TILE - SEE PROPOSED ELEVATIONS.
EXISTING MEAN ROOF HEIGHT
ELEV. = 35'-0" AFF.
TOP OF EXISTING THIRD FLOOR WINDOWS/DOORS
ELEV. = 29'-3" AFF.
SEE PROPOSED ELEVATION FOR NEW HURRICANE IMPACT WINDOWS.
REMOVE ALL EXISTING TUSCAN COLUMNS & REPLACE W/ 8" x 8" SMOOTH CLEAR CEDAR COLUMNS - PAINTED (SEE PROPOSED ELEVATIONS).
TOP OF EXISTING THIRD FLOOR STRUCTURE
ELEV. = 21'-8" AFF.
TOP OF EXISTING SECOND FLOOR WINDOWS/DOORS
ELEV. = 18'-10" AFF.
ALL EXISTING DECORATIVE ALUMINUM RAILINGS TO BE REMOVED & REPLACED W/ NEW HORIZONTAL RAILINGS - SEE PROPOSED ELEVATIONS.
TOP OF EXISTING SECOND FLOOR STRUCTURE
ELEV. = 10'-10" AFF.
TOP OF EXISTING GROUND FLOOR WINDOWS/DOORS
ELEV. = 8'-0" AFF.
SEE PROPOSED ELEVATION FOR NEW HURRICANE IMPACT WINDOWS.
REMOVE ALL EXISTING TUSCAN COLUMNS & REPLACE W/ FRAMED SQUARE COLUMNS & SMOOTH STUCCO PAINTED FINISH.
TOP OF EXISTING FINISHED FLOOR SLAB
ELEV. = 0'-0" AFF.
ELEV. = (+15.31' N.A.V.D.)
AVG. CROWN OF ROAD
ELEV. = -2'-0" B.F.F.
ELEV. = (+13.4' N.A.V.D.)
LINE OF EXISTING 8'-6" 2ND STORY DECK SETBACK LINE.

NORTH PROPERTY LINE

35'-0" HEIGHT OF BUILDING

NORTH PROPERTY LINE

35'-0" HEIGHT OF BUILDING

NORTH PROPERTY LINE

EXISTING EAST ELEVATION

SCALE : 1/4" = 1'-0" (FOR REFERENCE ONLY)

PROPOSED EAST ELEVATION

SCALE : 1/4" = 1'-0"



ALUMINUM DECORATIVE RAILING W/ POWDER COAT FINISH (COLOR CHARCOAL GRAY) - TOP OF RAIL MIN. 42" AFF. WITH HORIZONTAL 125" x 125" PICKETS SPACED TO BLOCK PASSAGE OF 4" SPHERE. (BOTTOM RAIL MAX. 2' AFF. - TYP.)

LIGHT FIXTURES

- F TROY LIGHTING 'NEWTON' BCD30080BZ - ELECT. WALL MOUNTED.
- G TROY LIGHTING 'NEWTON' BCD30080BZ - ELECT. WALL MOUNTED.

-ALL LIGHT FIXTURES TO BE APPROVED BY OWNERS / ARCHITECT
-ALL EXTERIOR LUMINARIES TO BE SHIELDED SO AS NOT TO BE FULLY EXPOSED & SHALL BE DESIGNED AND SPECIFIED TO AVOID SPILLING INTO ADJACENT PROPERTIES.

PAINT LEGEND

- ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE.
- P-1 GLACIER WHITE 10C-31 (STUCCO BASE- MAIN BODY OF TOWNHOUSE.)
- P-2 EAGLE ROOF TILE - #549 SANTA PAULA - BEL AIR (COLOR THRU).
- P-3 BRILLIANT WHITE - COLUMNS, BANDING, FASCIA & OUTLOOKERS/BRACKETS.
- P-4 KENDAL CHARCOAL #1C-66 DOORS & ALUM. RAILINGS.

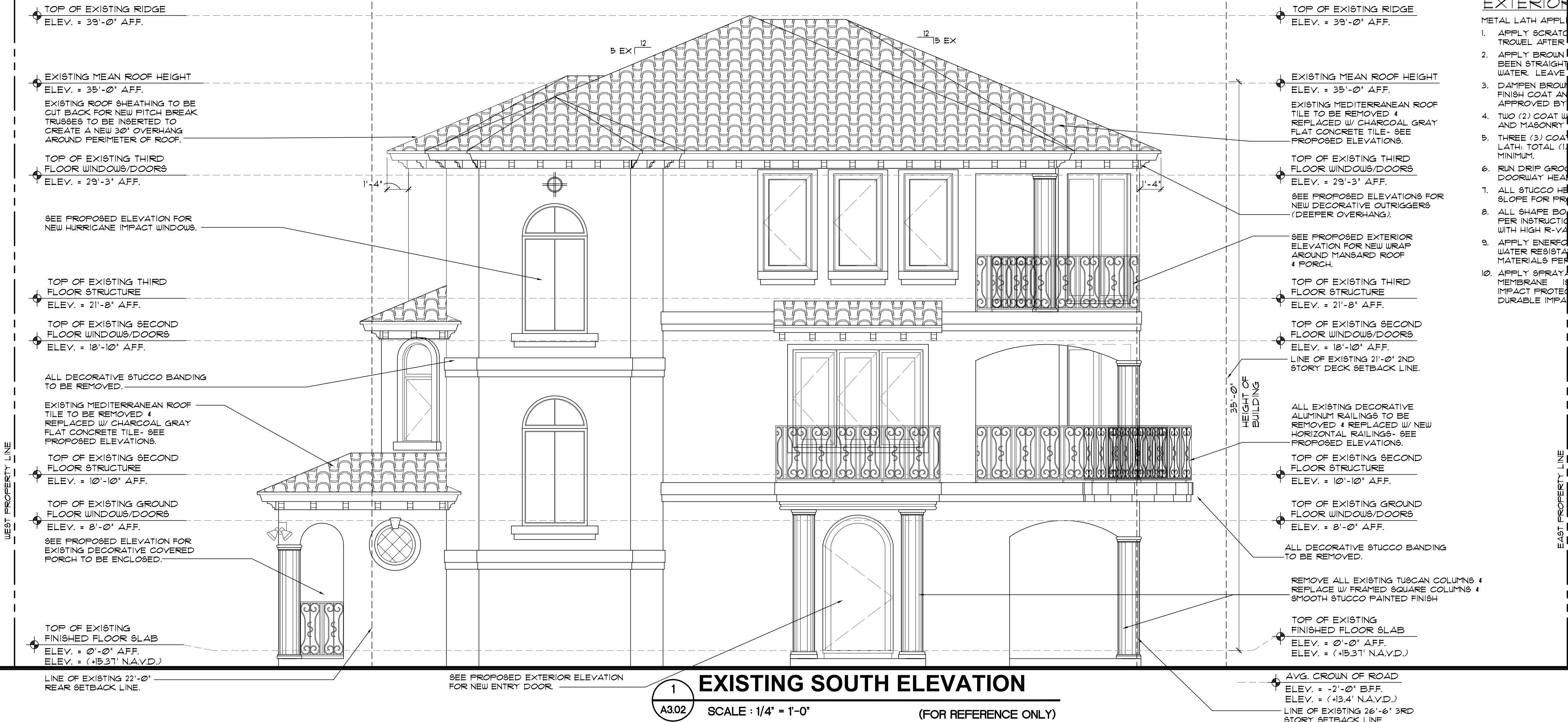
NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR OWNERS APPROVAL.

PROPOSED ENCLOSURE FOR EXISTING GROUND FLOOR COVERED PORCH.

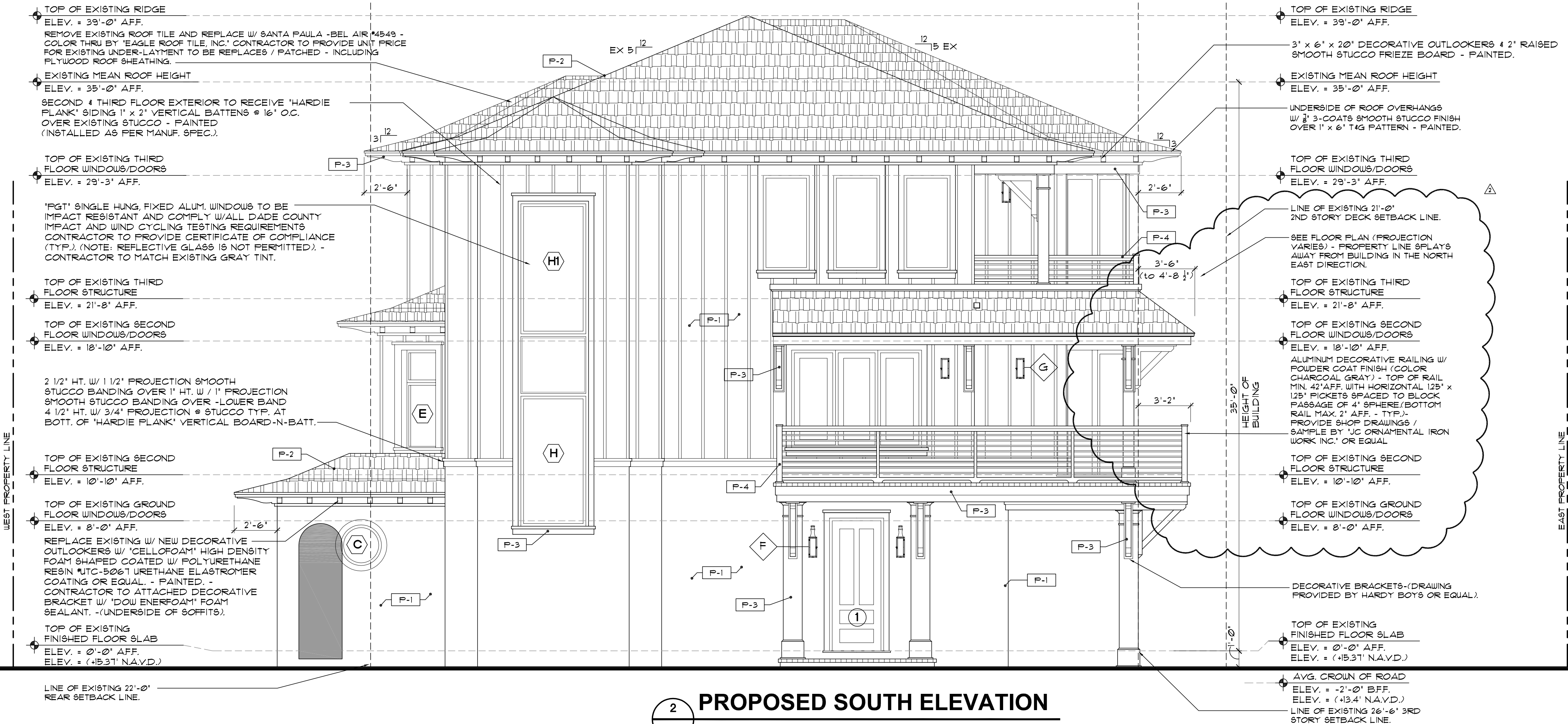
EXTERIOR STUCCO:

METAL LATH APPLICATION:

1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROWEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.
4. TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS: TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH: TOTAL (1) INCH THICK AREAS: TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.
8. ALL SHAPE BOARD SHALL BE CELLOFOAM SHAPE FORMS WITH CELLOFOAM EPS PER INSTRUCTIONS AND ADHERED PER SPECIFICATIONS FOR ROOFS, EXTERIORS WITH HIGH R-VALUES. CELLOFOAM EPS INSULATION ASTM-C878.
9. APPLY ENERFOAM PROFESSIONAL FOAM SEALANT, TO FORM A DURABLE AIRTIGHT WATER RESISTANT. ENERFOAM SEALANT ASTM-C203. BOND EFFICIENTLY TO ALL MATERIALS PER SPECIFICATIONS AND METHODS.
10. APPLY SPRAYABLE URETHANE ELASTOMER COATING UTC-5061. FOR A TOUGH MEMBRANE. IS REQUIRED, APPLY FOR MOLD SPRAYING, MOLD FABRICATION, IMPACT PROTECTION FOR EPS AND CUT SHAPES, OR WHEREVER A HIGHLY DURABLE IMPACT MOISTURE AND CORROSION RESISTANT FINISH IS REQUIRED.



1 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0" (FOR REFERENCE ONLY)



2 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

LIGHT FIXTURES

- F TROY LIGHTING 'NEWTON' BCD30080BZ - ELECT. WALL MOUNTED.
- G TROY LIGHTING 'NEWTON' BCD30010BZ - ELECT. WALL MOUNTED.

-ALL LIGHT FIXTURES TO BE APPROVED BY OWNERS / ARCHITECT
-ALL EXTERIOR LUMINAIRES TO BE SHIELDED SO AS NOT TO BE FULLY EXPOSED & SHALL BE DESIGNED AND SPECIFIED TO AVOID SPILLING INTO ADJACENT PROPERTIES.

PAINT LEGEND

- ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE.
- P-1 GLACIER WHITE 'OC-31' (STUCCO BASE- MAIN BODY OF TOWNHOUSE.)
- P-2 EAGLE ROOF TILE- #4549 SANTA PAULA- BEL AIR (COLOR THRU).
- P-3 BRILLIANT WHITE- COLUMNS, BANDING, FASCIA & OUTLOOKERS/BRACKETS.
- P-4 KENDAL CHARCOAL 'MC-66' DOORS & ALUM. RAILINGS.

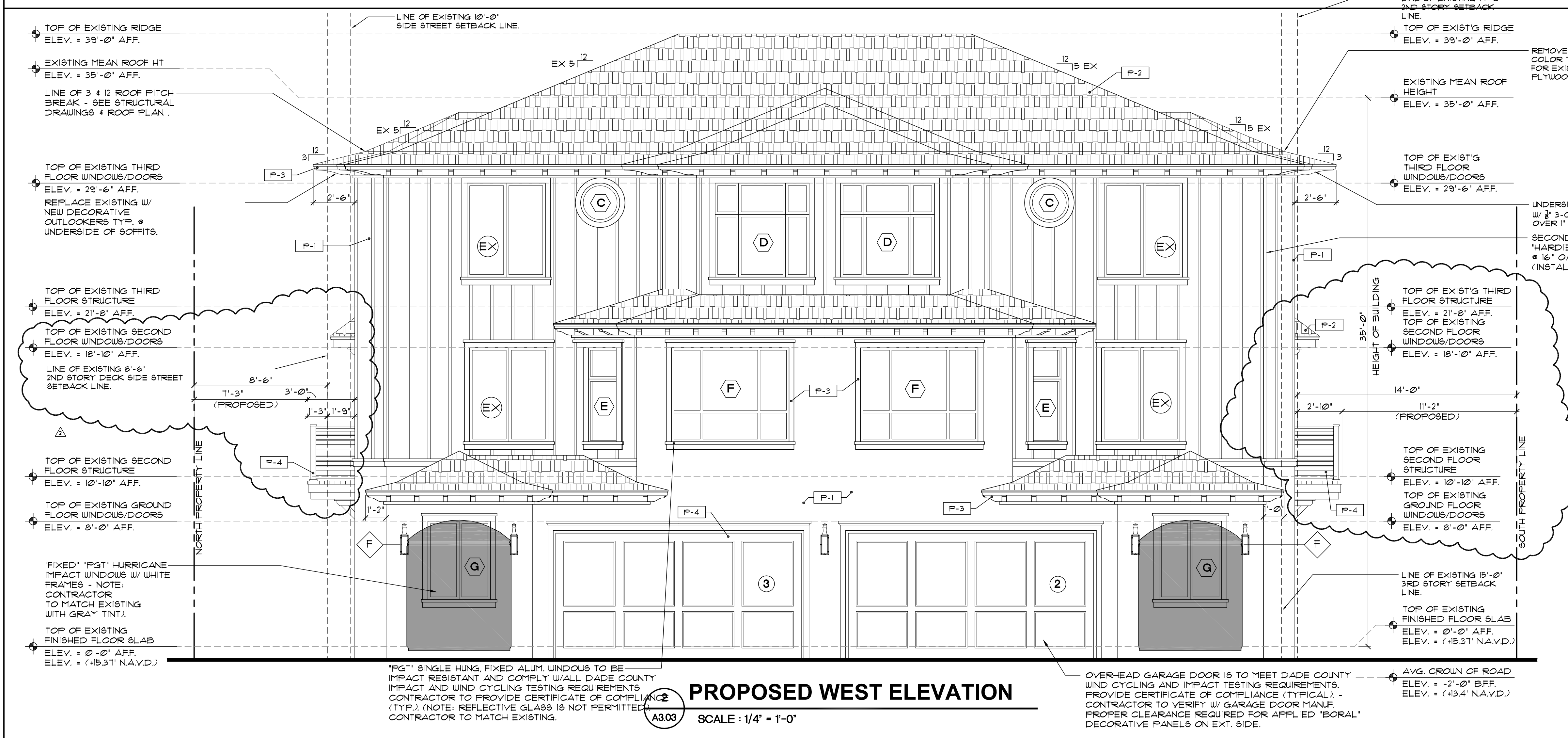
NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR OWNERS APPROVAL.

PROPOSED ENCLOSURE FOR EXISTING GROUND FLOOR COVERED PORCH.



1 EXISTING WEST ELEVATION
SCALE : 1/4" = 1'-0" (FOR REFERENCE ONLY)

- EXTERIOR STUCCO:**
- METAL LATH APPLICATION:
1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROWEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
 2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
 3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.
 4. TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS. TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
 5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH. TOTAL (1) INCH THICK. AREAS: TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
 6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
 7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.
 8. ALL SHAPE BOARD SHALL BE CELLOFAM SHAPE FORMS WITH CELLOFAM EPS PER INSTRUCTIONS AND ADHERED PER SPECIFICATIONS FOR ROOFS, EXTERIORS WITH HIGH R-VALUES. CELLOFAM EPS INSULATION ASTM-C618.
 9. APPLY ENERFOAM PROFESSIONAL FOAM SEALANT, TO FORM A DURABLE AIRTIGHT WATER RESISTANT. ENERFOAM SEALANT ASTM-C223. BOND EFFICIENTLY, TO ALL MATERIALS PER SPECIFICATIONS AND METHODS.
 10. APPLY SPRAYABLE URETHANE ELASTOMER COATING UTC-5061. FOR A TOUGH MEMBRANE IS REQUIRED. APPLY FOR MOLD SPRAYING, MOLD FABRICATION, IMPACT PROTECTION FOR EPS AND CUT SHAPES, OR WHEREVER A HIGHLY DURABLE IMPACT MOISTURE AND CORROSION RESISTANT FINISH IS REQUIRED.



2 PROPOSED WEST ELEVATION
SCALE : 1/4" = 1'-0"

REVISIONS

NO.	REVISION
1	ADDED HEIGHT ABOVE THE AVERAGE CROWN OF ROAD
2	PUT EXISTING AND PROPOSED ELEVATIONS ON SAME PAGE
3	UPDATED ELEVATION NOTES
4	REVISOR 3-26-23 AS PER TAC COMMENTS
5	PROVIDED ADDITIONAL DIMENSIONS FOR PROPOSED PORCHES

LIGHT FIXTURES

- ◇ F TROY LIGHTING 'NEWTON' BCD9008BZ - ELECT. WALL MOUNTED.
- ◇ G TROY LIGHTING 'NEWTON' BCD90010BZ - ELECT. WALL MOUNTED.

-ALL LIGHT FIXTURES TO BE APPROVED BY OWNERS / ARCHITECT

-ALL EXTERIOR LUMINARIES TO BE SHIELDED SO AS NOT TO BE FULLY EXPOSED & SHALL BE DESIGNED AND SPECIFIED TO AVOID SPILLING INTO ADJACENT PROPERTIES.

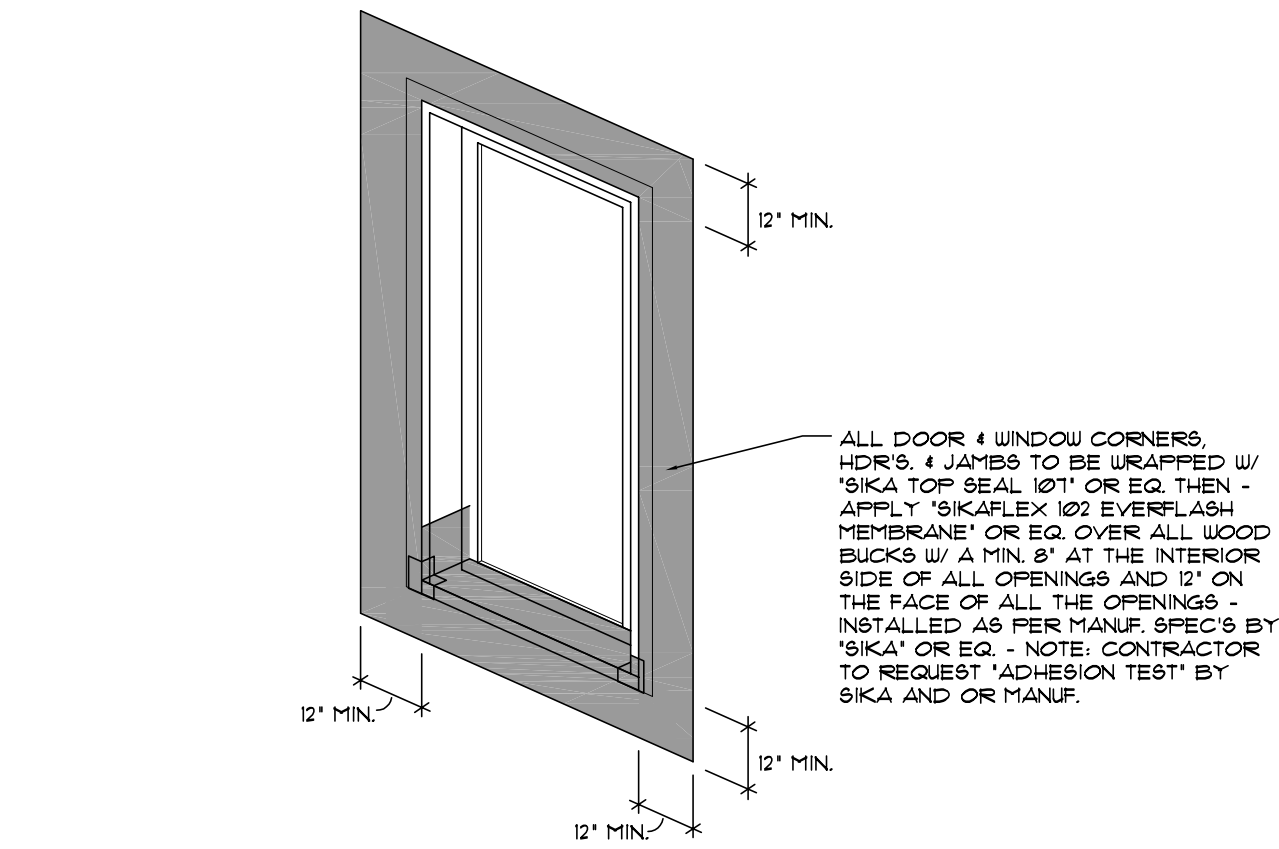
PAINT LEGEND

- ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE.

P-1	GLACIER WHITE *OC-37 (STUCCO BASE- MAIN BODY OF TOWNHOUSE.)
P-2	EAGLE ROOF TILE- *4549 SANTA PAULA- BEL AIR (COLOR THRU).
P-3	BRILLIANT WHITE- COLUMNS, BANDING, FASCIA & OUTLOOKERS/BRACKETS.
P-4	KENDAL CHARCOAL *16-66 DOORS & ALUM. RAILINGS.

NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR OWNERS APPROVAL.

PROPOSED ENCLOSURE FOR EXISTING GROUND FLOOR COVERED PORCH.



NOTE:
VERIFY ALL INTERIOR DOORS & INTERIOR WINDOW TRIMS/CASING/TREATMENTS W/ OWNERS.

NOTE:
WATER TEST TO BE CONDUCTED AT RANDOMLY SELECTED EXTERIOR WINDOW AND DOOR ASSEMBLIES AT INITIAL CONSTRUCTION PHASE TO CONFIRM WATER INFILTRATION ISSUES. IF WINDOWS OR DOORS FAIL, CONTRACTOR WILL BE RESPONSIBLE FOR COST OF TESTS & CORRECTIONS TO DOORS & WINDOWS.

- NOTE:
- ALL WINDOWS, DOORS AND GLAZING PRODUCTS AND INSTALLATION TO BE IN ACCORDANCE WITH PALM BEACH COUNTY IMPACT AND WIND LOADING CODES. (PGT OR EQUAL.)
 - ALL GLAZING BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS. - CONTRACTOR TO PROVIDE DATED CURRENT APPROVAL DOCUMENTATION/CERTIFICATION.
 - VERIFY ALL WINDOWS WITH PROPOSED FLOOR PLAN FOR WINDOW TYPES.
 - ALL W/ WHITE E.S.P. PAINT FINISH (MATCH EXISTING) OR EQUAL - VERIFY W/ OWNERS.
 - ALL NEW WINDOW AND DOOR GLASS TO BE TINTED (MATCH EXISTING (SEE SCHEDULE)).

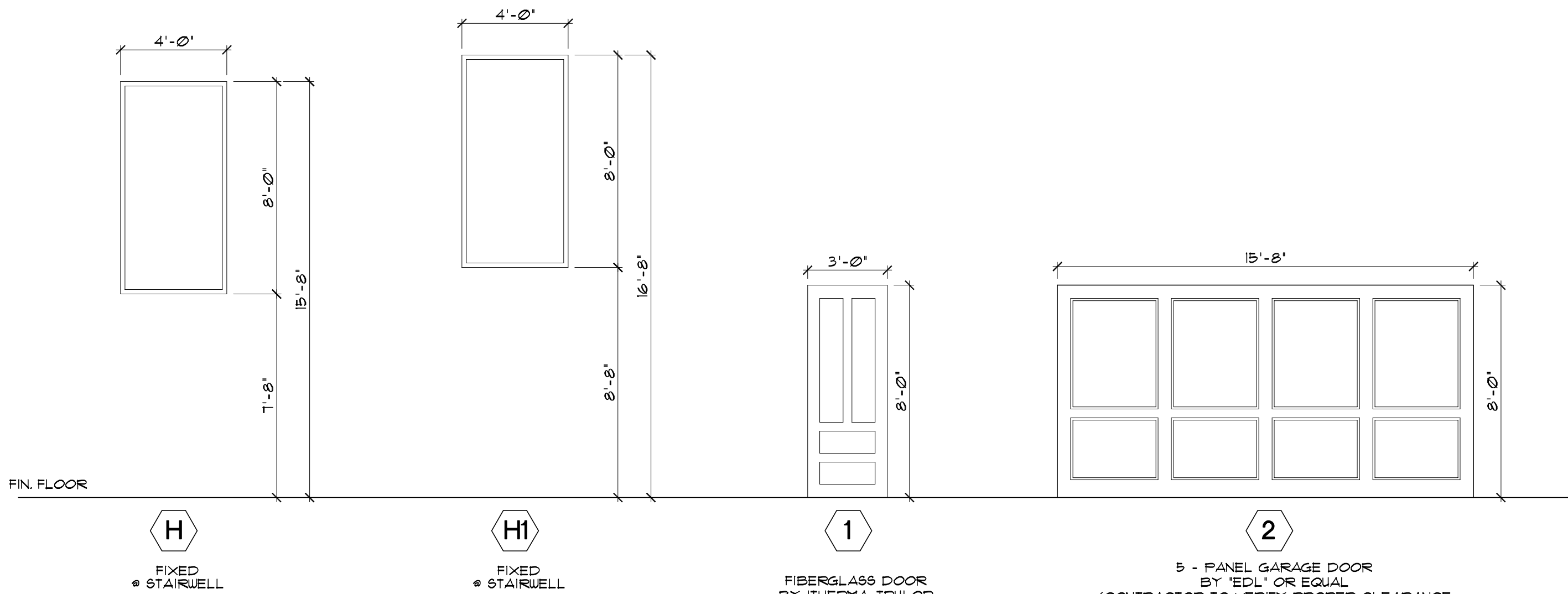
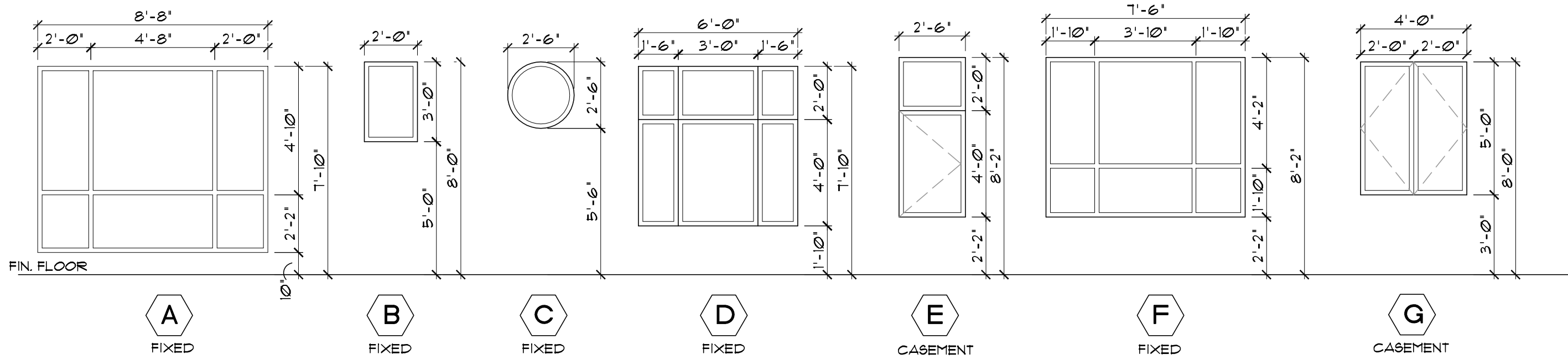
WINDOW + DOOR SCHEDULE

WINDOW	SIZE (WxH)	QTY.	SERIES	PRODUCT CODE	CONFIG.	FRAME	SILL	GLASS COLOR	FRAME COLOR	COMMENT
A	8'-8" x 7'-0"	2	CA740	CUSTOM	-	ALUM./PTD	WD/PTD	TINT	WHITE	FIXED W/ 6-LITE
B	2'-0" x 3'-0"	2	AR7720A	CUSTOM	-	ALUM./PTD	WD/PTD	TINT	WHITE	FIXED W/ 1-LITE
C	2'-6" CIRCULAR	4	AR7720A	CUSTOM	-	ALUM./PTD	WD/PTD	TINT	WHITE	FIXED W/ 1-LITE
D	6'-0" x 6'-0"	2	CA740	CUSTOM	-	ALUM./PTD	WD/PTD	TINT	WHITE	FIXED W/ 6-LITE
E	2'-6" x 6'-0"	2	CA740 AR7720A	CUSTOM	-	ALUM./PTD	WD/PTD	TINT	WHITE	CASEMENT W/ TRANSOM - 2-LITE & SCREEN
F	7'-6" x 6'-0"	2	FD101H	CUSTOM	-	ALUM./PTD	WD/PTD	TINT	WHITE	FIXED W/ 6-LITE
G	(PR) 2'-0" x 5'-0"	2	FD101H	CUSTOM	-	ALUM./PTD	WD/PTD	TINT	WHITE	CASEMENT / 1-LITE & SCREEN
H	4'-0" x 8'-0"	2	SGD770	CUSTOM	-	ALUM./PTD	WD/PTD	TINT	WHITE	FIXED W/ 1-LITE
H1	4'-0" x 8'-0"	2	CA740	CUSTOM	-	ALUM./PTD	WD/PTD	TINT	WHITE	FIXED W/ 1-LITE

DOORS

1	3'-0" x 8'-0" x 1 3/4"	1	FIBERGLASS PANEL	THERMA-TRU	SWING	FIBERGLASS PAINTED	ALUM.	TINT	WHITE	1/2" RAISED THRESHOLD 6 PANEL-FIBERGLASS DOOR-IMPACT RESISTANT W/ CERT. - "THERMA-TRU" OR EQ. "EMTEK"- "HELIOS LEVER W/ SQUARE ROSETTE"-CHROME FINISH OR EQUAL.-THUMB TURN DEAD BOLT.
2	15'-8" x 8'-0" x 2 1/4"	1	5 PANEL	EDL	OVERHEAD	-	-	TINT	-	5-PANEL-"PINCH PROOF" DESIGN BY "EDL" OR EQUAL- ELECT. OPENER W/LIGHT - HANDLE & KEY LOCK".
3	3'-0" x 8'-0" x 1 3/4"	1	FIBERGLASS PANEL	THERMA-TRU	SWING	FIBERGLASS PAINTED	ALUM.	TINT	WHITE	1/2" RAISED THRESHOLD 6 PANEL-FIBERGLASS DOOR-IMPACT RESISTANT W/ CERT. - "THERMA-TRU" OR EQ. "EMTEK"- "HELIOS LEVER W/ SQUARE ROSETTE"-CHROME FINISH OR EQUAL.-THUMB TURN DEAD BOLT.
4	15'-8" x 8'-0" x 2 1/4"	1	5 PANEL	EDL	OVERHEAD	-	-	TINT	-	5-PANEL-"PINCH PROOF" DESIGN BY "EDL" OR EQUAL- ELECT. OPENER W/LIGHT - HANDLE & KEY LOCK".

WINDOW + DOOR ELEVATIONS



- DADE COUNTY IMPACT AND WIND LOADING CODES. (PGT OR EQUAL) INSTALLATION BY GENERAL GLASS OR EQUAL.
- ALL GLAZING BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS.-CONTRACTOR TO PROVIDE DATED CURRENT APPROVAL DOCUMENTATION/CERTIFICATION.
- VERIFY ALL WINDOWS WITH PROPOSED FLOOR PLAN FOR WINDOW TYPES.
- ALL W/ WHITE E.S.P. PAINT FINISH (MATCH EXISTING) OR EQUAL - VERIFY W/ OWNERS.
- NOTE: ALL PROPOSED WINDOWS TO MATCH EXISTING HURRICANE IMPACT WINDOWS.

- INTERIOR WINDOWS FOR REFERENCE ONLY - VERIFY WITH OWNER.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
- CONTRACTOR TO COORDINATE ALL ROUGH OPENINGS SIZES WITH SHELL CONTRACTOR AND WINDOW SUB-CONTRACTOR.

ALL NEW WINDOW AND DOOR GLASS TO BE TINTED (MATCH EXISTING (SEE SCHEDULE)).

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architect, planner and
designer

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ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

**PROPOSED MULTI
FAMILY
TOWNHOUSE
EXTERIOR
RENOVATION**

REVISIONS

REVISED 3-27-23 AS PER TAC COMMENTS:
ADDED TINTED GLASS NOTE TO
SCHEDULE (TO MATCH EXISTING).

**1180/1190 NASSAU ST.
DELRAY BEACH, FL.**

FILE NUMBER
815A900

DRAWING TITLE

**PROPOSED
PGT WINDOW
& DOOR
SCHEDULES**

DATE
08.15.22

DRAWN BY
JE

JOB NUMBER
20220815

DRAWING NUMBER

A9.00