

Return via Palm Beach County interoffice mail to:  
Mark Hagen, Right-of-Way Specialist  
Palm Beach County, Engineering & Public Works Department  
Roadway Production Division  
2300 North Jog Road, 3<sup>rd</sup> Floor West  
West Palm Beach, Florida 33411-2750

This Instrument Prepared by:  
Yelizaveta B. Herman, Assistant County Attorney  
Palm Beach County Attorney's Office  
Post Office Box 21229  
West Palm Beach, Florida 33416-1229

Property Control Number: Portion of 12-43-46-20-01-008-0030

**NOT TO BE RECORDED WITHOUT BOARD OF COUNTY COMMISSIONERS ACCEPTANCE DATE**

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SPACE ABOVE THIS LINE FOR PROCESSING DATA

**PROJECT NO.: 1003074**

**ROAD NAME: Linton Boulevard**

**PARCEL NO.: 7.48'x20' Traffic Control Easement**

**SIGNAL EASEMENT**

THIS SIGNAL EASEMENT ("Easement") is made this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by the **CITY OF DELRAY BEACH, FLORIDA**, a Florida municipal corporation, whose post office address is 100 N.W. 1st Avenue, Delray Beach, Florida 33444-2612, ("Grantor"), to **PALM BEACH COUNTY**, a political subdivision of the State of Florida, by and through its Board of County Commissioners, whose post office address is Post Office Box 21229, West Palm Beach, Florida 33416-1229, ("Grantee").

WITNESSETH: That Grantor, for and in consideration of the sum of ONE (\$1.00) dollar and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, and conveys unto Grantee, its successors and assigns, upon the conditions set forth herein, for the purpose of a perpetual signal easement over, upon, under, through and across the following described property located in Palm Beach County, Florida: Property more particularly described in **Exhibit "A"** attached hereto and made a part hereof ("Easement Premises").

This Easement shall be used to permanently construct, install, operate, and maintain (collectively "Perform Work") with regard to roadway facilities and related facilities in the Easement Premises (collectively "Facilities"). Facilities shall include traffic control devices and foundations. The Easement includes the right at any time to install, bore, alter, improve, enlarge, add to, change the nature or physical characteristics of, replace, remove, or relocate the Facilities or perform any other activities related to the Facilities.

This Easement shall be non-exclusive, provided, however, that Grantor, its successors and assigns, shall be permanently prohibited from hindering, obstructing, removing or interfering with the operation, functioning, maintenance, or repair of any of the Facilities.

To the extent that Grantor, its successors and assigns, hinder, obstruct, remove or interfere with the operation, functioning, maintenance, or repair of any of the Facilities, (collectively "Interference"), Grantor, its successors and assigns shall be liable for any and all expenses and damages related to the Interference.

Grantee, its agents, successors and assigns, shall have the right, but not the obligation, to Perform Work on the Facilities and/or to remove and use any or all of the soil and/or subsoil within the Easement Premises.

Any amendment or modification to this Easement shall be effective if the same is in writing, signed, and recorded in the public records of Palm Beach County.

TO HAVE AND TO HOLD THE SAME unto Grantee, its successors and assigns forever.

Remainder of page intentionally left blank.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the date first above written.

Signed, sealed and delivered in the presence of:

**Grantor:**  
**(Signature of two witnesses  
required by Florida law)**

**CITY OF DELRAY BEACH, FLORIDA,**  
a Florida municipal corporation

\_\_\_\_\_  
Witness Signature (Required)

By: \_\_\_\_\_  
Thomas F. Carney, Jr., Mayor

\_\_\_\_\_  
Witness Name Printed or Typed  
Address: \_\_\_\_\_

ATTEST:

\_\_\_\_\_  
Katerri Johnson, City Clerk

\_\_\_\_\_  
Witness Signature (Required)

Approved as to form:

\_\_\_\_\_  
Witness Name Printed or Typed  
Address: \_\_\_\_\_

\_\_\_\_\_  
Lynn Gelin, City Attorney

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

Before me personally appeared Thomas F. Carney, Jr., who is (*choose one*)  personally known to me, *or*  has produced \_\_\_\_\_ as identification, and who executed the foregoing instrument as Mayor of the City of Delray Beach, a Florida municipal corporation, and severally acknowledged to and before me by means of (*choose one*)  physical presence *or*  online notarization, that they executed such instrument as such officer of said corporation, and that said instrument is the free act and deed of said corporation.

Witness my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

(Stamp/Seal)

\_\_\_\_\_  
Notary Signature  
Notary Public, State of \_\_\_\_\_

\_\_\_\_\_  
Print Notary Name

\_\_\_\_\_  
Commission Number  
My Commission Expires: \_\_\_\_\_

**SKETCH & DESCRIPTION**  
**TRAFFIC CONTROL EASEMENT**  
 SECTION 20. TOWNSHIP 46 SOUTH, RANGE 43 EAST

**EXHIBIT A**

**LAND DESCRIPTION:**

A portion of Lot 8, SUBDIVISION OF SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, according to the Plat thereof, as recorded in Plat Book 1, Page 4, of the Public Records of Palm Beach County, Florida; being described as follows:

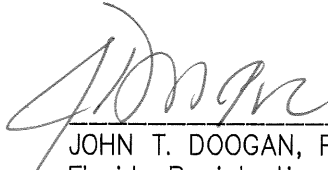
**Commence** at the Southeast corner of said Lot 8; thence S89°38'18"W, along the South line of said Lot 8, a distance of 827.68 feet to the East line of the East 150 feet of the West 499 feet of said Lot 8; thence N00°00'31"W, 53.00 feet to the North right-of-way line of Linton Boulevard; thence S89°38'17"W, along said right-of-way line, 61.00 feet; thence N00°00'00"E, 7.00 feet to the **Point of Beginning**; thence continue N00°00'00"E, 7.48 feet; thence S89°38'17"W, 20.00 feet; thence S00°00'00"W, 7.48 feet; thence N89°38'17"E, 20.00 feet to the **Point of Beginning**.

Said lands lying in the City of Delray Beach, Palm Beach County, Florida and containing 150 square feet (0.0034 acres), more or less.

**CERTIFICATION:**

I HEREBY CERTIFY that the attached Boundary Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary Survey meets the Standards of Practice set forth in Chapter 5J-17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes.

Date: 8/13/2024

  
 \_\_\_\_\_  
 JOHN T. DOOGAN, P.L.S.  
 Florida Registration No. 4409  
 AVIROM & ASSOCIATES, INC.  
 L.B. No. 3300

**NOT VALID WITHOUT  
SHEETS 1 THRU 3**

REVISIONS		
REVISE	04/10/2024	
REVISED PER COMMENTS	W.R.E.	05/10/2024
REVISED PER COMMENTS	W.R.E.	08/13/2024



**AVIROM & ASSOCIATES, INC.**  
**SURVEYING & MAPPING**  
 50 S.W. 2nd AVENUE, SUITE 102  
 BOCA RATON, FLORIDA 33432  
 (561) 392-2594 / [www.AVIROMSURVEY.com](http://www.AVIROMSURVEY.com)  
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JOB #:	<b>8593-7_TE</b>
SCALE:	-
DATE:	02/02/2024
BY:	W.R.E.
CHECKED:	J.T.D.
F.B.	- PG. -
SHEET:	<b>1 OF 3</b>

**SKETCH & DESCRIPTION**  
**TRAFFIC CONTROL EASEMENT**  
SECTION 20. TOWNSHIP 46 SOUTH, RANGE 43 EAST

**SURVEYOR'S REPORT:**

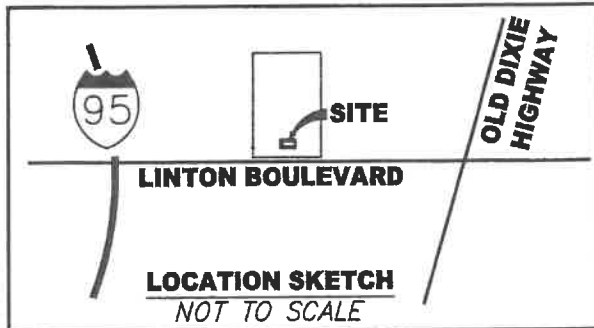
1. Reproductions of this Sketch are not valid without the electronic signature of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
2. Title Commitment for the subject property was provided and issued by First American Title Insurance Company, Number 110254795, Commitment Date: March 13, 2024 at 8:00 a.m., Revision Number: 2 (April 4, 2024). Where applicable, these instruments are shown. Avirom & Associates, Inc. did not research the public records.
3. The land description shown is based on the said Commitment.
4. No underground improvements were located.
5. Bearings shown hereon are based on the South line of Section 20-46-43 having a bearing of S89°38'18"W (Grid - NAD83/90 adjustment).
6. The coordinate values shown hereon are State Plane Coordinates (Transverse Mercator Projection), Florida East Zone, North American Datum (NAD) 1983, (1990 adjustment). Control measurements meet or exceed closure for suburban: linear: 1 foot in 10,000 feet horizontally and were verified through a redundancy of measurements. all distances are ground distances in u.s. survey feet unless otherwise noted.
7. Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
8. This map is intended to be displayed at a scale of 1"=720' (1:60)
9. For improvements see Avirom & Associates, Inc. Boundary Survey Number 8593.

**NOTE:**

- LINEAR UNIT = U.S. SURVEY FEET
- SCALE FACTOR = 1.000045123
- ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED. GRID DISTANCE = (GROUND DISTANCE) X (SCALE FACTOR)
- BEARINGS: See Surveyor's Report #5
- DATUM: See Surveyor's Report #6

**ABBREVIATION LEGEND:**

- AC - Acres
- AKA - Also Known As
- CONC. - Concrete
- F.B. - Field Book
- L.B. - Licensed Business
- NAD - North American Datum
- P.B. - Plat Book
- P.B. & PG. - Plat Book and Page
- P.B.C.R. - Palm Beach County Records
- PG. - Page
- P.L.S. - Professional Land Surveyor
- P.O.B. - Point Of Beginning
- P.O.C. - Point Of Commencement
- RPB - Road Plat Book



**NOT VALID WITHOUT SHEETS 1 THRU 3**

REVISIONS		
REVISE	04/10/2024	
REVISED PER COMMENTS	W.R.E.	05/10/2024



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JOB #:	8593-7_TE
SCALE:	-
DATE:	02/02/2024
BY:	W.R.E.
CHECKED:	J.T.D.
F.B. - PG. -	- -
SHEET:	2 OF 3

SKETCH & DESCRIPTION  
**TRAFFIC CONTROL EASEMENT**  
 SECTION 20. TOWNSHIP 46 SOUTH, RANGE 43 EAST



A PORTION OF LOT 8  
 SUBDIVISION OF SECTION 20,  
 TOWNSHIP 46 SOUTH,  
 RANGE 43 EAST  
 (P.B. 1 PG. 4, P.B.C.R.)

WEST LINE OF THE  
 EAST 150' OF THE  
 WEST 499' OF LOT 8  
 (P.B. 1 PG. 4, P.B.C.R.)

**A PORTION OF LOT 8**  
 SUBDIVISION OF SECTION 20,  
 TOWNSHIP 46 SOUTH,  
 RANGE 43 EAST  
 (P.B. 1 PG. 4, P.B.C.R.)

NOTE: IMPROVEMENTS NOT  
 SHOWN SEE SURVEYORS NOTE 9

A PORTION OF LOT 8  
 SUBDIVISION OF SECTION 20,  
 TOWNSHIP 46 SOUTH,  
 RANGE 43 EAST  
 (P.B. 1 PG. 4, P.B.C.R.)

EAST LINE OF THE  
 EAST 150' OF THE  
 WEST 499' OF LOT 8  
 (P.B. 1 PG. 4, P.B.C.R.)  
 EAST LINE LOT 8  
 (P.B. 1 PG. 4, P.B.C.R.)

NORTH RIGHT-OF-WAY LINE  
 LINTON BOULEVARD

$S89^{\circ}38'17''W$   
 20.00'  
 150 SQUARE  
 FEET  
 (0.0034 AC)

$N00^{\circ}00'00''E$   
 7.48'  
**P.O.B.**  
 N: 766660.233  
 E: 957272.167

$N81^{\circ}28'34''E$   
 422.60'

$N89^{\circ}38'17''E$   
 20.00'  
 SOUTH LINE  
 LOT 8

$N00^{\circ}00'00''E$  61.00'  
 7.00'  
 $N00^{\circ}00'31''W$   
 $S89^{\circ}38'18''W$  53.00'

$N88^{\circ}48'36''W$   
 2215.61'

$S89^{\circ}38'18''W$  349.01'

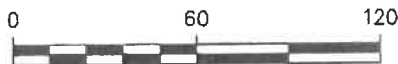
SOUTH LINE  
 SECTION 20

BEARING BASIS  
**LINTON BOULEVARD**  
 (AKA SW 12TH STREET)  
 106' PUBLIC  
 RIGHT-OF-WAY  
 (RPB 4, PG. 25, P.B.C.R.)

**P.O.C.**  
 SOUTHEAST CORNER  
 LOT 8  
 (P.B. 1 PG. 4, P.B.C.R.)

SOUTHWEST CORNER  
 OF THE SOUTHEAST 1/4  
 SECTION 20-46-43  
 PALM BEACH COUNTY BRASS DISC  
 NOT RECOVERED  
 N: 766597.466  
 E: 956834.219

SOUTHEAST SECTION CORNER  
 SECTION 20-46-43  
 PALM BEACH COUNTY BRASS DISC  
 NOT RECOVERED  
 N: 766614.223  
 E: 959487.392



GRAPHIC SCALE IN FEET  
 SCALE: 1" = 60'

**NOT VALID WITHOUT  
 SHEETS 1 THRU 3**

**REVISIONS**

REVISE	04/10/2024		
REVISED PER COMMENTS	W.R.E.	05/10/2024	



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SCALE:	1" = 60'
DATE:	02/02/2024
BY:	W.R.E.
CHECKED:	J.T.D.
F.B.	- PG. -
SHEET:	3 OF 3